



**Agenda**  
**Gallatin Municipal-Regional Planning Commission**

**Monday, December 14, 2015**

**Planning Commission - 5:00 p.m.**

**DR. J. DEOTHA MALONE COUNCIL CHAMBERS CITY HALL**

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Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item, wishing to discuss an item listed on the Consent Agenda, may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- **Call to Order**
- **Invocation**
- **Pledge of Allegiance**
- **Roll Call**
- **Approval of Prior Minutes: October 26, 2015 Planning Commission Meeting**
- **Public comment on Consent Agenda items**

**CONSENT AGENDA**

1. **GMRPC RESOLUTION NO. 2015-161** **7-171-15**  
**SURETY RENEWALS & EXTENSIONS**  
**CITY OF GALLATIN**

ONE YEAR SURETY RENEWALS AND EXTENSIONS FOR DECEMBER 2015.

2. **GMRPC RESOLUTION NO. 2015-159** **8-1317-15**  
**FOXLAND CROSSING, PHASE 12A; FMDP**  
**DEWEY ENGINEERING**

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND CROSSING PHASE 12-A, FOR THE DEVELOPMENT OF 16 ATTACHED DWELLING LOTS AND 22 MULTI-FAMILY DWELLING LOTS, THREE (3) RIGHTS-OF-WAY, AND THREE (3) OPEN SPACE TRACTS, ON A PORTION OF TAX MAP 136 PARCEL 27.01, TOTALLING 10.11 (+/-) ACRES, LOCATED SOUTH OF FOXLAND BOULEVARD AND WEST OF DOULGAS BEND ROAD.

3. **GMRPC RESOLUTION NO. 2015-162** **1-1319-15B**  
**FAIRWAY FARMS, PHASE 2, SECTION 5; PRELIMINARY PLAT**  
**BRUCE RAINEY & ASSOCIATES**

OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR FAIRWAY FARMS, PHASE 2, SECTION 5, TO CREATE 30 ONE-FAMILY DETACHED DWELLING LOTS, AN OPEN SPACE TRACT, AND FOUR (4) RIGHTS-OF-WAY ON 11.27 (+/-) ACRES, LOCATED NORTH OF LONG HOLLOW PIKE AND WEST OF WENDLING BOULEVARD.

4. **GMRPC RESOLUTION NO. 2015-156** **8-1322-15**  
**FOXLAND, PHASE 6, SECTIONS; AMENDED PMDP/REVISED FMDP**  
**BARGE WAGGONER SUMNER & CANNON, INC.**

OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE FOXLAND PRELIMINARY MASTER DEVELOPMENT PLAN AND REVISED FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND, PHASE 6, CONTAINING 77 ONE-FAMILY DETACHED DWELLING LOTS, SEVEN (7) OPEN SPACE TRACTS, AND THREE (3) STREETS, ON 18.10 (+/-) ACRES, LOCATED ON FOXLAND BOULEVARD, FENNER LANE, AND BOARDWALK PLACE.

5. **GMRPC RESOLUTION NO. 2015-157** **1-1320-15B**  
**FOXLAND, PHASE 6, SECTIONS 1 & 2; PRELIMINARY PLAT**  
**BARGE WAGGONER SUMNER & CANNON, INC.**

OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR FOXLAND, PHASE 6, TO CREATE TWO (2) SECTIONS, CONTAINING 77 ONE-FAMILY, DETACHED DWELLING LOTS, SEVEN (7) OPEN SPACE TRACTS, AND THREE (3) STREETS ON 18.10 (+/-) ACRES, LOCATED ON FOXLAND BOULEVARD, FENNER LANE, AND BOARDWALK PLACE.

6. **GMRPC RESOLUTION NO. 2015-158** **1-1324-15C**  
**FOXLAND, PHASE 6, SECTION 1; FINAL PLAT**  
**BARGE WAGGONER SUMNER & CANNON, INC.**

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR FOXLAND, PHASE 6, SECTION 1, CONTAINING 40 ONE-FAMILY, DETACHED DWELLING LOTS, THREE (3) OPEN SPACE TRACTS, EXTENSION OF ONE (1) RIGHT-OF-WAY AND ADDITION OF ONE (1) RIGHT-OF-WAY ON 9.50 (+/-) ACRES, LOCATED ON FOXLAND BOULEVARD AND FENNER LANE.

#### **REGULAR AGENDA**

7. **GMRPC RESOLUTION NO. 2015-160** **8-1316-15**  
**CARELLTON, PHASES 3A, 3B, 3C, 3D; AMENDED PMDP/ FMDP**  
**LAND SOLUTIONS CO.**

OWNER AND APPLICANT REQUEST APPROVAL OF AN AMENDEDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR CARELLTON SUBDIVISION AND A FINAL MASTER DEVELOPMENT PLAN FOR CARELLTON PHASE 3A, 3B, 3C, AND 3D, ON 45.18 (+/-) ACRES, LOCATED NORTH OF FERDINAND DRIVE AND PRESTON LANE AND WEST OF GULFSTREAM DRIVE.

8. **GMRPC RESOLUTION NO. 2015-144** **8-1290-15**  
**WHITTS BBQ (DUNLAP JUNCTION); FMDP**  
**BRUCE RAINEY AND ASSOCIATES**

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR DUNLAP JUNCTION, PHASE 1, TO CONSTRUCT A 2,412 SQUARE FOOT RESTAURANT ON A PORTION OF A 1.42 (+/-) ACRE PARCEL, ZONED PLANNED NEIGHBORHOOD COMMERCIAL (PNC), LOCATED AT 604 LONG HOLLOW PIKE.

9. **GMRPC RESOLUTION NO. 2015-153** **1-65-05C/1-53-05C**  
**ALBION DOWNS, PHASE 3; SUBDIVISION SURETY RENEWAL AND EXTENSION**  
**CITY OF GALLATIN ENGINEERING DIVISION**

SURETY RENEWAL AND EXTENSION DISCUSSION

**10.. OTHER BUSINESS**

**11. MOVE TO ADJOURN**

MINUTES OF THE GALLATIN  
MUNICIPAL/REGIONAL  
PLANNING COMMISSION MEETING

October 26, 2015

MEMBERS PRESENT

Dick Dempsey, Chair  
James Robert Ramsey, Vice Chair  
Johnny Wilson, Secretary  
Mayor Paige Brown  
Councilperson, Julie Brackenbury  
Dr. Rick Orgain  
John Puryear

STAFF PRESENT

William McCord, Director of Planning  
Kevin Chastine, Planner II  
Robert Kalisz, Planner II  
Brad Simpson, Engineering Project Manager  
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular meeting on Monday, October 26, 2015, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Chairman Dick Dempsey called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A. Councilperson Julie Brackenbury led the invocation and Chair Dempsey led the pledge of allegiance. Ms. Mudrak called the roll.

Approve Prior Minutes

Mr. Wilson motioned to approve minutes from the July 13, 2015 Planning Commission Work Session, the September 14, 2015 Planning Commission Work Session, and the September 28, 2015 Planning Commission Meeting as presented. Councilperson Brackenbury seconded the motion and the motion passed by unanimous vote.

Consent Agenda

Chair Dempsey called for public comment on consent agenda items. Mr. Bill McCord, Director of Planning, said the Engineering Division requested to remove Item 2, Jennings Park Subdivision, from the consent agenda. No one else requested to remove any item from the consent agenda; therefore, Chair Dempsey motioned to approve the consent agenda moving Item 2 to the regular agenda as Item 16A. Mr. Wilson seconded the motion and the motion passed 6 ayes, 0 nays.

Item 1: GMRPC Resolution No. 2015-133 – (7-171-15) – Surety Renewal & Extensions – City of Gallatin – Approval of surety renewals and extensions for September 2015.

There were no surety renewals for October, 2015.

Item 2: GMRPC Resolution No. 2015-134 – (1064-15C) – Jennings Park Subdivision, Final Plat – Rogers Engineering Group

This item was moved to the regular agenda as Item 16A.

Item 3: GMRPC Resolution No. 2015-135 – (1-1172-15C) – Lenox Place, Phase 7; Final Plat – Goodall Inc. Builders – Owner and applicant requests approval of a Final Plat for Lenox Place, Phase 7, Containing 58.17 (+/-) acres, as part of an overall horizontal property regime, by adding a 7.46 (+/-) acre section known as Phase 7 addition, located at 816 Lock 4 Road and 395 Devon Chase Hill.

This item was approved by consent agenda with the following conditions:

1. Verify and correct the tax map and parcel number for the property. Title Block and Site Data Table do not match.
2. Correct zoning for parcels 135//002.02 and 135A/G/027.00 to “R40/R20 Split-Zone”.
3. Provide Elevation Certificates for units 6001 thru 6302 to the Planning Department and Building Department prior to issuance of any building permits.
4. Provide Final Plat sheet size of 18” x 24” for recording and resubmittal.
5. Provide a copy of the recorded Stormwater Maintenance Agreement prior to the recording of the Final Plat.
6. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to the recording of the Final Plat.
7. Submit a site surety to the Planning Department to cover all site improvements, in an amount to be determined by the applicant and approved by the Planning Department, prior to the recording of the Final Plat.
8. Submit three (3) folded copies of the landscaping plan for Lenox Place Phase 7 Addition to the Planning Department for review and approval prior to the recording of the Final Plat.
9. Submit three (3) corrected, folded copies of the Final Plat to the Planning Department for review and staff approval prior to the recording of the Final Plat.
10. Submit two (2) mylars and one (1) vellum copy of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

Item 4: GMRPC Resolution No. 2015-126 – (8-1174-15) – St. Blaise Retreat, Phase 2 & 3; Amended PMDP/Revised FMDP – Site Engineering Consultants – Owner and applicant request approval of a minor amendment to the Saint Blaise Retreat, Preliminary Master Development Plan and approval of the Revised Final Master Development Plan for Saint Blaise Retreat, Sections 2 and 3, containing 42 lots and three (3) open space tracts, on 21 (+/-) acres, located on Montrose Drive and Brighton Lane west of Saint Blaise Court.

This item was approved by consent agenda with the following conditions:

1. Revise the title on both sheets to state, Sections 2 and 3.
2. Add/revise the acreage and lot numbers for each section in the Site Data table.
3. Remove previous Conditions of Approval notes from plan.
4. Minimum ten (10) foot wide side yard setbacks and PUDEs shall be required on lots where utilities are present as indicated in the construction plans.
5. Revise the plans to indicate PUDE's on lots in Section 3.
6. Submit three (3) corrected and folded copies of the Amended PMDP/Revised FMDP for Saint Blaise Retreat, Sections 2 and 3 to the Planning Department for review and approval.

Item 5: GMRPC Resolution No. 2015-127 - (1-951-15C) – St. Blaise Retreat, Section 2, Final Plat – Site Engineering Consultants – Owner and applicant request approval to revise a previously approved (unrecorded) Final Plat for Saint Blaise Retreat, Section 2, a major subdivision, to create 24 one-family detached dwelling lots, two (2) open space tracts, and extend two (2) rights-of-way, on 12.46 (+/-) acres located on Montrose Drive and Brighton Lane off of Saint Blaise Court; One-family detached dwellings is a permitted use in the Residential-15 Planned Residential District (R15-PRD) zone district.

This item was approved by consent agenda with the following conditions:

1. The Amended PMDP/Revised FMDP for Saint Blaise Retreat, Secs. 2 & 3 shall be approved prior to the approval of the Final Plat for Saint Blaise Retreat, Sec. 2.
2. Submit a subdivision surety in the amount of \$520,000.00 to the Planning Department prior to recording of the Final Plat.
3. Submit three (3), 18x24, corrected and folded copies of the Final Plat to the Planning Department for review and approval.
4. Submit three (3) mylars with signatures from the owner(s) and WHUD, along with a check made out to the Register of Deeds for \$17, to the Planning Department.

Item 6: GMRPC Resolution No. 2015-131 – (8-1176-15) – Cumberland Place North, Phase 4, Section 2; Amended FMDP/Revised PMDP – Rogers Engineering Group – Owner and applicant request approval of an amendment to the Cumberland Place North Preliminary Master Development Plan and a Final Master Development Plan for Phase 4, Section 2, a major Subdivision to remove the walking trail, create 24 single family residential lots, two (2) public rights-of-way, and one (1) open space tract, on 13.582 (+.-) acres, located east of Lock 4 Road and north of Smoky Mountains Drive.

This item was approved by consent agenda with the following conditions:

1. Provide a Plan Note stating that all residences will be at least 50 percent masonry material in order to match the requirements of existing phases.
2. Submit three (3) corrected folded copies of the Amended PMDP and Final Master Development Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

Item 7: GMRPC Resolution No. 2015-132 – (1-1187-15B) – Cumberland Place North, Phase 4, Section 2, Preliminary Plat – Rogers Engineering Group – Owner and applicant requests approval of a Preliminary Plat for Cumberland Place North Phase 4, Section 2, a Major Subdivision, to create 24 Single Family Lots, two (2) public rights-of-way, and one (1) open space tract, on 13.582 (+/-) acres, located east of Lock 4 Road and north of Smoky Mountains Drive.

This item was approved by consent agenda with the following conditions:

1. Approval of the Preliminary Plat is subject to the approval of the Revised FMDP for Cumberland Place North Phase 4, Section 2, which is Item 6 on this agenda.
2. Label all surrounding property owners including Lots 139-141, and 166, 167, 169, 170, and 172.
3. In the Construction Plans Note replace 'Phase' with 'Stage' so that it reads ". . . *at this stage of development.* . ."
4. In the Planning Commission approval note, remove *'the minutes of the'* and replace with *'Resolution No. 2015-132 Gallatin Municipal-Regional Planning'*.
5. In the Planning Commission approval note, correct *'from'* to *'form'*.
6. Add acreage to each lot, in addition to the square footages.
7. Record a 20 foot Public Utility and Drainage Easement prior to the recording of the Final Plat for Phase 4, Section 2 behind Lots 143 and 144 to accommodate the proposed storm sewer pipe that is discharging onto the open space tract in Plat Book 23 Page 347.
8. Provide addresses for each lot once available from Sumner County E-911.
9. Provide a copy of the restrictive covenants, when available.
10. Submit three (3) corrected folded copies of the Preliminary Plat to the Planning Department.

Item 8: GMRPC Resolution No. 2015-129 – (1-1179-15C) – Carellton, Phase 2, Section B, Final Plat – Dewey Engineering – Owner and applicant request approval of a Final Plat for Carellton Phase 2B, a major subdivision, to create 44 lots (19 single family and 25 attached), five (5) new public rights-of-way, and three (3) open space tracts, on 16.42 (+/-) acres, located west of Carellton Drive.

This item was approved by consent agenda with the following conditions:

1. Under 'Property Location/Address' switch the order of 'Creek' and 'Camp' so that it reads 'Station Camp Creek'.
2. Add 'Open Space 'P' & P.U.D.E.' to the top right corner of Sheet 2, north of Ferdinand Drive.
3. Label width of sidewalks and grass strips on plan.
4. Show missing line work on Ferdinand Drive in front of Lot 463 and 464.
5. Provide Surety for completion of public infrastructure in amount to be determined by the Engineering Division.
6. The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080. Surety Required of the Gallatin Zoning Ordinance, in the amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to recording the plat and issuance of any building permits.
7. Provide an Irrevocable Offer of Dedication of Public Infrastructure per Section 2-105.6 of the Gallatin Subdivision Regulations.

8. Add a plat note (on Sheet 1) indicating that all open space tracts shall be owned and maintained by the Carellton Home Owner Association.
9. Provide a pro-rata share payment for traffic impact mitigation as determined by the Engineering Division.
10. Amend the plat drawing to clarify the boundary between Open Space Tract 'A' and Open Space Tract 'Q'.
11. Prior to acceptance of public infrastructure, an as-built survey shall be submitted.
12. Submit three (3) corrected folded copies of the Final Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

Item 9: GMRPC Resolution No. 2015-130 - (1-1181-15C) – Carellton, Phase 2, Section A, Final Plat – Dewey Engineering – Owner and applicant requests approval of a Final Plat for Carellton Phase 2A, a major subdivision, to create 40 single family lots, four (4) public rights-of-way, and two (2) open space tracts, on 10.73 (+/-) acres, located north of Whitestone Lane and east of Carellton Drive.

This item was approved by consent agenda with the following conditions:

1. Under Property Location (Sheet 1 and 2) switch location of 'Creek' and 'Camp'.
2. On Sheet 2, correct adjacent future development from Phase 3-C to 2-C to match the current Final Master Development Plan.
3. On Sheet 3, correct future development title to Phase 3 by removing 'C' to match the current Final Master Development Plan.
4. On Sheet 3, provide Phase 1-B plat book information from Sheet 2.
5. Provide Irrevocable Offers of Dedication for Public Infrastructure per Gallatin Subdivision Regulations Section 2-105.6.
6. Add a note (on sheet 1) stating that the Open Space Tracts shall be owned and maintained by the Carellton Home Owners Association.
7. Label widths for sidewalk and grass strips on plan.
8. Label pavement width of Hempstead Court.
9. Provide an access road along the southern property boundary of Lot 182 for Gallatin Electric to gain access to utility pole at the rear of Lot 102/182.
10. Provide a pro-rata share payment for traffic impact mitigation as determined by the Engineering Division.
11. Prior to acceptance of public infrastructure, an as-built survey shall be submitted.
12. Provide Surety for completion of public infrastructure in amount to be determined by the Engineering Division.
13. Submit three (3) corrected folded copies of the Final Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

Item 10: GMRPC Resolution No. 2015-136 - (1-1183-15C) – Twin Eagles, Phase 12, Section B, Final Plat – Bridges Land Surveying – Owner and applicant request approval of a Final Plat for Twin Eagles Phase 12, Section B, a major subdivision, to create 16 one-family detached dwelling lots and dedicate a right-of-way on 4.70 (+/-) acres, located on Lucy Circle.

This item was approved by consent agenda with the following conditions:

1. Reference the stormwater maintenance agreement on the Final Plat.
2. Provide a copy of the Restrictive Covenants prior to recording of Final Plat.
3. Provide an Offer of Irrevocable Dedication prior to recording of Final Plat.
4. Provide a copy of the recorded stormwater maintenance agreement prior to the recording of the Final Plat.
5. Submit a subdivision performance surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to recording of Final Plat.
6. Submit a utility performance surety, in the amount determined by the Gallatin Public Utilities Department, to the Planning Department prior to the recording of Final Plat.
7. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to recording of Final Plat.
8. Submit two (2) mylars and one (1) vellum copy of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

Item 11: GMRPC Resolution No. 2015-137 - (1-1188-15C) – Twin Eagles, Phase 11, Section B, Final Plat – Bridges land Surveying – Owner and applicant request approval of a Final Plat for Twin Eagles, Phase 11, Section B, a major subdivision, to create 13 one-family detached dwelling lots and dedicate a right-of-way on 3.55 (+/-) acres, located on Lucy Circle.

This item was approved by consent agenda with the following conditions:

1. Provide a note to the plat indicating the ownership and maintenance responsibility of the Common Space.
2. Stormwater sewer has been added and reconfigured behind Lots 391 thru 395. Correct Final Plat and construction plans to reflect changes.
3. Reference the stormwater maintenance agreement on the Final Plat.
4. Provide a copy of the Restrictive Covenants prior to recording of Final Plat.
5. Provide an Offer of Irrevocable Dedication prior to recording of Final Plat.
6. Provide a copy of the recorded stormwater maintenance agreement prior to the recording of the Final Plat.
7. Submit a subdivision performance surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to recording of Final Plat.
8. Submit a utility performance surety, in the amount determined by the Gallatin Public Utilities Department, to the Planning Department prior to the recording of Final Plat.
9. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to recording of Final Plat.
10. Submit two (2) mylars and one (1) vellum copy of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

Item 12: GMRPC Resolution No. 2015-128 - (8-1185-15) – Moore Life Urgent Care, Alternative Sign Plan Approval – Moore Life Realty Holding, LLC – Owner and applicant request an alternative sign plan approval under Gallatin Zoning Ordinance subsection 13.07.095 to install an internally illuminated wall-mounted sign above the 2<sup>nd</sup> story windows for the Moore Life Urgent Care Facility. The property is located at 253 West Main Street, and is zoned Core Commercial (CC).

This item was approved by consent agenda with the following conditions:

1. The applicant shall obtain an approved sign permit prior to installation of the signs.

Item 13: GMRPC Resolution No. 2015-138 - (8-1197-15) – Wendy’s Exterior Façade & Signage, Site Plan – BF Nashville, Inc. – Owner and applicant requests approval of a site plan for architectural and signage changes to Wendy’s Restaurant, on a 0.494 (+/-) acres lot, located at 233 West Main Street.

This item was approved by consent agenda with the following conditions:

1. Provide a landscaped bed at the west driveway entrance adjacent to the northwest property boundary driveway with low level landscaping.
2. The owner/applicant shall obtain an approved sign permit from the Planning Department prior to the installation of any signs.
3. Submit three (3) corrected and folded copies of the site plan to the Planning Department for review and approval prior to the recording of the Final Plat.

Vice Chair Ramsey entered the meeting at 5:09 pm.

#### Regular Agenda

Item 14: GMRPC Resolution No. 2015-139 - (1-1191-15C) – Airport Road Relocation, Final Plat – Sumner County Regional Airport Authority – Owner and applicant request approval of a Final Plat for Airport Road, Cairo Road and Industrial Boulevard right-of-way relocation/dedication and vacation, consisting of 18.7 (+/-) acres, located south of Gregory Drive and north of Steam Plant Road and the abandonment and vacation of a portion of Airport Road and Cairo Road.

Mr. McCord explained that this is a joint effort between the Planning and the Engineering Departments. This is a request to approve a Final Plat to accommodate the relocation of Airport Road on the Sumner County Regional Airport property. The City has been working with the State and the Airport Authority to secure funding to pay for the relocation of the road to allow for expansion of the airport. The relocation would occur approximately 300 feet west of the current alignment and would parallel the existing roadway alignment. The road would be built within the Sumner County Regional Airport property. Cairo Road was realigned north of the current right-of-way to the S-curve alignment nearly 10 years ago however, no formal action was taken to establish the realignment segment within a formally platted, dedicated or conveyed right-of-way. It also includes a new road that would serve Servepro, which is now a private road and would become a public local street and would serve other businesses as well. The segment that will be relocated is approximately one (1) mile long. Funds will come from the City, the State, and the Federal Governments.

Mr. McCord said staff recommends approval of Resolution No. 2015-139, which is the Plat and approval of Resolution No. 2015-140, to recommend approval to City Council an ordinance to abandon that section of the right-of-way that would no longer be needed with the conditions listed in the staff report.

Chair Dempsey asked Mr. Brad Simpson, Engineering Project Manager, if there were any engineering concerns with the project. Mr. Simpson said there were no engineering concerns with the project.

Chair Dempsey asked if the road realignment would affect the approach zone of the airport. Mr. McCord said this plan would not affect the approach zone.

Chair Dempsey motioned to approve Resolution No. 2015-139 with the following conditions:

1. Provide for formal and final acceptance of the roadway by the City upon completion of construction per Tenn. Code Annotated Section 13-3-406 and 13-4-307.
2. Sumner County Regional Airport and Sumner County shall submit an Offer of Irrevocable Dedication prior to recording of Final Plat.
3. Submit five (5) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to recording of Final Plat.
4. Submit two (2) mylars and one (1) vellum copy of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

and Resolution No. 2015-140.

Mr. Puryear seconded the motion and the motion by 6 ayes 0 nays, Vice Chair Ramsey recused.

Item 15: GMRPC Resolution No. 2015-122 - (3-1088-15) – South Water Avenue at Woods Ferry Road, Rezoning to Core Commercial (CC) - City of Gallatin – Public Comment – The City of Gallatin Planning Department requests approval of an ordinance to rezone two (2) lots and two (2) parcels, from the Commercial Services District (CS) to the Core Commercial District (CC), comprising .98 (+/-) acres, located east of South Water Avenue, west of Woods Ferry Road and north of Coles Ferry Road.

Mr. McCord explained that this process is to change zoning on four (4) properties from Commercial Services (CS) to Core Commercial (CC). The zone change would allow property owners, if they wish to reconstruct, to build up to the property boundary. The Core Commercial (CC) zone does not require parking and on street parking is available along South Water Avenue. This would relieve any future property owners to have to go through the variance process to rebuild on this property. This change could create a desire for additional rezoning in the area to encourage a village type atmosphere. Staff recommends the Planning Commission recommend approval of Resolution No. 2015-122 to City Council.

Chair Dempsey opened public comment. No one came forward to speak; therefore, Chair Dempsey closed public comment.

Vice Chair Ramsey motioned to approve Resolution No 2015-122. Councilperson Brackenbury seconded the motion and the motion passed 7 ayes, 0 nays.

Item 16: GMRPC Resolution No. 2015-141 - (1-63-06C/1-53-06C) – Oak Hill Subdivision, Phase 1, Authority to Call Surety – City of Gallatin – The City of Gallatin requests authority to call the letter of credit for the performance surety for Oak Hill Subdivision, Phase 1, since the subdivision improvements have not been completed as required by the Planning Commission.

Mr. Simpson said the Engineering Division received a certified check from the developer and a contract the applicant has with Rogers Group to complete paving by December 31, 2015. The previous extension was to allow the paving work to be completed by October 31, 2015. The developer is asking that the surety be extended until the end of the year. A separate Letter of Credit is being processed to replace the certified check.

Vice Chair Ramsey motioned to extend the surety to December 31, 2015. Chair Dempsey seconded the motion and the motion passed 7 ayes, 0 nays.

Chair Dempsey removed his second to the motion. Vice Chair Ramsey removed his motion.

Chair Dempsey motioned to call the surety on October 31, 2015 if there is an issue with the certified check. Dr. Orgain seconded the motion and the motion passed 7 ayes, 0 nays.

Chair Dempsey motioned to extend the surety to December 31, 2015 with the following conditions: Submit an updated Letter of Credit, including an updated expiration date, in the amount of \$115,000 to replace the Certified Check, to the Planning Department by October 31, 2015.

1. All roadway improvements to be completed by December 31, 2015.

Vice Chair Ramsey seconded the motion and the motion passed 7 ayes, 0 nays.

Item 16A (Item 2): GMRPC Resolution No. 2015-134 – (1-1064-15C) – Jennings Park Subdivision; Final Plat – Rogers Engineering Group – Owner and Applicant requests approval of a Final Plat for Jennings Park Subdivision, a major subdivision, to create six (6) One-family detached dwelling lots and dedicate a right-of-way on 4.16 (+/-) acres located at 703 Hartsville Pike, east of North Drive and West of Perry Street.

Mr. Kalisz said the proposal is to create six (6) One-family Detached Dwelling lots and dedicate a right-of-way. A pavement width of 20 feet, as suggested by the Gallatin Fire Department, is proposed. The owner and applicant are requesting an alternative pedestrian sidewalk design and not to install a five (5) foot wide sidewalk along the east side of the proposed road adjacent to the existing parcels. On the other side and around the cul de sac will be a five (5) foot wide sidewalk and five (5) foot wide grass strip.

Drainage calculations and construction plans have been submitted to the Engineering Division and comments have been sent to the owner and applicant.

Staff recommends approval of Resolution No. 2015-134 with the conditions listed in the staff report.

Chair Dempsey asked Mr. Simpson if there are any engineering concerns. Mr. Simpson said the construction review comments have not been addressed and the Engineering Division does not have approved construction plans as required by the Subdivision Regulations before approval of a Final Plat.

Mr. Richard Jones, with Rogers Engineering Group, representing the applicant showed the natural detention drain for the detention pond and overflow to Richland Circle. These were the two (2) concerns of the Engineering Division.

Mr. McCord asked the Planning Commission to defer this item until the construction plans are submitted and approved.

Mayor Brown asked if approval could be contingent on submittal and approval of the construction drawings. Mr. McCord said if this is the decision of the Planning Commission it should be added as a condition of approval.

Vice Chair Ramsey asked Mr. Simpson if he is comfortable with the Planning Commission approving this item contingent on submittal and approval of the construction plans. Mr. Simpson said he is comfortable with that decision.

Mr. McCord said a TDOT permit for street modification would be required for approval of the construction plans. Mr. Simpson said this could also be a condition of approval.

Dr. Orgain asked Mr. McCord if he is comfortable with a decision to approve contingent on submittal and approval of construction plans. Mr. McCord agreed.

Dr. Orgain motioned to approve Resolution No. 2015-134 with the following conditions:

1. Correct the address for Lot 1 located on Independence Way from "703" to "106".
2. Add text of "front of house to face cul-de-sac" to Lot 2.
3. Show and label subdivision name, plat book and page number, and lot numbers to three (3) adjacent parcels located southwest of the development.
4. Convey the 0.008 (+/-) acre portion of the property to the adjacent property owner prior to Final Plat recorded and remove from the plat or include the portion of the plat as a tract and convey to the adjacent property owner after recording of the plat.
5. Provide Offer of Irrevocable Dedication for public improvements located in public right-of-way prior to recording of Final Plat.
6. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to the recording of the Final Plat.
7. Provide a copy of the recorded stormwater maintenance agreement prior to the recording of the Final Plat.
8. Reference the stormwater maintenance agreement on the Final Plat prior to recording of Final Plat.
9. Construction plans shall be approved by the Engineering Division prior to recording the Final Plat.
10. Submit a subdivision performance surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to recording of Final Plat.
11. Submit a utility performance surety, in the amount determined by the Gallatin Public Utilities Department, to the Planning Department prior to the recording of Final Plat.
12. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to the recording of the Final Plat.

13. Submit two (2) mylars and one (1) vellum copy of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

Vice Chair Ramsey seconded the motion and the motion passed 7 ayes; 0 nays.

#### Item 17: Other Business

##### A. Gallatin Zoning Ordinance Change Discussion

This item was deferred.

##### B. Surety Review Process

Mr. McCord said Ms. Katherine Schoch administered the all sureties and is no longer with the City. The process is very tedious and the list gets longer and longer. The projects are not being completed and some are under construction for many years. The City does not charge a fee for administering the sureties. A copy of the statute and codes was distributed to the Planning Commission. The idea is to be sure that the City is not carrying sureties from year to year.

Dr. Orgain asked if there was an issue recently where a lots in a subdivision were not sold and the developer asked for the surety to be renewed, so that the sidewalks would not have to be installed until the lot is built out.

Mr. McCord said he is in the process of surveying other local governments in the area to see how they administer sureties. Some cities charge a renewal fee. The code states a surety may be extended in the case of a hardship or difficulty.

Dr. Orgain asked why these sureties are brought before the Planning Commission. Mr. McCord said the code states that the Engineering Division is responsible for administering subdivision and land disturbance sureties. The Planning Department has been administering subdivision, land disturbance, site, and utility sureties. He asked for guidance from the Engineering Division.

Mr. Puryear said the Planning Commission became lenient because of the decline in the economy. He suggested that the city outsource the renewal calculation/completion status of the project at the developer's cost. Mr. McCord said the City of Nolensville charges a renewal fee of \$1,000. The City of Franklin has a Surety Administrator for all sureties. Allowing sureties to continue without completing projects is unfair to the homeowners who have purchased and live in homes in the development.

Mayor Brown said it would be ideal to get to a place where Engineering and Planning decline renewal of a surety without a hardship and a fee is set to renew the surety.

Mr. McCord suggested no more renewals in the future would help alleviate the need for a full time surety administrator.

Dr. Orgain suggested a three (3) year surety instead of a one (1) year surety.

Mr. McCord said a maintenance surety is also required. The issue is that if the roads are not built correctly there are problems handling the load. In addition, water ponds on the road and soaks in, destroying the base.

Chair Dempsey instructed staff to bring this to the next Planning Commission work session, and to invite the City Attorney to attend.

Item 18: Move to Adjourn

With no further business to discuss, Chair Dempsey adjourned the meeting at 5:56 p.m.

Respectfully submitted:

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Marianne Mudrak, Board Secretary

Approve:

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Dick Dempsey, Chair

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Johnny Wilson, Secretary



**Agenda**  
**Gallatin Municipal-Regional Planning Commission**

**Monday, October 26, 2015**  
**DR. J. DEOTHA MALONE COUNCIL CHAMBERS**

**Planning Commission - 5:00 p.m.**  
**CITY HALL**

Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item, wishing to discuss an item listed on the Consent Agenda, may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- Call to Order
- Invocation
- Pledge of Allegiance
- Roll Call
- Approval of Prior Minutes: July 13, 2015 Planning Commission Work Session; September 14, 2015 Planning Commission Work Session Meeting; September 28, 2015 Planning Commission Meeting
- Public comments on Consent Agenda items

**CONSENT AGENDA**

1. **GMRPC Resolution No. 2015-133** **7-171-15**  
**SURETY RENEWAL & EXTENSIONS**  
**CITY OF GALLATIN**  
  
NO SURETY RENEWALS FOR OCTOBER 2015.
2. **GMRPC Resolution No. 2015-134** **1-1064-15C**  
**JENNINGS PARK SUBDIVISION; FINAL PLAT**  
**ROGERS ENGINEERING GROUP**  
  
OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR JENNINGS PARK SUBDIVISION, A MAJOR SUBDIVISION, TO CREATE SIX (6) ONE-FAMILY DETACHED DWELLING LOTS AND DEDICATE A RIGHT-OF-WAY ON 4.16 (+/-) ACRES, LOCATED AT 703 HARTSVILLE PIKE, EAST OF NORTH DRIVE AND WEST OF PERRY STREET.
3. **GMRPC Resolution No. 2015-135** **1-1172-15C**  
**LENOX PLACE, PHASE 7; FINAL PLAT**  
**GOODALL INC, BUILDERS**  
  
APPLICANT REQUESTS APPROVAL OF A FINAL PLAT FOR LENOX PLACE PHASE 7, CONTAINING 58.17 (+/-) ACRES, AS PART OF AN OVERALL HORIZONTAL PROPERTY REGIME, BY ADDING A 7.46 (+/-) ACRE SECTION KNOWN AS PHASE 7 ADDITION, LOCATED AT 816 LOCK 4 ROAD AND 395 DEVON CHASE HILL.

4. **GMRPC Resolution No. 2015-126** **8-1174-15**  
**ST. BLAISE RETREAT, PHASE 2 & 3; AMENDED PMDP/REVISED FMDP**  
**SITE ENGINEERING CONSULTANTS**

THE OWNER AND APPLICANT REQUEST APPROVAL OF MINOR AMENDMENT TO THE SAINT BLAISE RETREAT, PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVING THE REVISED FINAL MASTER DEVELOPMENT PLAN FOR SAINT BLAISE RETREAT, SECTIONS 2 AND 3, CONTAINING 42 LOTS AND THREE (3) OPEN SPACE TRACTS, ON 21 (+/-) ACRES, LOCATED ON MONTROSE DRIVE AND BRIGHTON LANE WEST OF SAINT BLAISE COURT.

5. **GMRPC Resolution No. 2015-127** **1-951-15C**  
**ST. BLAISE RETREAT, SEC. 2; FINAL PLAT**  
**SITE ENGINEERING CONSULTANTS**

OWNER AND APPLICANT REQUEST APPROVAL TO REVISE A PREVIOUSLY APPROVED (UNRECORDED) FINAL PLAT FOR SAINT BLAISE RETREAT, SECTION 2, A MAJOR SUBDIVISION, TO CREATE 24 ONE-FAMILY DETACHED DWELLING LOTS, TWO (2) OPEN SPACE TRACTS, AND EXTEND TWO (2) RIGHTS-OF-WAY, ON 12.46 (+/-) ACRES LOCATED ON MONTROSE DRIVE AND BRIGHTON LANE OFF OF ST. BLAISE COURT. ONE-FAMILY DETACHED DWELLINGS IS A PERMITTED USE IN THE RESIDENTIAL-15 PLANNED RESIDENTIAL DISTRICT (R15-PRD) ZONE DISTRICT.

6. **GMRPC Resolution No. 2015-131** **8-1176-15**  
**CUMBERLAND PLACE NORTH, PH. 4, SEC 2; AMENDED FMDP/REVISED PMDP**  
**ROGERS ENGINEERING GROUP**

OWNER AND APPLICANT REQUESTS APPROVAL OF AN AMENDMENT TO THE CUMBERLAND PLACE NORTH PRELIMINARY MASTER DEVELOPMENT PLAN AND A FINAL MASTER DEVELOPMENT PLAN FOR PHASE 4, SECTION 2, A MAJOR SUBDIVISION, TO REMOVE THE WALKING TRAIL, CREATE 24 SINGLE FAMILY RESIDENTIAL LOTS, TWO (2) PUBLIC RIGHTS-OF-WAY, AND ONE (1) OPEN SPACE TRACT, ON 13.582 (+/-) ACRES, LOCATED EAST OF LOCK 4 ROAD AND NORTH OF SMOKY MOUNTAINS DRIVE.

7. **GMRPC Resolution No. 2015-132** **1-1187-15B**  
**CUMBERLAND PLACE NORTH; PH. 4, SEC. 2; PRELIMINARY PLAT**  
**ROGERS ENGINEERING GROUP**

OWNER AND APPLICANT REQUESTS APPROVAL OF A PRELIMINARY PLAT FOR CUMBERLAND PLACE NORTH PHASE 4 SECTION 2, A MAJOR SUBDIVISION, TO CREATE 24 SINGLE FAMILY LOTS, TWO (2) PUBLIC RIGHTS-OF-WAY, AND ONE (1) OPEN SPACE TRACT, ON 13.582 (+/-) ACRES, LOCATED EAST OF LOCK 4 ROAD AND NORTH OF SMOKY MOUNTAIN DRIVE.

8. **GMRPC Resolution No. 2015-129** **1-1179-15C**  
**CARELLTON, PH. 2, SEC. B; FINAL PLAT**  
**DEWEY/ESTES ENGINEERING**

OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL PLAT FOR CARELLTON PHASE 2B, A MAJOR SUBDIVISION, TO CREATE 44 LOTS (19 SINGLE FAMILY AND 25

ATTACHED), FIVE (5) NEW PUBLIC RIGHTS-OF-WAY, AND THREE (3) OPEN SPACE TRACTS, ON 16.42 (+/-) ACRES, LOCATED WEST OF CARELLTON DRIVE.

**GMRPC Resolution No. 2015-130  
CARELLTON, PH. 2, SEC. A; FINAL PLAT  
DEWEY/ESTES ENGINEERING**

**1-1181-15C**

OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL PLAT FOR CARELLTON PHASE 2A, A MAJOR SUBDIVISION, TO CREATE 40 SINGLE FAMILY LOTS, FOUR (4) PUBLIC RIGHTS-OF-WAY, AND TWO (2) OPEN SPACE TRACTS, ON 10.73 (+/-) ACRES, LOCATED NORTH OF WHITESTONE LANE AND EAST OF CARELLTON DRIVE.

**10. GMRPC Resolution No. 2015-136  
TWIN EAGLES, PH. 12, SEC. B; FINAL PLAT  
BRIDGES LAND SURVEYING**

**1-1183-15C**

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR TWIN EAGLES PHASE 12, SECTION B, A MAJOR SUBDIVISION, TO CREATE 16 ONE-FAMILY DETACHED DWELLING LOTS AND DEDICATE A RIGHT-OF-WAY ON 4.70 (+/-) ACRES, LOCATED ON LUCY CIRCLE.

**11. GMRPC Resolution No. 2015-137  
TWIN EAGLES, PH. 11, SEC. B; FINAL PLAT  
BRIDGES LAND SURVEYING**

**1-1188-15C**

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR TWIN EAGLES PHASE 11, SECTION B, A MAJOR SUBDIVISION, TO CREATE 13 ONE-FAMILY DETACHED DWELLING LOTS AND DEDICATE A RIGHT-OF-WAY ON 3.55 (+/-) ACRES, LOCATED ON LUCY CIRCLE.

**12. GMRPC Resolution No. 2015-128  
MOORE LIFE URGENT CARE; ALTERNATIVE SIGN PLAN APPROVAL  
MOORE LIFE REALTY HOLDING, LLC**

**8-1185-15**

OWNER AND APPLICANT REQUEST AN ALTERNATIVE SIGN PLAN APPROVAL UNDER GALLATIN ZONING ORDINANCE SUBSECTION 13.07.095, TO INSTALL AN INTERNALLY ILLUMINATED WALL-MOUNTED SIGN ABOVE THE 2<sup>ND</sup> STORY WINDOWS FOR THE MOORE LIFE URGENT CARE FACILITY. THE PROPERTY IS LOCATED AT 253 WEST MAIN STREET, (S.B.E. TAX MAP #126C/H/001.00) AND IS ZONED CORE COMMERCIAL (CC).

**13. GMRPC Resolution No. 2015-138  
WENDY'S EXTERIOR FAÇADE & SIGNAGE; SITE PLAN  
BF NASHVILLE, INC.**

**8-1197-15**

OWNER AND APPLICANT REQUEST APPROVAL OF A SITE PLAN FOR ARCHITECTURAL AND SIGNAGE CHANGES TO WENDY'S RESTAURANT, ON A 0.494 ± ACRE LOT, LOCATED AT 233 WEST MAIN STREET.

14. **GMRPC Resolution No. 2015-139** **1-1191-15C**  
**AIRPORT ROAD RELOCATION; FINAL PLAT**  
**SUMNER COUNTY REGIONAL AIRPORT AUTHORITY**

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR AIRPORT ROAD, CAIRO ROAD AND INDUSTRIAL BOULEVARD RIGHT-OF-WAY RELOCATION/DEDICATION AND VACATION, CONSISTING OF 18.7 (+/-) ACRES, LOCATED SOUTH OF GREGORY DRIVE AND NORTH OF STEAM PLANT ROAD AND THE ABANDONMENT AND VACATION OF A PORTION OF AIRPORT ROAD AND CAIRO ROAD.

15. **GMRPC Resolution No. 2015-122** **3-1088-15**  
**SOUTH WATER AVENUE AT WOODS FERRY ROAD; REZONING TO CC**  
**CITY OF GALLATIN**

PUBLIC COMMENT

THE CITY OF GALLATIN PLANNING DEPARTMENT REQUESTS APPROVAL OF AN ORDINANCE TO REZONE TWO (2) LOTS AND TWO (2) PARCELS, FROM THE CS – COMMERCIAL SERVICES DISTRICT TO THE CC – CORE COMMERCIAL DISTRICT, COMPRISING .98 (+/-) ACRES, LOCATED EAST OF SOUTH WATER AVENUE, WEST OF WOODS FERRY ROAD AND NORTH OF COLES FERRY ROAD.

16. **GMRPC Resolution No. 2015-141** **1-63-06C/1-53-06C**  
**OAK HILL SUBDIVISION, PHASE 1; AUTHORITY TO CALL SURETY**  
**CITY OF GALLATIN**

THE CITY OF GALLATIN REQUESTS AUTHORITY TO CALL THE LETTER OF CREDIT FOR THE PERFORMANCE SURETY FOR OAK HILL SUBDIVISION, PHASE 1, SINCE THE SUBDIVISION IMPROVEMENTS HAVE NOT BEEN COMPLETED AS REQUIRED BY THE PLANNING COMMISSION.

17. **OTHER BUSINESS**

- A. GALLATIN ZONING ORDINANCE CHANGE DISCUSSION
- B. SURETY REVIEW PROCESS

18. **MOVE TO ADJOURN**

# ITEM 1

GMRPC Resolution No. 2015-161

**A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING ITEM 1 – A SIX (6) MONTH RENEWAL AND EXTENSION OF THE PERFORMANCE SURETIES FOR: ODRIC GREGORY INDUSTRIAL PARK PHASE 4 (SUBDIVISION); PC FILE #5-524-15S/PC0312-14 – ELK ACRES SECTION 3 (SITE); PC FILE #8-8-07/8-34-07 – ELK ACRES SECTION 4 (SUBDIVISION); PC FILE #PC022-12 -- ABC GROUP MINOR (SUBDIVISION), FINAL PLAT & DEDICATE R-O-W; PC FILE #2-17-14/PC0273-14-AND ONE (1) YEAR RENEWAL AND EXTENSION OF THE PERFORMANCE SURETY FOR ALEXANDER’S CORNER (UTILITIES); PC FILE #2-30-08S/2-24-08S**

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** considered a six (6) month renewal and extension of the performance sureties for Odric Gregory Industrial Park Phase 4 (Subdivision); PC File #2-524-15S/PC0312-14 – Elk Acres Section 3 (Site); PC File #8-8-07/8-34-07 – Elk Acres Section 4 (Subdivision); PC File #PC022-12 - ABC Group Minor (Subdivision) Final Plat & Dedicate R-O-W; PC File #2-17-14/PC0273-14 and a six (6) month surety renewal and extension of the performance surety for Alexander’s Corner (Utilities); PC File #2-30-08S/2-24-08S

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** has reviewed the information presented by City Staff and evidence and testimony presented during the meeting.

**NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** as follows:

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Gallatin Zoning Ordinance, §15.03.080 and Gallatin Subdivision Regulations, Chapter 3:

1. The renewal and extension of the performance surety will cover the cost of all public improvements and infrastructure not yet completed in the subdivision or completed for the development site of an approved site plan as determined by the City Engineering Division and Planning Department.
2. The subdivision surety and/or site surety is necessary to protect the public interest as described in Chapter 3, Gallatin Subdivision Regulations and Article 15, Section 15.03.080 of the Gallatin Zoning Ordinance.

Section 2. Action - The Gallatin Municipal-Regional Planning Commission hereby approves a six (6) month renewal and extension for each of the

performance sureties for the following projects with the following conditions:

- ABC Group Minor Subdivision Final Plat & Dedicate R-O-W (Subdivision); PC File #2-17-14/PC0273-14 six (6) month renewal and extension for \$19,000.
  - Odric Gregory Industrial Park Phase 4 (Subdivision); PC File #2-524-15S/PC0312-14 six (6) month renewal and extension for \$41,000.
  - Elk Acres Section 3 (Site); PC File #8-8-07/8-34-07 six (6) month renewal and extension for \$12,760.00.
  - Elk Acres Phase 4 (Subdivision) PC File #PC0022-12 six (6) month renewal and extension for \$66,000.00.
1. A new Letter of Credit in the amount described above shall be provided to the City of Gallatin by no later than one week prior to the expiration date of the current Letter of Credit.
  2. No extension will be permitted for the performance surety. All improvements must be completed by June 14, 2016.
  3. Upon completion of all required improvements, the development shall submit a request for Acceptance of Dedication for any public infrastructure, within a subdivision, to the City Engineering Division and provide a maintenance bond in form and substance acceptable to the City Attorney and City Engineer.

Section 3. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a one (1) year renewal and extension of the performance sureties as follows:

- Alexander's Corner (Utilities) PC File #2-30-08S/2-24-08S one (1) year renewal and extension for \$47,400
1. A new Letter of Credit in the amount described above shall be provided to the City of Gallatin by no later than one week prior to the expiration date of the current Letter of Credit.
  2. Upon completion of all required improvements, the development shall submit a request for Acceptance of Dedication for any public infrastructure, within a subdivision, to the City Engineering Division and provide a maintenance bond in form and substance acceptable to the City Attorney and City Engineer or obtain a Certificate of Completion for any site.

**BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION** that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 12/14/15

\_\_\_\_\_  
Dick Dempsey, Chairman

\_\_\_\_\_  
Johnny Wilson, Secretary

APPROVED AS TO FORM:

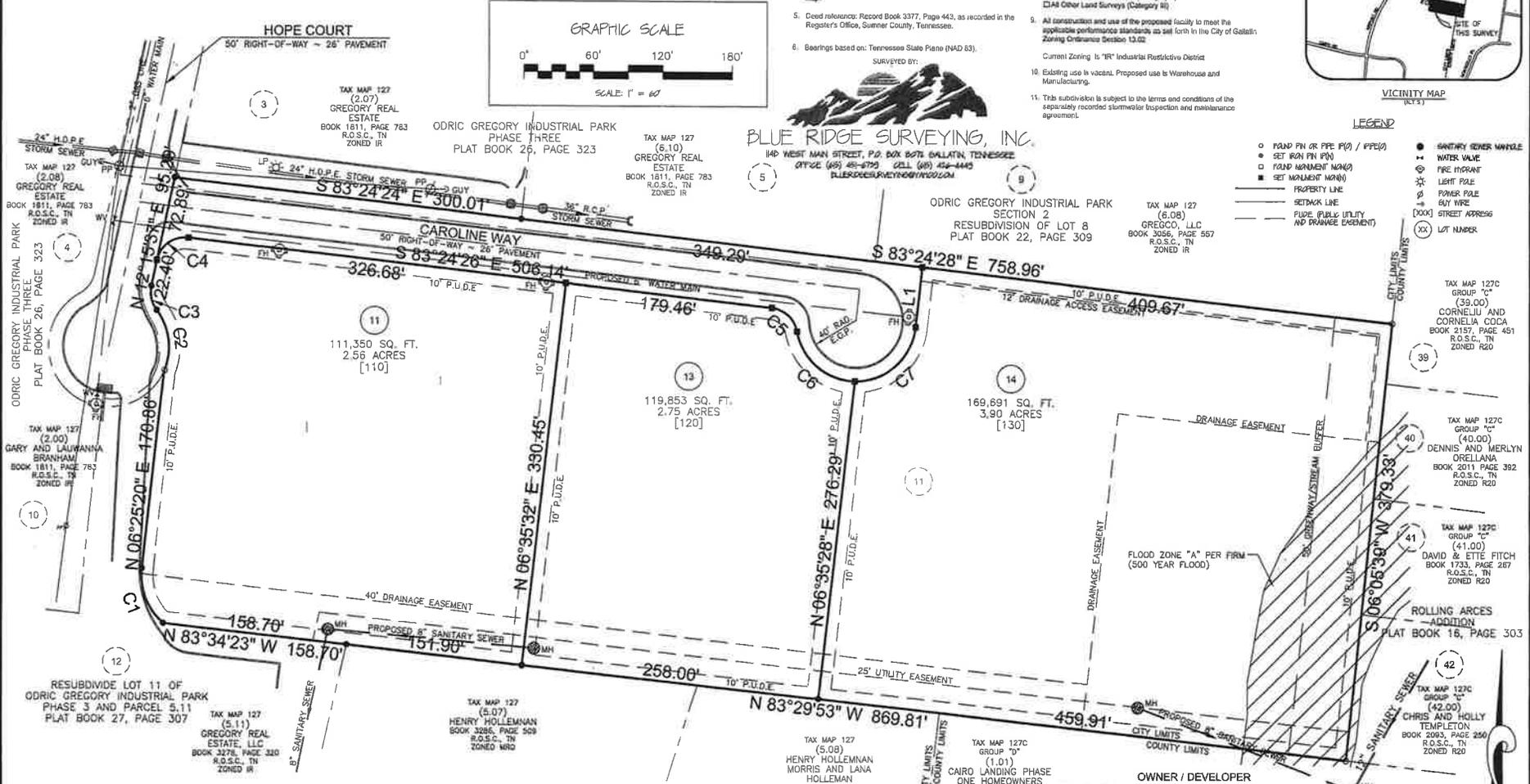
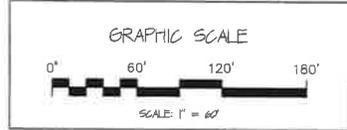
\_\_\_\_\_  
Susan High-McAuley  
City Attorney

CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	55.00'	52.65'	50.66'	N 21°00'00" W	54°50'46"	28.54'
C2	52.00'	54.77'	52.27'	N 07°04'30" W	60°20'39"	30.23'
C3	25.00'	21.60'	20.94'	N 12°29'38" W	49°30'26"	11.53'
C4	25.00'	36.80'	33.56'	N 54°28'36" E	84°19'58"	22.64'
C5	25.00'	31.69'	29.61'	S 47°05'24" E	72°37'13"	18.37'
C6	52.00'	70.97'	65.59'	S 49°53'03" E	78°11'36"	42.25'
C7	52.00'	76.62'	69.88'	N 48°48'21" E	84°25'38"	47.17'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 06°35'32" E	52.00'

**SURVEYOR'S NOTES:**

- The purpose of this plat is to create three lots and dedicate right-of-way.
- The recording of this plat, location, and supersede the recording of Lot 11 of Resubdivide Lot 11 of Odric Gregory Industrial in Phase 3 and Parcel 5.11, Plat Book 27, Page 307, as recorded in the Register's Office of Sumner County, Tennessee.
- The total area shown herein is 8.20± Acres or 400,694± Square feet.
- This property currently identified as Parcel 6.03 on Tax Map No. 127. For designation shown thus (XXX) indicates Parcel Numbers for said map.
- Good references: Record Book 3377, Page 443, as recorded in the Register's Office, Sumner County, Tennessee.
- Bearings based on: Tennessee State Plane (NAD 83).
- Surveyed by: **BLUE RIDGE SURVEYING, INC.**  
144 WEST MAIN STREET, P.O. BOX 8078 GALLATIN, TENNESSEE  
OFFICE (615) 452-8775 CELL (615) 452-4445  
BLUESURV@BLUERIGESURVEYING.COM
- By the review of available information, which is subject to map inaccuracies and scaling, this property is in Zone "C" of the Flood Insurance Rate Map Community Panel Number: 27155C01180 and 27155C01182 with an effective date of April 12, 2012. Only an elevation certificate can determine the exact designation. Based on the information a portion of this property is located in a "SPECIAL FLOOD HAZARD".
- This survey is in compliance with standards of practice for the State of Tennessee, Board of Examiners for Land Surveyors, Chapter 0800-3. The error of closure for the unadjusted traverse is 1:110,000. This survey is classified as:
  - ☐ Urban and Suburban (Category I)
  - ☐ Suburban and Subdivision (Category II)
  - ☐ All Other Land Surveys (Category III)
- All construction and use of the proposed facility to meet the applicable performance standards as set forth in the City of Gallatin Zoning Ordinance Section 13.02.
- Current Zoning is "IR" Industrial Postflexive District.
- Existing use is vacant. Proposed use is Warehouse and Manufacturing.
- This subdivision is subject to the terms and conditions of the separately recorded stormwater inspection and maintenance agreement.



- LEGEND**
- ROAD PIN OR PIPE (P) / (PP) / (PPP)
  - SET IRON PIN (PIN)
  - ROAD MARKING (MARK)
  - SET MARKING (MARK)
  - PROPERTY LINE
  - SETBACK LINE
  - FLOOD (PUBLIC UTILITY AND DRAINAGE EASEMENT)
  - SENTRY GEMER WHIMPLE
  - WATER WADE
  - FIRE HYDRANT
  - LIGHT PALE
  - POWER PALE
  - BUY WIRE
  - STREET ADDRESS
  - (XX) LOT NUMBER

**CERTIFICATE OF OWNERSHIP AND RESIGNATION**  
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND BEING DIVIDED AS SHOWN IN RECORD BOOK 3377, PAGE 443 AND RECORD BOOK 3378, PAGE 443, AS SHOWN IN THIS PLAN OF RESUBDIVISION WITH MY FULL FREE CONSENT. I HEREBY RESIGN MY INTEREST IN THE LAND AND THIS DIVISION OF PROPERTY TO THE PUBLIC IN THE MANNER AND IN THE MANNER AS SHOWN IN THIS PLAN OF RESUBDIVISION. I HAVE BEEN ADVISED BY THE GALLATIN MUNICIPAL RECORDS DEPARTMENT THAT ALL NECESSARY RECORDS HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL RECORDS DEPARTMENT.

12-23-14 *Odric Gregory*  
OWNER

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS**  
I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL RESUBDIVISION PLAT ENTERED UNDER RECORD BOOK 3377, PAGE 443 AND RECORD BOOK 3378, PAGE 443, HAVE BEEN PROVIDED TO ALL APPLICABLE LOCAL AND STATE AGENCIES FOR APPROVAL AND THAT ALL NECESSARY RECORDS HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL RECORDS DEPARTMENT.

12/23/14 *David H. Hays*  
SUPERINTENDENT OF PUBLIC UTILITIES

**CERTIFICATE OF APPROVAL FOR RECORDING**  
I HEREBY CERTIFY THAT THE RESUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL RECORDS DEPARTMENT REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE RESULTS OF THE RECORDING COMMISSION, AND THAT IT HAS BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL RECORDS DEPARTMENT.

1-9-15 *DD*  
CHAIRMAN'S RETAIL

**CERTIFICATE OF ACCURACY**  
I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF TENNESSEE. I HAVE BEEN ADVISED BY THE GALLATIN MUNICIPAL RECORDS DEPARTMENT THAT ALL NECESSARY RECORDS HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL RECORDS DEPARTMENT.

12/19/14 *John C. Hays*  
SUPERINTENDENT OF PUBLIC UTILITIES

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**  
I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL RESUBDIVISION PLAT ENTERED UNDER RECORD BOOK 3377, PAGE 443 AND RECORD BOOK 3378, PAGE 443, HAVE BEEN PROVIDED TO ALL APPLICABLE LOCAL AND STATE AGENCIES FOR APPROVAL AND THAT ALL NECESSARY RECORDS HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL RECORDS DEPARTMENT.

12/23/14 *David H. Hays*  
SUPERINTENDENT OF PUBLIC UTILITIES

**ODRIC GREGORY INDUSTRIAL PARK  
PHASE FOUR  
FINAL PLAT**

RESUBDIVISION OF LOT 11 OF PHASE 3  
HOPE COURT AND CAROLINE WAY  
GALLATIN, SUMNER COUNTY, TENNESSEE  
DATE OF SURVEY: MAY 6, 2014  
DATE OF DRAWING: DECEMBER 19, 2014

OWNER / DEVELOPER  
**GREGORY REAL ESTATE, LLC**  
145 ZIEGLERS FORT ROAD  
GALLATIN, TENNESSEE 37066  
(615) 452-4012



ENTERED  
John C. Hays  
Property Registrar  
JAN 13 2015

Map, Op, Ch, Pcr

Reg #:	047713	Instrument #:	11065521
Fee:	13.00	Recorded:	
State:	0.00	1/12/2015 at 11:19 AM	
Class:	0.00	in Plat Book	
Object:	2.00		
Total:	17.00		

Fgs 301-301

**Performance Surety Estimate**

Date: 9/4/14  
By: BDS

PC/BZA #: PC0293-14

Subdivision Name: Odric Gregory Industrial Park Lot 1 Phase 4

**Road Specifications**

ROAD NAME	LENGTH (ft)	WIDTH (ft)	CUL - DE - SAC RADIUS (ft)	BASE STONE (in)	A MIX (in)	BMOD (in)	TOPPING (in)	R.O.W (ft)
Caroline Way	550	26	50	10	0	3	2.0	50

**Roadway**

Description	Unit Price	Estimated Quantity	Cost	% Complete	Cost To Complete
Aggregate-Type A Base					
Grading D (TON)	\$30.00	1415	\$42,454	100%	\$0.00
A-Mix (TON)	\$65.00	0	\$0	0%	\$0.00
Prime Coat (TON)	\$550.00	3	\$1,661	100%	\$0.00
Blinder-B-Mod (TON)	\$75.00	425	\$31,841	100%	\$0.00
Tack Coat (TON)	\$400.00	1	\$410	0%	\$410.19
Asphalt Surface Coarse D (TON)	\$100.00	283	\$28,303	0%	\$28,302.78
Clearing and Grubbing (AC)	\$15,000.00	0.58	\$8,700.00	100%	\$0.00
Strip Topsoil (CY)	\$8.75	654.63	\$5,728.01	100%	\$0.00
Roadway Excavation (CY)	\$4.05	1294.07	\$5,240.97	100%	\$0.00
Staking (AC)	\$2,000.00	0.58	\$1,160.00	100%	\$0.00
Mobilization (LS)	\$6,000.00	1.00	\$6,000.00	0%	\$6,000.00
6' Sidewalk (LF)	\$30.00	0	\$0.00	0%	\$0.00
5' Sidewalk (LF)	\$25.00	0	\$0.00	0%	\$0.00
5' Stamped Sidewalk (LF)	\$41.00	0	\$0.00	0%	\$0.00
Detectable Warning Surface (EA)	\$175.00	0	\$0.00	0%	\$0.00
Extruded Curb (LF)	\$15.00	1414	\$21,212.39	100%	\$0.00
Curb and Gutter (LF)	\$16.00	0	\$0.00	0%	\$0.00
Post Curb (LF)	\$20.00	0	\$0.00	0%	\$0.00
Concrete Monuments (EA)	\$75.00	0	\$0.00	0%	\$0.00

<b>Total Cost:</b>	<b>\$152,910.34</b>	<b>Cost To Complete:</b>	<b>\$34,712.96</b>
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**Repair Areas**

Description	Unit Price	Quantity	Cost	% Complete	Cost to Complete
Extruded Curb Replacement (LF)	\$17.00	0	\$0	0%	\$0.00
Curb and Gutter Replacement (LF)	\$5.00	0	\$0	0%	\$0.00
Sidewalk Replacement (SF)	\$23.00	0	\$0	0%	\$0.00
Full Depth Pavement Repair (Ton)	\$120.00	0	\$0	0%	\$0.00
Binder Repair (Ton)	\$80.00	0	\$0	0%	\$0.00

<b>Total Repair Cost:</b>	\$0	<b>Cost To Complete:</b>	\$0
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**Comments:**

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Total Project Cost(110%)=

Cost To Complete(110%)=

15% of Principal Amount=

Maintenance Bond Amount =   
(10% Total Project Cost)

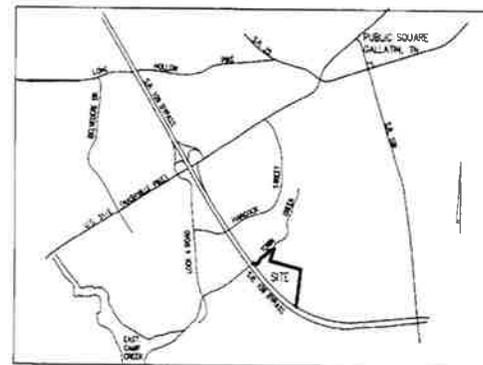
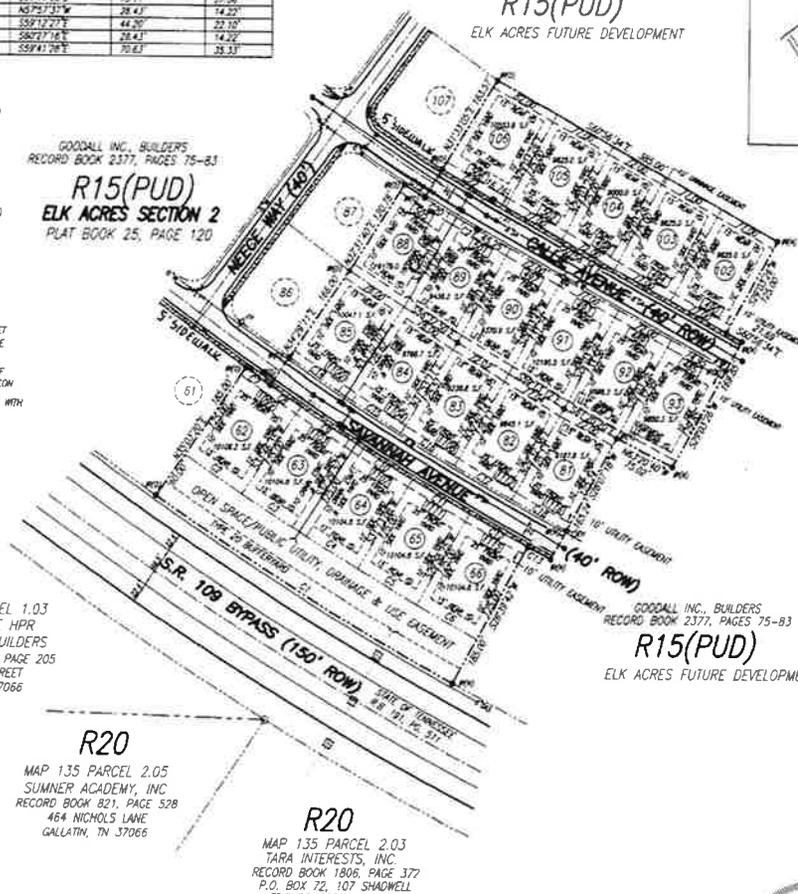
**Updates:**

NAME	DATE	UPDATE	OLD AMOUNT	UPDATED AMOUNT
Buck	1/7/2015	Updated surety based on work complete. Currently has 300 feet of roadway with subgrade and basestone.	\$175,000	\$131,000
ASH	12/4/2015	Updated surety based on work completed. Binder and curb is in.	\$131,000	\$41,000

CURVE	DELTA ANGLE	RAIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	0°16'35"	3744.72	417.90	S59°28'20"E	417.90	209.17
C2	0°17'16.43"	3684.72	82.33	S55°25'02"E	82.33	41.14
C3	0°17'16.43"	3684.72	82.33	S55°14'17"E	82.33	41.12
C4	0°17'16.43"	3684.72	82.33	S50°08'10"E	82.33	41.12
C5	0°17'16.43"	3684.72	82.33	S59°29'13"E	82.33	41.12
C6	0°17'16.43"	3684.72	82.33	N60°41'57"W	82.33	41.12
C7	0°23'49"	3559.72	33.36	N55°13'42"W	33.36	17.88
C8	0°24'12.04"	3559.72	44.71	N55°13'03"W	44.71	22.06
C9	0°17'16.43"	3559.72	79.44	S58°08'50"E	79.44	39.72
C10	0°17'16.43"	3559.72	79.44	S58°08'50"E	79.44	39.72
C11	0°17'16.43"	3559.72	79.44	N59°23'13"W	79.44	39.72
C12	0°17'16.43"	3559.72	79.44	N60°41'57"W	79.44	39.72
C13	0°27'52.58"	3559.72	44.71	S57°35'52"E	44.71	22.06
C14	0°17'19.01"	3519.72	82.33	S58°17'02"E	82.33	40.25
C15	0°17'16.58"	3519.72	78.81	S57°18'18"E	78.81	39.41
C16	0°17'16.58"	3519.72	78.81	S56°43'17"E	78.81	37.35
C17	0°17'16.58"	3519.72	78.81	N59°23'13"W	78.81	37.35
C18	0°17'16.58"	3519.72	78.81	N60°41'57"W	78.81	37.35
C19	0°27'52.58"	3519.72	44.71	S57°14'36"E	44.71	22.06
C20	0°27'52.58"	3519.72	44.71	N57°14'36"E	44.71	22.06
C21	0°17'31.04"	3488.52	44.20	S59°17'22"E	44.20	22.10
C22	0°27'52.58"	3488.52	44.20	S58°27'16"E	44.20	22.10
C23	0°27'52.58"	3488.52	44.20	S59°41'28"E	44.20	22.10

GOODALL INC., BUILDERS  
RECORD BOOK 2377, PAGES 75-83  
**R15(PUD)**  
ELK ACRES FUTURE DEVELOPMENT

- NOTES:
- BEARINGS ARE CORRELATED TO PLAT NORTH ELK ACRES SECTION ONE IN PLAT BOOK 16, PAGE 103 R.O.S.C.T.
  - SUBJECT PROPERTY DOES NOT LIE IN A FEMA/FIRM "SPECIAL FLOOD HAZARD AREA" PER MAP NUMBER 4176SC0427E DATED SEPTEMBER 20, 2006.
  - ALL DISTANCES ARE IN U.S. FEET.
  - CONCRETE MONUMENTS SHOWN THIS: (■) (MRO) DEPICTS IRON ROD (OLD) (MRO) DEPICTS IRON ROD (NEW). ALL NEW LOTS CORNERS MARKED WITH IRON RODS (NEW).
  - GEOTECHNICAL EVALUATIONS OF ANY DEPRESSIONS SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF SHADING OR BUILDING PERMITS IN THE AFFECTED AREAS.
  - THE OWNER/DEVELOPER SHALL HAVE THE PRINCIPAL RESPONSIBILITY FOR THE DEVELOPMENT OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
  - ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
  - THIS IS A CATEGORY 1 SURVEY, AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1:10,000 AS SHOWN HEREON.
  - ALL EASEMENTS SHALL BE CONSIDERED "PUBLIC" IN ACCORDANCE WITH THE CITY OF GALLATIN SUBDIVISION REGULATIONS.
  - OPEN SPACES AND DETENTION AREAS ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.



VICINITY MAP NTS

SECTION 3A SITE DATA TABLE

OWNER: GOODALL INC., BUILDERS  
DBA: GOODALL HOMES & COMMUNITIES  
RECORD BOOK 2377, PAGES 75-83  
LOTS: 21 ONE-FAMILY DETACHED RESIDENTIAL LOTS  
ZONING: R15(PUD)  
AREA: 6.01 ACRES  
MAP 135 PART OF PARCEL 1.04  
ADDRESS: SAVANNAH AVENUE AND CALLIE AVENUE  
YARD REQUIREMENTS:  
FRONT: 25'  
SIDE: 10'  
REAR: 15'  
TOTAL ROW AREA: 0.74 ACRE  
TOTAL OPEN SPACE: 0.57 ACRE  
TO BE OWNED AND MAINTAINED BY THE ELK ACRES HOMEOWNER'S ASSOCIATION  
MAX. FLOOR AREA: 21 x 2000 = 0.56 ACRES  
BUILDING HEIGHT: 1 & 2 STORY (MAXIMUM HEIGHT: 35')  
LOT WIDTH RANGE: 72'-87'4"  
LOT AREA RANGE: 8,000 S.F.-11,512 S.F.  
EXISTING USE: VACANT  
PROPOSED USE: ONE-FAMILY DETACHED  
OVERALL DENSITY: 3.5 UNITS/ACRE  
GROUND COVERAGE: GRASS

CERTIFICATE OF OWNERSHIP AND DEDICATION  
I (we) hereby certify that I am (we are), the owner(s) of the property shown and described herein as evidenced in book number 2377 page 75-83, County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction, lines, and that all other specifications of public use or public roads, utilities, and other facilities have been filed as required by the Galatin Municipal-Regional Subdivision Regulations.

Date: 3-28-10 By: [Signature]  
Title: President  
Goodall Inc., Builders

CERTIFICATE OF ACCURACY  
I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Galatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown hereon, to the specifications of these regulations; that the survey, shown hereon meets the requirements of a "Category 1" survey and the ratio of precision of the unadjusted survey is at least 1:10,000 as set forth in the Standards of Practice for Land Surveyors in Tennessee.

Date: 3/18/2010 By: [Signature]

CERTIFICATE OF APPROVAL OR BONDING OF ROADS  
I hereby certify (1) that all designated roads on this final subdivision plan have been installed in an acceptable manner and according to the specifications of the Galatin Municipal-Regional Subdivision Regulations, or (2) that a performance bond has been posted with the Planning Commission to assure completion of approved improvements in accordance with the specifications.

Date: 05/26/10 By: [Signature]

CERTIFICATE OF APPROVAL OF WATER SYSTEMS  
I hereby certify that the water systems outlined or indicated on the final subdivision plan entitled: ELK ACRES SECTION 3A have been installed in accordance with current local and state government requirements or standards. Bonds or other has been filed which will guarantee said installation.

Date: 3-23-10 By: [Signature]

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS  
I hereby certify that the sewer systems outlined or indicated on the final subdivision plan entitled: ELK ACRES SECTION 3A have been installed in accordance with current local and state government requirements or standards. Bonds or other has been filed which will guarantee said installation.

Date: 3-23-10 By: [Signature]

CERTIFICATE OF COMMON AREAS DEDICATION  
GOODALL INC., BUILDERS in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in ELK ACRES SECTION 3A for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common good and enjoyment of the homeowners in ELK ACRES SECTION 3A as more fully provided in Article II Declaration of Covenants, Conditions and Restrictions, applicable to ELK ACRES (PLANNED UNIT DEVELOPMENT), dated 9/26/10, and recorded in Record Book 2355L, Page 123-125. Said Article II is hereby incorporated and made part of this plat.

Date: 3-23-10 By: [Signature]

CERTIFICATE OF APPROVAL FOR RECORDING  
I hereby certify that the subdivision plat shown hereon has been found to comply with the Galatin Municipal-Regional Subdivision Regulations, with the exception of such provisions, if any, as are noted in the minutes of the planning commission, and that it has been approved for recording in the office of the county register.

Date: 3-31-10 By: [Signature]  
Date: 3-29-10 By: [Signature]

THE PURPOSE OF THIS PLAT IS TO CREATE 21 NEW ONE-FAMILY DETACHED RESIDENTIAL LOTS.

FINAL PLAT  
**ELK ACRES**  
SECTION 3A

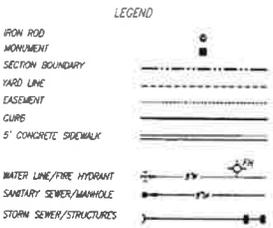
SAVANNAH AVENUE AND CALLIE AVENUE  
THIRD CIVIL DISTRICT  
GALLATIN, SUMNER COUNTY, TENNESSEE  
GOODALL INC., BUILDERS  
DBA: GOODALL HOMES & COMMUNITIES  
OWNER/DEVELOPER  
393 MAPLE STREET  
GALLATIN, TN 37066

SCALE: 1" = 100' DATE: MARCH 18, 2010

MRO  
MAP 135 PARCEL 1.03  
LENOX PLACE HPR  
GOODALL, INC. BUILDERS  
RECORD BOOK 2099, PAGE 205  
393 MAPLE STREET  
GALLATIN, TN 37066

R20  
MAP 135 PARCEL 2.05  
SUMNER ACADEMY, INC  
RECORD BOOK 821, PAGE 528  
464 NICHOLS LANE  
GALLATIN, TN 37066

R20  
MAP 135 PARCEL 2.03  
TARA INTERESTS, INC.  
RECORD BOOK 1806, PAGE 377  
P.O. BOX 72, 107 SHADWELL  
FRIENDSWOOD, TN 37749

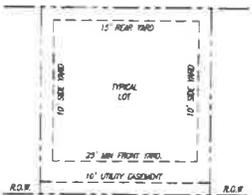


Item	Quantity	Unit	Amount
Plan	1	Sheet	1.00
Survey	1	Sheet	1.00
Drawings	1	Sheet	1.00
Printing	1	Sheet	1.00
Total	4	Sheet	4.00

THE CUMMINGS GROUP, INC.  
5574 POWELL SULLIVAN ROAD  
FRANKLIN, TN 37064  
(615) 415-1764  
jmcsvrsvr@gmail.com  
JOB NO. 05-1040



RECORD NORTH  
EMBERED  
John C. Leibel  
Property Assessor  
APR 1 2010  
Map Op. Cl. Per.



1. ALL SIDE YARDS ARE 30' IN CORNER LOTS AT SIDE STREET  
2. 10' UTILITY EASEMENT FRONTS ON ALL SIDE YARDS ADJACENT TO ROADSIDE





# City of Gallatin

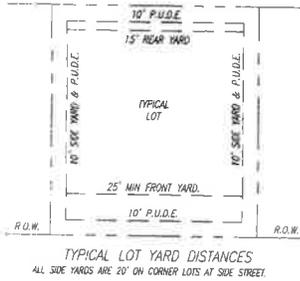
## Planning Department

### Inspection Report

**SITE/DEVELOPMENT** Elk Acres **FILE #** 8-34-07  
**PHASE/SECTION** Section 3 **BUILDING/UNIT** \_\_\_\_\_

<b>BUILDING FACADE/ELEVATIONS</b>		
Date of Inspection:	10/25/2013	Type of Inspections: <span style="float: right;">Passed:</span>
Observations: 12/19/11: Lots are being developed. 10/23/12: Lots are nearly built out. 10/25/13: Built out		
<b>LANDSCAPING</b>		
Date of Inspection:	08/28/2015	Type of Inspections: Bond <span style="float: right;">Passed: No</span>
Observations: 01/25/11: Failed-need to install landscaping. 12/19/11: Substantial Incomplete-Landscaping installed in rear (south) bufferyard (Lots 62 thru 73). Landscaping not installed in side (east) bufferyard. 10/23/12, 10/25/13, 12/04/14 and 08/28/15: Substantial Incomplete- Landscaping not installed in side (east) bufferyard.		
<b>PARKING SPACES/STRIPING/PAVING</b>		
Date of Inspection:		Type of Inspections: <span style="float: right;">Passed:</span>
Observations: N/A		
<b>SIDEWALKS</b>		
Date of Inspection:	08/28/2015	Type of Inspections: Bond <span style="float: right;">Passed: No</span>
Observations: 10/23/12: Substantial Incomplete-Sidewalks along Lot 74, open space, between Lots 97 and 98, and between Lots 99 and 100 need to be installed prior to any street acceptance and any surety to be released. 10/25/13, 12/04/14 and 08/28/15: Substantial Incomplete-sidewalk along Lot 74 and open space (east boundary) not installed.		
<b>DRAINAGE/BASINS</b>		
Date of Inspection:		Type of Inspections: <span style="float: right;">Passed:</span>
Observations: N/A		
<b>LIGHTING PLAN</b>		
Date of Inspection:		Type of Inspections: <span style="float: right;">Passed:</span>
Observations: N/A		
<b>SIGNS</b>		
Date of Inspection:		Type of Inspections: <span style="float: right;">Passed:</span>
Observations: N/A		
<b>FENCE</b>		
Date of Inspection:	01/25/2011	Type of Inspections: <span style="float: right;">Passed:</span>
Observations: Applicant installed wood fence located along Highway 109. This was not a requirement from Planning Commission. Applicant still has to install landscaping in bufferyards.		
<b>ACTION</b>		

Inspected by	Robert Kalisz, Planner I	Office #	615-451-5796
		Cell #	615-815-9708



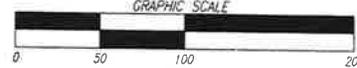
Parallels 5, Whiskey Register  
Sumner County Tennessee # 1034250

Area	179.89
Perimeter	1213.82
Curve	27
Volume	27
TOTAL	32.25

Pgs 244-245

RIGHT-OF-WAY CURVE DATA

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
R1	00°39'28"	4352.91'	52.27'	S35°27'34"W	52.27'	26.14'
R2	89°06'35"	25.00'	38.88'	N79°41'07"E	35.08'	24.61'
R3	02°41'19"	1378.52'	64.69'	N57°06'15"W	64.68'	32.35'
R4	02°28'39"	1378.52'	60.01'	N59°41'44"W	60.01'	30.01'
R5	53°07'48"	25.00'	23.18'	S 34°22'40" E	22.36'	12.50'
R6	31°04'39"	50.00'	27.12'	N 23°21'05" W	26.79'	13.90'
R7	59°07'53"	50.00'	51.60'	N 68°27'21" W	49.34'	28.36'
R8	41°22'55"	50.00'	36.11'	S 49°44'54" W	35.33'	18.88'
R9	54°19'14"	50.00'	47.40'	S 01°53'49" W	45.65'	25.65'
R10	88°48'04"	50.00'	77.49'	S 69°40'21" E	69.97'	48.96'
R11	50°49'27"	25.00'	22.18'	N 88°39'40" W	21.46'	11.88'
R12	02°18'23"	25.00'	1.01'	N 62°05'45" W	1.01'	0.50'
R13	01°44'40"	1338.52'	40.75'	N 67°04'14" W	40.75'	20.38'
R14	03°22'39"	1338.52'	78.90'	N 57°30'34" W	78.89'	39.46'
R15	90°57'05"	25.00'	39.69'	N10°20'43"W	35.65'	25.42'



GOODALL INC., BUILDERS  
RECORD BOOK 2377, PAGES 75-83  
**R15(PUD)**  
ELK ACRES FUTURE DEVELOPMENT

CERTIFICATE OF OWNERSHIP AND DEDICATION  
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in book number 2377, page 75-83, County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities, have been filed as required by the Galatin Municipal-Regional Subdivision Regulations.  
Date: 11-13-12 Owner: GG  
ROBERT R. GOODALL  
Title: President-GOODALL INC. BUILDERS

CERTIFICATE OF ACCURACY  
I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Galatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown herein, to the specifications in these regulations. That the survey shown herein meets the requirements of a "Category 1" survey and the ratio of precision of the unadjusted survey is at least 1:7500 as set forth in the Standards of Practice for Land Surveyors in Tennessee.  
Date: 7-24-2012 By: M. Cummins  
J. ALAN CUMMINGS, TN L.S. 2351

CERTIFICATE OF APPROVAL OF WATER SYSTEMS  
I hereby certify that the water systems outlined or indicated on the final subdivision plat entitled ELK ACRES SECTION 4 have been installed in accordance with current local and State government requirements or a sufficient security of cash has been filed which will guarantee said installation.  
Date: 11-30-2012 By: Clark H. Beyer  
Superintendent of Public Utilities

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS  
I hereby certify that the sewer systems outlined or indicated on the final subdivision plat entitled ELK ACRES SECTION 4 have been installed in accordance with current local and State government requirements or a sufficient security of cash has been filed which will guarantee said installation.  
Date: 11-30-2012 By: Clark H. Beyer  
Superintendent of Public Utilities

CERTIFICATE OF APPROVAL OR SURETY FOR COMPLETION OF ROADS  
I hereby certify (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Galatin Municipal-Regional Subdivision Regulations, or (2) that a performance surety has been posted with the Planning Commission to assure completion of all required improvements in case of default.  
Date: 12/2/12 By: [Signature]  
City Engineer

CERTIFICATE OF COMMON AREAS DEDICATION  
GOODALL INC., BUILDERS in recording this plat has designated certain areas of land shown herein as common areas intended for use by the homeowners in ELK ACRES SECTION 4 for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in ELK ACRES SECTION 4 as more fully provided Article 1 Declaration of Covenant, Conditions and Restrictions, applicable to ELK ACRES (PLANNED UNIT DEVELOPMENT), dated \_\_\_\_\_, page \_\_\_\_\_, and recorded in Record Book \_\_\_\_\_, part of this plat. Said Deed is hereby incorporated and made a part of this plat.  
Date: 11-13-12 By: Bob Goodall - President

CERTIFICATE OF APPROVAL FOR RECORDING  
I hereby certify that the subdivision plat shown herein has been found to comply with the Galatin Municipal-Regional Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the planning commission, and that it has been approved for recording in the office of the county register.  
Date: 12-13-12 By: Judy Wilson  
Sec'y, Planning Commission  
Date: 12-12-12 By: PP  
Chairman's Initials

SEE SHEET 1 FOR LOCATION MAP, SITE DATA AND GENERAL NOTES.

