



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, February 23, 2015
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- **Call to Order**
- **Invocation**
- **Pledge of Allegiance**
- **Roll Call**
- **Approval of Prior Minutes:**
Dec. 8, 2014 - Regular Meeting, Jan. 12, 2015 - Work Session Meeting, Jan. 26, 2015 - Regular Meeting
- **Public comments on Consent Agenda items**

CONSENT AGENDA

1. **GMRPC Resolution No. 2015-19** **7-171-15**
SURETY RENEWAL & EXTENSIONS
CITY OF GALLATIN

APPROVAL OF SURETY RENEWALS AND EXTENSIONS FOR FEBRUARY 2015
2. **GMRPC Resolution No. 2015-24** **1-265-15C**
RAY ESTATES, SEC. 2B; FINAL PLAT
CALDWELL ENGINEERING

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR THE RAY ESTATES, SECTION 2B SUBDIVISION, REPLATTING A PORTION OF RAY ESTATES SECTION II TO REVISE LOTS LINES ON 26 ATTACHED DWELLING LOTS COMPRISING 6.00 (+/-) ACRES LOCATED NORTH OF EAST MAIN STREET AND EAST OF SUNSET DRIVE.
3. **GMRPC Resolution No. 2015-22** **4-285-15**
MCDONALD'S ADDITIONAL DRIVE THRU; PUD AMENDMENT
TSQUARE ENGINEERING

OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE GREENSBORO VILLAGE PLANNED UNIT DEVELOPMENT (PUD) PRELIMINARY MASTER DEVELOPMENT PLAN AND A REVISION TO THE FINAL MASTER DEVELOPMENT PLAN FOR THE MCDONALD'S CORPORATION TO ADD A SECOND DRIVE THRU LANE ON A 1.17 (+/-) ACRE LOT LOCATED AT 990 GREENSBORO DRIVE.
4. **GMRPC Resolution No. 2015-26** **8-283-15**
MEDICAL OFFICES FOR BROTHERS RE LLC; SITE PLAN
ROGERS ENGINEERING GROUP

OWNER AND APPLICANT REQUEST APPROVAL OF A SITE PLAN TO CONSTRUCT TWO (2) MEDICAL OFFICE BUILDINGS TOTALING 10,400 SQUARE FEET, CONTAINING 2.067 (+/-) ACRE LOT. THE PROPERTY IS ZONED MULTIPLE RESIDENTIAL AND OFFICE (MRO) AND IS LOCATED AT 865 NORTH BLUE JAY WAY.

5. **GMRPC Resolution No. 2015-18** **8-280-15**
TSI CONSTRUCTION, LLC; SITE PLAN
MID-TENN ENGINEERING

OWNER AND APPLICANT REQUEST APPROVAL OF A SITE PLAN TO CONSTRUCT A 5,035 SQUARE FOOT BUILDING ON LOT 1 OF THE WOODLANDS BUSINESS PARK, PHASE 2 SUBDIVISION, CONTAINING 1.00 (+/-) ACRES. THE PROPERTY IS ZONED INDUSTRIAL RESTRICTIVE (IR) AND LOCATED AT 326 OLD AIRPORT ROAD.

6. **GMRPC Resolution No. 2015-25** **8-275-15**
SUMNER COUNTY ORNAMENTAL; SITE PLAN
SUMNER COUNTY ORNAMENTAL

OWNER AND APPLICANT REQUESTS APPROVAL OF A SITE PLAN TO CONSTRUCT A 1,334 SQUARE FOOT ADDITION TO AN EXISTING BUILDING ON A .0277 (+/-) ACRE LOT, ZONED COMMERCIAL GENERAL (CG), LOCATED AT 334 WEST GRAY STREET.

REGULAR AGENDA

7. **GMRPC Resolution No. 2015-20** **1-41-06C**
BAYWOOD POINTE, PH. 3 (SUGGS); SUBDIVISION SURETY DISCUSSION
CITY OF GALLATIN ENGINEERING DIVISION

8. **GMRPC Resolution No. 2015-21** **1-41-06C**
BAYWOOD POINTE, PH. 3 (WALL); SUBDIVISION SURETY DISCUSSION
CITY OF GALLATIN ENGINEERING DIVISION

9. **GMRPC Resolution No. 2015-23** **3-281-15**
SUDDEN SERVICE; AMENDED PMDP
PERRY ENGINEERING, LLC

OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE APPROVED PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE GT STATION TO ADD THE FOOD SERVICE USE, INCREASE THE BUILDING SQUARE FOOTAGE, AND REVISE THE APPROVED ARCHITECTURAL ELEVATIONS FOR THE PROPOSED SUDDEN SERVICE GAS STATION ON A 1.40 (+/-) ACRE LOT LOCATED AT 1845 NASHVILLE PIKE.

10. **GMRPC Resolution No. 2015-27** **3-288-15**
COTTAGES AT GREEN FARMS; AMENDED PMDP
LOSE AND ASSOCIATES

PUBLIC COMMENT

OWNER AND APPLICANT REQUESTS APPROVAL OF AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE COTTAGES AT GREEN FARMS, A RESIDENTIAL DEVELOPMENT CONTAINING SIX (6) SINGLE FAMILY RESIDENCES UNDER A CONDOMINIUM REGIME, ON A PROPOSED .84 (+/-) ACRE LOT, LOCATED NORTH OF ASHER TRACE ALLEY AND EAST OF BAXTER LANE.

11. **GMRPC Resolution No. 2015-28** **4-290-15**
GREENLEA COMMONS; PUD AMENDMENT
LOSE AND ASSOCIATES

DEFERRED

12. **GMRPC Resolution No. 2015-29**
FAIRWAY FARMS, PH. 2 & 3; AMENDED PMPD/FMDP
BRUCE RAINEY & ASSOCIATES

3-294-15

PUBLIC COMMENT

THE OWNER AND APPLICANT REQUEST APPROVAL OF AN MINOR AMENDMENT TO THE FAIRWAY FARMS PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVAL OF A REVISED FINAL MASTER DEVELOPMENT PLAN FOR FAIRWAY FARMS, PHASES 2 & 3, TO DEVELOP THE "RESERVED" AREA INTO TWO (2) LOTS AND OPEN SPACES, CONTAINING 2.16 (+/-) ACRES, LOCATED AT WENDLING BOULEVARD AND NELMS DRIVE.

13. **OTHER BUSINESS**
14. **MOVE TO ADJOURN**

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
MEETING

December 8, 2014

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Vice Mayor John D. Alexander
Dr. Rick Orgain
Ms. Shirlene Campbell, Mayor's Designee
Mr. John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Katherine Schoch, Assistant Director of Planning
Kevin Chastine, Planner II
Robert Kalisz, Planner II
Nick Tuttle, City Engineer
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Josh Cross, *Gallatin News Examiner*
Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular meeting on Monday, December 8, 2014, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Vice Mayor Alexander led the opening prayer and Chair Dempsey led the Pledge of Allegiance. Ms. Mudrak called the roll.

Approve Prior Minutes

There were no prior minutes to approve.

Public Comment on Consent Agenda Items

Chair Dempsey opened public comment on consent agenda items. Chair Dempsey asked if anyone in the audience requested to remove any item from the consent agenda. No one came forward to speak. Chair Dempsey asked if any owner or applicant representative wanted to remove any item from the consent agenda. No owner or applicant/representative requested to remove any item from the consent agenda. Chair Dempsey asked if any Planning Commission member requested to remove any item from the consent agenda. No member of the Planning Commission requested to remove any item from the consent agenda; therefore, Chair Dempsey motioned to approve the consent agenda. Mr. Ramsey seconded the motion and the motion passed by unanimous vote.

Consent Agenda

1. GMRPC Resolution No. 2014-105 – PC0240-14 – Surety Renewals – City of Gallatin – Approval of Surety renewals and extensions for 2014.

This item was approved by consent agenda:

- Foxland, Phase 7, Section 1; PC0152-13 site surety one (1) year renewal and extension for \$4,950.
- Elk Acres, Section 3; PC File #8-34-07 site surety one (1) year renewal and extension for \$12,760.
- Foxland, Phase 9, Section 2; PC0028-12 subdivision surety one (1) year renewal and extension for \$59,000.
- Foxland, Phase 7, Section 1; PC0029-12 subdivision surety one (1) year renewal and extension for \$33,000.
- Kennesaw Farms, Phase 5, Section 1 (NHC); PC9912-11 subdivision surety one (1) year renewal and extension for \$56,000.
- ABC Technologies Expansion; PC0273-14 subdivision surety one (1) year renewal and extension for \$19,000.
- Elk Acres, Section 4; PC0022-12 subdivision surety one (1) year renewal and extension for \$78,000.
- Lenox Place, Phase 6 & 7; PC0197-13 Land Disturbance Permit surety one (1) year renewal and extension for \$41,000.
- Alexander's Corner; PC File #2-24-08S utility surety one (1) year renewal and extension for \$39,500.

2. GMRPC Resolution NO. 2014-106 - PC0375-14 – FMDP for Hunter Pointe, Phase 2, Roadway and Lots 3-9 – Ragan-Smith Associates, Inc. – Owner/Applicant requests approval of a Final Master Development Plan for Hunter Pointe, Phase 2, Roadway and Lots 3-9, containing 22.79 (+/-) acres located at Long Hollow Pike and Beatty Boulevard.

This item was approved by consent agenda with the following conditions:

1. Prepare agreements for the cross access ingress/egress easements and record the documents with the Sumner County Register of Deeds. Copies of the recorded cross access agreements shall be submitted prior to the recording of the Final Plat for Hunter Pointe, Phase 2.
2. Add a note to the Final Master Development Plan stating that a 24-foot wide minimum cross access ingress/egress easement will be provided horizontally between lots 5, 6 and 7 with the final location to be determined at the FMDP stage for those lots.