**R20/R15**  
THE PURPOSE OF THIS PLAT IS TO CREATE 31 NEW ONE-FAMILY DETACHED RESIDENTIAL LOTS AND DEDICATE 1.47 ACRES OF NEW PUBLIC RIGHT-OF-WAY.

MAP 135 PARCEL 2  
JAMES M. PATTERSON ET UX,  
MARGARET PATTERSON  
RECORD BOOK: 1221, PAGE 107

**FINAL PLAT  
ELK ACRES  
SECTION 4**

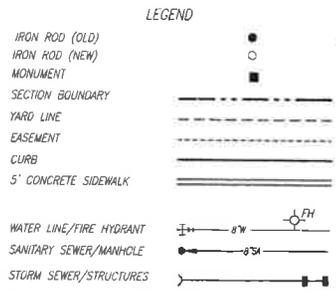
A PLANNED UNIT DEVELOPMENT  
CAMPBELL AVENUE & NEECE WAY  
THIRD CIVIL DISTRICT  
GALLATIN, SUMNER COUNTY, TENNESSEE  
GOODALL INC., BUILDERS  
DBA: GOODALL HOMES & COMMUNITIES  
OWNER/DEVELOPER  
393 MAPLE STREET  
GALLATIN, TN 37066

WITNESSED  
John C. Hubbell  
Property Assessor  
JUL 13 2012  
Map\_Op\_Cal\_Par

SCALE: 1" = 50'  
DATE: JULY 24, 2012  
CRAWFORD & CUMMINGS, PC  
1929 21ST AVENUE SOUTH  
NASHVILLE, TN 37212  
(615) 292-2661



CRAWFORD & CUMMINGS, PC  
1929 21ST AVENUE SOUTH  
NASHVILLE, TN 37212  
(615) 292-2661



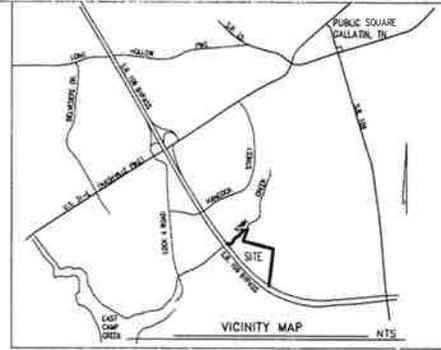
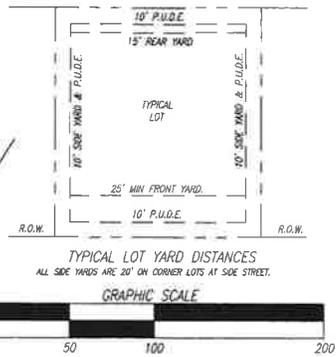
ELK ACRES SECTION 3B  
PLAT BOOK , PAGE  
**R15(PUD)**

ELK ACRES SECTION 2  
PLAT BOOK 25, PAGE 120  
**R15(PUD)**

**R15(PUD)**  
ELK ACRES SECTION 3A  
PLAT BOOK 25, PAGE 310

ELK ACRES SECTION 3B  
PLAT BOOK , PAGE  
**R15(PUD)**

Sumner County Register  
 Instrument # 1034250  
 Rec # 797079  
 State 3 30  
 Date 12/13/2012 AT 1:45 PM  
 Book 1037  
 Page 27  
 Total 31 30  
 Pgs 244-245



**SECTION 4 SITE DATA TABLE**  
 OWNER: GOODALL INC., BUILDERS  
 DBA: GOODALL HOMES & COMMUNITIES  
 RECORD BOOK 2377, PAGES 75-83  
 LOTS: 31 ONE-FAMILY DETACHED RESIDENTIAL LOTS  
 ZONING: R15(PUD)  
 AREA: 9.09 ACRES  
 MAP 135 PART OF PARCELS 1.04 & 2.04  
 ADDRESS: CAMPBELL AVENUE  
 YARD REQUIREMENTS:  
 FRONT: 25'  
 SIDE: 10'  
 REAR: 15'  
 TOTAL ROW AREA: 1.47 ACRE  
 TOTAL OPEN SPACE: 0.29 ACRES  
 TO BE OWNED AND MAINTAINED BY THE ELK ACRES  
 HOMEOWNER'S ASSOCIATION  
 MAX. FLOOR AREA: 31 x 2000 = 1.42 ACRES  
 BUILDING HEIGHT: 1 & 2 STORY (MAXIMUM HEIGHT: 35')  
 LOT WIDTH RANGE: 45'-117'  
 LOT AREA RANGE: 8,993 S.F.-14,866 S.F.  
 EXISTING USE: VACANT  
 PROPOSED USE: ONE-FAMILY DETACHED  
 OVERALL DENSITY: 3.4 UNITS/ACRE  
 GROUND COVER: GRASS  
 PLAT PREPARED BY:  
 CRAWFORD & CUMMINGS, PC  
 1929 21ST AVENUE SOUTH  
 NASHVILLE, TN 37212  
 DATE OF PREPARATION: JULY 24, 2012

**CERTIFICATE OF OWNERSHIP AND DEDICATION**  
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in book number 2377, page 75-83, County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.  
 Date: 11-13-12 Owner: ROBERT H. GOODALL  
 Title: PRESIDENT-GOODALL INC., BUILDERS

**CERTIFICATE OF ACCURACY**  
 I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown hereon, to the specifications in these regulations. That the survey shown hereon meets the requirements of a "Category 1" survey and the ratio of precision of the unadjusted survey is at least 1:7500 as set forth in the Standards of Practice for Land Surveyors in Tennessee.  
 Date: 7-24-2012 By: J. Alan Cummings, PLS 2351

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS**  
 I hereby certify that the water systems outlined or indicated on the final subdivision plat entitled ELK ACRES SECTION 4 have been installed in accordance with current local and State government requirements or a sufficient Surety or bond has been filed which will guarantee said installation.  
 Water System: 11-30-2012 Date: 11-30-2012  
 Superintendent of Public Utilities: Carol H. Seay

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**  
 I hereby certify that the sewer systems outlined or indicated on the final subdivision plat entitled ELK ACRES SECTION 4 have been installed in accordance with current local and State government requirements or a sufficient Surety or bond has been filed which will guarantee said installation.  
 Sewer System: 11-30-2012 Date: 11-30-2012  
 Superintendent of Public Utilities: Carol H. Seay

**CERTIFICATE OF APPROVAL ON SURETY FOR COMPLETION OF ROADS**  
 I hereby certify: (1) that all designated areas on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance surety has been posted with the Planning Commission to assure completion of all required improvements in case of default.  
 City Engineer: [Signature] Date: 12/12/12

**CERTIFICATE OF COMMON AREAS DEDICATION**  
 GOODALL, INC., BUILDERS in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in ELK ACRES, SECTION 4 for recreation and related activities. The above designated areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in ELK ACRES SECTION 4 as more fully provided Article II Declaration of Covenant, Conditions and Restrictions, applicable to ELK ACRES (PLANNED UNIT DEVELOPMENT), dated \_\_\_\_\_ and recorded in Record Book \_\_\_\_\_ page \_\_\_\_\_  
 Solid Deed is hereby incorporated and made part of this plat.  
 Date: 11-13-12 By: Bob Goodall - President

**CERTIFICATE OF APPROVAL FOR RECORDING**  
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the planning commission, and that it has been approved for recording in the office of the county Register.  
 Date: 12-12-12 By: [Signature]  
 Date: 12-12-12 By: [Signature]  
 Chairman of the Planning Commission

THE PURPOSE OF THIS PLAT IS TO CREATE 31 NEW ONE-FAMILY DETACHED RESIDENTIAL LOTS AND DEDICATE 1.47 ACRES OF NEW PUBLIC RIGHT-OF-WAY.

**FINAL PLAT  
 ELK ACRES  
 SECTION 4**

A PLANNED UNIT DEVELOPMENT  
 CAMPBELL AVENUE & NEECE WAY  
 THIRD CIVIL DISTRICT  
 GALLATIN, SUMNER COUNTY, TENNESSEE  
 GOODALL INC., BUILDERS  
 DBA: GOODALL HOMES & COMMUNITIES  
 OWNER/DEVELOPER  
 393 MAPLE STREET  
 GALLATIN, TN 37066

SCALE: 1" = 50' DATE: JULY 24, 2012  
 CRAWFORD & CUMMINGS, PC  
 1929 21ST AVENUE SOUTH  
 NASHVILLE, TN 37212  
 (615) 292-2661



**LEGEND**

- IRON ROD (OLD)
- IRON ROD (NEW)
- MONUMENT
- SECTION BOUNDARY
- YARD LINE
- EASEMENT
- CURB
- 5' CONCRETE SIDEWALK
- WATER LINE/FIRE HYDRANT
- SANITARY SEWER/MANHOLE
- STORM SEWER/STRUCTURES
- E-111 ADDRESS

RIGHT-OF-WAY CURVE DATA

Station	Angle	Radius	Chord	Offset	Offset	
R16	97°58'33"	25.00'	40.53'	58'13"06"	36.26'	26.33'
R17	04°27'24"	1338.52'	86.32'	N69°42'36"	86.30'	46.15'
R18	00°29'54"	1338.52'	11.64'	N47°31'17"	11.64'	5.82'
R19	04°13'50"	853.02'	66.86'	N45°59'35"	66.84'	34.36'
R20	01°46'50"	853.02'	28.62'	N17°22'22"	28.62'	13.41'
R21	00°23'03"	2932.77'	19.71'	N41°07'34"	19.71'	9.86'
R22	00°11'55"	180.00'	6.86'	N38°50'29"	6.86'	3.43'
R23	01°14'30"	903.02'	19.05'	N17°32'18"	19.05'	9.50'
R24	04°53'13"	903.02'	77.02'	N45°35'10"	77.02'	39.54'
R25	00°14'11"	903.02'	1.62'	N47°09'04"	1.62'	0.81'
R26	00°18'52"	1378.52'	55.82'	N46°28'02"	55.82'	27.96'
R27	00°28'13"	1378.52'	59.43'	N20°50'29"	59.43'	29.82'
R28	07°12'56"	75.00'	38.05'	S08°38'17"E	34.49'	23.81'
R29	06°29'43"	4312.91'	52.14'	S32°27'41"	52.14'	26.07'



**Performance Surety Estimate**

Date: 11/22/12  
By: JZW

PC/BZA #: PC0022-12

Subdivision Name: Elk Acres Section 4

**Road Specifications**

ROAD NAME	LENGTH (ft)	WIDTH (ft)	CUL - DE - SAC RADIUS (ft)	BASE STONE (in)	A MIX (in)	BMOD (in)	TOPPING (in)	R.O.W (ft)
Campell Avenue	1225	20	40	6	0	2.5	1.5	40
Neece Way	300	20	40	6	0	2.5	1.5	40
Road Name	0	24	0	6	0	2.5	1.5	50
Road Name	0	24	0	6	0	2.5	1.5	50
Road Name	0	24	0	6	0	2.5	1.5	50
Road Name	0	24	0	6	0	2.5	1.5	50
Road Name	0	24	0	6	0	2.5	1.5	50
Road Name	0	24	0	6	0	2.5	1.5	50

**Roadway**

Description	Unit Price	Estimated Quantity	Cost	% Complete	Cost To Complete
Aggregate-Type A Base Grading D (TON)	\$33.00	1362	\$40,853	100%	\$0.00
A-Mix (TON)	\$95.00	0	\$0	0%	\$0.00
Prime Coat (TON)	\$550.00	5	\$2,985	100%	\$0.00
Blinder-B-Mod (TON)	\$85.00	567	\$42,555	100%	\$0.00
Tack Coat (TON)	\$400.00	2	\$658	100%	\$0.00
Asphalt Surface Coarse Grade D (TON)	\$100.00	340	\$34,044	100%	\$0.00
Clearing and Grubbing (AC)	\$15,000.00	0.97	\$14,550.00	100%	\$0.00
Strip Topsoil (CY)	\$8.75	1222.67	\$10,698.33	100%	\$0.00
Roadway Excavation (CY)	\$4.05	1905.17	\$7,715.92	100%	\$0.00
Slaking (AC)	\$2,000.00	0.97	\$1,940.00	100%	\$0.00
Mobilization (LS)	\$6,000.00	1.00	\$6,000.00	0%	\$6,000.00
6" Sidewalk (LF)	\$25.00	0	\$0.00	0%	\$0.00
5" Sidewalk (LF)	\$20.00	1685	\$39,700.00	82%	\$7,146.00
5" Stamped Sidewalk (LF)	\$41.00	0	\$0.00	0%	\$0.00
Detectable Warning Surface (EA)	\$175.00	3	\$525.00	0%	\$525.00
Extruded Curb (LF)	\$98.00	1625	\$22,875.00	100%	\$0.00
Curb and Gutter (LF)	\$16.00	0	\$0.00	0%	\$0.00
Post Curb (LF)	\$20.00	0	\$0.00	0%	\$0.00
Concrete Monuments (EA)	\$75.00	14	\$1,050.00	0%	\$1,050.00

Total Cost: \$226,148.34 Cost To Complete: \$14,721.00

**Street Signs and Markings**

Description	Price	Quantity	Cost	% Complete	Cost To Complete
(R1-1) Stop Sign and Post	\$95.00	2	\$190.00	100%	\$0.00
(D3) Street Name Signs (6"x36")	\$30.00	4	\$120.00	100%	\$0.00
Street Name Signs (9"x36") (Over 40 mph)	\$45.00	0	\$0.00	0%	\$0.00
(R2-1) Speed Limit Sign	\$75.00	0	\$0.00	0%	\$0.00
Temp Dead End Sign	\$95.00	1	\$95.00	0%	\$95.00
(W11-2) FYG Pedestrian Crosswalk	\$150.00	2	\$300.00	100%	\$0.00
(W16-7e) Arrow		2			
Installation of Owner Furnished Standard Signs	\$76.00	0	\$0.00	0%	\$0.00
Decorative Stop Sign (R1-1) w/ Street Names (D3)	\$1,040.00	0	\$0.00	0%	\$0.00
Decorative Sign	\$560.00	0	\$0.00	0%	\$0.00
Installation of Decorative Signs	\$300.00	0	\$0.00	0%	\$0.00
Stop Bar	\$200.00	2	\$400.00	100%	\$0.00
Pavement Markings (Arrows, Etc.)	\$250.00	0	\$0.00	0%	\$0.00
Crosswalk	\$800.00	2	\$1,600.00	0%	\$1,600.00
Single Line (LF)	\$1.60	0	\$0.00	0%	\$0.00
Double Line (LF)	\$3.00	0	\$0.00	0%	\$0.00

<b>Total Cost:</b>	<b>\$2,705.00</b>	<b>Cost To Complete:</b>	<b>\$1,695.00</b>
Sign Bill:	\$705.00		

**Stormwater and Erosion Control**

Description	Unit Price	Quantity	Cost	% Complete	Cost To Complete
Inlet/Junction Box (EA)	\$2,000	14	\$28,000.00	100%	\$0.00
Headwalls (EA)	\$1,000	5	\$5,000.00	100%	\$0.00
Pipe Culverts 15-24" (LF)	\$35	1,127	\$39,445.00	100%	\$0.00
Pipe Culverts 30"+ (LF)	\$50	0	\$0.00	0%	\$0.00
Ditches up to 2' bottom (LF)	\$18	1,200	\$21,000.00	75%	\$5,250.00
Detention Ponds w/ injection well (EA)	\$35,000	1	\$35,000.00	75%	\$8,750.00
Construction entrance (EA)	\$1,500	1	\$1,500.00	100%	\$0.00
Temporary stabilization (ACRE)	\$1,000	10	\$10,000.00	80%	\$2,000.00
Final Stabilization (Avg.) (ACRE)	\$2,000	5	\$10,000.00	80%	\$2,000.00
Sediment Basin (EA)	\$15,000	1	\$7,500.00	100%	\$0.00
Silt fence (LF)	\$2.50	2,500	\$6,250.00	100%	\$0.00
Silt Fence Wire Backing (LF)	\$4.50	0	\$0.00	0%	\$0.00
Check Dams (EA)	\$350	3	\$1,050.00	0%	\$1,050.00
Sand Bags (EA)	\$4.00	0	\$0.00	0%	\$0.00
Curb inlet protection (EA)	\$250	12	\$3,000.00	100%	\$0.00
Temporary EC Blanket (SY)	\$1.50	0	\$0.00	0%	\$0.00
Permanent EC Blanket (SY)	\$9.00	0	\$0.00	0%	\$0.00
Rip Rap (Ton)	\$18.00	100	\$1,800.00	0%	\$1,800.00

<b>Total Cost:</b>	<b>\$169,545.00</b>	<b>Cost To Complete:</b>	<b>\$20,850.00</b>
EC Bond:	\$45,000.00		

**Repair Areas**

Description	Unit Price	Quantity	Cost	% Complete	Cost to Complete
Extruded Curb Replacement (LF)	\$17.00	0	\$0	0%	\$0.00
Curb and Gutter Replacement (LF)	\$5.00	0	\$0	0%	\$0.00
Sidewalk Replacement (SF)	\$23.00	0	\$0	0%	\$0.00
Full Depth Pavement Repair (Ton)	\$100.00	12	\$1,176	0%	\$1,176.39
Binder Repair (Ton)	\$100.00	0	\$0	0%	\$0.00

<b>Total Repair Cost:</b>	<b>\$1,176</b>	<b>Cost To Complete:</b>	<b>\$1,176</b>
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**Comments:**

Total Project Cost(110%)= **\$437,800**

Cost To Complete(110%)= **\$42,000**

15% of Principal Amount= **\$65,000**

Maintenance Bond Amount = **\$43,800**  
(10% Total Project Cost)

**Updates:**

NAME	DATE	UPDATE	OLD AMOUNT	UPDATED AMOUNT
JZW	11/28/2012	Amount calculated for surety posting.		
JZW	6/17/2013	Update based on TDI inspection 6-17-2013 by RES.	\$437,000	\$318,000
Buck	12/18/2013	Developer requested reduction. Updated sidewalks, road failures, stabilization, detention pond and ditch work.	\$318,000	\$194,000
Buck	11/17/2014	Surety Update. Updated Sidewalks completion, storm, detention and EPSC measures.	\$194,000	\$132,000
Buck	11/17/2014	Surety update at the request of developer. Reduced to minimum	\$132,000	\$78,000
Buck	2/20/2014	15%. Developer has punch list for acceptance.	\$78,000	\$66,000

ASH

Surety update. Install 350 lf of sidewalk behind 1091 and 1092.  
10/5/2015 Surety remains at 15% Minimum

\$66,000

\$66,000

SITE

VICINITY MAP  
(N.T.S.)

**CLASS "A" SURVEY**

URBAN OR SUBURBAN  
DATE OF FIELD SURVEY  
MARCH 28, 2014

**TOTAL AREA OF SURVEY**

658,161 +/- SQ. FT.  
15.11 +/- ACRES

**LOT 1 NOTE:**

LOT 1 IS SUBJECT TO THE TERMS  
AND CONDITIONS OUTLINED IN THE  
STORM WATER INSPECTION AND  
MAINTENANCE AGREEMENT OF RB  
3924 PG 658 R.O.S.C., TN.

**ABANDONED UTILITIES NOTE:**

THE EXISTING WATER, SANITARY SEWER  
AND NATURAL GAS LINES BEING REMOVED  
AS SHOWN HEREON, ARE TO BE REMOVED  
BY THE OWNER/DEVELOPER OF THE ABC  
GROUP PROPERTIES, INC. PROPERTY.

**GPS NOTE**

THE SURVEY SHOWN HEREON IS BASED ON GPS DATA  
COLLECTED BY ACES USING BOTH STATIC AND RTK METHODS  
WITH DUAL FREQUENCY TOPCON HIPER GA (GGD) RECEIVERS.  
THE ENTIRETY OF THE DATA COLLECTED FOR THIS SURVEY  
WAS DONE SO THROUGH GPS MEANS WHEN ACCEPTABLE,  
AND BY CONVENTIONAL MEANS FROM GPS CONTROL POINTS,  
WHEN NECESSARY. RTK DATA WAS COLLECTED FOR ANY SITE  
FEATURES AND ALL CONTROL POINTS AND BOUNDARY  
INFORMATION WAS COLLECTED IN STATIC MODE WITH A HRMS  
OF 0.02" OR LESS. VECTORS AND/OR BASELINES HAVE BEEN  
CHECKED THROUGH STATIC OBSERVATIONS.

**BOUNDARY LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 62°47'50" W	73.81'
L2	N 62°47'50" W	90.43'
L3	S 17°00'17" E	95.27'
L4	N 02°12'08" E	90.87'

**BOUNDARY CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	24.99'	27.46'	25.12'	N 51°18'42" W	63°01'28"
C2	52.00'	114.33'	92.66'	N 62°47'54" W	125°50'43"
C3	24.99'	27.46'	25.12'	S 69°42'52" W	63°01'18"
C4	1195.92'	411.64'	409.42'	S 28°36'17" E	21°31'53"
C5	9779.56'	105.39'	105.39'	S 18°21'40" E	01°02'41"

**SURVEYOR'S CERTIFICATE**

I DO HEREBY CERTIFY THAT THE CATEGORY I SURVEY SHOWN HEREON WAS PERFORMED UNDER MY DIRECTION USING APPROPRIATE G.P.S. METHODS FOR MEASURING RECOVERED MONUMENTS AND ESTABLISHING SURVEY CONTROL AND/OR BY THE METHOD OF RANDOM TRAVERSE. CONVENTIONAL METHODS OF AND REDUNDANCY WERE EMPLOYED TO ENSURE THE QUALITY OF THE GPS DATA. THE UNADJUSTED MATHEMATICAL ERROR OF CLOSURE OF THE TRAVERSE AND THE THEORETICAL UNCERTAINTY OF THE CORNERS ESTABLISHED EXCEEDS THE SPECIFIED TOLERANCES SET FORTH BY THE STATE OF TENNESSEE. STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS FOR A SURVEY OF THIS CLASS IN CHAPTER 0600-03. THE BEARINGS AND DISTANCES SHOWN HEREON HAVE NOT BEEN ADJUSTED FOR CLOSURE. THE DATUM FOR THIS SURVEY IS GRID NORTH AS ESTABLISHED BY TENNESSEE STATE PLANE COORDINATES (SINGLE ZONE 4100, GEOID 09), TAKEN FROM STATIC GPS OBSERVATION.

Jeff Arnold, Registrar  
Sumner County Tennessee  
Reg. #: 830831  
Instruments: 1089955  
Status: 0.00  
Class: 0.00  
Other: 2.00  
Total: 32.00  
7/1/14  
DATE  
Pg 180-181

**PARCEL OWNER, ADDRESS, AND SOURCE OF TITLE**

ABC GROUP PROPERTIES, INC.  
400 ABC BLVD  
GALLATIN, TN 37088  
DEED BOOK 528 PAGE 883  
ABC GROUP PROPERTIES, INC.  
400 ABC BLVD.  
GALLATIN, TN 37088  
DEED BOOK 3840 PAGE 446

**LEGEND**

- BENCHMARK
- 5/8 IRON PIN W/ 1 1/4" PLASTIC CAP STAMPED "TURNER ENGINEERING" UNLESS OTHERWISE NOTED
- IRON PIN SET
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- ANCHOR
- UTILITY POLE
- SIGNAL POLE
- ELECTRIC BOX
- ELECTRIC METER
- GAS VALVE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- GAS METER
- TELEPHONE PEDESTAL
- STORM SEWER MANHOLE
- LAMP POLE
- MBSL MINIMUM BUILDING SETBACK LINE
- ESOL EACH SIDE OF LINE
- PUE PUBLIC UTILITY EASEMENT
- PUDE PUBLIC UTILITY & DRAINAGE EASEMENT
- PROPERTY LINE
- SETBACK LINE
- EASEMENTS
- LOT LINE ABANDONED
- CENTERLINE
- GAS LINE (TO BE REMOVED)
- GAS LINE
- GAS LINE (PROPOSED)
- OVERHEAD UTILITIES
- BURIED TELEPHONE
- SANITARY SEWER LINE (TO BE REMOVED)
- SANITARY SEWER LINE
- FORCE MAIN (TO BE REMOVED)
- FORCE MAIN
- SANITARY SEWER LINE (PROPOSED)
- FORCE MAIN (PROPOSED)
- WATER LINE
- WATER LINE (TO BE REMOVED)
- WATER LINE (PROPOSED)
- STORM SEWER LINE
- STORM SEWER LINE (PROPOSED)
- FENCE LINE
- DRAINAGE ESMT.



**ABC GROUP PROPERTIES, INC. SUBDIVISION FINAL PLAT**

ABC GROUP PROPERTIES, INC.  
400 ABC BLVD  
GALLATIN, TN 37066

DRAWN BY: B. HESTER	DATE: 6-27-2014	SCALE: 1" = 100'
CHECKED BY: J. ARNOLD	PROJECT NUMBER: 14507	
PREPARED BY:		



**ARNOLD CONSULTING ENGINEERING SERVICES, INC.**  
P.O. BOX 1338 BOWLING GREEN, KY 42101  
PHONE (270) 780-9445

Pamela L. Whitaker, Registered  
 Surveyor  
 Sumner County, Tennessee  
 Lic. No. 255831  
 Rec'd: 30.00  
 State: 0.00  
 Clerk: 0.00  
 Deputy: 2.00  
 Total: 32.00  
 Department #: 1000945  
 Received:  
 7/7/2014 at 2:04 PM  
 In Plat Book  
 28  
 Pgs 180-181

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED, AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.

[Signature]  
 LICENSED PROFESSIONAL LAND SURVEYOR  
 PLS# 255831  
 DATE 7/11/14

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS ENTERED IN DEED NUMBER 306 PAGE 383 AND DEED NUMBER 340 PAGE 446, AS RECORDED IN THE SUMNER COUNTY REGISTERS OFFICE, AND THAT I (WE) HEREBY ADMIT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM EASEMENT RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

[Signature]  
 ABC GROUP PROPERTIES, INC.  
 MARK POTTYEN, CO-CHAIRMAN  
 DATE 7/2/14

**CERTIFICATE OF APPROVAL OR SURETY FOR COMPLETION OF ROADS**

I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, OR (2) THAT A PERFORMANCE SURETY HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN THE CASE OF DEFAULT.

[Signature]  
 CITY ENGINEER  
 DATE 07/08/14

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPT OF SUCH VARIANCES, IF AN, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

7-7-14 [Signature]  
 SECRETARY, PLANNING COMMISSION  
 DATE  
 [Signature]  
 CHAIRMAN'S INITIALS  
 DATE 7-7-14

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED ABC GROUP PROPERTIES, INC. SUBDIVISION, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT SURETY, OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

[Signature]  
 SUPERINTENDENT OF PUBLIC UTILITIES  
 SEWER SYSTEMS  
 DATE 7-2-14

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS**

I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED ABC GROUP PROPERTIES, INC. SUBDIVISION, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT SURETY, OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

[Signature]  
 SUPERINTENDENT OF PUBLIC UTILITIES  
 WATER SYSTEM  
 DATE 7-2-14

**LEGEND**

- ◆ BENCHMARK
- 5/8 IRON PIN W/ 1 1/4" PLASTIC CAP STAMPED "TURNER ENGINEERING" UNLESS OTHERWISE NOTED
- IRON PIN SET
- ⊗ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER CLEAN OUT
- ⊕ ANCHOR
- UTILITY POLE
- SIGNAL POLE
- ⊞ ELECTRIC BOX
- ⊞ ELECTRIC METER
- ⊞ GAS VALVE
- ⊞ WATER VALVE
- ⊞ WATER METER
- ⊞ FIRE HYDRANT
- ⊞ GAS METER
- ⊞ TELEPHONE PEDESTAL
- ⊞ STORM SEWER MANHOLE
- ☀ LAMP POLE
- MBSL MINIMUM BUILDING SETBACK LINE EACH SIDE OF LINE
- ESOL PUBLIC UTILITY EASEMENT
- PUE PUBLIC UTILITY & DRAINAGE EASEMENT

- PROPERTY LINE
- SETBACK LINE
- EASEMENTS
- LOT LINE ABANDONED
- CENTERLINE
- G GAS LINE (TO BE REMOVED)
- G-EX GAS LINE
- G-PR GAS LINE (PROPOSED)
- OH OVERHEAD UTILITIES
- T BURIED TELEPHONE
- S SANITARY SEWER LINE (TO BE REMOVED)
- FM FORCE MAIN (TO BE REMOVED)
- SS-EX SANITARY SEWER LINE
- FM-EX FORCE MAIN
- SS-PR SANITARY SEWER LINE (PROPOSED)
- FM-PR FORCE MAIN (PROPOSED)
- W-EX WATER LINE
- V WATER LINE (TO BE REMOVED)
- W-PR WATER LINE (PROPOSED)
- ST WATER LINE
- ST-PR STORM SEWER LINE (PROPOSED)
- X FENCE LINE
- ☐ DRAINAGE ESMT.

SHEET 2 OF 2

**GENERAL NOTES**

- The purpose of this plat is to consolidate the property owned by ABC Group Properties, Inc. as previously recorded in Deed Book 526 Page 883 and Deed Book 3840 Page 446 into one lot as shown hereon, and to abandon a portion of the right of way of ABC Blvd as shown hereon, and to dedicate a portion of Lot 1 as shown hereon to become right of way of ABC Blvd.
- The property shown hereon is subject to any and all legal easements and right-of-ways recorded and unrecorded, including but not limited to those shown hereon.
- The property shown hereon does not lie in a flood hazard area according to (FIRM) flood insurance rate maps for Sumner County, Tennessee. Said area is shown on map parcel no. 4716SC0318G, with an effective date of April 17, 2012.
- The location of all utilities shown hereon are based on the field location of found visible structures or as flagged or marked by their respective utility companies. There may be other underground utilities located on the property shown hereon. No guarantee is expressed or implied to the actual location of said utilities.
- This survey is subject to any and all facts that may be disclosed by a full and accurate title search.
- All iron pins set are 1/2" x 18" pins set with 1" yellow plastic cap stamped "J. Arnold PLS 2526" unless otherwise noted.
- A boundary survey does not determine land ownership, a professional land surveyor only provides an opinion of previously described boundary lines which may or may not be upheld by a court of law. Unwritten Rights may or may not exist on subject Property.
- Tax parcels 127 062.00 000 & 127 063.00 000 as shown hereon are zoned Industrial General (IG). Existing use of these parcels is vacant/intermediate manufacturing, the proposed use of these parcels is intermediate manufacturing.
- Zoning information as shown hereon is per the check print copy of this plat (PC0273-14) as provided by City of Gallatin Planning Department. ACES makes no certification to the accuracy of the zoning shown hereon.



ENTERED  
 John G. Isbell  
 Property Recorder  
 7/11/14

Map\_Gp\_00\_Par\_

PROJECT/CLIENT: ABC GROUP PROPERTIES, INC. SUBDIVISION FINAL PLAT

ABC GROUP PROPERTIES, INC.  
 400 ABC BLVD  
 GALLATIN, TN 37066

DRAWN BY: B. HESTER DATE: 6-27-2014 SCALE: 1" = 100'

CHECKED BY: J.ARNOLD PROJECT NUMBER: 14327

PREPARED BY: ARNOLD CONSULTING ENGINEERING SERVICES, INC.  
 P.O. BOX 1338 BOWLING GREEN, KY 42101  
 PHONE (270) 780-9445



**City of Gallatin**  
**Engineering Division**  
**Transportation and Drainage Infrastructure**  
**Inspection Report**

<b>Name of Site/Subdivision</b>		ABC BLD ADDITION		<b>Phase/Section</b>	ABC Fuels
<b>PC #</b>	PC0164-13	<b>Site Contact</b>	Bill Ramsey	<b>Site Contact #</b>	270-791-1105

<b>DATE</b>		<b>REASON FOR INSPECTION</b>			
10-24-2014	X	<b>Surety Inspection</b>	<b>ROW Acceptance</b>	<b>Violation</b>	<b>Other</b>
<b>TRANSPORTATION INFRASTRUCTURE</b>					
All roadway infrastructure is complete					
<b>DRAINAGE INFRASTRUCTURE</b>					
All storm drainage has been installed.					
<b>NOTES</b>					<b>INSPECTOR</b>
Reduce surety to 15% minimum					Buck

<b>DATE</b>		<b>REASON FOR INSPECTION</b>			
2-13-15	X	<b>Surety Inspection</b>	<b>ROW Acceptance</b>	<b>Violation</b>	<b>Other</b>
<b>TRANSPORTATION INFRASTRUCTURE</b>					
ALL ROADWAY INFRASTRUCTURE IS COMPLETE NEEDS BINDER AND TOPPING AND STRIPING /SIGNS AT THE ENTRANCE TO AIRPORT ROAD. HAVE STARTED TO FINAL GRADE TOP SOIL AROUND ENTIRE SITE FOR FINAL STABLIZATION					
<b>DRAINAGE INFRASTRUCTURE</b>					
ALL STORM DRAIN PIPE AND CATCH BASINS HAVE BEEN INSTALLED ALL HEADWALLS HAVE BEEN INSTALLED					
<b>NOTES</b>					<b>INSPECTOR</b>
RENEW SURETY SET PER ENGINEERING					RES

<b>DATE</b>		<b>REASON FOR INSPECTION</b>			
11-4-15	X	<b>Surety Inspection</b>	<b>ROW Acceptance</b>	<b>Violation</b>	<b>Other</b>
<b>TRANSPORTATION INFRASTRUCTURE</b>					
ALL ROADWAY INFRASTRUCTURE IS COMPLETE BINDER, TOPPING AN STRIPPING IS INSTALLED					
<b>DRAINAGE INFRASTRUCTURE</b>					
ALL STORM DRAIN PIPE AND UNDER GROUND WATER QUALITY IS INSTALLED					
<b>NOTES</b>					<b>INSPECTOR</b>
IS OK TO RELEASE THE 15% MAINT. SURETY					RES

# ITEM 2

GMRPC Resolution No. 2015-159

**A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND CROSSING PHASE 12-A, FOR THE DEVELOPMENT OF 38 ATTACHED DWELLINGS, THREE (3) RIGHTS-OF-WAY, AND THREE (3) OPEN SPACE TRACTS, ON A PORTION OF TAX MAP 136 PARCEL 27.01, TOTTALLING 10.11 (+/-) ACRES, LOCATED SOUTH OF FOXLAND BOULEVARD AND WEST OF DOUGLAS BEND ROAD. (8-1317-15)**

**WHEREAS**, The applicant submitted an application for a Final Master Development Plan consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance, and

**WHEREAS**, **THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** considered the Final Master Development Plan submitted by the applicant, Dewey Engineering, at its regular meeting on December 14, 2015,

**WHEREAS**, **THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** reviewed the Final Master Development Plan application, materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report and the evidence and testimony presented during the meeting, and

**NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** as follows:

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Tennessee Code Annotated §13-3-413; §13-4-310; §13-4-104; & §13-7-201 and G.Z.O. Article 12, §12.02.030:

1. The Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Regional Activity Center Character Area designation of the property.
2. The Final Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district and the Amended Preliminary Master Development Plan for Foxland Phases 11-16 and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in the Mixed Use zone district.
3. The Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

4. The legal purposes for which zoning regulations exists have not been contravened.
5. The Final Master Development Plan, with modifications, will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Master Development Plan for Foxland Crossing, Phase 12-A, consisting of a four (4) sheet plan prepared by Dewey Engineering of Nashville, TN with Job No. 15015, dated 11-11-15 with final revision date of 12-3-15, with the following conditions of approval:

1. Submit a sign package and application for review and approval prior to the construction and/or installation of any signage.
2. Provide a list of E-911 approved road names.
3. Show and label existing sidewalks in Foxland Boulevard right-of-way.
4. Provide a public sidewalk along the west side of Douglas Bend Road. Sidewalk may be placed in the right-of-way or within an access easement within Open Space Tract 'A'. If placed within the Open Space Tract and widened to eight (8) feet, this would satisfy the greenway extension to the south.
5. Provide a wider sidewalk/greenway along the south side of the Foxland Boulevard extension (a minimum of eight (8) feet in width).
6. Provide updated drainage calculations to provide more detail (inlet spread, pipe hydraulics, detention design, etc.) with the construction plan submittal. The construction plan submittal will also need to show the roadway design, erosion control and construction details along with a copy of the NOI and a draft copy of the storm water maintenance agreement.
7. Provide a Site Surety, in an amount calculated by the applicant, for all landscaping and private infrastructure.
8. Provide a Subdivision Surety, in an amount determined by the Engineering Division, for all public infrastructure.
9. Submit three (3) folded and corrected copies of the Final Master Development Plan.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.  
PRESENT AND VOTING

AYE:

NAY:

DATED: 12/14/15

---

Dick Dempsey, Chairman

---

Johnny Wilson, Secretary

APPROVED AS TO FORM:

---

SUSAN HIGH-MCAULEY  
CITY ATTORNEY

## ITEM 2



### PLANNING DEPARTMENT STAFF REPORT

**Foxland Crossing Phase 12A - Final Master Development Plan  
(PC File# 8-1317-15)**

**Located South of Foxland Boulevard and West of Douglas Bend Road**

**Date: December 2, 2015**

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**REQUEST:** OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND CROSSING PHASE 12-A, FOR THE DEVELOPMENT OF 16 ATTACHED DWELLING LOTS AND 22 MULTI-FAMILY DWELLING LOTS, THREE (3) RIGHTS-OF-WAY, AND THREE (3) OPEN SPACE TRACTS, ON A PORTION OF TAX MAP 136 PARCEL 27.01, TOTALLING 10.11 (+/-) ACRES, LOCATED SOUTH OF FOXLAND BOULEVARD AND WEST OF DOUGLAS BEND ROAD.

**OWNER:** WILSON BANK AND TRUST (GARY WHITAKER)  
**APPLICANT:** DEWEY ENGINEERING (MICHAEL DEWEY)  
**STAFF RECOMMENDATION:** RECOMMEND APPROVAL OF RESOLUTION 2015-149  
**STAFF CONTACT:** KEVIN CHASTINE  
**PLANNING COMMISSION DATE:** DECEMBER 14, 2015

---

**PROPERTY OVERVIEW:** The owner and applicant is requesting approval of a Final Master Development Plan for Foxland Crossing Phase 12-A, for the development of 16 attached dwelling lots and 22 multi-family dwelling lots, three (3) rights-of-way, and three (3) open space tracts, on a portion of Tax Map 136 Parcel 27.01, totaling 10.11 (+/-) acres, zoned Mixed Use (MU). The property is located south of Foxland Boulevard and west of Douglas Bend Road. Attached and Multi-family Dwellings are permitted uses in the Mixed Use (MU) zone district. (Attachment 2-1)

**CASE BACKGROUND:**

***Previous Approvals***

The original Preliminary Master Development Plan for Foxland at Fairvue was approved by the Planning Commission in November 2005 and passed by City Council in February 2006. As part of that original approval, no development plan or uses were proposed for Phases 11-16. However, a condition of approval was that a separate Preliminary Master Development Plan would be submitted for each phase.

On May 19, 2008, the Planning Commission recommended approval of a Preliminary Master Development Plan (PC File #3-12-08) for Phases 12 and 13 of the original Foxland at Fairvue PMDP. The PMDP included a 298 unit multi-family development (Phase 13) and 72 townhouses (Phase 12). On July 15, 2008, City Council approved the Preliminary Master Development Plan (Ordinance #00806-42).

On September 22, 2008, the Planning Commission approved a Final Master Development Plan (PCFile# 8-39-08) for a 298 unit multi-family development (Waterstone)(Now Known as Foxland Crossing Apartments).

On September 26, 2011, the Planning Commission approved an amended Preliminary Master Development Plan for Foxland Phases 11 through 16 (PC9872-11). The changes to the multi-family site (Phase 13) layout were approved as a minor amendment.

On June 25, 2012, the Planning Commission approved a Final Master Development Plan for Foxland Crossing apartments, a 300 unit multi-family development.

On June 22, 2015, the Planning Commission recommended approval of an Amended Preliminary Master Development Plan for Foxland Crossing Phase 12, 14 through 16 (PC File# 3-705-15). On September 1, 2015, the City Council approved the Amended Preliminary Master Development Plan on second reading. (Ord. No. O1507-47) (Attachment 2-2)

**DISCUSSION:**

The owner and applicant is requesting approval of a Final Master Development Plan for Foxland Crossing Phase 12-A, on a portion of Tax Map 136 Parcel 27.01, totaling 10.11 (+/-) acres. The property is zoned Mixed Use (MU). The property is located south of Foxland Boulevard and west of Douglas Bend Road. (Attachment 2-1)

Phase 12-A contains both Attached and Multi-family Dwellings, which are permitted uses in the Mixed Use (MU) zone district. Phase 12-A contains 16 attached dwelling lots and 22 multi-family dwelling lots (3 or 4 unit attached townhomes). Phase 12-A also contains three (3) rights-of-way, including an extension of Foxland Boulevard, Road 'A' and Road 'B', and three (3) open space tracts,

The development schedule indicates that construction of Phase 12-A will begin in May 2016 and be completed in May 2017.

***Natural Features***

The natural topography for the existing vacant property begins at the highest point of elevation (498'), at the southwest property corner, near the edge of the TVA power lines, and steadily slopes to the lowest point (454') at the northeast corner near the unnamed stream and southern edge of the Foxland Boulevard right-of-way. An unnamed stream runs parallel to Douglas Bend Road, south of Foxland Boulevard, on the east side of the site. Based on FEMA FIRM Map 47165V0407G, no portion of Phase 12-A is located within a flood hazard area.

***Adjacent or Area Uses***

To the north, across Foxland Boulevard, is Foxland Crossing Apartments zoned MU. To the south is a vacant 33.27 (+/-) acre parcel zoned MRO. To the east are Douglas Bend Road and the Foxland Golf Course driving range zoned MRO. To the west is the remaining vacant portion of Tax Map 136 Parcel 27.01 zoned MU.

**Architectural Designs**

The applicant submitted four (4) detailed renderings and floor plans of the proposed units (Attachment 2-5). The residences will be constructed in groups of two (2), three (3), and four (4) units. The two (2) and four (4) unit buildings are one-story and a half in height while the three (3) unit building is two (2) stories in height. The buildings will feature a mixture of brick, stone, and Hardie Board siding, with architectural dimensional shingles for the roofs. The unit sizes range from 1,782 square feet up to 2,345 square feet.

UNIT SIZES (Sq. Ft.)	
2 Unit Building	2,275 and 2,345
3 Unit Building	1,782, 1,843, and 1866
4 Unit Building	2,002, 2013, 2013, and 2030

Different facades will be constructed in alternating patterns to add visual interest to the buildings. All proposed units are shown to be front loading garages.

**Lot Types**

The Final Master Development Plan indicates two (2) different lot types. The lot types and total number of each lot type is provided in the table below.

Typical Lot Layout	Series-Description	No. Units/Area
A	Villa – 36’ Wide Townhome	16
B	Cottage Grove – 28’ Wide Townhome	22

The Villa lot is 42.50 foot wide and 115 feet deep with a 20 front yard, 5 foot side yards, and 10 foot rear yards. The Cottage Grove lots are either 28 feet or 33 feet wide and 125 feet deep with the same yard lines as the Villa lots.

**Rights-of-Way/Streets/Roads**

Foxland Crossing Phase 12-A contains two (2) new rights-of-way, currently named Road ‘A’ and Road ‘B’ and an extension of Foxland Boulevard. There is a total of 1,577 linear feet of new roadways included within Phase 12-A. There are two (2) roadway cross-sections; one a 50 foot wide right-of-way with 22 feet of pavement, one (1) foot and six (6) inch curb and gutters, a five (5) foot grass strip and five (5) foot wide sidewalks on both sides of the road and the other section is a 30 foot wide right-of-way with 18 feet of pavement with a one (1) foot ribbon curb, and five (5) foot wide sidewalks on both sides of the road. Foxland Boulevard will be extended with 25 foot wide pavement, one (1) foot and six (6) inch curb and gutter, a five (5) foot grass strip and five (5) foot wide sidewalks on both sides.

ROAD NAME	R.O.W. Width	Back of Curb to Back of Curb Width	LENGTH
Foxland Blvd.	50 foot wide R.O.W.	28 feet	490 (+/-) l.f.
A	50 foot wide R.O.W.	25 feet	392 (+/-) l.f.
B	30 foot wide R.O.W.	20 feet*	695 (+/-) l.f.

\* One (1) Foot Wide Ribbon Curb Per Side

Road 'A' was shown on the Amended PMDP as a 40 foot wide right-of-way, but Project #26 on Exhibit 4-8 (Attachment 2-3) and Exhibit 4-9 (Attachment 2-4) of the *Gallatin on the Move 2020 General Development Plan* indicates a future collector road to provide a connection to the properties to the south of Phase 12-A. The Amended PMDP was conditioned with the requirement to widen Road 'A' to a 50 foot wide public right-of-way that will be extend to the southern property line of Phase 12-A. This plan complies with this requirement.

Road 'B' is a 30 foot right-of-way private street. Road 'B' connects with Road 'A' southeast of Lot 9 and connects to the westward extension of Foxland Boulevard. No on-street parking is proposed along these streets and no private accessory parking is proposed within Phase 12-A, but there are seven (7) accessory parking areas located within Phase 12-B, Phase 14, and Phase 15.

**Stormwater Detention**

There is one (1) stormwater detention area located within Open Space Tract 'A'. The detention area is located between the unnamed stream that bisects Open Space Tract 'A' and rear property lines of Lots 1 through 8. The detention area will serve all of Phase 12-A and discharge into the unnamed stream. The area contained within Lots 17 through 38 will drain into the same detention area through stormwater infrastructure located within the right-of-way and Open Space Tract 'B'. A stormwater maintenance agreement is required to be recorded.

**Open Space**

The Mixed Use (MU) zoning district does not require a minimum percentage of open space; however, the applicant has designed the site to provide three (3) open space tracts (A, B, and C). Open Space 'A' is located between Douglas Bend Road and the rear property lines of Lots 1 through 8. Open Space 'B' is located between Lots 9 through 16 and Lots 17 through 27 and along Foxland Boulevard. Open Space 'C' is located between the existing TVA easement and the rear of Lots 28 through 38 along Foxland Boulevard and along the southside of road 'B'. The three (3) open space tracts total 4.92 (+/-) acres. This equates to 48.6 percent open space for Phase 12-A. All open space areas will be owned and maintained by the Home Owners Association.

FOXLAND CROSSING - PHASE 12-A - OPEN SPACE TRACTS		
NAME	SIZE (SQ FT)	SIZE (ACRES)
Open Space Tract 'A'	147,668.4	3.39
Open Space Tract 'B'	22,215.6	.51
Open Space Tract 'C'	44,431.2	1.02
<b>TOTAL</b>	<b>214,315.2</b>	<b>4.92</b>

**Bufferyards/Landscaping**

The Mixed Use (MU) zoning adjacent to Multiple Residential and Office (MRO) requires a Type 15 Bufferyard along the southern property boundary, per Section 13.04 and Table 13-05 of the Gallatin Zoning Ordinance. The required Type 15 Bufferyard landscape material is shown on Sheet C3.0 along the southern boundary of Phase 12-A up to the edge of the stream buffer. Many of the existing trees will be retained within Open Space Tract 'A'.

To the east is Foxland Golf Course and Driving Range, which is zoned MRO. Due to the intervening street a Type 12 Bufferyard is required. The applicant is retaining the dense tree growth between Douglas Bend Road and Lots 1 through 8, which will provide from 180 feet to 220 feet of mature tree buffering between the lots and Douglas Bend Road.

To the north is Foxland Crossing Apartments, which is zoned Mixed Use (MU). Due to the presence of Foxland Boulevard a Type 12 Bufferyard is required. The applicant has shown the required landscape material within Open Space Tracts 'A', 'B', and 'C' along the northern boundary of Phase 12-A parallel to Foxland Boulevard.

To the west is the remaining portion of Tax Map 136 and Parcel 27.01, and the TVA easement therefore, no bufferyard is required to buffer against the remaining portion of the applicants property.

The applicant has also provided a planting detail on Sheet C3.0 showing eight (8) Strapleaf Laurels utilized to screen the HVAC units.

Staff recommends the Planning Commission approve the bufferyard and landscape plan.

***Photometric Plan***

No photometric plan is required for Phase 12-A. There are no proposed lighting within this Phase that requires a photometric plan to be submitted. The street lights will be coordinated with the Gallatin Electric Department, but those lights are not included within a photometric plan. Future phases of Foxland Crossing will be required to submit photometric plans due for guest parking areas with additional lighting. Also, a photometric for Phase 14 will be necessary to limit the amount of lighting that falls onto the adjacent nursery property that includes greenhouses.

***Site Surety***

The applicant shall submit a site surety, in an amount to be calculated by the applicant, for all landscaping and other improvements not subdivision related, including private streets.

***Planning Department Comments***

The Planning Department reviewed and commented on the Final Master Development Plan. The applicant satisfactorily addressed the Planning Department comments, except those listed as conditions of approval.

***Engineering Division Comments***

The Engineering Division reviewed and commented on the Final Master Development Plan. The applicant satisfactorily addressed the Engineering Division comments, except those listed as conditions of approval.

**FINDINGS:**

1. The Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Regional Activity Center Character Area designation of the property.

2. The Final Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district and the Amended Preliminary Master Development Plan for Foxland Phases 11-16 and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in the Mixed Use zone district.
3. The Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
4. The legal purposes for which zoning regulations exists have not been contravened.
5. The Final Master Development Plan, with modifications, will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

**RECOMMENDATION:**

Staff recommends that the Planning Commission approve Resolution 2015-159, and the Final Master Development Plan for Foxland, Phase 12-A, consisting of a four (4) sheet plan prepared by Dewey Engineering of Nashville, TN with Job No. 15015, dated 11-11-15 with final revision date of 12-3-15, with the following conditions of approval:

1. Submit a sign package and application for review and approval prior to the construction and/or installation of any signage.
2. Provide a list of E-911 approved road names.
3. Show and label existing sidewalks in Foxland Boulevard right-of-way.
4. Provide a public sidewalk along the west side of Douglas Bend Road. Sidewalk may be placed in the right-of-way or within an access easement within Open Space Tract 'A'. If placed within the Open Space Tract and widened to eight (8) feet, this would satisfy the greenway extension to the south.
5. Provide a wider sidewalk/greenway along the south side of the Foxland Boulevard extension (a minimum of eight (8) feet in width).
6. Provide updated drainage calculations to provide more detail (inlet spread, pipe hydraulics, detention design, etc.) with the construction plan submittal. The construction plan submittal will also need to show the roadway design, erosion control and construction details along with a copy of the NOI and a draft copy of the storm water maintenance agreement.
7. Provide a Site Surety, in an amount calculated by the applicant, for all landscaping and private infrastructure.
8. Provide a Subdivision Surety, in an amount determined by the Engineering Division, for all public infrastructure.
9. Submit three (3) folded and corrected copies of the Final Master Development Plan.

(The plans shall be amended to comply with the conditions of approval prior to the submission of a Preliminary Plat)

**ATTACHMENTS**

- Attachment 2-1      Location Map of Foxland Crossing Phases 12-A**
- Attachment 2-2      Amended PMDP for Foxland Phases 11-16**
- Attachment 2-3      Exhibit 4-8 Gallatin on the Move 2020 Plan**
- Attachment 2-4      Exhibit 4-9 Gallatin on the Move 2020 Plan**
- Attachment 2-5      Architectural Elevations**
- Attachment 2-6      FMDP for Foxland Crossing Phases 12-A**

I:\ACTIVITIES & PROJECT TYPES\Rezoning with PMDP-FMDP\Foxland Crossing\FMDP\Item 2 Foxland Crossing – Ph. 12-A – FMDP – Staff Report (#8-1317-15) KC

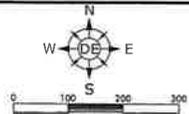
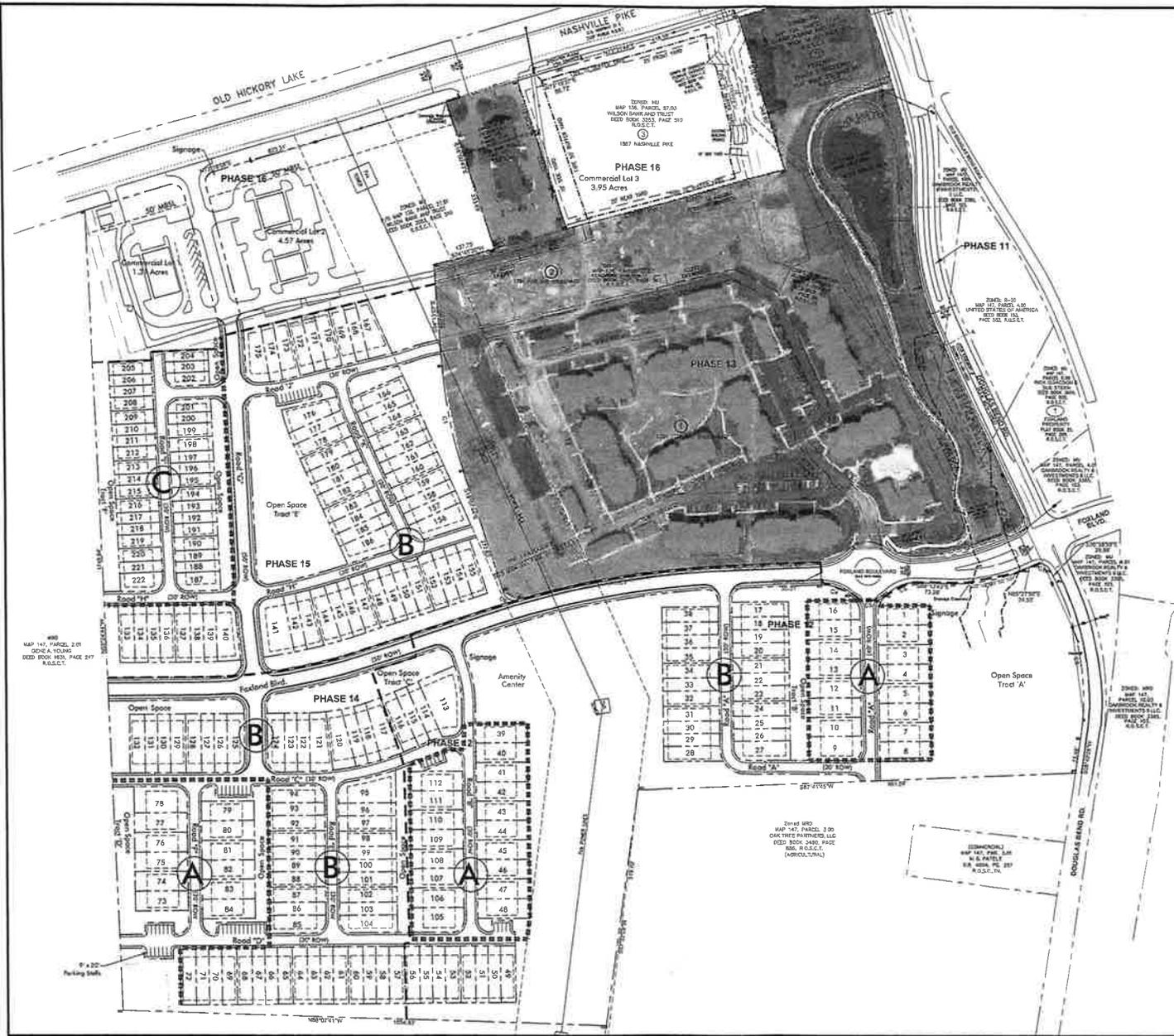


Prepared By: Kevin Chastine, AICP  
Prepared On: December 4, 2015

## Location Map

Foxland Crossin Phase 12-A  
Final Master Development Plan  
PC File# 8-1317-15





Scale 1" = 100'  
Total Site Area = 417.2 Acres

**Developer**  
Green Trails, LLC  
Contact: Rick Decker  
2925 Berry Hill Dr, Ste A  
Nashville, TN 37204  
Phone: (615) 397-4513

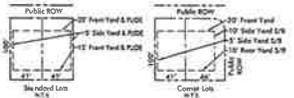
**Engineer**  
Dewey-Estes Engineering  
Contact: Michael Dewey, PE  
2925 Berry Hill Drive, Ste B  
Nashville, TN 37204  
Phone: (615) 401-9956  
E-mail: mdewey@dewey-estes.com

**Flood Note**  
No portion of this property is located within a Flood Hazard Area, as indicated on FEMA Map Numbers 4715C0040A & 4715C04000, dated April 17, 2012.

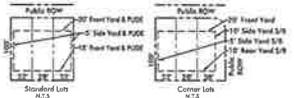
Note: Phases 12, 14, 15, & 16 Have Been Revised From the Previously Approved PMQP.

**Site Breakdown**

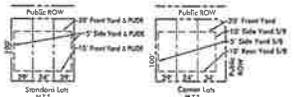
Area	Series - Description	No. Units/Area
A	Villa - 24' Wide Townhomes	66
B	Cottage Grove - 28' Wide Townhomes	140
C	Waterford - 24' Wide Townhomes	28



Typical Lot Layout 'A'  
Villa - 24' Wide Townhomes



Typical Lot Layout 'B'  
Cottage Grove - 28' Wide Townhomes



Typical Lot Layout 'C'  
Waterford - 24' Wide Townhomes

**Foxland Crossing**  
Phases 11-16  
Amended PMQP  
Being Parcel 27.01 & 27.03 on Tax Map 136  
Gallatin, Sumner County, Tennessee



Overall Layout Plan

Job No. 15015

**C1.0**

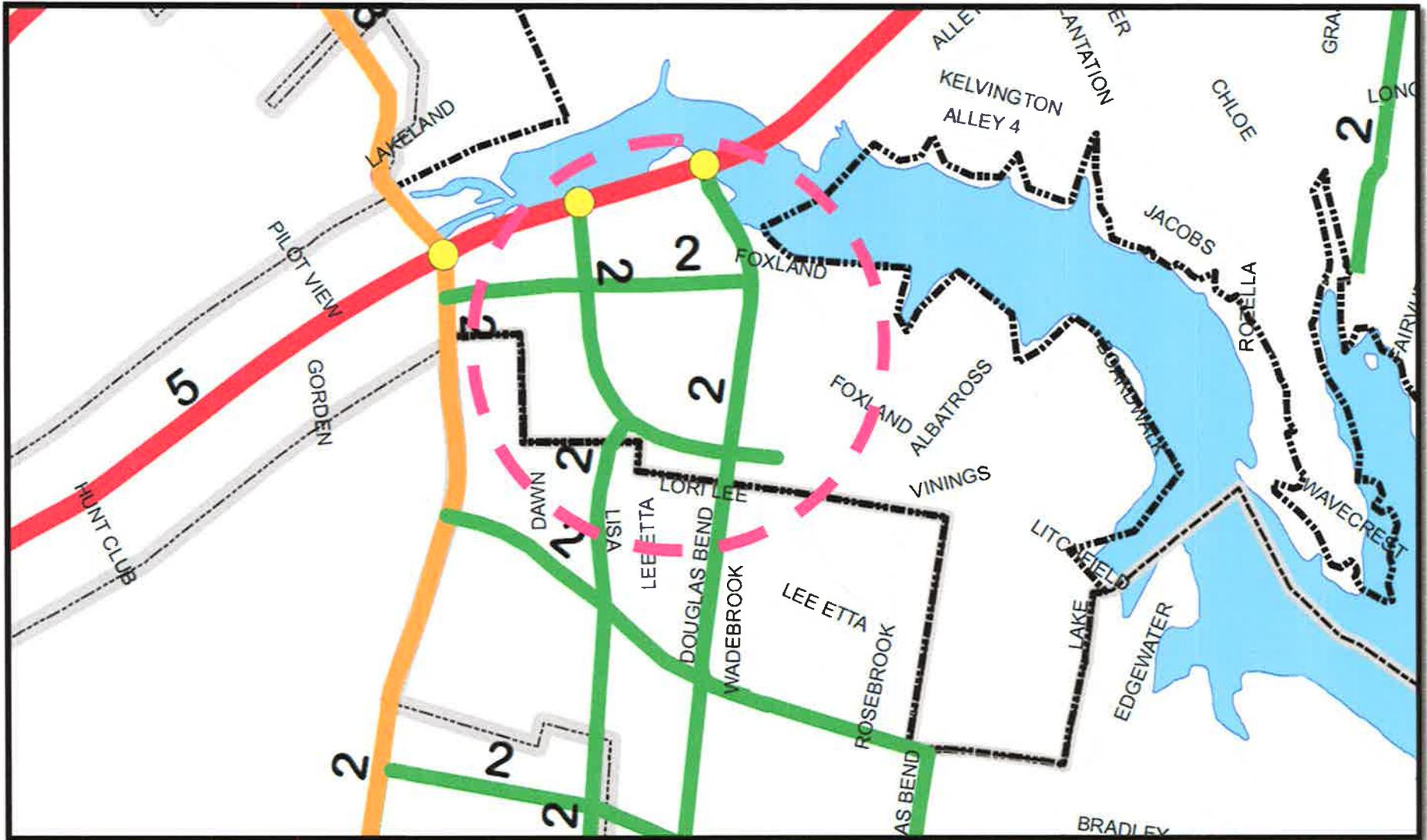
2 of 4

ATTACHMENT 2.2



EXHIBIT 4-9: Major Thoroughfare Plan

Gallatin On The Move 2020 (General Development & Transportation Plan)





8-1317-15

ATTACHMENT 2-5



**ATTACHMENT 2-5**



ATTACHMENT 2-5

NOV 12 2015

8-1317-15



PurserLee Architecture  
 2819 Columbine Place, Suite #5  
 Nashville, TN 37204  
 615.943.8615  
 www.purserleeearch.com

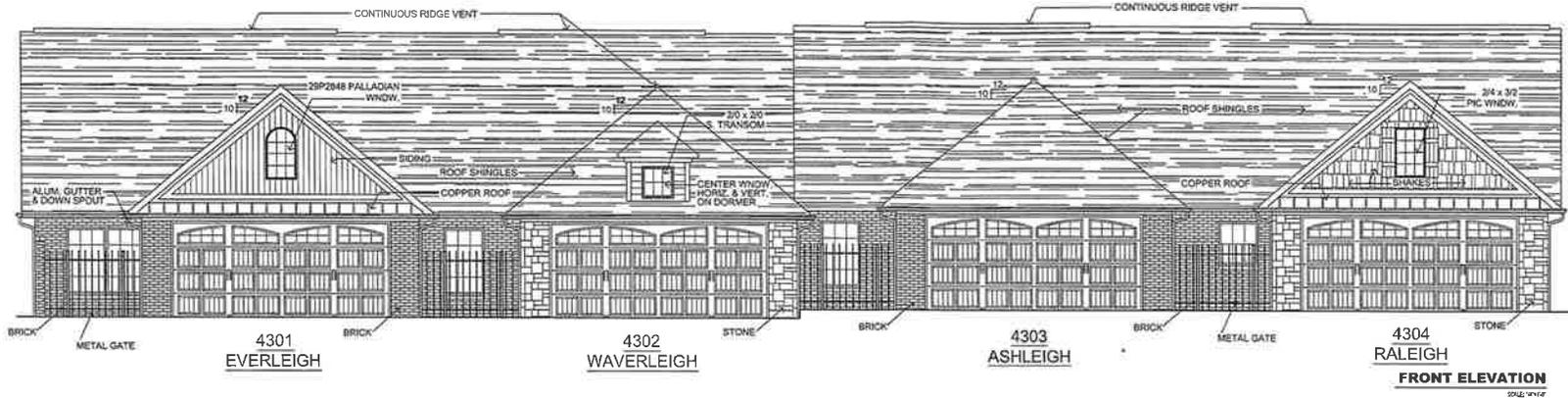


More Homes Here

Goodall Homes & Communities  
 393 Maple Street  
 Suite 100  
 Gallatin, TN 37066

Lenox Place

Bldg. #4300  
 Gallatin, TN 37066



No.	Revision/Issue	Date

Project Number:  
 Drawn by: DP  
 Checked by: DP  
 Issue: 10/28/2015  
 © 2015 PurserLee Architecture

Sheet Title & Number:  
 Front & Rear Elevations

A4.1  
 8-1317-15

ATTACHMENT 2-5

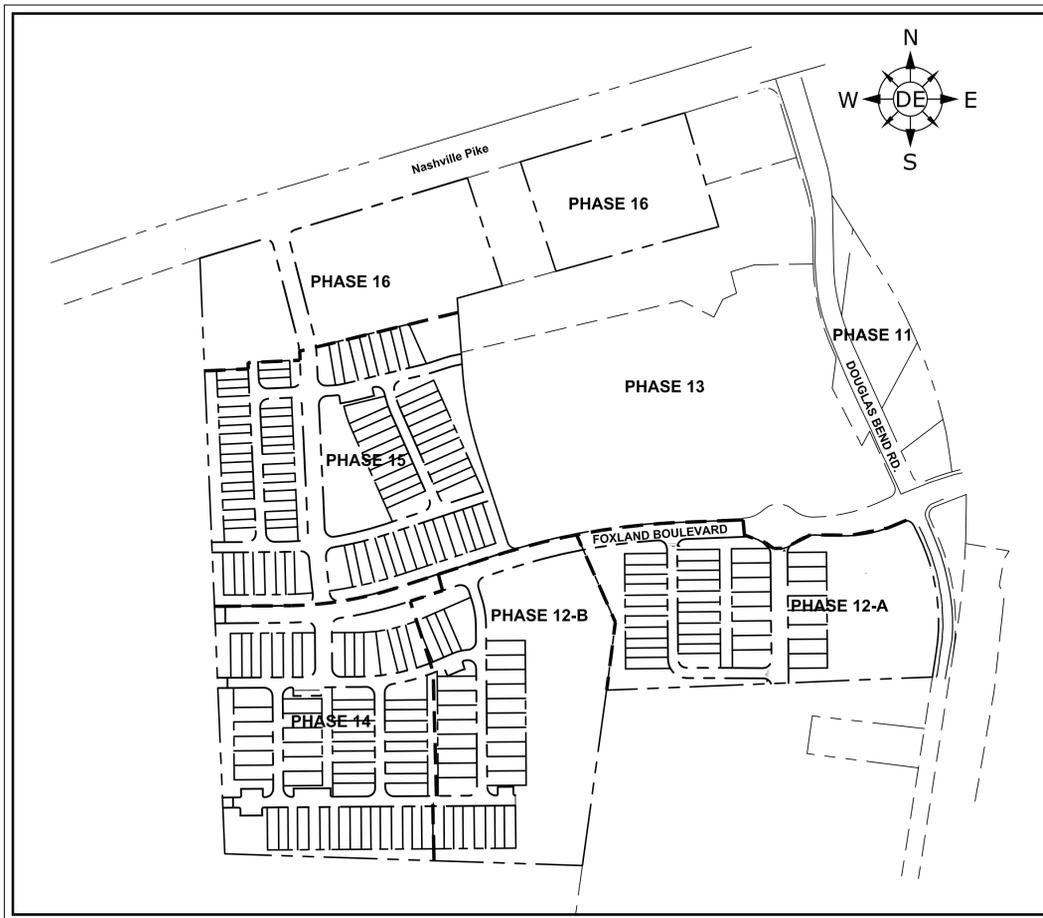
# Final Master Development Plan for Foxland Crossing Phase 12-A

Being a Portion of Parcel 27.01 on Tax Map 136  
Gallatin, Sumner County, Tennessee

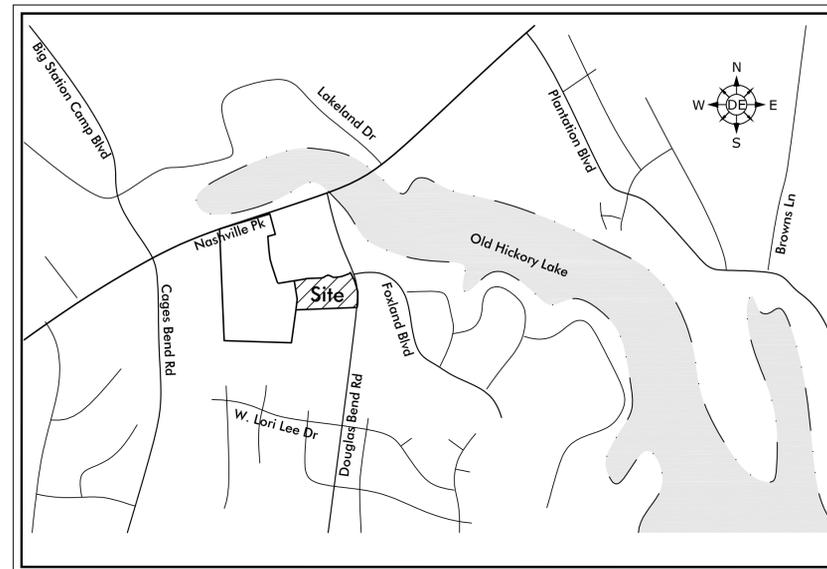
Revisions:

Drawing Notes:

Date: December 3, 2015



**Overall Site Map**  
Scale 1"=250'



**Vicinity Map**  
NTS

## Project Summary

### Site Data

Councilmatic District #4  
Council Person Craig Hayes

Property Location/Address:  
Located at the Intersection of Douglas Bend Rd and Fosland Blvd off Nashville Pike Gallatin, TN 37066

Property Owner: Wilson Bank & Trust  
Contact: Gary Whitaker  
Address: 623 West Main Street  
Lebanon, TN 37087  
Phone: (615) 444-2265

Developer: Green Trails, LLC  
Contact: Rick Deckbar  
Address: 2925 Berry Hill Drive, Ste 200  
Nashville, TN 37204  
Phone: (615) 397-4513

Engineer: Dewey Engineering  
Contact: Michael Dewey, PE  
Address: 2925 Berry Hill Drive, Ste 100  
Nashville, TN 37204  
Phone: (615) 401-9956

### Site Information

Tax Map 136, Portion of Parcel 27.01

Zoning - Mixed Use (MU)  
Total Site Area - 55.68 Acres  
Phase 12-A Area - 10.11 Acres

Current Use: Vacant  
Proposed Use: Residential (Multi-Family Dwellings)  
Plan Preparation Date: December 3, 2015

Site Breakdown:  
Total Lots - 222  
Phase 12-A - 38 Lots  
Phase 12-B - 30 Lots  
Phase 14 - 64 Lots  
Phase 15 - 90 Lots

Phase 12-A Lot Breakdown:  
36' Wide Lots - 16  
28' Wide Lots - 22

Total Phase 12-A Area - 10.11  
Open Space Area "A" - 3.36 Acres  
Open Space Area "B" - 0.47 Acres  
Open Space Area "C" - 1.02 Acres  
ROW Area - 1.48 Acres  
Lot Area - 3.78 Acres

Maximum Height: 2 Stories

Parking Required:  
76 Total Parking Stalls (2 Stalls/Unit)

Parking Provided:  
76 Garage Stalls (2-Car Garage/Unit)  
\*Note: Driveways Shall be 16' Wide x 20' Deep (Typ)

Flood Note:  
No portion of this property is located within a Flood Hazard Area, as indicated on FEMA Map Numbers 47165C0407G, dated April 17, 2012.

## Project Notes

- The purpose of this submittal is to request approval of the Final Master Development Plan for Foxland Crossing, Phase 12-A, consisting of 38 residential lots and open space.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of the City of Gallatin Department of Public Works.
- A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47165C0407G. Dated April 17, 2012. All pad elevations shall be filled, if necessary, at least 1 foot above the base flood elevation. Floodplain Development Permits and Elevation Certificates are Required for Construction in the 100 Year Floodplain.
- All public streets, curbs, and sidewalks are to be constructed in conformance with the City of Gallatin Engineering Division design standards.
- Wheelchair accessible curbs ramps, complying with applicable Engineering Division standards, shall be constructed at all street crossings.
- Individual water and/or sanitary sewer service lines are required for each lot.
- Stormwater Quality and Quantity requirements shall be addressed upon FMDP stage of development per the current Stormwater Ordinance/Regulations at that time.
- All areas designated as Open Space will be owned and maintained by the Homeowners' Association.
- All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02.
- The owner/developer of this property is responsible for all financial matters.
- A Site Surety for Landscaping shall be submitted prior to the issuance of any building permits.
- Trash Removal for this property shall be handled by individual roll-away city totes.
- Estimated Completion for this project is 4-6 years.
- All Dual Road Frontage Lots Shall be Accessed from the Minor Street.
- All Street Intersections Shall Comply with Subdivision Regulations for Vertical and Horizontal Alignment.
- HVAC Units will be Screened with Landscape Material.

## Sheet Schedule

1	C0.0	Cover Sheet
2	C1.0	Overall Layout Plan
3	C2.0	Overall Grading & Utilities Plan
4	C3.0	Conceptual Landscape Plan

## Development Schedule

Phase 11	Completed
Phase 12-A	May 2016 - May 2017
Phase 12-B	May 2017 - May 2018
Phase 13	Completed
Phase 14	May 2018 - May 2019
Phase 15	May 2019 - May 2020
Phase 16	May 2020 - May 2021

**Foxland Crossing**  
 Phase 12-A  
**Final Master Development Plan**  
 Being Portion of Parcel 27.01 on Tax Map 136  
 Gallatin, Sumner County, Tennessee



Cover Sheet

Job No. 15015

**C0.0**

1 of 4



Revisions:

Drawing Notes:

Date: December 3, 2015

**Foxland Crossing**  
Phase 12-A  
Final Master Development Plan  
Being Portion of Parcel 27.01 on Tax Map 136  
Gallatin, Sumner County, Tennessee

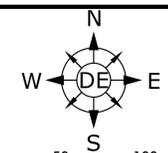


Overall  
Layout Plan

Job No. 15015

**C1.0**

2 of 4



Scale 1" = 50'  
Phase 12-A Area = 10.11 Acres

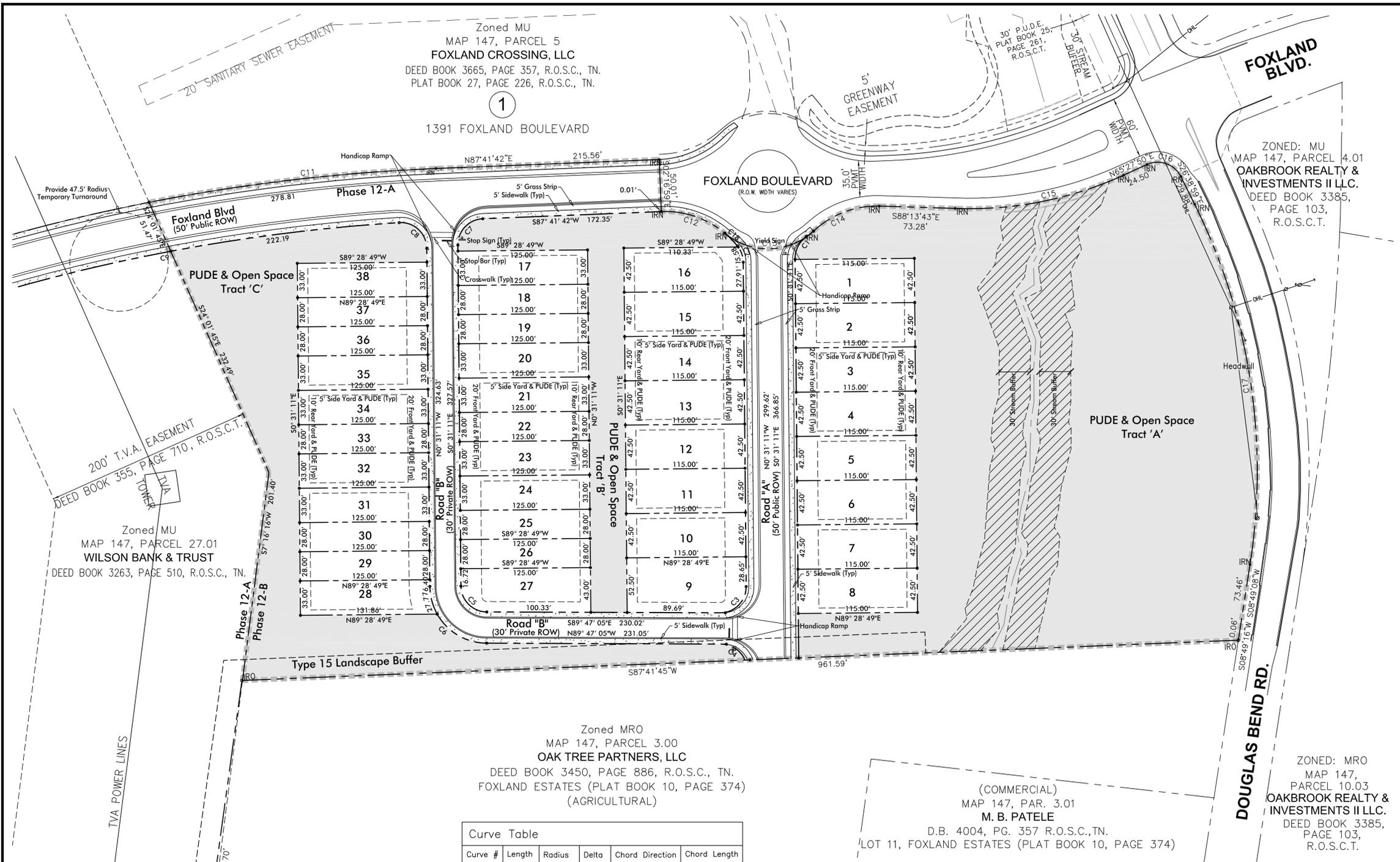
**Developer**  
Green Trails, LLC  
Contact: Rick Deckbar  
2925 Berry Hill Dr, Ste 200  
Nashville, TN 37204  
Phone: (615) 397-4513

**Engineer**  
Dewey Engineering  
Contact: Michael Dewey, PE  
2925 Berry Hill Drive, Ste 100  
Nashville, TN 37204  
Phone: (615) 401-9956  
mdewey@dewey-engineering.com

**Flood Note**  
No Portion of this property is located within a Flood Hazard Area, as indicated on FEMA Map Numbers 47165C0407G, dated April 17, 2012.

Lot Area Table

Lot #	Square Feet	Acres
1	4887.50	0.11
2	4887.50	0.11
3	4887.50	0.11
4	4887.50	0.11
5	4887.50	0.11
6	4887.50	0.11
7	4887.50	0.11
8	4887.50	0.11
9	5984.21	0.14
10	4887.50	0.11
11	4887.50	0.11
12	4887.50	0.11
13	4887.50	0.11
14	4887.50	0.11
15	4887.50	0.11
16	4865.94	0.11
17	4125.00	0.09
18	3500.00	0.08
19	3500.00	0.08
20	4125.00	0.09
21	4125.00	0.09
22	3500.00	0.08
23	4125.00	0.09
24	4125.00	0.09
25	3500.00	0.08
26	3500.00	0.08
27	5145.03	0.12
28	4184.25	0.10
29	3500.00	0.08
30	3500.00	0.08
31	4125.00	0.09
32	4125.00	0.09
33	3500.00	0.08
34	4125.00	0.09
35	4125.00	0.09
36	3500.00	0.08
37	3500.00	0.08
38	4125.00	0.09



Zoned MU  
MAP 147, PARCEL 5  
**FOXLAND CROSSING, LLC**  
DEED BOOK 3665, PAGE 357, R.O.S.C., TN.  
PLAT BOOK 27, PAGE 226, R.O.S.C., TN.

1391 FOXLAND BOULEVARD

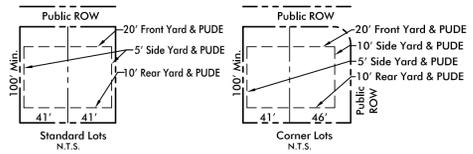
Zoned MRO  
MAP 147, PARCEL 3.00  
**OAK TREE PARTNERS, LLC**  
DEED BOOK 3450, PAGE 886, R.O.S.C., TN.  
FOXLAND ESTATES (PLAT BOOK 10, PAGE 374)  
(AGRICULTURAL)

(COMMERCIAL)  
MAP 147, PAR. 3.01  
**M. B. PATELE**  
D.B. 4004, PG. 357 R.O.S.C., TN.  
LOT 11, FOXLAND ESTATES (PLAT BOOK 10, PAGE 374)

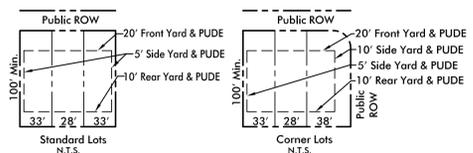
ZONED: MRO  
MAP 147,  
PARCEL 10.03  
**OAKBROOK REALTY & INVESTMENTS II LLC.**  
DEED BOOK 3385,  
PAGE 103,  
R.O.S.C.T.

Curve Table

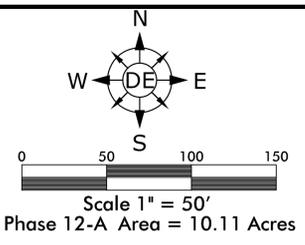
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	24.40	25.00	55.92	S27° 26' 24"W	23.44
C2	16.89	25.00	38.71	N19° 52' 27"W	16.57
C3	39.59	25.00	90.74	N44° 50' 52"E	35.58
C4	29.36	25.00	67.29	N56° 08' 18"W	27.70
C5	38.95	25.00	89.26	S45° 09' 08"E	35.13
C6	85.69	55.00	89.26	N45° 09' 08"W	77.28
C7	38.49	25.00	88.21	S43° 35' 15"W	34.80
C8	40.61	25.00	93.07	N47° 03' 17"W	36.29
C9	458.03	1805.00	14.54	S79° 08' 27"W	456.80
C10	461.14	1855.00	14.24	S80° 34' 24"W	459.96
C11	454.22	1825.00	14.26	S80° 33' 50"W	453.05
C12	66.14	90.00	42.11	S71° 15' 16"E	64.66
C13	93.63	65.00	82.53	N88° 31' 57"E	85.74
C14	69.12	90.00	44.01	S69° 16' 08"W	67.44
C15	167.24	357.45	26.81	N78° 52' 03"E	165.72
C16	38.35	25.00	87.89	N70° 35' 25"W	34.70
C17	355.63	575.13	35.43	N8° 46' 01"W	349.99
C18	17.24	90.00	10.97	N44° 42' 54"W	17.21



Typical Lot Layout 'A'  
36' Wide Townhomes



Typical Lot Layout 'B'  
28' Wide Townhomes



Revisions:

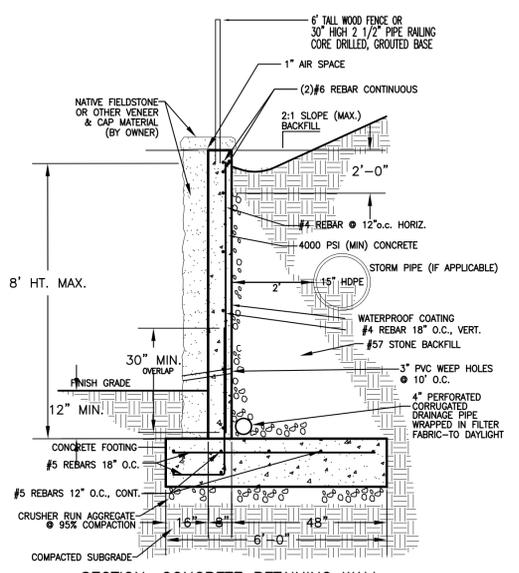
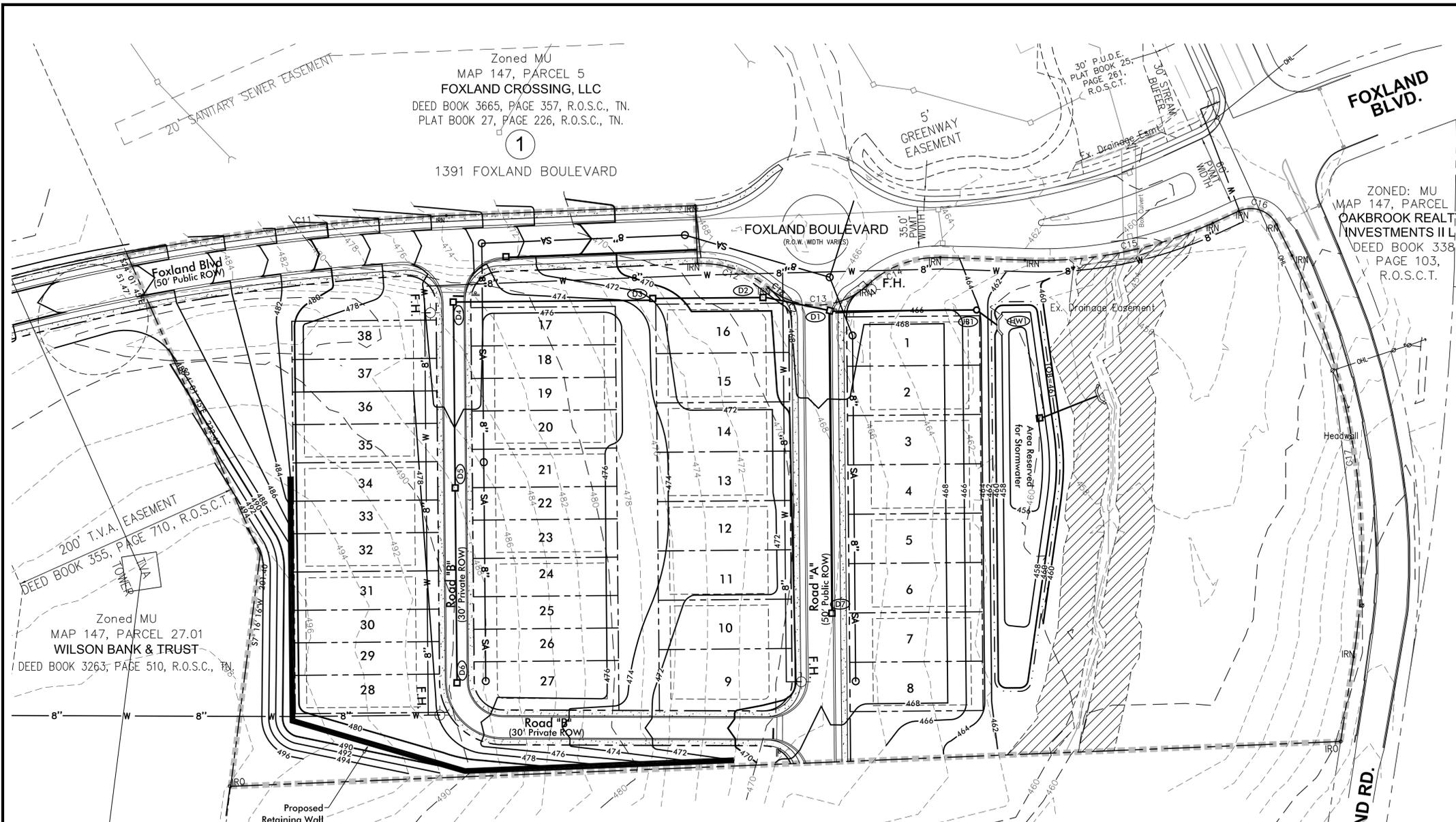
Drawing Notes:

Date: December 3, 2015

**Developer**  
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Contact: Rick Deckbar  
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Phone: (615) 397-4513

**Engineer**  
Dewey Engineering  
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Phone: (615) 401-9956  
mdewey@dewey-engineering.com

**Flood Note**  
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**SECTION: CONCRETE RETAINING WALL**  
Note: Wall Section May Be Substituted if Approved by the Planning and Engineering Departments. Any Revisions to Wall Section Shall be Submitted to both Departments.

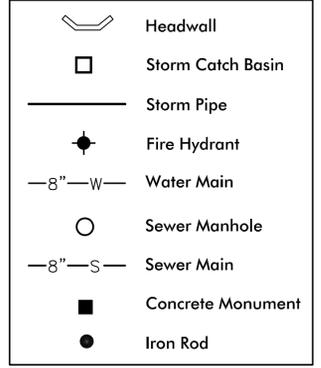
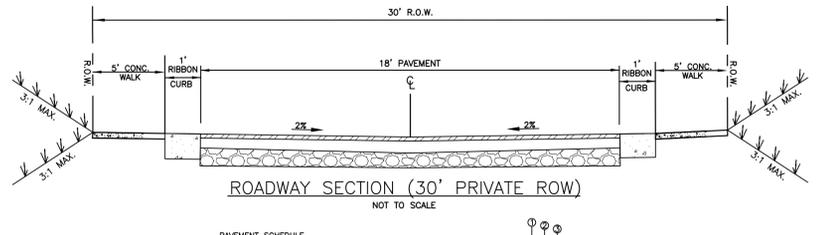
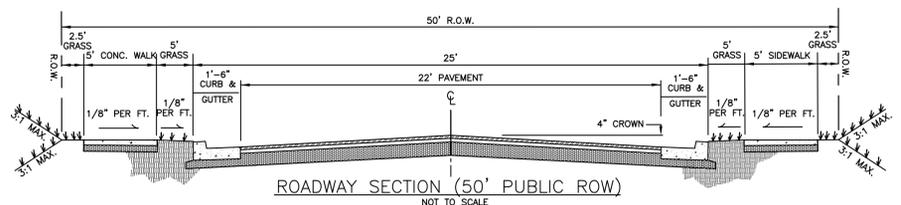
**Drainage Structure Schedule**

Structure Label	Structure Type	Station	T.C. Elev.	Invert In	Invert Out
HW1	HEADWALL	----	461.00	----	457.00
JB1	JUNCTION BOX	----	464.20	460.70	460.60
D1	SINGLE INLET	----	466.20	462.70	462.60
D2	SINGLE INLET	----	468.20	465.10	465.00
D3	SINGLE INLET	----	472.00	469.00	468.90
D4	SINGLE INLET	----	474.80	470.00	469.90
D5	SINGLE INLET	----	476.50	471.50	471.40
D6	SINGLE INLET	----	476.11	473.10	473.00
D7	SINGLE INLET	----	468.60	465.60	465.50

**Pipe Schedule**

Downstream Structure	Invert	Upstream Structure	Invert	Pipe Size *	Length (ft)	Slope (%)
HW1	457.00	JB1	460.60	24" RCP	22	16.3
JB1	460.70	D1	462.60	24" RCP	124	1.53
D1	462.70	D2	465.00	18" RCP	56	4.11
D2	465.10	D3	468.90	18" RCP	92	4.13
D3	469.00	D4	469.90	18" RCP	170	0.53
D4	470.00	D5	471.40	18" RCP	158	0.88
D5	471.50	D6	473.00	18" RCP	164	0.91
D6	462.70	D7	465.60	18" RCP	258	1.12

\*TC ELEVATIONS SHOWN IN TABLE ARE MEASURED FROM CATCH BASIN THROAT (SEE DETAIL)  
\*\*24" NYLOPLAST INLINE DRAIN. SEE DETAIL, SHEET C4.0.



**Foxland Crossing**  
Phase 12-A  
Final Master Development Plan  
Being Portion of Parcel 27.01 on Tax Map 136  
Gallatin, Sumner County, Tennessee



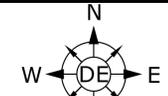
Overall Grading and Utilities Plan

Job No. 15015

**C2.0**

3 of 4





Scale 1" = 50'  
Phase 12-A Area = 10.11 Acres

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Drawing Notes:

Date: December 3, 2015

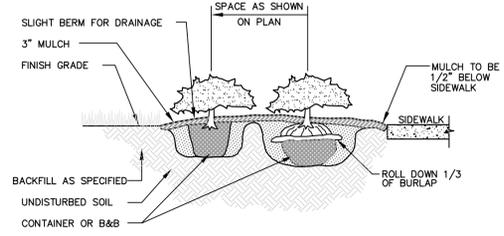
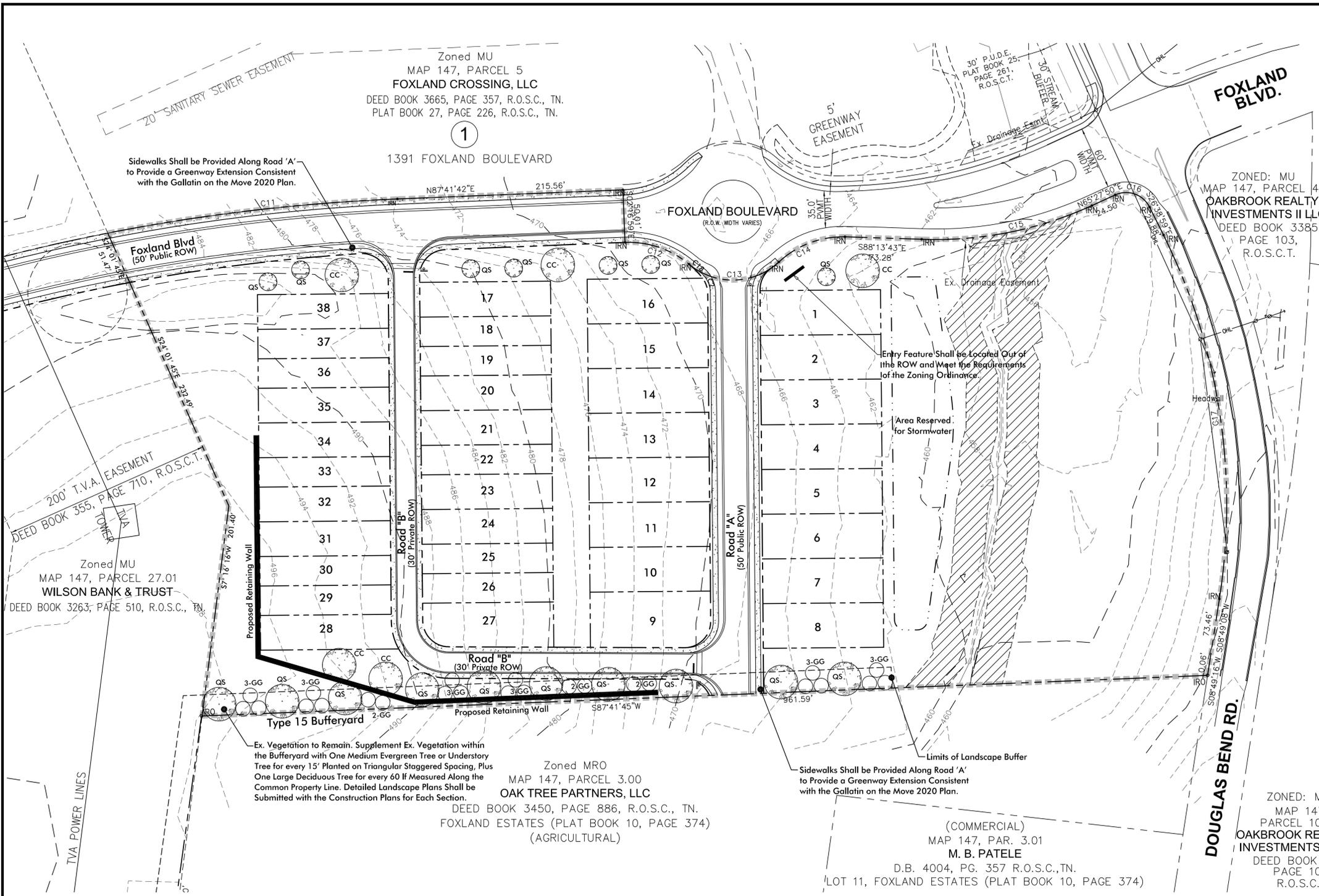
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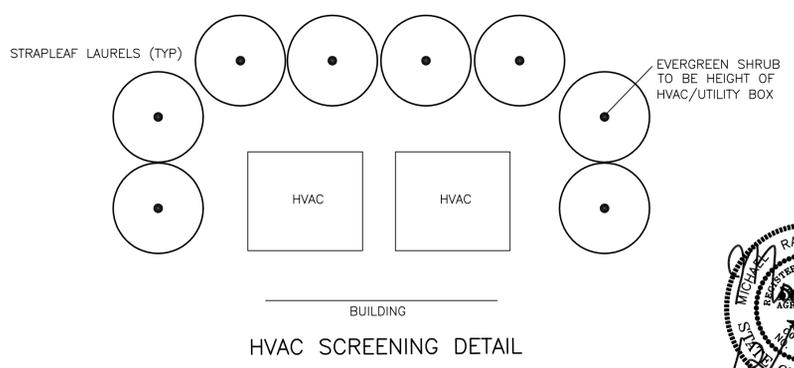
Conceptual Landscape Plan

Job No. 15015

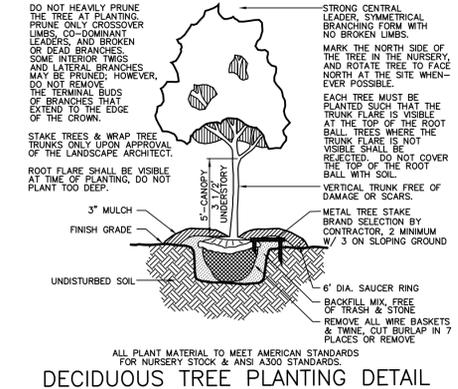
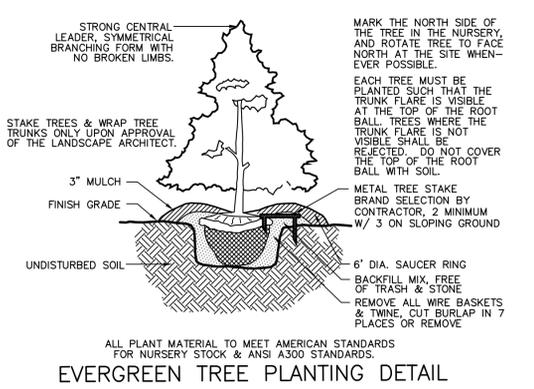
**C3.0**



- LANDSCAPE NOTES**
1. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
  2. ALL PLANTING AND MULCH BEDS SHALL BE HAND WEEDED OR SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
  3. PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
  4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
  5. ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12#/1000 S.F. OF 10-10-10 FERTILIZER.
  6. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
  7. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
  8. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
  9. ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
  10. ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4' MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
  11. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.
  12. NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY THE DESIGN PROFESSIONAL. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
  13. ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF. BURLAP SHOULD BE REMOVED OR PUNCTURED IN AT LEAST 5 PLACES. REMOVE ALL TWINE FROM BURLAPED MATERIALS.
  14. OPEN SPACE TRACTS, LANDSCAPING, AND BUFFERYARDS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.



MATERIALS SCHEDULE						
KEY	QTY	SCIENTIFIC NAME/ COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
<b>TREES</b>						
QS	17	Quercus shumardii/ Shumard Oak	10'-12'	6'-7'	2"	5' Clear Trunk
GG	24	Arborvitae 'Green Giant'/ Green Giant Arborvitae	5'-6'	4'-5'	2"	F.T.B.
CC	5	Cercis canadensis/ Eastern Redbud	8'-10'	4'-5'	2"	4' Clear Trunk
<b>TURF</b>						
SEED		Turf Mixture	80% Rebel Supreme, 20% Merion Bluegrass. Seed all disturbed areas @ 5#/1,000 sf.			
<b>MISCELLANEOUS</b>						
		Shredded Hardwood Bark Mulch	REMARKS Minimum 3" depth throughout. Min. 4" deep on slopes greater than 3:1.			
<b>NOTES</b>						
F.T.B. = Full To Bottom						



ALL PLANT MATERIAL TO MEET AMERICAN STANDARDS FOR NURSERY STOCK & ANSI A300 STANDARDS.  
**EVERGREEN TREE PLANTING DETAIL**

ALL PLANT MATERIAL TO MEET AMERICAN STANDARDS FOR NURSERY STOCK & ANSI A300 STANDARDS.  
**DECIDUOUS TREE PLANTING DETAIL**

Ex. Vegetation to Remain. Supplement Ex. Vegetation within the Bufferyard with One Medium Evergreen Tree or Understory Tree for every 15' Planted on Triangular Staggered Spacing, Plus One Large Deciduous Tree for every 60' If Measured Along the Common Property Line. Detailed Landscape Plans Shall be Submitted with the Construction Plans for Each Section.

Sidewalks Shall be Provided Along Road 'A' to Provide a Greenway Extension Consistent with the Gallatin on the Move 2020 Plan.

Zoned MRO  
MAP 147, PARCEL 3.00  
OAK TREE PARTNERS, LLC  
DEED BOOK 3450, PAGE 886, R.O.S.C., TN.  
FOXLAND ESTATES (PLAT BOOK 10, PAGE 374)  
(AGRICULTURAL)

(COMMERCIAL)  
MAP 147, PAR. 3.01  
M. B. PATELE  
D.B. 4004, PG. 357 R.O.S.C., TN.  
LOT 11, FOXLAND ESTATES (PLAT BOOK 10, PAGE 374)

ZONED: MRO  
MAP 147,  
PARCEL 10.03  
OAKBROOK REALTY &  
INVESTMENTS II LLC.  
DEED BOOK 3385,  
PAGE 103,  
R.O.S.C.T.

# ITEM 3

GMRPC Resolution No. 2015-162

**A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A PRELIMINARY PLAT FOR FAIRWAY FARMS, PHASE 2, SECTION 5, A MAJOR SUBDIVISION, TO CREATE 30 ONE-FAMILY DETACHED DWELLING LOTS, AN OPEN SPACE TRACT, AND FOUR (4) RIGHTS-OF-WAYS ON 11.27 (+/-) ACRES, LOCATED NORTH OF LONG HOLLOW PIKE AND WEST OF WENDLING BOULEVARD. – (PC 1-1319-15B)**

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** considered the Preliminary Plat submitted by the applicant, Bruce Rainey and Associates, at its regular meeting on December 14, 2015; and

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

**NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-403(b) and §13-4-303(b):

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The Preliminary Plat is consistent with the purpose and intent of the Medium Density Residential R15 Planned Residential Development (R15 PRD) Zoning District, the Amended PMDP for Fairway Farms, Phases 2 & 3, and the Revised FMDP for Fairway Farms, Phase 2, Section 5.
3. The Preliminary Plat is consistent with Tennessee Code Annotated Section 13-3-403 and Section 13-4-303.
4. The Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City as described in Chapter 1, Section 1-104, items 1-11.
5. The Preliminary Plat complies with the submittal requirements for a Preliminary Plat as described in Section 2-103, Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.

# ITEM 3

8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Preliminary Plat for Fairway Farms, Phase 2, Section 5 consisting of a three (3) sheet plan, prepared by Bruce Rainey and Associates of Hendersonville, Tennessee, with job number 140152, dated November 9, 2015, with revision date of December 3, 2015 with the following conditions:

1. Correct 11.54 (+/-) acres to 11.27 (+/-) acres to match the recently approved Revised FMDP (PC 8-1269-15).
2. Correct 40' P.U.D.E. along rear of Lots 36 thru 43 to 35' P.U.D.E and show the width of the complete easement.
3. Correct Lot 42 (farthest south) to Lot 43 on Sheet 3.
4. Indicate P.U.D.E. side yard easement on Lots 97 and 110 to be at least 10' from the utility line.
5. Indicate the open space tract as a P.U.D.E. or that portion which is within a P.U.D.E. to accommodate utility lines.
6. Show and label City Limits on Location Map.
7. Submit three (3) corrected and folded copies of the Preliminary Plat for Fairway Farms Phase 2, Section 5 to the Planning Department for review and approval.

**BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION** that this resolution shall take effect from and after its final passage, the public welfare requiring such.

**IT IS SO ORDERED.**

PRESENT AND VOTING

AYE:

NAY:

DATED: 12/14/2015

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Dick Dempsey, Chairman

---

Johnny Wilson, Secretary

APPROVED AS TO FORM:

---

SUSAN HIGH-MCAULEY  
CITY ATTORNEY



## ITEM 3

### PLANNING DEPARTMENT STAFF REPORT

Preliminary Plat for Fairway Farms, Phase 2, Section 5  
(1-1319-15B)

Located north of Long Hollow Pike and west of Wendling Boulevard

Date: December 9, 2015

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**REQUEST:** OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR FAIRWAY FARMS, PHASE 2, SECTION 5, TO CREATE 30 ONE-FAMILY DETACHED DWELLING LOTS, AN OPEN SPACE TRACT, AND FOUR (4) RIGHTS-OF-WAYS ON 11.27 (+/-) ACRES, LOCATED NORTH OF LONG HOLLOW PIKE AND WEST OF WENDLING BOULEVARD.

**OWNER:** FAIRWAY FARMS DEVELOPMENT G.P.

**APPLICANT:** BRUCE RAINEY & ASSOCIATES

**STAFF RECOMMENDATION:** APPROVAL OF RESOLUTION 2015-162

**STAFF CONTACT:** ROBERT J. KALISZ

**PLANNING COMMISSION DATE:** DECEMBER 14, 2015

---

**PROPERTY OVERVIEW:** The owner and applicant is requesting approval of a Preliminary Plat for Fairway Farms, Phase 2, Section 5 to create 30 One-Family Detached Dwelling lots, an open space tract, and four (4) rights-of-ways on 11.27 (+/-) acres (Tax Map 114, Parcel 040.01), located north of Long Hollow Pike and west of Wendling Boulevard. The property is currently zoned R15 Medium Density Residential-Planned Residential Development (R15-PRD). One-Family Detached Dwellings is a permitted use in the R15 PRD zoning district. (Attachment 3-1 and Attachment 3-2)

#### CASE BACKGROUND:

##### ***Previous Approvals***

On March 25, 2013, the Planning Commission recommended approval of a major amendment to the Preliminary Master Development Plan for Fairway Farms, Phase 2 and 3 (PC0044-12) to change the phase lines, lot layout, open space, and design standards and to increase the overall density and number of units in the development. City Council approved the major amendment on May 21, 2013.

On June 24, 2013, the Planning Commission approved the Final Master Development Plan for Fairway Farms, Phases 2 and 3 (PC0146-13).

On February 23, 2015, the Planning Commission approved a minor amendment to the Preliminary Master Development Plan/Revised Final Master Development Plan for Fairway Farms, Phases 2 & 3 (PC 3-294-15) to develop the "Reserved Area" into two (2) lots and open spaces and to update the lot count for the overall development.

On July 27, 2015, the Planning Commission approved a Revised Final Master Development Plan (PC 8-797-15) and Preliminary Plat (PC 1-704-15B) for Fairway Farms, Phase 2, Section 4 (immediately north of this phase), to create 23 lots, an open space tract, and a stormwater detention pond on an adjacent open space tract on 9.0 (+/-) acres.

On November 23, 2015, the Planning Commission approved a Revised Final Master Development Plan for Fairway Farms, Phase 2, Section 5 (PC 8-1269-15) to create 30 lots and an open space tract on 11.27 (+/-) acres.

**DISCUSSION:**

***Proposed Development***

The Amended Preliminary Master Development Plan and Final Master Development Plan for Fairway Farms, Phases 2 and 3 includes 156 lots for single family detached dwelling units. With this Preliminary Plat (Fairway Farms, Phase 2, Section 5) the owner and applicant are proposing 30 lots, minimum 9,000 square feet, an open space tract, and the extension of Goodman Drive, Turnbo Drive, and Hackney Lane along with Rotondi Court, on 11.27 (+/-) acres. The proposed subdivision is consistent with the Neighborhood Established Character Area and the R15-PRD zoning.

***Natural Features***

The property is currently unimproved and vacant. The natural topography for the site, slopes from the highest point of elevation (544' and 542') located on Lot 43 and Lots 92 thru 94, respectively, sloping northeastwardly towards an open space tract (516') located adjacent to the rear of Lots 110 and 111. No portion of Fairway Farms, Phase 2, Section 5 is located within a special flood hazard area according to FIRM Panel No. #47165C0313G.

***Adjacent or Area Uses***

Additional phases and sections of Fairway Farms are located along the boundaries of this phase and section including Fairway Farms Phase 1, Section 1 (P.B. 23, Pg. 45) and Phase 2, Section 2 (P.B. 28, Pg. 369) to the east, future phases of the subdivision to the north and south and Cambridge Farms Phase 1, Section 2 (P.B. 14, Pg. 186) and Phase 1, Section 5 (P.B. 15, Pg. 64) to the west.

***Lot Size and Layout***

Fairway Farms, Phase 2 is indicated as part of "The Villages of Fairway Farms" on the Amended Preliminary Master Development Plan/Revised Final Master Development Plan for Fairway Farms, Phase 2 and 3 (PC 3-294-15). "The Village" units require a minimum lot size of 9,000 square feet. Lot sizes range from 9,103 square feet (Lot 99) to 13, 296 square feet (Lot 93) in area. The lot sizes shown on the Revised FMDP are consistent with lot sizes and layouts on the Amended Preliminary Master Development Plan/Final Master Development Plan for Fairway Farms, Phases 2 and 3 (PC 3-294-15). The lots are designed to accommodate and align with the natural topography of the land to convey stormwater from off-site through the property and to reduce the impact of stormwater runoff from each lot within this section and lots adjacent to this section. A minimum house size of 1,800 square feet is required for ranch style houses and a minimum house size of 2,000 square feet is required for two story houses. The Manor Homes shall have a minimum ground floor footprint of 2,000 square feet and if a second floor is constructed it shall be a

minimum of 500 square feet. The lots shall be 4-sided and contain houses with 75 percent brick or stone exteriors and the walls with foundations the same materials to grade.

**Rights-of-Way/Streets/Roads**

1,540 linear feet of 50 feet wide public right-of-way extension with 25 feet wide pavement width is shown on the plan for the extension of Hackney Lane, Turnbo Drive, and Goodman Drive along with Rotondi Court. Hackney Lane, Turnbo Drive, Goodman Drive, and Rotondi Court will become public streets once accepted by the Gallatin City Council. Five (5) foot wide sidewalks and five (5) foot wide grass strip will be constructed on both sides of the streets in accordance with the Gallatin Subdivision Regulations and Zoning Ordinance and the *Gallatin on the Move 2020 Plan*.

**Public Utility and Drainage Easements (P.U.D.E.'s)**

All lots will include Public Utility Drainage Easements (P.U.D.E.), including 20-foot wide P.U.D.E. located along all front yards and 10-foot wide P.U.D.E.'s located along all side and rear yards. Lots adjacent to the open space tract and Phase 2 Future Development will include 15-foot wide P.U.D.E.'s. Lots 36 thru 43 adjacent to Cambridge Farms Subdivision have an additional 25-foot wide drainage easement in addition to the rear 10-foot wide P.U.D.E. for a total of a 35-foot wide P.U.D.E. No vertical construction is allowed in any easements. The open space tract should include a blanket P.U.D.E. or at a minimum a 20-foot wide P.U.D.E. for utility line crossing through the tract and adjacent to Hackney Lane and Turnbo Drive.

**Open Space and Bufferyard**

The Preliminary Plat shows an open space tract to be located behind Lots 95 thru 110. The adjacent open space tract located in Phase 2, Section 4, and the existing tract platted as part of Phase One, Section Four and Phase 2, Section 2, will serve as a stormwater detention and conveyance area for this site. The open space tract on this plat is adjacent to the other open space tracts.

A Type 25 Bufferyard is required adjacent to Cambridge Farms located along the western boundary, per Table 13-05 Bufferyard Requirements of the Gallatin Zoning Ordinance and the approved PMDP/FMDP. Additional large deciduous trees shall be located in the open space tract along the eastern boundary.

The Type 25 Bufferyard and additional trees in the open space tract are consistent with the approved Amended Preliminary Master Development Plan/Revised Final Master Development Plan for Fairway Farms, Phase 2 and 3 (PC 3-294-15). The Amended PMDP/Revised FMDP for Fairway Farms, Phases 2 and 3 noted existing mature trees along the western boundary consisting of 159 white pines and 142 miscellaneous hardwoods which exceeds the required planting. No additional plantings are required along the west property line.

**Stormwater**

The Preliminary Plat indicates the stormwater runoff will generally follow the natural topography of the site. In addition, the Revised FMDP indicated there will be grading starting along the south and west sides of the site sloping towards the open space tract to control stormwater runoff to the adjacent detention pond. This will create a sloping

embankment adjacent to the rear of lots 95 thru 103 within the open space tract. Stormwater runoff will be directed into pipe conveyance and the remaining stormwater will be conveyed to a swale along the rear of lots 108 thru 110 then to the adjacent detention pond. There are several catch basins located along the street to capture stormwater runoff from the street which will be directed into the detention area located in the adjacent open space from a pipe that will discharge from the rear of Lot 110. The owner and applicant submitted construction plans and drainage calculations to Engineering Division for review and approval.

***Planning Department Comments***

The Planning Department reviewed and commented on the Preliminary Plat. The applicant satisfactorily addressed most of the Planning Department comments; however, the owner and applicant shall comply with the following:

1. Correct 11.54 (+/-) acres to 11.27 (+/-) acres to match the recently approved Revised FMDP (PC 8-1269-15).
2. Correct 40' P.U.D.E. along rear of Lots 36 thru 43 to 35' P.U.D.E and show the width of the complete easement.
3. Correct Lot 42 (farthest south) to Lot 43 on Sheet 3.
4. Indicate P.U.D.E. side yard easement on Lots 97 and 110 to be at least 10' from the utility line.
5. Indicate the open space tract as a P.U.D.E. or that portion which is within a P.U.D.E. to accommodate utility lines.
6. Provide copy of proposed Restrictive Covenants.
7. Submit three (3) corrected and folded copies of the Preliminary Plat for Fairway Farms Phase 2, Section 5 to the Planning Department for review and approval.

***Engineering Division Comments***

The Engineering Division reviewed and commented on the Preliminary Plat. The owner and applicant satisfactorily addressed most of the Engineering Division comments; however the owner and applicant shall comply with the following:

1. Show and label City Limits on Location Map.
2. Provide a copy of the recorded Stormwater Maintenance Agreement to the Engineering Division prior to the recording of the final plat.
3. Submit a subdivision surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to the recording of the final plat.

***Gallatin Public Utilities Department Comments***

This development is serviced by the Gallatin Public Utilities Department. The applicant shall coordinate all development with Gallatin Public Utilities Department to ensure all future utility infrastructures are installed to the satisfaction of the Gallatin Public Utilities Department. The Gallatin Public Utilities Department reviewed the Preliminary Plat and made the following comment indicated below:

1. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to submittal of final plats.

**Other Departmental Comments**

Other City Departments reviewed and commented on the Preliminary Plat. The applicant satisfactorily addressed most of the Other Departmental Comments; however, the owner and applicant, as part of the construction plan review, the following will be required:

1. All roadways shall be able to support fire equipment prior to issuance of any building permits.
2. All fire hydrants shall be installed prior to issuance of any building permits.

**Findings**

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The Preliminary Plat is consistent with the purpose and intent of the Medium Density Residential R15 Planned Residential Development (R15 PRD) Zoning District, the Amended PMDP for Fairway Farms, Phases 2 & 3, and the Revised FMDP for Fairway Farms, Phase 2, Section 5.
3. The Preliminary Plat is consistent with Tennessee Code Annotated Section 13-3-403 and Section 13-4-303.
4. The Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City as described in Chapter 1, Section 1-104, items 1-11 and;
5. The Preliminary Plat complies with the submittal requirements for a Preliminary Plat as described in Section 2-103, Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

**RECOMMENDATION:**

Staff recommends that the Planning Commission approve GMRPC Resolution 2015-162, a Preliminary Plat for Fairway Farms, Phase 2, Section 5 consisting of a three (3) sheet plan, prepared by Bruce Rainey and Associates of Hendersonville, Tennessee, with job number 140152, dated November 9, 2015, with revision date of December 3, 2015 with the following conditions:

1. Correct 11.54 (+/-) acres to 11.27 (+/-) acres to match the recently approved Revised FMDP (PC 8-1269-15).
2. Correct 40' P.U.D.E. along rear of Lots 36 thru 43 to 35' P.U.D.E and show the width of the complete easement.
3. Correct Lot 42 (farthest south) to Lot 43 on Sheet 3.
4. Indicate P.U.D.E. side yard easement on Lots 97 and 110 to be at least 10' from the utility line.
5. Indicate the open space tract as a P.U.D.E. or that portion which is within a P.U.D.E. to accommodate utility lines.

6. Show and label City Limits on Location Map.
7. Submit three (3) corrected and folded copies of the Preliminary Plat for Fairway Farms Phase 2, Section 5 to the Planning Department for review and approval.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

**ATTACHMENTS:**

**Attachment 3-1 Location Map**

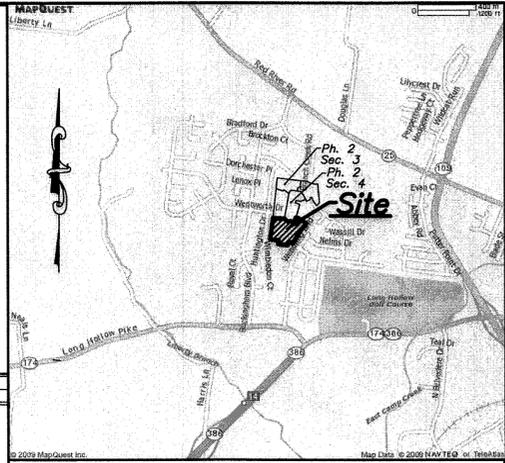
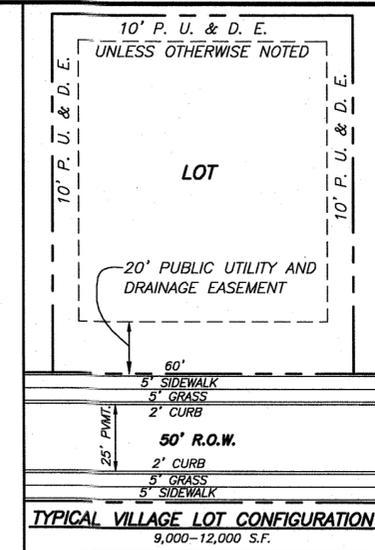
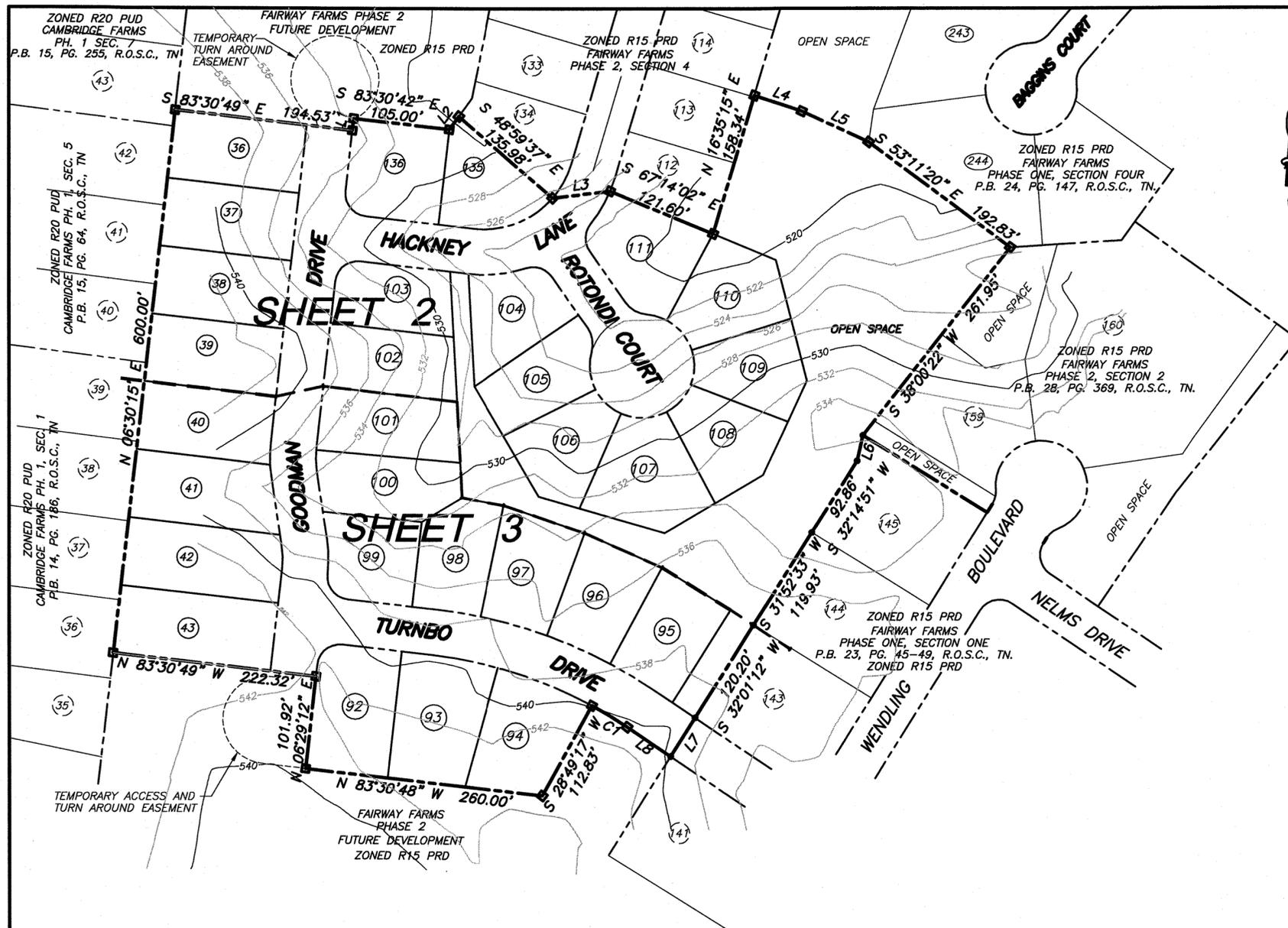
**Attachment 3-2 Preliminary Plat, Fairway Farms, Phase 2, Section 5 (1-1319-15B)**

# FAIRWAY FARMS DEVELOPMENT LOCATION MAP



NORTH OF LONG HOLLOW PIKE AND WEST  
OF WENDLING BOULEVARD  
TAX MAP # 114//040.01  
ZONED R15 PRD  
PC 1-1319-15B

## ATTACHMENT 3-1



- NOTES:
- THE PURPOSE OF THIS PLAT IS TO CREATE 30 ONE-FAMILY DETACHED DWELLING LOTS, OPEN SPACE TRACT AND TO DEDICATE RIGHT-OF WAY.
  - NORTH BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 83.
  - PROPERTY IS SHOWN AS PART OF PARCEL 40.01 ON SUMNER COUNTY PROPERTY MAP 114.
  - BEING A PORTION OF THE SAME PROPERTY CONVEYED TO FAIRWAY FARMS DEVELOPMENT GROUP BY DEED OF RECORD IN R.B. 4020, PG. 534, R.O.S.C., TN.
  - PROPERTY IS ZONED R15 PRD.
  - ACCORDING TO F.I.R.M. FLOOD MAP NO. 47165C0313G, DATED 4-17-12, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA.
  - EXISTING USE : VACANT  
PROPOSED USE : ONE FAMILY DETACHED DWELLING
  - 905 DENOTES STREET ADDRESS.
  - LANDSCAPE BUFFERYARD WITHIN LOTS TO BE MAINTAINED BY INDIVIDUAL LOTS OWNERS.
  - SETBACKS AS APPROVED AS SHOWN ON PMDP FOR FAIRWAYS FARMS PHASE 2 AND PHASE 3 (PC FILE #3-294-15). 20' FRONT YARD, 10' SIDE YARD (CORNER LOT - 20' SIDE), 15' REAR YARD (UNLESS OTHERWISE DEFINED BY EASEMENTS OR BUFFERS).
  - THERE IS A 10' PUBLIC UTILITY & DRAINAGE EASEMENT ALONG EACH SIDE AND REAR PROPERTY LINE AND A 20' PUBLIC UTILITY & DRAINAGE EASEMENT ALONG ALL STREET R.O.W. UNLESS SHOWN OTHERWISE.
  - IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.  
□ INDICATES MONUMENT

PLAT CONTAINS - 11.54 ACRES

PRELIMINARY PLAT  
OF  
**FAIRWAY FARMS**  
PHASE 2 - SECTION 5

PROPERTY LOCATED AT GOODMAN DRIVE, HACKNEY LANE AND TURNBO DRIVE, NORTH OF LONG HOLLOW PIKE IN THE CITY OF GALLATIN 9th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE : NOVEMBER 9, 2015 REV. : 12/03/15

SCALE : 1" = 100'

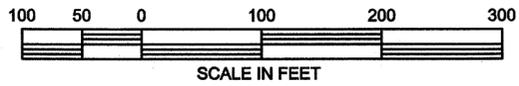
OWNER/DEVELOPER :  
FAIRWAY FARMS DEVELOPMENT GROUP  
147 MAPLE ROW BLVD SUITE 100  
HENDERSONVILLE, TN 37075

PREPARED BY :



LAND DEVELOPMENT CONSULTANTS  
116 MAPLE ROW BLVD.  
HENDERSONVILLE, TN. 37075  
Phone 615-822-0012  
Fax 615-824-1487

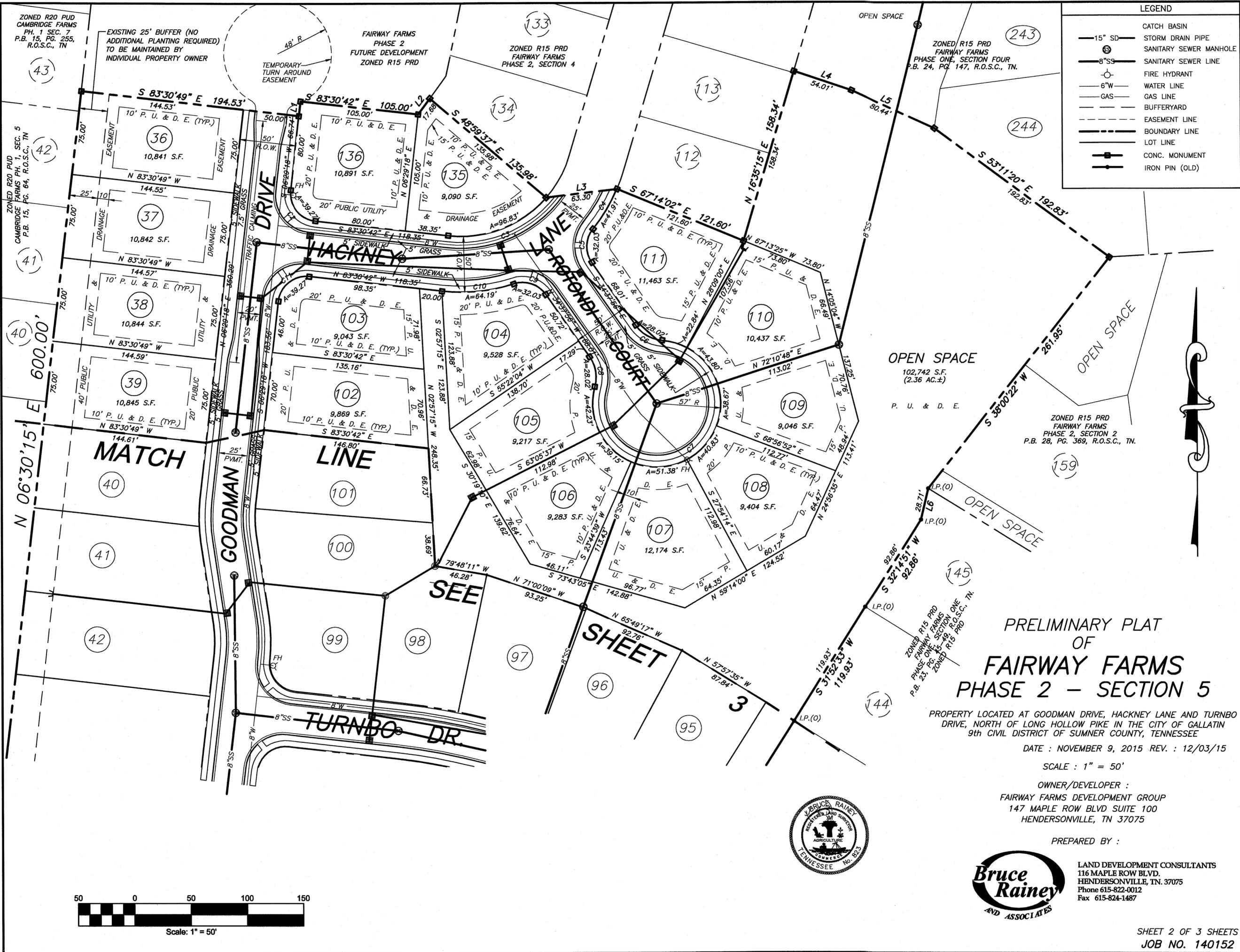
LINE	BEARING	DISTANCE
L1	N 06°29'18" E	13.26'
L2	N 35°59'19" E	17.68'
L3	N 83°08'00" E	63.30'
L4	S 71°23'53" E	54.01'
L5	S 65°11'46" E	80.44'
L6	S 12°55'22" W	28.71'
L7	S 32°17'57" W	50.04'
L8	N 55°44'43" W	57.32'
L9	S 06°29'12" W	13.08'
L10	N 06°01'42" E	0.33'



CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	5°25'18"	475.00'	44.95'	N 58°28'04" W	44.93'
C2	90°00'00"	25.00'	39.27'	S 38°30'42" E	35.36'
C3	55°28'55"	100.00'	96.83'	N 68°44'51" E	93.10'
C4	16°00'00"	150.00'	41.89'	N 30°45'59" E	41.75'
C5	73°23'54"	25.00'	32.03'	S 02°04'02" W	29.88'
C6	50°10'29"	32.00'	28.02'	S 59°43'10" E	27.14'
C7	280°20'58"	57.00'	278.90'	N 55°22'04" E	73.01'
C8	50°10'29"	32.00'	28.02'	N 09°32'41" W	27.14'
C9	73°23'54"	25.00'	32.03'	N 71°19'53" W	29.88'
C10	24°31'08"	150.00'	64.19'	N 84°13'44" E	63.70'
C11	90°00'00"	25.00'	39.27'	S 51°29'18" W	35.36'
C12	14°56'46"	100.00'	26.09'	S 00°59'05" E	26.01'
C13	14°56'23"	150.00'	39.11'	N 00°59'05" W	39.00'
C14	90°00'00"	25.00'	39.27'	S 38°30'42" E	35.36'
C15	27°45'28"	525.00'	254.34'	N 69°38'09" W	251.86'
C16	22°20'10"	475.00'	185.17'	N 72°20'48" W	184.00'
C17	90°00'00"	25.00'	39.27'	S 51°29'18" W	35.36'

APPROVED BY THE GALLATIN MUNICIPAL REGIONAL PLANNING COMMISSION, WITH SUCH EXCEPTIONS OR CONDITIONS AS ARE INDICATED IN THE MINUTES OF THE COMMISSION ARE

THIS PRELIMINARY PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THIS SUBDIVISION IN FINAL FORM AND DOES NOT CONSTITUTE APPROVAL FOR RECORDING OF THE PLAT.



LEGEND	
	CATCH BASIN
	STORM DRAIN PIPE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	FIRE HYDRANT
	WATER LINE
	GAS LINE
	BUFFERYARD
	EASEMENT LINE
	BOUNDARY LINE
	LOT LINE
	CONC. MONUMENT
	IRON PIN (OLD)

PRELIMINARY PLAT  
OF  
**FAIRWAY FARMS**  
PHASE 2 - SECTION 5

PROPERTY LOCATED AT GOODMAN DRIVE, HACKNEY LANE AND TURNBO DRIVE, NORTH OF LONG HOLLOW PIKE IN THE CITY OF GALLATIN 9th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE : NOVEMBER 9, 2015 REV. : 12/03/15

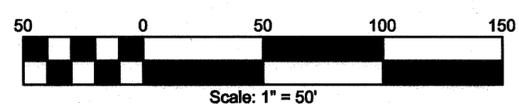
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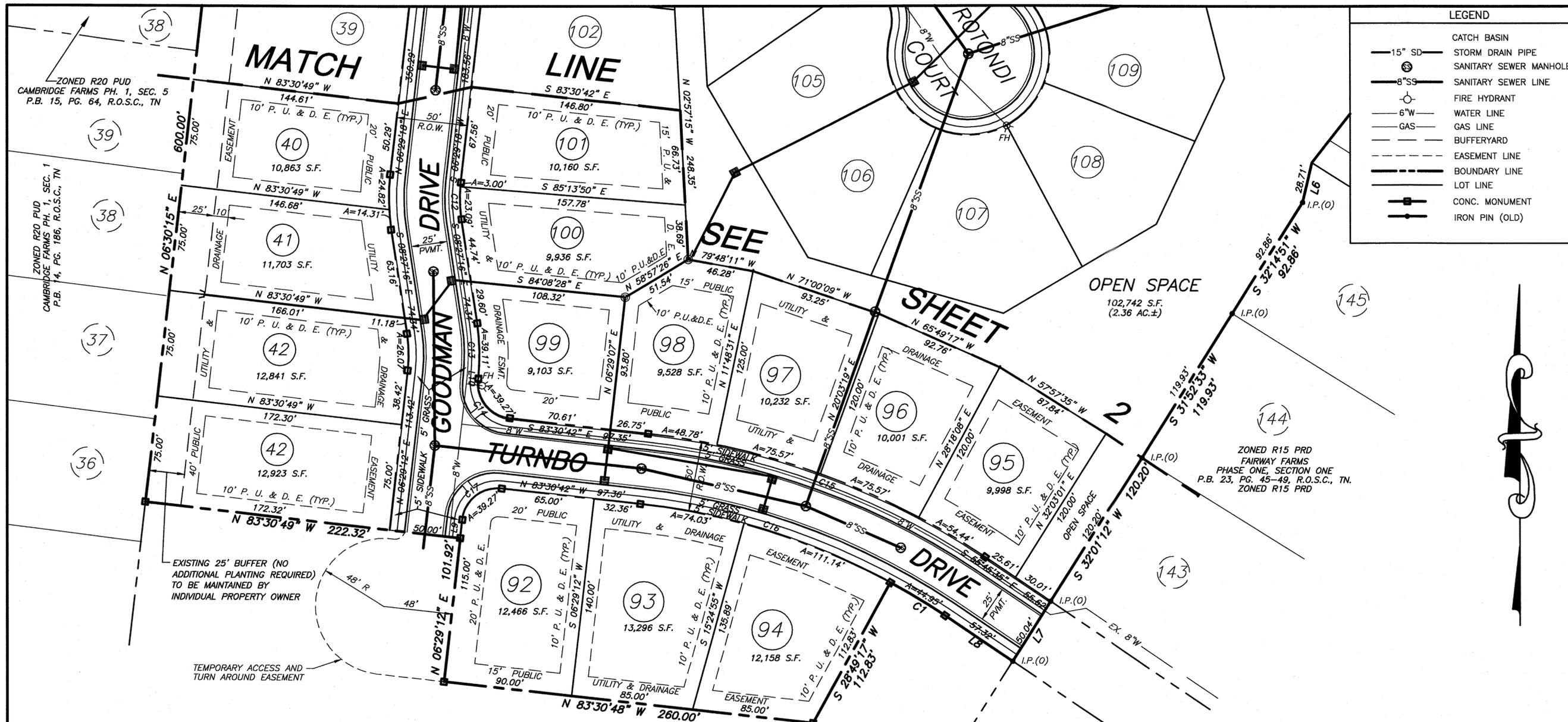
OWNER/DEVELOPER :  
FAIRWAY FARMS DEVELOPMENT GROUP  
147 MAPLE ROW BLVD SUITE 100  
HENDERSONVILLE, TN 37075

PREPARED BY :

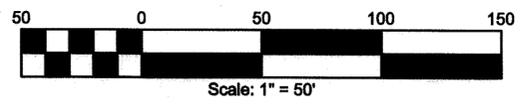


LAND DEVELOPMENT CONSULTANTS  
116 MAPLE ROW BLVD.  
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LEGEND	
	15" SD STORM DRAIN PIPE
	SANITARY SEWER MANHOLE
	8" SS SANITARY SEWER LINE
	FIRE HYDRANT
	6" W WATER LINE
	GAS LINE
	BUFFERYARD
	EASEMENT LINE
	BOUNDARY LINE
	LOT LINE
	CONC. MONUMENT
	IRON PIN (OLD)



**PRELIMINARY PLAT**  
**OF**  
**FAIRWAY FARMS**  
**PHASE 2 - SECTION 5**

PROPERTY LOCATED AT GOODMAN DRIVE, HACKNEY LANE AND TURNBO DRIVE, NORTH OF LONG HOLLOW PIKE IN THE CITY OF GALLATIN 9th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE : NOVEMBER 9, 2015 REV. : 12/03/15

SCALE : 1" = 50'

OWNER/DEVELOPER :  
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 147 MAPLE ROW BLVD SUITE 100  
 HENDERSONVILLE, TN 37075



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# ITEM 4

GMRPC Resolution No. 2015-156

**A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE FOXLAND PRELIMINARY MASTER DEVELOPMENT PLAN AND REVISED FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND, PHASE 6, CONTAINING 77 ONE-FAMILY, DETACHED DWELLING LOTS, SEVEN (7) OPEN SPACE TRACTS AND THREE (3) STREETS, ON 18.10 (+/-) ACRES, LOCATED ON FOXLAND BOULEVARD, FENNER LANE, AND BOARDWALK PLACE (PC FILE #8-1322-15).**

WHEREAS, the applicant submitted an application for a minor amendment to the previously approved Foxland Preliminary Master Development Plan and Revised Final Master Development Plan for Foxland, Phase 6 consistent with Section 12.02 of the City of Gallatin Zoning Ordinance, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the Amended Preliminary Master Development Plan and Revised Final Master Development Plan, application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report and the evidence and testimony presented during the meeting December 14, 2015.

**NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations make the following findings pursuant to Tennessee Code Annotated §13-3-310, §13-4-310, §13-7-201, and §13-7-202:

1. The Amended Preliminary Master Development Plan and Revised Final Master Development Plan are in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The Amended Preliminary Master Development Plan and Revised Final Master Development Plan are consistent with the purpose and intent of the Multiple Residential and Office (MRO) zone district and comply with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district, with the approval of a five (5) foot side yard exception and minimum lot width exception.
3. The proposed changes shown in the Amended Preliminary Master Development Plan and Revised Final Master Development Plan do not constitute a major amendment to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.

4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed modifications will not change the essential character of the Foxland Subdivision since homes in Phase 6 will match previously constructed homes throughout the development.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended Preliminary Master Development Plan and Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare. An Alternative Type 40 Bufferyard will be installed along the western property boundary to screen the proposed residential structures from the adjoining property, zoned Sumner County R1A, Low Density Residential.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended Preliminary Master Development Plan and Revised Final Master Development Plan has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
9. The proposed changes are considered a minor amendment to the approved Preliminary Master Development Plan for Foxland at Fairvue.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a minor amendment to the Foxland Preliminary Master Development Plan consisting of a one (1) sheet Over Site Layout Plan for Foxland at Fairvue, prepared by Barge, Waggoner, Sumner, and Cannon, Inc. of Nashville, Tennessee, with job number 32003-00, dated May 2, 2011, with a latest revision date of December 3, 2015, and the Amended Preliminary Master Development Plan, Phase 6/Revised Final Master Development Plan, Phase 6 for Foxland, consisting of a four (4) sheet plan, prepared by Barge, Waggoner, Sumner, and Cannon, Inc. of Nashville, Tennessee, with file number 32003-56, dated March 11, 2015, with a latest revision date of December 3, 2015 and separate architectural elevations submitted by Phillips Builders/A Meritage Homes Company, with the following conditions:

1. Add ‘front yard setback’, ‘side yard setback’ and ‘rear yard setback’ to each label on the Typical Lot illustration.
2. Revise Note 6, remove ‘Common Area’ and revise to state: ‘Open Space and Bufferyards will be owned and maintained by the Homeowner’s Association’.

3. Add adjoining property information for Foxland, Ph. 5, Sec. 1, located north of Lots 1175 and 1387.
4. Applicant shall revise the Preliminary Construction Schedule Table to indicate a future completion date since the Final Plat has not been recorded.
5. Revise titles on all sheets to include 'Revised Final Master Development Plan-Phase 6. Remove the wording 'Sections 1 & 2' from the title.
6. On the Overall Site Layout Plan of the Amended PMDP/FMDP for Foxland at Fairvue switch Ph. 5, Sec. 1 and Ph. 5, Sec. 2 labels, as Final Plats for each of these phases were recorded opposite of shown on the submitted Overall Site Layout Plan.
7. On the Overall Site Layout Plan of the Amended PMDP/FMDP for Foxland at Fairvue revise information in the Site Data table to show the acreage for Ph. 5, Secs. 1 and 2. Also update the information for Phase 5, Secs. 1 and 2 in the Phase Description notes.
8. On the Overall Site Layout Plan update the medians in Phase 7 to show the three (3) medians as approved on the Final Plat for Foxland, Ph. 7, Sec. 3.
9. On the Overall Site Layout Plan revise the notes under the Lot Yard Table: \*\* 10' PUDE on some lots as indicated on FMDP's, \*\*Landscape Easement on some lots as shown on FMDP's. Remove asterisks next to Phase 6 labels.
10. On the Amended PMDP, Phase 6/Revised FMDP, Phase 6 for Foxland, label Gallatin City Limit's along the west property line of Lots 1223 -1238 and open space tract.
11. Submit a Site Surety, as approved by the Planning Department, prior to the recording of a Final Plat.
12. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit six (6) full size, corrected, folded copies of the Overall Site Layout Plan of the Amended PMDP/FMDP for Foxland at Fairvue, and submit three (3) (1 full size, 2 half size) corrected, folded copies of the Amended PMDP, Foxland, Phase 6/Revised FMDP Foxland, Phase 6, to the Planning Department prior to recording of a Final Plat for Foxland, Phase 6.

**BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION** that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.  
PRESENT AND VOTING

AYE:

NAY:

DATED: 12/14/15

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Dick Dempsey, Chairman

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Johnny Wilson, Secretary

APPROVED AS TO FORM:

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Susan High-McAuley  
City Attorney



## ITEM 4

### PLANNING DEPARTMENT STAFF REPORT

Foxland, Ph. 6 Amended PMDP/Revised FMDP

PC File #8-1322-15

Foxland Boulevard, Fenner Lane, & Boardwalk Place

Date: December 14, 2015

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**REQUEST:** OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE FOXLAND PRELIMINARY MASTER DEVELOPMENT PLAN AND REVISED FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND, PHASE 6, CONTAINING 77 ONE-FAMILY DETACHED DWELLING LOTS, SEVEN (7) OPEN SPACE TRACTS, AND THREE (3) STREETS, ON 18.10 (+/-) ACRES, LOCATED ON FOXLAND BOULEVARD, FENNER LANE, AND BOARDWALK PLACE (PC FILE #8-370-15).

**OWNER:** PHILLIPS BUILDER/A MERITAGE HOMES COMPANY

**APPLICANT:** BARGE, WAGGONER, SUMNER & CANNON, INC.

**STAFF RECOMMENDATION:** APPROVAL OF RESOLUTION NO. 2015-156

**STAFF CONTACT:** DENISE BROWN

**PC MEETING DATE:** DECEMBER 14, 2015

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#### **PROPERTY OVERVIEW:**

The owner and applicant request approval of a minor amendment to the Foxland Preliminary Master Development Plan and Revised Final Master Development Plan for Foxland, Phase 6, containing 77 One-Family, Detached Dwelling lots, seven (7) open space tracts and three (3) streets, on 18.10 (+/-) acres, located on Foxland Boulevard, Fenner Lane, and Boardwalk Place (Attachment 4-1, Attachment 4-2, and Attachment 4-3). The open space areas shall be owned and maintained by the homeowners' association.

The Preliminary Master Development Plan is being amended and the Final Master Development Plan is being revised to divide Phase 6 into two (2) sections. The number and sizes of lots and open space tracts will remain the same. Foxland, Phase 6, Section 1 will contain 40 lots and three (3) open space tracts, and Section 2 will contain 37 lots and four (4) open space tracts. The applicant provided an overall layout of the Foxland Development that reflects the latest approvals and lot configuration for the entire subdivision, including the proposed changes to Phase 6 (Attachment 4-1).

There are no architectural changes proposed with this amendment. The property is currently zoned Multiple Residential and Office (MRO). One-family Detached Dwelling is a permitted use in the MRO zone district.

**Staff recommends that the Planning Commission approve the proposed changes as a minor amendment to the approved Foxland Preliminary Master Development Plan and recommends approval of the Foxland, Phase 6 Revised Final Master Development Plan with the conditions listed in the staff report and in GMRPC Resolution No. 2015-156.**

**CASE BACKGROUND:**

***Previous Approvals and Property History***

On November 28, 2005, the Planning Commission recommended approval of a Preliminary Master Development Plan and rezoning of 416.87 (+/-) acres, known as the Foxland property, from Residential-15 Planned Unit Development (R15 PUD) and Multiple Residential and Office Planned Unit Development (MRO PUD) to Mixed Use (MU) and Multiple Residential and Office (MRO) (PC File #3-16-05). The Preliminary Master Development Plan included 81.37 (+/-) acres to be rezoned to MU and 335.50 (+/-) acres to be rezoned to MRO. The Preliminary Master Development Plan and rezoning request passed Second Reading at the February 7, 2006 City Council meeting.

Since the time the property was rezoned in 2006, several Final Master Development Plans for the Clubhouse, golf course, One-Family Detached Dwellings, Attached Dwellings, and Multi-Family Dwelling units have been approved throughout the Foxland Development. Several Preliminary and Final Plats have also been approved for various phases and sections of the Foxland Development.

On March 25, 2013, the Planning Commission approved a minor amendment to the Foxland Preliminary Master Development Plan to revise the phase line between Phase 5 and Phase 6 and to divide Phase 5 into sections (PC0105-13). The plan also included revisions to the approved Final Master Development Plan for Foxland, Phase 5 containing 31.40 (+/-) acres located on segments of Foxland Boulevard and Boardwalk Place north of Phase 6. A separate Final Master Development Plan for Phase 6 had not previously been approved.

On March 23, 2015, the Planning Commission approved a minor amendment to the Foxland Preliminary Master Development Plan and the Final Master Development Plan for Phase 6 to decrease the number of approved One-Family Detached Dwelling lots from 80 to 77 lots and to revise the approved conceptual architectural elevations. (PC FILE #8-370-15) (Attachment 4-4). Foxland, Phase 6 Preliminary Plat was also being considered as a separate item at this meeting.

***Gallatin on the Move 2020 General Development and Transportation Plan***

The entire Foxland Subdivision, including the subject property, is located within the Suburban Neighborhood Established Community Character Area as shown on the Community Character Area Map of the *Gallatin on the Move 2020 General Development and Transportation Plan*. The main goals of the Suburban Neighborhood Established Community Character Area are to provide safe areas for pedestrians, school buses, and bicyclists while preserving mature tree cover, and maintaining existing residential uses, including One-Family Detached Dwellings. The Amended Preliminary Master Development Plan for Foxland and Final Master Development Plan for Foxland, Phase 6 meet the overall intent of the Suburban Neighborhood Established Community Character Area.

***Natural Features***

The subject property is currently under construction. A note on the plan indicates that no portion of this property is located within a special flood hazard area according to FEMA FIRM map panel

#47165C0409G, dated April 17, 2012; zone X. Phase 6 contains mature trees along the western property boundary that will be preserved and counted toward the bufferyard requirement (Attachment 4-2; sheet L1.01). Phase 6 is surrounded by the existing Foxland golf course on three (3) sides.

### ***Surrounding Zoning***

The entire Foxland Subdivision property lies within the Gallatin City limits and is zoned Multiple Residential and Office (MRO). Property to the north, south, and east of Foxland, Phase 6 are zoned MRO. The western boundary of Phase 6 represents the Gallatin City limits line. Adjoining properties to the west are zoned Sumner County R1A (Low Density Residential) and contain existing single-family homes in the Lori Lee Estates Subdivision.

### ***Access***

Foxland Boulevard and Boardwalk Place will be extended and end in cul-de-sacs at the southernmost portion of Phase 6. Fenner Lane will run perpendicular to Foxland Boulevard and Boardwalk Place and connect the two (2) streets. Streets within Phase 6 will become public once all roadway infrastructure is installed and accepted by the Gallatin City Council. In accordance with the Gallatin Zoning Ordinance and the 2020 Plan, five (5) foot wide sidewalks shall be constructed along both sides of all streets within Phase 6 and are shown on the plan.

### ***Architectural Elevations***

The applicant submitted renderings of the One-Family, Detached Dwellings proposed for construction in Phase 6. The homes feature a mixture of brick, stone, stucco accents, and Hardie Board siding, with architectural dimensional shingles for the roofs (Attachment 4-6). The proposed homes range in size from approximately 1,900 square feet to approximately 2,850 square feet. The proposed architecture matches the previously approved samples in terms of building materials, size, scale, and overall design. Houses constructed in Phase 6 will be compatible with homes currently being constructed in other phases of the subdivision. All construction shall meet the general design guidelines approved as part of the original Foxland Preliminary Master Development Plan. According to the applicant, all final sample house plans included with this submittal were approved by the private Architectural Review Committee for Foxland.

### ***Side Yard and Minimum Lot Width Exceptions***

According to G.Z.O. Section 12.02.020.F, Master Development Plan - Granting of Exceptions to Bulk Regulations and Waiver of Board of Zoning Appeal Approval of Conditional Use Permit, applicants may request exceptions to certain bulk regulations such as yard setback lines and minimum lot widths as part of Preliminary or Final Master Development Plans.

With this plan, the applicant is requesting approval of an exception to the ten (10) foot side yard requirement for the MRO zone district to allow five (5) foot side yards. This same request was previously approved by the Planning Commission as part of the Preliminary Master Development Plan and is consistent with many homes already constructed throughout Foxland. The applicant is also requesting approval of an exception to the 60-foot minimum lot width requirement for the MRO zone district to construct 50-foot wide lots. Deeper lots will be provided to meet the 6,000 square foot minimum lot square footage requirement for the MRO zone district. This same request was previously approved by the Planning Commission as part of the Preliminary Master Development Plan. Staff

recommends approval of the side yard and minimum lot width exceptions as shown on the Final Master Development Plan for Foxland, Phase 6.

### **Construction Schedule**

Construction of the roads and infrastructure for Phase 6 began in June 2015. A note is indicated on the plan that the construction is scheduled for completion by December 2015. Applicant shall revise the note to indicate a future completion date.

### **Landscaping and Bufferyards**

Bufferyards are required to be shown on the Amended Preliminary Master Development Plan and Final Master Development Plan and are intended to minimize the potential impacts of the proposed development on the adjacent properties as outlined in the Gallatin Zoning Ordinance and the 2020 Plan.

A Type 40 Bufferyard, including an opaque barrier, is required along the western property boundary of Phase 6, along the rear of Lots 1225-1238, adjoining the property zoned Sumner County R1A (Lori Lee Estates recorded in PB 11; PG 6-8).

The applicant submitted a detailed landscaping and bufferyard plan, which includes an alternative to the requirements of the Gallatin Zoning Ordinance, previously approved as part of the Foxland Amended Preliminary Master Development Plan for Foxland, Phase 5 & 6 (Attachment 4-5). The applicant is again requesting approval of an Alternative Type 40 Bufferyard in this location to match the landscaping approved as part of the previously Amended Preliminary Master Development Plans for Foxland, Phase 5 and 6 (PC0105-13). The bufferyard is 40-feet wide, but will not include an opaque barrier. Existing trees in this location will be counted towards the bufferyard requirement and are identified on the landscaping plan; however, the applicant shall provide the corresponding legend for the existing tree types and sizes as required by the Gallatin Zoning Ordinance. Since Lot 1223 (17,053 square feet) and Lot 1224 (11,434 square feet) contain mature ornamental trees along the rear property line and are more compatible with the adjoining lot sizes to the west, the applicant is requesting that the existing trees and proposed plantings satisfy the bufferyard requirement at the back of these two (2) lots. Planning Commission previously approved this design as part of the alternative landscaping plan submitted with the Amended Preliminary Master Development Plan (PC0105-13).

The Planning Commission shall determine if the alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval, and if so, approve the alternative bufferyard plan. The applicant shall add a note to the landscaping plan regarding the number and size of each type tree to be installed within the Alternative Type 40 Bufferyard.

### **Site Surety**

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department. The site surety is required for landscaping and bufferyards in Foxland, Phase 6. The applicant previously submitted the site surety calculation sheet and set the amount at \$17,120.35. The site surety for \$17,120.35 in the form of cash, certified check, or automatically renewing Irrevocable Letter of Credit, shall be submitted to the Planning Department prior to the recording of the Final Plat for Foxland, Phase 6. Site sureties are valid for one (1) from the recording of the Final Plat.

### ***Drainage and Detentioning***

All stormwater runoff will drain to the existing pond located on the golf course, between holes 11 and 15, (south of Fenner Lane) or to the smaller holding areas south and east of the Foxland Blvd. cul de sac. Both pond areas ultimately drain to Old Hickory Lake. All lots will also be constructed with Public Utility Drainage Easements (P.U.D.E.) on all four (4) sides to accommodate drainage flow. Five (5) foot wide Public Utility and Drainage Easements (P.U.D.E.) are shown along the side property lines. This requires a five (5) foot width variance from the Gallatin Subdivision Regulations as part of the Preliminary Plat approval. The five (5) foot side yard Public Utility and Drainage Easements (P.U.D.E.) are consistent with other lots approved in previously approved phases of the Foxland Subdivision. No vertical construction is allowed in any easements.

### ***Subdivision Plat***

A Preliminary Plat for Foxland, Phase 6, Sections 1 & 2 (PC File #1-1320-15B), and a Final Plat for Foxland, Phase 6, Section 1 (PC File #1-1324-15B), is on the Consent Agenda for the December 14, 2015 Gallatin Municipal-Regional Planning Commission meeting. The Preliminary and Final Plat matches the Amended Preliminary Master Development Plan and Final Master Development Plan as required. The Foxland, Phase 6 Final Plat shall be recorded prior to the issuance of any building permits.

### ***Minor Amendment***

G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan, lists specific items that would constitute a major amendment to an approved Preliminary Master Development Plan including an increase in density, substantial changes to access or site circulation, or substantial changes to approved architecture. Staff reviewed the approved Foxland Preliminary Master Development Plan in detail and found no changes in the current plan that would constitute a major amendment. Planning Commission should determine if the proposed lot count reduction and changes to the proposed architecture should be considered as a minor amendment to the approved Preliminary Master Development Plan for Foxland.

### ***Departmental Comments***

- ***Engineering Division***

The Engineering Division reviewed the Amended Preliminary Master Development Plan and Revised Final Master Development Plan. All of the Engineering comments have been satisfied.

- ***Police Department***

The Police Department provided no comments on the plan.

- ***Department of Public Utilities and Industrial Pre-treatment Department***

This development is primarily served by the White House Utility District. The Gallatin Department of Public Utilities only provides gas service in this area. A utility surety for gas line installation may be required prior to the recording of a Final Plat for Foxland, Phase 6.

- ***White House Utility District***

Since this area is primarily serviced by the White House Utility District, the owner and applicant shall coordinate all development to ensure future utility infrastructure is installed to the satisfaction

of the White House Utility District. The applicant shall submit a copy of the utility surety to the Planning Department, if required, prior to recording of a Final Plat for Foxland, Phase 6.

- **Fire Department**

The Fire Department provided no comments on the plan.

- **Sumner County E-911**

The Sumner County E-911 Office reviewed the Amended Preliminary Master Development Plan/Revised Final Master Development Plan, but provided no comments.

- **Building Codes Department**

The Building Department did not review the plan.

- **Department of Electricity**

The Department of Electricity provided no review comments on the plan.

- **Public Works Department**

The Public Works Department provided no comments on the plan.

Departmental comments not addressed by the resubmittal have been added as conditions of approval.

### **Findings**

According to the applicant, the project was designed to reflect the recommendations of the *2020 Plan* and be consistent with the intent and purpose of the Gallatin Zoning Ordinance. Staff, therefore, makes the following findings:

1. The Amended Preliminary Master Development Plan and Revised Final Master Development Plan are in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The Amended Preliminary Master Development Plan and Revised Final Master Development Plan are consistent with the purpose and intent of the Multiple Residential and Office (MRO) zone district and comply with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district, with the approval of a five (5) foot side yard exception and minimum lot width exception.
3. The proposed changes shown in the Amended Preliminary Master Development Plan and Revised Final Master Development Plan do not constitute a major amendment to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed modifications will not change the essential character of the Foxland Subdivision since homes in Phase 6 will match previously constructed homes throughout the development.

5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended Preliminary Master Development Plan and Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare. An Alternative Type 40 Bufferyard will be installed along the western property boundary to screen the proposed residential structures from the adjoining property, zoned Sumner County R1A, Low Density Residential.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended Preliminary Master Development Plan and Revised Final Master Development Plan has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
9. The proposed changes are considered a minor amendment to the approved Preliminary Master Development Plan for Foxland at Fairvue.

**RECOMMENDATION:**

Based on the findings presented in the staff report, Staff recommends that the Planning Commission approve Resolution 2015-156, minor amendment to the Foxland Preliminary Master Development Plan consisting of a one (1) sheet Over Site Layout Plan for Foxland at Fairvue, prepared by Barge, Waggoner, Sumner, and Cannon, Inc. of Nashville, Tennessee, with job number 32003-00, dated May 2, 2011, with a latest revision date of December 3, 2015, and the Amended Preliminary Master Development Plan, Phase 6/Revised Final Master Development Plan, Phase 6 for Foxland, consisting of a four (4) sheet plan, prepared by Barge, Waggoner, Sumner, and Cannon, Inc. of Nashville, Tennessee, with file number 32003-56, dated March 11, 2015, with a latest revision date of December 3, 2015 and separate architectural elevations submitted by Phillips Builders/A Meritage Homes Company, with the following conditions:

1. Add 'front yard setback', 'side yard setback' and 'rear yard setback' to each label on the Typical Lot illustration.
2. Revise Note 6, remove 'Common Area' and revise to state: 'Open Space and Bufferyards will be owned and maintained by the Homeowner's Association'.
3. Add adjoining property information for Foxland, Ph. 5, Sec. 1, located north of Lots 1175 and 1387.
4. Applicant shall revise the Preliminary Construction Schedule Table to indicate a future completion date since the Final Plat has not been recorded.
5. Revise titles on all sheets to include 'Revised Final Master Development Plan-Phase 6. Remove the wording 'Sections 1 & 2' from the title.
6. On the Overall Site Layout Plan of the Amended PMDDP/FMDDP for Foxland at Fairvue switch Ph. 5, Sec. 1 and Ph. 5, Sec. 2 labels, as Final Plats for each of these phases were recorded opposite of shown on the submitted Overall Site Layout Plan.
7. On the Overall Site Layout Plan of the Amended PMDDP/FMDDP for Foxland at Fairvue revise information in the Site Data table to show the acreage for Ph. 5, Secs. 1 and 2. Also update the information for Phase 5, Secs. 1 and 2 in the Phase Description notes.