3. Revise the radius of the temporary turnaround from 40-feet to 50-feet.
4. Detailed landscaping and bufferyard plans shall be submitted and approved with each Final Master Development Plan in accordance with G.Z.O. Section 13.04, *Transitional Bufferyard Design Standards* and G.Z.O. Section 13.05.020, *Parking Area Screening and Landscaping Standards*.
5. Final architectural elevations shall be submitted and approved with each Final Master Development Plan in accordance with G.Z.O. Section 13.08, *Architectural Character and Compatibility Standards*.
6. Submit details of all proposed permanent signs to the Planning Department for review and approval in compliance with G.Z.O. Section 13.07.065.F, Master Signage Plan, with each Final Master Development Plan. All signs shall comply with G.Z.O. Section 13.07, *Sign Regulations*. Sign permits shall be obtained prior to the installation of any signs on site.
7. A site surety, in the form of cash, certified check or automatically renewing Letter of Credit acceptable to the City shall be submitted to cover the installation of street trees shown along Beaty Boulevard. The site surety shall be submitted to the Planning Department prior to the recording of the Final Plat for Hunter Pointe, Phase 2.
8. Identify on the FMDP the drainage easements shown on the approved Final Plat for Hunter Pointe, Phase 1, Roadway and Lots 1-3.
9. Submit three (3) corrected, folded copies of the Final Master Development Plan to the Planning Department.

3. GMRPC Resolution No. 2014-107 – PC0376-14 – Preliminary Plat for Hunter Pointe, Phase 2 Roadway and Lots 3-9 – Ragan-Smith Associates, Inc. – Owner/Applicant requests approval of a Preliminary Plat for Hunter Pointe, Phase 2, Roadway and Lots 3-9, containing 22.79 (+/-) acres, located at Long Hollow Pike and Beaty Boulevard.

This item was approved by consent agenda with the following conditions:

1. Preliminary Plat approval is contingent upon Planning Commission's approval of the Final Master Development Plan for Hunter Pointe, Phase 2 (PC0375-14).
2. Prepare agreements for the cross access ingress/egress easements and record the documents with the Sumner County Register of Deeds. Copies of the recorded cross access agreements shall be submitted prior to the recording of the Final Plat for Hunter Pointe, Phase 2.
3. Add a note to the Preliminary Plat stating that a 24-foot wide minimum cross access ingress/egress easement will be provided horizontally between lots 5, 6 and 7 with the final location to be determined at the FMDP stage for those lots.
4. Revise the radius of the temporary turnaround from 40-feet to 50-feet.
5. A site surety, in the form of cash, certified check or automatically renewing Letter of Credit acceptable to the City shall be submitted to cover the installation of street trees shown along Beaty Boulevard. The site surety shall be submitted to the Planning Department prior to the recording of the Final Plat for Hunter Pointe, Phase 2.
6. Final Plat approval is contingent upon final approval of Construction Plans.
7. A subdivision surety, in an amount to be determined by the Engineering Division, shall be submitted prior to the recording to the Final Plat.
8. A utility surety, in an amount to be determined by the Department of Public Utilities, shall be submitted prior to the recording of the Final Plat.

9. Submit Three (3) corrected, folded copies of the Preliminary Plat to the Planning Department prior to submitting the Final Plat for Planning omission review and approval.

4. GMRPC Resolution NO. 2014-110 – PC0378-14 – Preliminary Plat for Foxland, Phase 8 – Barge Waggoner Sumner & Cannon – Owner and Applicant request approval of a Preliminary Plat for Foxland, Phase 8, a major subdivision, to create 34 One-Family Detached Dwelling lots on 11.63 (+/-) acres, located on Vinings Boulevard.

This item was approved by consent agenda with the following conditions:

1. Preliminary Plat is subject to approval of the minor amendment to Foxland PMDP/FMDP, Phase 8.
2. Coordinate all development with the White House Utility district to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit copy of utility surety to the Planning Department, if required by White House Utility District, prior to the issuance of any building permits for Phase 8.
3. Designate the grass median as a common area tract to be maintained by the HOA, or enter into an agreement acceptable to the City to maintain the grass median, or redesign the cul de sac to eliminate the grass median.
4. Submit three (3) corrected and folded copies of the Preliminary Plat to the Planning Department for review and approval.

Regular Agenda

1A. GMRPC Resolution No. 2014-111 – PC0383-14 – Albion Downs, Phase 3 – City of Gallatin Engineering Department – Applicant and owner request approval to discuss the subdivision surety renewal/extension for Albion Downs Subdivision, Phase 3.

Mr. Nick Tuttle, City Engineer, presented the Albion Downs surety, which is the oldest surety held by the City. The developer is actively trying to finish the project and requests a one year renewal and extension. Mr. Tuttle said the project should be finished within the next year. There are some complicated drainage issues.

Mr. Clay Haynes, applicant said he would be working with Mr. Tuttle on the drainage issues.

Mr. Ramsey motioned to grant the one year renewal and extension. Dr. Orgain seconded the motion and the motion passed by unanimous vote.

5. GMRPC Resolution No. 2014-109 – PC0379-14 – Amended PMDP/FMDP for Foxland, Phase 8 – Barge Waggoner Sumner & Cannon – The Owner and Applicant request approval of a minor amendment to the Foxland at Fairvue Preliminary Master Development Plan, Phase 8 and approval of a Final Master Development Plan for Foxland, Phase 8, containing 11.63 (+/-) acres, located on Vinings Boulevard.

Ms. Denise Knight, Planner I, presented the staff report and said the owner and applicant is requesting a minor amendment to the Foxland at Fairvue Preliminary Master Development Plan and approval of a

Final Master Development Plan to reduce the number of lots from 57 to 34 lots and increase the lot sizes from 6,000 square feet to 12,200 square feet. There are not significant architectural changes proposed and all homes will be constructed with side-entry garages.

Ms. Knight said staff recommends approval of Resolution 2014-109 minor amendment to the Preliminary Master Development Plan and approval of a Final Master Development Plan with the conditions listed in the staff report.

Chair Dempsey ask Mr. Tuttle if there were any engineering concerns with the request. Mr. Tuttle said there were no engineering concerns with the request.

Ms. Jennifer Spiech, with Barge Waggoner Sumner and Cannon, representing the applicant said she is in agreement with all staff conditions.

Vice Mayor Alexander motioned to consider the amendment to the Preliminary Master Development Plan as a minor amendment. Mr. Ramsey seconded the motion and the motion passed by unanimous vote.

Mr. Ramsey asked if this subdivision is surrounded completely by a golf course and if this is the reason for the 5-foot rear setback. Ms. Knight said this is the reason for the 5-foot rear setback.

Mr. Puryear asked if there would be a golf course easement. Ms. Knight said there is not one indicated on the plan.

Mr. Wilson motioned to approve the Resolution 2014-109 with the following conditions:

1. The proposed changes are considered as a minor amendment to the approved Preliminary Master Development Plan.
2. The side and rear yard setback of five (5) feet is approved as shown.
3. The owner and applicant shall coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District.
4. Create the grass median as a common area open space tract to be maintained by the HOA, or enter into an agreement with the City where by the HOA shall retain responsibility to maintain the grass median, or redesign the cul de sac to remove the grass median.
5. Submit three (3) corrected folded copies of the Amended Preliminary Master Development Plan and Final Master development Plan to the Planning Department.

Ms. Campbell seconded the motion and the motion passed by unanimous vote.

6. GMRPC Resolution No. 2014-104 – PC0373-14 – Amended PMDP/Revised FMDP for the Club at Foxland Harbor - Pool & Fitness Center – Manous Design, Inc. – The owner and applicant request approval of a minor amendment to the Foxland at Fairvue Preliminary Master Development Plan and approval of a revised Final Master Development Plan for the Club at Foxland Harbor, to add a pool and fitness center, on 4.14 (+/-) acres, located at 1445 Foxland Boulevard.

Mr. Robert Kalisz, Planner II, presented the staff report and said the owner and applicant are requesting approval of a minor amendment to the Foxland at Fairvue Preliminary Master Development Plan and approval of a Revised Final Master Development Plan for the Club at Foxland Harbor, including a driveway, parking, a pool and fitness center. The architecture matches all existing buildings.

Mr. Kalisz said the owner and applicant are requesting an adjustment of the required parking per the Gallatin Zoning Ordinance, Section 11.05.020, which states the Planning Commission may authorize an adjustment in the total parking requirement for separate uses located on the same site served by a common parking facility. The applicant has provided a temporary overflow parking area for special events. In the future, if condominiums are built, the parking would become permanent.

Mr. Kalisz said another concern is the request for two driveways in addition to the three existing driveways. The Gallatin Engineering Division recommends only one additional driveway.

Mr. Kalisz said staff recommends that a land disturbance surety be submitted to cover any reclamation costs to the site and include some landscaping along Club View Drive.

Mr. Kalisz said staff recommends approval of Resolution 2014-104 with the conditions listed in the staff report.

Chair Dempsey asked Mr. Tuttle if he had any engineering concerns with the request. Mr. Tuttle said he had no engineering concerns with the request.

Mr. Mark Kawczynski with Maintenance Design, representing the applicant, requested to keep the entrance. The entrance on Club View Drive is only used for golf carts and is not a public entrance. The second entrance is mainly to allow a trash truck to access the dumpsters behind the building and to get out efficiently with minimal backing.

Mr. Puryear motioned to consider the changes as a minor amendment. Chair Dempsey seconded the motion and the motion passed by unanimous vote.

Chair Dempsey asked the applicant to work with the Engineering Division regarding the trash truck getting in and out of the dumpster area.

Mr. Puryear said the first entrance on Club View Drive is for workers and is not used very often each day and there should not be a problem with another entrance.

Mr. Ramsey asked about parking. Mr. Kawczynski is asking for less parking than the ordinance requires. Mr. Kawczynski said the overflow parking will go away as the area is developed and there would be more shared parking.

Mr. McCord said since the temporary parking is not on the applicant's property he recommends that the applicant provide the City an agreement with the adjacent property owner to provide parking, as a condition of approval. Mr. Kawczynski said the owner does not own the property.

Mr. Joe Godfrey, President of Foxland Harbor Golf and Country Club, said the overflow parking is less than the permanent parking proposed. The pool is only open three months of the year and members of the club share the activities, (i.e. they may play golf and use the clubhouse or the pool).