8. On the Overall Site Layout Plan update the medians in Phase 7 to show the three (3) medians as approved on the Final Plat for Foxland, Ph. 7, Sec. 3.
9. On the Overall Site Layout Plan revise the notes under the Lot Yard Table: \*\* 10' PUDE on some lots as indicated on FMDP's, \*\*Landscape Easement on some lots as shown on FMDP's. Remove asterisks next to Phase 6 labels.
10. On the Amended PMDP, Phase 6/Revised FMDP, Phase 6 for Foxland, label Gallatin City Limit's along the west property line of Lots 1223 -1238 and open space tract.
11. Submit a Site Surety, as approved by the Planning Department, prior to the recording of a Final Plat.
12. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit six (6) full size, corrected, folded copies of the Overall Site Layout Plan of the Amended PMDP/FMDP for Foxland at Fairvue, and submit three (3) (1 full size, 2 half size) corrected, folded copies of the Amended PMDP, Foxland, Phase 6/Revised FMDP Foxland, Phase 6, to the Planning Department prior to recording of a Final Plat for Foxland, Phase 6.

**Attachments:**

- |                       |  |
|-----------------------|--|
| <b>Attachment 4-1</b> | <b>Foxland Overall Site Layout Plan</b>                                      |
| <b>Attachment 4-2</b> | <b>Foxland, Ph. 6 Amended PMDP/Revised FMDP (PC File #8-1322-15)</b>         |
| <b>Attachment 4-3</b> | <b>Location Map</b>  |
| <b>Attachment 4-4</b> | <b>Foxland, Phase 6 FMDP (PC FILE #8-370-15)</b>                             |
| <b>Attachment 4-5</b> | <b>Previously Approved Foxland, Phase 5 &amp; 6 Amended PMDP (PC0105-13)</b> |
| <b>Attachment 4-6</b> | <b>Foxland, Phase 6 Proposed Architectural Elevations</b>                    |

FOXLAND, PHASE 6 AMENDED PMDP/ REVISED FMDP  
PC FILE #8-1322-15  
LOCATION MAP

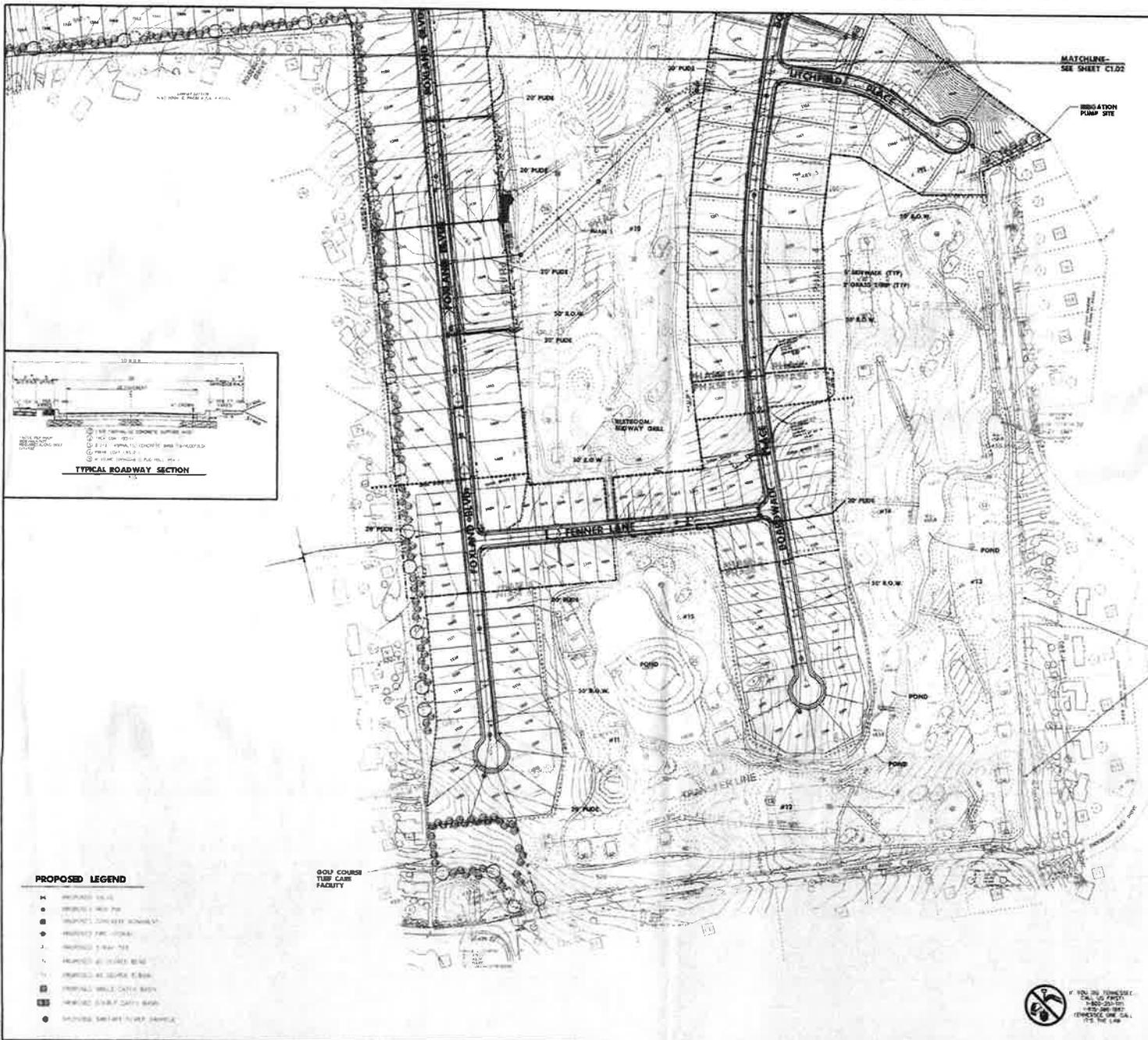


ATTACHMENT 4-3

PC FILE #8-1322-15

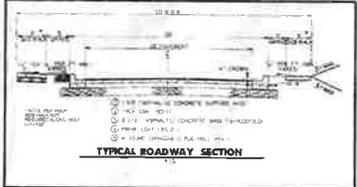
**ATTACHMENT 4-3**





**NOTES:**

1. A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ZONE AS ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 47000040000. OTHER APPLICABLE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 47000040000. OTHER APPLICABLE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 47000040000. OTHER APPLICABLE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 47000040000.
2. COMMON AREAS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
3. THIS SITE WILL COMPLY WITH THE PERFORMANCE AND DESIGN STANDARDS WITHIN THE CITY OF DALLAS FLOOD ORDINANCE, SECTION 13.6G.



- PROPOSED LEGEND**
- 1. 12" CONC. SIDEWALK
  - 2. 4" CONC. CURB
  - 3. 4" CONC. ROADWAY
  - 4. 4" CONC. UTILITY
  - 5. 4" CONC. UTILITY
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  - 49. 4" CONC. UTILITY
  - 50. 4" CONC. UTILITY

**MAP 147 PARCEL 10.05**

**BENCHMARK**  
SEE AERIAL TARGETS  
RAD IS

**C1.01**

**BWSC**  
BLANKENHORN & BLANKENHORN, INC.  
LANDSCAPE ARCHITECTS, P.C.  
10000 W. CAMPBELL ROAD, SUITE 100  
DALLAS, TEXAS 75243-1000  
TEL: 972.241.1000  
WWW.BWSC.COM



**SITE, UTILITY, GRADING, DRAINAGE AND LANDSCAPING PLAN**  
**AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6**  
**REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5**  
**FOXLAND AT FAIRVUE**  
DOUGLAS BEND ROAD  
DALLAS, TEXAS COUNTY, TEXAS

NO.	DATE	DESCRIPTION
1	01/15/2010	PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5
2	02/15/2010	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
3	03/15/2010	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
4	04/15/2010	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
5	05/15/2010	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
6	06/15/2010	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
7	07/15/2010	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
8	08/15/2010	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
9	09/15/2010	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
10	10/15/2010	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
11	11/15/2010	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
12	12/15/2010	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
13	01/15/2011	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
14	02/15/2011	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
15	03/15/2011	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
16	04/15/2011	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
17	05/15/2011	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
18	06/15/2011	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
19	07/15/2011	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
20	08/15/2011	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
21	09/15/2011	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
22	10/15/2011	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
23	11/15/2011	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
24	12/15/2011	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
25	01/15/2012	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
26	02/15/2012	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
27	03/15/2012	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
28	04/15/2012	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
29	05/15/2012	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
30	06/15/2012	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
31	07/15/2012	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
32	08/15/2012	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
33	09/15/2012	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
34	10/15/2012	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
35	11/15/2012	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
36	12/15/2012	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
37	01/15/2013	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
38	02/15/2013	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
39	03/15/2013	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
40	04/15/2013	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
41	05/15/2013	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
42	06/15/2013	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
43	07/15/2013	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
44	08/15/2013	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
45	09/15/2013	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
46	10/15/2013	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
47	11/15/2013	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
48	12/15/2013	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5
49	01/15/2014	AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN - PHASE 5 AND PHASE 6
50	02/15/2014	REVISED FINAL MASTER DEVELOPMENT PLAN - PHASE 5

**ATTACHMENT 4-5**

PC0105-13



**The Gray**

Bedrooms: 3  
Bathrooms: 2  
Aprox. SQ. Ft: 1,922



**The Griffin**

Bedrooms: 3  
Bathrooms: 2.5  
Aprox. SQ. Ft: 2455



**The Taylor**

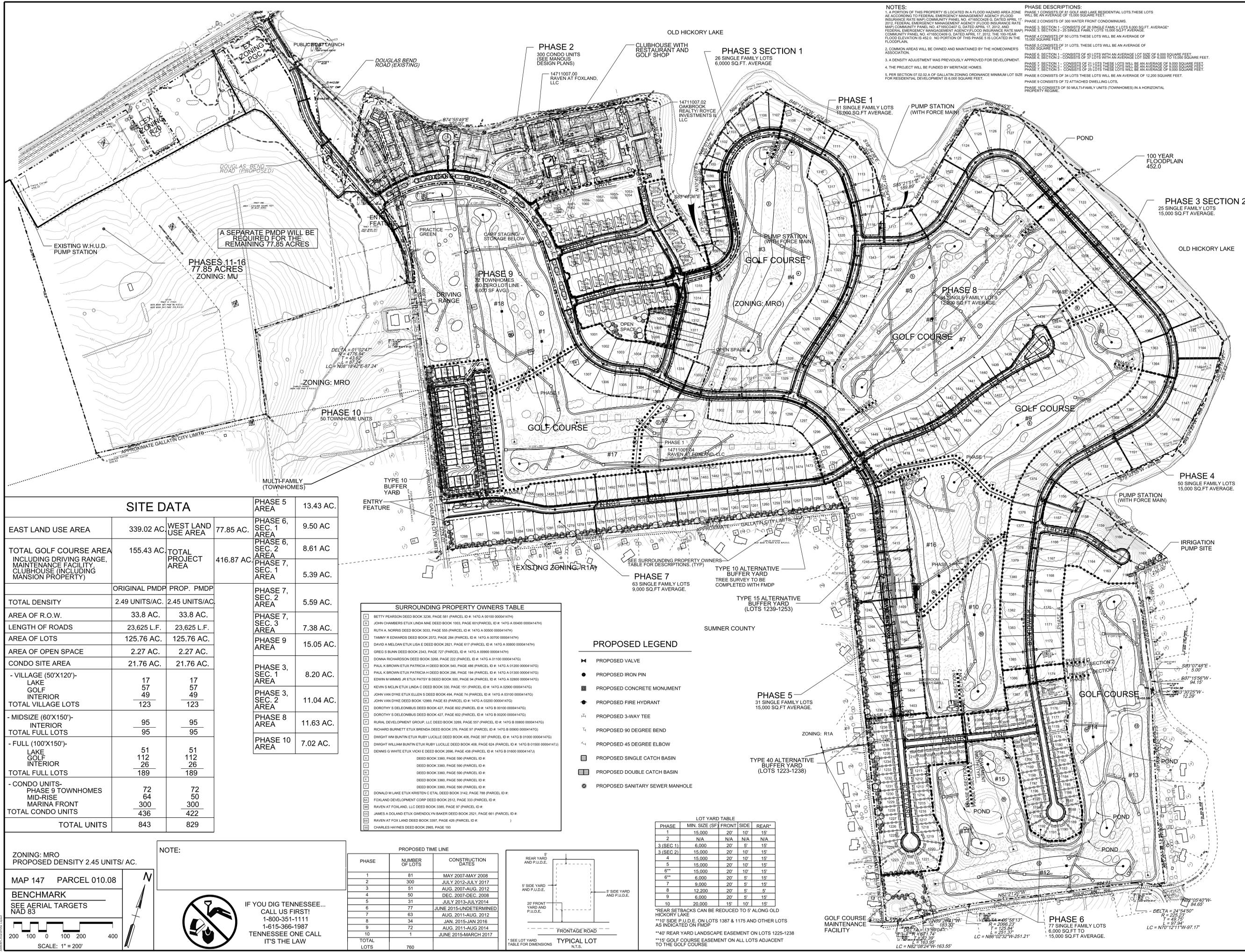
Bedrooms: 4  
Bathrooms: 2.5 Aprox.  
SQ. Ft: 2,680



**The Hannover**

Bedrooms: 4  
Bathrooms: 2.5  
Aprox. SQ. Ft: 2,850

**ATTACHMENT 4-6**



**NOTES:**

- A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ZONE AS ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) INSURANCE RATE MAP COMMUNITY PANEL NO. 47165C0408 G, DATED APRIL 17, 2012. FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) INSURANCE RATE MAP COMMUNITY PANEL NO. 47165C0407 G, DATED APRIL 17, 2012, AND FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) INSURANCE RATE MAP COMMUNITY PANEL NO. 47165C0408 G, DATED APRIL 17, 2012. THE 100-YEAR FLOOD ELEVATION IS 452.0. NO PORTION OF THIS PHASE 5 IS LOCATED IN THE FLOODPLAIN.
- COMMON AREAS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- A DENSITY ADJUSTMENT WAS PREVIOUSLY APPROVED FOR DEVELOPMENT.
- THE PROJECT WILL BE FINANCED BY MORTGAGE HOMES.
- PER SECTION 07.02 OF GA. ZONING ORDINANCE MINIMUM LOT SIZE FOR RESIDENTIAL DEVELOPMENT IS 6,000 SQUARE FEET.

**PHASE DESCRIPTIONS:**

PHASE 1 CONSISTS OF 81 SINGLE FAMILY LOTS WITH AN AVERAGE OF 15,000 SQ. FT. AVERAGE.

PHASE 2 CONSISTS OF 300 CONDO UNITS (SEE MANOR DESIGN PLANS).

PHASE 3 SECTION 1 CONSISTS OF 26 SINGLE FAMILY LOTS WITH AN AVERAGE OF 6,000 SQ. FT. AVERAGE.

PHASE 3 SECTION 2 CONSISTS OF 25 SINGLE FAMILY LOTS WITH AN AVERAGE OF 15,000 SQ. FT. AVERAGE.

PHASE 4 CONSISTS OF 50 SINGLE FAMILY LOTS WITH AN AVERAGE OF 15,000 SQ. FT. AVERAGE.

PHASE 5 CONSISTS OF 31 SINGLE FAMILY LOTS WITH AN AVERAGE OF 15,000 SQ. FT. AVERAGE.

PHASE 6 SECTION 1 CONSISTS OF 50 LOTS WITH AN AVERAGE LOT SIZE OF 6,000 SQUARE FEET.

PHASE 6 SECTION 2 CONSISTS OF 50 LOTS WITH AN AVERAGE LOT SIZE OF 6,000 SQUARE FEET.

PHASE 7 SECTION 1 CONSISTS OF 63 LOTS WITH AN AVERAGE OF 9,000 SQUARE FEET.

PHASE 7 SECTION 2 CONSISTS OF 25 LOTS WITH AN AVERAGE OF 9,000 SQUARE FEET.

PHASE 8 CONSISTS OF 34 LOTS WITH AN AVERAGE OF 12,200 SQUARE FEET.

PHASE 9 CONSISTS OF 72 ATTACHED DWELLING LOTS.

PHASE 10 CONSISTS OF 50 MULTI-FAMILY UNITS (TOWNHOMES) IN A HORIZONTAL PROPERTY REGIME.

A SEPARATE PMDP WILL BE REQUIRED FOR THE REMAINING 77.85 ACRES

**SITE DATA**

EAST LAND USE AREA	339.02 AC.	WEST LAND USE AREA	77.85 AC.
TOTAL GOLF COURSE AREA INCLUDING DRIVING RANGE, MAINTENANCE FACILITY, CLUBHOUSE (INCLUDING MANSION PROPERTY)	155.43 AC.	TOTAL PROJECT AREA	416.87 AC.
TOTAL DENSITY	2.49 UNITS/AC.	PROP. PMDP	2.45 UNITS/AC.
AREA OF R.O.W.	33.8 AC.		33.8 AC.
LENGTH OF ROADS	23,625 L.F.		23,625 L.F.
AREA OF LOTS	125.76 AC.		125.76 AC.
AREA OF OPEN SPACE	2.27 AC.		2.27 AC.
CONDO SITE AREA	21.76 AC.		21.76 AC.
- VILLAGE (50'X120')- LAKE GOLF INTERIOR	17 / 57 / 49		17 / 57 / 49
TOTAL VILLAGE LOTS	123		123
- MIDSIDE (60'X150')- INTERIOR	95		95
TOTAL FULL LOTS	95		95
- FULL (100'X150')- LAKE GOLF INTERIOR	51 / 112 / 26		51 / 112 / 26
TOTAL FULL LOTS	189		189
- CONDO UNITS- PHASE 9 TOWNHOMES	72		72
- MID-RISE MARINA FRONT	64		50
TOTAL CONDO UNITS	300		300
TOTAL UNITS	436		422

PHASE 5 AREA	13.43 AC.
PHASE 6, SEC. 1 AREA	9.50 AC.
PHASE 6, SEC. 2 AREA	8.61 AC.
PHASE 7, SEC. 1 AREA	5.39 AC.
PHASE 7, SEC. 2 AREA	5.59 AC.
PHASE 7, SEC. 3 AREA	7.38 AC.
PHASE 9 AREA	15.05 AC.
PHASE 3, SEC. 1 AREA	8.20 AC.
PHASE 3, SEC. 2 AREA	11.04 AC.
PHASE 8 AREA	11.63 AC.
PHASE 10 AREA	7.02 AC.

**SURROUNDING PROPERTY OWNERS TABLE**

[ ] BETTY PEARSON DEED BOOK 3236, PAGE 581 (PARCEL ID #: 147G A 00100 00004147H)
[ ] JOHN CHAMBERS ETUX LINDA MAE DEED BOOK 1003, PAGE 601 (PARCEL ID #: 147G A 00400 00004147H)
[ ] RUTH A. NORRIS DEED BOOK 3033, PAGE 555 (PARCEL ID #: 147G A 00500 00004147H)
[ ] TAMMY R. EDWARDS DEED BOOK 2572, PAGE 284 (PARCEL ID #: 147G A 00700 00004147H)
[ ] DAVID A. MELDON ETUX LISA E. DEED BOOK 2821, PAGE 617 (PARCEL ID #: 147G A 00800 00004147H)
[ ] GREG S. BUNN DEED BOOK 2343, PAGE 727 (PARCEL ID #: 147G A 00900 00004147H)
[ ] DONNA RICHARDSON DEED BOOK 3268, PAGE 222 (PARCEL ID #: 147G A 01000 00004147H)
[ ] PAUL K. BROWN ETUX PATRICIA H. DEED BOOK 540, PAGE 488 (PARCEL ID #: 147G A 01200 00004147H)
[ ] EDWIN M. MIMS JR. ETUX PATSY B. DEED BOOK 500, PAGE 54 (PARCEL ID #: 147G A 02800 00004147H)
[ ] KEVIN S. MCLEN ETUX LINDA C. DEED BOOK 330, PAGE 151 (PARCEL ID #: 147G A 02900 00004147H)
[ ] JOHN VAN DYKE ETUX ELLEN S. DEED BOOK 494, PAGE 74 (PARCEL ID #: 147G A 03100 00004147H)
[ ] JOHN VAN DYKE DEED BOOK 1269, PAGE 83 (PARCEL ID #: 147G A 03200 00004147H)
[ ] DOROTHY S. DELCONBUS DEED BOOK 427, PAGE 602 (PARCEL ID #: 147G B 00100 00004147H)
[ ] DOROTHY S. DELCONBUS DEED BOOK 427, PAGE 602 (PARCEL ID #: 147G B 00200 00004147H)
[ ] RURAL DEVELOPMENT GROUP, LLC DEED BOOK 3289, PAGE 50 (PARCEL ID #: 147G B 00800 00004147H)
[ ] RICHARD BURMETT ETUX BRENDA DEED BOOK 376, PAGE 97 (PARCEL ID #: 147G B 00900 00004147H)
[ ] DWIGHT HIN BUNTON ETUX RUBY LUCILLE DEED BOOK 406, PAGE 391 (PARCEL ID #: 147G B 01000 00004147H)
[ ] DWIGHT WILLIAM BUNTON ETUX RUBY LUCILLE DEED BOOK 406, PAGE 391 (PARCEL ID #: 147G B 01000 00004147H)
[ ] DENNIS G. WHITE ETUX VICKI H. DEED BOOK 2898, PAGE 438 (PARCEL ID #: 147G B 01600 00004147H)
[ ] DEED BOOK 3360, PAGE 590 (PARCEL ID #)
[ ] DEED BOOK 3360, PAGE 590 (PARCEL ID #)
[ ] DEED BOOK 3360, PAGE 590 (PARCEL ID #)
[ ] DEED BOOK 3360, PAGE 590 (PARCEL ID #)
[ ] DEED BOOK 3360, PAGE 590 (PARCEL ID #)
[ ] DEED BOOK 3360, PAGE 590 (PARCEL ID #)
[ ] DONALD M. LAKE ETUX KRISTEN C. ETAL DEED BOOK 3142, PAGE 788 (PARCEL ID #)
[ ] FOXLAND DEVELOPMENT CORP. DEED BOOK 2512, PAGE 333 (PARCEL ID #)
[ ] RAVEN AT FOXLAND, LLC DEED BOOK 3385, PAGE 97 (PARCEL ID #)
[ ] JAMES A. DOLAND ETUX GWENDOLYN BAKER DEED BOOK 2821, PAGE 661 (PARCEL ID #)
[ ] RAVEN AT FOX LAND DEED BOOK 3387, PAGE 426 (PARCEL ID #)
[ ] CHARLES HAYNES DEED BOOK 2965, PAGE 193

**PROPOSED LEGEND**

- ✦ PROPOSED VALVE
- PROPOSED IRON PIN
- PROPOSED CONCRETE MONUMENT
- ◆ PROPOSED FIRE HYDRANT
- ⊥ PROPOSED 3-WAY TEE
- ⌒ PROPOSED 90 DEGREE BEND
- ⌒ PROPOSED 45 DEGREE ELBOW
- ▭ PROPOSED SINGLE CATCH BASIN
- ▭ PROPOSED DOUBLE CATCH BASIN
- ⊙ PROPOSED SANITARY SEWER MANHOLE

**LOT YARD TABLE**

PHASE	MIN. SIZE (SF)	FRONT	SIDE	REAR
1	15,000	20'	10'	15'
2	N/A	N/A	N/A	N/A
3 (SEC. 1)	6,000	20'	5'	15'
3 (SEC. 2)	15,000	20'	10'	15'
4	15,000	20'	10'	15'
5	15,000	20'	10'	15'
6*	15,000	20'	10'	15'
6**	6,000	20'	5'	15'
7	9,000	20'	5'	15'
8	12,200	20'	5'	15'
9	6,000	20'	5'	15'
10	20,000	15'	10'	15'

\*REAR SETBACKS CAN BE REDUCED TO 5' ON OLD HICKORY LAKE.  
 \*\*10' SIDE P.U.D.E. ON LOTS 1387 & 1175 AND OTHER LOTS AS INDICATED ON FMDP.  
 \*\*40' REAR YARD LANDSCAPE EASEMENT ON LOTS 1225-1238  
 \*\*15' GOLF COURSE EASEMENT ON ALL LOTS ADJACENT TO THE GOLF COURSE

**ZONING: MRO**  
 PROPOSED DENSITY 2.45 UNITS/ AC.

MAP 147 PARCEL 010.08

**BENCHMARK**  
 SEE AERIAL TARGETS NAD 83

**NOTE:**

IF YOU DIG TENNESSEE...  
 CALL US FIRST!  
 1-800-351-1111  
 1-615-366-1987  
 TENNESSEE ONE CALL  
 IT'S THE LAW

**PROPOSED TIME LINE**

PHASE	NUMBER OF LOTS	CONSTRUCTION DATES
1	81	MAY 2007-MAY 2008
2	300	JULY 2012-JULY 2017
3	51	AUG. 2007-AUG. 2012
4	50	DEC. 2007-DEC. 2008
5	31	JULY 2013-JULY 2014
6	77	JUNE 2015-UNDETERMINED
7	63	AUG. 2011-AUG. 2012
8	34	JAN. 2015-JAN 2016
9	72	AUG. 2011-AUG 2014
10	1	JUNE 2015-MARCH 2017
TOTAL	760	

TYPICAL LOT N.T.S.

**BARGE WAGNER & SWANSON ARCHITECTS AND SURVEYORS**  
 210 Commerce Street, Suite 200, Knoxville, TN 37902  
 PHONE: 615.251.2505 FAX: 615.251.6272

**BWSC**  
 ENGINEERS ARCHITECTS AND SURVEYORS

**JOHN ADRIAN WARD**  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF TENNESSEE

**OVERALL SITE LAYOUT PLAN**  
 AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN  
 FINAL MASTER DEVELOPMENT PLAN  
**FOXLAND AT FAIRVUE**  
 DOUGLAS BEND ROAD  
 GALLATIN, SUMNER COUNTY, TENNESSEE

DR. CHK. DATE DESCRIPTION  
 MCK JLG 5/2/2011 SUBMIT FOR WORK SESSION - REV PH 7 TO 83 LOTS  
 MCK JLG 5/7/2011 SUBMIT TO COUNCIL  
 MCK JLG 5/26/2011 SUBMIT TO PLANNING COMMISSION  
 MCK JLG 3/18/2013 ADDRESS COMMENTS  
 MCK JLG 11/13/2014 SUBMIT TO CITY  
 MCK JDS 1/22/2015 SUBMIT TO CITY  
 MCK JDS 10/27/2015 ADDRESS COMMENTS  
 JAW JAC 1/26/2016 SUBMIT TO CITY

**C1.00**

JOB NO. 32003-00 Phase 2000

# AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN-PHASE 6/FINAL MASTER DEVELOPMENT PLAN-PHASE 6, SECTIONS 1 & 2

## FOR FOXLAND FOXLAND BOULEVARD AND BOARDWALK PLACE GALLATIN, SUMNER COUNTY, TENNESSEE

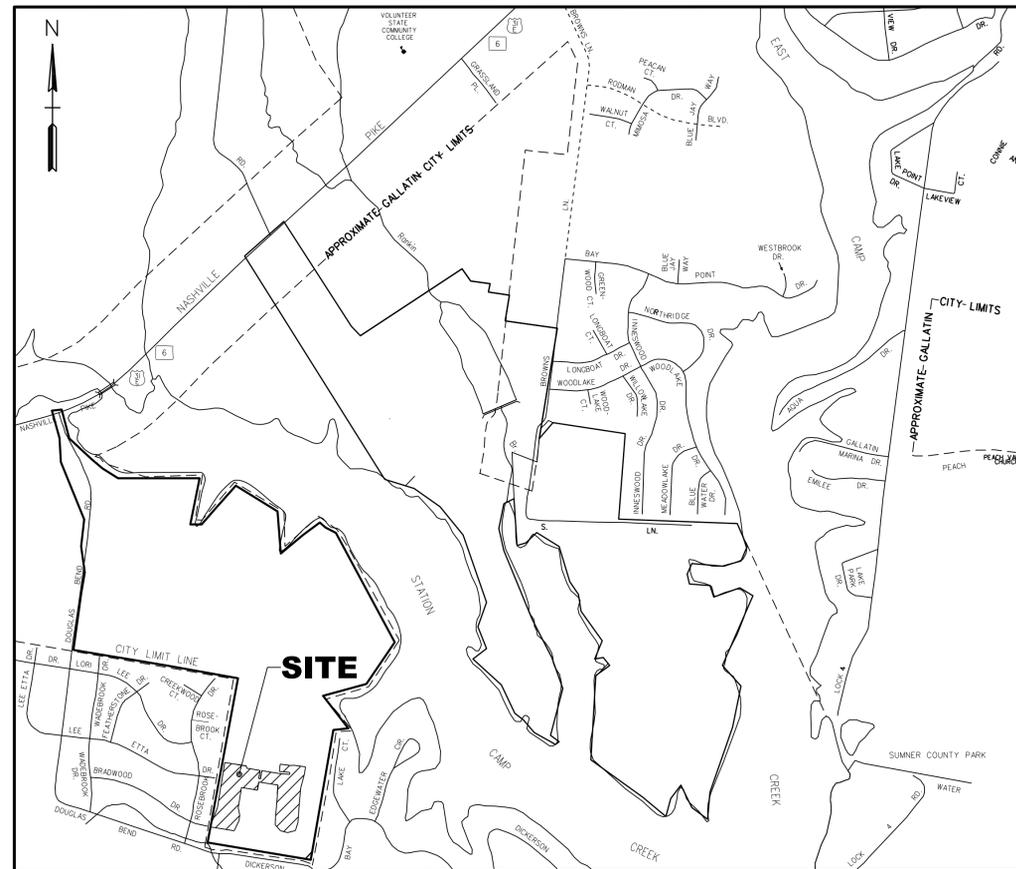
BWSC

MARCH 11, 2015  
PROJECT No.  
32003-56

DECEMBER 03, 2015  
PLANNING  
COMMENTS

**AMENDED PRELIMINARY MASTER DEVELOPMENT  
PLAN-PHASE 6/FINAL MASTER  
DEVELOPMENT PLAN-PHASE 6, SECTIONS 1 & 2  
FOR FOXLAND**

FOXLAND BOULEVARD AND BOARDWALK PLACE  
GALLATIN, SUMNER COUNTY, TENNESSEE



**LOCATION MAP**

NOT TO SCALE

### INDEX OF DRAWINGS

Sheet No.	Description
C0.01	COVER SHEET
C1.00	OVERALL SITE LAYOUT PLAN
L1.01	LANDSCAPE PLAN
L2.01	LANDSCAPE DETAILS

### OWNER/DEVELOPER:

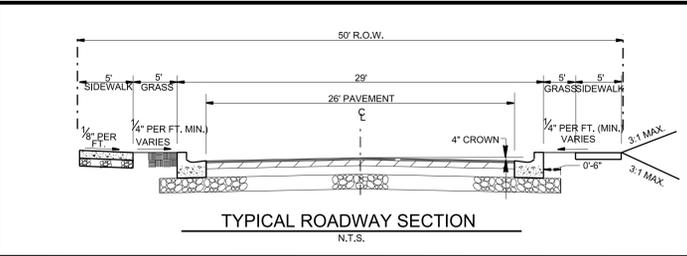
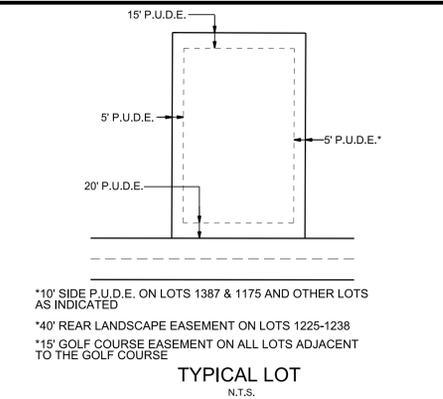
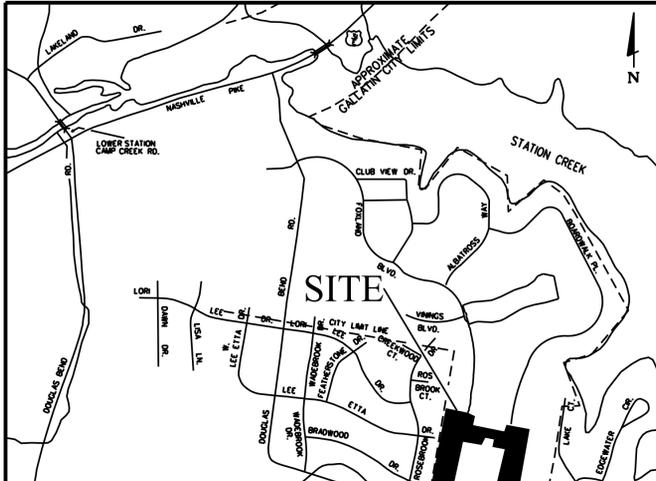
**MERITAGE HOMES OF TENNESSEE, INC**  
**3000 BUSINESS PARK CIRCLE, STE 300**  
**GOODLETTSVILLE, TN 37072**  
**CONTACT: THOMAS STEFFEN**  
**PHONE: 615-480-8732**

**BWSC** | **BARGE  
WAGGONER  
SUMNER &  
CANNON, INC.**

**ENGINEERS ARCHITECTS PLANNERS  
LANDSCAPE ARCHITECTS AND SURVEYORS**

211 Commerce Street, Suite 600 Nashville, Tennessee 37201  
 PHONE (615) 254-1500 FAX (615) 255-6572

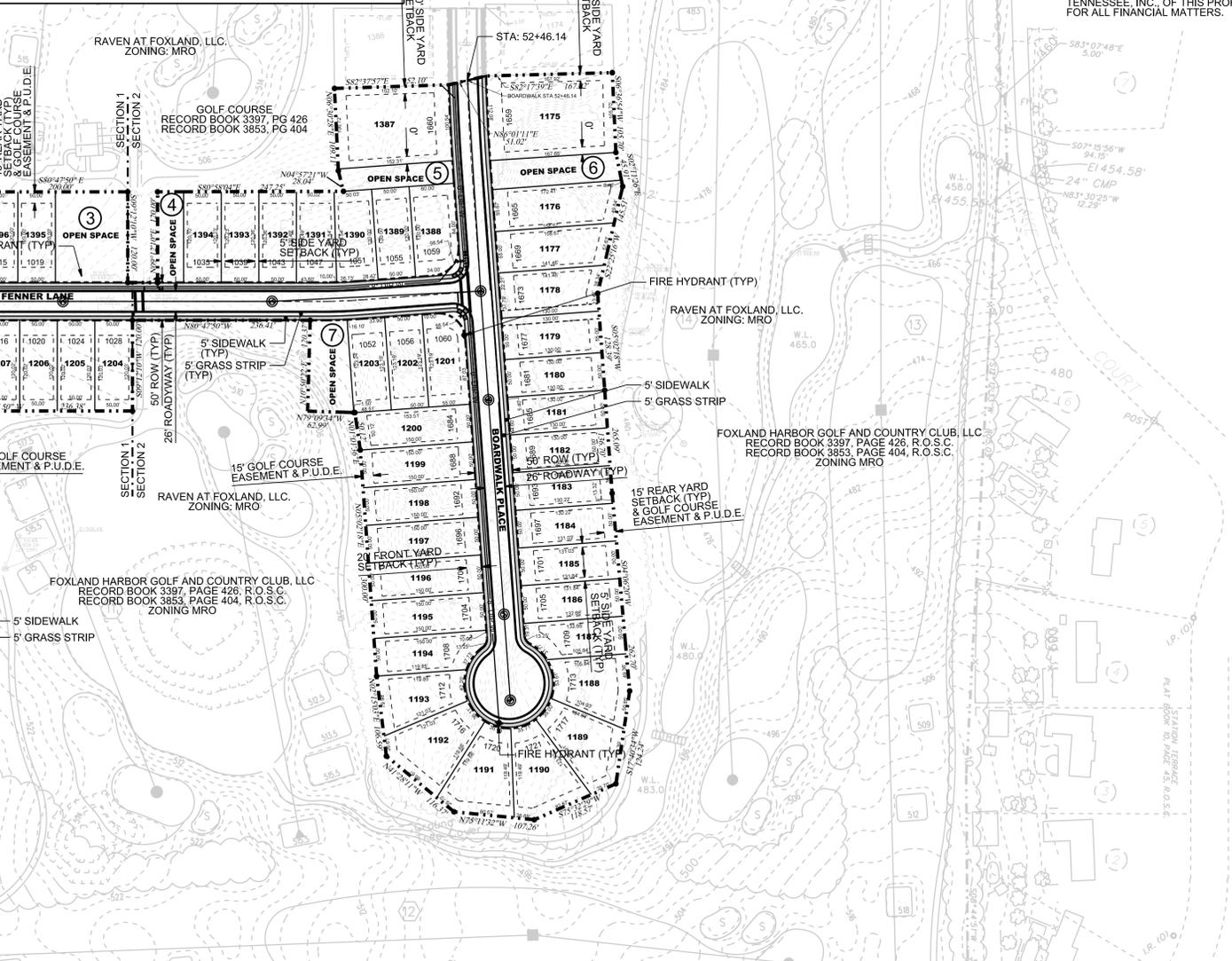
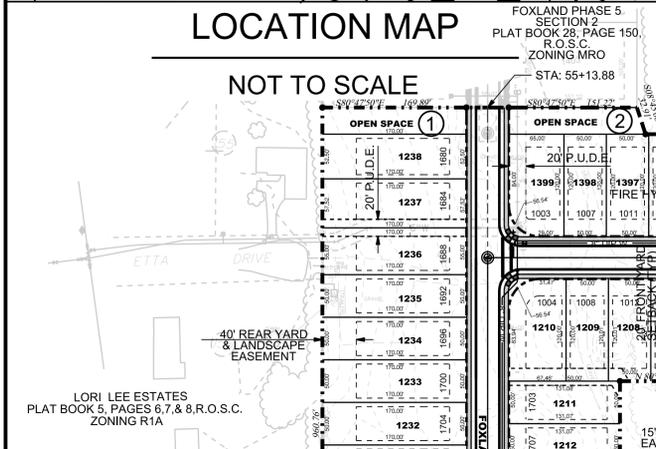




- NOTES:
- THE PURPOSE OF THIS PLAN IS TO CREATE TWO SECTIONS IN PHASE 6. PHASE 6 SECTION 1 WILL HAVE 40 LOTS AND PHASE 6, SECTION 2 WILL HAVE 37 LOTS.
  - SIDEWALKS TO BE PROVIDED ON ALL STREETS IN ACCORDANCE WITH THE STREET CROSS SECTIONS SHOWN.
  - ALL PROPOSED RIGHT-OF-WAY CORNERS TO BE CONCRETE MONUMENTS, PER GALLATIN SUBDIVISION REGULATIONS. OTHER PROPERTY CORNERS TO BE IRON PINS SET AS SHOWN ON FINAL PLAT.
  - THIS SITE WILL COMPLY WITH THE PERFORMANCE AND DESIGN STANDARDS WITHIN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
  - NO PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 47165C0409G, REVISED APRIL 17, 2012, ZONE "X".
  - COMMON AREA/OPEN SPACE WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
  - ALL OPEN SPACE IS IN A P.U.D.E.
  - FINAL PLAT WILL BE 18" X 24".
  - THE OWNER/DEVELOPER, MERITAGE HOMES OF TENNESSEE, INC., OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.

LEGEND	
OVERALL PROJECT BOUNDARY	---
R.O.W.	---
SUBDIVISION LOT LINES	---
EASEMENTS	---
TREE ROWS	---
PROPOSED VALVE	⊕
PROPOSED IRON PIN	⊙
PROPOSED FIRE HYDRANT	⊕
PROPOSED 3-WAY TEE	⊕
PROPOSED 90 DEGREE BEND	⊕
PROPOSED 45 DEGREE ELBOW	⊕
PROPOSED SINGLE CATCH BASIN	⊕
PROPOSED DOUBLE CATCH BASIN	⊕
PROPOSED SANITARY SEWER MANHOLE	⊕
EXISTING PROPERTY BOUNDARY CORNER (IRON PIN OLD)	⊙ (I.R. (O))

**BARGE WAGGONER SUMNER & CANNON, INC.**  
**BWSC**  
 211 Commerce Street, Suite 600, Nashville, Tennessee 37201  
 PHONE: (615) 254-1500 FAX: (615) 255-6572



LOT AREA TABLE			
SECTION 1		SECTION 2	
LOT NO.	AREA (SF)	LOT NO.	AREA (SF)
1204	6,000	1175	18,305
1205	6,000	1176	9,303
1206	6,000	1177	8,254
1207	6,000	1178	8,010
1208	6,000	1179	7,150
1209	6,000	1180	6,500
1210	7,834	1181	6,500
1211	6,561	1182	6,500
1212	6,561	1183	6,501
1213	6,561	1184	6,531
1214	6,561	1185	6,572
1215	6,561	1186	6,612
1216	6,561	1187	6,201
1217	7,038	1188	7,709
1218	7,989	1189	8,183
1219	9,609	1190	8,697
1220	10,993	1191	8,673
1221	13,278	1192	8,946
1222	11,820	1193	7,030
1223	16,759	1194	6,892
1224	11,039	1195	7,500
1225	9,836	1196	7,500
1226	8,492	1197	7,500
1227	8,492	1198	7,500
1228	8,492	1199	7,500
1229	8,492	1200	7,588
1230	8,492	1201	6,806
1231	8,492	1202	6,003
1232	8,493	1203	6,004
1233	8,493	1387	15,742
1234	8,493	1388	6,922
1235	8,493	1389	6,000
1236	9,343	1390	6,312
1237	8,771	1391	6,244
1238	8,918	1392	6,022
1395	6,000	1393	6,015
1396	6,000	1394	6,008
1397	6,000		
1398	6,000		
1399	7,537		

OPEN SPACE TABLE	
OPEN SPACE NO.	AREA SQ. FT.
1	5,320
2	4,894
3	11,548
4	4,158
5	4,502
6	6,416
7	6,715

**DEVELOPER'S BLOCK INFORMATION**

PROJECT NAME: FOXLAND PHASE 6  
 WHUD JOB #: XXXXX TOTAL NUMBER OF LOTS: 77  
 PAGE TOTAL OF LINEAR FOOTAGE OF PIPE: 2,482(W) TOTAL LINEAR FOOTAGE OF PIPE: 2,482(W)  
 2,375'(S) 2,375'(S)

DEVELOPER'S NAME: MERITAGE HOMES OF TENNESSEE, INC.  
 ADDRESS: 3000 BUSINESS PARK CIRCLE, STE 300  
 CITY: GOODLETTSVILLE STATE: TN ZIP CODE: 37072  
 PHONE #: (615) 969-9202 FAX #: (615) 851-9010

ENGINEER'S NAME: J. WIATT WEHUNT, PE, BWSC  
 ADDRESS: 211 COMMERCE ST., SUITE 600  
 CITY: NASHVILLE STATE: TN ZIP CODE: 37201  
 PHONE #: (615) 252-4331 FAX #: (615) 255-6572

**OWNER/DEVELOPER:**

MERITAGE HOMES OF TENNESSEE, INC  
 3000 BUSINESS PARK CIRCLE, STE 300  
 GOODLETTSVILLE, TN 37072  
 CONTACT: THOMAS STEFFEN  
 PHONE: 615-480-8732

PRELIMINARY CONSTRUCTION SCHEDULE	
SECTION 1	CONSTRUCTION START: JUNE 2015 PROJECT COMPLETION: DEC. 2015
SECTION 2	PENDING FUTURE DEVELOPMENT

OWNER TABLE		
OWNER	PARCEL ID #	ADDRESS
MERITAGE HOMES OF TENNESSEE, INC	147 010 05 000	FOXLAND BLVD

SURROUNDING PROPERTY OWNERS TABLE		
OWNER	PARCEL ID #	ADDRESS
RAVEN AT FOXLAND, LLC	147 010 01 001	DOUGLAS BEND ROAD
RAVEN AT FOXLAND, LLC	147 010 00 001	1621 DOUGLAS BEND ROAD
CHRISTOPHER & ROBIN ANGELL	147 01 000 00 000	1653 BOARDWALK PLACE
RITCHIE JILES	147 01 001 00 000	1656 BOARDWALK PLACE
CORNERSTONE HOMES	147 G E 016 00 000	1873 FOXLAND BLVD
NEWCASTLE HOMES	147 G B 013 00 000	1873 FOXLAND BLVD
JOHN & JANICE NUTTER	147 G B 018 00 000	183 LEE ET TA DRIVE
JAMES & KAREN SHELTON	147 G B 019 00 000	LEE ET TA DRIVE
IAN & JULIA JACKSON	147 G B 021 00 000	359 ROSEBROOK DRIVE
TIMOTHY & HEATHER CUTLER	147 G B 022 00 000	371 ROSEBROOK DRIVE
EDWARD BENTLEY	147 G B 023 00 000	373 ROSEBROOK DRIVE
DAVID & KIMBERLY DEERE	147 G B 024 00 000	165 BRADWOOD DRIVE

SITE DATA	
TOTAL SITE ACREAGE	18.11 ACRES +/-
TOTAL PROPOSED LOTS	77 LOTS
PROPOSED LOTS (SECT. 1)	40 LOTS
PROPOSED LOTS (SECT. 2)	37 LOTS
AREA IN R.O.W. (SECT. 1)	1.51 ACRES +/- (65,930 SF)
AREA IN R.O.W. (SECT. 2)	1.63 ACRES +/- (70,906 SF)
AREA IN OPEN SPACE (SECT. 1)	0.50 ACRES +/- (21,762 SF)
AREA IN OPEN SPACE (SECT. 2)	0.50 ACRES +/- (21,811 SF)
AREA IN RESIDENTIAL LOTS (SECT. 1)	7.49 ACRES +/- (326,054 SF)
AREA IN RESIDENTIAL LOTS (SECT. 2)	6.48 ACRES +/- (282,253 SF)
MAX BUILDING HEIGHT	35 FEET
GROSS DENSITY	4.25 UNITS PER ACRE
BASE ZONING	MRO
EXISTING	VACANT
PROPOSED	77 ONE-FAMILY DETACHED
YARD LINES ARE APPROVED AS PART OF THE FOXLAND, MASTER PLAN	

APPROVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION, WITH SUCH EXCEPTIONS OR CONDITIONS AS ARE INDICATED IN THE MINUTES OF THE COMMISSION ARE

THIS PRELIMINARY PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THIS SUBDIVISION IN FINAL FORM AND DOES NOT CONSTITUTE APPROVAL FOR RECORDING OF THE PLAT.



IF YOU DIG TENNESSEE...  
 CALL US FIRST!  
 1-800-351-1111  
 1-615-366-1987  
 TENNESSEE ONE CALL  
 IT'S THE LAW

**MAP 147 PARCEL 10.05**

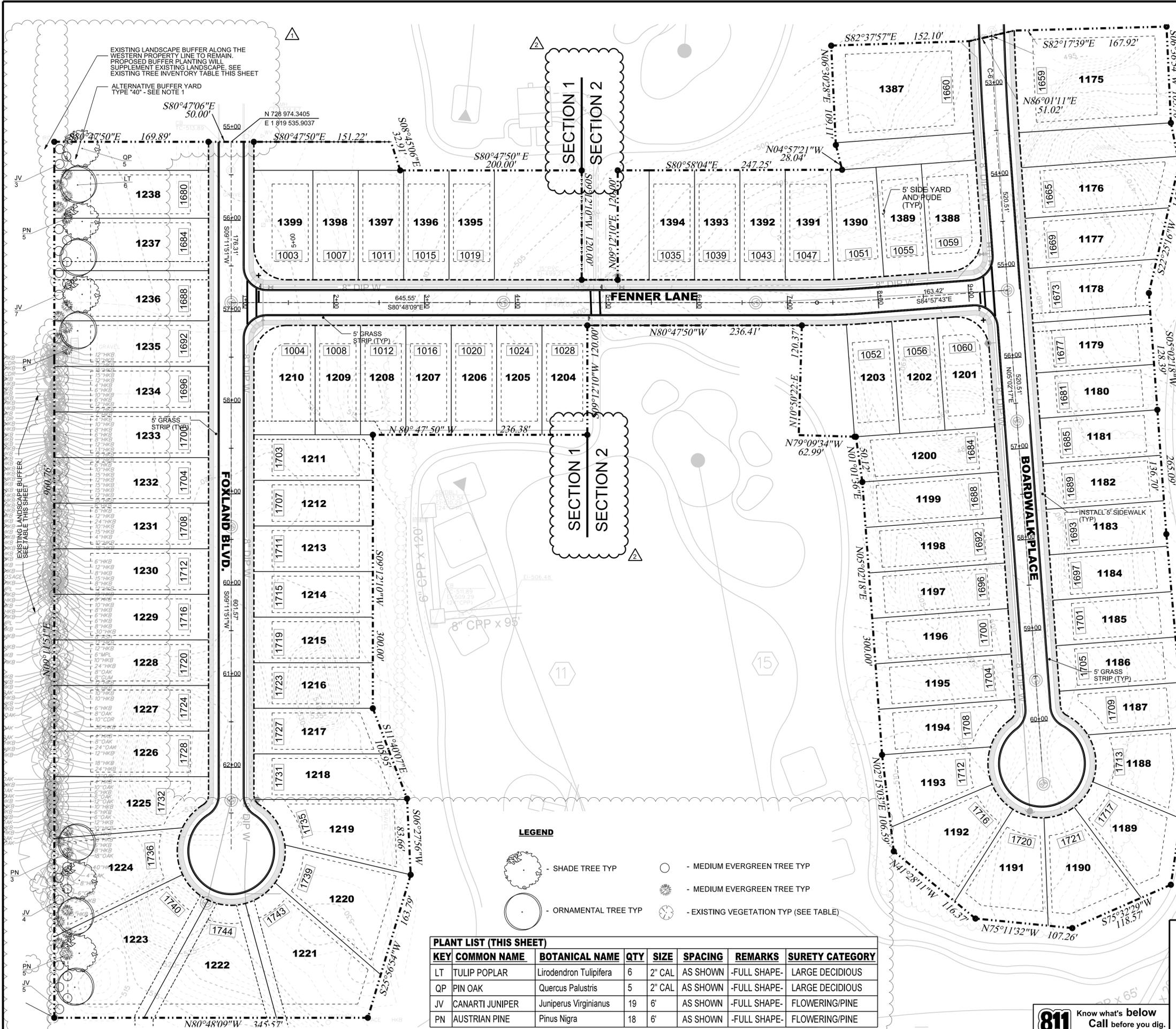
SEE AERIAL TARGETS  
 NAD 83

**OVERALL SITE LAYOUT PLAN**  
 PHASE 6, SECTIONS 1 & 2  
**FOXLAND**  
 FOXLAND BLVD.  
 GALLATIN, SUMNER COUNTY, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
BSP	JWW	02-12-2015	SUBMIT TO CITY
GJRN	JWW	02-27-2015	WATER & SEWER COMMENTS
MCK	JOS	08-10-2015	ADD SECTION LINES
JAW	JJC	11-11-2015	SUBMIT TO CITY
JAW	JJC	12-03-2015	PLANNING COMMENTS

**C1.00**  
 FILE NO. 32003-56

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 Bwsc\ulpen Workspace: LandRes



**NOTES:**

- ALTERNATIVE BUFFER YARD TYPE "40" SHALL CONSIST OF A STRIP OF LANDSCAPE AREA A MINIMUM OF 40' WIDE. LANDSCAPE AS FOLLOWS: ONE MEDIUM EVERGREEN TREE (ULTIMATE HEIGHT 20-40 FEET) FOR EVERY (15) FEET PLANTED ON TRIANGULAR SPACING, PLUS ONE SMALL DECIDUOUS OR ORNAMENTAL TREE FOR EVERY 80' LINEAR FEET. PLUS ONE LARGE DECIDUOUS TREE (ULTIMATE HEIGHT OF 50 +/- FEET) FOR EVERY 80' LINEAR FEET MEASURED ALONG THE COMMON PROPERTY LINE. EXISTING LANDSCAPE BUFFER ALONG THE WESTERN PROPERTY LINE TO REMAIN. PROPOSED BUFFER PLANTING WILL SUPPLEMENT EXISTING LANDSCAPE.
- SEE SHEET L2.01 FOR LANDSCAPE NOTES AND DETAILS.

**EXISTING TREE INVENTORY TABLE (SIZE AND TREE TYPE)**

6" HACKBERRY	6" MAPLE	30" HACKBERRY
6" HACKBERRY	8" ASH	8" ASH
10" HACKBERRY	10" HACKBERRY	10" HACKBERRY
4" HACKBERRY	10" HACKBERRY	10" HACKBERRY
12" HACKBERRY	12" HACKBERRY	12" HACKBERRY
12" HACKBERRY	12" HACKBERRY	12" HACKBERRY
6" HACKBERRY	18" HACKBERRY	18" HACKBERRY
12" HACKBERRY	6" MAPLE	6" MAPLE
12" HACKBERRY	6" HACKBERRY	6" HACKBERRY
6" HACKBERRY	10" HACKBERRY	10" HACKBERRY
4" CEDAR	10" HACKBERRY	10" HACKBERRY
7" HACKBERRY	24" HACKBERRY	24" HACKBERRY
4" HACKBERRY	6" MAPLE	6" MAPLE
12" HACKBERRY	8" OAK	8" OAK
10" HACKBERRY	6" HACKBERRY	6" HACKBERRY
10" HACKBERRY	8" HACKBERRY	8" HACKBERRY
10" HACKBERRY	12" HACKBERRY	12" HACKBERRY
6" HACKBERRY	8" HACKBERRY	8" HACKBERRY
8" HACKBERRY	8" HACKBERRY	8" HACKBERRY
12" HACKBERRY	10" HACKBERRY	10" HACKBERRY
7" HACKBERRY	10" HACKBERRY	10" HACKBERRY
13" HACKBERRY	10" HACKBERRY	10" HACKBERRY
4" HACKBERRY	10" HACKBERRY	10" HACKBERRY
12" HACKBERRY	6" HACKBERRY	6" HACKBERRY
12" HACKBERRY	6" HACKBERRY	6" HACKBERRY
12" HACKBERRY	8" HACKBERRY	8" HACKBERRY
6" HACKBERRY	8" HACKBERRY	8" HACKBERRY
10" HACKBERRY	4" HACKBERRY	4" HACKBERRY
10" HACKBERRY	6" OAK	6" OAK
15" HACKBERRY	8" OAK	8" OAK
18" HACKBERRY	12" HACKBERRY	12" HACKBERRY
12" HACKBERRY	10" HACKBERRY	10" HACKBERRY
15" HACKBERRY	24" OAK	24" OAK
6" HACKBERRY	4" HACKBERRY	4" HACKBERRY
7" HACKBERRY	12" HACKBERRY	12" HACKBERRY
15" HACKBERRY	18" HACKBERRY	18" HACKBERRY
12" HACKBERRY	24" HACKBERRY	24" HACKBERRY
12" HACKBERRY	12" OAK	12" OAK
12" HACKBERRY	8" OAK	8" OAK
15" HACKBERRY	10" HACKBERRY	10" HACKBERRY
8" HACKBERRY	10" HACKBERRY	10" HACKBERRY
15" HACKBERRY	4" HACKBERRY	4" HACKBERRY
6" HACKBERRY	5" OAK	5" OAK
15" HACKBERRY	10" OAK	10" OAK
6" HACKBERRY	12" OAK	12" OAK
6" HACKBERRY	6" HACKBERRY	6" HACKBERRY
12" HACKBERRY	10" HACKBERRY	10" HACKBERRY
24" HACKBERRY	6" OAK	6" OAK
12" HACKBERRY	6" HACKBERRY	6" HACKBERRY
10" HACKBERRY	8" HACKBERRY	8" HACKBERRY
6" HACKBERRY	12" OAK	12" OAK
15" HACKBERRY	10" HACKBERRY	10" HACKBERRY
4" HACKBERRY	6" HACKBERRY	6" HACKBERRY
10" HACKBERRY	6" OAK	6" OAK
18" HACKBERRY	6" OAK	6" OAK
10" HACKBERRY	8" HACKBERRY	8" HACKBERRY
12" HACKBERRY	12" HACKBERRY	12" HACKBERRY
6" HACKBERRY	10" HACKBERRY	10" HACKBERRY
15" HACKBERRY	10" HACKBERRY	10" HACKBERRY
4" HACKBERRY	6" HACKBERRY	6" HACKBERRY
8" HACKBERRY	10" HACKBERRY	10" HACKBERRY
12" HACKBERRY	10" HACKBERRY	10" HACKBERRY
12" HACKBERRY	6" OAK	6" OAK
6" HACKBERRY	10" OAK	10" OAK
8" HACKBERRY	6" HACKBERRY	6" HACKBERRY
12" HACKBERRY	8" HACKBERRY	8" HACKBERRY
15" HACKBERRY	40" HACKBERRY	40" HACKBERRY
6" MAPLE	4" OAK	4" OAK
8" HACKBERRY	8" HACKBERRY	8" HACKBERRY
12" HACKBERRY	6" CEDAR	6" CEDAR
15" HACKBERRY	24" HACKBERRY	24" HACKBERRY
15" HACKBERRY	15" HACKBERRY	15" HACKBERRY
6" HACKBERRY	10" HACKBERRY	10" HACKBERRY
12" HACKBERRY	12" HACKBERRY	12" HACKBERRY
10" HACKBERRY	10" CEDAR	10" CEDAR
12" HACKBERRY	15" HACKBERRY	15" HACKBERRY
8" HACKBERRY	10" HACKBERRY	10" HACKBERRY
6" HACKBERRY	10" CEDAR	10" CEDAR
6" HACKBERRY	12" HACKBERRY	12" HACKBERRY
15" HACKBERRY	15" HACKBERRY	15" HACKBERRY

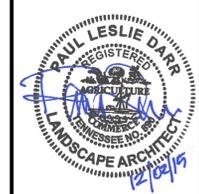
**LEGEND**

- SHADE TREE TYP
- MEDIUM EVERGREEN TREE TYP
- ORNAMENTAL TREE TYP
- EXISTING VEGETATION TYP (SEE TABLE)

**PLANT LIST (THIS SHEET)**

KEY	COMMON NAME	BOTANICAL NAME	QTY	SIZE	SPACING	REMARKS	SURETY CATEGORY
LT	TULIP POPLAR	Liriodendron Tulipifera	6	2" CAL	AS SHOWN	-FULL SHAPE-	LARGE DECIDUOUS
QP	PIN OAK	Quercus Palustris	5	2" CAL	AS SHOWN	-FULL SHAPE-	LARGE DECIDUOUS
JV	CANARTI JUNIPER	Juniperus Virginianus	19	6'	AS SHOWN	-FULL SHAPE-	FLOWERING/PINE
PN	AUSTRIAN PINE	Pinus Nigra	18	6'	AS SHOWN	-FULL SHAPE-	FLOWERING/PINE

**BARGE WAGGONER SUMNER & CANNON, INC.**  
**BWSC**



**LANDSCAPE PLAN**  
 PHASE 6, SECTIONS 1 & 2  
**FOXLAND**  
 FOXLAND BLVD.  
 GALLATIN, SUMNER COUNTY, TENNESSEE



**MAP 147 PARCEL 10.05**

**BENCHMARK**  
 SEE AERIAL TARGETS  
 NAD 83

SCALE: 1 INCH = 50 FEET

DR	CHK	DATE	DESCRIPTION
PLD	PBL	02-25-2015	SUBMIT TO CITY
GRN	JWW	02-27-2015	WATER & SEWER COMMENTS
PLD	JS	04-29-2015	REVISED PER PLANNING COMMENTS
JAW	JUC	11-11-2015	SUBMIT TO CITY
JAW	JUC	12-03-2015	PLANNING COMMENTS

**L1.01**  
 FILE NO. 32003-56

**LANDSCAPE SEEDING NOTES:**

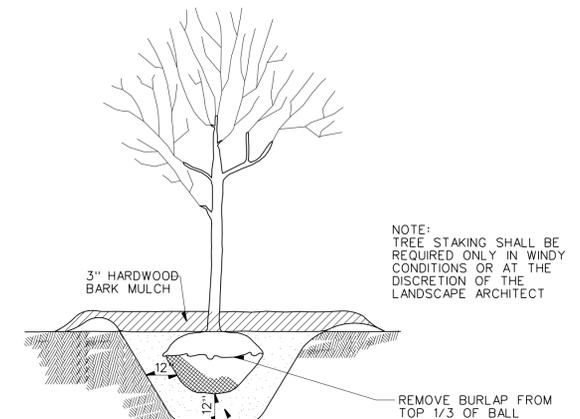
- PERFORM ALL SEEDING AND RELATED WORK AS A CONTINUOUS OPERATION. SOIL SEED AS SOON AS THE SEED BED HAS BEEN PREPARED, AND PERFORM SUBSEQUENT WORK IN A CONTINUOUS MANNER.
  - BEFORE BEGINNING SEEDING OPERATIONS IN ANY AREA, COMPLETE THE PLACING OF TOPSOIL AND FINAL GRADING, AND HAVE THE WORK APPROVED BY THE LANDSCAPE ARCHITECT.
  - SCARIFY, DISK, HARROW, RAKE, OR OTHERWISE WORK EACH AREA TO BE SEEDING UNTIL THE SOIL HAS BEEN LOOSENEED AND PULVERIZED TO A DEPTH OF NOT LESS THAN TWO INCHES. PERFORM THIS WORK ONLY WHEN THE SOIL IS IN A TILLABLE AND WORKABLE CONDITION.
  - APPLY FERTILIZER UNIFORMLY OVER THE SEED BED, AND LIGHTLY HARROW, RAKE, OR OTHERWISE INCORPORATE THEM INTO THE SOIL FOR A DEPTH OF APPROXIMATELY ONE INCH AT THE FOLLOWING RATE:
  - CONTRACTOR SHALL SEED ALL DISTURBED AREAS WITH COMMON BERMUEDA AT A RATE OF 3 LBS. PER 1000 S.F.
  - CONTRACTOR SHALL SEED ALL DISTURBED AREAS WITH REBEL III FESCUE AT A RATE OF 2 LBS. PER 1000 S.F.
  - CONTRACTOR SHALL SEED ALL DISTURBED AREAS WITH PERENNIAL RYE AT A RATE OF 2 LBS. PER 1000 S.F.
  - ALL SEEDING AREAS SHALL BE MULCHED WITH CLEAN AND WEED FREE STRAW, AT A RATE OF TWO BALES PER 1000 S.F.
  - FERTILIZER: 15 POUNDS PER 1,000 SQUARE FEET: GRADE 10-10-10.
  - SOW SEED UNIFORMLY WITH A ROTARY SEEDER, WHEELBARROW SEEDER, OR HYDRAULIC EQUIPMENT OR BY OTHER SATISFACTORY MEANS.
  - PERFORM NO SEEDING DURING WINDY WEATHER OR WHEN THE GROUND SURFACE IS FROZEN, WET, OR OTHERWISE UNTILLABLE.
  - NO EQUIPMENT, MATERIAL STORAGE, CONSTRUCTION TRAFFIC, ETC., WILL BE PERMITTED ON NEWLY SEEDING GROUND.
  - DISPOSE OF ALL SURPLUS MATERIALS AS DIRECTED BY THE OWNER.
- INSPECTIONS**
- THE A/E SHALL INSPECT THE SEEDING WITHIN 60 DAYS AFTER PLANTING AND DETERMINE IF IT IS ACCEPTABLE.
- GUARANTEE**
- SECURE AN ACCEPTABLE GROWTH OF GRASS IN ALL AREAS DESIGNATED FOR SEEDING.
  - AN AREA IS CONSIDERED ACCEPTABLE IF IT IS REPRESENTED BY A MINIMUM OF 100 SEEDLINGS PER SQUARE FOOT OF THE PERMANENT SPECIES OF GRASS REPRESENTATIVE OF THE SEED MIXTURE. IF AN ACCEPTABLE GROWTH IS NOT OBTAINED ON THE FIRST PLANTING, RESEEDING AND REMULCHING WILL BE REQUIRED.
  - IF THE PLANTING IS LESS THAN 50 PERCENT SUCCESSFUL, CONTRACTOR SHALL REWORK THE GROUND, REFERTILIZE, RESEED, AND REMULCH.

**SODDING NOTES:**

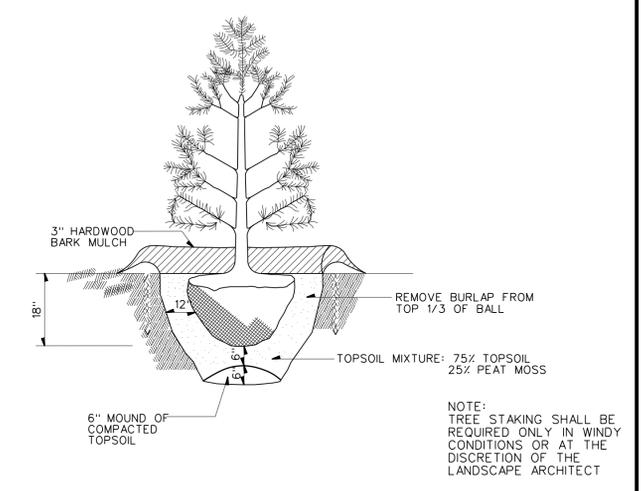
- PART 1. GENERAL**
- THIS WORK SHALL INCLUDE ALL SOIL PREPARATION AND THE STORAGE, TRANSPORTATION, PLACING, AND MAINTENANCE OF SOD AT ALL LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
  - TEMPORARY STORAGE OF SOD IS PERMITTED; HOWEVER, TAKE CARE TO MAINTAIN THE SOD IN A LIVE, GROWING CONDITION. SOD SHALL BE REJECTED IF IT IS PERMITTED TO DECAY OR DRY OUT TO THE EXTENT THAT, IN THE JUDGMENT OF THE LANDSCAPE ARCHITECT, ITS SURVIVAL IS DOUBTFUL. DISPOSE OF REJECTED SOD AS DIRECTED BY THE LANDSCAPE ARCHITECT AT NO EXPENSE TO THE OWNER.
  - SET SOD BETWEEN MARCH 1 AND OCTOBER 15 AND WHEN THE SOIL IS IN A WORKABLE CONDITION.
  - DO NOT SET SOD OUT OF SEASON UNLESS SOIL CONDITIONS ARE FAVORABLE AND WRITTEN PERMISSION IS OBTAINED FROM THE LANDSCAPE ARCHITECT.
  - THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE SCHEDULING, ORDERING, RECEIVING, STORING, AND INSTALLING OF ALL SODDING MATERIALS.
- PART 2. PRODUCTS**
- SOD: KENTUCKY 31 FESCUE (FESTUCA ELATIOR); NEW SOD CONSISTING OF LIVE, DENSE, WELL-ROOTED GROWTH; WELL SUITED FOR THE INTENDED PURPOSE AND SOIL CONDITIONS; COMPLETELY FREE OF NOXIOUS WEEDS AND GRASSES (BERMUEDA GRASS, QUACK GRASS, JOHNSON GRASS, CANADA THISTLE); AND CONTAINING LESS THAN 5 PLANTS OF OBJECTIONABLE WEEDS PER 100 SQUARE FEET IF NURSERY GROWN OR 10 SUCH PLANTS IF FIELD GROWN
  - FERTILIZER: COMMERCIALY MANUFACTURED, GRADE 10-10-10; FURNISHED IN STANDARD CONTAINERS THAT ARE CLEARLY MARKED WITH THE NAME, WEIGHT, AND GUARANTEED ANALYSIS OF THE CONTENTS AND THAT ENSURE PROPER PROTECTION IN TRANSPORTATION AND HANDLING; AND IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL FERTILIZER LAWS
  - AGRICULTURAL LIMESTONE: CONTAINING A MINIMUM OF 85 PERCENT CALCIUM CARBONATE AND MAGNESIUM CARBONATE COMBINED, 85 PERCENT OF WHICH PASSES A NO. 10 MESH SIEVE.
- PART 3. EXECUTION**
- BEFORE BEGINNING SODDING OPERATIONS IN ANY AREA, COMPLETE THE PLACING OF TOPSOIL, FINAL GRADING, AND REMOVAL OF ANY DEBRIS. HAVE THE WORK APPROVED BY THE LANDSCAPE ARCHITECT.
  - A MINIMUM OF 4 INCHES OF GOOD, CLEAN TOPSOIL SHALL BE SPREAD OVER THE CONSTRUCTION AREA.
  - SCARIFY EACH AREA TO BE SODDED A MINIMUM OF 2 INCHES.
  - APPLY FERTILIZER AND AGRICULTURAL LIMESTONE UNIFORMLY OVER THE SOD BED AT THE RATES SHOWN BELOW, IMMEDIATELY PRIOR TO PLACING SOD. WATER THE SOD BED UNTIL IT IS SATURATED TO A DEPTH OF 1 INCH, AND KEEP IT MOIST UNTIL THE SOD IS PLACED.
    - FERTILIZER: 15 POUNDS PER 1,000 SQUARE FEET OF 10-10-10
    - AGRICULTURAL LIMESTONE: 40 POUNDS PER 1,000 SQUARE FEET
  - PLACE SOD AS SOON AS PRACTICAL AFTER ITS REMOVAL FROM POINT OF ORIGIN. KEEP IT MOIST WHILE DISPLACED.
  - PLACE SOD BY HAND SO THAT THE EDGES ARE IN CLOSE CONTACT AND IN A POSITION TO BREAK JOINTS WITH THE LONG DIMENSION PERPENDICULAR TO THE SLOPE. FIT AND POUND THE SOD INTO PLACE WITH A 10 INCHES X 10 INCHES WOOD TAMP OR OTHER SIMILAR IMPLEMENTS.
  - IMMEDIATELY AFTER PLACING THE SOD, THOROUGHLY WET AND ROLL IT.
  - TWO WEEKS AFTER THE SOD IS INSTALLED, TOP DRESS AND THOROUGHLY WATER IT. TOP DRESSING SHALL CONSIST OF THE FOLLOWING:
    - 1/2 TO 1 POUND: 38 PERCENT UREA FORMALDEHYDE PER 1,000 SQUARE FEET
    - 20 POUNDS: 6-12-12 PER 1,000 SQUARE FEET
  - NO EQUIPMENT, MATERIAL STORAGE, CONSTRUCTION TRAFFIC, ETC., WILL BE PERMITTED ON NEWLY SODDED AREAS.
  - DISPOSE OF ALL SURPLUS MATERIAL AS DIRECTED BY THE OWNER
  - THE OWNER WILL REVIEW THE SOD FOR ACCEPTANCE 30 DAYS AFTER INSTALLATION, AT WHICH TIME THE MAINTENANCE PERIOD WILL BEGIN AS STATED IN THESE SPECIFICATIONS. THIS ACCEPTANCE BY THE OWNER IS FOR THE PURPOSES OF PAYMENT ONLY.
- INSPECTIONS**
- THE LANDSCAPE ARCHITECT SHALL INSPECT THE SOD WITHIN 30 DAYS AFTER INSTALLATION AND DETERMINE IF IT IS ACCEPTABLE.
- GUARANTEES**
- ESTABLISH AN ACCEPTABLE GROWTH OF THE SPECIFIED SOD ON ALL AREAS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. AN AREA IS CONSIDERED ACCEPTABLE IF THE MAJORITY OF EACH PIECE OF SOD IS ALIVE AND HEALTHY AND GENERALLY FREE FROM WEEDS, INSECT, AND DISEASE.

**LANDSCAPE GENERAL NOTES:**

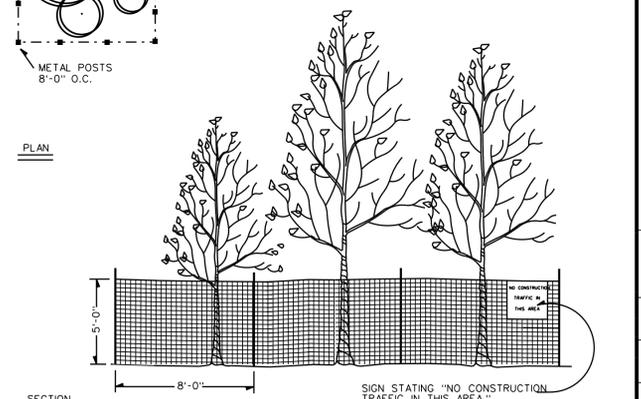
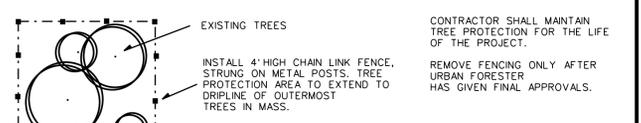
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING NEWLY CONSTRUCTED AND EXISTING UTILITIES. HE SHALL NOTIFY THE OWNERS OF PUBLIC UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE DURING PLANTING OPERATIONS.
- PLANT MATERIAL SHALL MEET OR EXCEED SPECIFICATIONS AND SHALL CONFORM TO THE "AMERICAN STANDARDS FOR NURSERY STOCK BOOK". THE CONTRACTOR SHALL GUARANTEE THAT THE MATERIAL INSTALLED ON SITE IS IN FACT THE MATERIAL THAT WAS SPECIFIED BY THE LANDSCAPE ARCHITECT. ANY CHANGES IN SPECIES SPECIFIED SHALL BE SUBMITTED IN WRITING TO, AND APPROVED/REJECTED BY THE LANDSCAPE ARCHITECT.
- IN THE EVENT ANY ERROR(S) ARE FOUND ON THESE DRAWINGS OR OUT IN THE FIELD THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK. SHOULD THE CONTRACTOR FAIL TO CONTACT THE LANDSCAPE ARCHITECT, HE/SHE WILL BE RESPONSIBLE FOR THE COST OF ANY CORRECTION TO BE MADE.
- ALL WORK SHALL BE PERFORMED BY FULLY QUALIFIED PLANTSMEN. USE GOOD HORTICULTURAL PRACTICES TO KEEP ALL PLANTS AND PLANT MATERIAL INSTALLED IN A LIVING, HEALTHY CONDITION UP TO THE DATE FOR TERMINATION OF THE CONTRACTOR'S RESPONSIBILITY FOR CARE.
- THE PLANTS DELIVERED TO THE PROJECT SITE SHALL BE PLANTED AS SOON AS SITE CONDITIONS PERMIT. TAKE CARE IN SCHEDULING PLANT DELIVERIES AND THE SIZE OF DELIVERIES SO THAT LONG PERIODS OF STORAGE ARE AVOIDED. ADEQUATELY PROTECT PLANTS PLACED IN TEMPORARY STORAGE FROM THE SUN AND WIND; WATER PLANTS SO AS TO MAINTAIN THEIR APPEARANCE AND HEALTH. PLANTS THAT HAVE NOT BEEN PROPERLY MAINTAINED DURING TEMPORARY STORAGE MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- THE OPTIMUM TIME FOR PLANTING IS FROM OCTOBER 1 TO APRIL 1. SCHEDULING FOR PLANTING AT OTHER TIMES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL CONTRACTORS APPLYING CHEMICALS ON SITES SHALL SUBMIT COPIES OF CERTIFICATIONS AND LICENSES TO THE LANDSCAPE ARCHITECT.
- PLANTING BED SHALL BE CLEARED OF GRASS AND WEEDS PRIOR TO INSTALLATION OF PLANTS.
- FERTILIZE ALL PLANT MATERIAL AT INSTALLATION WITH PETER'S SLOW RELEASE 20-20-20 OR EQUIVALENT APPROVED BY LANDSCAPE ARCHITECT; FOLLOW PACKAGE DIRECTIONS OR APPLY 15 POUNDS PER 1,000 SQUARE FEET. APPLY FERTILIZER BEFORE MULCHING.
- ALL DISTURBED AREAS ARE TO BE SEEDDED AS DIRECTED BY THE LANDSCAPE ARCHITECT, EXCEPT WHERE PLANS SPECIFY THE USE OF SOD OR GROUNDCOVERS.
- ALL PLANTED AREAS SHALL BE TREATED WITH A WATER SOLUBLE HERBICIDE FOR THE NON-SELECTIVE CONTROL OF ANNUAL AND PERENNIAL WEEDS PRIOR TO PLANTING.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ANY MATERIAL WHICH TURNS BROWN OR DEFOLIATES WITHIN FIVE (5) DAYS AFTER PLANTING. REPLACE IMMEDIATELY WITH APPROVED SPECIFIED MATERIALS.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWNS UNTIL THE PROJECT IS ACCEPTED BY THE LANDSCAPE ARCHITECT, OR UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE CALENDAR YEAR, FROM THE DATE THE PROJECT IS ACCEPTED.
- ALL TREES SHALL BE FIRST QUALITY REPRESENTATIVES OF THEIR SPECIES AND SHALL MEET ALL REQUIREMENTS OTHERWISE STIPULATED. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANTED MATERIAL IN THE FIELD, AT THE GROWING SITE OR ON THE JOB SITE.
- ALL TREES AND SHRUBS SHALL BE INSTALLED ACCORDING TO THE DETAILS FOUND IN THIS SET OF PLANS.
- DISPOSE OF ALL SURPLUS MATERIAL AS DIRECTED BY THE OWNER.
- IRRIGATION SYSTEM SHALL BE IN OPERATION PRIOR TO INSTALLING LANDSCAPE PLANT MATERIAL/ LAWNS.
- ALL CANOPY TREES SHALL BE SINGLE LEADER 1st QUALITY REPRESENTATIVES, APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL HAVE A MINIMUM OF 6" OF CLEAN 1st QUALITY TOPSOIL; WITH NO ORGANIC MATERIAL OR ROCKS.
- OPEN SPACE TO BE IRRIGATED BY HOME OWNER'S ASSOCIATION.



**DECIDUOUS TREE PLANTING / STAKING**  
(N.T.S.)



**CONIFEROUS TREE PLANTING/STAKING**  
(N.T.S.)



**TREE PROTECTION DETAIL**  
(N.T.S.)

**BWSC**  
BARGE WAGGONER SUMNER & CANNON, INC.  
211 Commerce Street, Suite 600, Nashville, Tennessee 37201  
PHONE (615) 254-1500 FAX (615) 255-6572

**PAUL LESLIE D.R.**  
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
No. 1000  
01/15/15

**LANDSCAPE NOTES AND DETAILS**  
PHASE 6, SECTIONS 1 & 2  
**FOXLAND**  
FOXLAND BLVD.  
GALLATIN, SUMNER COUNTY, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
	PBL	02-25-15	SUBMIT TO CITY
	JWW	02-27-2015	WATER & SEWER COMMENTS
	JWS	04-09-2015	REVISIONS PER ENGINEERING COMMENTS
	JWC	11-11-2015	SUBMIT TO CITY
	JWC	12-03-2015	PLANNING COMMENTS

**L2.01**  
FILE NO. 32003-56

12/12/2015 14:29:36  
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cloliver  
Bwsc\ulpen Workspace: LandRes

# ITEM 5

GMRPC Resolution No. 2015-157

**A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A PRELIMINARY PLAT FOR FOXLAND, PHASE 6, SECTIONS 1 & 2, CONTAINING 77 ONE-FAMILY, DETACHED DWELLING LOTS, SEVEN (7) OPEN SPACE TRACTS, AND THREE (3) STREETS, ON 18.10 (+/-) ACRES, LOCATED ON FOXLAND BOULEVARD, FENNER LANE, AND BOARDWALK PLACE (PC FILE #1-1320-15B)**

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** considered the Preliminary Plat submitted by the applicant, Barge, Waggoner, Sumner & Cannon, Inc., at its regular meeting on December 14, 2015; and

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

**NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Tennessee Code Annotated § 13-3-403(b) and §13-4-303(b):

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The Preliminary Plat is consistent with the purpose and intent of the Multiple Residential and Office (MRO) Zoning District and the Amended Foxland Preliminary Master Development Plan and Revised Final Master Development Plan for Foxland, Phase 6 (PC File #8-1322-15).
3. The Preliminary Plat is consistent with Tennessee Code Annotated § 13-3-403 Section 13-3-403 and Section 13-4-303.
4. The Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City as described in Chapter 1, Section 1-104, items 1-11.
5. The Preliminary Plat complies with the submittal requirements for a Preliminary Plat as described in Section 2-103, Gallatin Subdivision Regulations and a variance for lot width to allow 50-foot side lots and a variance to allow five (5) foot sideyard setbacks and five (5) foot wide P.U.D.E.'s in sideyards is provided

consistent with the approved Preliminary Master Development Plan and Final Master Development Plan for Foxland, Phase 6.

6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Preliminary Plat for Foxland, Phase 6, Sections 1 & 2 consisting of a two (2) sheet plat, prepared by Barge, Waggoner, Sumner & Cannon, Inc. of Nashville, Tennessee, with file number 32003-56, dated February 12, 2015, with a revision date of December 3, 2015, with the following conditions:

1. Approval of the Preliminary Plat for Foxland, Phase 6, Sections 1 & 2 is contingent upon Planning Commission's approval of the Amended Preliminary Master Development Plan for Foxland and the Revised Final Master Development Plan for Foxland, Phase 6 (PC File #8-1322-15).
2. Add adjoining property information for Foxland, Ph. 5, Sec. 1, located north of Lots 1175 and 1387.
3. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District.
4. Label the Gallatin City Limit's along the rear property line of Lots 1223 -1238 and open space tract.
5. Revise Note 6, remove 'Common Area' and revise to state: 'Open Space and Bufferyards will be owned and maintained by the Homeowner's Association'.
6. Remove reference to Golf Easement on the west sides of Lots 1224 and 1223.
7. Submit three (3) corrected, folded copies to the Planning Department prior to the recording of a Final Plat for Foxland, Phase 6 for review and approval.

**BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION** that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 12/14/15

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Dick Dempsey, Chairman

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Johnny Wilson, Secretary

APPROVED AS TO FORM:

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Susan High-McAuley  
City Attorney



## ITEM 5

### PLANNING DEPARTMENT STAFF REPORT

Foxland, Phase 6, Sections 1 & 2 Preliminary Plat

PC File #1-1320-15B

Foxland Boulevard, Fenner Lane, & Boardwalk Place

Date: December 14, 2015

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**REQUEST:** OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR FOXLAND, PHASE 6, TO CREATE TWO (2) SECTIONS, CONTAINING 77 ONE-FAMILY, DETACHED DWELLING LOTS, SEVEN (7) OPEN SPACE TRACTS, AND THREE (3) STREETS ON 18.10 (+/-) ACRES, LOCATED ON FOXLAND BOULEVARD, FENNER LANE, AND BOARDWALK PLACE (PC FILE #1-1320-15B).

**OWNER:** PHILLIPS BUILDER/A MERITAGE HOMES COMPANY

**APPLICANT:** BARGE, WAGGONER, SUMNER & CANNON, INC.

**STAFF RECOMMENDATION:** APPROVAL OF RESOLUTION NO. 2015-157

**STAFF CONTACT:** DENISE BROWN

**PC MEETING DATE:** DECEMBER 14, 2015

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#### **PROPERTY OVERVIEW:**

The owner and applicant request approval of a Preliminary Plat for Foxland, Phase 6, to create two (2) sections, containing 77 One-family, Detached Dwelling lots, seven (7) open space tracts, and three (3) streets on 18.10 (+/-) acres, located on Foxland Boulevard, Fenner Lane, and Boardwalk Place. The property is currently zoned Multiple Residential and Office (MRO). One-Family Detached Dwelling is a permitted use in the MRO zone district. The entire Foxland Subdivision, including the subject property, is located within the Suburban Neighborhood Established Community Character Area as shown on the Community Character Area Map of the *Gallatin on the Move 2020 General Development and Transportation Plan*.

A Preliminary Plat for Foxland, Phase 6 was approved at the March 23, 2015 Planning Commission meeting. The Preliminary Plat is being revised to divide Phase 6 into two (2) sections. The number and sizes of the lots, and open space areas will remain the same. Foxland, Phase 6, Section 1 will contain 40 lots and three (3) open space areas, and Section 2 will contain 37 lots and four (4) open space areas (Attachment 5-1 and Attachment 5-2).

The sample architectural elevations were included in the request for approval of a minor amendment to the Foxland Preliminary Master Development Plan and Revised Final Master Development Plan for Foxland, Phase 6, which is a separate item on this meeting's agenda (PC File #8-1322-15).

**Staff recommends that the Planning Commission approve the major subdivision Preliminary Plat for Foxland, Phase 6, Sections 1 & 2 with the conditions listed on the staff report and in GMRPC Resolution No. 2015-157.**

**CASE BACKGROUND:**

***Previous Approvals and Property History***

On November 28, 2005, the Planning Commission recommended approval of a Preliminary Master Development Plan and rezoning of 416.87 (+/-) acres, known as the Foxland property, from Residential-15 Planned Unit Development (R15 PUD) and Multiple Residential and Office Planned Unit Development (MRO PUD) to Mixed Use (MU) and Multiple Residential and Office (MRO) (PC File #3-16-05). The Preliminary Master Development Plan included 81.37 (+/-) acres to be rezoned to MU and 335.50 (+/-) acres to be rezoned to MRO. The Preliminary Master Development Plan and rezoning request passed Second Reading at the February 7, 2006 City Council meeting.

Since the time the property was rezoned in 2006, several Final Master Development Plans for the Clubhouse, golf course, One-Family Detached Dwellings, Attached Dwellings, and Multi-Family Dwelling units have been approved throughout the Foxland Development. Several Preliminary and Final Plats have also been approved for various phases and sections of the Foxland Development.

On March 25, 2013, the Planning Commission approved a minor amendment to the Foxland Preliminary Master Development Plan to revise the phase line between Phase 5 and Phase 6 and to divide Phase 5 into sections (PC0105-13). The plan also included revisions to the approved Final Master Development Plan for Foxland, Phase 5 containing 31.40 (+/-) acres located on segments of Foxland Boulevard and Boardwalk Place, and Fenner Lane, north of Phase 6. A separate Final Master Development Plan for Phase 6 has not previously been approved.

On March 23, 2015, the Planning Commission approved a minor amendment to the Foxland Preliminary Master Development Plan and the Final Master Development Plan for Phase 6 to decrease the number of approved One-Family Detached Dwelling lots from 80 to 77 lots and to revise the approved conceptual architectural elevations. (PC FILE #8-370-15). Foxland, Phase 6 Preliminary Plat was also being considered as a separate item at this meeting.

An amended Foxland Preliminary Master Development Plan and Revised Final Master Development Plan for Foxland, Phase 6, dividing Phase 6 into two (2) sections, was approved as a separate item on this meeting's agenda (PC File #8-1322-15).

***Adjacent Zoning and Area Uses***

The entire Foxland Subdivision property lies within the Gallatin City limits and is zoned Multiple Residential and Office (MRO). Property to the north, south, and east of Foxland, Phase 6 are zoned MRO. The western boundary of Phase 6 represents the Gallatin City limit line. Adjoining properties to the west are zoned Sumner County R1A (Low Density Residential) and contain existing single-family homes in the Lori Lee Estates Subdivision. Foxland Golf Course is located to the north, south, and east of the subject property. Foxland, Phase 5, containing 31, One-Family, Detached Dwelling lots, is located directly north of the subject property.

***Lot Layout***

MRO zoning requires a minimum lot size of 6,000 square feet. All lots in Phase 6 meet or exceed the required minimum lot size. Lot 1209 is the smallest at 6,000 and Lot 1175 is the largest at 18,305 square feet. The Preliminary Plat is consistent with lot sizes and layouts shown in the Amended Preliminary Master Development Plan for Foxland and the Final Master Development Plan for Foxland, Phase 6 (PC File #8-1322-15). The lots and open space tracts were designed to accommodate the natural topography of the land to reduce stormwater runoff impacts on adjoining properties. Lots in Phase 6 have also been designed to maximize the view of the adjacent golf course.

### ***Natural Features***

The subject property is currently under construction. A note on the plan indicates that no portion of this property is located within a special flood hazard area according to FEMA FIRM map panel #47165C0409G, dated April 17, 2012; zone X. Phase 6 contains mature trees along the western property boundary that will be preserved and counted toward the bufferyard requirement. Phase 6 is surrounded by the existing Foxland golf course on three (3) sides.

### ***Access, Streets, and Rights-of-Way.***

Foxland, Phase 6 contains approximately 3.04 (+/-) acres of right-of-way for the extension of Foxland Boulevard, Boardwalk Place and construction of Fenner Lane. Foxland Boulevard (Section 1) and Boardwalk Place (Section 2) will end in cul-de-sacs. Fenner Lane will run perpendicular to Foxland Boulevard and Boardwalk Place, and connect the two (2) sections. Streets within Phase 6 will become public once all roadway infrastructure is installed and accepted by the Gallatin City Council. In accordance with the Gallatin Zoning Ordinance and the *2020 Plan*, five (5) foot wide sidewalks shall be constructed along both sides of all streets within Phase 6 and are shown on the plan. All streets will be constructed within 50 feet wide rights-of-way, with 26 feet of pavement widths.

### ***Side Yard and Minimum Lot Width Exceptions***

According to G.Z.O. Section 12.02.020.F, Master Development Plan - Granting of Exceptions to Bulk Regulations and Waiver of Board of Zoning Appeal Approval of Conditional Use Permit, applicants may request exceptions to certain bulk regulations such as yard setback lines and minimum lot widths as part of Preliminary or Final Master Development Plans. As part of the Amended Preliminary Master Development Plan for Foxland and Revised Final Master Development Plan for Foxland, Phase 6, the applicant requested approval of an exception to the 10-foot side yard requirement for the MRO zone district to allow five (5) foot side yards (PC File #8-1322-15). In addition, the applicant requested approval of an exception to the 60-foot minimum lot width requirement for the MRO zone district to construct 50-foot wide lots. Staff recommended approval of the side yard and minimum lot width exceptions as shown on the Amended Foxland Preliminary Master Development Plan and Revised Final Master Development Plan for Foxland, Phase 6 (PC File #8-1322-15). The Preliminary Plat reflects both exceptions.

### ***Open Spaces and Bufferyards***

The Preliminary Plat shows seven (7) open space tracts (three (3) in Section 1 and four (4) in Section 2) to be owned and maintained by the homeowners association. The seven (7) open space tracts contain a total 0.99 (+/-) acres. Acreage of the individual opens space tracts are shown on the Preliminary Plat.

A Type 40 Bufferyard, including an opaque barrier, is required along the western property boundary of Phase 6, along the back of Lots 1225-1238, adjoining the property zoned Sumner County R1A (Lori Lee Estates recorded in PB 11; PG 6-8).

The applicant requested approval of an Alternative Type 40 Bufferyard in this location to match the landscaping approved as part of the previously Amended Preliminary Master Development Plans for Foxland, Phase 5 and 6 (PC0105-13) and the more recent amendment. The bufferyard is 40-foot wide, but will not include an opaque barrier. Existing trees in this location will be counted towards the bufferyard requirement and are identified on the FMDP landscaping plan. Since Lot 1223 (17,053 square feet) and Lot 1224 (11,434 square feet) contain mature ornamental trees along the rear property line and are more compatible with the adjoining lot sizes to the west, the applicant is requesting that the existing trees and proposed plantings satisfy the bufferyard requirement at the back of these two (2) lots. Planning Commission previously approved this design as part of the alternative landscaping plan submitted with the Amended Preliminary Master Development Plan (PC0105-13).

### ***Drainage and Detentioning***

All stormwater runoff will drain to the existing pond located on the golf course, between holes 11 and 15 (south of Fenner Lane), or to the smaller holding areas south and east of the Foxland Blvd. cul de sac. Both pond areas ultimately drain to Old Hickory Lake. All lots will also be constructed with Public Utility Drainage Easements (P.U.D.E.) on all four (4) sides to accommodate drainage flow. Five (5) foot wide Public Utility and Drainage Easements (P.U.D.E.) are shown along the side property lines. This requires a five (5) foot width variance from the Gallatin Subdivision Regulations as part of this Preliminary Plat approval. The five (5) foot side yard Public Utility and Drainage Easements (P.U.D.E.) are consistent with other lots approved in previously approved phases of the Foxland Subdivision. No vertical construction is allowed in any easements.

### ***Departmental Comments***

- ***Engineering Division***

The Engineering Division reviewed and commented on the Final Plat. The owner and applicant satisfactorily addressed all Engineering Division comments.

- ***Police Department***

The Police Department provided no comments on the Preliminary Plat.

- ***Department of Public Utilities and Industrial Pre-treatment Department***

This development is primarily served by the White House Utility District. The Gallatin Department of Public Utilities only provides gas service in this area. A utility surety for gas line installation may be required prior to the recording of a Final Plat for Foxland, Phase 6.

- ***White House Utility District***

Since this area is primarily serviced by the White House Utility District, the owner and applicant shall coordinate all development to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. According to the applicant, utility plans have been submitted to the White House Utility District for review and approval. The applicant shall submit a copy of the utility surety to the Planning Department, if required, prior to recording of the Final Plat for Foxland, Phase 6.

- **Fire Department**

The Fire Department provided no review comments on the Preliminary Plat.

- **Sumner County E-911**

The Sumner County E-911 Office reviewed the Amended Preliminary Master Development Plan/Revised Final Master Development Plan, but provided no comments. They reviewed the Final Plat for this property as part of that departmental review process.

- **Building Codes Department**

The Building Department did not review the plan.

- **Department of Electricity**

The Department of Electricity provided no review comments on the Preliminary Plat.

- **Public Works Department**

The Public Works Department provided no review comments on the Preliminary Plat.

Departmental comments not addressed by the resubmittal have been added as conditions of approval.

### **Findings**

According to the applicant, the project was designed to be consistent with the intent and purpose of the Gallatin Zoning Ordinance and Gallatin Subdivision Regulations. Staff, therefore, makes the following findings:

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The Preliminary Plat is consistent with the purpose and intent of the Multiple Residential and Office (MRO) Zoning District and the Amended Foxland Preliminary Master Development Plan and Revised Final Master Development Plan for Foxland, Phase 6 (PC File #8-1322-15).
3. The Preliminary Plat is consistent with Tennessee Code Annotated § 13-3-403 Section 13-3-403 and Section 13-4-303.
4. The Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City as described in Chapter 1, Section 1-104, items 1-11.
5. The Preliminary Plat complies with the submittal requirements for a Preliminary Plat as described in Section 2-103, Gallatin Subdivision Regulations and a variance for lot width to allow 50-foot side lots and a variance to allow five (5) foot sideyard setbacks and five (5) foot wide P.U.D.E.'s in sideyards is provided consistent with the approved Preliminary Master Development Plan and Final Master Development Plan for Foxland, Phase 6.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.

7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

**RECOMMENDATION:**

Based on the findings presented in the staff report, Staff recommends that the Planning Commission approves the Preliminary Plat for Foxland, Phase 6, Sections 1 & 2 consisting of a two (2) sheet plat, prepared by Barge, Waggoner, Sumner & Cannon, Inc. of Nashville, Tennessee, with file number 32003-56, dated February 12, 2015, with a revision date of December 3, 2015, with the following conditions:

1. Approval of the Preliminary Plat for Foxland, Phase 6, Sections 1 & 2 is contingent upon Planning Commission's approval of the Amended Preliminary Master Development Plan for Foxland and the Revised Final Master Development Plan for Foxland, Phase 6 (PC File #8-1322-15).
2. Add adjoining property information for Foxland, Ph. 5, Sec. 1, located north of Lots 1175 and 1387.
3. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District.
4. Label the Gallatin City Limit's along the rear property line of Lots 1223 -1238 and open space tract.
5. Revise Note 6, remove 'Common Area' and revise to state: 'Open Space and Bufferyards will be owned and maintained by the Homeowner's Association'.
6. Remove reference to Golf Easement on the west sides of Lots 1224 and 1223.
7. Submit three (3) corrected, folded copies to the Planning Department prior to the recording of a Final Plat for Foxland, Phase 6 for review and approval.

**ATTACHMENTS:**

- Attachment 5-1 Foxland, Ph. 6, Secs. 1 & 2 Preliminary Plat**  
**Attachment 5-2 Location Map**

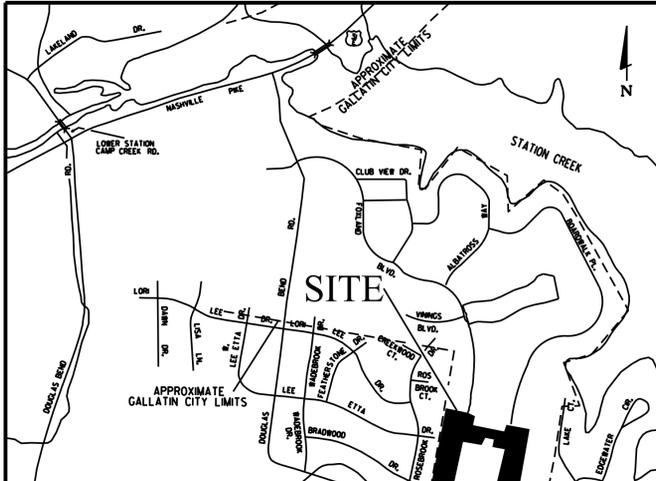
FOXLAND, PHASE 6, SECTIONS 1 & 2 PRELIMINARY PLAT  
PC FILE #1-1320-15B  
LOCATION MAP



ATTACHMENT 5-2

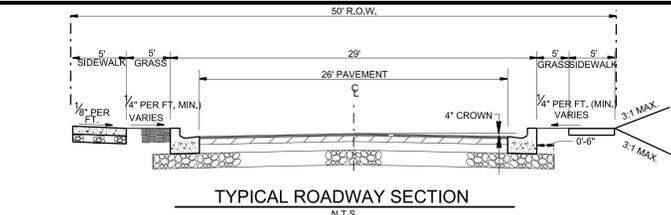
PC FILE #1-1320-15B

**ATTACHMENT 5-2**



**PRELIMINARY CONSTRUCTION SCHEDULE**  
 SECTION 1: JUNE 2015 - DECEMBER 2015  
 SECTION 2: PENDING FUTURE DEVELOPMENT

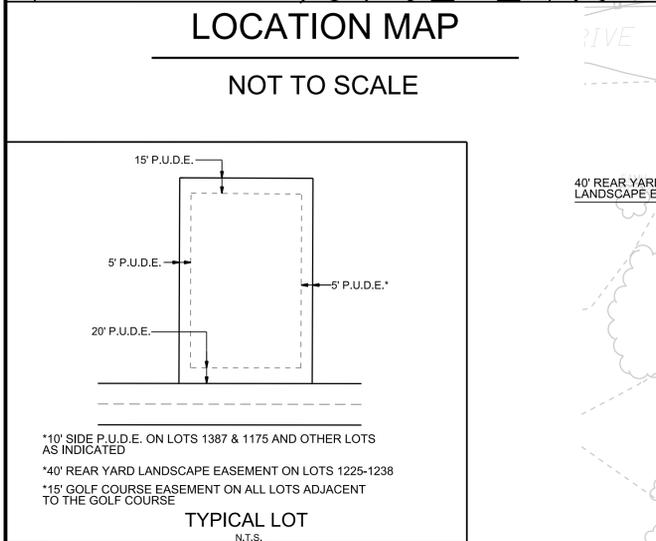
FOXLAND PHASE 5  
 SECTION 2  
 PLAT BOOK 28, PAGE 150,  
 R.O.S.C.  
 ZONING MRO



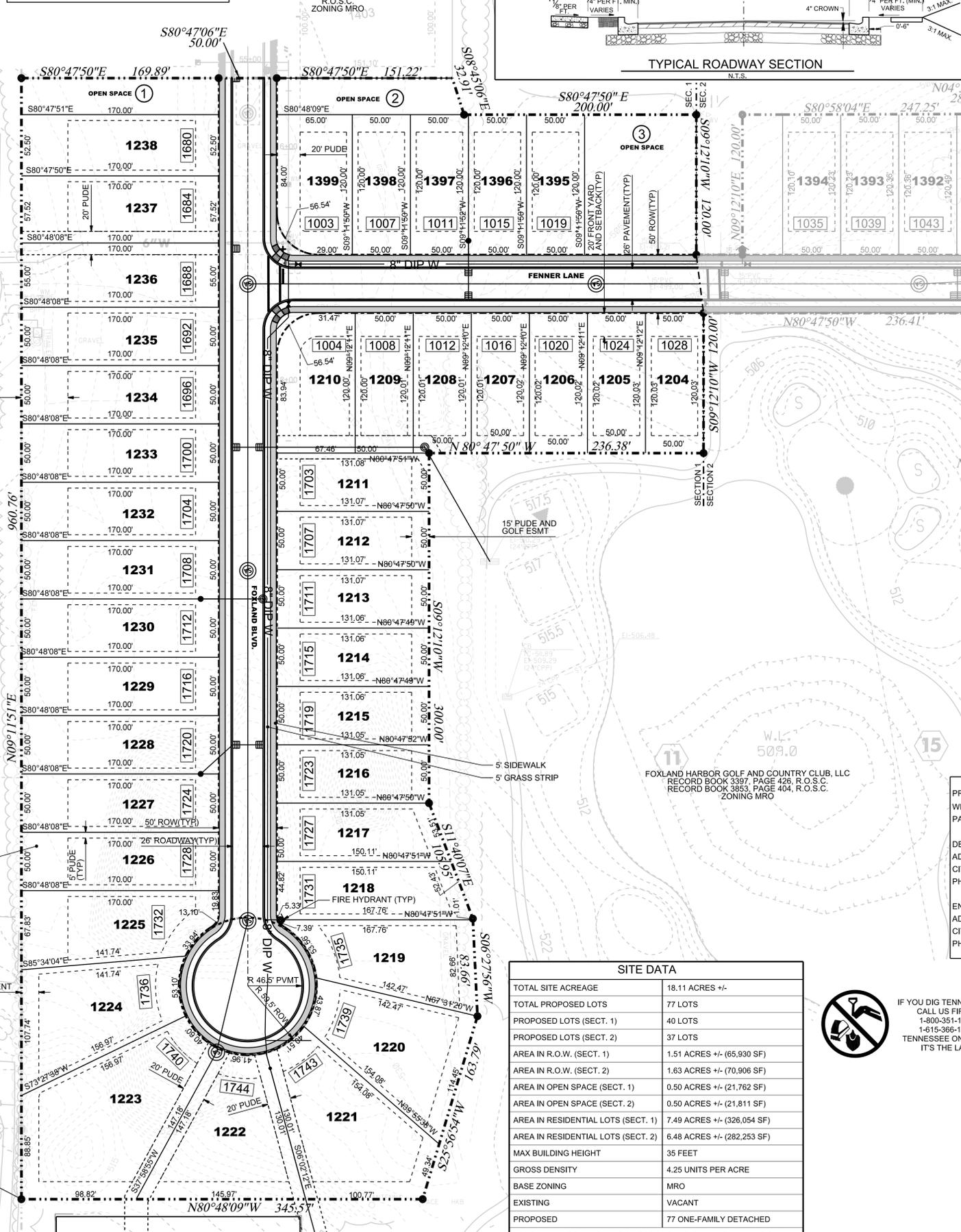
**LEGEND**

- OVERALL PROJECT BOUNDARY
- R.O.W.
- SUBDIVISION LOT LINES
- EASEMENTS
- TREE ROWS
- PROPOSED VALVE
- PROPOSED IRON PIN
- PROPOSED FIRE HYDRANT
- PROPOSED 3-WAY TEE
- PROPOSED 90 DEGREE BEND
- PROPOSED 45 DEGREE ELBOW
- PROPOSED SINGLE CATCH BASIN
- PROPOSED DOUBLE CATCH BASIN
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING PROPERTY BOUNDARY CORNER (IRON PIN OLD)

**BWSC**  
 BARGE WAGGONER SUMNER & CANNON, INC.  
 211 Commerce Street, Suite 600, Nashville, Tennessee 37203  
 PHONE: (615) 252-4331 FAX: (615) 255-8572



- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO CREATE TWO SECTIONS IN PHASE 6. PHASE 6 SECTION 1 WILL HAVE 40 LOTS AND PHASE 6, SECTION 2 WILL HAVE 37 LOTS.
  - SIDEWALKS TO BE PROVIDED ON ALL STREETS IN ACCORDANCE WITH THE STREET CROSS SECTIONS SHOWN.
  - ALL PROPOSED RIGHT-OF-WAY CORNERS TO BE CONCRETE MONUMENTS, PER GALLATIN SUBDIVISION REGULATIONS. OTHER PROPERTY CORNERS TO BE IRON PINS SET AS SHOWN ON FINAL PLAT.
  - THIS SITE WILL COMPLY WITH THE PERFORMANCE AND DESIGN STANDARDS WITHIN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
  - NO PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 47165C0403G, REVISED APRIL 17, 2012, ZONE "X".
  - COMMON AREA/OPEN SPACE WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
  - ALL OPEN SPACE IS IN A P.U.D.E.
  - FINAL PLAT WILL BE 18" X 24".
  - THE OWNER/DEVELOPER, MERITAGE HOMES OF TENNESSEE, INC., OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.



**LOT AREA TABLE**

SECTION 1	SECTION 2		
LOT NO.	AREA (SF)	LOT NO.	AREA (SF)
1204	6,000	1175	18,305
1205	6,000	1176	9,303
1206	6,000	1177	8,254
1207	6,000	1178	8,010
1208	6,000	1179	7,150
1209	6,000	1180	6,500
1210	7,834	1181	6,500
1211	6,561	1182	6,500
1212	6,561	1183	6,501
1213	6,561	1184	6,531
1214	6,561	1185	6,572
1215	6,561	1186	6,612
1216	6,561	1187	6,201
1217	7,038	1188	7,709
1218	7,989	1189	8,183
1219	9,609	1190	8,697
1220	10,993	1191	8,673
1221	13,278	1192	8,946
1222	11,820	1193	7,030
1223	16,759	1194	6,892
1224	11,039	1195	7,500
1225	9,836	1196	7,500
1226	8,492	1197	7,500
1227	8,492	1198	7,500
1228	8,492	1199	7,500
1229	8,492	1200	7,588
1230	8,492	1201	6,806
1231	8,492	1202	6,003
1232	8,493	1203	6,004
1233	8,493	1387	15,742
1234	8,493	1388	6,922
1235	8,493	1389	6,000
1236	9,343	1390	6,312
1237	9,771	1391	6,244
1238	8,918	1392	6,022
1395	6,000	1393	6,015
1396	6,000	1394	6,008
1397	6,000		
1398	6,000		
1399	7,537		

**OPEN SPACE TABLE**

OPEN SPACE NO.	AREA SQ. FT.
1	5,320
2	4,894
3	11,548
4	4,158
5	4,502
6	6,416
7	6,715

**DEVELOPER'S BLOCK INFORMATION**

PROJECT NAME: FOXLAND PHASE 6  
 WHUD JOB #: XXXXX TOTAL NUMBER OF LOTS: 77  
 PAGE TOTAL OF LINEAR FOOTAGE OF PIPE: 2,482'(W) TOTAL LINEAR FOOTAGE OF PIPE: 2,482'(W)  
 2,375'(S) 2,375'(S)

DEVELOPER'S NAME: MERITAGE HOMES OF TENNESSEE, INC.  
 ADDRESS: 3000 BUSINESS PARK CIRCLE, STE 300  
 CITY: GOODLETTSVILLE STATE: TN ZIP CODE: 37072  
 PHONE #: (615) 969-9202 FAX #: (615) 851-9010

ENGINEER'S NAME: J. WIATT WEHUNT, PE, BWSC  
 ADDRESS: 211 COMMERCE ST., SUITE 600  
 CITY: NASHVILLE STATE: TN ZIP CODE: 37201  
 PHONE #: (615) 252-4331 FAX #: (615) 255-8572

APPROVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION, WITH SUCH EXCEPTIONS OR CONDITIONS AS ARE INDICATED IN THE MINUTES OF THE COMMISSION ARE

THIS PRELIMINARY PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THIS SUBDIVISION IN FINAL FORM AND DOES NOT CONSTITUTE APPROVAL FOR RECORDING OF THE PLAT.

**SURROUNDING PROPERTY OWNERS TABLE**

OWNER	PARCEL ID #	ADDRESS
RAVEN AT FOXLAND, LLC	147 010 01 001	DOUGLAS BEND ROAD
RAVEN AT FOXLAND, LLC	147 010 01 001	1671 DOUGLAS BEND ROAD
CHRISTOPHER & ROBIN ANGELL	1471 D 002 00 000	1653 BOARDWALK PLACE
RITCHIE JILES	1471 D 001 00 000	1656 BOARDWALK PLACE
CORNERSTONE HOMES	147 G E 016 00 000	1674 FOXLAND BLVD
NEWCASTLE HOMES	147 G E 015 00 000	1676 FOXLAND BLVD
JOHN & JANICE NUTTER	147 G B 018 00 000	163 LEE ETIA DRIVE
JAMES & KAREN SHELTON	147 G B 019 00 000	LEE ETIA DRIVE
JAN & JULIA JACKSON	147 G B 021 00 000	369 ROSEBROOK DRIVE
TIMOTHY & HEATHER CUTLER	147 G B 022 00 000	371 ROSEBROOK DRIVE
ANDREW BENTLEY	147 G B 023 00 000	373 ROSEBROOK DRIVE
DAVID & KIMBERLY DEERE	147 G B 024 00 000	165 BRADWOOD DRIVE

**OWNER TABLE**

OWNER	PARCEL ID #	ADDRESS
MERITAGE HOMES OF TENNESSEE, INC.	147 010 05 000	FOXLAND BLVD

**SITE DATA**

TOTAL SITE ACREAGE	18.11 ACRES +/-
TOTAL PROPOSED LOTS	77 LOTS
PROPOSED LOTS (SECT. 1)	40 LOTS
PROPOSED LOTS (SECT. 2)	37 LOTS
AREA IN R.O.W. (SECT. 1)	1.51 ACRES +/- (65,930 SF)
AREA IN R.O.W. (SECT. 2)	1.63 ACRES +/- (70,906 SF)
AREA IN OPEN SPACE (SECT. 1)	0.50 ACRES +/- (21,762 SF)
AREA IN OPEN SPACE (SECT. 2)	0.50 ACRES +/- (21,811 SF)
AREA IN RESIDENTIAL LOTS (SECT. 1)	7.49 ACRES +/- (326,054 SF)
AREA IN RESIDENTIAL LOTS (SECT. 2)	6.48 ACRES +/- (282,253 SF)
MAX BUILDING HEIGHT	35 FEET
GROSS DENSITY	4.25 UNITS PER ACRE
BASE ZONING	MRO
EXISTING	VACANT
PROPOSED	77 ONE-FAMILY DETACHED
YARD LINES ARE APPROVED AS PART OF THE FOXLAND, MASTER PLAN	



**OWNER/DEVELOPER:**  
 MERITAGE HOMES OF TENNESSEE, INC.  
 3000 BUSINESS PARK CIRCLE, STE 300  
 GOODLETTSVILLE, TN 37072  
 CONTACT: THOMAS STEFFEN  
 PHONE: 615-480-8732

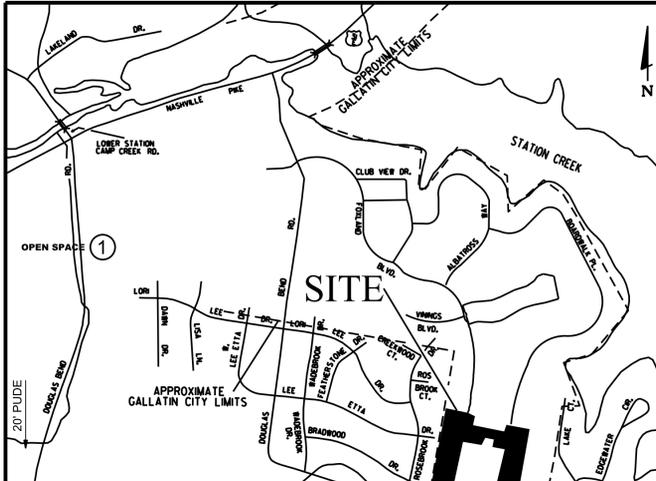
**MAP 147 PARCEL 10.05**

**BENCHMARK**  
 SEE AERIAL TARGETS  
 NAD 83

**PRELIMINARY PLAT**  
 PHASE 6, SECTIONS 1 & 2  
**FOXLAND**  
 FOXLAND BLVD.  
 GALLATIN, SUMNER COUNTY, TENNESSEE

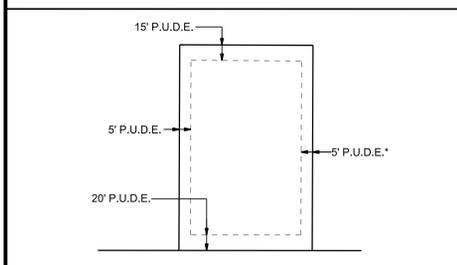
**PP.01**  
 FILE NO. 32003-56

DR.	CHK.	DATE	DESCRIPTION
BSP	JWW	02-12-2015	SUBMIT TO CITY
GJRN	JWW	02-27-2015	WATER & SEWER COMMENTS
MCK	JOS	08-10-2015	ADD SECTION LINES
JAW	JJC	11-11-2015	SUBMIT TO CITY
JAW	JJC	12-03-2015	PLANNING COMMENTS



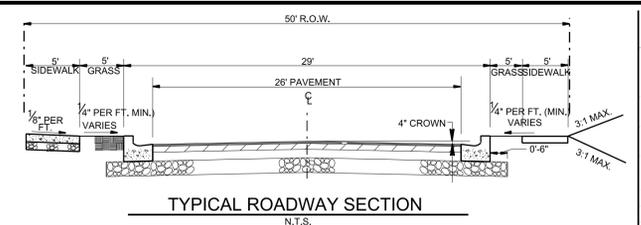
**LOCATION MAP**

NOT TO SCALE

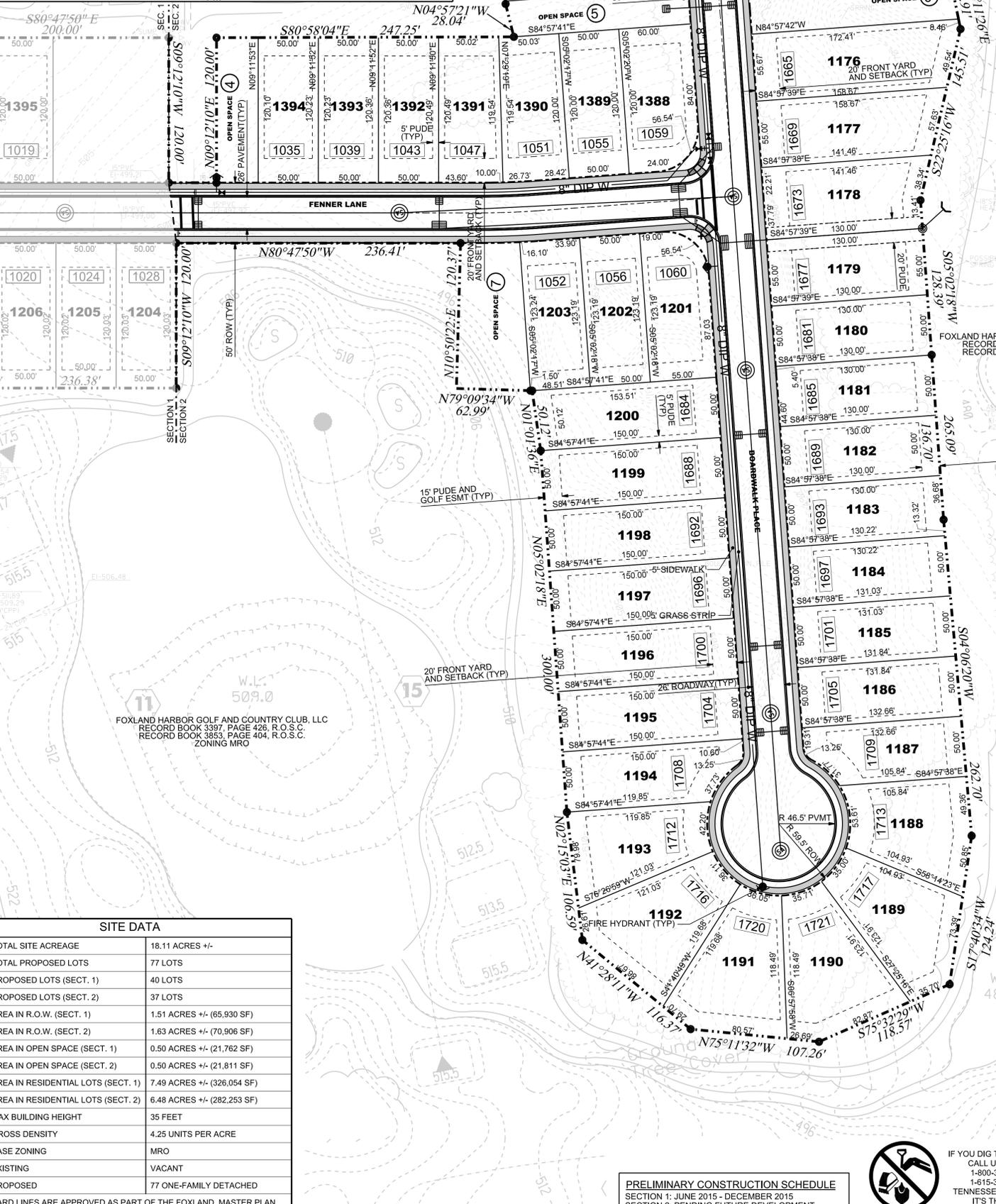


\* 15' GOLF COURSE EASEMENT ON ALL LOTS ADJACENT TO THE GOLF COURSE  
 \* 10' SIDE P.U.D.E. ON LOTS 1178 & 1179 AND OTHER LOTS AS INDICATED

**TYPICAL LOT**



**TYPICAL ROADWAY SECTION**



**LEGEND**

- OVERALL PROJECT BOUNDARY
- R.O.W.
- SUBDIVISION LOT LINES
- EASEMENTS
- TREE ROWS
- PROPOSED VALVE
- PROPOSED IRON PIN
- PROPOSED FIRE HYDRANT
- PROPOSED 3-WAY TEE
- PROPOSED 90 DEGREE BEND
- PROPOSED 45 DEGREE ELBOW
- PROPOSED SINGLE CATCH BASIN
- PROPOSED DOUBLE CATCH BASIN
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING PROPERTY BOUNDARY CORNER (IRON PIN OLD)

**LOT AREA TABLE**

SECTION 1		SECTION 2	
LOT NO.	AREA (SF)	LOT NO.	AREA (SF)
1204	6,000	1175	18,305
1205	6,000	1176	9,303
1206	6,000	1177	8,254
1207	6,000	1178	8,010
1208	6,000	1179	7,150
1209	6,000	1180	6,500
1210	7,834	1181	6,500
1211	6,561	1182	6,500
1212	6,561	1183	6,501
1213	6,561	1184	6,531
1214	6,561	1185	6,572
1215	6,561	1186	6,612
1216	6,561	1187	6,201
1217	7,038	1188	7,709
1218	7,989	1189	8,183
1219	9,809	1190	8,687
1220	10,993	1191	8,673
1221	13,278	1192	8,946
1222	11,820	1193	7,030
1223	16,759	1194	6,892
1224	11,039	1195	7,500
1225	9,836	1196	7,500
1226	8,492	1197	7,500
1227	8,492	1198	7,500
1228	8,492	1199	7,500
1229	8,492	1200	7,588
1230	8,492	1201	6,806
1231	8,492	1202	6,003
1232	8,493	1203	6,004
1233	8,493	1204	15,742
1234	8,493	1205	6,922
1235	8,493	1206	6,000
1236	9,343	1207	6,312
1237	9,771	1208	6,244
1238	8,918	1209	6,022
1239	6,000	1210	6,015
1240	6,000	1211	6,008
1241	6,000		
1242	6,000		
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1398	6,000		
1399	6,000		

**OPEN SPACE TABLE**

OPEN SPACE NO.	AREA SQ. FT.
1	5,320
2	4,894
3	11,548
4	4,158
5	4,502
6	6,416
7	6,715

**DEVELOPER'S BLOCK INFORMATION**

PROJECT NAME: FOXLAND PHASE 6  
 WHUD JOB #: XXXXX TOTAL NUMBER OF LOTS: 77  
 PAGE TOTAL OF LINEAR FOOTAGE OF PIPE: 2,482(W) TOTAL LINEAR FOOTAGE OF PIPE: 2,482(W)  
 2,375(S) 2,375(S)  
 DEVELOPER'S NAME: MERITAGE HOMES OF TENNESSEE, INC.  
 ADDRESS: 3000 BUSINESS PARK CIRCLE, STE 300  
 CITY: GOODLETTSVILLE STATE: TN ZIP CODE: 37072  
 PHONE #: (615) 969-9202 FAX #: (615) 851-9010  
 ENGINEER'S NAME: J. WIATT WEHUNT, PE, BWSC  
 ADDRESS: 211 COMMERCE ST., SUITE 600  
 CITY: NASHVILLE STATE: TN ZIP CODE: 37201  
 PHONE #: (615) 252-4331 FAX #: (615) 255-6572

**OWNER/DEVELOPER:**

MERITAGE HOMES OF TENNESSEE, INC.  
 3000 BUSINESS PARK CIRCLE, STE 300  
 GOODLETTSVILLE, TN 37072  
 CONTACT: THOMAS STEFFEN  
 PHONE: 615-480-8732

**MAP 147 PARCEL 10.05**

**BENCHMARK**  
 SEE AERIAL TARGETS  
 NAD 83

SCALE: 1 INCH = 50 FEET

**SITE DATA**

TOTAL SITE ACREAGE	18.11 ACRES +/-
TOTAL PROPOSED LOTS	77 LOTS
PROPOSED LOTS (SECT. 1)	40 LOTS
PROPOSED LOTS (SECT. 2)	37 LOTS
AREA IN R.O.W. (SECT. 1)	1.51 ACRES +/- (65,930 SF)
AREA IN R.O.W. (SECT. 2)	1.63 ACRES +/- (70,906 SF)
AREA IN OPEN SPACE (SECT. 1)	0.50 ACRES +/- (21,762 SF)
AREA IN OPEN SPACE (SECT. 2)	0.50 ACRES +/- (21,811 SF)
AREA IN RESIDENTIAL LOTS (SECT. 1)	7.49 ACRES +/- (326,054 SF)
AREA IN RESIDENTIAL LOTS (SECT. 2)	6.48 ACRES +/- (282,253 SF)
MAX BUILDING HEIGHT	35 FEET
GROSS DENSITY	4.25 UNITS PER ACRE
BASE ZONING	MRO
EXISTING	VACANT
PROPOSED	77 ONE-FAMILY DETACHED
YARD LINES ARE APPROVED AS PART OF THE FOXLAND, MASTER PLAN	

**SURROUNDING PROPERTY OWNERS TABLE**

OWNER	PARCEL ID #	ADDRESS
RAVEN AT FOXLAND, LLC	147 010 001 001	DOUGLAS BEND ROAD
RAVEN AT FOXLAND, LLC	147 010 001 001	1671 DOUGLAS BEND ROAD
CHRISTOPHER & ROBIN ANGELL	1471 D 002 000 000	1653 BOARDWALK PLACE
RITCHIE JILES	1471 D 001 000 000	1656 BOARDWALK PLACE
CORNELIE HOMES	147 G E 016 000 000	1674 FOXLAND BLVD
NEWCASTLE HOMES	147 G E 015 000 000	1676 FOXLAND BLVD
JOHN & JANICE NUTTER	147 G B 018 000 000	163 LEE ETIA DRIVE
JAMES & KAREN SHELTON	147 G B 019 000 000	163 LEE ETIA DRIVE
JAN & JULIA JACKSON	147 G B 021 000 000	369 ROSEBROOK DRIVE
TIMOTHY & HEATHER CUTLER	147 G B 022 000 000	371 ROSEBROOK DRIVE
LEONARD BENTLEY	147 G B 023 000 000	373 ROSEBROOK DRIVE
DAVID & KIMBERLY DEERE	147 G B 024 000 000	165 BRADWOOD DRIVE

**OWNER TABLE**

OWNER	PARCEL ID #	ADDRESS
MERITAGE HOMES OF TENNESSEE, INC.	147 010 05 000	FOXLAND BLVD

**PRELIMINARY CONSTRUCTION SCHEDULE**  
 SECTION 1: JUNE 2015 - DECEMBER 2015  
 SECTION 2: PENDING FUTURE DEVELOPMENT



IF YOU DIG TENNESSEE...  
 CALL US FIRST!  
 1-800-351-1111  
 1-615-386-1987  
 TENNESSEE ONE CALL  
 IT'S THE LAW

**BARGE WAGGONER SUMNER & CANNON, INC.**

**BWSC**

211 Commerce Street, Suite 600, Nashville, Tennessee 37201  
 PHONE (615) 252-4331 FAX (615) 255-6572

JOHN ADRIAN WARD  
 REGISTERED ENGINEER  
 STATE OF TENNESSEE

**PRELIMINARY PLAT**  
 PHASE 6, SECTIONS 1 & 2  
**FOXLAND**  
 FOXLAND BLVD.  
 GALLATIN, SUMNER COUNTY, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
	JWW	02-12-2015	SUBMIT TO CITY
	JWW	02-27-2015	WATER & SEWER COMMENTS
	JOS	08-10-2015	ADD SECTION LINES
	JWW	11-11-2015	SUBMIT TO CITY
	JWW	12-03-2015	PLANNING COMMENTS

FILE NO. 32003-56

# ITEM 6

GMRPC Resolution No. 2015-158

**A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL PLAT FOR FOXLAND, PHASE 6, SECTION 1, CONTAINING 40 ONE-FAMILY, DETACHED DWELLING LOTS, THREE (3) OPEN SPACE TRACTS, EXTENSION OF ONE (1) RIGHT-OF-WAY AND ADDITION OF ONE (1) RIGHT-OF-WAY, ON 9.50 (+/-) ACRES, LOCATED ON FOXLAND BOULEVARD AND FENNER LANE (PC FILE #1-1324-15C)**

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** considered the Preliminary Plat submitted by the applicant, Barge, Waggoner, Sumner & Cannon, Inc., at its regular meeting on December 14, 2015; and

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

**NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Tennessee Code Annotated § 13-3-403(b) and §13-4-303(b):

1. The Final Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Suburban Neighborhood Emerging Community Character Area.
2. The Final Plat is consistent with the purpose and intent of the Multiple Residential and Office (MRO) Zoning District, the Foxland Preliminary Master Development Plan, Final Master Development Plan for Foxland, Phase 6, and the Preliminary Plat for Foxland, Phase 6, Sections 1 & 2.
3. The Final Plat is consistent with Tennessee Code Annotated Section 13-3-403 and Section 13-4-303.
4. The Final Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
5. The Final Plat complies with the requirements of the subdivision regulations as described in Section 2-105, Gallatin Subdivision Regulations.

6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Plat for Foxland, Phase 6, Section 1 consisting of a one (1) sheet plat, prepared by Barge, Waggoner, Sumner & Cannon, Inc. of Nashville, Tennessee, with project number 3200356, dated December 2, 2015, with the following conditions:

1. Approval of the Final Plat for Foxland, Phase 6, Section 1 is contingent upon Planning Commission's approval of the Amended Foxland Preliminary Master Development Plan/Revised Final Master Development Plan for Foxland, Phase 6, and Preliminary Plat for Foxland Phase 6, Sections 1 & 2.
2. Revise the temporary cul de sac label to 'Temporary Turnaround Easement'. Also revise Note 11 to state 'Temporary Turnaround Easement'.
3. Revise rear yard label on Typical Lot to state: '15' wide PUDE on all lots & 15' wide Golf Course on lots adjacent to golf course'.
4. Label Gallatin City Limit along the rear property line of Lots 1223 -1238.
5. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit a copy of the utility surety to the Planning Department, if required, prior to the recording of the Final Plat for Foxland, Phase 6.
6. Revise Note 9, remove 'Common Area' and revise to state: 'Open Space and Bufferyards will be owned and maintained by the Homeowner's Association'.
7. Correct the owner information in the Development Summary, Certificate of Ownership and Dedication, and Plat Note Box. Does Foxland Harbor Golf and Country Club, LLC still have part ownership?
8. Submit a Subdivision Surety, as approved by the Engineering Division, to the Planning Department prior to recording of the Final Plat. Subdivision sureties are valid for one (1) year upon recording of the Final Plat.
9. Submit a Site Surety, in an amount to be determined by the applicant and approved by the Planning Department, to the Planning Department prior to the recording of the Final Plat for Foxland, Phase 6, Section 1. Site sureties are valid one (1) year from the recording of the Final Plat.
10. Submit three (3) corrected, folded copies to the Planning Department prior to the recording of the Final Plat for Foxland, Phase 6, Section 1 for review and approval.

**BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION** that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 12/14/15

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Dick Dempsey, Chairman

---

Johnny Wilson, Secretary

APPROVED AS TO FORM:

---

Susan High-McAuley  
City Attorney



## ITEM 6

### PLANNING DEPARTMENT STAFF REPORT

**Foxland, Phase 6, Section 1 Final Plat**

**PC File #1-1324-15C**

**Foxland Boulevard & Fenner Lane**

**Date: December 14, 2015**

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**REQUEST:** OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR FOXLAND, PHASE 6, SECTION 1, CONTAINING 40 ONE-FAMILY, DETACHED DWELLING LOTS, THREE (3) OPEN SPACE TRACTS, EXTENSION OF ONE (1) RIGHT-OF-WAY AND ADDITION OF ONE (1) RIGHT-OF-WAY ON 9.50 (+/-) ACRES, LOCATED ON FOXLAND BOULEVARD AND FENNER LANE (PC FILE #1-1324-15C).

**OWNER:** PHILLIPS BUILDER/ A MERITAGE HOMES COMPANY

**APPLICANT:** BARGE, WAGGONER, SUMNER & CANNON, INC.

**STAFF RECOMMENDATION:** APPROVAL OF RESOLUTION NO. 2015-158

**STAFF CONTACT:** DENISE BROWN

**PC MEETING DATE:** DECEMBER 14, 2015

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#### **PROPERTY OVERVIEW:**

The owner and applicant are requesting approval of a Final Plat for Foxland, Phase 6, Section 1, a major subdivision, to create 40 One-Family Detached Dwelling lots, three (3) open space tracts, extension of one (1) right-of-way and addition of one (1) right-of-way, on 9.50 (+/-) acres, located on Foxland Boulevard and Fenner Lane. One-Family Detached Dwellings is a permitted use in the MRO zone district. (Attachment 6-1 and 6-2)

Staff recommends that the Planning Commission approve the major subdivision Final Plat for Foxland, Phase 6, Section 1 with the conditions listed on the staff report and in GMRPC Resolution No. 2015-158.

#### **CASE BACKGROUND:**

##### ***Previous Approvals and Property History***

On November 28, 2005, the Planning Commission recommended approval of a Preliminary Master Development Plan and rezoning of 416.87 (+/-) acres, known as the Foxland property, from Residential-15 Planned Unit Development (R15 PUD) and Multiple Residential and Office Planned Unit Development (MRO PUD) to Mixed Use (MU) and Multiple Residential and Office (MRO) (PC File #3-16-05). The Preliminary Master Development Plan included 81.37 (+/-) acres to be rezoned to MU and 335.50 (+/-) acres to be rezoned to MRO. The Preliminary Master Development Plan and rezoning request passed Second Reading at the February 7, 2006 City Council meeting.

Since the time the property was rezoned in 2006, several Final Master Development Plans for the Clubhouse, golf course, One-Family Detached Dwellings, Attached Dwellings, and Multi-Family Dwelling units have been approved throughout the Foxland Development. Several Preliminary and Final Plats have also been approved for various phases and sections of the Foxland Development.

On March 25, 2013, the Planning Commission approved a minor amendment to the Foxland Preliminary Master Development Plan to revise the phase line between Phase 5 and Phase 6 and to divide Phase 5 into sections (PC0105-13). The plan also included revisions to the approved Final Master Development Plan for Foxland, Phase 5 containing 31.40 (+/-) acres located on Foxland Boulevard, Boardwalk Place, and Fenner Lane, north of Phase 6. A separate Final Master Development Plan for Phase 6 has not previously been approved.

On March 23, 2015, the Planning Commission approved a minor amendment to the Foxland Preliminary Master Development Plan and the Final Master Development Plan for Phase 6 to decrease the number of approved One-Family Detached Dwelling lots from 80 to 77 lots and to revise the approved conceptual architectural elevations. (PC FILE #8-370-15). Foxland, Phase 6 Preliminary Plat was also being considered as a separate item at this meeting.

An amended Foxland Preliminary Master Development Plan and Revised Final Master Development Plan for Foxland, Phase 6, dividing Phase 6 into two (2) sections, was approved as a separate item on this meeting's agenda (PC File #8-1322-15). A Preliminary Plat for Foxland, Phase 6, Sections 1 & 2 was considered as a separate item on this meeting's agenda.

## **DISCUSSION:**

### ***Proposed Development***

At build-out, Foxland, Phase 6 will include a total of 77 one-family detached dwelling lots and seven (7) open space tracts. The development is divided into two (2) sections. The Final Plat for Section 1 will contain 40 lots, three (3) open space tracts, and the extension of Foxland Boulevard and addition of Fenner Lane public rights-of-way.

### ***Lot Layout***

MRO zoning requires a minimum lot size of 6,000 square feet. All lots in Phase 6, Section 1 meet or exceed the required minimum lot size with the smallest lot (Lot 1209) being 6,000. The Final Plat is consistent with lot sizes and layouts shown in the Amended Preliminary Master Development Plan for Foxland and the Final Master Development Plan for Foxland, Phase 6 (PC File #8-1322-15) and the Preliminary Plat for Foxland, Phases 1 & 2. The lots and open space tracts were designed to accommodate the natural topography of the land to reduce stormwater runoff impacts on adjoining properties. Phase 6, Section 1 is surrounded by the existing Foxland Golf Course on three (3) sides. Lots in Phase 6, Section 1 are designed to maximize the view of the adjacent golf course.

### ***Natural Features***

The subject property is currently under construction. A note on the plan indicates that no portion of this property is located within a special flood hazard area according to FEMA FIRM map panel #47165C0409G, dated April 17, 2012; zone X. Phase 6, Section 1 contains mature trees along the western property boundary that will be preserved and counted toward the bufferyard requirement.

***Adjacent Zoning and Area Uses***

The entire Foxland Subdivision property lies within the Gallatin City limits and is zoned Multiple Residential and Office (MRO). Property to the north, south, and east of Foxland, Phase 6, Section 1 is zoned MRO. The western boundary of Phase 6, Section 1 represents the Gallatin City limits line. Adjoining properties to the west are zoned Sumner County R1A (Low Density Residential) and contain existing single-family homes in the Lori Lee Estates Subdivision. Foxland Golf Course is located to the north, south, and east of the subject property. Foxland, Phase 5, containing 31, One-Family, Detached Dwelling lots, is located directly north of the subject property.

***Side Yard and Minimum Lot Width Exceptions and P.U.D.E.'s***

As part of the Amended Preliminary Master Development Plan for Foxland and Revised Final Master Development Plan for Foxland, Phase 6, the applicant requested approval of an exception to the 10-foot side yard and PUDE requirement for the MRO zone district to allow five (5) foot side yard and PUDE's (PC File #8-1322-15). In addition, the applicant requested approval of an exception to the 60-foot minimum lot width requirement for the MRO zone district to construct 50-foot wide lots. The Gallatin Municipal-Regional Planning Commission considered the side yard and minimum lot width exceptions as part of the Amended Foxland Preliminary Master Development Plan and Revised Final Master Development Plan for Foxland, Phase 6 (PC File #8-1322-15) and the Preliminary Plat.

***Access, Streets, and Rights-of-Way.***

Foxland, Phase 6, Section 1 contains approximately 1.51 (+/-) acres of right-of-way for the extension of Foxland Boulevard and addition of Fenner Lane. Foxland Boulevard (Section 1) ends in a cul-de-sac. Fenner Lane will run perpendicular to Foxland Boulevard and temporarily end in a cul de sac. It will later be extended eastward to Boardwalk Place and connect the two (2) streets. Both rights-of-way will become public streets once the roadway infrastructure is installed and accepted by the Gallatin City Council. Sidewalks will be constructed in accordance with the Gallatin Zoning Ordinance and the 2020 Plan.

***Open Spaces and Bufferyards***

The Plat shows three (3) open space tracts containing approximately 0.50 (+/-) acres (Open Space 1 – 0.12, Open Space 2 – 0.0.11 and Open Space 3 – 0.27).

A Type 40 Bufferyard, including an opaque barrier, is required along the western property boundary of Phase 6, along the back of Lots 1225-1238, adjoining the property zoned Sumner County R1A (Lori Lee Estates recorded in PB 11; PG 6-8). An Alternative Type 40 Bufferyard will be provided to match the landscaping approved by Planning Commission as part of the previously Amended Preliminary Master Development Plans for Foxland, Phase 5 and 6 (PC0105-13) and the more recent amendment. Existing trees in this location will be counted towards the bufferyard requirement. In areas where trees located in the bufferyards do not provide a sufficient buffer, evergreen trees shall be used in areas to ensure an opaque barrier is created by the evergreen plantings.

The maintenance note will be modified on the plat stating: Open Space and Bufferyards will be owned and maintained by the Homeowner's Association.

***Drainage and Detentioning***

All stormwater runoff will drain to the existing pond located on the golf course, between holes 11 and 15, or to the smaller holding areas south and east of the Foxland Blvd. cul de sac. Both pond areas ultimately drain to Old Hickory Lake. All lots will also be constructed with Public Utility Drainage Easements (P.U.D.E.) on all four (4) sides to accommodate drainage flow. Five (5) foot wide Public Utility and Drainage Easements (P.U.D.E.) are shown along the side property lines. This requires a five (5) foot width variance from the Gallatin Subdivision Regulations as part of this Preliminary Plat approval. The five (5) foot side yard Public Utility and Drainage Easements (P.U.D.E.) are consistent with other lots approved in previously approved phases of the Foxland Subdivision. No vertical construction is allowed in any easements.

### ***Subdivision Surety***

The applicant is required to submit a subdivision surety to the City for roadway and drainage infrastructure per Chapter 3, Section 3-101 of the Gallatin Subdivision Regulations. Subdivision sureties are valid for one (1) year upon recording of the Final Plat.

### ***Site Surety***

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department. The applicant previously submitted the site surety calculation sheet and set the amount at \$17,120.35. The site surety for \$17,120.35, in the form of cash, certified check, or automatically renewing Irrevocable Letter of Credit, shall be submitted to the Planning Department prior to the recording of the Final Plat for Foxland, Phase 6. Site sureties are valid one (1) year upon recording of the Final Plat.

### ***Departmental Comments***

- ***White House Utility District Comments***

This development is serviced by the White House Utility District. The applicant shall coordinate all development with White House Utility District to ensure all future utility infrastructures are installed to the satisfaction of the Utility Districts standards.

- ***Engineering Division Comments***

The Engineering Division reviewed and commented on the Final Plat. The owner and applicant satisfactorily addressed all Engineering Division comments.

- ***Other Departmental Comments***

Other departments reviewed the plans, but did not have any comments.

Departmental comments not addressed by the resubmittal have been added as conditions of approval.

### ***Findings***

According to the applicant, the project was designed to be consistent with the intent and purpose of the Gallatin Zoning Ordinance and Gallatin Subdivision Regulations. Staff, therefore, makes the following findings:

**Findings:**

1. The Final Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Suburban Neighborhood Emerging Community Character Area.
2. The Final Plat is consistent with the purpose and intent of the Multiple Residential and Office (MRO) Zoning District, the Foxland Preliminary Master Development Plan, Final Master Development Plan for Foxland, Phase 6, and the Preliminary Plat for Foxland, Phase 6, Sections 1 & 2.
3. The Final Plat is consistent with Tennessee Code Annotated Section 13-3-403 and Section 13-4-303.
4. The Final Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
5. The Final Plat complies with the requirements of the subdivision regulations as described in Section 2-105, Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

**RECOMMENDATION:**

Based on the findings presented in the staff report, Staff recommends that the Planning Commission approve GMRPC Resolution No. 2015-158 a Final Plat for Foxland, Phase 6, Section 1 consisting of a one (1) sheet plat, prepared by Barge, Waggoner, Sumner & Cannon, Inc. of Nashville, Tennessee, with file number 3200356, dated December 2, 2015, with the following conditions:

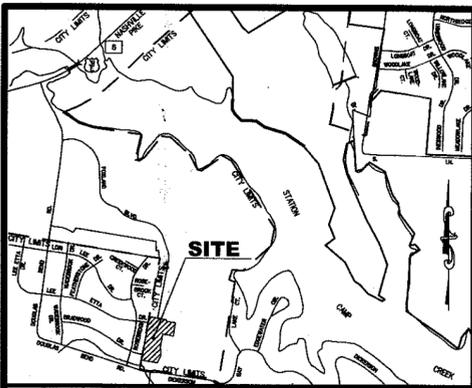
1. Approval of the Final Plat for Foxland, Phase 6, Section 1 is contingent upon Planning Commission's approval of the Amended Foxland Preliminary Master Development Plan/Revised Final Master Development Plan for Foxland, Phase 6, and Preliminary Plat for Foxland Phase 6, Sections 1 & 2.
2. Revise the temporary cul de sac label to 'Temporary Turnaround Easement'. Also revise Note 11 to state 'Temporary Turnaround Easement'.
3. Revise rear yard label on Typical Lot to state: '15' wide PUDE on all lots & 15' wide Golf Course on lots adjacent to golf course'.
4. Label Gallatin City Limit along the rear property line of Lots 1223 -1238.
5. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit a copy of the utility surety to the Planning Department, if required, prior to the recording of the Final Plat for Foxland, Phase 6.
6. Revise Note 9, remove 'Common Area' and revise to state: 'Open Space and Bufferyards will be owned and maintained by the Homeowner's Association'.

7. Correct the owner information in the Development Summary, Certificate of Ownership and Dedication, and Plat Note Box. Does Foxland Harbor Golf and Country Club, LLC still have part ownership?
8. Submit a Subdivision Surety, as approved by the Engineering Division, to the Planning Department prior to recording of the Final Plat. Subdivision sureties are valid for one (1) year upon recording of the Final Plat.
9. Submit a Site Surety, in an amount to be determined by the applicant and approved by the Planning Department, to the Planning Department prior to the recording of the Final Plat for Foxland, Phase 6, Section 1. Site sureties are valid one (1) year from the recording of the Final Plat.
10. Submit three (3) corrected, folded copies to the Planning Department prior to the recording of the Final Plat for Foxland, Phase 6, Section 1 for review and approval.

**ATTACHMENTS:**

- Attachment 6-1 Foxland, Ph. 6, Sec. 1 Final Plat**  
**Attachment 6-2 Location Map**

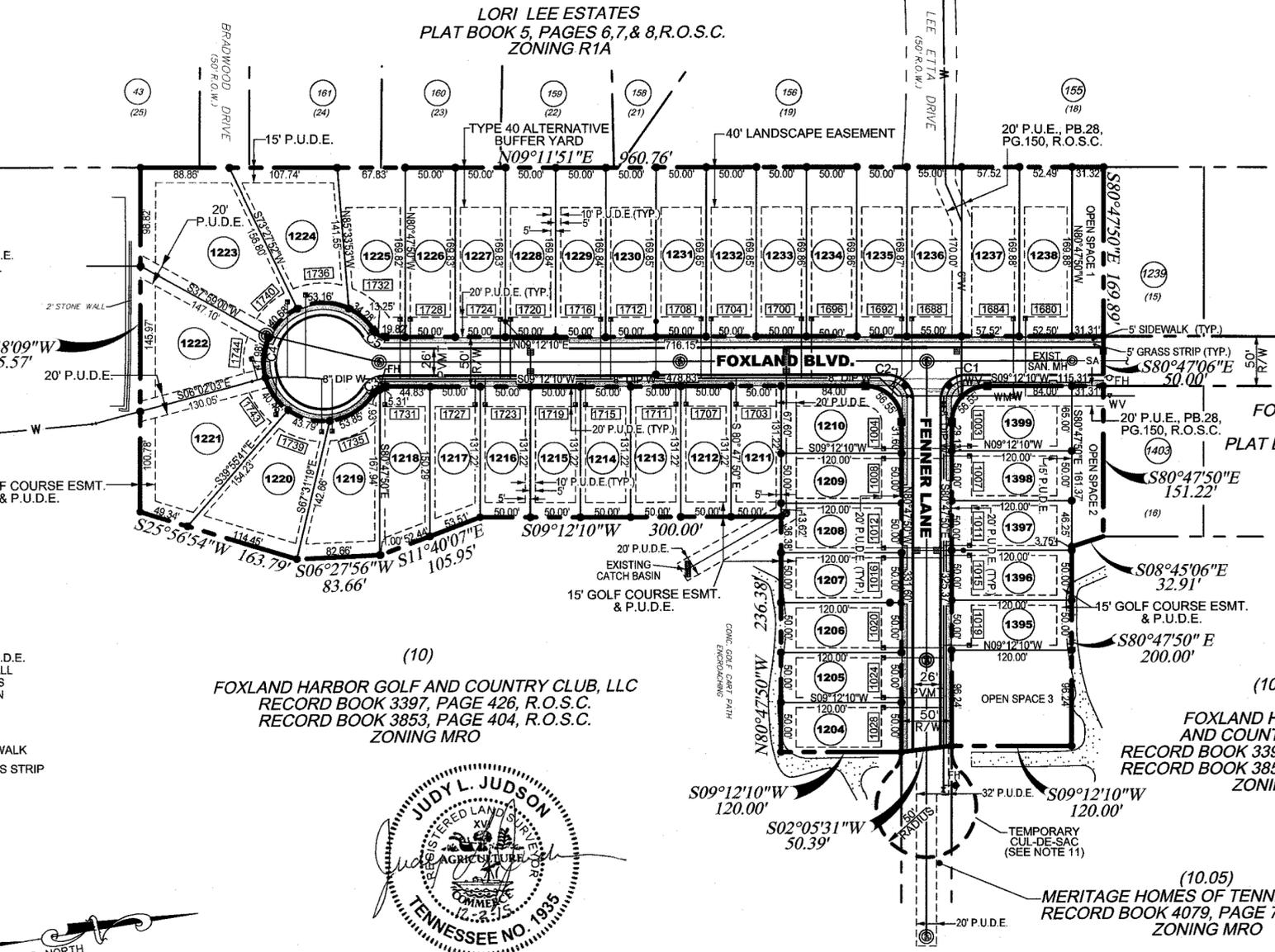
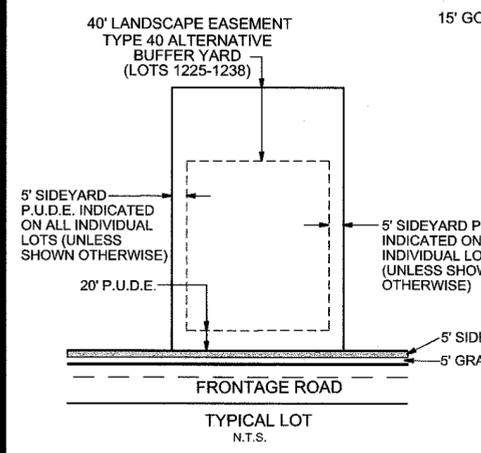
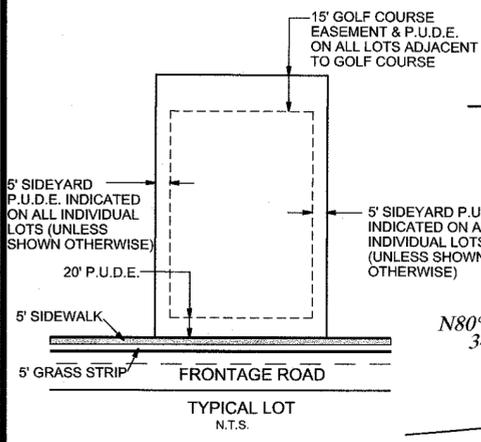




LOT NO.	AREA SQ. FT.	ACRE	LOT NO.	AREA SQ. FT.	ACRE
1204	8,000	0.14	1226	8,492	0.19
1205	8,000	0.14	1227	8,492	0.19
1206	8,000	0.14	1228	8,492	0.19
1207	8,000	0.14	1229	8,492	0.20
1208	8,000	0.14	1230	8,492	0.20
1209	8,000	0.14	1231	8,492	0.20
1210	7,834	0.18	1232	8,492	0.20
1211	6,561	0.15	1233	8,492	0.20
1212	6,561	0.15	1234	8,492	0.20
1213	6,561	0.15	1235	8,492	0.20
1214	6,561	0.15	1236	8,492	0.20
1215	6,561	0.15	1237	8,492	0.20
1216	6,561	0.15	1238	8,492	0.20
1217	7,038	0.16	1239	8,492	0.20
1218	6,561	0.15	1240	8,492	0.20
1219	6,561	0.15	1241	8,492	0.20
1220	10,983	0.25	1242	8,492	0.20
1221	13,278	0.30	1243	8,492	0.20
1222	15,789	0.36	1244	8,492	0.20
1223	15,789	0.36	O.S. 2	4,894	0.11
1224	11,039	0.25	O.S. 3	11,548	0.27
1225	9,836	0.23			

CURVE	DELTA	RADIUS	TANGENT	ARC	CHORD BRG.	CHORD
C1	90°00'00"	36.00'	36.00'	56.55'	S 35°47'50"E	50.91'
C2	90°00'00"	36.00'	36.00'	56.55'	S 54°12'10"W	50.91'
C3	58°23'23"	13.00'	7.26'	13.25'	S 19°53'32"E	12.68'
C4	296°48'46"	58.50'	—	308.20'	N 80°47'50"W	62.37'
C5	58°23'23"	13.00'	7.26'	13.25'	N 38°23'52"E	12.68'

- NOTES**
1. THE PURPOSE OF THIS PLAT IS TO CREATE 40 ONE FAMILY DETACHED DWELLING LOTS AND DEDICATE OPEN SPACE AND RIGHT-OF-WAY.
  2. THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
  3. BEARING SHOWN BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 83.
  4. PROPERTY IS ZONED MRO.
  5. THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NO. 470185, PANEL NO. 0409 G, REVISED APRIL 17, 2012, ZONE "X".
  6. UNDERGROUND UTILITY LOCATIONS SHOWN HEREON WERE TAKEN FROM FIELD LOCATIONS OF VISIBLE ABOVE-GROUND STRUCTURES AND PERTINENT UTILITY MAPS AND ARE APPROXIMATE ONLY. UTILITIES SHOULD BE FIELD VERIFIED BY THE PROPER UTILITY AUTHORITY HAVING JURISDICTION PRIOR TO ANY DIGGING.
  7. ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO R.O.W. UNLESS OTHERWISE NOTED.
  8. EXISTING PROPERTY USE IS VACANT LAND. PROPOSED USE IS DWELLING: ONE FAMILY DETACHED.
  9. COMMON AREA/OPEN SPACE WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
  10. ALL OPEN SPACE IS IN A P.U.D.E.
  11. TEMPORARY TURNAROUND TO BE CONSTRUCTED WITH PHASE 6, SECTION 1 AND BUILT IN ACCORDANCE WITH THE CITY OF GALLATIN DETAILS. TEMPORARY TURNAROUND TO REMAIN IN PLACE UNTIL FENNER LANE IS EXTENDED AND THE PHASE 6 ROADWAY IS COMPLETE AT WHICH TIME THE EXCESS GRAVEL WILL BE REMOVED.



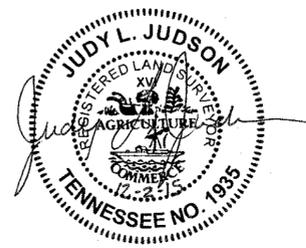
**FOXLAND PHASE 5 SECTION 2**  
**PLAT BOOK 28, PAGE 150,**  
**R.O.S.C.**  
**ZONING MRO**

**FOXLAND HARBOR GOLF AND COUNTRY CLUB, LLC**  
**RECORD BOOK 3397, PAGE 426, R.O.S.C.**  
**RECORD BOOK 3853, PAGE 404, R.O.S.C.**  
**ZONING MRO**

**FOXLAND HARBOR GOLF AND COUNTRY CLUB, LLC**  
**RECORD BOOK 3397, PAGE 426, R.O.S.C.**  
**RECORD BOOK 3853, PAGE 404, R.O.S.C.**  
**ZONING MRO**

**MERITAGE HOMES OF TENNESSEE, INC.**  
**RECORD BOOK 4079, PAGE 734, R.O.S.C.**  
**ZONING MRO**

- DEVELOPMENT SUMMARY**
- FOXLAND PHASE 6, SECTION 1 FINAL PLAT
  - OWNER: MERITAGE HOMES OF TENNESSEE, INC. 3000 BUSINESS PARK CIRCLE, SUITE 300 GOODLETTSVILLE, TN 37072 CONTACT: THOMAS STEFFEN Thomas.Steffen@meritagehomes.com (615) 480-8732
  - FOURTH CIVIL DISTRICT GALLATIN, TENNESSEE
  - MAP 147, PARCEL 10.02
  - ZONED: MRO
  - PLAT PREPARED ON DECEMBER 2, 2015
  - SCALE: 1" = 100'
  - EXISTING PROPERTY USE IS VACANT LAND. PROPOSED USE IS DWELLING: ONE FAMILY DETACHED.
  - SETBACKS ARE APPROVED AS PART OF THE FOXLAND PHASE 6 MASTER PLAN
  - MAXIMUM BUILDING HEIGHT = 35 FEET
  - SURVEYOR: JUDY L. JUDSON, R.L.S. BARGE, WAGGONER, SUMNER & CANNON, INC. 211 COMMERCE STREET, SUITE 600 NASHVILLE, TENNESSEE 37201 PH. (615) 252-4318 FAX (615) 256-9661



OPEN SPACE = 21,762 SQ. FT. OR 0.50 ACRE+/-  
 R.O.W. DEDICATION = 65,930 SQ. FT. OR 1.51 ACRES+/-  
 TOTAL LOT AREA = 326,054 SQ. FT. OR 7.49 ACRES+/-  
 TOTAL AREA = 413,746 SQ. FT. OR 9.50 ACRES+/-

OWNER/DEVELOPER	OWNER
MERITAGE HOMES OF TENNESSEE, INC. 3000 BUSINESS PARK CIRCLE, SUITE 300 GOODLETTSVILLE, TN 37072 CONTACT: TONY WYMAN (RECORD BOOK 4079, PAGE 734, R.O.S.C.)	FOXLAND HARBOR GOLF AND COUNTRY CLUB, LLC 1445 FOXLAND BLVD. GALLATIN, TN 37086 (RECORD BOOK 3397, PAGE 426, R.O.S.C.) (RECORD BOOK 3853, PAGE 404, R.O.S.C.)

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS**

I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED FOXLAND PHASE 6, SECTION 1, FINAL PLAT HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE \_\_\_\_\_ SUPERINTENDENT OF WHITE HOUSE UTILITY DISTRICT \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN RECORD BOOK 4079, PAGE 734, R.O.S.C. AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, ALLEYS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

DATE \_\_\_\_\_ OWNER - MERITAGE HOMES OF TENNESSEE, INC.  
 TITLE (IF ACTING FOR PARTNERSHIP OR CORPORATION) \_\_\_\_\_

DATE \_\_\_\_\_ OWNER - FOXLAND HARBOR GOLF AND COUNTRY CLUB, LLC  
 TITLE (IF ACTING FOR PARTNERSHIP OR CORPORATION) \_\_\_\_\_

**CERTIFICATE OF APPROVAL OR SURETY FOR COMPLETION OF ROADS**

I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, OR (2) THAT A PERFORMANCE SURETY HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_

**CERTIFICATE OF COMMON AREAS DEDICATION**

MERITAGE HOMES OF TENNESSEE, INC. IN RECORDING THIS PLAT HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS OF FOXLAND, PHASE 6, SECTION 1 FOR RECREATION AND RELATED ACTIVITIES. THE ABOVE DESCRIBED AREAS ARE NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN FOXLAND AS MORE FULLY PROVIDED IN DECLARATION OF COVENANTS AND RESTRICTIONS FOR FOXLAND PHASE 6, SECTION 1, DATED MARCH 12, 2015 OF RECORD IN RECORD BOOK 4079 PAGES 710-728, R.O.S.C.

DATE \_\_\_\_\_ MERITAGE HOMES OF TENNESSEE, INC. \_\_\_\_\_

**BWSC** BARGE WAGGONER SUMNER & CANNON, INC.  
 211 Commerce Street, Suite 600 Nashville, Tennessee 37201  
 PHONE (615) 254-1500 FAX (615) 255-6572

PROJECT NO. 3200356 FILE:3200356-PLAT DWG BY: RWF

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED FOXLAND PHASE 6, SECTION 1, FINAL PLAT HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE \_\_\_\_\_ SUPERINTENDENT OF WHITE HOUSE UTILITY DISTRICT \_\_\_\_\_

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE \_\_\_\_\_ SECRETARY, PLANNING COMMISSION \_\_\_\_\_  
 DATE \_\_\_\_\_ CHAIRMAN'S INITIALS, PLANNING COMMISSION \_\_\_\_\_

**CERTIFICATE OF ACCURACY**

I (WE) HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.

BARGE WAGGONER SUMNER & CANNON, INC.  
 12-02-15  
 DATE \_\_\_\_\_ REGISTERED LAND SURVEYOR NUMBER 1935

**FOXLAND PHASE 6, SECTION 1 FINAL PLAT**

FOURTH CIVIL DISTRICT  
 SUMNER COUNTY  
 GALLATIN, TENNESSEE  
 MAP 147, PART OF PARCEL 10.05  
 FOXLAND BOULEVARD @  
 FENNER LANE  
 ZONED MRO

DATE: DECEMBER 2, 2015 SHEET 1 OF 1

# ITEM 7

GMRPC Resolution No. 2015-160

**A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN AND FINAL MASTER DEVELOPMENT PLAN FOR CARELLTON SUBDIVISION – PHASE 3-A, 3-B, 3-C, AND 3-D, ON 45.18 (+/-) ACRES, LOCATED NORTH OF FERDINAND DRIVE AND PRESTON LANE AND WEST OF GULFSTREAM DRIVE. (8-1316-15)**

**WHEREAS**, The applicant submitted an application for an amendment to an approved Preliminary Master Development Plan and a Final Master Development Plan consistent with Section 12.02.030 of the City of Gallatin Zoning Ordinance, and

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** considered the Amended Preliminary Master Development Plan and Final Master Development Plan submitted by the applicant, Land Solutions Company, LLC, at its regular meeting on December 14, 2015

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** reviewed the Amended Preliminary Master Development Plan and Final Master Development Plan application, materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report and the evidence and testimony presented during the meeting, and

**NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Tennessee Code Annotated §13-3-413; §13-4-310; §13-4-104; & §13-7-201 and G.Z.O. Article 12, §12.02.030:

1. The Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Emerging Character Area Category.
2. The Amended Preliminary Master Development Plan and the Final Master Development Plan is consistent with the purpose and intent of the Residential 8 – Planned Residential Development (R8-PRD) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in the R8-PRD zoning district.
3. The Amended Preliminary Master Development Plan and the Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

4. The legal purposes for which zoning regulations exists have not been contravened.
5. The Amended Preliminary Master Development Plan and the Final Master Development Plan, will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Amended Preliminary Master Development Plan for the Carellton Subdivision, consisting of a four (4) sheet plan (Labeled C1.0 through C1.3), prepared by Land Solutions Company, LLC of Nashville, TN, dated November 11, 2015 with a final revision date of December 3, 2015, with the following conditions:

1. A connection to Liberty Lane shall be provided after the completion of Phase 3-D (a total of 389 lots) and prior to the completion of any future phases.
2. Per conditions of previous approval outlined in the minutes of the 6-28-2005 Sumner County Planning Commission meeting, the developer(s) shall install the traffic signal at the intersection of Big Station Camp Boulevard/Long Hollow Pike/Carellton Drive. Based on a Tennessee Department of Transportation traffic study, the traffic signal at Big Station Camp Boulevard, Long Hollow Pike, and Carellton Drive is warranted at this time. A schedule for installation shall be discussed with the Engineering Staff for approval.