Chair Dempsey said the facility is 30 spaces short of the required parking spaces by the zoning ordinance.

Mr. Godfrey said it is short only if all the activities are open. Chair Dempsey said there will be high intensity events. Permanent, temporary parking spaces would help the situation.

Mr. Godfrey said the 30 spaces short of the requirements could be moved to provide at another location.

Chair Dempsey said that would satisfy the parking shortage.

Mr. Godfrey said, until now, the pool had been granted a reduction in the parking requirement.

Ms. Schoch verified Mr. Godfrey's statement. Ms. Schoch said the 179 parking spaces is high considering the uses are not active year round. Ms. Schoch said the parking could be reviewed by taking out calculations for hallways, etc. to reduce the parking requirement.

Mr. Puryear said the historical nature of the site should be taken into consideration along with use of the pool. He added that people who live on the property (Foxland Subdivision) and will use golf carts.

Mr. Ramsey asked staff to consider this concession when another project comes to the Planning Commission.

Ms. Schoch said the Planning Staff is helpful to everyone, not just for the developers of this project.

Mr. Ramsey said he understands but is concerned that parking is an issue.

Mr. Puryear motioned to approve Resolution 2014-104 excluding the condition to extend the driveway on the north side of the building connecting parking areas, and with the following conditions:

1. The proposed changes are considered a minor amendment to the approved Preliminary Master Development Plan.
2. Label the 15-foot P.U.D.E. along Foxland Boulevard, 10-foot P.U.D.E. along Club View Drive, 20' Front yard along Foxland Boulevard, 20' Double Side Yard along Club View Drive, and 10' Side Yard along portion in front of clubhouse, on sheet C0.1.
3. Label and show 40' M.B.S.L. along Foxland Boulevard, 20' Double Side Yard along Club View Drive, and 10' Side Yard along the portion in front of clubhouse, on sheet Co.1.
4. Provide "C7" data in Curve Data Table on sheet C0.1.
5. Correct "73 TOTAL (3HC)" to "74 TOTAL (3HC)" in parking area on sheet C1.0.
6. Provide a plan sheet with the previously approved PMDP layout showing proposed development along eastern border of disturbance.
7. Change "on a regular basis" to "at least twice per week at least 72 hours apart. A rain garage is to be maintained onsite and checked at every inspection. The rainfall and time for each event is to

be recorded by the inspector and made available with SWPP Inspection records” in Note 6 on sheet Co.1.

8. Change “as soon as possible” to “within 14 days; 7 days for all slopes 3:1 or greater” in Note 8 on sheet C0.1.
9. Provide phase lines as indicated in Note 10 on sheet C0.01.
10. Provide an operational telephone on site with emergency telephone numbers posted at this location.
11. Provide a Land Disturbance Permit Surety, to be submitted to the Planning Department for review and approval, prior to issuance of any building permits.
12. Prior to issuance of any Certificate of Occupancy, for the Pool and Fitness Center or any portion of this project, that site improvements for this project shall be fully completed.
13. Submit three (3) corrected folded copies of the Foxland at Fairvue Amended Preliminary Master Development Plan and Revised Final Master Development Plan for The Club at Foxland Harbor to the Planning Department for Planning Staff approval prior to issuance of any building permits.

Vice Mayor Alexander seconded the motion.

Mr. Ramsey said he thought the motion included working with the staff on parking spaces.

Ms. Campbell said this is the minimum requirement so some work is needed to the parking requirements.

Ms. Schoch said the parking requirements are greater than what is needed.

Mr. Godfrey asked for discussion on the driveway.

Mr. Puryear amended the motion to also exclude the condition to not require the access.

Mr. Ramsey seconded the amended motion and the motion passed by unanimous vote.

Planning Commission voted on the original motion, as amended, and the motion passed by unanimous vote. Dr. Orgain left the meeting before the vote.

7. GMRPC Resolution No. 2014-108 – PC0374-14 – PMDP for Long Hollow Farms – GAM Engineering, Inc. – Owner and applicant requests rezoning and approval of a Preliminary Master Development Plan for Long Hollow Farms Subdivision, on a 10.525 (+/-) acre parcel, to create a 55 lot subdivision, located south of Harris Lane and west of GreenLea Boulevard.

Mr. Kevin Chastine, Planner II, presented the staff report and said the owner and applicant is requesting to rezone a 10.525 acre parcel from Agricultural Residential (A) zone district to Multiple Residential and Office (MRO) zone district with a Preliminary Master Development Plan to create 55 One-Family Detached Dwelling lots. The project description indicates that all homes will be brick, with approximately 2,000 square feet of living space.

Mr. Chastine said the applicant is requesting exceptions to the bulk regulations and the Planning Commission will have to determine if the bulk regulations exceptions meet the requirements in the zoning ordinance.

Mr. Chastine said staff recommends approval of Resolution 2014-108 to City Council with the conditions listed in the staff report.

Chair Dempsey asked Mr. Tuttle if he had any engineering concerns with the request. Mr. Tuttle said he wanted to draw attention to the long street and the block length requirements in the subdivision regulations. Sixteen hundred feet is the maximum block length and right-of-way stubs are recommended; however, the locations have not been determined.

Chair Dempsey asked about the need for connectivity. Mr. Tuttle said the connectivity is proposed in the future.

Mr. David Miller, Developer, and Mr. Autrey Dye, with GAM Engineering, representing the applicant said a variance is being requested on the block length. If a variance cannot be granted Mr. Miller suggested several locations for two fifty foot with right-of-way stub outs.

Mr. Miller said the development will have restrictive covenants and street parking is prohibited. The City of Gallatin also has restrictions on street parking.

Mr. Wilson expressed concern about utility and emergency vehicles on the street and events that might require additional parking.

Chair Dempsey said he would like to see auxiliary parking scattered throughout the development.

Mr. Puryear said he likes the floor plans but with a 20 foot front set back there will only be room for one car in the garage and one car in front of the garage.

Mr. Miller said the garages would be 2-car garages similar to the lot sizes in Gracie Lake. Mr. Miller added that this development is targeting retired individuals who are downsizing.

Chair Dempsey opened public comment.

Mr. Glen Daniel said he has lived in Sumner County for 35 years and has known the developer for 25 years. He is a good builder who enforces all the restrictive covenants.

No one else came forward to speak; therefore Chair Dempsey closed public comment.

Chair Dempsey said he is concerned with the street width. Vice Mayor Alexander agreed that street widening would encourage street parking.

Chair Dempsey motioned to approve Resolution 2014-108 changing condition 1d to allow for a 20 foot street wide street and requiring the developer to provide as many auxiliary parking spaces as possible scattered around the development, with the following conditions:

1. The rezoning shall be substantially consistent with the Preliminary Master Development Plan for Miller Development Long Hollow Farms Subdivision consisting of a one sheet plan prepared by GAM Engineering, Inc. of Hendersonville, TN with job No. 14-222, dated 11-12-14 with revision date of 11-26-14 with the following modifications:
 - a. Update Open Space percentage within the Site Data Table to indicate an open space percentage of 19.1 percent.
 - b. Correct the plan site data chart or plan drawing to indicate the correct rear yard setback of either 20 feet or 25 feet.
 - c. Modify the plan to provide the code required block lengths. This will require creating street stub from Liberty Creek Drive to at least one adjacent parcel to the east and west sides of the proposed plat.
 - d. Indicate the right-of-way width and street and sidewalks widths on the plan Typical Lot and Utility Installation Detail, including with street pavements widths of 20 feet, a paved cul de sac radius of at least 47 feet, and adding a plan note indicating that traffic calming measures will be identified with the Final Master Development Plan.
 - e. Submit 14 half-sized, corrected folded copies of the Preliminary Master Development Plan for City Council.

Vice Mayor Alexander seconded the motion.

Chair Dempsey amended the motion to bring a parking plan to the next Planning Commission Work Session in January 2015 for further discussion. If parking is not satisfactory the motion to approve will be rescinded.

Vice Mayor Alexander seconded the amendment to the motion and the motion passed by unanimous vote.

Mr. Chastine asked the Planning Commission to address the right-of-way stub outs because the road length is over 1600 feet. Chair Dempsey instructed Mr. Miller to bring a stub out plan to the next Planning Commission Work Session for information only.

The Planning Commission voted on the original motion as amended and the motion passed by unanimous vote.

8. GMRPC Resolution No. 2014-94 – PC0346-14 – Rezoning with PMDP for Carellton Commercial – Dewey-Estes Engineering – Public Comments – Owner/Applicant requests rezoning a 3.22 (+/-) acre portion of the Carellton Subdivision, Phase 1 open space tract, from Residential 8 – Planned Residential Development (R8-PRD) to Multiple Residential and Office (MRO) and approval of an amended Preliminary Master Development Plan for the Carellton Commercial, consisting of two (2) commercial lots for two (2) 7,800 square foot commercial buildings, located north of Long Hollow Pike, east and west of Carellton Drive.

Mr. Chastine presented the staff report and said the owner/applicant is requesting an amendment to the Carellton Subdivision Preliminary Master Development Plan to rezone a 3.22 acre portion of the open space tract from Residential-8 Planned Residential Development (R8-PRD) district to Multiple Residential and Office (MRO) district with a Preliminary Master Development Plan for Carellton Commercial, consisting of two (2) commercial lots. There are no end users at this time and the applicant has requested 11 permitted uses and seven (7) conditional uses that fall under the MRO zone district.

Mr. Chastine said staff recommends approval of Resolution 2014-94 and recommends approval of the rezoning request to the Gallatin City Council with the conditions listed in the staff report.

Chair Dempsey asked Mr. Tuttle if he had any engineering concerns with the request. Mr. Tuttle said he did not have any engineering concerns with the request.

Mr. Michael Dewey, with Dewey-Estes Engineering, said he agreed with the conditions.

Chair Dempsey opened public comment. No one came forward to speak; therefore, Chair Dempsey closed public comment.

Vice Mayor Alexander motioned to approve Resolution 2014-94 with the following conditions:

1. The rezoning shall be substantially consistent with the Carellton Commercial PMDP consisting of a four (4) sheet plan, prepared by Dewey-Estes Engineering of Nashville, TN, with project No. 12017 and dated November 13, 2014 and signed and sealed on November 26, 2014.
2. Revise Sheet C3.0 to show the location and number of landscape materials to meet the landscape requirements in the Gallatin Zoning Ordinance Section 08.04.050.
3. Provide appropriate driveway throat length of 60 feet for access onto Long Hollow Pike per Gallatin on the Move 2020 Plan. (The current layout appears to be approximately 10 feet short).
4. Correct the existing striping on Long Hollow Pike (it appears to be incorrectly located).
5. Submit a subdivision plat to create the proposed commercial lots.
6. Submit three (3) corrected and folded half-size copies, of the Preliminary Master Development Plan to the Planning Department.

Mr. Wilson seconded the motion and the motion passed by unanimous vote.

9. Other Business

- Discussion of Active Sureties

Ms. Schoch presented a surety list and said, at this time, there are 114 active sureties; 31 site sureties, 60 subdivision sureties, 70 utility sureties, four (4) maintenance sureties, four (4) right-of-way sureties, one (1) temporary use sureties, and seven (7) land disturbance sureties. The Planning Commission was asked to review the sureties to see if any of the developers need to be required to complete their project.

Mr. McCord called attention to the Cambridge Condominiums, which is ten (10) years old and mostly built out.

Ms. Schoch said staff has received complaints regarding drainage issues. There are issues that must be addressed now.

Chair Dempsey said this surety should be discussed at the first Planning Commission Work Session in January 2015, inviting the developer and asking him to present a timeline for completion.

Ms. Schoch read the last staff inspection report. There are several issues including incomplete landscape, parking space striping and paving, three (3) handicapped signs not installed, sidewalks not completed, detention pond issues, fence not completed, and storm drains not flush with the street. In addition, two areas of the asphalt parking lot do not drain to the storm drains.

Chair Dempsey motioned to suspend the rules to allow residents to speak to the Planning Commission. Vice Mayor Alexander seconded the motion and the motion passed by unanimous vote.

Dr. Karen Hutchinson said she has lived in Cambridge Condominiums for five (5) years and the handicapped signs are too high and an eyesore and several of the signs have fallen over. Trees were not dug to an appropriate depth and some of the trees blew over. Dr. Hutchinson asked that the drainage and the paving issues take priority.

Ms. Natalie Smith, President of the Homeowners Association, said there is a four (4) foot drop off behind some of the units which is dangerous and must be addressed.

Chair Dempsey said if there are safety issues they must be addressed. The developer must be asked to address the asphalt, and the drop off. The developer must present a schedule for completion. Chair Dempsey said the surety will not be renewed and the project must be completed. An inspection should be planned for the first of May.

10. Move to Adjourn

There being no further business to discuss, Chair Dempsey adjourned the meeting at 7:07 P.M.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, December 8, 2014
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- Call to Order
- Invocation
- Pledge of Allegiance
- Roll Call
- Approval of Prior Minutes: None
- Public comments on Consent Agenda items

CONSENT AGENDA

1. **GMRPC Resolution No. 2014-105** **PC0240-14**
SURETY RENEWALS
CITY OF GALLATIN

APPROVAL OF SURETY RENEWALS AND EXTENSIONS FOR 2014.
2. **GMRPC Resolution No. 2014-106** **PC0375-14**
FMDP FOR HUNTER POINTE, PHASE 2 ROADWAY AND LOTS 3-9
RAGAN-SMITH ASSOCIATES, INC.

OWNER/APPLICANT REQUESTS APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR HUNTER POINTE, PHASE 2, ROADWAY AND LOTS 3-9, CONTAINING 22.79 (+/-) ACRES, LOCATED AT LONG HOLLOW PIKE AND BEATY BOULEVARD.
3. **GMRPC Resolution No. 2014-107** **PC0376-14**
PRELIMINARY PLAT FOR HUNTER POINTE, PHASE 2 ROADWAY AND LOTS 3-9
RAGAN-SMITH ASSOCIATES, INC.

OWNER/APPLICANT REQUESTS APPROVAL OF A PRELIMINARY PLAT FOR HUNTER POINTE, PHASE 2, ROADWAY AND LOTS 3-9, CONTAINING 22.79 (+/-) ACRES, LOCATED AT LONG HOLLOW PIKE AND BEATY BOULEVARD.
4. **GMRPC Resolution No. 2014-110** **PC0378-14**
PRELIMINARY PLAT FOR FOXLAND, PHASE 8
BARGE WAGGONER SUMNER & CANNON

OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR FOXLAND, PHASE 8, A MAJOR SUBDIVISION, TO CREATE 34 ONE-FAMILY DETACHED DWELLING LOTS ON 11.63 (+/-) ACRES, LOCATED ON VININGS BLVD.

REGULAR AGENDA

- 1A. **GMRPC Resolution No. 2014-111** **PC0383-14**
ALBION DOWNS, PHASE 3
CITY OF GALLATIN ENGINEERING DEPARTMENT

APPLICANT AND OWNER REQUEST APPROVAL TO DISCUSS THE SUBDIVISION SURETY RENEWAL/EXTENSION FOR ALBION DOWNS SUBDIVISION, PHASE 3.

5. **GMRPC Resolution No. 2014-109** **PC0379-14**
AMENDED PMDP/FMDP FOR FOXLAND, PHASE 8
BARGE WAGGONER SUMNER & CANNON

THE OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE FOXLAND AT FAIRVUE PRELIMINARY MASTER DEVELOPMENT PLAN, PHASE 8 AND APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND, PHASE 8, CONTAINING 11.63 (+/-) ACRES, LOCATED ON VININGS BOULEVARD.

6. **GMRPC Resolution No. 2014-104** **PC0373-14**
AMENDED PMDP/REVISED FMDP FOR THE CLUB AT FOXLAND HARBOR- POOL & FITNESS CENTER
MANOUS DESIGN, INC.

THE OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE FOXLAND AT FAIRVUE PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVAL OF A REVISED FINAL MASTER DEVELOPMENT PLAN FOR THE CLUB AT FOXLAND HARBOR, TO ADD A POOL AND FITNESS CENTER, ON 4.14 (+/-) ACRES, LOCATED AT 1445 FOXLAND BOULEVARD.

7. **GMRPC Resolution No. 2014-108** **PC0374-14**
PMDP FOR LONG HOLLOW FARMS
GAM ENGINEERING, INC.

OWNER AND APPLICANT REQUESTS REZONING AND APPROVAL OF A PRELIMINARY MASTER DEVELOPMENT PLAN FOR LONG HOLLOW FARMS SUBDIVISION, ON A 10.525 (+/-) ACRE PARCEL, TO CREATE A 55 LOT SUBDIVISION, LOCATED SOUTH OF HARRIS LANE AND WEST OF GREENLEA BOULEVARD.

8. **GMRPC Resolution No. 2014-94** **PC0346-14**
REZONING WITH PMDP FOR CARELLTON COMMERCIAL
DEWEY-ESTES ENGINEERING

PUBLIC COMMENTS

OWNER/APPLICANT REQUESTS REZONING A 3.22 (+/-) ACRE PORTION OF THE CARELLTON SUBDIVISION, PHASE 1 OPEN SPACE TRACT, FROM RESIDENTIAL 8 – PLANNED RESIDENTIAL DEVELOPMENT (R8-PRD) TO MULTIPLE RESIDENTIAL AND OFFICE (MRO) AND APPROVAL OF AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE CARELLTON COMMERCIAL, CONSISTING OF TWO (2) COMMERCIAL LOTS FOR TWO (2) 7,800 SQUARE FOOT COMMERCIAL BUILDINGS LOCATED NORTH OF LONG HOLLOW PIKE, EAST AND WEST OF CARELLTON DRIVE.

9. **OTHER BUSINESS**

- DISCUSSION OF ACTIVE SURETIES

10. **MOVE TO ADJOURN**

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
WORK SESSION

January 12, 2015

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Mayor Paige Brown
Councilwoman Julie Brackenbury
John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Robert Kalisz, Planner II
Zach Wilkinson, Engineering Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

Dr. Rick Orgain

OTHERS

Josh Cross, *Gallatin News Examiner*
Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular work session on Monday, January 12, 2015, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Item 1: Discuss proposed Welch College Preliminary Master Development Plan recommended for approval by the Planning Commission on November 25, 2013 and pending a second reading of an ordinance to adopt the plan tentatively anticipated for February 3, 2015. This item consists of a request to present to the Planning Commission the status of the project (PC0199-13).

Mr. Kevin Chastine, Planner II, Welch College came in with their Preliminary Master Development Plan last year and the Planning Commission recommended approval to City Council. Welch College pulled their plan and they wish to come back to resume the City Council process for second reading.

Chair Dempsey asked if the issue with the Greenway and the County has been resolved.

Mr. Matt Benson, representative of Welch College, said the Greenway issue has been resolved with Sumner County. A new buyer has made an offer on the Nashville campus so Welch College is able to go forward as soon as the Nashville property sale closes. Construction should begin this summer and the campus proposed opening date will be in the fall of 2015.

Mr. Ramsey asked to verify that the plan is the original plan approved by Planning Commission. Mr. Benson said that the plan has not changed.

Mr. Ramsey is concerned that this development will set the tone for this side of the City.

Chair Dempsey reiterated the Planning Commission concerns, including lot sizes, density, home sizes on the small lots, parking, drive-thru access to adjoining property, and general compatibility with the surrounding area.

Mr. Ramsey is concerned there are is no open space besides the small detention areas. Open spaces, such as a play area, might be a trade-off for the smaller lot sizes.

Mr. Wilson said there are electric power lines that would require an easement along the road so that the lines could be removed. He added that the Planning Commission should receive a letter from Cumberland Electric stating they would remove the lines.

Chair Dempsey instructed staff to put this item on the next Planning Commission agenda. Mr. McCord suggested that the item be presented to City Council and ask Council to defer this item back to the Planning Commission.

Item 3: Discuss proposed site plan for the Volunteer State Community College Humanities Building located at 1480 Nashville Pike (8-215-15).