Section 3. Action - The Gallatin Municipal-Regional Planning Commission hereby approves the Final Master Development Plan for Carellton Subdivision Phase 3-A, 3-B, 3-C, and 3-D, consisting of a 15 sheet plan (Labeled C0.0, C2.0 through C6.0), prepared by Land Solutions Company, LLC of Nashville, TN, dated November 11, 2015 with a final revision date of December 3, 2015, with the following conditions:

*\* The FMDP only affects that portion of the Carellton PMDP indicates as Phase 3-A, 3-B, 3-C, and 3-D.*

1. Show/label right-of-way and pavement dimensions on all layout plans.
2. Show/label sidewalk and grass strip dimensions on all layout plans.
3. Intersections shall have a minimum of 60-ft at a maximum of 2% slope. Multiple intersections proposed exceed these standards.
4. Within Phase 3-B – Provide pedestrian access (sidewalks and crosswalks) along Alysheba Pass over stream crossing.
5. Within Phase 3-B – Revise grading at the intersection of Turfway Park and Monarchos Drive.
6. Phase 3-B – Replace “corners” of Monarchos Drive and Aristides Lane with simple curves. Minimum inside (curb) radius shall be 25-ft.

7. Phase 3-B – Revise the pedestrian walkway behind lots along Leonatus Drive as well as Moarchos Drive to connect to the stub at the rear of the amenity center and better service those lots as well as provide access/connection to sidewalks proposed in Phase 3-B.
8. Within Phase 3-C – Indicate temporary turnarounds with a minimum radius of 50-ft at the west end of both Ferdinand Drive and Grindstone Drive.
9. Submit stormwater runoff analysis/calculations/report(s) with the construction plans.
10. Provide details of all stormwater management practices on the construction plans as well as in stormwater analysis.
11. Amend the plan to indicate that all side P.U.D.E.s shall be a minimum of 20-ft in width where utility and stormwater pipes and/or ditches are present.
12. Within Phase 3-A - Add headwalls to contain/route stormwater runoff from open space tract between lots 196-197 and 192-193.
13. Within Phase 3-B - Revise symbology of headwall/inlet on Turfway Park.
14. Provide the required Site Surety, in an amount determined by the applicant, prior to the Final Plat per Gallatin Zoning Ordinance Section 12.02.030.B.13 and 15.03.080.
15. Submit one (1) full-sized and two (2) half-sized, corrected folded copies of the Amended Preliminary Master Development and Final Master Development Plan for Phase 3-A, 3-B, 3-C, and 3-D.

**BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION** that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.  
PRESENT AND VOTING

AYE:

NAY:

DATED: 12/14/15

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Dick Dempsey, Chairman

---

Johnny Wilson, Secretary

APPROVED AS TO FORM:

---

SUSAN HIGH-MCAULEY  
City Attorney

**ITEM 7****PLANNING DEPARTMENT STAFF REPORT**

**Amended Preliminary Master Development Plan for Carellton Subdivision and a Final Master Development Plan for Carellton Phase 3-A, 3-B, 3-C, and 3-D**

**(PC File# 8-1316-15)**

**Located North of Ferdinand Drive and Preston Lane, and West of Gulfstream Drive**

**Date: December 10, 2015**

**REQUEST:** OWNER AND APPLICANT REQUESTS APPROVAL OF AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR CARELLTON SUBDIVISION AND A FINAL MASTER DEVELOPMENT PLAN FOR CARELLTON PHASE 3A, 3B, 3C, AND 3D, ON 45.18 (+/-) ACRES, LOCATED NORTH OF FERDINAND DRIVE AND PRESTON LANE AND WEST OF GULFSTREAM DRIVE.

**OWNER:** GREEN TRAILS, LLC (RICK DECKBAR)

**APPLICANT:** LAND SOLUTIONS (KEVIN ESTES, P.E.)

**STAFF RECOMMENDATION:** RECOMMEND APPROVAL OF RESOLUTION 2015-160

**STAFF CONTACT:** KEVIN CHASTINE

**PLANNING COMMISSION DATE:** DECEMBER 14, 2015

**PROPERTY OVERVIEW:** The owner and applicant request approval of an Amended Preliminary Master Development Plan for the Carellton Subdivision and a Final Master Development Plan for Carellton Phase 3-A, 3-B, 3-C, and 3-D, on 45.18 (+/-) acres, located north of Ferdinand Drive and Preston Lane, and west of Gulfstream Drive. All sections of Phase 3 contain Dwelling, One-Family residences, which is a permitted use in the R8-PRD zone district. (Attachment 7-1)

**CASE BACKGROUND:*****Previous Approvals***

On December 19, 2006, prior to annexation, the Sumner County Planning Commission approved an Amended Preliminary Master Development Plan for The Paddock. On January 23, 2007, the Sumner County Planning Commission approved the Final Master Development Plan for The Paddock was approved with conditions.

On April 15, 2008, the City of Gallatin approved Residential-8-Planned Residential Development (R8-PRD) zoning with a Preliminary Master Development Plan for The Paddock, which included one-family attached and detached dwellings, effective upon annexation on May 2, 2008.

On June 23, 2008, the Planning Commission approved the Final Plat for The Paddock Phase 1-A (PC File #1-15-08C), with conditions. The Final Plat for Phase 1-A was recorded on July 25, 2013.

On May 23, 2011, the Gallatin Regional Municipal Planning Commission (Planning Commission) approved, with conditions, an extension of Sumner County's approval for the Paddock Final Master Development Plan (PC9803-11).

On August 26, 2013, the Planning Commission approved the Preliminary Plat for Carellton Phase 1-B, with conditions. The Final Plat for Phase 1-B was approved by the Planning Commission on December 9, 2013 and was recorded on April 2, 2014. (P.B. 28 Pg. 122-126)

On January 27, 2014, the Planning Commission recommended approval of an Amended Preliminary Master Development Plan for the Carellton Subdivision, Phases 2 through 8 (PC0214-13), which was approved by City Council on March 18, 2014. (Attachment 7-2)

On April 18, 2014, the Planning Commission approved the Final Master Development Plan for Phase 2, Sections A and B (PC0268-14) and on July 28, 2014, the Planning Commission approved the Preliminary Plat for Phase 2B. (PC0308-14)

On March 23, 2015, the Planning Commission approved an Amended Preliminary Master Development Plan and a Final Master Development Plan for Carellton 1-B (Re-subdivision of Lot 69), which divided Lot 69 into eight (8) additional single family residential lots. (PC File# 8-373-15)

**DISCUSSION:**

***Proposed Development***

The owner and applicant request approval of an Amended Preliminary Master Development Plan for the Carellton Subdivision and a Final Master Development Plan for Carellton Phase 3-A, 3-B, 3-C, and 3-D. The amendment affects all phases of the development. This FMDP includes on 45.18 (+/-) acres, located north of Ferdinand Drive, and Preston Lane, and west of Gulfstream Drive. (Attachment 7-1)

The FMDP for Carellton Phase 3 is divided into four (4) sections (3-A, 3-B, 3-C, and 3-D) and are located in several different locations within the development. Phase 3A contains 41 lots located north of Phase 2-. Phase 3-B contains 60 lots and is located west of Phase 2-A and 3-A and north of the Amenity Center. Phase 3-C contains 36 lots located west of Gulfstream Drive and Phase 3-D contains 23 lots located north of Phase 3-B. All sections of Phase 3 contain, One-Family Dwellings, which is a permitted use in the R8-PRD zone district.

***Proposed Amendments (Minor Amendment)***

The applicant proposes several amendments to the current Preliminary Master Development Plan that includes the following:

- Eliminates Lot Type 'C' (Classic) (61 Lots) and replace with Lot Type 'C' (Boulevard Cottage) (60 lots).
- Replaces existing Lot Type 'C' lots in Phase 4 and 5 with larger Lot Type 'B' (Manor) lots.
- In Phase 3-B, replace all Lot Type 'F' (Mainstreet Homes) along Carellton Drive with new Lot Type 'C' (Boulevard Cottage) lots.
- Replace a portion of Lot Type 'D' lots in Phase 8 with larger Lot Type 'B' (Manor) lots.
- Adjusts phasing to establish an earlier scheduled connection to Liberty Lane.

- Reduces size of Tract 2 by increasing Open Space Tract ‘O’ around northeastern portion of the development.
- Reduces the size of Tract 3 in response to change in lot type size along Carellton Drive.
- Reduces the total number of phases from 8 to 6.

Although a number of changes are proposed for the Carellton Preliminary Master Development Plan, Staff recommends the changes be considered a minor amendment, because the overall density of the subdivision remains the same, no changes in architecture or the road network is proposed, and the overall open space is reduced by only .3 (+/-) acres. The remaining open spaces still exceed the open space requirements for the development.

**Adjacent or Area Uses**

No change to adjacent uses or property zoning has occurred since the last approval for the Carellton Subdivision.

**Lot Types**

The currently approved Preliminary Master Development Plan for Carellton established eight (8) different lot types that vary in size and shape to accommodate the different proposed housing types. The proposed Amended PMDP maintains eight (8) different lot types, but the number of lots per lot type has changed with the proposed amendments to the Preliminary Master Development Plan. The table below provides a breakdown of the number of lots per lot type currently approved and being proposed.

Currently Approved PMDP			Proposed Amended PMDP			
Lot Type	Lot Name	No. of Lots	Lot Type	Lot Name	No. of Lots	
A	Estates	65	A	Estates	65	No Change
B	Manor	75	B	Manor	193	+ 118
C	Classic	61	C	Boulevard Cottage*	60	- 1
D	Prestige	169	D	Prestige	101	- 68
E	Signature	118	E	Signature	117	- 1
F	Mainstreet Home	90	F	Mainstreet Home	43	- 47
G	Villa	56	G	Villa	55	- 1
H	Cottage Grove	93	H	Cottage Grove	93	No Change
<b>TOTAL</b>		<b>727</b>	<b>TOTAL</b>		<b>727</b>	

\* Denotes a change in Lot Type

Phase 3 contains 160 lots, which encompasses four (4) different lot types. The table below provides a breakdown of each lot type in Phase 3 – both currently approved and proposed.

Carellton – Phase 3 – Lot Types (CURRENTLY APPROVED)				
Phase	Lot Type	Name	Minimum Size (sq. ft.)	No. of Lots
Phase 3	D	Prestige	7,200	22
	E	Signature	6,000	30
	F	Main Street Homes	4,000	26
	H	Cottage Grove	3,080 or 3,630	29

Carellton – Phase 3 – Lot Types (PROPOSED)				
Phase	Lot Type	Name	Minimum Size (sq. ft.)	No. of Lots
Phase 3-A	E	Signature	6,000	41
Phase 3-B	C	Boulevard Cottage	3,850	60
Phase 3-C	D	Prestige	7,200	36
Phase 3-D	B	Manor	10,200	23

Lot Types B, D, and E were created with the Amended Preliminary Master Development Plan for Carellton approved in 2014 (PC0214-13). Lot Type C (Boulevard Cottage) is proposed as part of this Amended Preliminary Master Development amendment. Boulevard Cottage lots are 35 feet wide and 110 feet deep. The Boulevard Cottage lots will only be located along Carellton Drive within Phase 3-B. The 60 Boulevard Cottage lots will replace 47 Main Street Home Lots that were approved as part of the Amended PMDP for Carellton in 2014. The Main Street Home Lots are 4,000 square feet in size where the Boulevard Cottage Lots are 3,850 square feet in size. To offset the increase of 13 lots between the Main Street Home lots and Boulevard Cottage Lots, the applicant has replaced smaller lots types in Phases 4, 5, and 8 with Lot Type 'B' (Manor) lots. By switching out lot types in these three (3) phases the total number of lots remains 727.

**Architectural Designs**

The applicant provided 46 sample architectural elevations for all of the proposed lot types. (Attachment 7-4) The architectural elevations for Lot Type B (Manor), D (Prestige), and E (Signature) are identical to the elevations approved with the Amended PMDP (PC0214-13). The only new architectural elevations are those proposed for Lot Type C (Boulevard Cottage), which is a new lot type proposed for the Carellton Subdivision.

The architecture for the Manor and Prestige Lot types (Lot Type B & D), within Phase 3-D and 3-C, respectively provides 29 samples of two (2) story residences and 15 samples of one (1) story, and one and a half (1½) story elevations. The building materials are primarily brick and/or stone with siding located on the second story or as accent materials on roof dormers or in the gable ends of the roof.

The architecture for the Signature Lot type (Lot Type E), within Phase 3-A, provides three (3) samples of one (1), and one and a half (1½) story residences. Two (2) of the elevations utilize stone on the front elevation and siding on the side and rear elevations, while the third sample utilizes siding on all four (4) elevations with brick column bases on the front porch.

The architecture for the Boulevard Cottage (Lot Type C), within Phase 3-B, provides 14 samples of two-story townhomes. Nine (9) of the elevations are primarily brick with either board and batten siding, half-timbering, or shingles as accent materials of a portion of the second story or within the ends of the gable roofs. The other five (5) elevations are primarily horizontal siding with one (1) elevation sheathed with board and batten siding. In terms of architectural detailing, seven (7) of the elevations has porches that project out from the first floor and cover the entire width of the elevation, ten (10) of the elevations have some type of roof dormers, and all elevations have side gable roofs with seven (7) of the elevations also having front facing gable roofs and/or projections.

Staff recommends that the Planning Commission approve the architectural designs indicated on the architectural plan sheets.

**Rights-of-Way/Streets/Roads**

The Final Master Development Plan for Phase 3 includes five (5) rights-of-way and the extending of four (4) existing rights-of-way. All of these rights-of-way match the approved Amended Preliminary Master Development Plan. The two (2) tables below provide a breakdown of which rights-of-way are new and which are extensions of existing rights-of-way. All proposed rights-of-way and right-of-way extensions are labeled as public right of way.

Carellton Phase 3 – New Rights-of-Way			
Name	R.O.W. Width	Pavement Width	Length (Linear Feet)
Monarchos Drive	22 feet	20 feet	1,530
Aristides Lane	22 feet	20 feet	1,580
Alysheba Pass	50 feet	feet	128
Bedford Way	50 feet	22 feet	745
Barbaro Court	50 feet	22 feet	630

Carellton Phase 3 – Extended Rights-of-Way			
Name	R.O.W. Width	Pavement Width	Length (Linear Feet)
Carellton Drive	32 feet (One-Way)	20 feet (One-Way)	2,910
Blackthorn Lane	50 feet	22 feet	1,140
Grindstone Drive	50 feet	22 feet	552
Ferdinand Drive	50 feet	22 feet	550

Phase 3-A includes the completion of Black Thorn Lane, which extends from Phase 1-B through Phase 2-A. Black Thorn Lane will provide access to 41 single family lots.

Phase 3-B includes the extension of Carellton Drive and the creation of Aristides Lane, Monarchos Drive, and Alysheba Pass. Carellton Drive extends in a northeastern direction from the roundabout with Carellton Drive and Feridnand Drive. After approximately 100 feet Carellton Drive splits into a set of one way pairs. The splitting of Carellton Drive allows the roadway to be located on each side of an unnamed creek. Further north, Carellton Drive returns to a two-way street before intersecting with Bedford Way, at the northern portion of Phase 3-B. Aristides Lane and Monarchos Drive are 22 foot wide alley type rights-of-way that parallel Carellton Drive and provide access to the rear loading garages of the Lot Type 'C' Boulevard Cottage lots. Sheet C3.1 notes that all Boulevard Cottage lots, ". . . shall be accessed from 22' Public Right of Way." Alysheba Pass is a short street that provides a mid-block connection between Artisides Lane and Monarchos Drive across Carellton Drive.

Phase 3-C includes the extension of two (2) rights-of-way - Ferdinand Drive and Grindstone Court, which are identified on the approved PMDP, FMDP, and Preliminary Plat, and created with the Final Plat for Carellton 2-B.

Phase 3-D includes Bedford Way and Barbaro Court. Bedford Way extends northerly from the roundabout intersection with Carellton Drive as it extends out from Phase 3-B. Bedford Way will be extended to the north to provide access to future development (Phase 4 and 5). Barbaro Court, which is a cul-de-sac providing access to Lots 399 through 414, will extend from Bedford Way.

***Liberty Lane Connection***

The previously approved Preliminary Master Development Plan (PC0214-13) indicates that a connection to Liberty Lane would be constructed within Phase 4 (after 344 lots were completed in Phases 1 through 3). The proposed amendments to the Carellton Preliminary Master Development Plan do not show a connection to Liberty Lane until Phase 5, which would be after 527 lots are completed. This would equate to an additional 183 lots utilizing the two (2) current access points on Long Hollow Pike, without the addition of a connection to Liberty Lane.

The development of Phases 3-A and 3-B results in a total of 330 lots, which is 14 lots less than the original threshold for creating the Liberty Lane connection. The completion of Phases 3-C and 3-D results in a total of 366 lots and 389 lots, respectively, which is 22 lots and 45 lots more than the original threshold of connecting to Liberty Lane. Per conversations between the applicant and the Engineering Division, a connection to Liberty Lane shall be provided after the completion of Phase 3-D and prior to the development of any future phases.

***Access and Future Improvements***

The City of Gallatin prepared a traffic study that encompasses the entire corridor of Big Station Camp Boulevard and adjacent roadways. The study focuses on traffic generation from the currently approved developments, extant development, and potential build out under the current zoning of undeveloped property. The results of the study will identify the need for transportation infrastructure improvements throughout the Station Camp corridor, the projects costs of the improvements, and how the cost of the improvements can be financed by developments within the Station Camp Corridor. Carellton will be one of many properties to contribute to the future transportation needs in the area and has noted this through adding the note below on Sheet C0.0 (Cover Sheet).

*The Preliminary Master Development Plan approval is conditioned with the understanding that upon completion of the Station Camp Corridor Traffic Study by the City of Gallatin, Final Master Development Plans, including final plats and site plans, will be subject to the findings and recommendations of said study. Pro-rata contributions toward traffic infrastructure improvements, as recommended in the study or subsequent traffic studies submitted for development review and approval may be required of development impacting select needed infrastructure improvements.*

Additionally, the developers of Carellton are responsible for the installation of a traffic signal at the intersection of Big Station Camp Boulevard/Long Hollow Pike/Carellton Drive. Based on a Tennessee Department of Transportation traffic study, the signal at Big Station Camp Boulevard, Long Hollow Pike, and Carellton Drive is warranted. Per conditions of previous approval outlined in the minutes of the 6-28-2005 Sumner County Planning Commission meeting, the developer(s) shall install the traffic signal at the intersection of Big Station

Camp Boulevard/Long Hollow Pike/Carellton Drive. A schedule for installation shall be discussed with the Engineering Staff for approval.

**Stormwater Drainage and Detention**

The stormwater drainage is completed different within each of the four (4) proposed sections within Phase 3.

Phase 3-A stormwater drainage ties in with existing storm drainage systems in Phase 2-A and Phase 1-B. This network of infrastructure conveys the stormwater to an open space tract that was created as part of Phase 1-B.

Phase 3-B stormwater drainage is provided by nine (9) catch basins and outfall structures along Carellton Drive to drainage the stormwater directly into the unnamed stream. Additional infrastructure is installed within the rights-of-way for Aristides Lane and Monarchos Drive that conveys stormwater from the northern part of Phase 3-B to the south where it connects into the existing stormwater system constructed in Phase 1-B.

Phase 3-C stormwater drainage connects with the existing stormwater system installed in Phase 2-B, which drains into the unnamed stream located in Open Space Tract 'A', created as part of Phase 2-B.

Phase 3-D stormwater drainage is provided by new infrastructure that conveys stormwater along Barbaro Court to Bedford Way and then to a .5 (+/-) acre stormwater detention area located in Open Space 'N' located to the northeast of the roundabout intersection of Carellton Drive and Bedford Way. Phase 3-D also indicates a headwall located north of the Phase 3-D phase line, indicating some stormwater will also be conveyed into the vacant portions of future development (Phase 4 and 5).

**Open Space/Bufferyards/Landscaping**

The four (4) sections of Phase 3 includes eight (8) open space tracts that total 10.43 acres, which is 13.7 percent of the total open space within the Carellton Subdivision. Phase 3 will create six (6) open space tracts and extends three (3) other open space tracts created in earlier phases.

Phase 3 – Open Space Tracts		
Open Space	Location	New or Extension
A	3-C	Extension (from Phase 2-A)
C	3-A	Extension (from Phase 2-B)
F	3-B	Extension (from Phase 1-B)
H	3-B	New
I	3-B	New
K	3-B	New
X	3-B	New (Roundabout)
N	3-D	New
O	3-D	New
L (Portion)	3-B	New
M (Portion)	3-B	New

The bufferyard and landscaping plan for Phase 3 differs with each of the four (4) sections. Phase 3-A is not required bufferyards to the north, south, and west since the adjacent properties are zoned R8-PRD and are part of the Carellton development. The Type 45 Bufferyard, to the east, adjacent to Agricultural zoned property is unchanged. An alternative bufferyard was approved as part of the currently approved Amended PMDP (8373-15). Although no bufferyard is required to the north of Phase 3-A, the existing trees will be preserved within Open Space 'C' as well.

No bufferyards are required in Phase 3-B since the surrounding properties are zoned R8-PRD and part of the Carellton Development.

A bufferyard yard is required along the southern property boundary of Phase 3-C, behind Lots 465 through 473, because of the adjacent property is zoned Agricultural (A). The bufferyard will be provided in Open Space 'A' adjacent to Lots 465 through 473 and is approximately 20 feet wide. The currently approved Amended Preliminary Master Development Plan was approved showing no additional landscaping adjacent to Phase 3-C.

No bufferyards are required to the north, south, and west of Phase 3-D since it is surrounded by property that is also zoned R8-PRD and part of the Carellton development. The applicant is preserving the trees to the south and west, within Open Space Tract 'O'. To the east, a Type 45 Bufferyard is required behind Lots 559 through 564 since the adjacent property is zoned Sumner County Estate-A. Behind Lots 559 through 564 is a portion of Open Space Tract 'O' where the existing trees will be preserved and serve as an alternative bufferyard – as previously approved on the Amended PMDP.

An additional 12 trees are proposed within Open Space Tracts 'K', 'X', and 'N', which are all located within or adjacent to the roundabout intersection of Carellton Drive and Bedford Way on the north side of Phase 3-B.

Staff recommends the Planning Commission approve the amendments to the bufferyard and landscape plan as submitted. This plan matches the approved Amended PMDP.

***Planning Department Comments***

The Planning Department reviewed and commented on the Amended Preliminary Master Development Plan and the Final Master Development Plan. The applicant satisfactorily addressed most of the Planning Department comments. Any outstanding comments have been included as conditions of approval or will be addressed at the preliminary plat stage during construction plan review, and/or at the final plat stage.

***Engineering Division Comments***

The Engineering Division reviewed and commented on the Amended Preliminary Master Development Plan and the Final Master Development Plan. The applicant satisfactorily addressed most of the Engineering Division comments, except those listed as conditions of approval.

**FINDINGS:**

1. The Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Emerging Character Area Category.
2. The Amended Preliminary Master Development Plan and the Final Master Development Plan is consistent with the purpose and intent of the Residential 8 – Planned Residential Development (R8-PRD) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in the R8-PRD zoning district.
3. The Amended Preliminary Master Development Plan and the Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
4. The legal purposes for which zoning regulations exists have not been contravened.
5. The Amended Preliminary Master Development Plan and the Final Master Development Plan, will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

**RECOMMENDATION:**

Staff recommends that the Planning Commission approve Resolution 2015-160, the Amended Preliminary Master Development Plan for the Carellton Subdivision, consisting of a four (4) sheet plan (Labeled C1.0 through C1.3), and the Final Master Development Plan for Carellton Subdivision – Phase 3-A, 3-B, 3-C, and 3-D, consisting of a 15 sheet plan (Labeled C0.0, C2.0 through C6.0), prepared by Land Solutions Company, LLC of Nashville, TN, dated November 11, 2015 with a final revision date of December 3, 2015, with the following conditions:

*\* The FMDP only affects that portion of the Carellton PMDP indicates as Phase 3-A, 3-B, 3-C, and 3-D.*

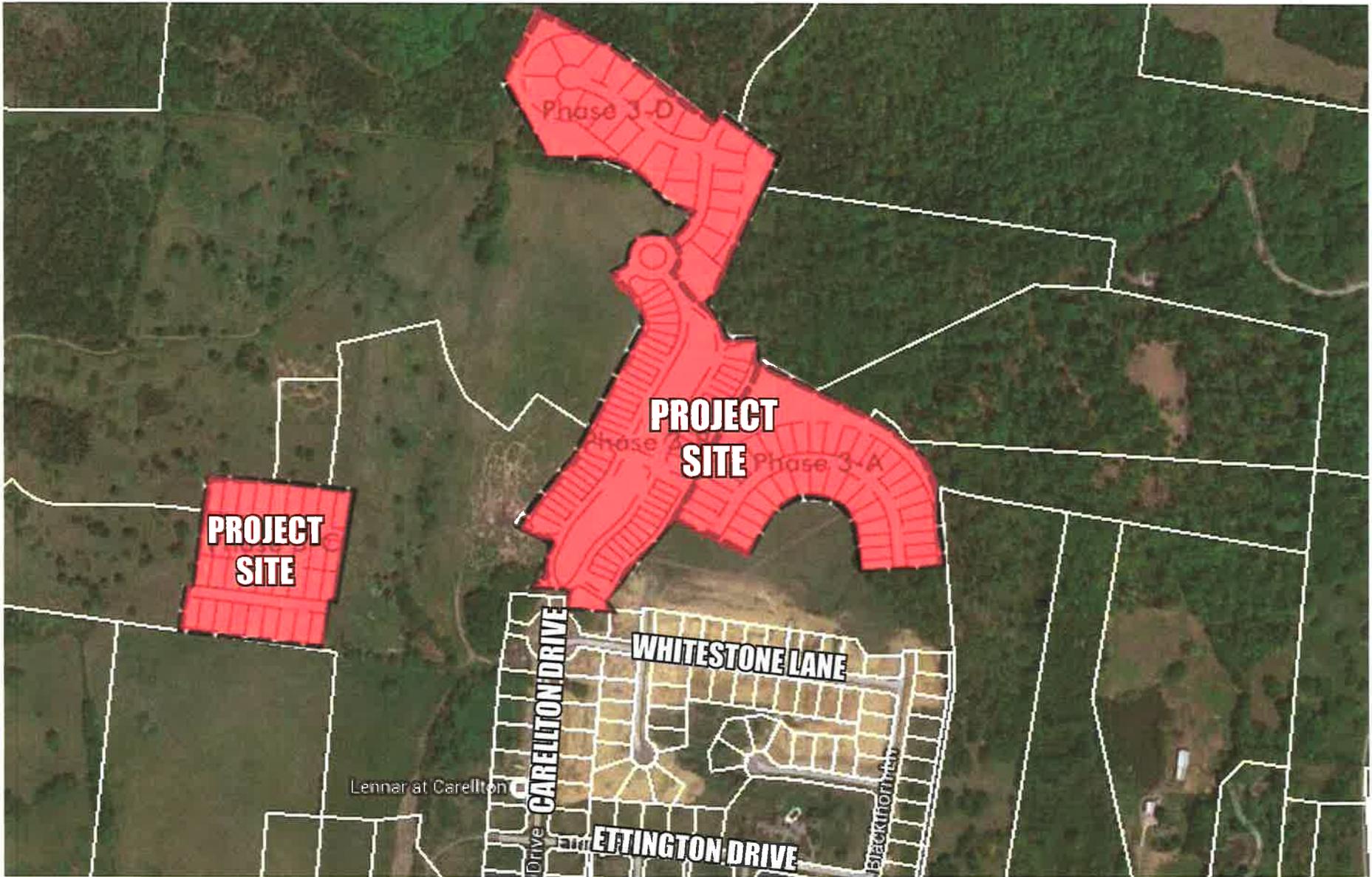
1. A connection to Liberty Lane shall be provided after the completion of Phase 3-D (a total of 389 lots) and prior to the completion of any future phases.
2. Per conditions of previous approval outlined in the minutes of the 6-28-2005 Sumner County Planning Commission meeting, the developer(s) shall install the traffic signal at the intersection of Big Station Camp Boulevard/Long Hollow Pike/Carellton Drive. Based on a Tennessee Department of Transportation traffic study, the traffic signal at Big Station Camp Boulevard, Long Hollow Pike, and Carellton Drive is warranted

- at this time. A schedule for installation shall be discussed with the Engineering Staff for approval.
3. Show/label right-of-way and pavement dimensions on all layout plans.
  4. Show/label sidewalk and grass strip dimensions on all layout plans.
  5. Intersections shall have a minimum of 60-ft at a maximum of 2% slope. Multiple intersections proposed exceed these standards.
  6. Within Phase 3-B – Provide pedestrian access (sidewalks and crosswalks) along Alysheba Pass over stream crossing.
  7. Within Phase 3-B – Revise grading at the intersection of Turfway Park and Monarchos Drive.
  8. Phase 3-B – Replace “corners” of Monarchos Drive and Aristides Lane with simple curves. Minimum inside (curb) radius shall be 25-ft.
  9. Phase 3-B – Revise the pedestrian walkway behind lots along Leonatus Drive as well as Moarchos Drive to connect to the stub at the rear of the amenity center and better service those lots as well as provide access/connection to sidewalks proposed in Phase 3-B.
  10. Within Phase 3-C – Indicate temporary turnarounds with a minimum radius of 50-ft at the west end of both Ferdinand Drive and Grindstone Drive.
  11. Submit stormwater runoff analysis/calculations/report(s) with the construction plans.
  12. Provide details of all stormwater management practices on the construction plans as well as in stormwater analysis.
  13. Amend the plan to indicate that all side P.U.D.E.s shall be a minimum of 20-ft in width where utility and stormwater pipes and/or ditches are present.
  14. Within Phase 3-A - Add headwalls to contain/route stormwater runoff from open space tract between lots 196-197 and 192-193.
  15. Within Phase 3-B - Revise symbology of headwall/inlet on Turfway Park.
  16. Provide the required Site Surety, in an amount determined by the applicant, prior to the Final Plat per Gallatin Zoning Ordinance Section 12.02.030.B.13 and 15.03.080.
  17. Submit one (1) full-sized and two (2) half-sized, corrected folded copies of the Amended Preliminary Master Development and Final Master Development Plan for Phase 3-A, 3-B, 3-C, and 3-D.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City)

**ATTACHMENTS**

- |                       |   |
|-----------------------|---|
| <b>Attachment 7-1</b> | <b>Location Map of Carellton Phase 3A, 3B, 3C, and 3D</b>         |
| <b>Attachment 7-2</b> | <b>Amended PMDP for Carellton Subdivision (PC0214-13)</b>         |
| <b>Attachment 7-3</b> | <b>Amended PMDP for Carellton Subdivision (PC File# 8-373-15)</b> |
| <b>Attachment 7-4</b> | <b>Architectural Elevations</b>                                   |
| <b>Attachment 7-5</b> | <b>FMDP for Carellton Phase 3A, 3B, 3C, and 3D</b>                |

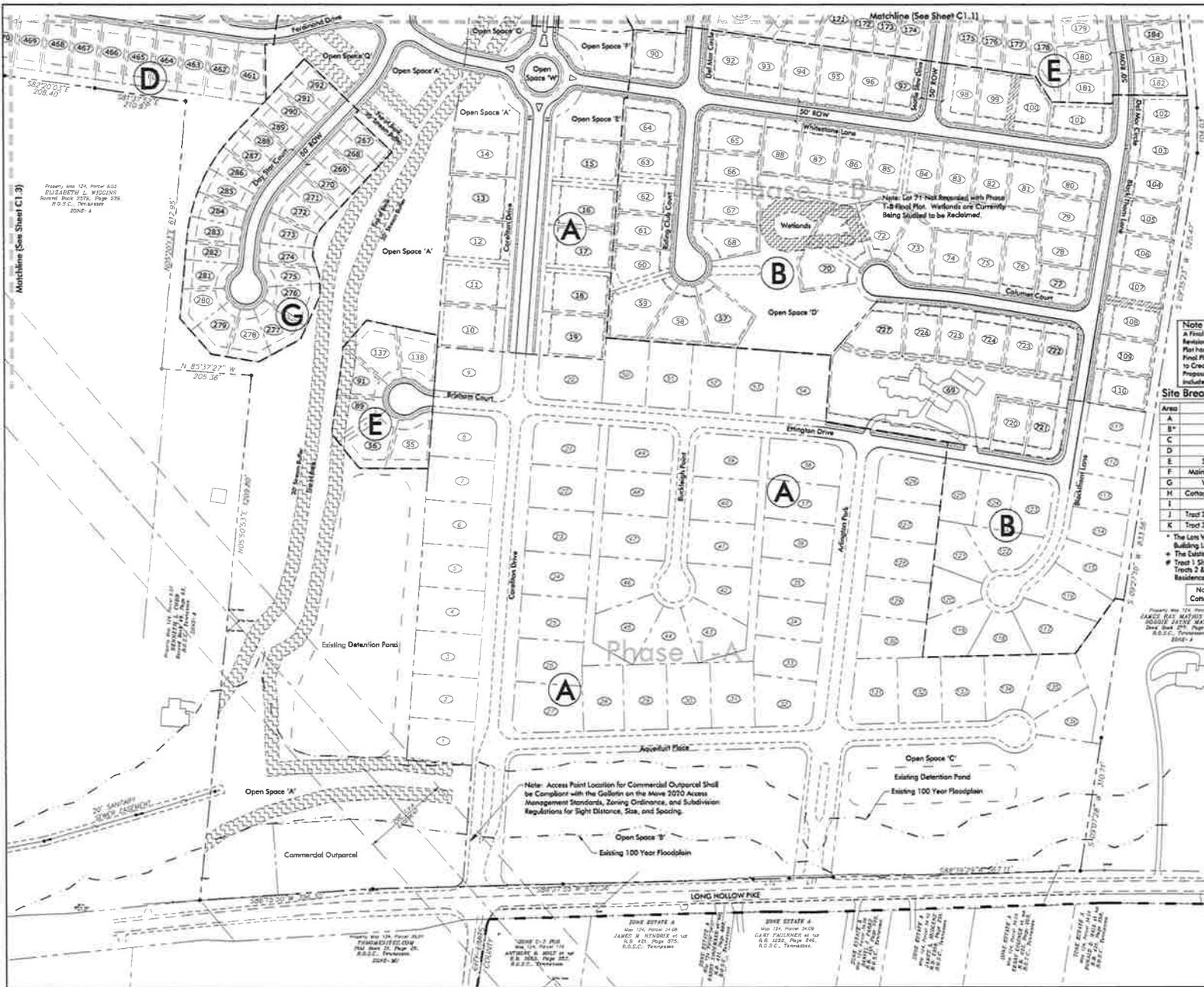


Prepared By: Kevin Chastine, AICP  
Prepared On: December 9, 2015

## Location Map

Carellton Subdivision - Phase 3  
Final Master Development Plan  
PC File# 8-1316-15





Scale 1" = 100'  
 Total Site Area = 417.2 Acres  
 Developer: Northern Property, LLC  
 Property Owner: Northern Property, LLC  
 Contact: Gary Palmer  
 Address: 1066 Vaughn Crest Drive  
 Franklin, TN 37069  
 Phone: (615) 210-2651  
 Engineer: Deery-Lewis Engineering  
 Contact: Michael Deery, PE  
 2923 Berry Hill Drive, Ste B  
 Nashville, TN 37204  
 Phone: (615) 401-9954  
 E-mail: mdeery@deery-lewis.com  
 Flood Note: A portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47164C0290, dated April 17, 2012. Benchmark: Located at the NE Corner of Phase 1-B Iron Road Found, No Cop in Fence. NGVD 29 Elevation = 383.85'

Note: A Final Plat has been recorded for Phase 1-A, therefore no Revisions or Changes are Proposed in this Section. A Final Plat has been recorded for Phase 1-B, Creating Lot 69. A Final Plat for the Re-Subdivision of Lot 69 will be Prepared to Create 8 Additional Lots. No Other Revisions are Proposed for Phase 1-B. Phases 1-A and 1-B are shown and included in this plan set as part of the Overall Development.

**Site Breakdown**

Area	Series - Description	No. Units/Area
A	Estates - 100' Wide Lots*	65
B*	Manor - 80' Wide Lots*	75
C	Classic - 85' Wide Lots*	61
D	Prestige - 60' Wide Lots*	169
E	Signature - 50' Wide Lots*	118
F	Mainstreet Homes - 40' Wide Lots*	90
G	Villa - 36' Wide Townhomes	56
H	Cottage Grove - 28' Wide Townhomes	93
I	Tract 1 - Residential #	25.6 Ac.
J	Tract 2 - Residential (Min. 10 Acres Lots) #	75.2 Ac.
K	Tract 3 - Residential (Min. 10 Acres Lots) #	44.1 Ac.

\* The Lot Widths Shown Above are Measured at the Building Line (Front Setback).  
 \* The Existing Residence (Lot 69) is Included with Area B.  
 \* Tract 3 Shall Consist of One Residential Lot.  
 \* Tracts 2 & 3 Shall Consist of Single Family Residences with a Minimum Lot Size of 10 Acres.  
 Note: The Mainstreet Homes (F) and Cottage Grove (H) lots are Rear Loaded.

**Estimated Traffic Projections**

Land Use	Trip Generation (Previously Approved)	
	Total Units/Size	Daily
Single Family	450	4,141
Condo/Townhome	426	3,300
Assisted Living	40	131
<b>Total</b>		<b>6,488</b>

Land Use	Trip Generation (Proposed)	
	Total Units/Size	Daily
Single Family	390	3,445
Condo/Townhome	148	789
Office	10,000 #	117
<b>Total</b>		<b>6,231</b>

Some Tracts (1 Unit, 2.0 Units, and 3 Units) are included in the Single Family Units. The maximum Possible Units for the 2 Units for the same Tract are in the same Table. General Office has been Used for the Commercial Outparcel Land Use. The use of the Office has not been determined, but conservative estimate for traffic purposes has been shown.

Revision:  
 Drawing Notes:  
 Date: March 12, 2015

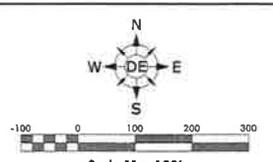
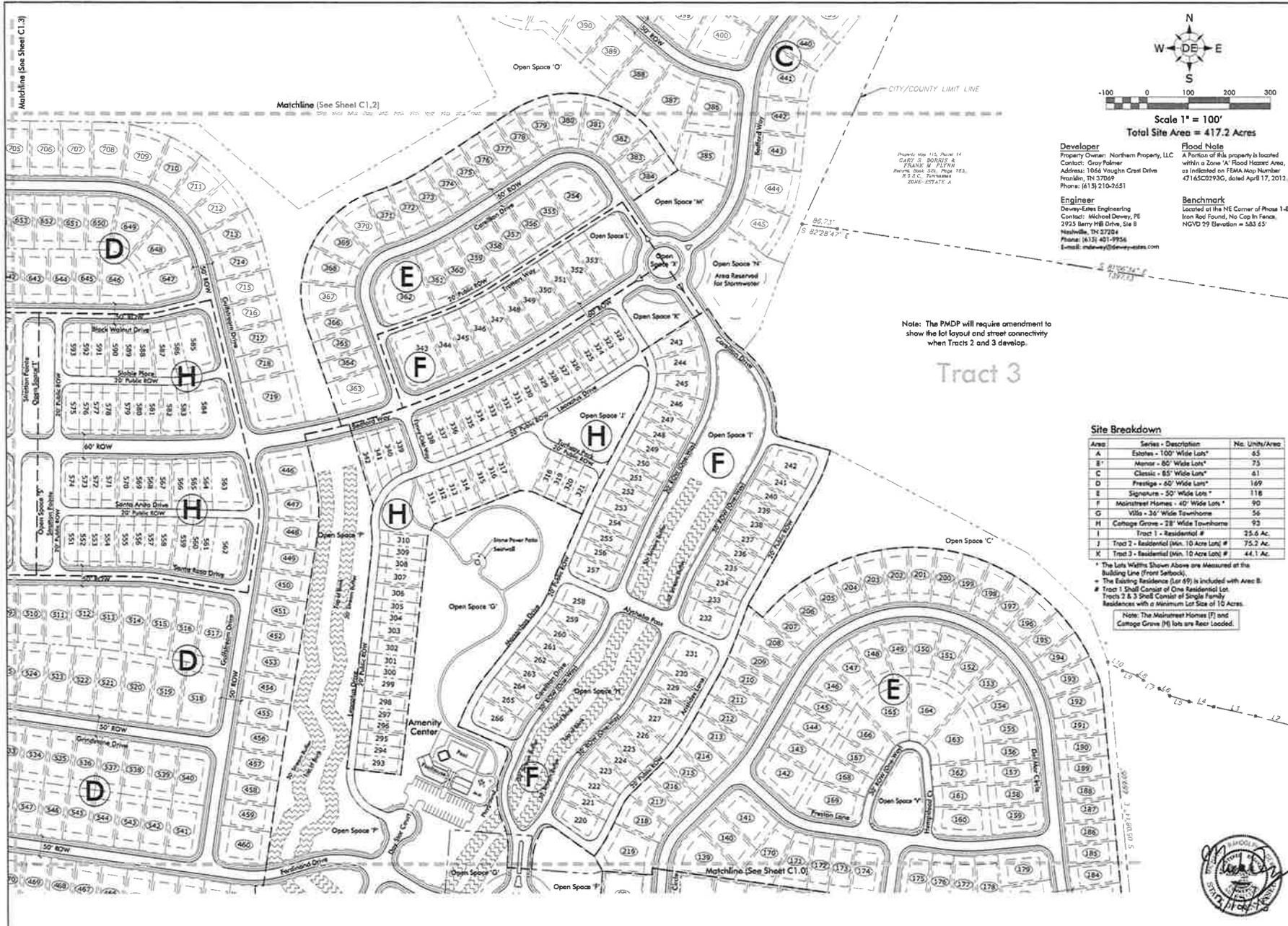
**Carelton**  
 Phase 1-B (Re-Subdivision of Lot 69)  
 Amended Preliminary & Revised Final Master Development Plan  
 Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124  
 Gallatin, Sumner County, Tennessee

DEPARTMENT OF REVENUE  
 PMDP  
 Overall  
 Layout Plan

Job No. 12017  
**C1.0**  
 2 of 9

PC0214-13

ATTACHMENT 7-2



Scale 1" = 100'  
Total Site Area = 417.2 Acres

**Developer**  
Northern Property, LLC  
Contact: Gray Palmer  
Address: 1044 Vaughn Crest Drive  
Franklin, TN 37069  
Phone: (615) 210-2651

**Flood Note**  
A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47165C0293C, dated April 17, 2012.

**Engineer**  
Devey-Exps Engineering  
Contact: Michael Devey, PE  
Address: 2925 Barry Hill Drive, Ste B  
Nashville, TN 37204  
Phone: (615) 401-9956  
Email: mdevey@devey-exps.com

**Benchmark**  
Located at the NE Corner of Phase 1-B Iron Red Found, No Cap In Fence, NGVD 29 Elevation = 583.65'

Property: 100, Parcel 14  
PART 3, 2010024-A  
FRANK W. PETER  
Permit: 2011-001-100-103  
R.G.C. Tennessee  
2008-27476-A

Note: The PMDP will require amendment to show the lot layout and street connectivity when Tracts 2 and 3 develop.

### Tract 3

#### Site Breakdown

Area	Series - Description	No. Units/Area
A	Estates - 100' Wide Lots*	85
B	Manor - 80' Wide Lots*	73
C	Classic - 65' Wide Lots*	61
D	Prestige - 60' Wide Lots*	169
E	Signature - 50' Wide Lots*	118
F	Mainstreet Homes - 40' Wide Lots*	90
G	Villa - 35' Wide Townhomes	56
H	Cottage Grove - 28' Wide Townhomes	93
I	Tract 1 - Residential #	25.6 Ac.
J	Tract 2 - Residential (Min. 10 Acre Lot) #	75.2 Ac.
K	Tract 3 - Residential (Min. 10 Acre Lot) #	44.1 Ac.

\* The Lots Widths Shown Above are Measured at the Building Line (Front Setback).  
# The Existing Residence (Lot 67) is included with Area B.  
# Tract 1 Shall Consist of One Residential Lot.  
Tracts 2 & 3 Shall Consist of Single Family Residences with a Minimum Lot Size of 10 Acres.

Note: The Mainstreet Homes (F) and Cottage Grove (H) lots are Rear Loaded.

Revision:

Drawing Notes:

Date: March 12, 2015

**Carelton**

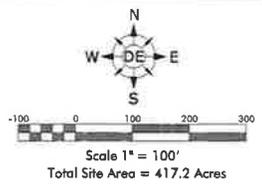
Phase 1-B (Re-Subdivision of Lot 69)  
Amended Preliminary & Revised Final Master Development Plan  
Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124  
Gallatin, Sumner County, Tennessee

**DE**

PM DP  
Overall  
Layout Plan

Job No. 12017  
**C1.1**  
3 of 9

PC0214-13 7-2



**Developer**  
 Property Owner: Northern Property, LLC  
 Contact: Greg Palmer  
 Address: 1066 Vaughn Crest Drive  
 Franklin, TN 37069  
 Phone: (615) 210-2451

**Engineer**  
 Dewey-Ellis Engineering  
 Contact: Michael Dewey, PE  
 3925 Berry Hill Drive, Ste B  
 Nashville, TN 37204  
 Phone: (615) 401-9955  
 Email: mdewey@dewey-ellis.com

**Flood Note**  
 A portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 67545C0295G, dated April 17, 2012.

**Benchmark**  
 Located at the NE Corner of Phase 1-B, Iron Road Found, No Cap In Fence, NGVD 29 Elevation = 583.65'

Revisions:

Drawing Notes:

Date: March 22, 2015

**Carellton**  
 Phase 1-B (Re-Subdivision of Lot 69)  
 Amended Preliminary & Revised Final Master Development Plan  
 Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124  
 Giles County, Tennessee

**Site Breakdown**

Area	Series - Description	No. Units/Area
A	Estates - 100' Wide Lots*	65
B*	Manor - 80' Wide Lots*	75
C	Classics - 85' Wide Lots*	61
D	Prestige - 45' Wide Lots*	169
E	Signature - 50' Wide Lots*	118
F	Mainstreet Homes - 40' Wide Lots*	90
G	Villa - 36' Wide Townhomes	56
H	Cottage Grove - 28' Wide Townhomes	93
I	Tract 1 - Residential #	25.6 Ac.
J	Tract 2 - Residential (Min. 10 Acre Lots) #	75.2 Ac.
K	Tract 3 - Residential (Min. 10 Acre Lots) #	44.1 Ac.

\* The Lots Widths Shown Above are Measured at the Building Line (Front Setback).  
 \* The Existing Residence (Lot 69) is included with Area B.  
 # Tract 1 Shall Consist of One Residential Lot, Tracts 2 & 3 Shall Consist of Single Family Residences with a Minimum Lot Size of 10 Acres.

Note: The Minimal road (F) and Cottage Grove (H) lots are Rail\* Loaded.



DE

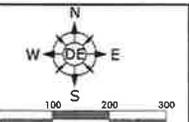
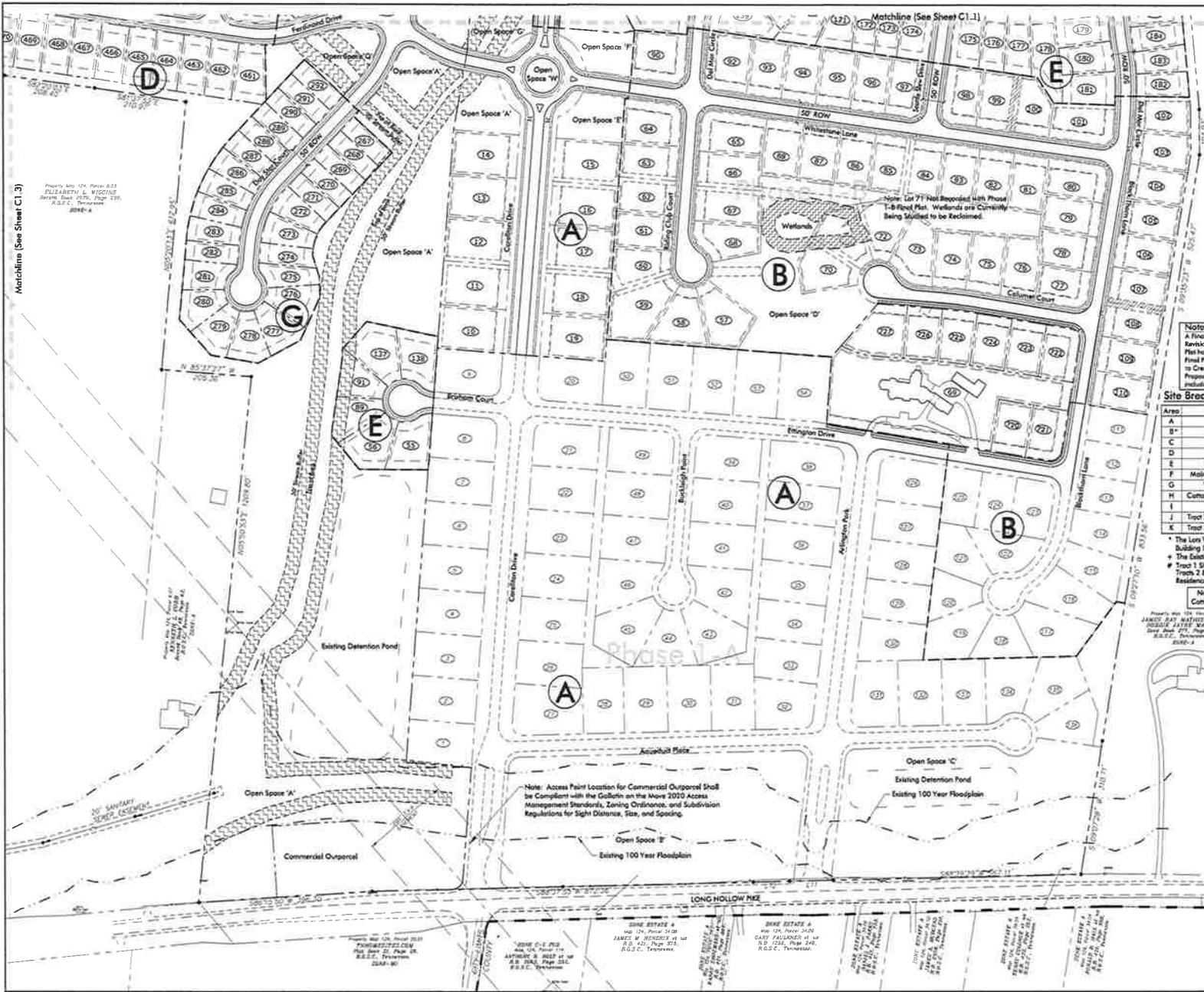
PMDP  
 Overall  
 Layout Plan

Job No. 12017  
**C1.2**  
 4 of 9

PC0214-13

ATTACHMENT 7-2





Scale 1" = 100'  
Total Site Area = 417.2 Acres

Developer  
Property Owner: Northern Property, LLC  
Contact: Gray Palmer  
Address: 1066 Vaughn Crust Drive  
Franklin, TN 37069  
Phone: (615) 210-2451

Engineer  
Dewey-Estes Engineering  
Contact: Michael Dewey, PE  
2925 Barry Hill Drive, Ste B  
Nashville, TN 37204  
Phone: (615) 401-9956  
E-mail: mdewey@dewey-estes.com

Flood Note  
A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47145C00910, dated April 17, 2012.

Benchmark  
Located at the NE Corner of Phase 1-B  
Iron Rod Found, No Cap In Force  
NGVD 29 Elevation = 563.69'

Revision(s)

Drawing Notes:

Date: March 12, 2015

Note  
A Final Plat has been Recorded for Phase 1-A. Therefore No Revisions or Changes are Proposed in this Section. A Final Plat has been Recorded for Phase 1-C Creating Lot 69. A Final Plat for the Re-subdivision of Lot 69 will be Prepared to Create 8 Additional Lots. No Other Revisions are Proposed for Phase 1-B. Phase 1-A and 1-B are shown and included in this plan set as part of the Overall Development.

**Site Breakdown**

Area	Series - Description	No. Units/Area
A	Estates - 100' Wide Lots	65
B	Manor - 60' Wide Lots	75
C	Classic - 85' Wide Lots	61
D	Prestige - 60' Wide Lots	160
E	Signature - 90' Wide Lots	118
F	Mainstreet Homes - 40' Wide Lots	90
G	Villa - 30' Wide Townhome	56
H	Cottage Grove - 28' Wide Townhome	93
I	Tract 1 - Residential #	25.6 Ac.
J	Tract 2 - Residential (Min. 10 Acre Lots) #	75.2 Ac.
K	Tract 3 - Residential (Min. 10 Acre Lots) #	44.1 Ac.

- The Lot Widths Shown Above are Measured at the Building Lane (Front Setback).
- The Existing Residence (Lot 69) is included with Area B.
- Tract 1 Shall Consist of One Residential Lot.
- Tracts 2 & 3 Shall Consist of Single Family Residences with a Minimum Lot Size of 10 Acres.
- Note: The Mainstreet Homes (F) and Cottage Grove (H) Lots are Rear Loaded.

**Estimated Traffic Projections**

Trip Generation (Previously Approved)

Land Use	Total Units/ Sites	Daily
Single Family	450	4,149
Condo/Townhome	426	2,950
Assisted Living	40	129
<b>Total</b>		<b>6,458</b>

Trip Generation (Proposed)

Land Use	Total Units/ Sites	Daily
Single Family	390	3,443
Condo/Townhome	149	789
Office	10,000 #	117
<b>Total</b>		<b>6,252</b>

Note: Tracts 1 (1 Unit), 2 (2 Units), and 3 (4 Units) are included in the Single Family Units. The Minimum Possible Units for the 3 Tracts for the Plan are shown in the Above Table. General Office has been Used for the Commercial Outparcel and Site. The Size of the Office has not been determined, but a conservative amount for traffic purposes has been shown.

Carelton  
 Phase 1-B (Re-Subdivision of Lot 69)  
 Amended Preliminary & Revised Final Master Development Plan  
 Being Parcels 7.00, 7.01, and 7.02 on The Map 124  
 of Shelby County, Tennessee

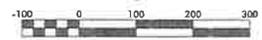
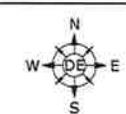
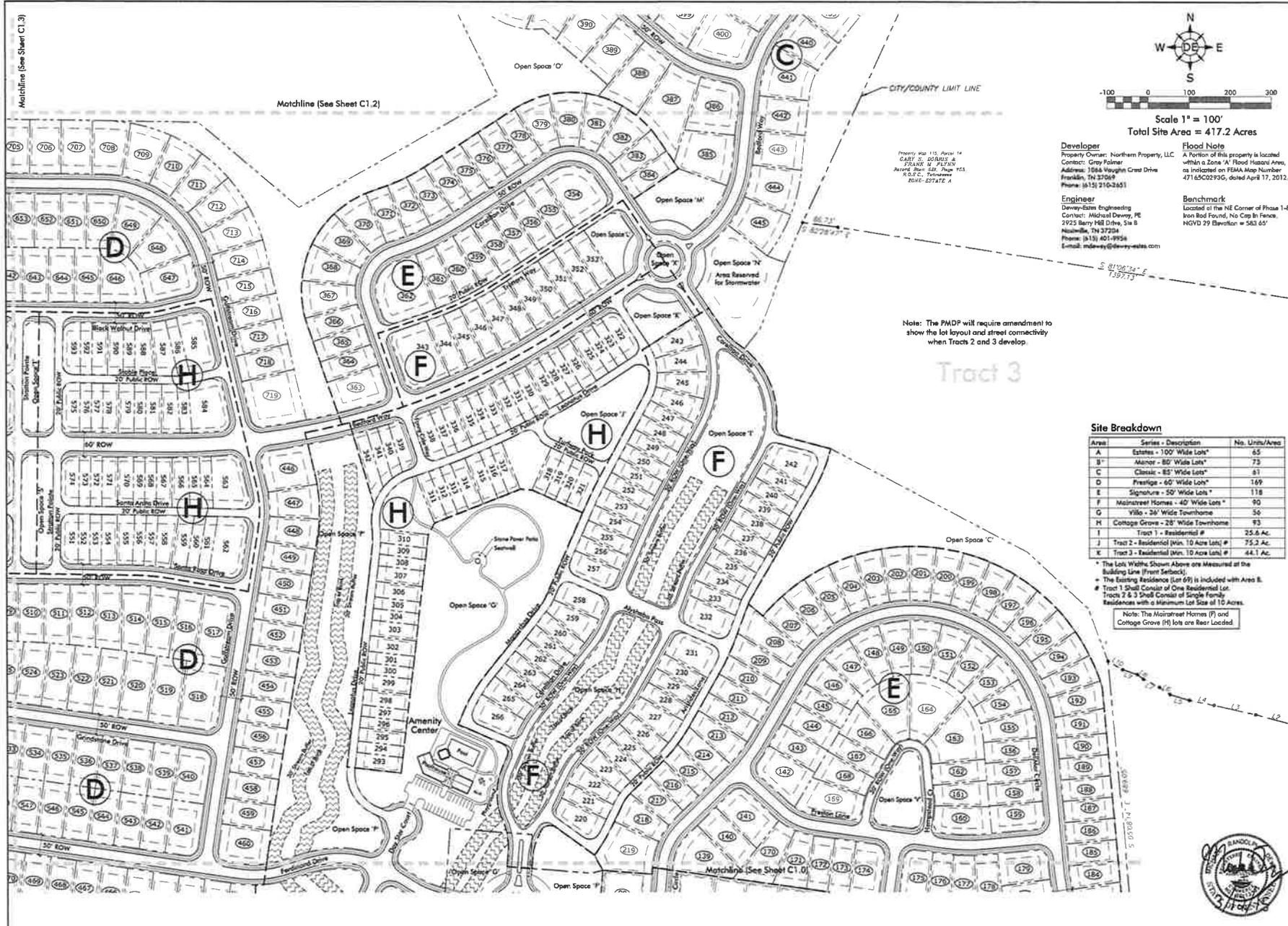
PMDP  
 Overall  
 Layout Plan

Job No. 12017  
**C1.0**  
 2 of 9



8-373-15

ATTACHMENT  
 7-3



Scale 1" = 100'  
Total Site Area = 417.2 Acres

**Developer**  
Northern Property, LLC  
Contact: Gray Palmer  
Address: 1814 Vaughn Crow Drive  
Franklin, TN 37069  
Phone: (615) 210-2651

**Engineer**  
Dewey-Estes Engineering  
Contact: Michael Dewey, PE  
2925 Barry Hill Drive, Ste B  
Nashville, TN 37204  
Phone: (615) 401-9926  
Email: mdewey@dewey-estes.com

**Flood Note**  
A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.

**Benchmark**  
Located at the NE Corner of Phase 1-8 Iron Rod Found, No. Crp. In Faces, NGVD 29 Elevation = 583.65'

Property: 1/4 Sec 115, Parcel 14  
EAST 1/2, 201015 &  
FRANK M. PLENN  
Parcel: 201015, Tract 103,  
R.O.C., Tennessee  
LOCAL GOVERNMENT

Note: The PMDP will require amendment to show the lot layout and street connectivity when Tracts 2 and 3 develop.

Tract 3

**Site Breakdown**

Area	Series - Description	No. Units/Area
A	Estates - 100' Wide Lots*	65
B	Mainor - 80' Wide Lots*	73
C	Classic - 85' Wide Lots*	61
D	Prestige - 60' Wide Lots*	169
E	Signature - 50' Wide Lots*	118
F	Mainstreet Homes - 40' Wide Lots*	90
G	Villo - 30' Wide Townhome	50
H	Cottage Grove - 28' Wide Townhome	93
I	Tract 1 - Residential #	25.6 Ac.
J	Tract 2 - Residential (Min. 10 Acre Lots) #	75.2 Ac.
K	Tract 3 - Residential (Min. 10 Acre Lots) #	44.1 Ac.

- \* The Lots Within Shown Above are Measured at the Building Line (Front Setback).
- # The Existing Residence (Lot 69) is included with Area B.
- # Tract 1 Shall Consist of One Residential Lot.
- Tracts 2 & 3 Shall Consist of Single Family Residences with a Minimum Lot Size of 10 Acres.

Note: The Mainstreet Homes (F) and Cottage Grove (H) lots are Bear Located

Revision:  
Drawing Notes:  
Date: March 12, 2015

**Carellton**  
Phase 1-B (Re-Subdivision of Lot 69)  
Amended Preliminary & Revised Final Master Development Plan  
Bears, Parks, 7.00, 7.01, and 7.02 on Tax Map 124

**DE**  
PMDP  
Overall  
Layout Plan  
Job No. 12017  
**C1.1**  
3 of 9



8-373-15

ATTACHMENT 7-3





# Classic Series



Savannah Cottage



Savannah English Tudor



Savannah French Country

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING

8-1316-15

ATTACHMENT 7-4

# Classic Series



Savannah Tudor



Savannah Traditional

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



SAVANNAH CHATAEU

8-1316-15

ATTACHMENT 7-4

RECEIVED

DEC 03 2015

GALLATIN PLANNING & ZONING

# Classic Series



Mansfield Cottage



Mansfield French Tudor



Mansfield Traditional



MANSFIELD CHATAEU



Mansfield French Country

8-1316-15

ATTACHMENT 7-4

# Classic Series

RECEIVED  
SEP 03 2015  
GALLATIN PLANNING  
& ZONING



Winchester Tudor



Winchester French Country



Winchester Traditional

8-1316-15

ATTACHMENT 7-4

# Classic Series



Cambridge Traditional

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



Cambridge French Country

ATTACHMENT 7-4

8.13/6-15

# Prestige Series

Area D

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



Richmond II French Country



Richmond II Colonial



Richmond II Traditional

ATTACHMENT 7-4

8-1316-15

# Prestige Series

Area D

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



Wellington Tudor



Wellington French Country



Wellington French Traditional

8-1316-15

ATTACHMENT 7-4

# Prestige Series

Area D

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



Bradford Cottage



Bradford Colonial



Bradford Traditional



Bradford French Country

8-1316-15

ATTACHMENT 7-A

# Prestige Series

Area D

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



Richmond French Country



Richmond Colonial



Richmond Traditional

8-1316-15

ATTACHMENT 7-4

# Prestige Series

Area D

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



Manchester Tudor



Manchester French Country



Manchester Traditional

ATTACHMENT 7-4

8.13/16.15

# Prestige Series

Area D

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



Hanover Tudor



Hanover French Country



Hanover Traditional

8-13/16-15

ATTACHMENT 7-4

# Prestige Series

Area D

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



Bedford French Country



Bedford Traditional



Bedford Tudor

8-1316-15

ATTACHMENT 7-4

# Prestige Series

Area D

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



Alexandria French Country



Alexandria Traditional



Alexandria Tudor

8-1316-15

ATTACHMENT 7-4

# Prestige Series

Area D

RECEIVED  
DEC 03 2015  
GALLATIN PLANNING  
& ZONING



8-1316-15

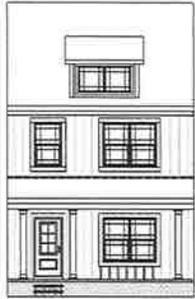
ATTACHMENT 7-4







NEWPORT



MONTEREY

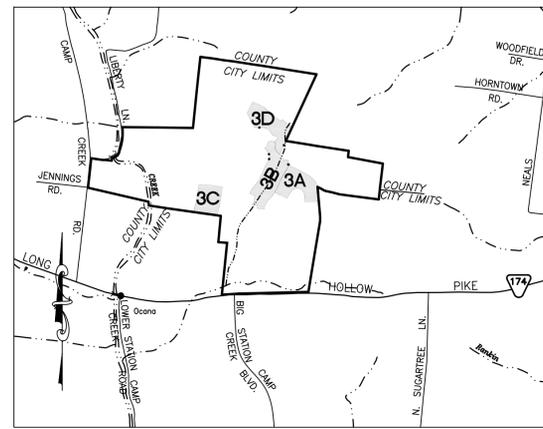


ATTACHMENT 7-4

**SHEET SCHEDULE:**

1	C0.0	Cover Sheet
2	C1.0	Overall Layout Plan
3	C1.1	Overall Layout Plan (Cont'd)
4	C1.2	Overall Layout Plan (Cont'd)
5	C1.3	Overall Layout Plan (Cont'd)
6	C2.0	Phase 3 Overall Layout Plan
7	C3.0	Phase 3A Layout Plan
8	C3.1	Phase 3B Layout Plan
9	C3.2	Phase 3C Layout Plan
10	C3.3	Phase 3D Layout Plan
11	C4.0	Phase 3A Grading & Utilities Plan
12	C4.1	Phase 3B Grading & Utilities Plan
13	C4.2	Phase 3C Grading & Utilities Plan
14	C4.3	Phase 3D Grading & Utilities Plan
15	C5.0	Phase 3A Landscape Plan
16	C5.1	Phase 3B Landscape Plan
17	C5.2	Phase 3C Landscape Plan
18	C5.3	Phase 3D Landscape Plan
19	C6.0	Details Sheet

**PHASE 3 LOCATION MAP:**



**OVERALL SITE MAP (SCALE 1"=600'):**



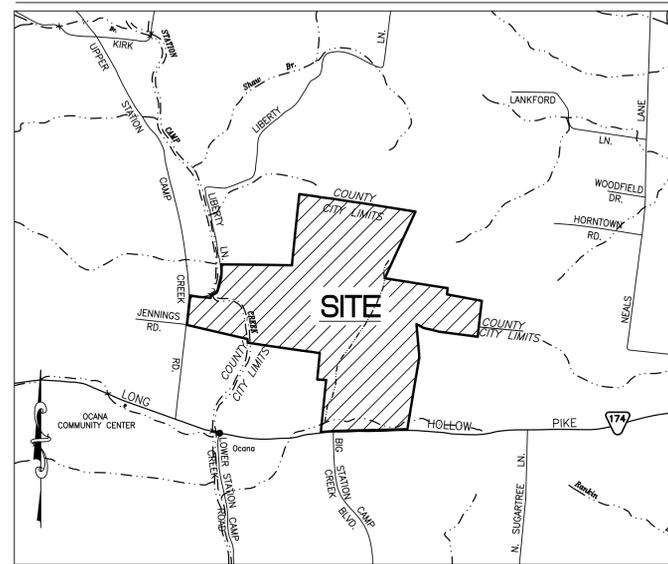
**Phasing Schedule**

Phase	A (Estates)	B (Manor)	C (Blvd Cottage)	D (Prestige)	E (Signature)	F (Mainstreet Homes)	G (Villa)	H (Village Cottage)	Total
1-A	55	15	0	0	0	0	0	0	70
1-B	10	60	0	0	0	0	0	0	70
2-A	0	0	0	0	40	0	0	0	40
2-B	0	0	0	19	5	0	25	0	49
3-A	0	0	0	0	41	0	0	0	41
3-B	0	0	60	0	0	0	0	0	60
3-C	0	0	0	36	0	0	0	0	36
3-D	0	23	0	0	0	0	0	0	23
4	0	22	0	22	1	9	0	84	138
5	0	36	0	0	30	26	0	0	92
6	0	37	0	24	0	8	30	9	108
<b>Total</b>	<b>65</b>	<b>193</b>	<b>60</b>	<b>101</b>	<b>117</b>	<b>43</b>	<b>55</b>	<b>93</b>	<b>727</b>

Note: Tracts 1-3 are Not Included in the Above Table.

# Amended Preliminary & Final Master Development Plan for Carelton Phase 3A, 3B, 3C, & 3D Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124 Gallatin, Sumner County, Tennessee

**SITE LOCATION MAP:**



**PROJECT NOTES:**

- The purpose of this submittal is to amend the previously approved Preliminary Master Development Plan and obtain approval for the Final Master Development Plan for Phase 3 of Carelton. The requested changes made to the PMDP are as follows:  
 Elimination of an old lot type, "C", and replacing it with a modified Cottage ("H") lot type that is single family.  
 Replace all old "C" type lots in the northeast of the site with larger Manor ("B") lots.  
 Replace all Mainstreet Homes "F" that were along Carelton Boulevard with new Boulevard Cottage ("C") lot type.  
 Replace a selection of Prestige ("D") lots in the northwest of the site with large Manor ("B") lots.  
 Adjust phasing to facilitate an earlier connection to Liberty Lane.  
 Reduce size of Tract 2 to allow for increase of Open Space "O" around northeast phases.  
 Reduce size of Tract 3 in response to change of lot type size along Carelton Boulevard.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of the City of Gallatin Department of Public Works.
- Although a portion of this overall property is located within a Zone "A" Flood Hazard Area, as indicated on FEMA Map Number 47165C0293G, Dated April 17, 2012, NO portion of Phase 3 is located in a Flood Hazard Area. All pad elevations shall be filled, if necessary, at least 1 foot above the base flood elevation. Floodplain Development Permits and Elevation Certificates are Required for Construction in the 100 Year Floodplain.
- All public streets, curbs, and sidewalks are to be constructed in conformance with the City of Gallatin Engineering Division design standards.
- Wheelchair accessible curbs ramps, complying with applicable Engineering Division standards, shall be constructed at all street crossings.
- Individual water and/or sanitary sewer service lines are required for each lot.
- Stormwater Quality and Quantity requirements shall be addressed upon FMDP stage of development per the current Stormwater Ordinance/Regulations at that time.
- All areas designated as Open Space will be owned and maintained by the Homeowners' Association including the Guest Parking Stalls and Private Sidewalks.
- All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02.
- The owner/developer of this property is responsible for all financial matters.
- A Site Surety for Landscaping shall be submitted prior to the issuance of any building permits.
- Trash Removal for this property shall be handled by individual roll-away city totes.
- Estimated Completion for this project is 7-10 years.
- Improvements called for in the Traffic Study previously completed for Carelton shall be completed as outlined therein.
- All Dual Road Frontage Lots Shall be Accessed from the Minor Street.
- All Street Intersections Shall Comply with Subdivision Regulations for Vertical and Horizontal Alignment.
- Developers of the Carelton are responsible for the installation of a traffic signal at the intersection of Big Station Camp Boulevard/Long Hollow Pike/Carelton Drive per conditions of previous approval outlined in 6-28-2005 Sumner County Planning Commission minutes. A signal warrant study shall be performed by the developer(s) upon request by the City of Gallatin Engineering Division. Upon meeting signal warrants, the developer(s) shall install a signal to City standards. To ensure completion of the signal, a pro-rata surety shall be posted prior to recording of each plat in the Carelton development. The surety amount will be based upon the amount of traffic generated by the Carelton development to warrant a traffic signal as indicated in the approved traffic impact study.
- The Preliminary Master Development Plan approval is conditioned with the understanding that upon completion of the Station Camp Corridor Traffic Study by the City of Gallatin, Final Master Development Plans, including final plats and site plans, will be subject to the findings and recommendations of said study. Pro-rata contributions toward traffic infrastructure improvements, as recommended in the study or subsequent traffic studies submitted for development review and approval may be required of development impacting select needed infrastructure improvements.

**SITE DATA:**

Councilmatic District #4  
 Council Person Craig Hayes

Property Location/Address:  
 Located at the Intersection of Long Hollow Pike and Big Station Camp Creek Blvd  
 Gallatin, TN 37066

Property Owner: Green Trails, LLC  
 Contact: Rick Deckbar  
 Address: 2925 Berry Hill Drive, Ste A  
 Nashville, TN 37204  
 Phone: (615) 397-4513

Engineer: Land Solutions Company, LLC  
 Contact: Kevin Estes, PE  
 Address: 2925 Berry Hill Drive, 2nd Floor  
 Nashville, TN 37204  
 Phone: (615) 300-8496

**SITE INFORMATION:**

Tax Map 124, Parcels 7.00, 7.01 & 7.02

Zoning - R8(PRD) & MRO (Commercial Outparcel)  
 Total Site Area - 417.2 Acres

Current Use: Overall Site: Residential (Single Family) & Vacant  
 Phase 3: Vacant

Proposed Use: Overall Site: Residential (Single Family & Multi-Family Dwelling) & Commercial (Outparcel on Long Hollow Pike)  
 Phase 3: Residential (Single Family)

Plan Preparation Date: November 11, 2015  
 Plan Revision Date: December 3, 2015

Phase 3  
 Total Site Area - 45.18 Acres - 160 Lots  
 Phase 3-A Area - 11.07 Acres - 41 Lots  
 Phase 3-B Area - 14.40 Acres - 60 Lots  
 Phase 3-C Area - 8.14 Acres - 36 Lots  
 Phase 3-D Area - 11.30 Acres - 23 Lots  
 Total Lot Area - 26.38 Acres  
 ROW Area - 8.60 Acres

Overall Open Space Area - 76.11 Acres  
 Phase 3 Open Space Area - 10.43 Acres

Site Breakdown:  
 Total Lots - 727  
 Phase 1-A - Final Plat Recorded - 70 Lots  
 Phase 1-B - Final Plat Recorded - 62 Lots  
 Phase 1-B Lot 69 - Under Construction - 8 Lots  
 Amenity Center - Under Construction  
 Phase 2-A - Under Construction - 40 Lots  
 Phase 2-B - Under Construction - 44 Lots  
 Phase 2-B - Briham Court - Under Construction - 5 Lots  
 Future Development - 488 Lots  
 Tracts 1-3 - 12 Lots (Maximum) Not Included in Total Lots Above  
 Commercial Outparcel - 3.22 Acres (MRO Zoning)

Lot Breakdown:  
 100' Wide Lots - 65  
 80' Wide Lots - 193  
 60' Wide Lots - 101  
 50' Wide Lots - 117  
 40' Wide Lots (Rear Loaded) - 43  
 35' Wide Lots (Rear Loaded) - 60  
 36' Wide Townhomes - 55  
 28' Wide Townhomes (Rear Loaded) - 93

Tract Breakdown:  
 Tract 1 - 25.6 Acres (1 Lot Max.)  
 Tract 2 - 72.6 Acres (7 Lots Max.)  
 Tract 3 - 43.8 Acres (4 Lots Max.)  
 Note: Tract 1 Shall Consist of One Residential Unit. If Subdivided, Tracts 2 & 3 Shall Have a Minimum Lot Size of 10 Acres.

Parking Required:  
 1,454 Total Parking Stalls (2 Stalls/Unit)

Parking Provided:  
 1,454 Garage Stalls (2-Car Garage/Unit)  
 120 Guest Parking Stalls  
 33 Clubhouse & Pool Parking Stalls (Including 2 Handicap)  
 1,607 Total Parking Stalls  
 \*Note: Driveways Shall be 16' Wide x 20' Deep (Typ)

Maximum Height: 2 Stories

**DEVELOPMENT SCHEDULE:**

Phase 1-A	Final Plat Recorded
Phase 1-B	Final Plat Recorded
Phase 1-B (Lot 69 Re-Subdivision)	Under Construction
Phase 2-A	Under Construction
Phase 2-B	Under Construction
Amenity Center	Under Construction
Phase 3A	March 2016-February 2017
Phase 3B	March 2016-February 2017
Phase 3C	March 2016-February 2017
Phase 3D	March 2016-February 2017
Phase 4	March 2017-February 2018
Phase 5	March 2018-February 2019
Phase 6	March 2019-February 2020

Note: Tracts 1-3 are Not Included in Any of the Above Referenced Phases.



Know what's below.  
 Call before you dig.

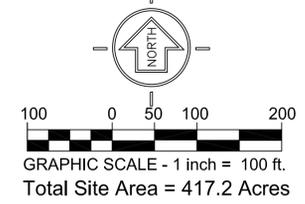
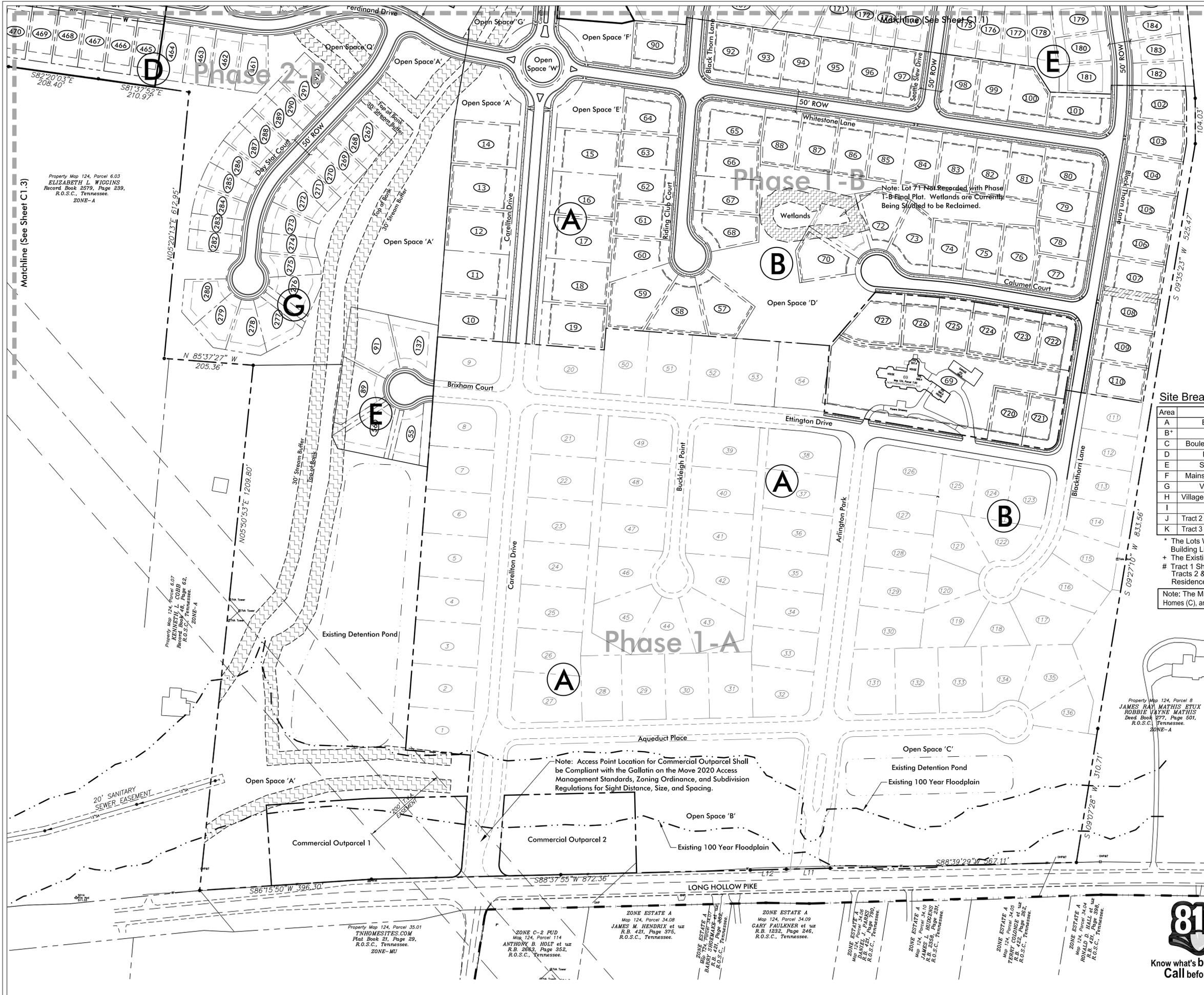


LAND SOLUTIONS  
 COMPANY, LLC  
 2925 Berry Hill Drive, Nashville, TN 37204

Carelton Phase 3A, 3B, 3C, & 3D  
 Amended Preliminary & Final Master Development Plan  
 Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124  
 Gallatin, Sumner County, Tennessee

ISSUANCE/REVISION NOTES:  
 - PLAN DATE November 11, 2015  
 - PLAN REVISION DATE December 3, 2015

- NONE
- NONE
- NONE
- NONE



**Developer**  
Green Trails, LLC  
Contact: Rick Deckbar  
2925 Berry Hill Drive, Ste A  
Nashville, TN 37204  
Phone: (615) 397-4513

**Engineer**  
Land Solutions Company, LLC  
Contact: Kevin Estes, PE  
2925 Berry Hill Drive, 2nd Floor  
Nashville, TN 37204  
Phone: (615) 300-8496  
E-mail: kevin@landsolutionsco.net

**Flood Note**  
A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.

**Benchmark**  
Located at the NE Corner of Phase 1-B. Iron Rod Found, No Cap In Fence. NGVD 29 Elevation = 583.65'

**Site Breakdown**

Area	Series - Description	No. Units/Area
A	Estates - 100' Wide Lots*	65
B*	Manor - 80' Wide Lots*	193
C	Boulevard Cottage - 35' Wide Lots*	60
D	Prestige - 60' Wide Lots*	101
E	Signature - 50' Wide Lots*	117
F	Mainstreet Homes - 40' Wide Lots*	43
G	Villa - 36' Wide Townhome	55
H	Village Cottage - 28' Wide Townhome	93
I	Tract 1 - Residential #	25.6 Ac.
J	Tract 2 - Residential (Min. 10 Acre Lots) #	72.6 Ac.
K	Tract 3 - Residential (Min. 10 Acre Lots) #	43.8 Ac.

\* The Lots Widths Shown Above are Measured at the Building Line (Front Setback).  
+ The Existing Residence (Lot 69) is included with Area B.  
# Tract 1 Shall Consist of One Residential Lot.  
Tracts 2 & 3 Shall Consist of Single Family Residences with a Minimum Lot Size of 10 Acres.

Note: The Mainstreet Homes (F), Boulevard Cottage Homes (C), and Village Cottage (H) lots are Rear Loaded.

**Estimated Traffic Projections**

Trip Generation (Previously Approved)		
Land Use	Total Units/Size	Daily
Single Family	450	4,149
Condo/Townhome	426	2,200
Assisted Living	40	139
<b>Total</b>		<b>6,488</b>

Trip Generation (Proposed)		
Land Use	Total Units/Size	Daily
Single Family	590	5,440
Condo/Townhome	149	769
Office	10,000 sf	117
<b>Total</b>		<b>6,252</b>

Note: Tracts 1 (1 Unit), 2 (7 Units), and 3 (4 Units) are Included in the Single Family Units. The Maximum Possible Units for the 3 Tracts for this Plan are Shown in the Above Table. General Office has been Used for the Commercial Outparcel Land Use. The size of the Office has not been determined, but a conservative estimate for traffic purposes has been shown.

**LAND SOLUTIONS**  
COMPANY, LLC  
2925 Berry Hill Drive, Nashville, TN 37204

**Carellton Phase 3A, 3B, 3C, & 3D**  
Amended Preliminary & Final Master Development Plan  
Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124  
Gallatin, Sumner County, Tennessee

**ISSUANCE/REVISION NOTES:**  
- PLAN DATE: November 1, 2016  
- PLAN REVISION DATE: December 5, 2016

- NONE
- NONE
- NONE
- NONE

PMDP  
Overall  
Layout Plan  
**C1.0**  
2 of 19



Property Map 124, Parcel 6.03  
ELIZABETH L. WIGGINS  
Record Book 2579, Page 239,  
R.O.S.C., Tennessee.  
ZONE-A

Property Map 124, Parcel 6.07  
KENNETH L. DUBBE  
Record Book 48, Page 88,  
R.O.S.C., Tennessee.  
ZONE-A

Property Map 124, Parcel 8  
JAMES RAY MATHIS ETUX  
ROBBIE JAYNE MATHIS  
Deed Book 277, Page 501,  
R.O.S.C., Tennessee.  
ZONE-A

Property Map 124, Parcel 35.01  
TNHOMESITES.COM  
Plat Book 21, Page 29,  
R.O.S.C., Tennessee.  
ZONE-MU

ZONE C-2 PUD  
Map 124, Parcel 114  
ANTHONY B. HOLT et ux  
R.B. 2663, Page 352,  
R.O.S.C., Tennessee.

ZONE ESTATE A  
Map 124, Parcel 34.08  
JAMES M. HENDRIX et ux  
R.B. 421, Page 375,  
R.O.S.C., Tennessee.

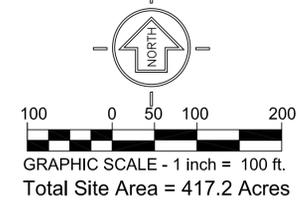
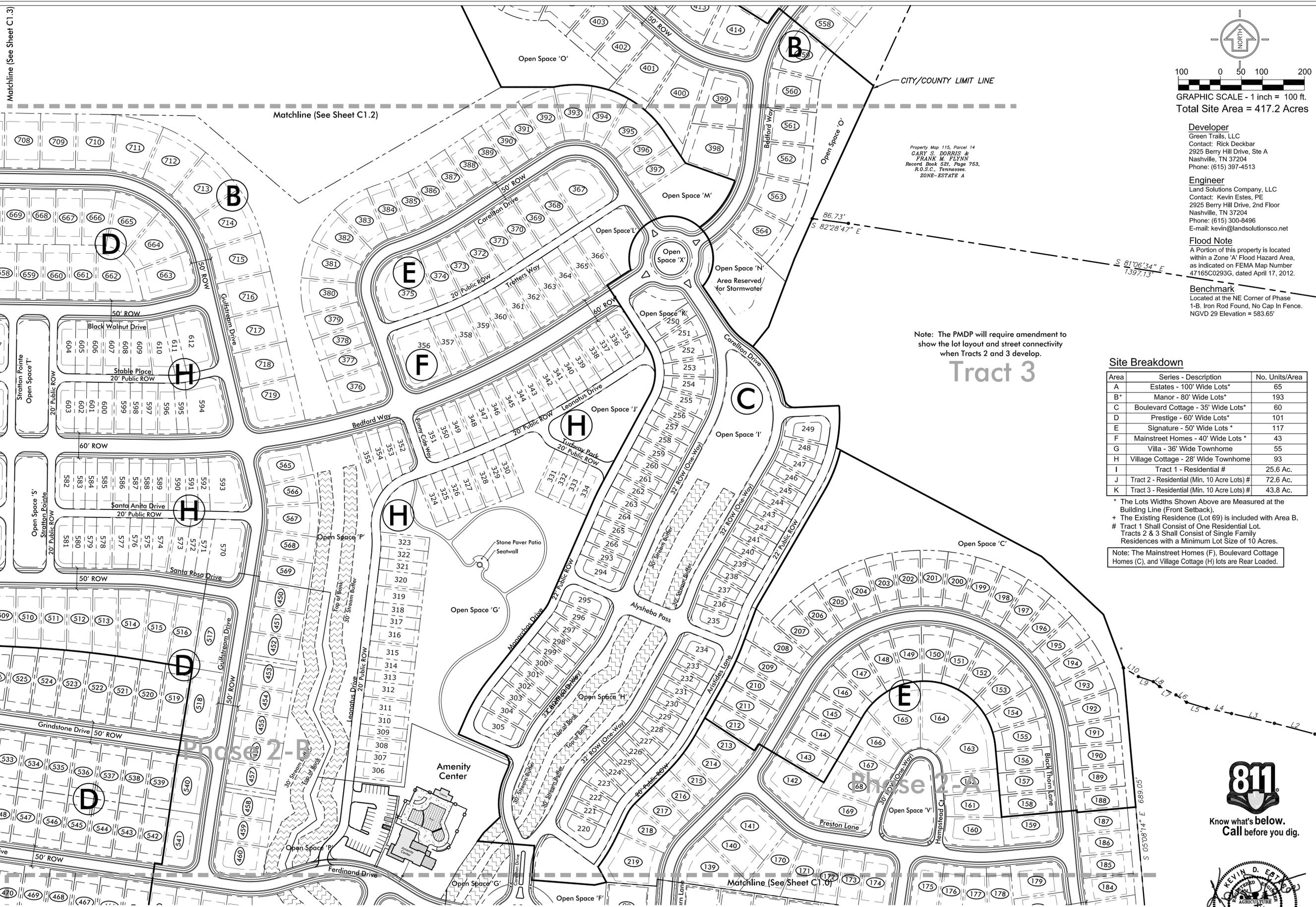
ZONE ESTATE A  
Map 124, Parcel 34.09  
GARY FAULKNER et ux  
R.B. 1232, Page 246,  
R.O.S.C., Tennessee.

ZONE ESTATE A  
Map 124, Parcel 34.10  
JAMES L. HENDERSON  
R.B. 2653, Page 351,  
R.O.S.C., Tennessee.

ZONE ESTATE A  
Map 124, Parcel 34.11  
JAMES L. HENDERSON  
R.B. 2653, Page 351,  
R.O.S.C., Tennessee.

ZONE ESTATE A  
Map 124, Parcel 34.05  
TERRY COLLOM et ux  
R.B. 422, Page 376,  
R.O.S.C., Tennessee.

ZONE ESTATE A  
Map 124, Parcel 34.04  
ROYALD D. HILL et ux  
R.B. 421, Page 359,  
R.O.S.C., Tennessee.



Property Map 115, Parcel 14  
 GARY S. DORRIS &  
 FRANK M. FLYNN  
 Record Book 521, Page 753.  
 R.O.S.C., Tennessee  
 ZONE - ESTATE A

**Developer**  
 Green Trails, LLC  
 Contact: Rick Deckbar  
 2925 Berry Hill Drive, Ste A  
 Nashville, TN 37204  
 Phone: (615) 397-4513

**Engineer**  
 Land Solutions Company, LLC  
 Contact: Kevin Estes, PE  
 2925 Berry Hill Drive, 2nd Floor  
 Nashville, TN 37204  
 Phone: (615) 300-8496  
 E-mail: kevin@landsolutionsco.net

**Flood Note**  
 A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.

**Benchmark**  
 Located at the NE Corner of Phase 1-B. Iron Rod Found, No Cap In Fence. NGVD 29 Elevation = 583.65'

Note: The PMDP will require amendment to show the lot layout and street connectivity when Tracts 2 and 3 develop.

# Tract 3

### Site Breakdown

Area	Series - Description	No. Units/Area
A	Estates - 100' Wide Lots*	65
B*	Manor - 80' Wide Lots*	193
C	Boulevard Cottage - 35' Wide Lots*	60
D	Prestige - 60' Wide Lots*	101
E	Signature - 50' Wide Lots*	117
F	Mainstreet Homes - 40' Wide Lots*	43
G	Villa - 36' Wide Townhome	55
H	Village Cottage - 28' Wide Townhome	93
I	Tract 1 - Residential #	25.6 Ac.
J	Tract 2 - Residential (Min. 10 Acre Lots) #	72.6 Ac.
K	Tract 3 - Residential (Min. 10 Acre Lots) #	43.8 Ac.

\* The Lots Widths Shown Above are Measured at the Building Line (Front Setback).  
 + The Existing Residence (Lot 69) is included with Area B.  
 # Tract 1 Shall Consist of One Residential Lot. Tracts 2 & 3 Shall Consist of Single Family Residences with a Minimum Lot Size of 10 Acres.  
 Note: The Mainstreet Homes (F), Boulevard Cottage Homes (C), and Village Cottage (H) lots are Rear Loaded.

**LAND SOLUTIONS**  
 COMPANY, LLC  
 2925 Berry Hill Drive, Nashville, TN 37204

**Carellon Phase 3A, 3B, 3C, & 3D**  
**Amended Preliminary & Final Master Development Plan**  
 Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124  
 Gallatin, Sumner County, Tennessee

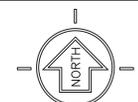
**ISSUANCE/REVISION NOTES:**  
 - PLAN DATE: November 1, 2016  
 - PLAN REVISION DATE: December 5, 2016

- NONE
- NONE
- NONE
- NONE



Know what's below.  
 Call before you dig.





GRAPHIC SCALE - 1 inch = 100 ft.  
Total Site Area = 417.2 Acres

**Developer**  
Green Trails, LLC  
Contact: Rick Deckbar  
2925 Berry Hill Drive, Ste A  
Nashville, TN 37204  
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**Flood Note**  
A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.

**Benchmark**  
Located at the NE Corner of Phase 1-B. Iron Rod Found, No Cap In Fence. NGVD 29 Elevation = 583.65'

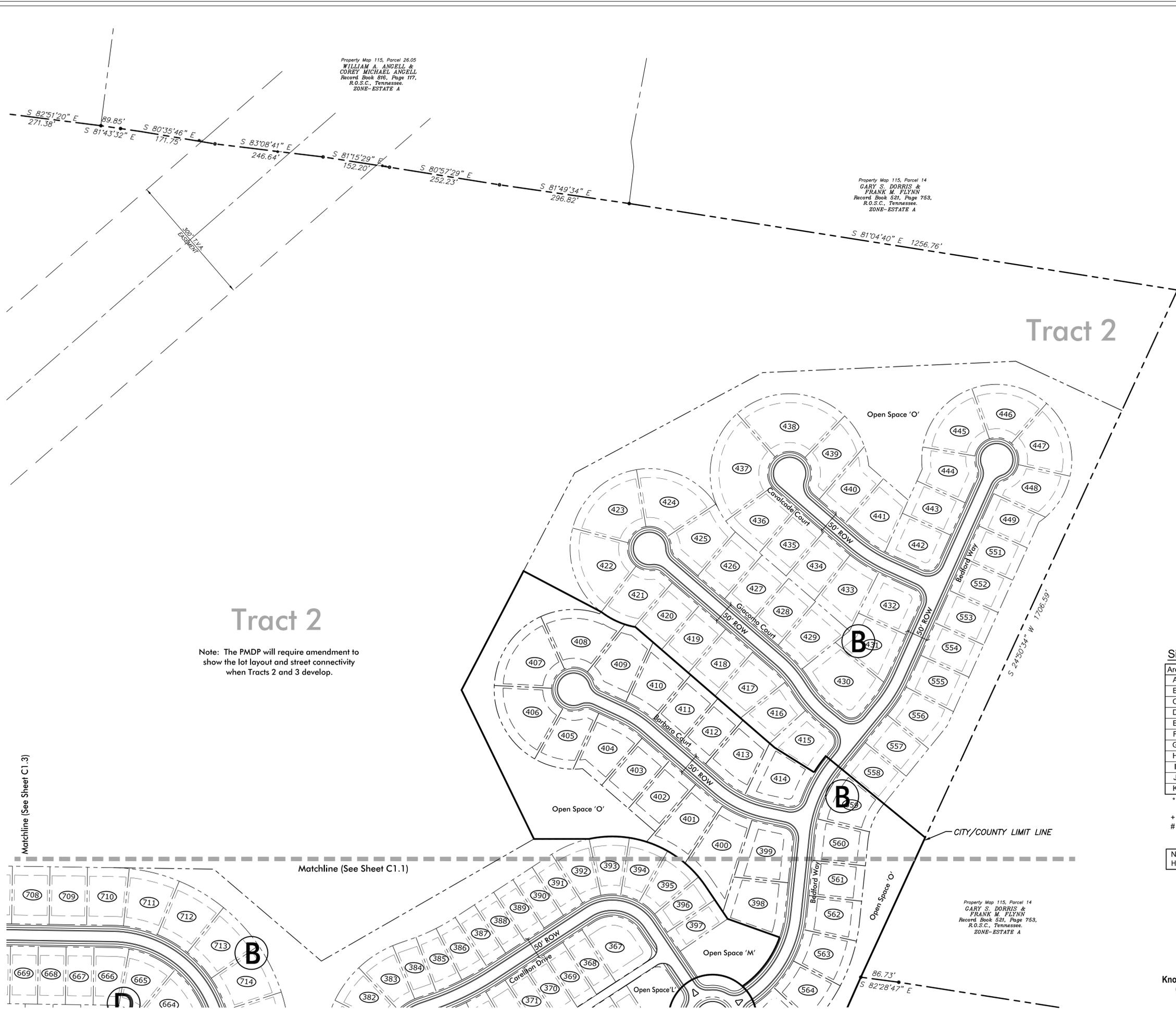
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COMPANY, LLC  
2925 Berry Hill Drive, Nashville, TN 37204

Carellton Phase 3A, 3B, 3C, & 3D  
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Gallatin, Sumner County, Tennessee

ISSUANCE/REVISION NOTES:  
- PLAN DATE: November 1, 2016  
- PLAN REVISION DATE: December 5, 2016

- NONE
- NONE
- NONE
- NONE

PMDP  
Overall  
Layout Plan  
**C1.2**  
4 of 19



Property Map 115, Parcel 26.05  
WILLIAM A. ANGELL &  
COREY MICHAEL ANGELL  
Record Book 019, Page 177,  
R.O.S.C., Tennessee,  
ZONE-ESTATE A

Property Map 115, Parcel 14  
GARY S. DORRIS &  
FRANK M. FLYNN  
Record Book 521, Page 753,  
R.O.S.C., Tennessee,  
ZONE-ESTATE A

Property Map 115, Parcel 14  
GARY S. DORRIS &  
FRANK M. FLYNN  
Record Book 521, Page 753,  
R.O.S.C., Tennessee,  
ZONE-ESTATE A

Tract 2

Note: The PMDP will require amendment to show the lot layout and street connectivity when Tracts 2 and 3 develop.

Site Breakdown

Area	Series - Description	No. Units/Area
A	Estates - 100' Wide Lots*	65
B*	Manor - 80' Wide Lots*	193
C	Boulevard Cottage - 35' Wide Lots*	60
D	Prestige - 60' Wide Lots*	101
E	Signature - 50' Wide Lots*	117
F	Mainstreet Homes - 40' Wide Lots*	43
G	Villa - 36' Wide Townhome	55
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I	Tract 1 - Residential #	25.6 Ac.
J	Tract 2 - Residential (Min. 10 Acre Lots) #	72.6 Ac.
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Tracts 2 & 3 Shall Consist of Single Family Residences with a Minimum Lot Size of 10 Acres.

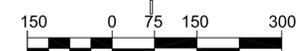
Note: The Mainstreet Homes (F), Boulevard Cottage Homes (C), and Village Cottage (H) lots are Rear Loaded.



Matchline (See Sheet C1.3)

Matchline (See Sheet C1.1)





GRAPHIC SCALE - 1 inch = 150 ft.

Total Phase 3 Area = 45.18 Acres  
Phase 3A Area = 11.07 Acres  
Phase 3B Area = 14.40 Acres  
Phase 3C Area = 8.14 Acres  
Phase 3D Area = 11.30 Acres

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**Flood Note**  
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**Benchmark**  
Located at the NE Corner of Phase 1-B, Iron Rod Found, No Cap In Fence, NGVD 29 Elevation = 583.65'

LAND SOLUTIONS  
COMPANY, LLC  
2925 Berry Hill Drive, Nashville, TN 37204

# Carellton Phase 3A, 3B, 3C, & 3D

## Amended Preliminary & Final Master Development Plan

Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124  
Gallatin, Sumner County, Tennessee

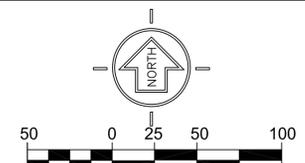
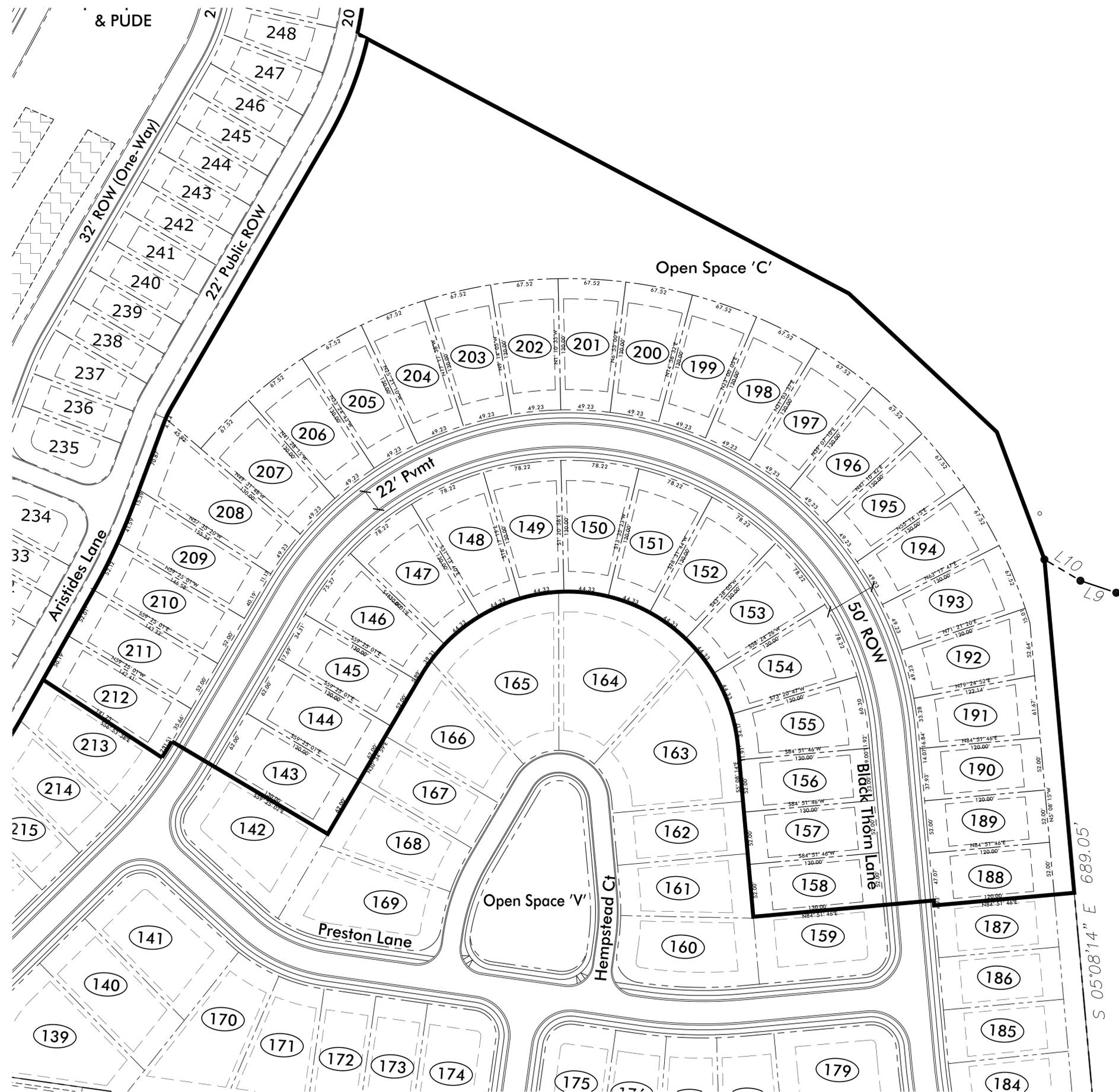
**ISSUANCE/REVISION NOTES:**  
- PLAN DATE November 1, 2016  
- PLAN REVISION DATE December 5, 2016

- NONE
- NONE
- NONE
- NONE

Overall  
Phase 3  
Layout Plan  
**C2.0**  
6 of 19

Lot Area Table			Lot Area Table		
Lot #	Acres	Sq. Ft.	Lot #	Acres	Sq. Ft.
143	0.19	8060.3	259	0.09	3944.0
144	0.19	8060.2	260	0.09	3944.0
145	0.18	6760.2	261	0.09	3944.0
146	0.18	7832.4	262	0.09	3944.0
147	0.18	7965.7	263	0.10	4193.7
148	0.18	7965.7	264	0.09	4054.1
149	0.18	7965.6	265	0.09	3944.0
150	0.18	7965.5	266	0.09	3944.0
151	0.18	7965.5	267	0.09	3944.0
152	0.18	7965.4	268	0.13	5531.7
153	0.18	7965.3	269	0.13	5531.7
154	0.18	7965.3	270	0.10	4418.4
155	0.18	7965.1	271	0.10	4300.1
156	0.16	6759.8	272	0.09	3944.0
157	0.16	6759.8	273	0.09	3944.0
158	0.16	6759.8	274	0.09	3944.0
159	0.14	6240.2	275	0.09	3944.0
160	0.14	6240.2	276	0.09	3944.0
161	0.14	6240.2	277	0.09	3944.0
162	0.14	6240.2	278	0.09	3944.0
163	0.14	6240.2	279	0.09	3944.0
164	0.14	6240.2	280	0.09	3944.0
165	0.14	6240.2	281	0.09	3944.0
166	0.14	6240.2	282	0.09	3944.0
167	0.14	6240.2	283	0.09	3944.0
168	0.14	6240.2	284	0.09	3944.0
169	0.14	6240.2	285	0.09	3944.0
170	0.14	6240.2	286	0.09	3944.0
171	0.14	6240.2	287	0.09	3944.0
172	0.14	6240.2	288	0.09	3944.0
173	0.14	6240.2	289	0.09	3944.0
174	0.14	6240.2	290	0.09	3944.0
175	0.14	6240.2	291	0.09	3944.0
176	0.14	6240.2	292	0.09	3944.0
177	0.14	6240.2	293	0.09	3944.0
178	0.14	6240.2	294	0.09	3944.0
179	0.14	6240.2	295	0.09	3944.0
180	0.14	6240.2	296	0.09	3944.0
181	0.14	6240.2	297	0.09	3944.0
182	0.14	6240.2	298	0.09	3944.0
183	0.14	6240.2	299	0.09	3944.0
184	0.14	6240.2	300	0.09	3944.0
185	0.14	6240.2	301	0.09	3944.0
186	0.14	6240.2	302	0.09	3944.0
187	0.14	6240.2	303	0.09	3944.0
188	0.14	6240.2	304	0.10	4505.7
189	0.14	6240.2	305	0.14	6097.9
190	0.14	6240.2	306	0.33	14408.2
191	0.15	6731.5	307	0.32	13725.3
192	0.17	7357.3	308	0.40	17568.6
193	0.17	7588.6	309	0.32	13725.3
194	0.17	7588.6	310	0.32	13725.3
195	0.17	7588.6	311	0.32	13725.3
196	0.17	7588.6	312	0.32	13725.3
197	0.17	7588.6	313	0.32	13725.3
198	0.17	7588.6	314	0.32	13725.3
199	0.17	7588.6	315	0.32	13725.3
200	0.17	7588.6	316	0.32	13725.3
201	0.17	7588.6	317	0.32	13725.3
202	0.17	7588.6	318	0.32	13725.3
203	0.17	7588.6	319	0.32	13725.3
204	0.17	7588.6	320	0.32	13725.3
205	0.17	7588.6	321	0.32	13725.3
206	0.17	7588.6	322	0.32	13725.3
207	0.17	7588.6	323	0.32	13725.3
208	0.23	10017.6	324	0.32	13725.3
209	0.19	8090.2	325	0.32	13725.3
210	0.17	7518.2	326	0.32	13725.3
211	0.17	7429.5	327	0.32	13725.3
212	0.17	7563.2	328	0.32	13725.3
213	0.13	5610.0	329	0.32	13725.3
214	0.08	3570.0	330	0.32	13725.3
215	0.08	3570.0	331	0.32	13725.3
216	0.08	3570.0	332	0.32	13725.3
217	0.08	3570.0	333	0.32	13725.3
218	0.08	3570.0	334	0.32	13725.3
219	0.08	3570.0	335	0.32	13725.3
220	0.08	3570.0	336	0.32	13725.3
221	0.08	3570.0	337	0.32	13725.3
222	0.08	3570.0	338	0.32	13725.3
223	0.10	4355.9	339	0.32	13725.3
224	0.08	3570.0	340	0.32	13725.3
225	0.08	3570.0	341	0.32	13725.3
226	0.08	3570.0	342	0.32	13725.3
227	0.08	3570.0	343	0.32	13725.3
228	0.08	3570.0	344	0.32	13725.3
229	0.08	3570.0	345	0.32	13725.3
230	0.08	3570.0	346	0.32	13725.3
231	0.08	3570.0	347	0.32	13725.3
232	0.08	3570.0	348	0.32	13725.3
233	0.08	3570.0	349	0.32	13725.3
234	0.12	5410.3	350	0.32	13725.3
235	0.12	5096.3	351	0.32	13725.3
236	0.06	3570.0	352	0.32	13725.3
237	0.10	4156.7	353	0.32	13725.3
238	0.08	3570.0	354	0.32	13725.3
239	0.08	3570.0	355	0.32	13725.3
240	0.08	3570.0	356	0.32	13725.3
241	0.08	3570.0	357	0.32	13725.3
242	0.08	3570.0	358	0.32	13725.3
243	0.08	3570.0	359	0.32	13725.3
244	0.08	3570.0	360	0.32	13725.3
245	0.08	3570.0	361	0.32	13725.3
246	0.08	3570.0	362	0.32	13725.3
247	0.09	4073.8	363	0.32	13725.3
248	0.09	4073.8	364	0.32	13725.3
249	0.13	5877.3	365	0.32	13725.3
250	0.09	4086.0	366	0.32	13725.3
251	0.11	4703.2	367	0.32	13725.3
252	0.11	4687.0	368	0.32	13725.3
253	0.11	4687.5	369	0.32	13725.3
254	0.11	4645.3	370	0.32	13725.3
255	0.11	4621.5	371	0.32	13725.3
256	0.09	4054.1	372	0.32	13725.3
257	0.09	3944.0	373	0.32	13725.3
258	0.09	3944.0	374	0.32	13725.3





GRAPHIC SCALE - 1 inch = 50 ft.  
 Total Phase 3 Area = 45.18 Acres  
 Phase 3A Area = 11.07 Acres  
 Phase 3B Area = 14.40 Acres  
 Phase 3C Area = 8.14 Acres  
 Phase 3D Area = 11.30 Acres

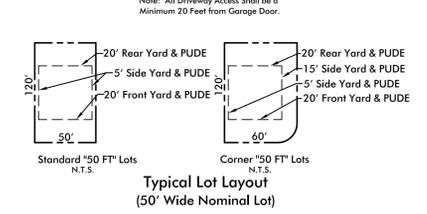
**Developer**  
 Green Trails, LLC  
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**Engineer**  
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 2925 Berry Hill Drive, 2nd Floor  
 Nashville, TN 37204  
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 E-mail: kevin@landsolutionsco.net

**Flood Note**  
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**Benchmark**  
 Located at the NE Corner of Phase 1-B. Iron Rod Found, No Cap In Fence. NGVD 29 Elevation = 583.65'

**Signature Lot Type Configuration**



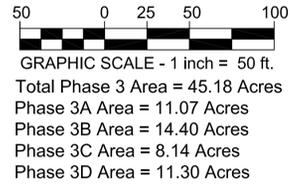
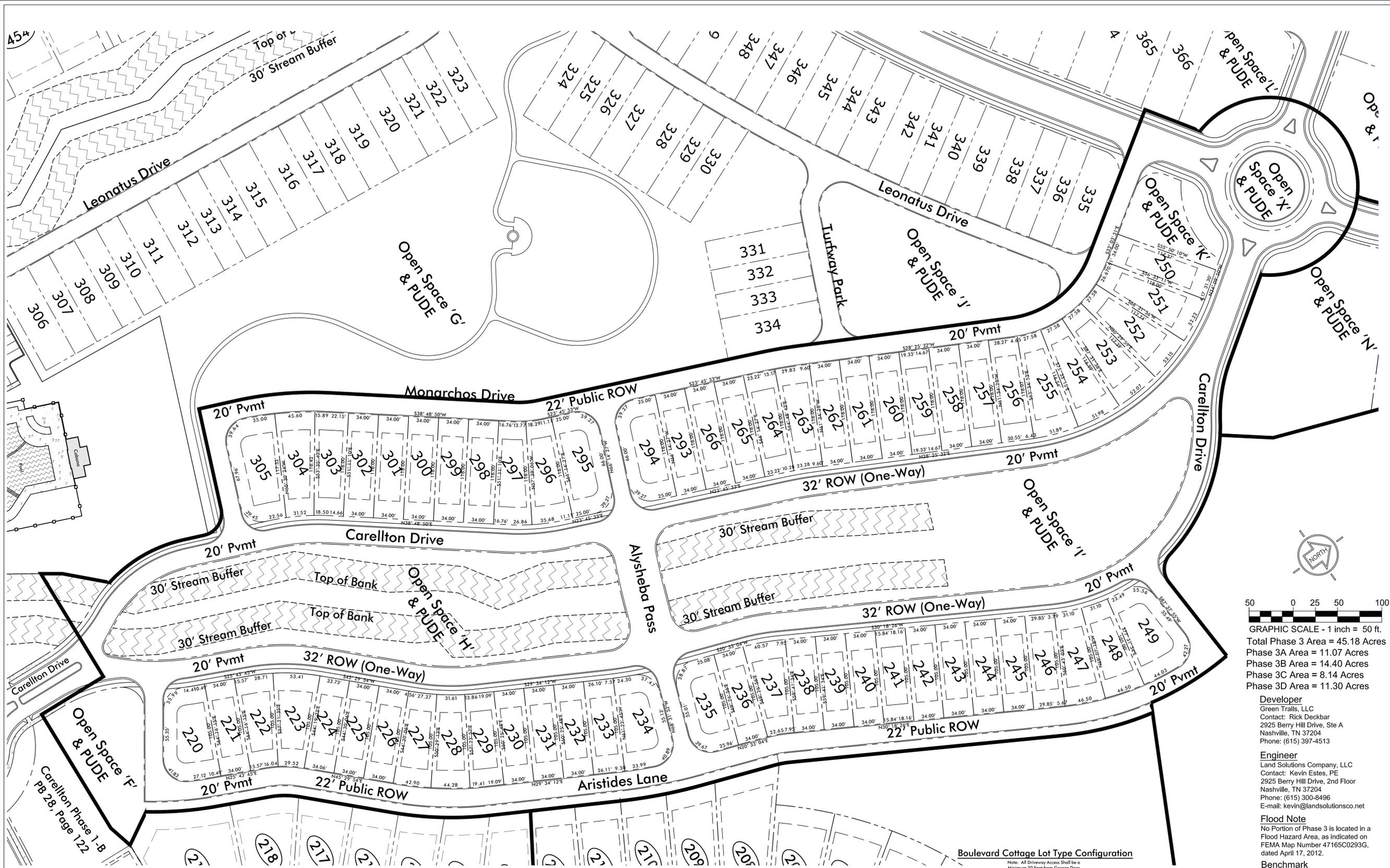
**LAND SOLUTIONS**  
 COMPANY, LLC  
 2925 Berry Hill Drive, Nashville, TN 37204

**Carellton Phase 3A, 3B, 3C, & 3D**  
 Amended Preliminary & Final Master Development Plan  
 Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124  
 Gallatin, Sumner County, Tennessee

**ISSUANCE/REVISION NOTES:**  
 - PLAN DATE: November 11, 2016  
 - PLAN REVISION DATE: December 5, 2016

- NONE
- NONE
- NONE
- NONE

Phase 3A  
 Layout Plan  
**C3.0**  
 7 of 19



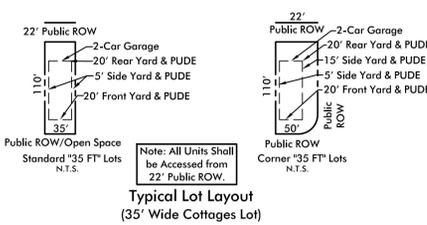
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**Benchmark**  
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**Boulevard Cottage Lot Type Configuration**  
 Note: All Driveway Access Shall be a Minimum 20 Feet from Garage Door.



LAND SOLUTIONS  
 COMPANY, LLC  
 2925 Berry Hill Drive, Nashville, TN 37204

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 Gallatin, Sumner County, Tennessee

**ISSUANCE/REVISION NOTES:**  
 - PLAN DATE: November 1, 2016  
 - PLAN REVISION DATE: December 5, 2016

NONE  
 NONE  
 NONE  
 NONE



GRAPHIC SCALE - 1 inch = 50 ft.  
 Total Phase 3 Area = 45.18 Acres  
 Phase 3A Area = 11.07 Acres  
 Phase 3B Area = 14.40 Acres  
 Phase 3C Area = 8.14 Acres  
 Phase 3D Area = 11.30 Acres

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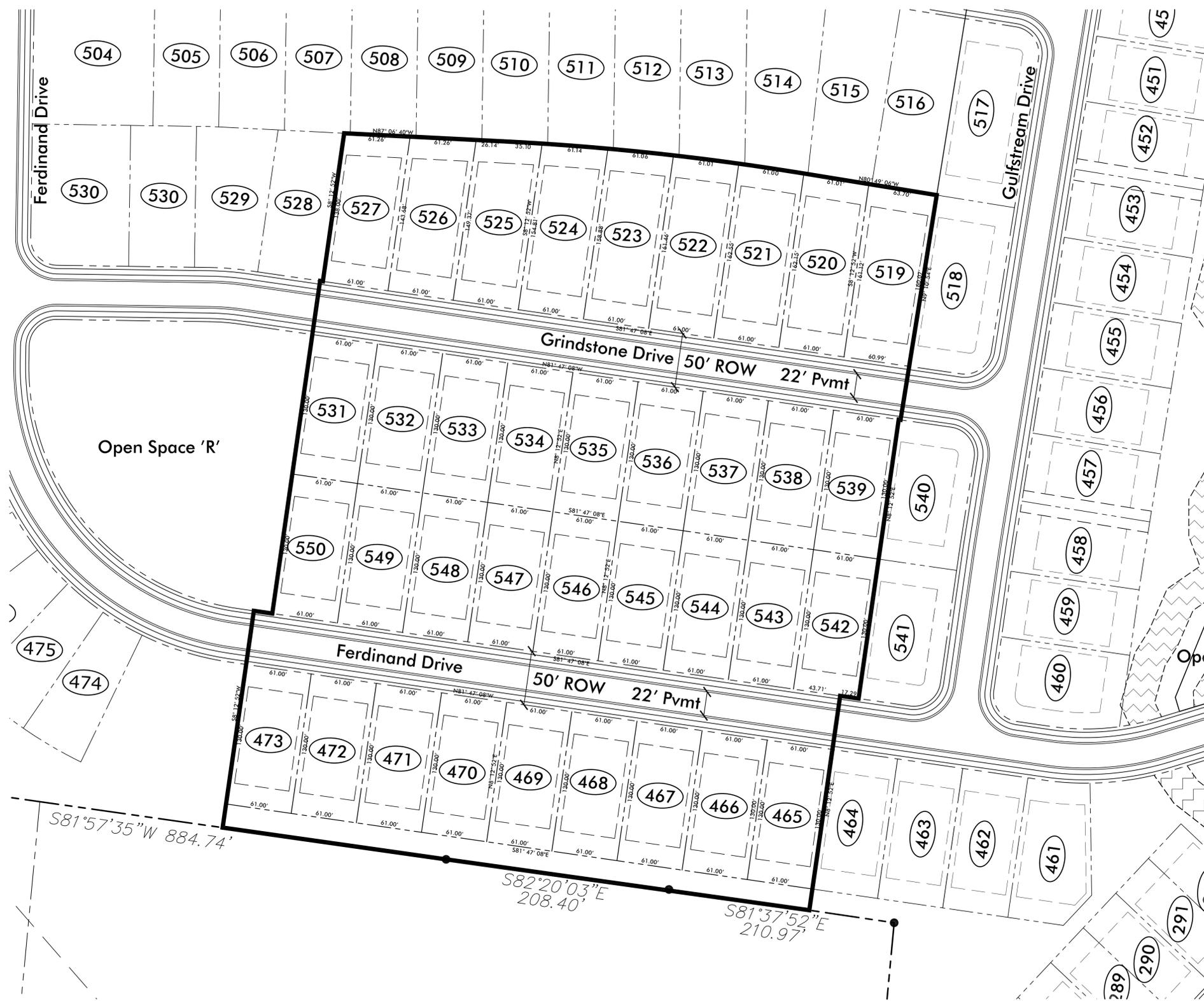
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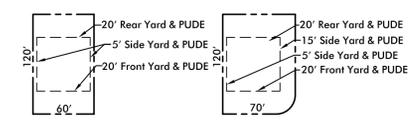
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 Gallatin, Sumner County, Tennessee



**Prestige Lot Type Configuration**

Note: All Driveway Access Shall be a Minimum 20 Feet from Garage Door.



Typical Lot Layout  
 (60' Wide Nominal Lot)

**ISSUANCE/REVISION NOTES:**

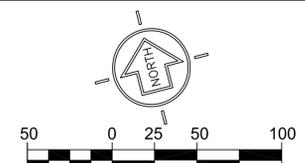
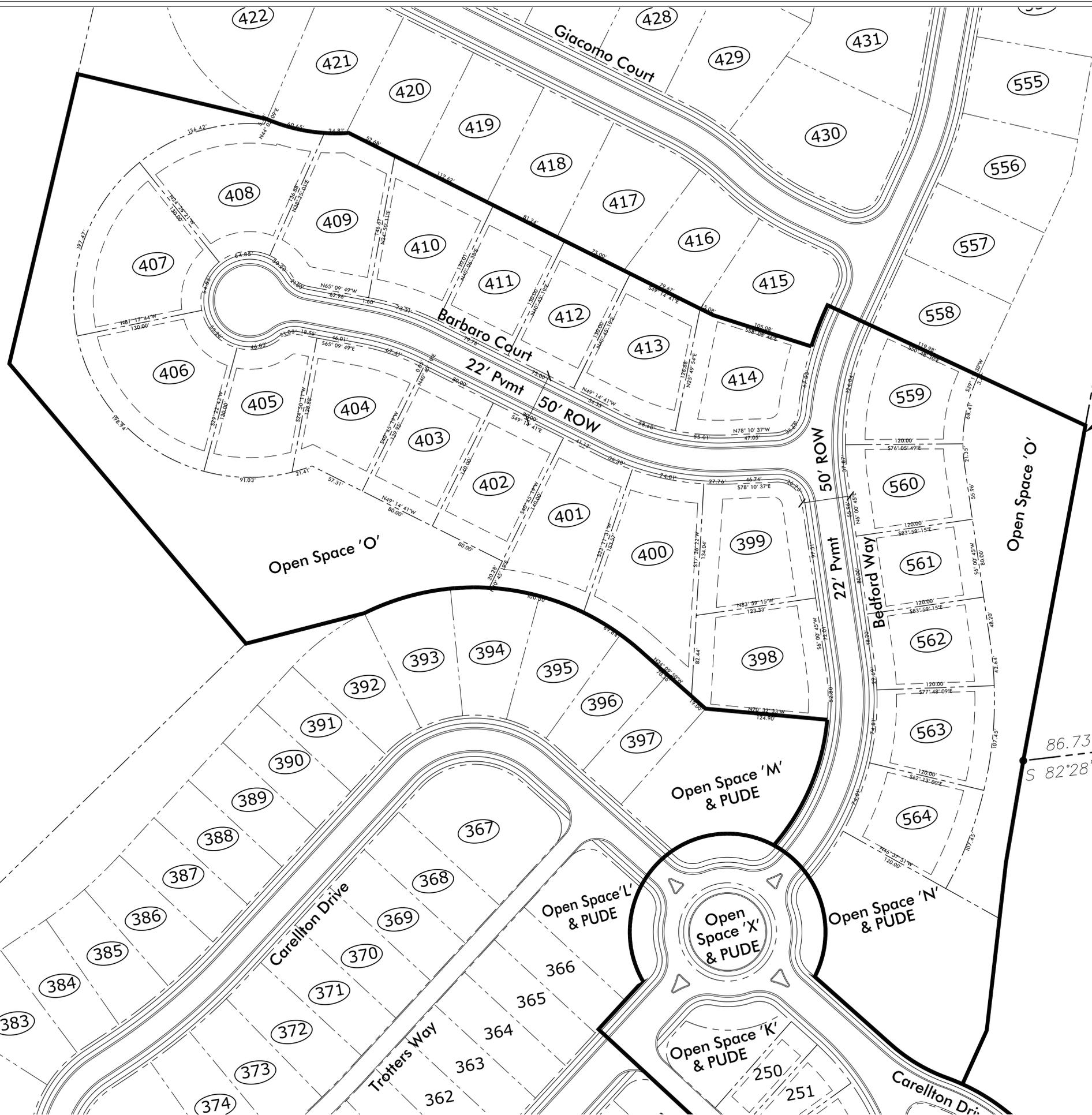
- PLAN DATE November 1, 2016
- PLAN REVISION DATE December 5, 2016

- NONE
- NONE
- NONE
- NONE



Phase 3C  
 Layout Plan

**C3.2**  
 9 of 19



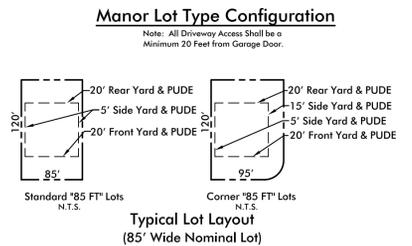
GRAPHIC SCALE - 1 inch = 50 ft.  
 Total Phase 3 Area = 45.18 Acres  
 Phase 3A Area = 11.07 Acres  
 Phase 3B Area = 14.40 Acres  
 Phase 3C Area = 8.14 Acres  
 Phase 3D Area = 11.30 Acres

**Developer**  
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**Engineer**  
 Land Solutions Company, LLC  
 Contact: Kevin Estes, PE  
 2925 Berry Hill Drive, 2nd Floor  
 Nashville, TN 37204  
 Phone: (615) 300-8496  
 E-mail: kevin@landsolutionsco.net

**Flood Note**  
 No Portion of Phase 3 is located in a Flood Hazard Area, as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.

**Benchmark**  
 Located at the NE Corner of Phase 1-B. Iron Rod Found, No Cap In Fence. NGVD 29 Elevation = 583.65'



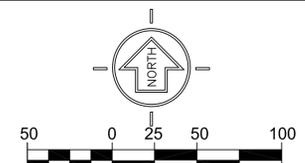
**LAND SOLUTIONS**  
 COMPANY, LLC  
 2925 Berry Hill Drive, Nashville, TN 37204

**Carellton Phase 3A, 3B, 3C, & 3D**  
 Amended Preliminary & Final Master Development Plan  
 Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124  
 Gallatin, Sumner County, Tennessee

**ISSUANCE/REVISION NOTES:**  
 - PLAN DATE November 1, 2016  
 - PLAN REVISION DATE December 5, 2016

- NONE
- NONE
- NONE
- NONE





GRAPHIC SCALE - 1 inch = 50 ft.  
 Total Phase 3 Area = 45.18 Acres  
 Phase 3A Area = 11.07 Acres  
 Phase 3B Area = 14.40 Acres  
 Phase 3C Area = 8.14 Acres  
 Phase 3D Area = 11.30 Acres

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Note: Stream Buffer in Phase 3A Shown on Previous Plans has been Removed per New Hydraulic Determination Currently Being Reviewed by TDEC.

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- NONE
- NONE
- NONE
- NONE



Phase 3A  
 Grading & Utilities Plan  
**C4.0**  
 11 of 19



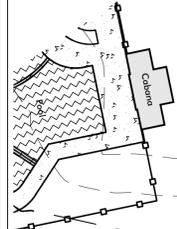
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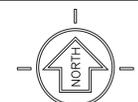
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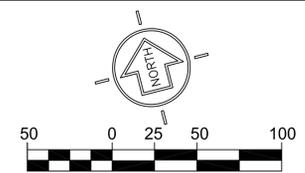
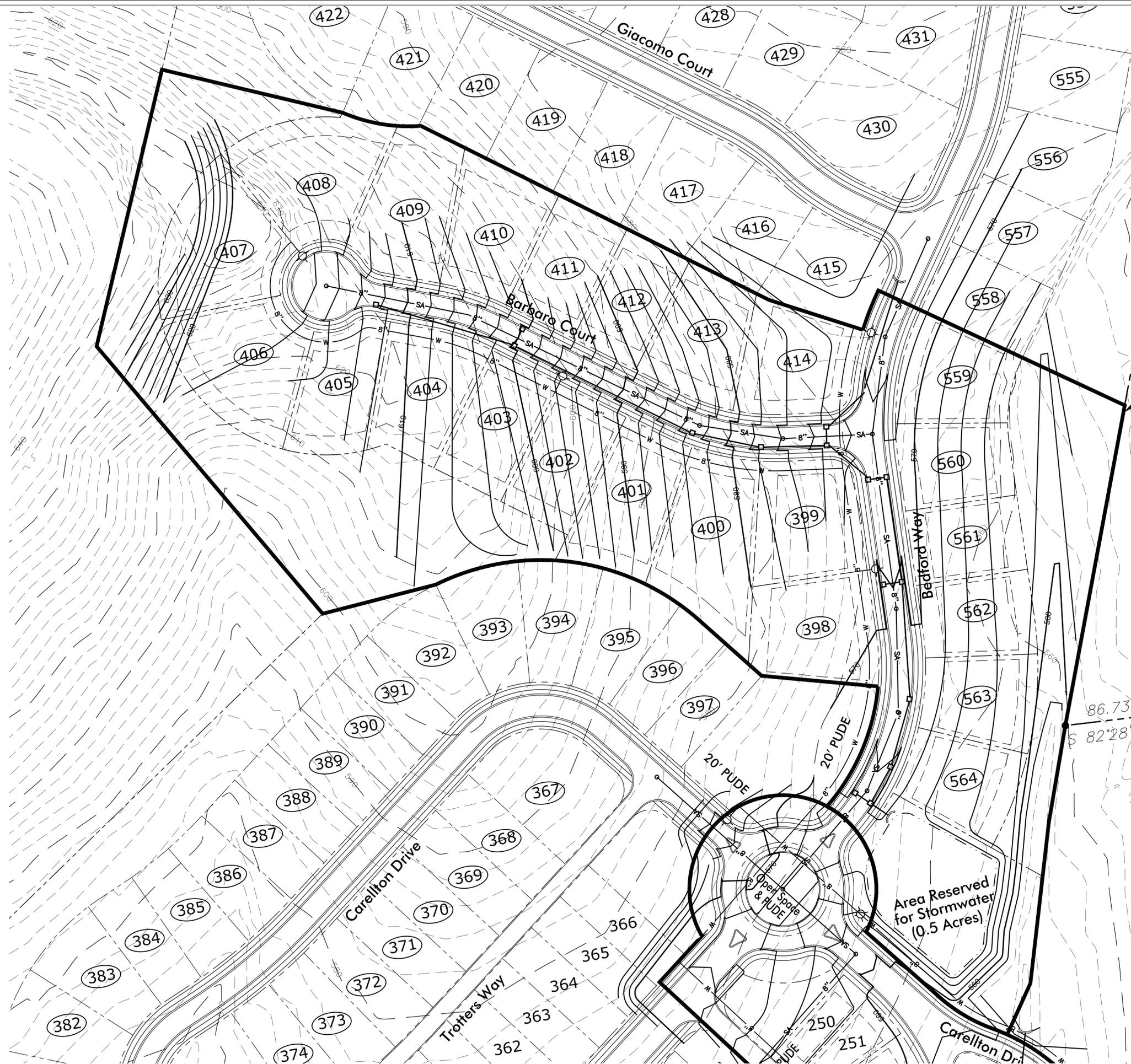
- NONE
- NONE
- NONE
- NONE



Know what's below.  
 Call before you dig.



Phase 3C  
 Grading & Utilities Plan  
**C4.2**  
 13 of 19



GRAPHIC SCALE - 1 inch = 50 ft.  
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 2925 Berry Hill Drive, Nashville, TN 37204

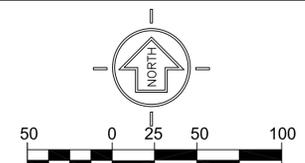
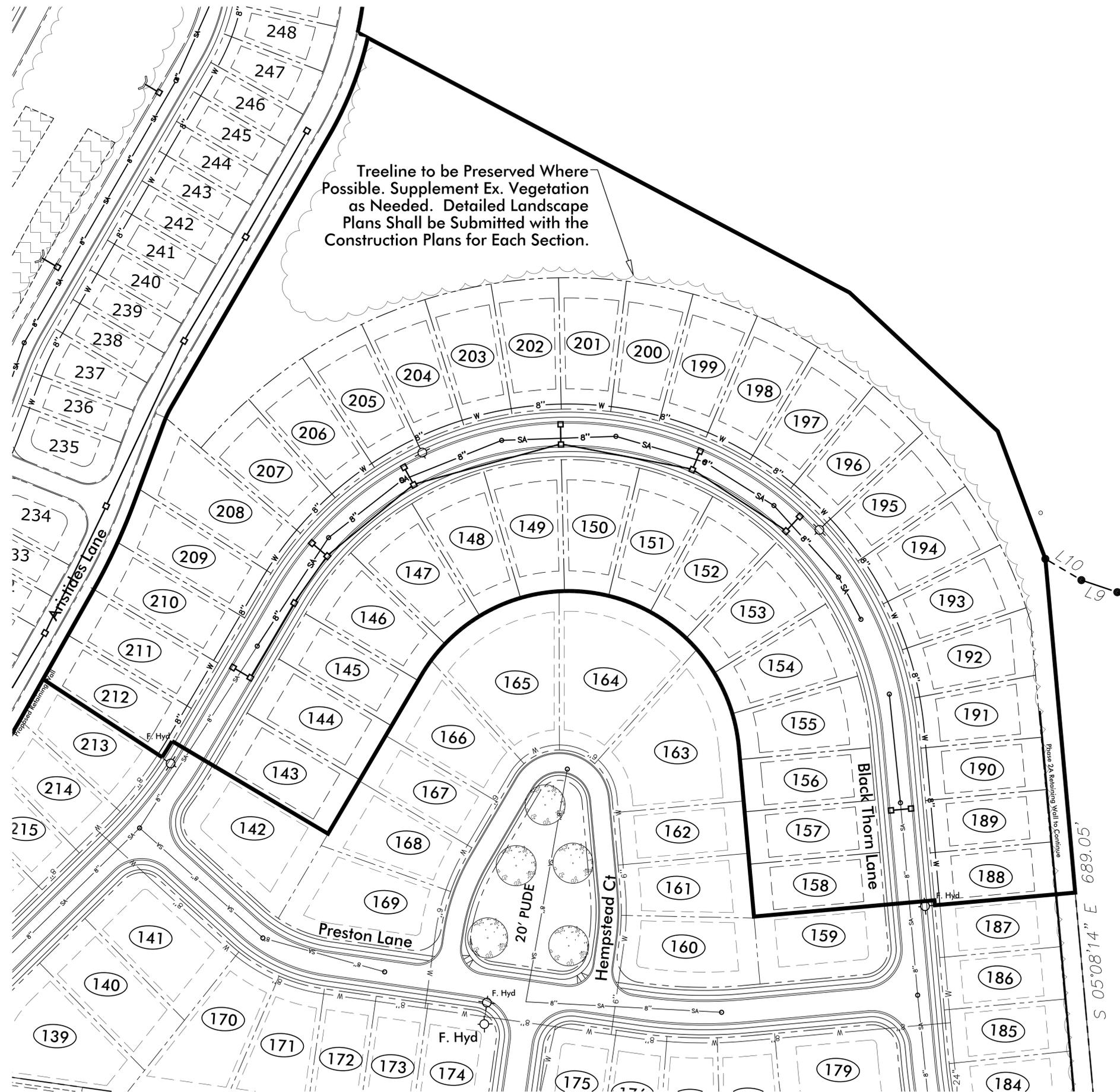
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 - PLAN REVISION DATE: December 5, 2016

- NONE
- NONE
- NONE
- NONE



Phase 3D  
 Grading & Utilities Plan  
**C4.3**  
 14 of 19



GRAPHIC SCALE - 1 inch = 50 ft.  
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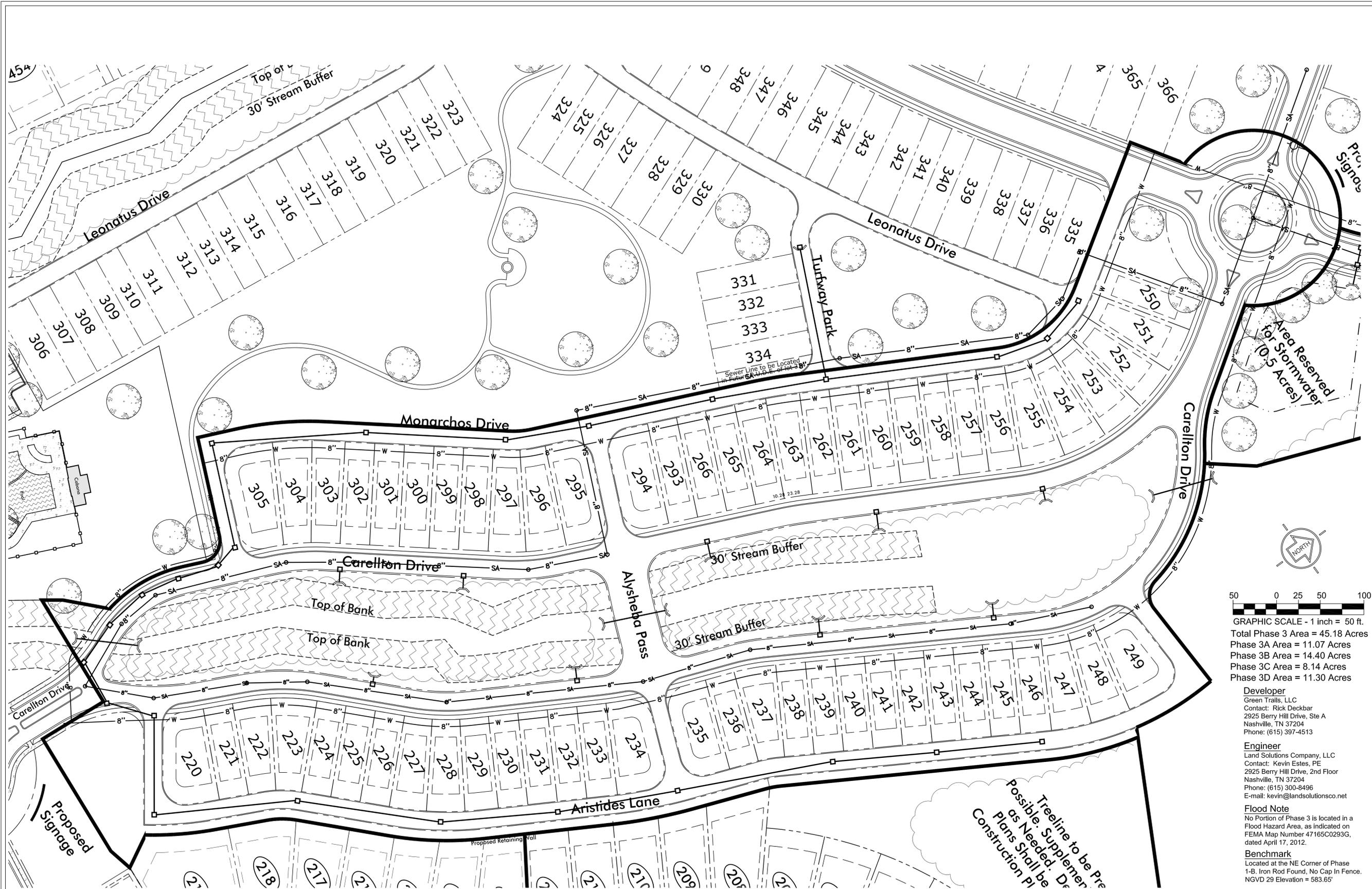
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- NONE
- NONE
- NONE
- NONE



Phase 3A  
 Landscape  
 Plan  
**C5.0**  
 15 of 19



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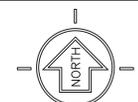
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Treeline to be Planted as Supplement to Construction Plans

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- NONE
- NONE
- NONE
- NONE





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S81°57'35" W 884.74'

S82°20'03" E 208.40'

S81°37'52" E 210.97'

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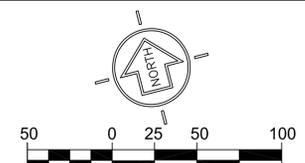
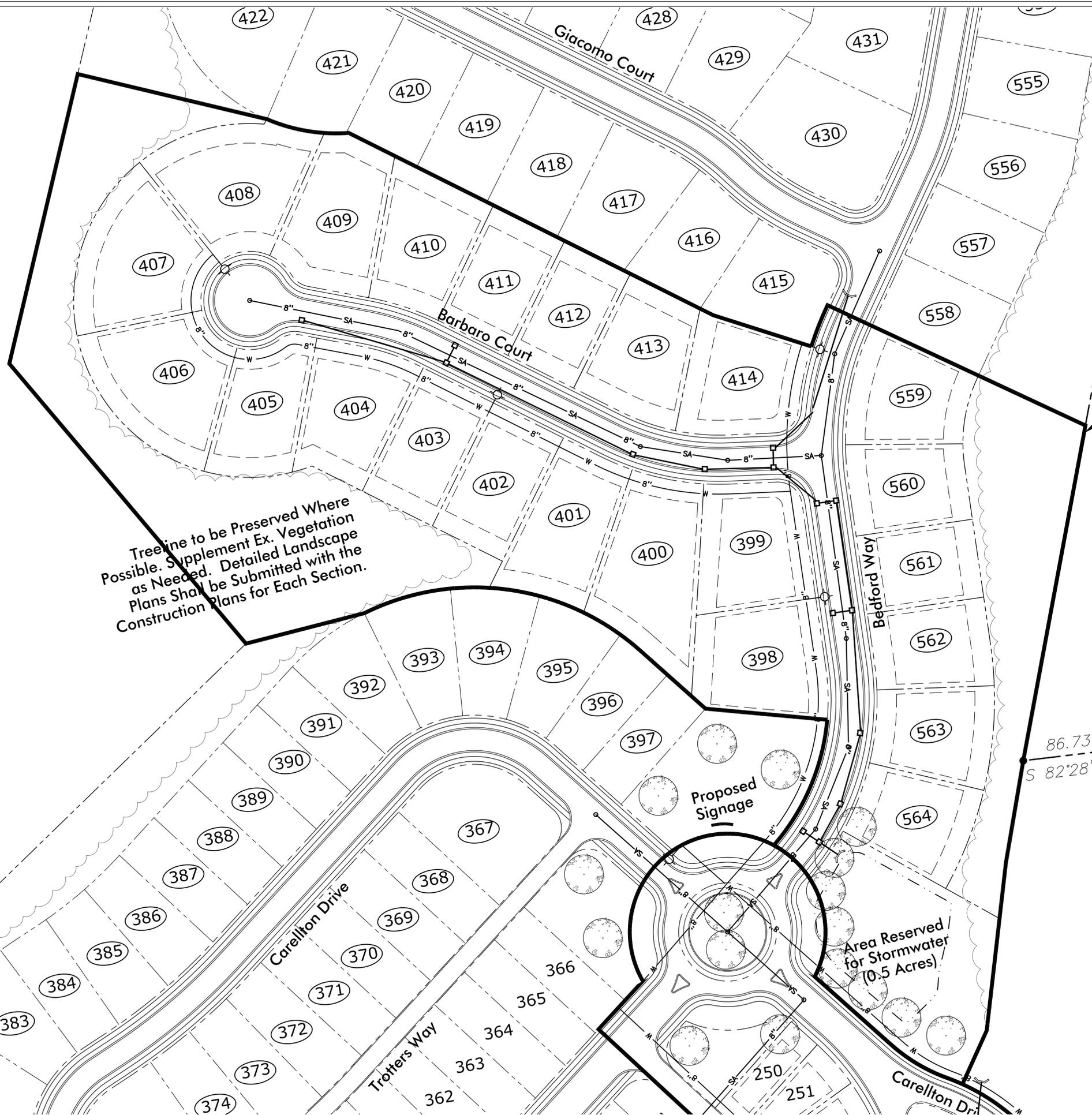
- NONE
- NONE
- NONE
- NONE



Know what's below.  
 Call before you dig.



Phase 3C  
 Landscape  
 Plan  
**C5.2**  
 17 of 19



GRAPHIC SCALE - 1 inch = 50 ft.  
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Tree line to be Preserved Where Possible. Supplement Ex. Vegetation as Needed. Detailed Landscape Plans Shall be Submitted with the Construction Plans for Each Section.

Proposed Signage

Area Reserved for Stormwater (0.5 Acres)

86.73'  
 S 82°28'

LAND SOLUTIONS  
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 2925 Berry Hill Drive, Nashville, TN 37204

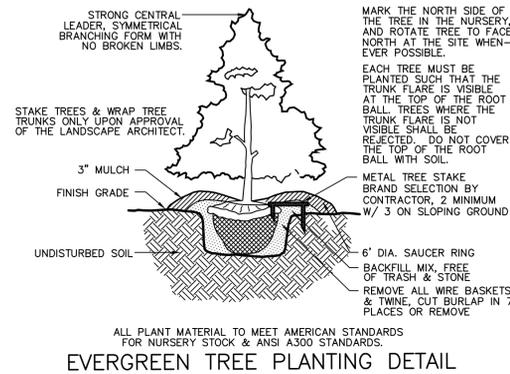
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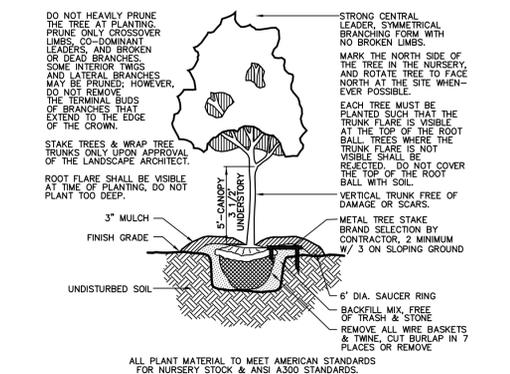
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Phase 3D  
 Landscape Plan  
**C5.3**  
 18 of 19



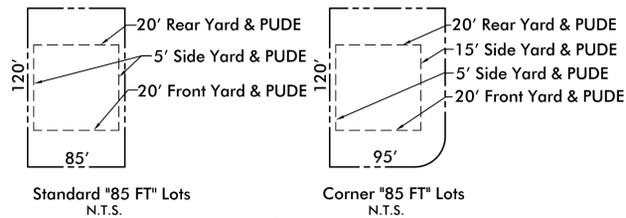
EVERGREEN TREE PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL

### Manor Lot Type Configuration

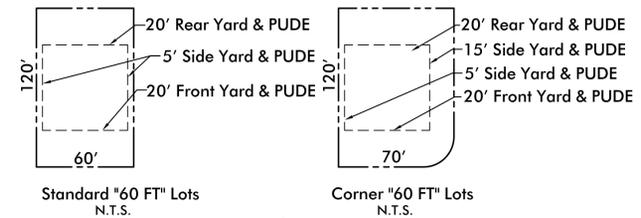
Note: All Driveway Access Shall be a Minimum 20 Feet from Garage Door.



Typical Lot Layout (85' Wide Nominal Lot)

### Prestige Lot Type Configuration

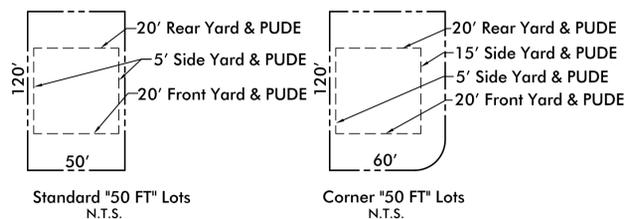
Note: All Driveway Access Shall be a Minimum 20 Feet from Garage Door.



Typical Lot Layout (60' Wide Nominal Lot)

### Signature Lot Type Configuration

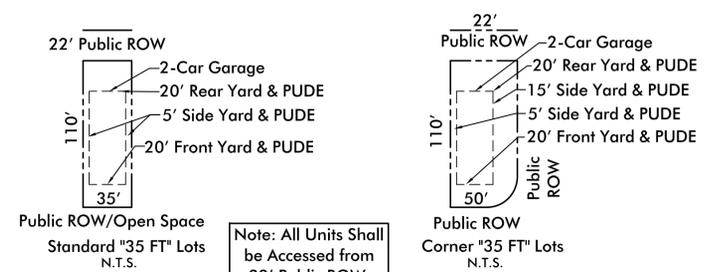
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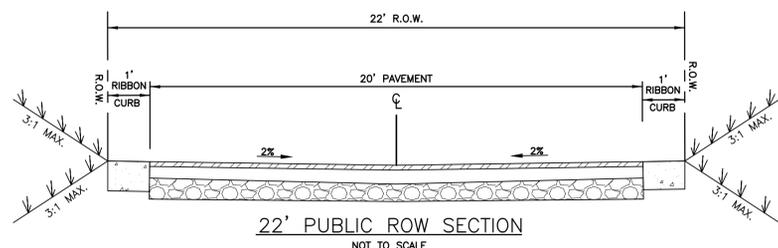
Typical Lot Layout (50' Wide Nominal Lot)

### Boulevard Cottage Lot Type Configuration

Note: All Driveway Access Shall be a Minimum 20 Feet from Garage Door.



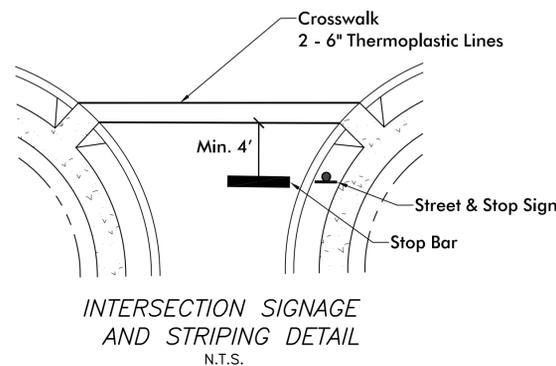
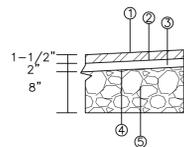
Typical Lot Layout (35' Wide Cottages Lot)



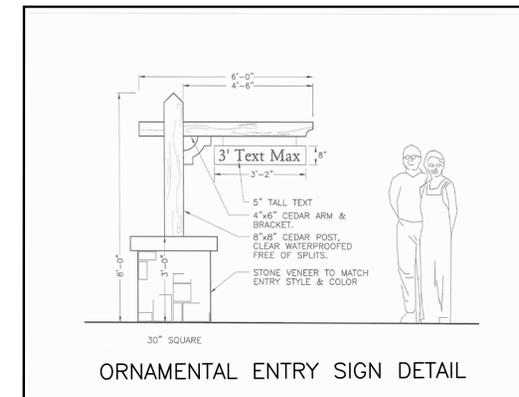
22' PUBLIC ROW SECTION

#### PAVEMENT SCHEDULE

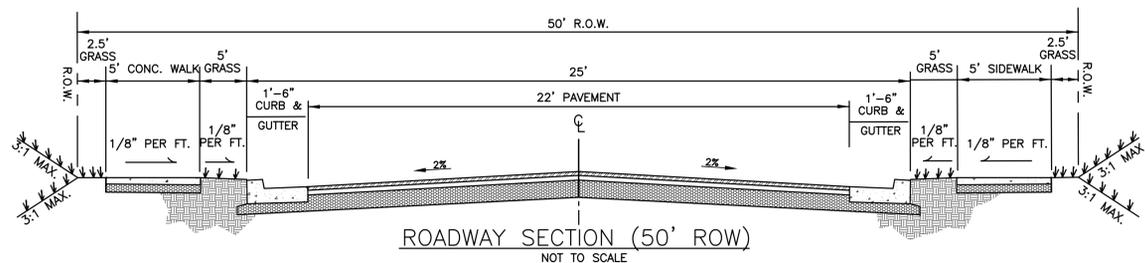
- ① 1 1/2" ASPHALTIC CONCRETE SURFACE (411D)
- ② TACK COAT (SS-1)
- ③ 2" BITUMINOUS LEVELER
- ④ PRIME COAT (RS-2)
- ⑤ 8" STONE (GRADING D PUG MILL MIX)



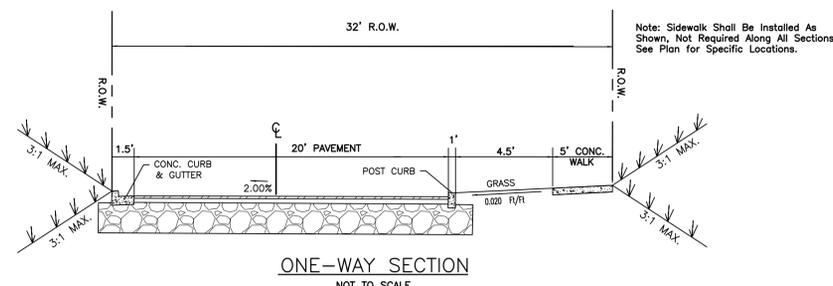
INTERSECTION SIGNAGE AND STRIPING DETAIL



ORNAMENTAL ENTRY SIGN DETAIL



ROADWAY SECTION (50' ROW)



ONE-WAY SECTION



# ITEM 8

GMRPC Resolution No. 2015-144

**A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL MASTER DEVELOPMENT PLAN FOR DUNLAP JUNCTION PHASE 1, APPROVING CONSTRUCTION OF A 2,412 SQUARE FOOT RESTAURANT, ON A PORTION OF A 1.42 (+/-) ACRE PARCEL, LOCATED BETWEEN LONG HOLLOW PIKE AND RED RIVER ROAD AT 604 LONG HOLLOW PIKE. (8-1290-15)**

**WHEREAS,** The applicant submitted an application for a Final Master Development Plan consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance, and

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** considered the Final Master Development Plan submitted by the applicant, Bruce Rainey and Associates, at its regular meeting on December 14, 2015, and

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** reviewed the Final Master Development Plan application, materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

**NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** as follows:

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Tennessee Code Annotated §13-3-104; §13-4-103; §13-4-104; & §13-7-201 and G.Z.O. Article 12, §12.02.020 and §12.02.030:

1. The Final Master Development Plan is in agreement and consistent with the intent and recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan for the area, and in particular, the Neighborhood Center Character Area Category.
2. The Final Master Development Plan is consistent with the purpose and intent of the Planned Neighborhood Commercial (PNC) zone district, the Preliminary Master Development Plan for Dunlap Junction (PC File# 3-793-15) and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in the PNC zoning district.
3. The Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
4. The legal purposes for which zoning regulations exists have not been contravened.
5. The Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by

applying design and performance standards or is justified by the public good or welfare.

6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – Staff recommends that the Planning Commission approve Resolution 2015-144, for the Final Master Development Plan for Dunlap Junction Phase 1, consisting of a four (4) sheet plan prepared by Bruce Rainey and Associates of Hendersonville, TN with Job Number 150061, dated October 27, 2015 with a final revision date of December 3, 2015, and Architectural Elevations, consisting of one (1) sheet, prepared by Matchett and Associates Architects of Gallatin, TN with Project Number 1524, dated October 28, 2015, with the following conditions:

1. Provide three (3) half sized copies of the Dunlap Junction PMDP (PC File# 3-793-15) showing the relocated access on Red River Road and new detention/water quality basin pond location.
2. Provide sign package or at least a preliminary design for the monument sign.
3. Provide additional landscaping along the eastern property boundary to complete the required Type 15 Bufferyard.
4. Show a Thermoplastic stopbar and stop signs at both entrances.
5. Provide a Complete Set of Drainage Calculation prior to final staff approval. Site Plan must match approved calculations.
6. Provide a copy of TDEC Notice of Coverage when available.
7. Provide a copy of Recorded Stormwataer Maintenance Agreement.
8. A Site Surety, in an amount to be calculated by the applicant, is required prior to the issuance of a building permit.
9. Submit three (3) corrected folded copies of the Amended Preliminary Master Development Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.  
PRESENT AND VOTING

AYE:

NAY:

DATED: 12/14/15

---

Dick Dempsey, Chairman

---

Johnny Wilson, Secretary

APPROVED AS TO FORM:

---

SUSAN HIGH-MCAULEY  
CITY ATTORNEY

## ITEM 8



**PLANNING DEPARTMENT STAFF REPORT**  
**Final Master Development Plan – Dunlap Junction Phase 1**  
**(Whitt's BBQ)**  
**(8-1290-15)**  
**604 Long Hollow Pike**  
**Date: November 12, 2015**

**REQUEST:** OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL MASTER DEVELOPMENT FOR DUNLAP JUNCTION PHASE 1 TO CONSTRUCT A 2,412 SQUARE FOOT RESTAURANT ON A PORTION OF A 1.42 (+/-) ACRE PARCEL, ZONED PLANNED NEIGHBORHOOD COMMERCIAL (PNC), LOCATED AT 604 LONG HOLLOW PIKE.

**OWNER:** STEVEN DUNLAP  
**APPLICANT:** BRUCE RAINEY AND ASSOCIATES  
**STAFF RECOMMENDATION:** APPROVAL OF RESOLUTION 2015-144  
**STAFF CONTACT:** KEVIN CHASTINE, AICP  
**PLANNING COMMISSION DATE:** DECEMBER 14, 2015

**PROPERTY OVERVIEW:** The owner and applicant requests approval of a Final Master Development Plan for Dunlap Junction, Phase 1 to construct of a 2,412 square foot Whitt's BBQ on a portion of a 1.42 (+/-) acre parcel. The parcel is zoned Planned Neighborhood Commercial (PNC) and is located at 604 Long Hollow Pike. (Attachment 8-1) The applicant is requesting the Food Service use for Phase 1. The Food Service use is permitted within the PNC zone district. (Attachment 8-2)

**CASE BACKGROUND:**

***Previous Approvals***

On May 18, 2009, the Planning Commission recommended approval of a rezoning with preliminary master development plan for Carter's Junction (PC File# 3-29-08) (Attachment 11-3). On July 7, 2009, City Council passed Ordinance No. Ø0905-39, which rezoned the property from Commercial Services-Limited (CSL) to Planned Neighborhood Commercial (PNC) and approved the PMDP for Carter's Junction. The PMDP included a 11,200 square foot building with an accessory 2,400 square foot private garage on 1.42 (+/-) acre parcel.

Prior to approval of the Carter's Junction rezoning and PMDP, a deed for this property indicated that it was previously the site of a "*dwelling house and outbuildings [were] located on said lot*". (Recorded on January 14, 1942 in Deed Book 120 Page 445)

On July 27, 2015, the Planning Commission recommended approval of a Preliminary Master Development Plan for Dunlap Junction (PC File# 3-793-15) (Attachment 8-3). On September 15, 2015, City Council passed Ordinance No. O15Ø8-53, which approved the PMDP for Dunlap Junction.

**DISCUSSION:**

***Proposed Development***

The owner and applicant are requesting approval of a Final Master Development Plan for Dunlap Junction Phase 1 to construct a 2,412 square foot restaurant (Whitt's BBQ).

The FMDP for Phase 1 covers the eastern portion of the 1.42 (+/-) acre parcel. Presumably, Phase 2 will be submitted in the future and will require a PMDP amendment to be reviewed by the Planning Commission and City Council.

The property is identified as a Neighborhood Center Character Area on the *Gallatin On The Move 2020* Community Character Map. The Planned Neighborhood Commercial (PNC) zoning is consistent with the Plan.

***Proposed Uses***

Dunlap Junction, Phase 1 will include a Whitt's BBQ restaurant. The food service use is permitted in the Planned Neighborhood Commercial (PNC) zone district.

***Floodplain and Floodway***

No portion of this property is located within a special flood hazard area according to FIRM Panel Numbers #47165C0314G.