Mr. Chastine said presented the site plan for the new Volunteer State Humanities Building. There will be some work on the entrance roads and an extension of a parking lot. One parking area will become the site of the new building. The proposed building will be brick and glass.

Chair Dempsey asked if there are any major issues to date. Mr. Chastine said there are no major issues at this time.

Mr. McCord said a box culvert is planned to go over the creek and the Engineering Division will keep a watch on the plan site.

Item 4: Discuss all active sureties for the City of Gallatin.

Ms. Schoch distributed a copy of the new surety list, including a list of all sureties. A request is made to all departments to update by reviewing information and they look at the current amount and setting a new surety amount based on construction costs.

Ms. Schoch said four (4) sureties will be brought to the Planning Commission regular meeting for review, including the site surety for the Lowe's traffic signal, subdivision sureties for Baywood Point - Phase 3, Elk Acres - Section 3B, Faraway Hills for sidewalks on certain lots, and Newman Downs, which is still a performance bond, not a letter of credit. The City Attorney will recommend that the Newman Downs bond be called and the City would complete the improvements.

Mr. Puryear asked if the City charges a review and renewal fee. Mr. McCord said the City does not charge a review and renewal fee. Ms. Schoch said that requirement could be added to the subdivision regulations.

Mr. McCord stated that staff spends too much time on administering these sureties and it may be time to set a date to call in the surety. Chair Dempsey agreed.

Ms. Schoch asked the Planning Commission to review the packet and see if there are any sureties that should be discussed.

Mr. Puryear suggested that contractors be given plenty of notice if any changes are proposed to the subdivision regulations.

Item 5: Other Business

1. Chair Dempsey reminded the Planning Commission that new officers would be elected at the next regular meeting.
2. Mr. McCord distributed continuing education information for Planning Commission members.
3. Ms. Schoch said updates have been made to the zoning ordinance which is available on the City website.
4. Mr. Ramsey asked the City to help find an occupant for the old Dairy Queen location on West Main Street.
5. Mr. Puryear briefly discussed the MPO 2040 Plan stating that the expectation is that 1.4 million people will be coming to the mid-state adding to the existing 1.6 million people.

Item 6: Move to Adjourn

There being no further business, Chair Dempsey adjourned the meeting at 6:05 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



**Gallatin Municipal-Regional Planning Commission
Work Session Agenda**

Monday, January 12, 2015

Dr. J. Deotha Malone Council Chambers; 5 p.m.
Gallatin City Hall, 132 West Main Street

1. Discuss proposed Welch College Preliminary Master Development Plan recommended for approval by the Planning Commission on November 25, 2013 and pending a second reading of an ordinance to adopt the plan tentatively anticipated for February 3, 2015. This item consists of a request to present to the Planning Commission the status of the project (PC0199-13).
2. Discuss alternative parking layout for the proposed Long Hollow Farms subdivision located south of Harris Lane and west of GreenLea Boulevard (PC0374-14).
3. Discuss proposed site plan for the Volunteer State Community College Humanities Building located at 1480 Nashville Pike (8-215-15).
4. Discuss all active sureties for the City of Gallatin.
5. Other Business

EXHIBIT A

ORIGINAL

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
MEETING

January 26, 2015

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Mayor Paige Brown
Dr. Richard Orgain
Mr. John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Katherine Schoch, Assistant Director of Planning
Kevin Chastine, Planner II
Robert Kalisz, Planner II
Zach Wilkinson, Engineering Project Manager
Susan High-McCauley, City Attorney
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

Councilwoman Julie Brackenbury

OTHERS

Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular meeting on Monday, January 26, 2015 at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Mr. McCord led the opening prayer and Chair Dempsey led the Pledge of Allegiance. Ms. Mudrak called the roll.

Approve Prior Minutes

Mr. Wilson motioned to approve the November 10, 2014 Planning Commission Work Session and November 24, 2014 Planning Commission Regular Meeting minutes. Mr. Ramsey seconded the motion and the motion passed 5 ayes, 0 nays.

Public Comment on Consent Agenda Items

Chair Dempsey opened public comment on consent agenda items. Mr. Puryear recused himself from the voting on the consent agenda. Chair Dempsey asked if anyone in the audience requested to remove any item from the consent agenda. No one came forward to speak. Chair Dempsey asked if any owner or applicant requested to remove any item from the consent agenda. No owner or applicant/representative requested to remove any item from the consent agenda. Chair Dempsey asked if any Planning Commission member requested to remove any item from the consent agenda.

Chair Dempsey motioned to approve the consent agenda. Mr. Wilson seconded the motion and the motion passed 4 ayes, 0 nays (Mr. Puryear recused).

Consent Agenda

1. GMRPC Resolution No. 2015-06 – 7-171-15 – Surety Renewal & Extension – City of Gallatin – Approval of surety renewal and extension for January 2015 for the following:

- Elk Acres, Section 3B; PC File #1-9-10C subdivision surety one (1) year renewal and extension for \$32,000.

This item was approved by consent agenda.

2. GMRPC Resolution No. 2015-07 – 1-200-14C – Twin Eagles, Phase 11, Section A; Final Plat – Rogers Engineering Group – Owner and applicant request approval of a Final Plat for Twin Eagles, Phase 11, Section A, major subdivision, to create 29 One-Family detached dwelling lots on 8.49 (+/-) acres, located on Beacon Street, Avalon Drive, and Osprey Drive.

This item was approved by consent agenda with the following conditions:

1. Provide right of way corners to be concrete monuments.
2. Provide temporary turn-around radius to be a minimum of 50 feet.
3. Provide a copy of the Restrictive Covenants prior to recording of final plat.
4. Submit an Offer of Irrevocable Dedication prior to recording of final plat.
5. The water and sanitary sewer installations shall be completed and accepted or provide a utility surety, in the amount determined by Gallatin Public Utilities and submitted to the Planning Department, prior to recording of final plat.
6. Submit a subdivision performance surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to recording of final plat.
7. Submit three (3) corrected and folded copies of the final plat to the Planning Department for review and approval prior to recording of final plat.
8. Submit two (2) mylars and one (1) vellum copies of the final plat, including all original signatures, along with the recording fee to the Planning Department for recording.

3. GMRPC Resolution No. 2015-08 - 1-201-14C – Twin Eagles, Phase 12, Section A; Final Plat – Rogers Engineering Group – Owner and applicant requests approval of a Final Plat for Twin Eagles, Phase 12, Section A, Major Subdivision, to create 23 One-Family Detached Dwelling Lots on 6.85 (+/-) acres, located on Beacon Street and Osprey Drive.

This item was approved by consent agenda with the following conditions:

1. Provide right of way corners to be concrete monuments.
2. Provide temporary turn-around radius to be a minimum of 50 feet.
3. Provide a copy of the Restrictive Covenants prior to recording of final plat.
4. Submit an Offer of Irrevocable Dedication prior to recording of final plat.

5. The water and sanitary sewer installations shall be completed and accepted or provide a utility surety, in the amount determined by Gallatin Public Utilities and submitted to the Planning Department, prior to recording of final plat.
6. Submit a subdivision performance surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to recording of final plat.
7. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to recording of final plat.
8. Submit two (2) mylars and one (1) vellum copies of the final plat, including all original signatures, along with the recording fee to the Planning Department for recording.

4. GMRPC Resolution No. 2015-01 – 1-217-15B – Fairway Farms, Phase 2, Section 1; Preliminary Plat – Bruce Rainey & Associates – Owner and applicant request approval of a Preliminary Plat for Fairway Farms, Phase 2, Section 1, major subdivision, to create 16 One-Family Detached Dwelling Lots, a street extension and one (1) open space tract on 5.75 (+/-) acres located at Long Hollow Pike and Beaty Boulevard.

This item was approved by consent agenda with the following conditions:

1. Correct the flood zone boundaries and panel number on the Preliminary Plat to match the 47165C0313G FIRM, dated April 17, 2012.
2. Label the minimum Finished Floor Elevation (FFE) on all lots within the 100 year flood zone.
3. Revise the temporary turnaround easement, to provide a 50' radius temporary turnaround easement, on the future phase development at the western end of the Goodman Drive extension acceptable to the Engineering Division and the Public Works Department.
4. All proposed ROW corners are to be concrete monuments.
5. Construction plans and drainage calculations must be approved prior to submission of the final plat.
6. Provide connection of proposed sidewalks to existing sidewalks.
7. Submit three (3) corrected and folded copies of the Preliminary Plat to the Planning Department for review and approval.

5. GMRPC Resolution No. 2015-09 – 1-218-15C – Hunter Point, Phase 2, Roadway and lots 3-9; Final Plat – Ragan-Smith Associates, Inc. – Owner and applicant requests approval of a Final Plat for Hunter Pointe, Phase 2, roadway and Lots 3-9, containing 22.79 (+/-) acres, located at Long Hollow Pike and Beaty Boulevard.

This item was approved by consent agenda with the following conditions:

1. Prepare agreements for the cross access ingress/egress easements and record the documents with the Sumner County Register of Deeds. Copies of the recorded cross access easement agreements shall be submitted prior to the recording of the Final Plat.
2. A site surety, in the form of cash, certified check, or automatically renewing Letter of Credit shall be submitted to cover the installation of street trees and sod along Beaty Boulevard. The site surety shall be submitted to the Planning Department prior to the recording of the Final Plat.
3. A subdivision surety, in an amount to be determined by the Engineering Division, shall be submitted prior to the recording of the Final Plat.

4. A check for traffic signs, in an amount to be determined by the Engineering Division, shall be submitted to the Engineering Division prior to the recording of the Final Plat.
5. A utility surety, in an amount to be determined by the Department of Public Utilities, shall be submitted prior to the recording of the Final Plat.
6. The Final Plat for Hunter Pointe, Phase 1, Roadway and Lots 1-3 (PC0309-14) shall be recorded prior to the recording of the Final Plat for Hunter Pointe, Phase 2, Roadway and Lots 3-9 (PC File #1-218-15C).
7. An as-built survey shall be submitted prior to street acceptance.
8. Provide Public Utility and Drainage Easements (P.U.D.E.) along Lot 9 road frontage and along the side lot lines in accordance with the Gallatin Subdivision Regulations.
9. Remove the "Not Yet of Record" note shown on Lots 1 and 2.
10. Construction plans for Hunter Pointe, Phase 2 shall be approved prior to the recording of the Final Plat.
11. Submit three (3) corrected, folded copies of the Final Plat prior to submitting the mylars for recording.
12. Submit recording fee, two (2) mylars, and one (1) vellum copy of the Final Plat, all with original signatures, to the Planning Department for recording.