***Buildings and Architectural Elevations***

The proposed architectural elevations (Sheet A2.1) for Phase 1 show a one-story gable front asymmetrical building. The rectangular building plan is sheathed in 100 percent brick with a gable roof and an eave height of eight (8) feet and eight (8) inches and ridge height of 16 feet and six (6) inches.

The front elevation (Long Hollow Pike) contains the gable roof above a wall that contains a single entrance door to the left of the elevation and five (5) single pane fixed windows distributed evenly through the remainder of the elevation with a canvas awning extending across the front elevation from the door to the last window.

The rear elevation (Red River Road) contains the gable roof above a brick and cement fiber board siding wall that contains three (3) single pane fixed windows distributed symmetrically within the wall.

The west side elevation is 100 percent brick and contains a drive-thru window that is covered by a gable roof. The drive-thru window and gable roof project outward from the wall to break up the long flat expanse of brick on this elevation. The drive-thru window provides a change in materials along the elevation being sheathed entirely in fiber cement siding.

The east side elevation is also 100 percent brick and contains a single fixed pane window at the left of the elevation directly adjacent to a single entrance door. A double door is placed just right of center along this elevation to permit deliveries to the rear of the restaurant.

As submitted these architectural elevations exceed the masonry requirement in Section 13.08.010.A of the Gallatin Zoning Ordinance. Staff recommends the Planning Commission approve the proposed architectural elevations as submitted.

***Waste Disposal***

The FMDP indicates a dumpster enclosure to be located at the northeast corner of Phase 1, approximately 30 feet from Red River Road right-of-way. The dumpster enclosure is screened with a heavily landscaped buffer of 12 Stevens Hollies and a six (6) foot high brick walled enclosure that matches the building. The dumpster enclosure shall comply with Municipal Code Section 14-14.a.

***Bufferyard and Landscaping***

Type 15, 20, and 30 bufferyards are required on this site. The applicant has shown the required Type 15 bufferyard along the eastern and northern property boundaries (adjacent to Red River Road) and the Type 20 bufferyard along the southern property boundary. The applicant is providing an alternative Type 30 bufferyard on the west and northwest property boundary.

The Alternative Type 15 Bufferyard, along the eastern property boundary, is 15 feet in width with only five (5) total trees. There are three (3) Red Maples and two (2) Flowering Cherry or Redbud trees. There is an 80 foot wide gap between the proposed trees that requires additional landscape material to meet the Type 15 Bufferyard requirements.

The Alternative Type 30 bufferyard contains all required landscape material, but does not contain an opaque barrier as required by Section 13.04.090.E. The Type 30 bufferyard is required because the adjacent property is zoned Residential-15, but is used as a Place of Worship. These bufferyards were approved as part of the PMDP for Dunlap Junction.

The plan also meets or exceeds all interior parking landscape requirements and parking lot screening requirements.

The HVAC unit is located on the ground along the rear (north) elevation of the restaurant. The applicant has shown five (5) Skip Laurels as a landscape screen to buffer the view of the HVAC unit from the adjacent drive-thru lane and Red River Road.

***Parking***

Parking requirements are based on the use of the property. The Food Service use requires one (1) parking space for every four (4) seats within the restaurant. The PMDP indicates the proposed restaurant has a seating capacity of 25, which would require seven (7) parking spaces. The plan indicates 23 parking spaces, including two (2) handicapped parking spaces.

The FMDP exceeds the required number of parking spaces as required in Gallatin Zoning Ordinance Section 11.03 and meets the required handicap accessible parking space as required in Gallatin Zoning Ordinance Section 11.07.

***Access and Right-of-Way***

The parcel has road frontage on both Long Hollow Pike and Red River Road. Due to this, the applicant is requesting two (2) full access points – one on Long Hollow Pike and one on Red River Road. Both access points are proposed as 24 foot wide full access driveways. The Long Hollow Pike driveway is located to align with South Maple Avenue and the Red River Road access is centrally located with the northeast property boundary to provide adequate room for the detention/water quality basin.

***Signage***

A monument sign, with the required five (5) foot setback, is proposed next to the Long Hollow Pike driveway. No monument sign is proposed along Red River Road. Also, no sign details or proposed designs are provided with the FMDP. A sign package and sign permit application is required prior to the construction/installation of any signage on site.

***Planning Department Comments***

The Planning Department reviewed and commented on the Final Master Development Plan. The owner and applicant satisfactorily addressed the Planning Department comments, except those included as conditions of approval.

***Engineering Division Comments***

The Engineering Division reviewed and commented on the Final Master Development Plan. The owner and applicant satisfactorily addressed the Engineering Division comments, except those included as conditions of approval.

***Other Departmental Comments***

Other City Departments reviewed and commented on the Final Master Development Plan. The owner and applicant satisfactorily addressed the other City Department comments, except those included as conditions of approval.

**Findings:**

1. The Final Master Development Plan is in agreement and consistent with the intent and recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan for the area, and in particular, the Neighborhood Center Character Area Category.
2. The Final Master Development Plan is consistent with the purpose and intent of the Planned Neighborhood Commercial (PNC) zone district, the Preliminary Master Development Plan for Dunlap Junction (PC File# 3-793-15) and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in the PNC zoning district.
3. The Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
4. The legal purposes for which zoning regulations exists have not been contravened.
5. The Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.

6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

**RECOMMENDATION:**

Staff recommends that the Planning Commission approve Resolution 2015-144, approving the Final Master Development Plan for Dunlap Junction Phase 1, consisting of a four (4) sheet plan prepared by Bruce Rainey and Associates of Hendersonville, TN with Project Number 150061, dated October 27, 2015 with a final revision date of December 3, 2015, and Architectural Elevations, consisting of one (1) sheet, prepared by Matchett and Associates Architects of Gallatin, TN with Project Number 1524 dated October 28, 2015, with the following conditions:

1. Provide three (3) half sized copies of the Dunlap Junction PMDP (PC File# 3-793-15) showing the relocated access on Red River Road and new detention/water quality basin pond location.
2. Provide sign package or at least a preliminary design for the monument sign.
3. Provide additional landscaping along the eastern property boundary to complete the required Type 15 Bufferyard.
4. Show a Thermoplastic stopbar and stop signs at both entrances.
5. Provide a Complete Set of Drainage Calculation prior to final staff approval. Site Plan must match approved calculations.
6. Provide a copy of TDEC Notice of Coverage when available.
7. Provide a copy of Recorded Stormwater Maintenance Agreement.
8. A Site Surety, in an amount to be calculated by the applicant, is required prior to the issuance of a building permit.
9. Submit three (3) corrected folded copies of the Amended Preliminary Master Development Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

**ATTACHMENTS**

Attachment 8-1	Location Map
Attachment 8-2	PNC Zoning (Ordinance 0905-39)
Attachment 8-3	PMDP for Dunlap Junction (3-793-15)
Attachment 8-4	Dunlap Junction - Final Master Development Plan



Prepared By: Kevin Chastine, AICP  
Prepared On: November 16, 2015

## Location Map

Dunlap Junction Ph. 1 (Whitt's BBQ)  
Final Master Development Plan  
PC File# 8-1290-15



8-1

ORDINANCE NO. 00905-39

ORDINANCE AMENDING ZONING ORDINANCE OF THE CITY OF GALLATIN, TENNESSEE BY AMENDING COMMERCIAL SERVICES LIMITED (CSL) ZONE DISTRICT TO PLANNED NEIGHBORHOOD COMMERCIAL (PNC) ZONE DISTRICT, - 1.42 (+/-) ACRES - ELBERT CARTER AND LINDA B. CARTER, OWNER(S), S.B.E. TAX MAP #126B/A/011.00 LOCATED AT 604 LONG HOLLOW PIKE.

WHEREAS, THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION, pursuant to Section 15.07.040 of the Gallatin Zoning Ordinance has reviewed and recommended approval of this amendment; and

WHEREAS, notice and public hearing before the Gallatin City Council has or will occur before final passage of this amendment pursuant to Section 15.07.060.

NOW THEREFORE BE IT ORDAINED BY THE CITY OF GALLATIN, TENNESSEE, as follows:

1. That based upon recommendation of approval by the Gallatin Municipal Planning Commission (Section 15.07.040) and notice to adjacent owners, public notice, and after public hearing in compliance with Section 15.07.060 of the Gallatin Zoning Ordinance, the zone of the real property described in Exhibit A, attached hereto, and further defined in Exhibit B, Master Development Plan - Carter's Junction, attached hereto, shall be amended from the regular zoning district of Commercial Services Limited (CSL) to the regular zoning district of Planned Neighborhood Commercial (PNC), and the Master Development Plan is approved.
2. In accordance with Section 15.07.080 of the Gallatin Zoning Ordinance, the official zoning map of the City of Gallatin, Tennessee, shall, upon the effective date of this ordinance, be amended to reflect the zoning change herein made.

BE IT FURTHER ORDAINED BY THE CITY OF GALLATIN, TENNESSEE, that this Ordinance shall take effect upon final passage, the public welfare requiring such.

PASSED FIRST READING: June 2, 2009.

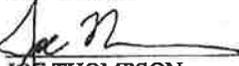
PASSED SECOND READING: July 7, 2009.

  
MAYOR JO ANN GRAVES

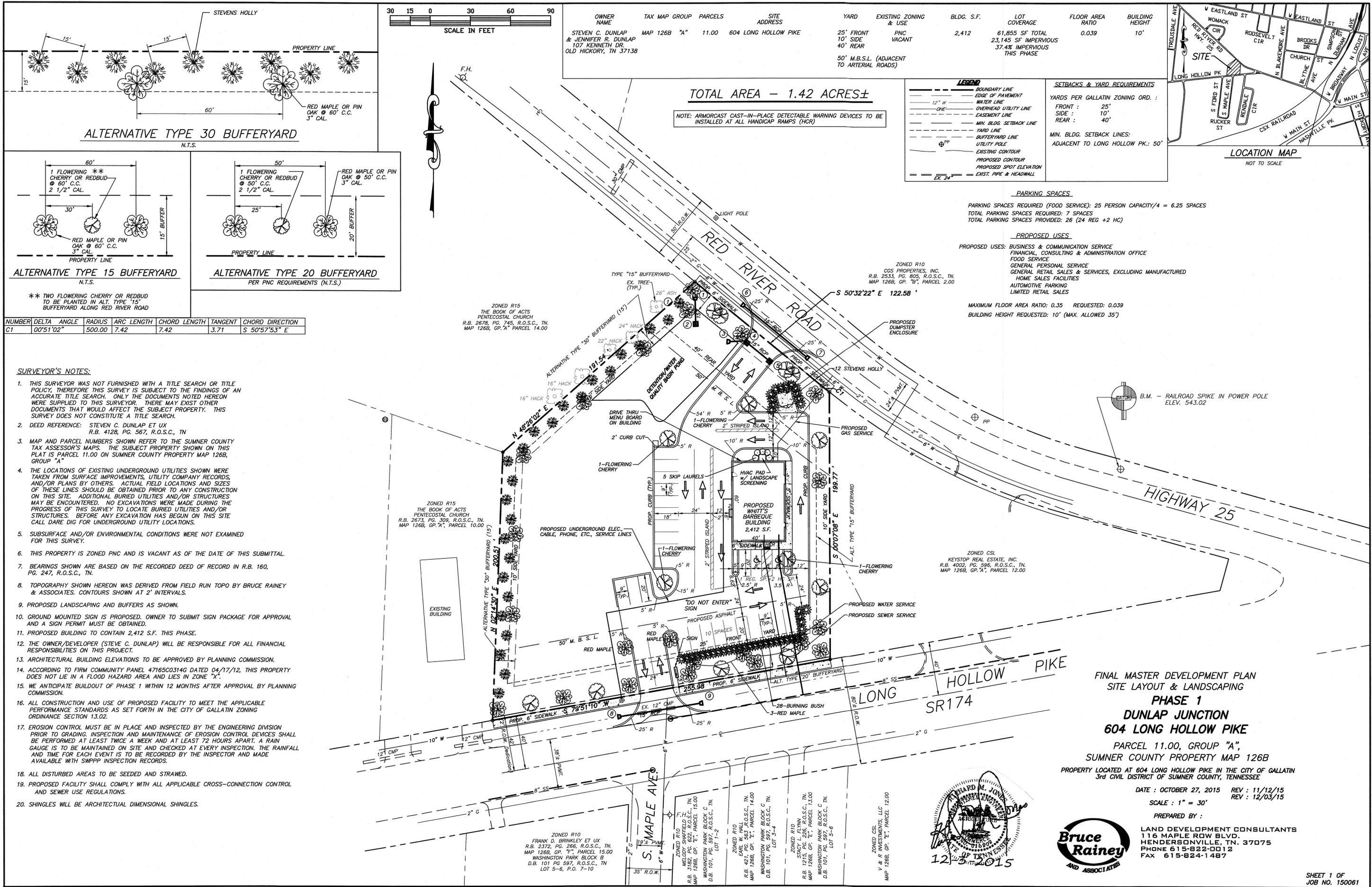
ATTEST:

  
CONNIE KITTRELL  
CITY RECORDER

APPROVED AS TO FORM:

  
JOE THOMPSON  
CITY ATTORNEY



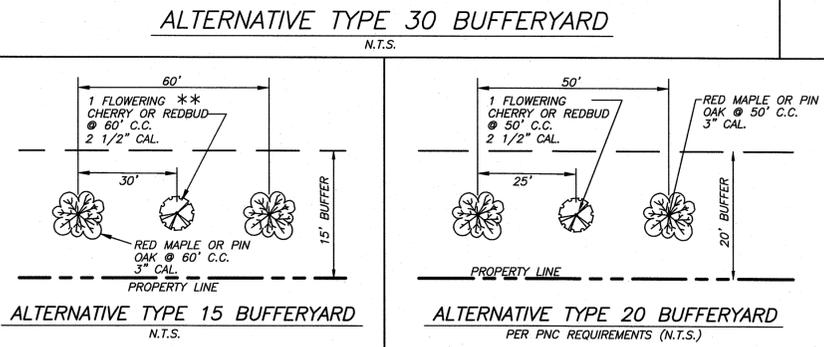
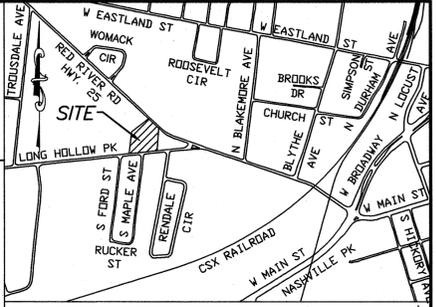


OWNER NAME	TAX MAP GROUP	PARCELS	SITE ADDRESS	YARD	EXISTING ZONING & USE	BLDG. S.F.	LOT COVERAGE	FLOOR AREA RATIO	BUILDING HEIGHT
STEVEN C. DUNLAP & JENNIFER R. DUNLAP 107 KENNETH DR OLD HICKORY, TN 37138	MAP 126B "A"	11.00	604 LONG HOLLOW PIKE	25' FRONT 10' SIDE 40' REAR 50' M.B.S.L. (ADJACENT TO ARTERIAL ROADS)	PNC VACANT	2,412	61,855 SF TOTAL 23,145 SF IMPERVIOUS 37.4% IMPERVIOUS THIS PHASE	0.039	10'

**TOTAL AREA - 1.42 ACRES±**

NOTE: ARMORCAST CAST-IN-PLACE DETECTABLE WARNING DEVICES TO BE INSTALLED AT ALL HANDICAP RAMPS (HCR)

LEGEND		SETBACKS & YARD REQUIREMENTS	
---	BOUNDARY LINE	YARDS PER GALLATIN ZONING ORD. :	
---	EDGE OF PAVEMENT	FRONT :	25'
---	12" W WATER LINE	SIDE :	10'
---	OVERHEAD UTILITY LINE	REAR :	40'
---	EASEMENT LINE		
---	MIN. BLDG. SETBACK LINE	MIN. BLDG. SETBACK LINES:	
---	YARD LINE	ADJACENT TO LONG HOLLOW PK.:	50'
---	BUFFER YARD LINE		
---	UTILITY POLE		
---	EXISTING CONTOUR		
---	PROPOSED CONTOUR		
---	PROPOSED SPOT ELEVATION		
---	EXIST. PIPE & HEADWALL		



\*\* TWO FLOWERING CHERRY OR REDBUD TO BE PLANTED IN ALT. TYPE '15' BUFFERYARD ALONG RED RIVER ROAD

NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT	CHORD DIRECTION
C1	00°51'02"		500.00	7.42	7.42	3.71	S 50°57'53" E

- SURVEYOR'S NOTES:**
- THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE POLICY, THEREFORE THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH.
  - DEED REFERENCE: STEVEN C. DUNLAP ET UX R.B. 4128, PG. 567, R.O.S.C., TN
  - MAP AND PARCEL NUMBERS SHOWN REFER TO THE SUMNER COUNTY TAX ASSESSOR'S MAPS. THE SUBJECT PROPERTY SHOWN ON THIS PLAT IS PARCEL 11.00 ON SUMNER COUNTY PROPERTY MAP 126B, GROUP "A"
  - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM SURFACE IMPROVEMENTS, UTILITY COMPANY RECORDS, AND/OR PLANS BY OTHERS. ACTUAL FIELD LOCATIONS AND SIZES OF THESE LINES SHOULD BE OBTAINED PRIOR TO ANY CONSTRUCTION ON THIS SITE. ADDITIONAL BURIED UTILITIES AND/OR STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES AND/OR STRUCTURES. BEFORE ANY EXCAVATION HAS BEGUN ON THIS SITE CALL DARE DIG FOR UNDERGROUND UTILITY LOCATIONS.
  - SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED FOR THIS SURVEY.
  - THIS PROPERTY IS ZONED PNC AND IS VACANT AS OF THE DATE OF THIS SUBMITTAL.
  - BEARINGS SHOWN ARE BASED ON THE RECORDED DEED OF RECORD IN R.B. 160, PG. 247, R.O.S.C., TN.
  - TOPOGRAPHY SHOWN HEREON WAS DERIVED FROM FIELD RUN TOPO BY BRUCE RAINEY & ASSOCIATES. CONTOURS SHOWN AT 2' INTERVALS.
  - PROPOSED LANDSCAPING AND BUFFERS AS SHOWN.
  - GROUND MOUNTED SIGN IS PROPOSED. OWNER TO SUBMIT SIGN PACKAGE FOR APPROVAL AND A SIGN PERMIT MUST BE OBTAINED.
  - PROPOSED BUILDING TO CONTAIN 2,412 S.F. THIS PHASE.
  - THE OWNER/DEVELOPER (STEVE C. DUNLAP) WILL BE RESPONSIBLE FOR ALL FINANCIAL RESPONSIBILITIES ON THIS PROJECT.
  - ARCHITECTURAL BUILDING ELEVATIONS TO BE APPROVED BY PLANNING COMMISSION.
  - ACCORDING TO FIRM COMMUNITY PANEL 47165C0314G DATED 04/17/12, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AND LIES IN ZONE "X".
  - WE ANTICIPATE BUILDOUT OF PHASE 1 WITHIN 12 MONTHS AFTER APPROVAL BY PLANNING COMMISSION.
  - ALL CONSTRUCTION AND USE OF PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.
  - EROSION CONTROL MUST BE IN PLACE AND INSPECTED BY THE ENGINEERING DIVISION PRIOR TO GRADING, INSPECTION AND MAINTENANCE OF EROSION CONTROL DEVICES SHALL BE PERFORMED AT LEAST TWICE A WEEK AND AT LEAST 72 HOURS APART. A RAIN GAUGE IS TO BE MAINTAINED ON SITE AND CHECKED AT EVERY INSPECTION. THE RAINFALL AND TIME FOR EACH EVENT IS TO BE RECORDED BY THE INSPECTOR AND MADE AVAILABLE WITH SWPPP INSPECTION RECORDS.
  - ALL DISTURBED AREAS TO BE SEEDED AND STRAWED.
  - PROPOSED FACILITY SHALL COMPLY WITH ALL APPLICABLE CROSS-CONNECTION CONTROL AND SEWER USE REGULATIONS.
  - SHINGLES WILL BE ARCHITECTUAL DIMENSIONAL SHINGLES.

**FINAL MASTER DEVELOPMENT PLAN  
SITE LAYOUT & LANDSCAPING  
PHASE 1  
DUNLAP JUNCTION  
604 LONG HOLLOW PIKE**

PARCEL 11.00, GROUP "A",  
SUMNER COUNTY PROPERTY MAP 126B  
PROPERTY LOCATED AT 604 LONG HOLLOW PIKE IN THE CITY OF GALLATIN  
3rd CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

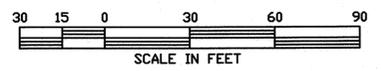
DATE : OCTOBER 27, 2015 REV : 11/12/15  
SCALE : 1" = 30' REV : 12/03/15

PREPARED BY :  
**Bruce Rainey AND ASSOCIATES**  
LAND DEVELOPMENT CONSULTANTS  
116 MAPLE ROW BLVD.  
HENDERSONVILLE, TN. 37075  
PHONE 615-822-0012  
FAX 615-824-1487



STRUCTURES					
I.D.	TYPE	**SD STRUCTURE NO.	JBS F & G	T.C.	INVERT
1	*HEADWALL	ET-202	---	---	528.40
2	OUTLET STRUCTURE	---	---	---	528.65
3	*HEADWALL	ET-202	---	---	529.00
4	SINGLE INLET	SRS-500	1-3103V	531.70	529.06
5	SINGLE INLET	SRS-500	1-3103V	531.70	529.30
6	*HEADWALL	ET-202	---	---	528.70
7	*HEADWALL	ET-200	---	---	529.40
8	*HEADWALL	ET-202	---	---	534.30
9	HEADWALL	ET-200	---	---	534.70

PIPE CHART		
I.D.	L.F.	SIZE & TYPE
1-2	18	15" RCP
3-4	11	15" RCP
4-5	24	15" RCP
6-7	60	15" RCP
8-9	60	15" RCP

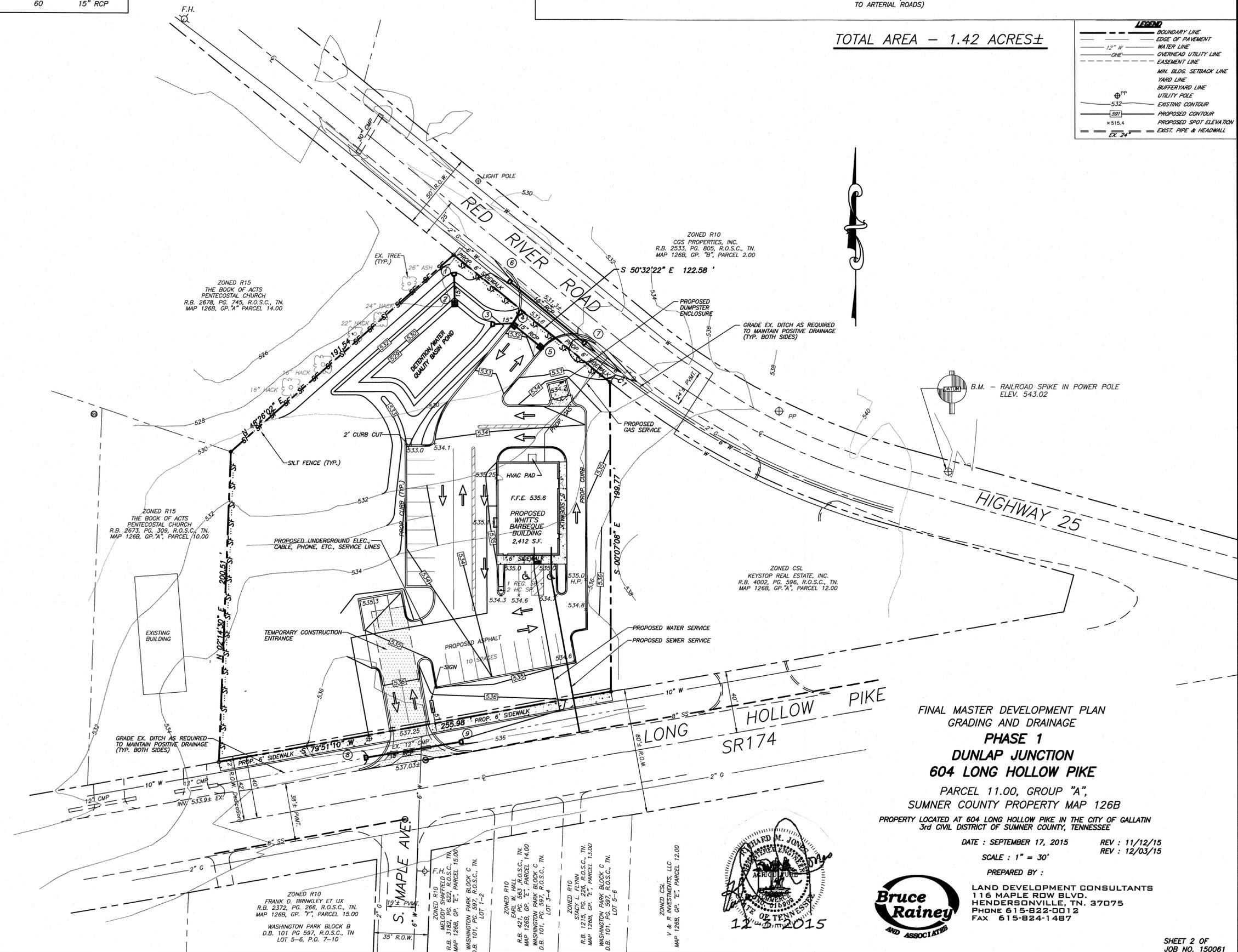


OWNER NAME	TAX MAP GROUP	PARCELS	SITE ADDRESS	YARD	EXISTING ZONING & USE	BLDG. S.F.	LOT COVERAGE	FLOOR AREA RATIO	BUILDING HEIGHT
STEVEN C. DUNLAP & JENNIFER R. DUNLAP 107 KENNETH DR. OLD HICKORY, TN 37138	MAP 126B "A"	11.00	604 LONG HOLLOW PIKE	25' FRONT 10' SIDE 40' REAR	PNC VACANT	2,412	61,855 SF TOTAL 23,145 SF IMPERVIOUS 37.4% IMPERVIOUS THIS PHASE	0.039	10'

\* HEADWALL WITH ENERGY DISSIPATORS  
\*\* STRUCTURES TO BE SHERMAN DIXIE OR EQUIVALENT

TOTAL AREA - 1.42 ACRES±

LEGEND	
---	BOUNDARY LINE
---	EDGE OF PAVEMENT
---	12" W WATER LINE
---	OVERHEAD UTILITY LINE
---	EASEMENT LINE
---	MIN. BLDG. SETBACK LINE
---	YARD LINE
---	BUFFERYARD LINE
PP	UTILITY POLE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION
---	EX. PIPE & HEADWALL



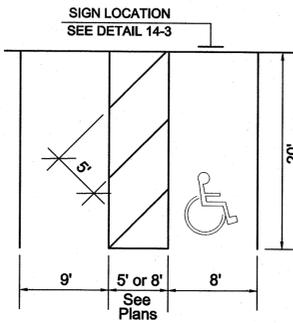
FINAL MASTER DEVELOPMENT PLAN  
GRADING AND DRAINAGE  
PHASE 1  
DUNLAP JUNCTION  
604 LONG HOLLOW PIKE

PARCEL 11.00, GROUP "A",  
SUMNER COUNTY PROPERTY MAP 126B  
PROPERTY LOCATED AT 604 LONG HOLLOW PIKE IN THE CITY OF GALLATIN  
3rd CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE : SEPTEMBER 17, 2015      REV : 11/12/15  
SCALE : 1" = 30'      REV : 12/03/15

PREPARED BY :  
LAND DEVELOPMENT CONSULTANTS  
116 MAPLE ROW BLVD.  
HENDERSONVILLE, TN. 37075  
PHONE 615-822-0012  
FAX 615-824-1487



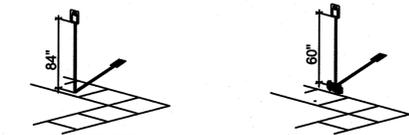


**HANDICAP PARKING LAYOUT**

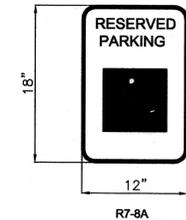
**ADA NOTES:**

ALL WORK PERFORMED BY THE CONTRACTOR SHALL COMPLY WITH THE PERTINENT PROVISION OF THE ADA-ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, ISSUED BY THE U.S. ARCHITECTURAL AND TRANSPORTATION BARRIER COMPLIANCE BOARD.

DETECTABLE WARNING SHALL COMPLY WITH THE NEW ADA REGULATIONS-SECTION 4.29. DETECTABLE WARNING COLOR SHALL BE YELLOW.



**SIGN MOUNTING HEIGHTS**

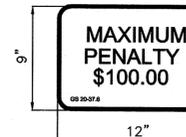


TYPE R7-8 OR R7-8A SIGN APPROVED FOR USE UNDER G.S.20-37.6

LEGEND AND BORDER - GREEN  
WHITE SYMBOL ON BLUE BACKGROUND  
BACKGROUND - WHITE

BEGINNING JANUARY 1, 1979 ALL ACCESSIBLE PARKING SPACES (INCLUDING THOSE SPACES EXISTING PRIOR TO JULY 1, 1979)

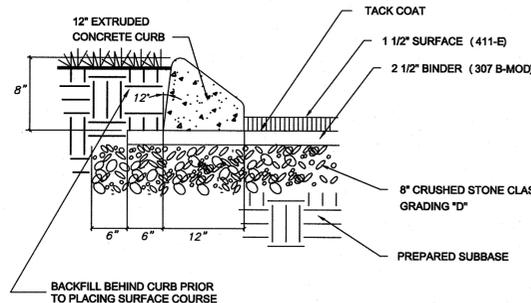
SHALL BE REQUIRED BY GENERAL STATUTE TO BE IDENTIFIED BY AN R7- OR R7-8A SIGN.



R7-8D PENALTY SIGNS ARE REQUIRED TO ACCOMPANY ALL R7-8 OR R7-8A PARKING SIGNS ERECTED AFTER DECEMBER 31, 1990.

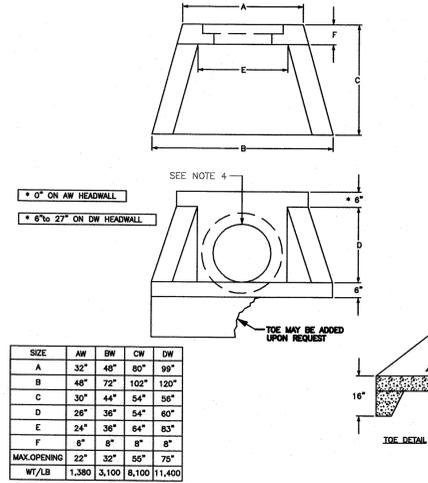
**SITE HANDICAP DETAILS**

N.T.S.



**TYP. ASPHALT PAVING & MOUNTABLE CURB DETAIL**

N.T.S.



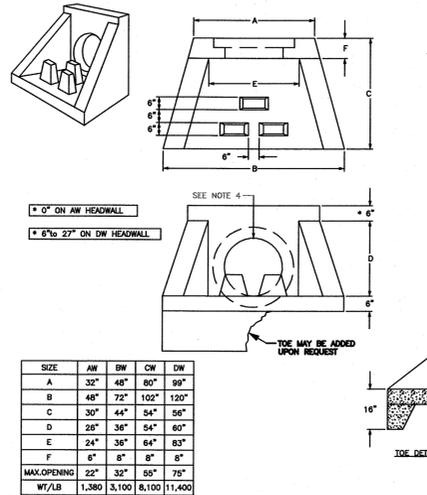
**GENERAL NOTES:**

- 1.1 MAT OF #5 BARS @ 8" O.C. EACH WAY WITH EXCEPTION OF OVER OPENING WHICH WILL BE #5 BARS @ 4" O.C. EACH WAY
- 2.Fc - 4500 Psi
- 3.9y - 60 Ksi
- 4.PIPE OPENING IN FACE OF WALL WILL EQUAL PIPE I.D. FOR 12"-36" DIA. PIPE

AVAILABLE MARKETS: TN-AL

SHERMANDIXIE

PRECAST HEADWALL DETAIL SCALE: NTS P/N 1-800-737-0707 DWG# ET-200 DATE:02/17/06 SHEET# 1 OF 1



**GENERAL NOTES:**

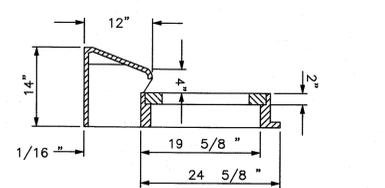
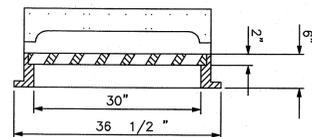
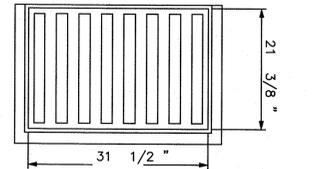
- 1.1 MAT OF #5 BARS @ 8" O.C. EACH WAY WITH EXCEPTION OF OVER OPENING WHICH WILL BE #5 BARS @ 4" O.C. EACH WAY
- 2.Fc - 4500 Psi
- 3.9y - 60 Ksi
- 4.PIPE OPENING IN FACE OF WALL WILL EQUAL PIPE I.D. FOR 12"-36" DIA. PIPE
- 5.ENERGY DISSIPATORS, AS NEEDED (12"x6"x12")

AVAILABLE MARKETS: TN-AL

SHERMANDIXIE

PRECAST HEADWALL DETAIL WITH DISSIPATORS SCALE: NTS P/N 1-800-737-0707 DWG# ET-202 DATE:02/17/06 SHEET# 1 OF 1

**JBS 3103**



**TRAFFIC DUTY**

OPEN AREA = 1.98 SQ FT

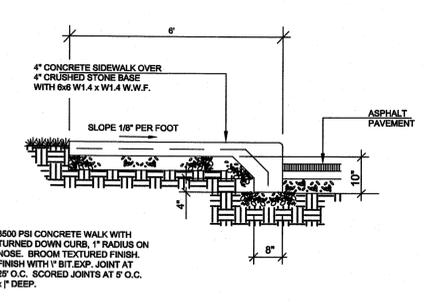
FRAME ..... 285 lb

GRATE ..... 220 lb

CURB BOX ..... 200 lb

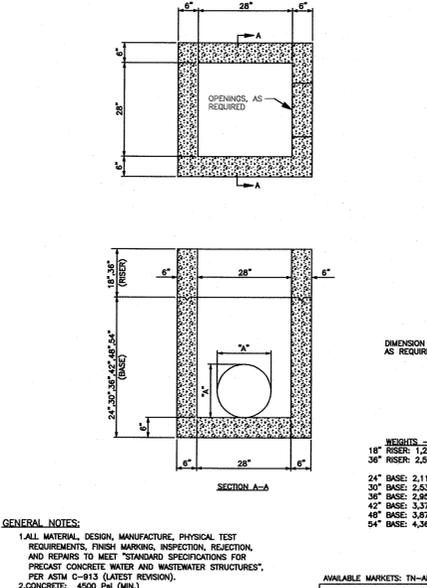
TOTAL ..... 705 lb

**MOUNTABLE CURB INLET FRAME & GRATE** SCALE: NTS **JBS 3103**



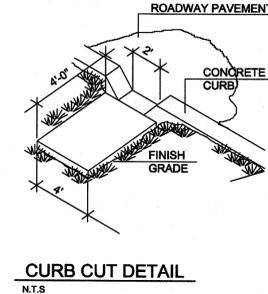
**CONCRETE WALK W/TURNDOWN**

N.T.S.



**CONCRETE JOINT FOR WALKS**

N.T.S.



**CURB CUT DETAIL**

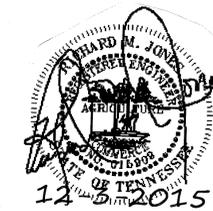
N.T.S.

**Erosion and Sediment Control Notes**

1. All sediment and erosion control measures, such as silt fence, silt ponds or inlet sediment barriers shall conform to the storm water permitting requirements of the Tennessee Department of Environment and Conservation and the "Tennessee Erosion and Sediment Control Handbook," as a minimum.
2. Erosion control to be inspected and approved prior to all other work being started.
3. The time of exposure of unprotected soils shall be kept to a maximum of 20 days. Refer to the Tennessee Dept. of Environment and Conservation, Erosion and Sediment Control Handbook, latest edition; section TS for areas to be stabilized that do not require permanent stabilization such as building footprints, parking lots, etc.
4. Keep dust within tolerable limits by sprinkling or other acceptable means. Refer to the Tennessee Dept. of Environment and Conservation, Erosion and Sediment Control Handbook section PAM.
5. No other work will be initiated on the project until the erosion/sediment control measures shown on the plans and details are properly in place.
6. Silt fence shown thus (SF-SF-SF-SF) are to be used as temporary sediment barriers. Silt fence shall be installed as per section SF of the Tennessee Dept. of Environment and Conservation, Erosion and Sediment Control Handbook, latest edition.
7. If, at any time during the construction phase of this project, the erosion/sediment control measures installed fail to function properly, need maintenance or repair, or need new replacement of any kind, the contractor will effect such actions as are needed to correct the situation at no additional cost to the owner. All measures are to be inspected after each rain event. Any measures needing replacement will be corrected within 5 days of the rain event.
8. Disturbed areas are to be graded to drain as indicated on the plan to sediment barriers during and upon completion of construction.
9. All stripped or cut/filled areas requiring permanent vegetation are to have a minimum of 6-inch depth topsoil cover. Areas dressed with topsoil will receive 12 pounds per 1000 square feet of 6-12-12 fertilizer, refer to section PS of the Tennessee Dept. of Environment and Conservation, Erosion and Sediment Control Handbook, latest edition to determine seed type and seeding rates along with seedbed preparation and plant selection and straw mulch of 75% coverage (approximately 125 pounds per 1000 square feet) except as otherwise shown on plan. Areas shall be watered to not cause runoff.
10. All stockpiled soil should be stabilized using temporary vegetation. Refer to the Tennessee Dept. of Environment and Conservation, Erosion and Sediment Control Handbook, latest edition, section TS.
11. Upon stabilization of the site with a good (acceptable) stand of grass and/or ground cover, the erosion/sediment control installations will be removed and the area disturbed will be seeded and mulched with the same treatment as other new grassed areas of the project.
12. A stone access ramp is to be constructed at the site entrance with a minimum width of 20 feet and a minimum length of 100 feet. The ramp is to be based with 6 inches of ASTM D-445, size No. 1 stone, and maintained throughout construction.
13. Prior to the issuance of a grading permit, all erosion and sediment control measurements indicated on the plans and any additional measure requested by the City shall be installed.
14. Buffer zones and trees specified for preservation should be clearly indicated on the grading and demolition plans. Buffer zones and trees specified for preservation must be protected through the use of tree protection barriers to the drip line of said trees. These barriers should consist of orange grid fabric staked at the border and/or drip line of preserved buffer zone and/or trees to restrict construction activity and access within the protected areas and/or tree's drip line. A tree protection detail must also be provided.

**GRADING AND DRAINAGE NOTES:**

1. NO TREES SHALL BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS SHOWN ON THE LANDSCAPE PLAN.
2. TOPSOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 4". IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE THE CONTRACTOR SHALL PROVIDE TOPSOIL AS NEEDED.
3. ALL GRADED AREAS SHALL BE SEEDED, MULCHED, FERTILIZED AND WATERED WITHIN 14 DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. STEEP SLOPES (3:1 OR GREATER) SHALL BE TEMPORARILY STABILIZED NOT LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE HAS TEMPORARILY OR PERMANENTLY CEASED. AREAS TO BE MAINTAINED UNTIL A HARDY GRASS GROWTH IS ESTABLISHED IN THE DISTURBED AREAS.
4. CONSTRUCT TEMPORARY EROSION CONTROL AS REQUIRED BY LOCAL AND STATE REGULATIONS PRIOR TO BEGINNING GRADING OPERATIONS.
5. NEW SPOT ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADE AND TOP OF FINISHED PAVEMENT.
6. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND PROPOSED PAVEMENTS. FIELD ADJUSTMENTS OF FINAL GRADES MAY BE NECESSARY.
7. ALL CURBS AND EDGES OF PAVEMENT SHALL BE BACKFILLED WITH TOPSOIL AND SEEDED AND MULCHED, UNLESS OTHERWISE NOTED.
8. ALL PIPES UNDER PAVED AREAS SHALL BE BACKFILLED WITH CRUSHED STONE. ALL PIPES UNDER LAWN AREAS SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL.
9. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING OPENINGS, INCLUDING POSITIVE DRAINAGE IN, AND AROUND SIDEWALK AND CURB CORNERS.
10. ANY AREA THAT IS DISTURBED OUTSIDE OF THE LIMITS OF THE CONSTRUCTION SHOWN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND TO THE SATISFACTION OF THE OWNER(S).
11. ADJUST ANY AND ALL CASTINGS, METER BOXES, AND GRATES TO FINAL GRADES.
12. CONCRETE WALKS SHALL HAVE A BROOM FINISH AND CLASS "A" (3500 P.S.I. COMPRESSIVE STRENGTH) UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL PERMITS, GIVE ALL NOTICES, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
14. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, TAKE CARE TO PROTECT THOSE THAT ARE TO REMAIN, REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO THE LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE, AND COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. ALL UTILITY WORK SHALL BE COMPLETED PRIOR TO PAVING.
15. CONTRACTOR SHALL CALL TENNESSEE ONE CALL (1-800-351-1111) TO LOCATE ALL UTILITIES PRIOR TO BEGINNING WORK.



DATE: 10.23.15  
REV.:  
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REV.:  
SCALE: N.T.S.

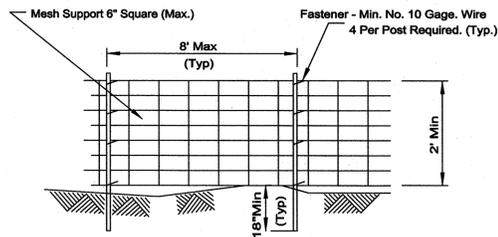
LAND DEVELOPMENT CONSULTANTS  
116 MAPLE ROW BLVD.  
HENDERSONVILLE, TN. 37075  
PHONE 615-828-0012  
FAX 615-824-1487

**ROGERS** ROGERS ENGINEERING GROUP  
114 B WEST MAIN STREET  
Gallatin, Tennessee 37068  
TEL: 615-230-7289 FAX: 615-230-7271  
richard.jones@rogersgroupinc.com

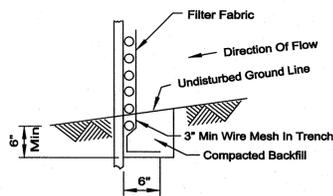
**STANDARD DETAILS - 1**  
**DUNLAP JUNCTION**

SHEET  
3  
OF  
SHEETS  
JOB NO. 150006

**SILT FENCE WITH WIRE SUPPORT PLAN**



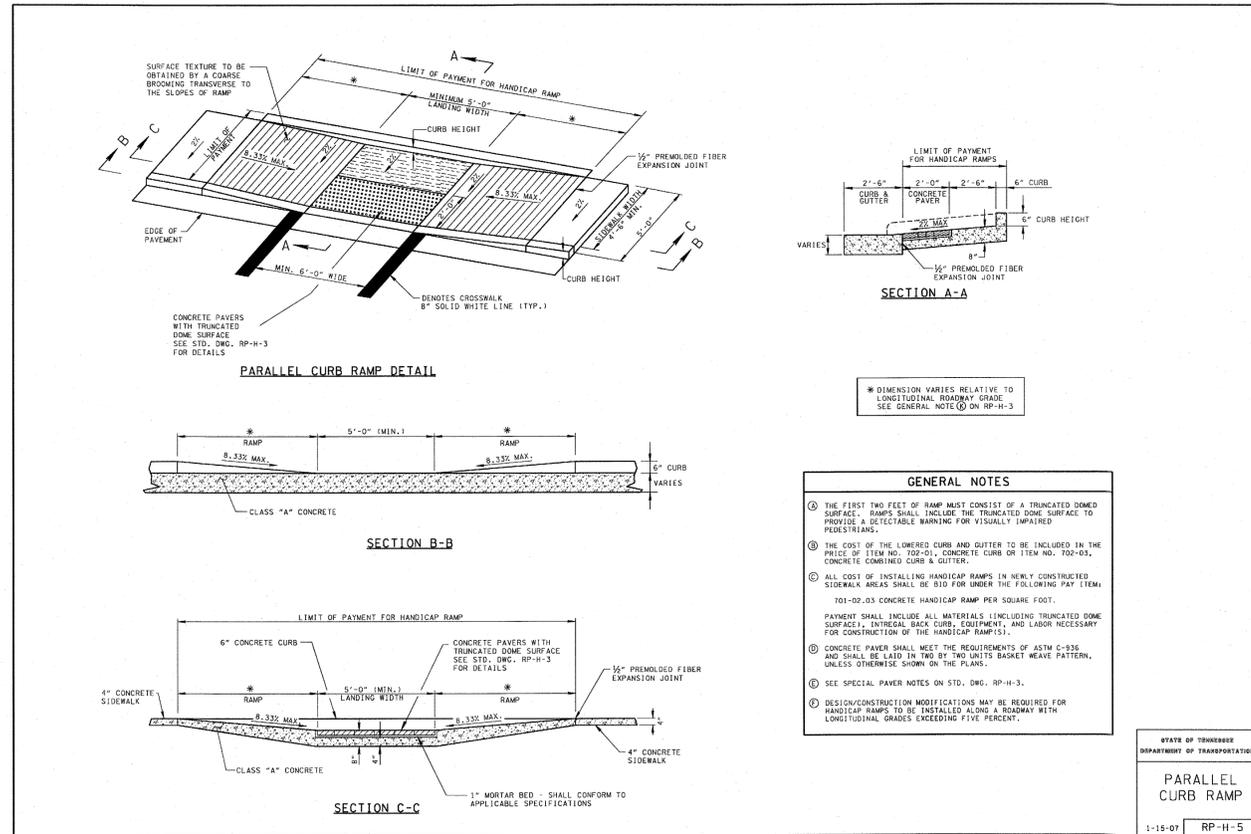
**ELEVATION**



**FABRIC ANCHOR DETAIL**

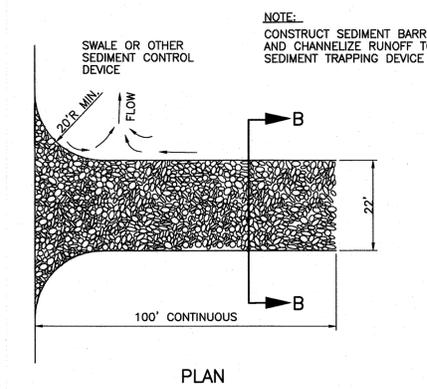
- NOTES:**
1. Wires of mesh support shall be min. gage no. 12.
  2. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
  3. Filter fabric shall meet the requirements of material specification 582 Geotextile Table 1 or 2, Class with equivalent opening size of at least 30 for nonwoven and 50 for woven.
  4. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

Project	_____
Designed	_____
Checked	_____
Approved	_____



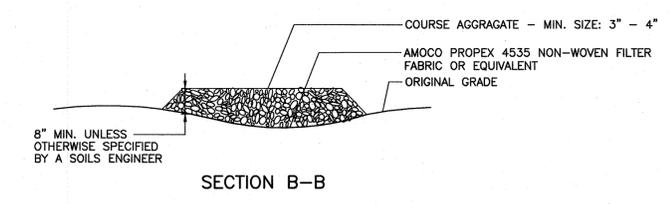
- GENERAL NOTES**
1. THE FIRST TWO FEET OF RAMP MUST CONSIST OF A TRUNCATED DOME SURFACE. RAMP SHALL INCLUDE THE TRUNCATED DOME SURFACE TO PROVIDE A DETECTABLE WARNING FOR VISUALLY IMPAIRED PEDESTRIANS.
  2. THE COST OF THE LOWERED CURB AND GUTTER TO BE INCLUDED IN THE PRICE OF ITEM NO. 102-01, CONCRETE CURB OR ITEM NO. 702-01, CONCRETE COMBINED CURB & GUTTER.
  3. ALL COST OF INSTALLING HANDICAP RAMPS IN NEWLY CONSTRUCTED SIDEWALK AREAS SHALL BE BID UNDER THE FOLLOWING PAY ITEM: 701-02-03 CONCRETE HANDICAP RAMP PER SQUARE FOOT. PAYMENT SHALL INCLUDE ALL MATERIALS (INCLUDING TRUNCATED DOME SURFACE), INTEGRAL BACK CURB, EQUIPMENT, AND LABOR NECESSARY FOR CONSTRUCTION OF THE HANDICAP RAMPS.
  4. CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS OF ASTM C-936 AND SHALL BE LAID IN TWO BY TWO UNITS BASKET WEAVE PATTERN, UNLESS OTHERWISE SHOWN ON THE PLANS.
  5. SEE SPECIAL PAPER NOTES ON STD. DWG. RP-H-3.
  6. DESIGN/CONSTRUCTION MODIFICATIONS MAY BE REQUIRED FOR HANDICAP RAMPS TO BE INSTALLED ALONG A ROADWAY WITH LONGITUDINAL GRADES EXCEEDING FIVE PERCENT.

STATE OF TENNESSEE  
DEPARTMENT OF TRANSPORTATION  
**PARALLEL CURB RAMP**  
1-15-07 RP-H-5



**PLAN**

DESIGN CONSTRUCTION ENTRANCE USING THE LATEST EDITION OF THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK.

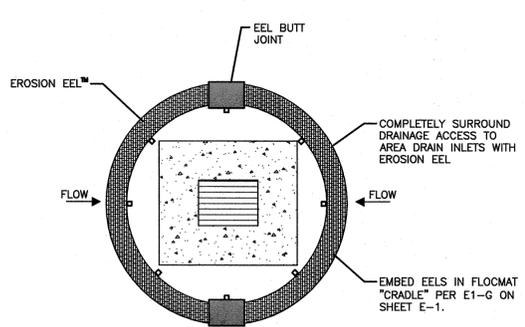


**SECTION B-B**

**CONSTRUCTION ENTRANCE**

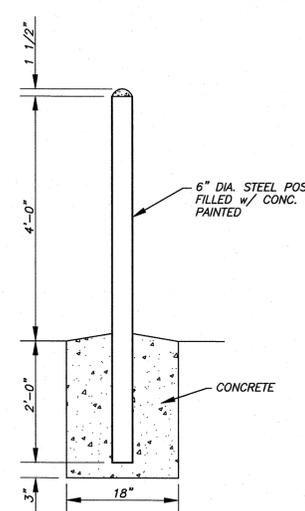
DRAWING NO.	10	SCALE:	NTS	LOCATION:	P:\PW\PROJECTS\500
REVISION DATE:	1-15-07	FILE NAME:	CONENT.DWG	CHECKED BY:	JH
		DRAWN BY:	CM		

CITY OF HENDERSONVILLE  
ONE EXECUTIVE PARK DRIVE  
HENDERSONVILLE, TN 37075

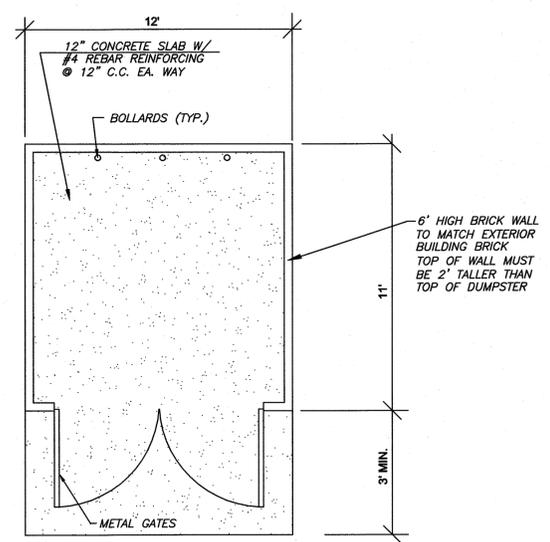


**AREA DRAIN: INLET SEDIMENT TRAP N.T.S.**

- NOTE:** EROSION EELS™ USED FOR INLET PROTECTION SHALL CONSIST OF EITHER MIXTURE SPECIFICATION 1.0 OR 1.1, PER ENGINEER'S RECOMMENDATIONS.
- NOTE:** PERIODIC MAINTENANCE SHALL INCLUDE CLEANING EEL SURFACE WITH HIGH PRESSURE WASH OR BRUSHING SURFACE WITH BROOM.



**BOLLARD DETAIL N.T.S.**



**DUMPSTER ENCLOSURE PLAN N.T.S.**



IF YOU DIG IN TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW

**ROGERS ENGINEERING GROUP**  
114 B WEST MAIN STREET  
Gallatin, Tennessee 37066  
TEL: 615-230-7269 FAX: 615-230-7271  
richard.jones@rogersgroupinc.com

**STANDARD DETAILS - 2**

**DUNLAP JUNCTION**

DATE: 10.26.15  
REV.: \_\_\_\_\_  
REV.: \_\_\_\_\_  
SCALE: N.T.S.

**Bruce Rainey**  
LAND DEVELOPMENT CONSULTANTS  
116 MAPLE ROW BLVD.  
HENDERSONVILLE, TN 37075  
PHONE 615-822-0012  
FAX 615-824-1487

SHEET 4 OF SHEETS  
JOB NO. 150061

Project No. 1524  
Drawn by: \_\_\_\_\_  
Reviewed by: \_\_\_\_\_

**M&A**  
Matchett  
and  
Associates  
Architects

113 East Main St.  
Gallatin, TN 37066  
615/451-1505

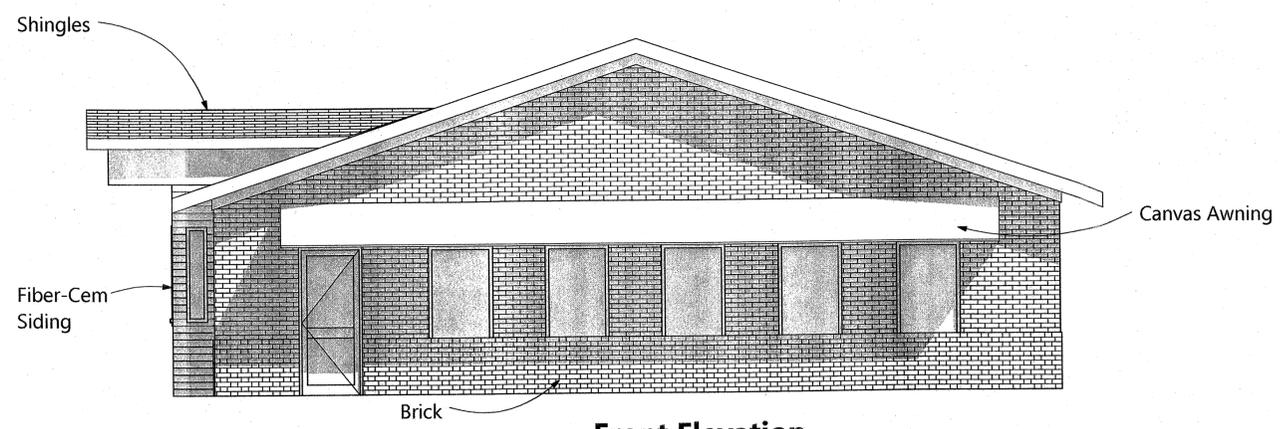
Whitts  
Barbecue  
  
Long  
Hollow  
Pike

Gallatin,  
Tennessee

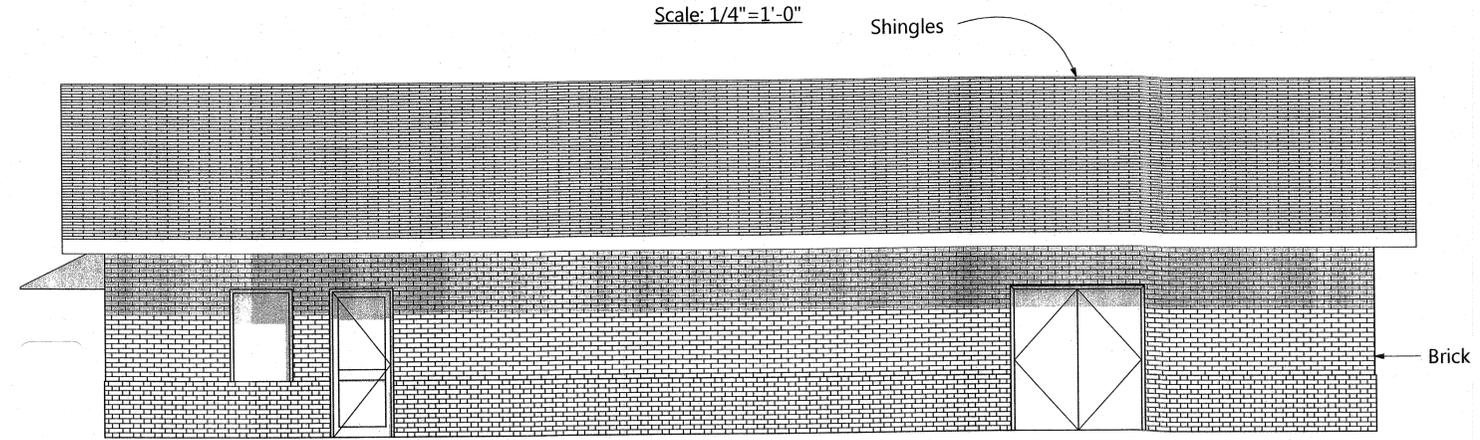
Exterior  
Elevations

Date: 10/28/15  
Revisions:  
Date: \_\_\_\_\_ Mark: \_\_\_\_\_

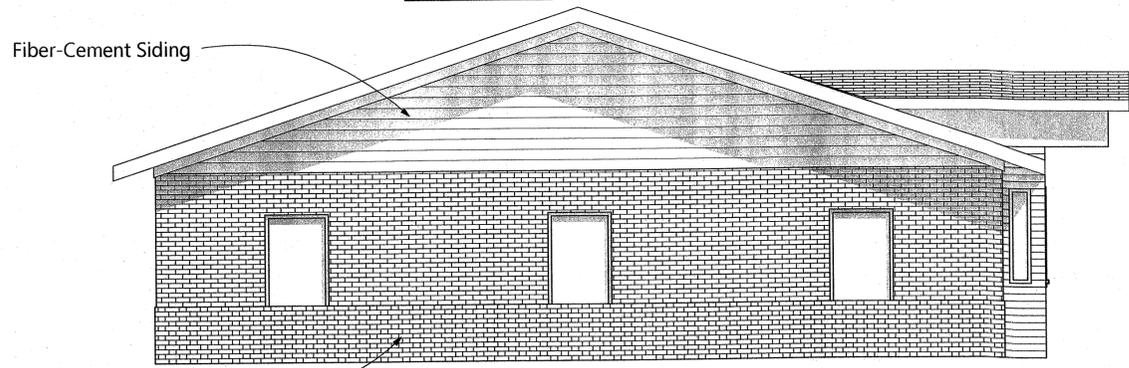
**A-2.1**  
Sheet 5 of 5  
JOB NO. 150061



**Front Elevation**  
Scale: 1/4"=1'-0"



**Right Elevation**  
Scale: 1/4"=1'-0"



**Rear Elevation**  
Scale: 1/4"=1'-0"



**Left Elevation** Scale: 1/4"=1'-0"

**A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FIVE (5) MONTH RENEWAL AND EXTENSION OF THE PERFORMANCE SURETY FOR ALBION DOWNS, PHASE 3 (SUBDIVISION); PC FILE #1-65-05C/1-53-04C**

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** considered a request for a five (5) month renewal and extension of the performance surety for: Albion Downs, Phase 3, (Subdivision); PC File #1-65-05C/1-53-05C, submitted by the applicant, City of Gallatin, at its regular meeting on November 23, 2015 and again at its December 14, 2015 regular meeting;

**WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** reviewed the information presented by City Staff and evidence and testimony presented during the meeting.

**NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION** as follows:

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Gallatin Zoning Ordinance, §15.03.080 and Gallatin Subdivision Regulations, Chapter 3:

1. The renewal and extension of the performance surety will cover the cost of all public improvements and infrastructure not yet completed in the subdivision as determined by the City Engineering Division.
2. The subdivision surety is necessary to protect the public interest as described in Chapter 3, Gallatin Subdivision Regulations.

Section 2. Action - The Gallatin Municipal-Regional Planning Commission hereby approves a five (5) month renewal and extension of the performance surety with the following conditions:

1. A new Letter of credit in the amount of \$77,000 shall be provided to the City of Gallatin by no later than December 16, 2015.
2. It is the intension of the Planning Commission not to extend the performance surety. All Subdivision improvements must be completed by May 14, 2016.
3. Upon completion of all required improvements the development shall submit a request for Acceptance of Dedication to the City Engineering Division and provide a maintenance bond in form and substance acceptable to the City Attorney and City Engineer.

**BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION** that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 12/14/15

\_\_\_\_\_  
Dick Dempsey, Chairman

\_\_\_\_\_  
Johnny Wilson, Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
Susan High-McAuley  
City Attorney



Albion Downs

**City of Gallatin  
Engineering Division  
Transportation and Drainage Infrastructure  
Inspection Report**

<b>Name of Site/Subdivision</b>	Albion Dows	<b>Phase/Section</b>	3
<b>PC #</b>	1-53-05C	<b>Site Contact</b>	Clay Haynes
		<b>Site Contact #</b>	

DATE	REASON FOR INSPECTION				
8-30-2011	X	Surety Inspection	ROW Acceptance	Violation	Other
<b>TRANSPORTATION INFRASTRUCTURE</b>					
Final Surface is not complete as of this inspection.					
<b>DRAINAGE INFRASTRUCTURE</b>					
All drainage infrastructure is installed. Open ditches may need to be regraded and stabilized before acceptance by the City. Detention pond will need to be regraded and stabilized.					
<b>NOTES</b>					<b>INSPECTOR</b>
Renew bond for amount specified by Engineering Division.					Buck Rogers

DATE	REASON FOR INSPECTION				
10-17-12	X	Surety Inspection	ROW Acceptance	Violation	Other
<b>TRANSPORTATION INFRASTRUCTURE</b>					
FINAL SURFACE IS NOT COMPLETE AS OF THIS INSPECTION.					
<b>DRAINAGE INFRASTRUCTURE</b>					
ALL STORM DRAIN PIPE AND STRUCTURES ARE INSTALLED. SOME OF THE OPEN DITCHES STILL NEED TO BE REGRADED AND STABILIZED. THE DETENTION POND NEEDS GRADE WORK AND STABILIZATION. STILL NEED BOX INSTALLED BETWEEN 2 HOUSES TO TIE THE PIPE IN. 2 <sup>ND</sup> GENERATION FOR JIM SWEENEY SAID THEY WOULD INSTALL BUT NOW THEY WONT. SIDEWALKS ARE INSTALLED.					
<b>NOTES</b>					<b>INSPECTOR</b>
RENEW THE BOND AMOUNT PER ENGINEERING DIVISION.					RES

DATE	REASON FOR INSPECTION				
10-31-13	X	Surety Inspection	ROW Acceptance	Violation	Other
<b>TRANSPORTATION INFRASTRUCTURE</b>					
STILL NEEDS FINAL TOPPING,STRIPPING COMPLETED					
<b>DRAINAGE INFRASTRUCTURE</b>					
1.STORM DRAIN PIPES AND CATCH BASINS ARE INSTALLED. 2.DITCHES STILL NEED TO BE REGRADED PER PLANS. 3.THE DETENTION POND STILL NEEDS TO BE REGRADED PER PLANS. 4.STILL NEED BOX INSTALLED BETWEEN 2 HOUSES TO CONNECT 2 PIPES . MR. GUY FROM 2 <sup>ND</sup> GENERATION FOR JIM SWEENEY SAID HE WOULD DO IT BUT NOW HE SAYS HE WONT BUILD IT NOW. IT WAS DONE TO ALLOW HIM TO BUILD A HOME ON THAT LOT.					
<b>NOTES</b>					<b>INSPECTOR</b>
					RES

1-65-05C

DATE	REASON FOR INSPECTION				
11-4-2014	Surety Inspection	X	ROW Acceptance	Violation	Other
<b>TRANSPORTATION INFRASTRUCTURE</b>					
Listed below are issues that need to be corrected before final acceptance of Subdivision.					
1. Install stop bars at all intersections.					
2. Install sidewalk along Seabiscuit Drive from property line to Apartment entrance per plans.					
<b>DRAINAGE INFRASTRUCTURE</b>					
Listed below are issues that need to be corrected before final acceptance of Subdivision.					
1. Clean out all catch basins.					
2. Remove sediment from all drainage pipes.					
3. Remove busted concrete aprons form ditch along eastern boundary.					
4. Mow ditch along eastern boundary. Inspection of ditch was not possible due to dense vegetation. Engineering will reinspect after ditch is mowed.					
5. Backfill headwall and regrade outlet ditch at rear of lots #414/#416.					
6. Install area drain at headwall and pipe inlet between lots #500/#502.					
<b>NOTES</b>					<b>INSPECTOR</b>
Engineering Division will do reinspection after developer makes all corrections.					Buck

DATE	REASON FOR INSPECTION				
09/23/2015	X	Surety Inspection	ROW Acceptance	Violation	Other
<b>TRANSPORTATION INFRASTRUCTURE</b>					
Install thermoplastic stopbars and crosswalks.					
Install truncated domes (DWS) to accessible ramps.					
Install sidewalk along Seabiscuit Drive from property line to Apartment entrance per plans.					
Install sidewalk on both sides along Albion Circle to Airport Road.					
<b>DRAINAGE INFRASTRUCTURE</b>					
Clean out all catch basins.					
Remove sediment from all drainage pipes.					
Install area drain at headwall and pipe inlet between lots #500/#502.					
<b>NOTES</b>					<b>INSPECTOR</b>
Need to install remaining sidewalk.					ASH
Install thermoplastic stopbars and crosswalks.					
Accessible ramps do not have truncated Detectable Warning Surfaces installed.					
Install area drain at headwall and pipe inlet between lots #500/#502.					
<b>Updated Surety Amount set to \$25,000.00</b>					

**Performance Bond Estimate**

Date: 9/16/11  
By: TDR

PC/BZA #: 1-63-05C

Subdivision Name: Albion Downs Phase 3

**Road Specifications**

ROAD NAME	LENGTH (ft)	WIDTH (ft)	CUL - DE - SAC RADIUS (ft)	BASE STONE (in)	A MIX (in)	BMOD (in)	TOPPING (in)	R.O.W (ft)
Albion Circle	950	24	0	6	0	2.5	1.5	50
Hartford Circle	550	20	0	6	0	2.5	1.5	50
Seabiscuit Drive	600	24	0	6	0	2.5	1.5	50
Road Name	0	24	0	6	0	2.5	1.5	50
Road Name	0	24	0	6	0	2.5	1.5	50
Road Name	0	24	0	6	0	2.5	1.5	50
Road Name	0	24	0	6	0	2.5	1.5	50
Road Name	0	24	0	6	0	2.5	1.5	50

**Roadway**

Description	Unit Price	Estimated Quantity	Cost	% Complete	Cost To Complete
Aggregate- Type A Base					
Grading D (TON)	\$30.00	1848	\$55,430	100%	\$0.00
A-Mix (TON)	\$85.00	0	\$0	0%	\$0.00
Prime Coat (TON)	\$550.00	7	\$4,050	100%	\$0.00
Binder-B-Mod (TON)	\$75.00	770	\$57,740	100%	\$0.00
Tack Coat (TON)	\$400.00	2	\$893	100%	\$0.00
Asphalt Surface Coarse Grade D (TON)	\$100.00	462	\$46,192	100%	\$0.00
Clearing and Grubbing (AC)	\$15,000.00	1.30	\$19,500.00	100%	\$0.00
Strip Topsoil (CY)	\$8.75	1944.44	\$17,013.89	100%	\$0.00
Roadway Excavation (CY)	\$4.05	2605.56	\$10,552.50	100%	\$0.00
Staking (AC)	\$2,000.00	1.30	\$2,600.00	100%	\$0.00
Mobilization (LS)	\$6,000.00	1.00	\$6,000.00	100%	\$0.00
6' Sidewalk (LF)	\$25.00	0	\$0.00	0%	\$0.00
5' Sidewalk (LF)	\$20.00	4200	\$84,000.00	95%	\$4,200.00
5' Stamped Sidewalk (LF)	\$41.00	0	\$0.00	0%	\$0.00
Detectable Warning Surface (EA)	\$175.00	0	\$0.00	0%	\$0.00
Extruded Curb (LF)	\$15.00	4200	\$63,000.00	100%	\$0.00
Curb and Gutter (LF)	\$25.00	0	\$0.00	0%	\$0.00
Post Curb (LF)	\$20.00	0	\$0.00	0%	\$0.00
Concrete Monuments (EA)	\$75.00	0	\$0.00	0%	\$0.00

Total Cost: \$386,970.37      Cost To Complete: \$4,200.00

1-63-05C

**Street Signs and Markings**

Description	Price	Quantity	Cost	% Complete	Cost To Complete
(R1-1) Stop Sign and Post	\$95.00	5	\$475.00	100%	\$0.00
(D3) Street Name Signs (6"x36")	\$30.00	10	\$300.00	100%	\$0.00
Street Name Signs (9"x36") (Over 40 mph)	\$45.00	0	\$0.00	0%	\$0.00
(R2-1) Speed Limit Sign	\$75.00	1	\$75.00	100%	\$0.00
(R1-2) Yield, (W14-2) No Outlet, (W14-1) Dead End, (W2-6)	\$95.00	0	\$0.00	0%	\$0.00
(W11-2) FYG Pedestrian Crosswalk	\$150.00	0	\$0.00	0%	\$0.00
(W16-7p) Arrow					
Installation of Owner Furnished Standard Signs	\$75.00	0	\$0.00	0%	\$0.00
Decorative Stop Sign (R1-1) w/ Street Names (D3)	\$1,040.00	0	\$0.00	0%	\$0.00
Decorative Sign	\$580.00	0	\$0.00	0%	\$0.00
Installation of Decorative Signs	\$300.00	0	\$0.00	0%	\$0.00
Stop Bar	\$200.00	5	\$1,000.00	0%	\$1,000.00
Pavement Markings (Arrows, Etc.)	\$250.00	0	\$0.00	0%	\$0.00
Crosswalk	\$800.00	0	\$0.00	0%	\$0.00
Single Line (LF)	\$1.50	0	\$0.00	0%	\$0.00
Double Line (LF)	\$3.00	0	\$0.00	0%	\$0.00

<b>Total Cost:</b>	<b>\$1,850.00</b>	<b>Cost To Complete:</b>	<b>\$1,000.00</b>
Sign Bill:	\$850.00		

**Stormwater and Erosion Control**

Description	Unit Price	Quantity	Cost	% Complete	Cost To Complete
Inlet/Junction Box (EA)	\$2,000	12	\$24,000.00	100%	\$0.00
Headwalls (EA)	\$1,000	7	\$7,000.00	100%	\$0.00
Pipe Culverts 15-24" (LF)	\$35	325	\$11,375.00	100%	\$0.00
Pipe Culverts 30"+ (LF)	\$50	150	\$7,500.00	100%	\$0.00
Ditches up to 2' bottom (LF)	\$18	850	\$14,875.00	50%	\$7,437.50
Ditches over 3' bottom (LF)	\$25	0	\$0.00	0%	\$0.00
Box Culverts (WxL) (\$F)	\$60	0	\$0.00	0%	\$0.00
Detention Ponds (Small) (EA)	\$25,000	1	\$25,000.00	90%	\$2,500.00
Detention Ponds (Large) (EA)	\$35,000	0	\$0.00	0%	\$0.00
Construction entrance (EA)	\$1,500	1	\$1,500.00	100%	\$0.00
Temporary stabilization (ACRE)	\$1,000	2	\$2,000.00	100%	\$0.00
Final Stabilization (Avg.) (ACRE)	\$2,000	1.0	\$2,000.00	50%	\$1,000.00
Sediment Basin (EA)	\$15,000	0	\$0.00	0%	\$0.00
Silt fence (LF)	\$2.50	800	\$2,000.00	100%	\$0.00
Silt Fence Wire Backing (LF)	\$4.50	0	\$0.00	0%	\$0.00
Check Dams (EA)	\$350	5	\$1,750.00	100%	\$0.00
Sand Bags (EA)	\$4.00	0	\$0.00	0%	\$0.00
Rock inlet protection (EA)	\$0	0	\$0.00	0%	\$0.00
Curb inlet protection (EA)	\$250	0	\$0.00	0%	\$0.00
Catch Basin filter assembly (EA)	\$75	12	\$900.00	100%	\$0.00
Temporary EC Blanket (SY)	\$1.50	0	\$0.00	0%	\$0.00
Permanent EC Blanket (SY)	\$9.00	0	\$0.00	0%	\$0.00
Rip Rap (Ton)	\$18.00	0	\$0.00	0%	\$0.00

<b>Total Cost</b>	<b>\$99,900.00</b>	<b>Cost To Complete:</b>	<b>\$10,937.50</b>
EC Bond:	\$11,000.00		

**Repair Areas**

Description	Unit Price	Quantity	Cost	% Complete	Cost To Complete
Extruded Curb Replacement (LF)	\$17.00	0	\$0	0%	\$0.00
Curb and Gutter Replacement (LF)	\$5.00	0	\$0	0%	\$0.00
Sidewalk Replacement (SF)	\$23.00	0	\$0	0%	\$0.00
Full Depth Pavement Repair (Ton)	\$100.00	0	\$0	0%	\$0.00
Binder Repair (Ton)	\$100.00	0	\$0	0%	\$0.00

<b>Total Repair Cost:</b>	\$0	<b>Cost To Complete:</b>	\$0
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**Comments:**

Total Project Cost(110%)=

Cost To Complete(110%)=

15% of Principal Amount=

Maintenance Bond Amount =   
(10% Total Project Cost)

**Updates:**

NAME	DATE	UPDATE	OLD AMOUNT	UPDATED AMOUNT
Buck Rogers	10/24/2012	Surety Renewal	\$119,000	\$119,000
Buck Rogers	11/8/2013	Surety renewal update. Revised sidewalk completion % from 35% to 65%.	\$119,000	\$91,000
Buck Rogers	11/13/2014	Surety update. Developer asked for acceptance. Inspection was completed. A few issues were found that need attention.	\$91,000	\$77,000
Aaron Hickson	9/25/2015	Surety update. (15% minimum) Inspection was completed. Revised sidewalk completion from 90% to 95%. 5 Stopbars need to be installed.	\$77,000	\$77,000

# ALBION DOWNS PHASE 3 FINAL PLAT

LOCATED IN THE 3RD CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

SCALE : 1" = 60'

DATE : NOVEMBER 30, 2005

SIZE : 11.27 ACRES+-

DEED : R. B. 1755, PG. 331, R.O.S.C.T.

MAP : MAP 126, PAR. 9.00, T.A.O.S.C.T.

GALLATIN  
HOUSING ASSOCIATES  
LIMITED PARTNERSHIP

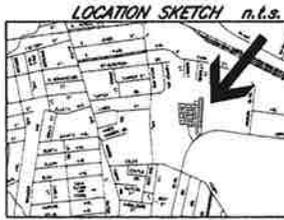
RECORD BOOK 2098, PAGE 497  
MAP 126, PARCEL 9.00 P/O  
ZONED "R10"

### SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1 : 10,000 AS SHOWN HEREON.



SIGNED: *Carroll Carman*  
CARROLL CARMAN, SURVEYING  
150 MIDDLE FORK ROAD  
HARTSVILLE, TENNESSEE  
PHONE (615) 374-3344



CERTIFICATE OF OWNERSHIP AND DESIGN	CERTIFICATE OF ACCURACY	CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS	CERTIFICATE OF APPROVAL OF THE APPROVAL OF SPACING OF TREES	CERTIFICATE OF APPROVAL FOR RECORDING
<p>I hereby certify that I am (as the owner) of the property shown and described herein in accordance with the provisions of the Tennessee Subdivision Regulations, and that I have filed this plat with the County Register's Office and that I have paid the fee thereon. I have also filed this plat with the County Register's Office and that I have paid the fee thereon. I have also filed this plat with the County Register's Office and that I have paid the fee thereon.</p> <p>Date: 11/13/06 <i>Carroll Carman</i> (notarially or otherwise)</p>	<p>I hereby certify that I am (as the owner) of the property shown and described herein in accordance with the provisions of the Tennessee Subdivision Regulations, and that I have filed this plat with the County Register's Office and that I have paid the fee thereon. I have also filed this plat with the County Register's Office and that I have paid the fee thereon.</p> <p>Date: 11/13/06 <i>Carroll Carman</i> Registered Land Surveyor</p>	<p>I hereby certify that the utility systems shown on this plat have been approved by the appropriate authority and that the utility systems shown on this plat have been approved by the appropriate authority and that the utility systems shown on this plat have been approved by the appropriate authority.</p> <p>Date: 11/13/06 <i>Carroll Carman</i> Registered Land Surveyor</p>	<p>I hereby certify that the spacing of trees shown on this plat has been approved by the appropriate authority and that the spacing of trees shown on this plat has been approved by the appropriate authority and that the spacing of trees shown on this plat has been approved by the appropriate authority.</p> <p>Date: 11/13/06 <i>Carroll Carman</i> Registered Land Surveyor</p>	<p>I hereby certify that the plat shown herein has been approved by the appropriate authority and that the plat shown herein has been approved by the appropriate authority and that the plat shown herein has been approved by the appropriate authority.</p> <p>Date: 11/13/06 <i>Carroll Carman</i> Registered Land Surveyor</p>

- ### NOTES:
- OWNER: CHARLES HAYNES TRUSTER 335 NASHVILLE PIKE GALLATIN, TN 37068
  - CURRENT ZONING: MFD (ALL LOTS EXCEPT 84 AND 85) (CURRENT ZONING: R10) (LOT 84 AND 85)
  - EACH LOT CONTAINS A MINIMUM OF 6,000 SQ. FT.
  - TYPES AS SHOWN: FRONT 20 FEET, SIDE 10 FEET AND REAR 10 FEET
  - PER FIRM COMPANY #47741 PANELS #178C-GARD AND 1201D DATED NOVEMBER 11, 2005 THIS PROPERTY IS IN ZONE "R10" OUTSIDE OF THE 10 YEAR FLOOD PLAIN
  - THE SITE CONTAINS 43 RESIDENTIAL LOTS FOR SINGLE FAMILY DETACHED UNITS. DENSITY IS 48 UNITS PER ACRE.
  - EACH SINGLE FAMILY UNIT IS TO BE 60'-0" TO 90'-0" FT. BUILT ON SITE. NO EXPANDED BLOCK FOUNDATIONS.
  - STYLE, ARCHITECTURE AND DESIGN ARE TO BE COMPATIBLE TO EXISTING ALBION DOWNS PHASE 1.
  - THERE ARE TO BE NO STRUCTURES IN THE REQUIRED BUFFER ZONE.
  - BUFFER ZONES ARE TO BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS.
  - WHERE THE BUFFER IS OUTSIDE OF THE RIGHT-OF-WAY, THERE IS A 10' BUFFER EXCEPT ON EACH SIDE OF THE BUFFER.
  - THE TYPE B BUFFER ON THE EAST SIDE OF LOTS 84 THROUGH 82 OF ALBION DOWNS PHASE 3 AND LOTS 81 THROUGH 82 OF ALBION DOWNS PHASE 2 SHALL BE A DOUBLE ROW OF 7 TALL EVERGREENS OR CENTERS TO CENTER BY SPACING, AND A ROW OF DECIDUOUS TREES AT CENTER TO CENTER ON A 4' TALL BERM WITH A 1' BURE IN ONE.
  - DEVELOPMENT IS TO BEGIN WHEN ALL APPROVALS ARE FINALIZED, AND IS TO BE DEVELOPED IN THE PHASE AS SOON AS POSSIBLE THEREAFTER.
  - ACREAGE SHOWN IN LOTS 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 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