6. GMRPC Resolution No. 2015-10 – 5-222-15 – Albion Downs, Phase 1; Public Infrastructure Acceptance – Haynes Realtors

This item was deferred.

7. GMRPC Resolution No. 2015-11 – 5-225-15 – Albion Downs, Phase 3; Public Infrastructure Acceptance – Haynes Realtors

This item was deferred.

8. GMRPC Resolution No. 2015-02 – 8-228-15 – Fairvue Plantation Street tree Project #3; Revised FMDP – Fairvue Plantation H.O.A. – Owner and applicant request approval of a minor amendment to the Preliminary Master Development Plan (PMDP) and a minor amendment to the approved Final Master Development Plan (FMDP) for Fairvue Plantation, Phases 2, 4, 5, 6, 7, 8, 15, 17, 18, and 21, to install street trees in the right-of-way on four (4) public streets along Kelvington Blvd., Noah Lane, Isaac Franklin Pvt. Way, Egret Pvt. Way and Rozella Way (Private Road).

This item was approved by consent agenda with the following conditions:

1. Trees shall not be planted over any utility lines or interfere with the ability to maintain public utilities.
2. No trees shall interfere with the sight visibility at intersections or driveways per Ch. 15, Art. I, Sec.15-5.
3. Revise the note that indicates all deciduous street trees shall be free of branches to six (6) feet above ground, to comply with Ch. 15, Art. I, Sec.15-4.
4. Correct street name from Fairington Way to Fairington Pvt. Way, Egret Way to Egret Private Way, Landing Court Drive to Landing Pvt. Court and Fairvue Plantation Lane to Plantation Blvd
5. Correct "sidewalk" in all locations.

6. Revise subdivision phase to Phase 8 only in plan inset 1.
7. Correct FEMA date to April 17, 2012 in all plan insets.
8. Add a note to the revised FMDP indicating the Fairvue Plantation Homeowners Association (HOA) will assume full responsibility for any infrastructure damaged by the installation or growth of the trees and enter into a Hold Harmless Agreement with the City acceptable to the City Attorney.
9. Conditions shall be met prior to issuance of any building permits.
10. Submit a current Certificate of Liability Insurance to the Planning Department prior to final approval of the plan.
11. Submit three (3) corrected copies of the revised FMDP to the Planning Department.

Election of Officers GMRPC Resolution 2015-17

Mr. Ramsey motioned to nominate Mr. Dempsey as Chair; Mr. Puryear seconded the motion and the motion passed 4 ayes, 0 nays.

Chair Dempsey motioned to nominate Mr. Ramsey as Vice Chair; Mr. Puryear seconded the motion and the motion passed 4 ayes, 0 nays.

Chair Dempsey motioned to nominate Mr. Wilson as Secretary; Mr. Ramsey seconded the motion and the motion passed 4 ayes, 0 nays.

Regular Agenda

9. GMRPC Resolution No. 2015-12 – 1-41-06C – Baywood Pointe Phase 3 (Sweeny): subdivision surety discussion – City of Gallatin Engineering Division.

Ms. Katherine Schoch, Assistant Director of Planning, said this is a subdivision surety and is made up of three separate developers.

Mr. Zach Wilkinson, Engineering Project Manager, said the subdivision was platted eight (8) years ago and is 75 percent developed. The Engineering Divisions recommends renewal of this surety for six months.

Mr. Ramsey motioned to approve Resolution 2015-12 with the following conditions:

1. Please submit an updated Letter of Credit, including an updated expiration date, in the amount of \$79,500 to the Planning Department by February 11, 2015. All required subdivision improvements shall be completed by July 31, 2015.

Mr. Wilson seconded the motion and the motion passed 5 ayes, 0 nays.

10. GMRPC Resolution No. 2015-13 – 1-66-04C – Far Away Hills, Lots 4-9, 13-18, 20 & 21; subdivision surety discussion – City of Gallatin Engineering Division.

This item was withdrawn by the Engineering Division.

11. GMRPC Resolution No. 2015-14 – 7-219-15 – Newman Downs, Phase 3; Demand on subdivision performance bond – City of Gallatin Engineering Division – City of Gallatin Engineering Division requests approval of a resolution to make a formal demand to call the subdivision performance bond for Newman Downs, Phase 3, pursuant to section 3-101 and section 3-104 of the Gallatin Subdivision Regulations.

Ms. Schoch said a detailed history of this subdivision bond is in the Planning Commission package. In 2010, when the City decided to stop accepting bonds and switched to letters of credit, Mr. Newman refused to change to a letter of credit. Staff is requesting the Planning Commission to allow the bond to be called.

Mr. Wilkinson said the concern is that it can be a lengthy process to make a demand on a surety and the process should begin now. He added the roads need to be topped and sidewalks are needed. The developer does not own any of the lots and builders are working on about one-third of the lots.

Mr. Puryear asked if the bond is called and we are not able to collect, is the City obligated to complete the improvements.

Ms. Susan High-McCauley, City Attorney, said there may be some issues and difficulties with this particular bond.

Ms. Schoch said the surety company claims the surety was cancelled several years ago when the original developer went bankrupt. The City was never notified of the cancellation and staff considers the bond still valid.

Dr. Orgain joined the meeting at 5:11 p.m.

Mr. Wilson motioned to approve Resolution No. 2015-14. Mr. Ramsey seconded the motion and the motion passed 6 ayes, 0 nays.

12. GMRPC Resolution No. 2015-15 – 8-7-04 – Lowe’s of Gallatin (Traffic Signal); site surety discussion – City of Gallatin Engineering Division.

Ms. Schoch said when the Lowes Final Master Development Plan was approved one of the conditions was that the traffic signal be installed when warranted at the corner of Nashville Pike and Blue Jay Way. The surety was approved for five (5) years and at that point a portion of the cost of the signal would be paid by the developer.

Mr. Wilkinson said, at this time, the signal is not warranted. There is an understanding that it was decided that the surety would be held for seven (7) years.

Ms. Schoch said in 2011 Lowes approached the City about putting a Sunset Clause in the letter of credit to establish a final date and there is some debate whether the renewal was for five (5) years or seven (7) years. There was never a formal motion by the Planning Commission to make the final date seven (7) years. The City received the final renewal for the last five years and the letter of credit will not be extended beyond this year, which is five (5) years. Staff could go to Lowes and ask them to extend the letter of credit two (2) more years; however, the City Engineer believes that the traffic signal will not be warranted in two (2) years.

Chair Dempsey agreed that the traffic signal will not be warranted in two (2) years.

Mr. Wilkinson said Lowes was committed to pay for the improvements by giving money to the City if the traffic signal is not warranted. The City can give Lowes the option to give their portion of the improvement money or the City can have Lowes install the signal. The Engineering Division does not have a preference.

Mayor Brown asked if we can give Loews the option.

Ms. Schoch said she contacted the Lowes representative and told them the letter of credit must be extended for another two (2) years. Lowes has not yet responded.

Mr. Wilkinson said, at this time the surety is adequate; however, the letter of credit should be reviewed to see if the cost of constructing a traffic signal may increase.

Ms. Schoch said this would be the time to look at an increase in the surety amount.

Chair Dempsey asked staff to get Lowes' response and the Planning Commission can decide to have the letter of credit increased and renewed for two (2) years.

Chair Dempsey motioned to update the bond and continue the last year of the original five (5) years and ask Lowes to renew the letter of credit for an additional two (2) years.

Mr. Ramsey seconded the motion and the motion passed 6 ayes, 0 nays.

13. GMRPC Resolution 2015-16 – 8-202-14 – Odric Gregory Industrial Park, Phase 4, Lot 2; Site Plan – Klober Engineering Services – Owner and applicant request approval of a site plan for Odric Gregory Industrial Park, Phase 4, Lots 2 and 3 to construct a 20,135 square foot building, on 5.80 (+/-) acres, located at 120 and 130 Caroline Way.

Mr. Robert Kalisz, Planner II, presented the staff report and said the owner and applicant request approval of a site plan for Lots 2 and 3 to construct a 20,125 square foot building. The majority of the proposed project will be located on Lot 2 which includes the proposed structure with two (2) loading docks, parking for employees, paved loading/unloading area, and a dumpster enclosure. The applicant is also requesting an alternative architectural plan which requires the Planning Commission to determine whether the proposed plan meets the requirements of the Gallatin Zoning Ordinance.

Mr. Kalisz added that the landscape bufferyard shall be maintained by the owner.

Mr. Kalisz said staff recommends the Planning Commission approve Resolution 2015-16 with the conditions listed in the staff report.

Chair Dempsey asked Mr. Wilkinson if there were any engineering concerns with the project. Mr. Wilkinson said Engineering Division would add that the applicant submit stormwater information as a condition of approval.

Mr. Josh Lyon, with Klober Engineering said he agreed with the staff conditions.

Mr. Ramsey motioned to approve Resolution No. 2015-16 with the following conditions:

1. The Planning Commission determined that the proposed alternative architectural plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.
2. Provide address of "120" and "130" to Caroline Way in the Title Block.
3. Provide addresses to Lot 1 (110), Lot 2 (120), and Lot 3 (130) per recorded final plat.
4. Provide revised drainage calculations reflecting changes to the site plan or submit an addendum describing changes to the site plan (especially pervious and impervious areas) and indicate that revisions to the site plan shall fall within capacities of previous design.
5. The site plan shall comply with Gallatin Public Utilities Department standards by providing sanitary sewer service to Lots 2 and 3 (sanitary sewer service not installed for Lots 2 and 3) and comply with all applicable cross-connection control and sewer use regulations.
6. All roadway improvements in the Caroline Way right of way shall be completed to a minimum of the installation of the binder coat and mountable curbs prior to the issuance of the Certificate of Occupancy. Any other required roadway improvements shall be covered by the subdivision performance surety.
7. Submit a site surety, in the amount of to be determined by the applicant for review and approval by the Planning Department, to the Planning Department prior to issuance of any building permits.
8. Submit three (3) corrected folded copies of the site plan, including one (1) full size and two (2) half size copies, to the Planning Department for review and approval.
9. Provide a copy of the recorded Stormwater Maintenance Agreement for Odric Gregory Industrial Park, Phase 4, Lot 2 prior to the issuance of the Land Disturbance Permit.

Mr. Wilson seconded the motion and the motion passed by unanimous vote.

14. GMRPC Resolution No. 2015-03 – 3-229-15 – Clear Lake Meadows Section 6; PMDP – Bruce Rainey and Associates – Public Comment – Owner and applicant request rezoning and approval of a Preliminary Master Development Plan for Clear Lake Meadows Subdivision, Section 6, on a 15.08 (+/-) acre parcel and a .98 acre lot, to create 27 single family residential lots, four (4) open space tracts, and two (2) public rights-of-way, located north of Nichols Lane and east of Quarry Road.

Mr. Kevin Chastine, Planner II, presented the staff report and said the owner and applicant request to rezone one (1) parcel and a platted lot from Residential 20 (R20) and residential 40 (R40) to Residential 20 Planned Residential Development (R20-PRD) with a Preliminary Master Development Plan to create 27 One-Family Detached Dwelling lots, four (4) open space tracts, extend one (1) public right-of-way and create one (1) public right-of-way. Seven (7) architectural floor plans were submitted with the majority

brick and stone construction. The Residential 20 district requires a minimum of 18 percent open space and the applicant meets the requirement. Staff recommends the Planning Commission approve Resolution 2015-03 and recommend approval of the zoning request to City Council, with the conditions listed in the staff report.

Mr. Bill McCord, Director of Planning, said staff would like to add a condition to extend the greenway easement along the north 25 feet of Lot 27, which is a continuation of the greenway easement that is already recorded on the north side of Lot 93 to Lot 104 to the east.

Chair Dempsey asked Mr. Wilkinson if there were any engineering concerns with the project. Mr. Wilkinson said there were no engineering concerns with the project.

Mr. Bruce Rainey, with Bruce Rainey and Associates, agreed with staff conditions and said the drainage issues were resolved with the Corps of Engineers and the State. The restrictive covenants were updated open space was added and one lot was removed.

Mr. Ramsey asked if Mr. Rainey was in agreement with the greenway. Mr. Rainey said he was in agreement with the greenway and added that utilities will be underground between the two lots.

Chair Dempsey asked if the Homeowners' Association will maintain the open space. Mr. Rainey said the Homeowner's Association would maintain the open space.

Chair Dempsey asked if this includes the existing homes built on Quarry Lane. Mr. Rainey said the original plan had a buffer strip along the quarry that was supposed to be open space and was deeded to the property owner. The intent was not to take away rights but provide a joint-use space that can be maintained with the adjacent property. There would be discussions with the existing Homeowner's Association to combine the two (2) Homeowner's Associations into one (1) Homeowner's Association.

Chair Dempsey opened public comment.

Ms. Lulani Wright, Secretary Treasurer of the Homeowner's Association, said the covenants and restrictions have been filed to join the Homeowner's Associations. She asked if there are sidewalks proposed in the subdivision in front of the homes. She also asked how soon Quarry Road would be open to the subdivision and expressed concern about construction traffic.

No one else came forward to speak; therefore, Chair Dempsey closed public comment.

Mr. Rainey said the goal is to bring the construction traffic into the new entrance and not through the existing subdivision. Sidewalks are shown on the plan.

Mr. Ramsey said Tract C, backs up to the quarry and asked the City Attorney if a fence should be installed for safety and if not building a fence is a liability.

Ms. McCauley said she recommends a barrier be constructed.

Mr. Ramsey answered under similar situations the insurance carrier did not consider the quarry as an attractive nuisance.

Mr. Ramsey motioned to suspend the rules to allow the Secretary of the Homeowner's Association, Ms. Wright, speak to the Planning Commission. Dr. Orgain seconded the motion and the motion passed 6 ayes, 0 nays.

Ms. Wright said her home backs up to the quarry and she said the Homeowners' Association was deeded the quarry and carries liability insurance. The insurance company does not require a fence. The residents do not want a fence; however, it is a concern.

Mr. Ramsey motioned to approve Resolution 2015-03 with the following conditions:

1. Staff recommends that the Planning Commission approve the architectural designs included as Attachment 14-4, with the understanding that the final architectural designs will be submitted with the Final Master Development Plan for Clear Lake Meadows, Section 6 for review and approval by the Planning Commission.
2. Label the landscape island within Quarry Road as Open Space Tract 'D'.
3. Stormwater treatment/detention and management practices outlined in City of Gallatin Stormwater Ordinance and Subdivision Regulations must be met. Calculations to be submitted with FMDP will further clarify volumes and area requirements.
4. Provide TDEC approved determination of conveyance across lots 3 through 13.
5. Provide handicap crossing/ramps across Quarry Rd at intersection with Nichols Lane.
6. Provide typical cross-section of proposed roadway.
7. Dimension and Label a 25 foot Greenway Easement along the northern property boundary of Lot 27.
8. Submit 14 half-sized, corrected folded copies of the Preliminary Master Development Plan for City Council.

Dr. Orgain seconded the motion and the motion passed 6 ayes, 0 nays.

15.GMRPC Resolution No. 2015-05 - 8-211-14 – Gallatin Civic Center Pool Expansion; Site Plan – Barge Waggoner Sumner and Cannon – Owner and applicant requests approval of a site plan to construct a 9,884 square foot building addition to the existing Gallatin Civic Center and an outdoor pool area on a site containing 1.06 (+/-) acres. The property is zoned Residential 40 (R40) and Residential 15 (R-15) located at 210 Albert Gallatin Avenue.

Mr. Chastine said the property owner and applicant request approval of a site plan to construct a 9,884 square foot building addition to the existing Gallatin Civic Center and outdoor pool area. The addition would be built along the west elevation and would contain the adult therapy pool, splash pad, restrooms and all other rooms for mechanical operations of the pool. The area around the pool would be fenced and the proposed architecture meets the 70 percent brick or stone requirement.

Mr. Chastine said staff recommends approval of Resolution 2015-05 with the conditions listed in the staff report.

Chair Dempsey asked Mr. Wilkinson if there were any engineering concerns with the project. Mr. Wilkinson said there were no engineering concerns with the project.

Mr. Ron Harrison, with Barge Waggoner Sumner and Cannon, said he agreed with staff conditions.

Mr. McCord asked if the existing pool would be closed during construction of the new pool.

Mr. David Brown, Director of Leisure Services, said there would be a temporary wall erected during construction and everything is expected to remain open.

Mr. Orgain asked about the size of the pool. Mr. Brown answered it would be 5200 square feet.

Mr. Ramsey motioned to approve Resolution 2015-05 with the following conditions:

1. The applicant shall revise the architectural elevations, for the north elevation, to meet the HVAC screening requirements of Gallatin Zoning Ordinance Section 13.08.010.F.1
2. Provide outlet protection detail and sizing utilizing the Tennessee Erosion & Sediment Control Handbook.
3. Indicate culvert to be used at construction entrance is to be 18" RCP a minimum of 30' long. Location and exact location of culvert shall be coordinated with the City of Gallatin Engineering Division.
4. Detailed plans and specifications must be submitted for approval for relocation of existing water main.
5. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

Dr. Orgain seconded the motion and the motion passed 6 ayes, 0 nays.

16. GMRPC Resolution No. 2015-04 - 215-14 – Volunteer State Community College Humanities Building; Site Plan – Moody Nolan, Inc. – Owner and applicant requests approval of a site plan to construct a three (3) story, 88,345 square foot humanities building and a parking area on a 11.79 (+/-) acre portion of the Volunteer State Community College Campus. The property is zoned residential 20 (R20) and located at 1480 Nashville Pike.

Mr. Chastine presented the staff report and said the applicant requests approval of a site plan to construct a three-story, 88,345 square foot Humanities Building and a parking area on a portion of the campus of Volunteer State Community College. The proposed building would be in the center of campus next to the Student Center, on an existing parking area. The existing handicapped spaces would be moved to another location and there would be a net increase 80 parking spaces for the entire site.

Mr. Chastine said staff recommends the Planning Commission approve Resolution 2015-04 with the conditions listed in the staff report.

Chair Dempsey asked Mr. Wilkinson if there were any engineering concerns with the project. Mr. Wilkinson said there were no engineering concerns with the project.

Mr. Wilson motioned to approve Resolution 2015-04 with the following conditions:

1. The applicant shall show and label all lighting proposed for the parking area (new parking lot).
2. The applicant shall provide a photometric plan for the lighting within the parking area that meets the standards found in TABLE 13-04 of the Gallatin Zoning Ordinance.
3. The Gallatin Zoning Ordinance Section 13.05.020.B.(1)(b) requires one (1) canopy tree (2.5 inch caliper minimum) for every ten (10) parking spaces, which will require 15 canopy trees in the new parking area.
4. The Planning Department shall inspect the exterior building facade materials prior to the installation of the exterior building facade materials.
5. Detailed plans and specifications must be submitted for approval for relocation of existing water main.
6. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

Mayor Brown seconded the motion and the motion passed 6 ayes, 0 nays.

17. Other Business

- Long Hollow Farms Subdivision

Mr. McCord said the owner has decided to build a code compliant street width. City Council deferred this item to allow the property owner time to meet with area property owners to discuss concerns about the project.

- Discussion of education requirements, T.C.A., Section 13-2-10 (i)

Mr. McCord distributed information regarding the TAPA Winter Retreat, at Fall Creek Falls, in February. This is an opportunity to obtain the required credit hours for Planning Commission members. One of the four hours required must be on Property Rights and there will be a session on Property Rights at the seminar. Most of the staff will attend the seminar.

Mr. Puryear asked if this seminar would satisfy all the required hours. Mr. McCord said the seminar would meet the 2015 requirements.

8. Move to Adjourn

There being no further business to discuss, Chair Dempsey adjourned the meeting at 6:08 P.M.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, January 26, 2015
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- Call to Order
- Invocation
- Pledge of Allegiance
- Roll Call
- Approval of Prior Minutes: Nov. 10, 2014 - Work Session Meeting, Nov. 24, 2014 - Regular Meeting
- Public comments on Consent Agenda items
- GMRPC Resolution No. 2015-17
Election of Officers

CONSENT AGENDA

- | | | |
|-----------|---|------------------|
| 1. | GMRPC Resolution No. 2015-06
SURETY RENEWAL & EXTENSION
CITY OF GALLATIN | 7-171-15 |
| | APPROVAL OF SURETY RENEWAL AND EXTENSION FOR JANUARY 2015 | |
| 2. | GMRPC Resolution No. 2015-07
TWIN EAGLES, PHASE 11, SECTION A; FINAL PLAT
ROGERS ENGINEERING GROUP | 1-200-14C |
| | OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR TWIN EAGLES, PHASE 11, SECTION A, A MAJOR SUBDIVISION, TO CREATE 29 ONE-FAMILY DETACHED DWELLING LOTS ON 8.49 (+/-) ACRES, LOCATED ON BEACON STREET, AVALON DRIVE, AND OSPREY DRIVE. | |
| 3. | GMRPC Resolution No. 2015-08
TWIN EAGLES, PHASE 12, SECTION A; FINAL PLAT
ROGERS ENGINEERING GROUP | 1-201-14C |
| | OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR TWIN EAGLES, PHASE 12, SECTION A, A MAJOR SUBDIVISION, TO CREATE 23 ONE-FAMILY DETACHED DWELLING LOTS ON 6.85 (+/-) ACRES, LOCATED ON BEACON STREET AND OSPREY DRIVE. | |
| 4. | GMRPC Resolution No. 2015-01
FAIRWAY FARMS, PHASE 2, SECTION 1; PRELIMINARY PLAT
BRUCE RAINEY & ASSOCIATES | 1-217-15B |

OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR FAIRWAY FARMS, PHASE 2, SECTION 1 A MAJOR SUBDIVISION, TO CREATE 16 ONE-FAMILY DETACHED DWELLING LOTS, A STREET EXTENSION AND ONE (1) OPEN SPACE TRACT ON 5.75 (+/-) ACRES, LOCATED ON GOODMAN DRIVE.

5. **GMRPC Resolution No. 2015-09** **1-218-15C**
HUNTER POINTE, PH. 2, ROADWAY & LOTS 3-9; FINAL PLAT
RAGAN-SMITH ASSOCIATES, INC.

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR HUNTER POINTE, PHASE 2, ROADWAY AND LOTS 3-9, CONTAINING 22.79 (+/-) ACRES, LOCATED AT LONG HOLLOW PIKE AND BEATY BOULEVARD.

6. **GMRPC Resolution No. 2015-10** **5-222-15**
ALBION DOWNS, PHASE 1; PUBLIC INFRASTRUCTURE ACCEPTANCE
HAYNES REALTORS

DEFERRED

7. **GMRPC Resolution No. 2015-11** **5-225-15**
ALBION DOWNS, PHASE 3; PUBLIC INFRASTRUCTURE ACCEPTANCE
HAYNES REALTORS

DEFERRED

8. **GMRPC Resolution No. 2015-02** **8-228-15**
FAIRVUE PLANTATION STREET TREE PROJECT #3; REVISED FMDP
FAIRVUE PLANTATION H.O.A

OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN (PMDP) AND A MINOR AMENDMENT TO THE APPROVED FINAL MASTER DEVELOPMENT PLANS (FMDP) FOR FAIRVUE PLANTATION, PHASES 2, 4, 5, 6, 7, 8, 15, 16, 17, 18 AND 21, TO INSTALL STREET TREES IN THE RIGHT-OF-WAY ON FOUR (4) PUBLIC STREETS ALONG KELVINGTON BLVD., NOAH LANE, ISAAC FRANKLIN DR., AND FAIRVUE VILLAGE LANE, AND ON FOUR (4) PRIVATE STREETS ON JACOBS DR., FAIRINGTON PVT. WAY, EGRET PVT. WAY AND ROZELLA WAY (PRIVATE ROAD).

REGULAR AGENDA

9. **GMRPC Resolution No. 2015-12** **1-41-06C**
BAYWOOD POINTE PH. 3 (SWEENEY); SUBDIVISION SURETY DISCUSSION
CITY OF GALLATIN ENGINEERING DIVISION

10. **GMRPC Resolution No. 2015-13** **1-66-04C**
FAR AWAY HILLS, LOTS 4-9, 13-18, 20 & 21; SUBDIVISION SURETY DISCUSSION
CITY OF GALLATIN ENGINEERING DIVISION

WITHDRAWN BY ENGINEERING DIVISION

11. **GMRPC Resolution No. 2015-14** **7-219-15**
NEWMAN DOWNS, PH. 3; DEMAND ON SUBDIVISION PERFORMANCE BOND
CITY OF GALLATIN ENGINEERING DIVISION

CITY OF GALLATIN ENGINEERING DIVISION REQUESTS APPROVAL OF A RESOLUTION TO MAKE A FORMAL DEMAND TO CALL THE SUBDIVISION PERFORMANCE BOND FOR NEWMAN DOWNS, PHASE 3, PURSUANT TO SECTION 3-101 AND SECTION 3-104 OF THE GALLATIN SUBDIVISION REGULATIONS.

12. **GMRPC Resolution No. 2015-15** **8-7-04**
LOWE'S OF GALLATIN (TRAFFIC SIGNAL); SITE SURETY DISCUSSION
CITY OF GALLATIN ENGINEERING DIVISION

13. **GMRPC Resolution No. 2015-16** **8-202-14**
ODRIC GREGORY IND. PK. PH. 4, LOT 2; SITE PLAN
KLOBER ENGINEERING SERVICES
- OWNER AND APPLICANT REQUEST APPROVAL OF A SITE PLAN FOR ODRIC GREGORY INDUSTRIAL PARK, PHASE 4, LOTS 2 AND 3 TO CONSTRUCT A 20,125 SQUARE FOOT BUILDING, ON 5.80 (+/-) ACRES, LOCATED AT 120 AND 130 CAROLINE WAY.
14. **GMRPC Resolution No. 2015-03** **3-229-15**
CLEAR LAKE MEADOWS SECTION 6; PMDP
BRUCE RAINEY AND ASSOCIATES
- PUBLIC COMMENT
OWNER AND APPLICANT REQUEST REZONING AND APPROVAL OF A PRELIMINARY MASTER DEVELOPMENT PLAN FOR CLEAR LAKE MEADOWS SUBDIVISION, SECTION 6, ON A 15.08 (+/-) ACRE PARCEL AND A .98 ACRE LOT, TO CREATE 27 SINGLE FAMILY RESIDENTIAL LOTS, FOUR () OPEN SPACE TRACTS, AND TWO (2) PUBLIC RIGHTS-OF-WAY, LOCATED NORTH OF NICHOLS LANE AND EAST OF QUARRY ROAD.
15. **GMRPC Resolution No. 2015-05** **8-211-14**
GALLATIN CIVIC CENTER POOL EXPANSION; SITE PLAN
BARGE WAGGONER SUMNER AND CANNON
- OWNER AND APPLICANT REQUEST APPROVAL OF A SITE PLAN TO CONSTRUCT A 9,884 SQUARE FOOT BUILDING ADDITION TO THE EXISTING GALLATIN CIVIC CENTER AND AN OUTDOOR POOL AREA ON A SITE CONTAINING 1.06 (+/-) ACRES. THE PROPERTY IS ZONED RESIDENTIAL 40 (R40) AND RESIDENTIAL 15 (R-15) LOCATED AT 201 ALBERT 210 ALBERT GALLATIN AVENUE.
16. **GMRPC Resolution No. 2015-04** **8-215-14**
VOL. ST. COM. COLLEGE HUMANITIES BLDG.; SITE PLAN
MOODY NOLAN, INC.
- OWNER AND APPLICANT REQUEST APPROVAL OF A SITE PLAN TO CONSTRUCT A THREE (3) STORY, 88,345 SQUARE FOOT HUMANITIES BUILDING AND A PARKING AREA ON A 11.79 (+/-) ACRES PORTION OF THE VOLUNTEER STATE COMMUNITY COLLEGE CAMPUS. THE PROPERTY IS ZONED RESIDENTIAL 20 (R20) AND LOCATED AT 1480 NASHVILLE PIKE.
17. **OTHER BUSINESS**
- DISCUSSION OF EDUCATION REQUIREMENTS
18. **MOVE TO ADJOURN**

ITEM 1

GMRPC Resolution No. 2015-19

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING ITEM 1 – A ONE (1) YEAR RENEWAL AND EXTENSION OF THE PERFORMANCE SURETIES FOR ESTATES OF FAIRWAY HEIGHTS, PHASE 1 (SITE); PC FILE #8-5-06 – TWIN EAGLES, PHASE 8 (SITE); PC FILE #8-5-07 – CARELLTON, PHASE 1B (SUBDIVISION); PC0216-13 – FOXLAND, PHASE 3, SECTION 1A (SUBDIVISION); PC9815-11 – KENNESAW FARMS, PHASE 1 COMMERCIAL (UTILITY); PC0228-13 – (PC FILE #7-171-15)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the one (1) year renewal and extensions of the performance sureties for Estates of Fairway Heights, Phase 1 (Site); PC File #8-5-06 – Twin Eagles, Phase 8 (Site); PC File #8-5-07 – Carellton, Phase 1B (Subdivision); PC0216-13 – Foxland, Phase 3, Section 1A (Subdivision); PC9815-11 – Kennesaw Farms, Phase 1 Commercial (Utility); PC0228-13 submitted by the applicant, City of Gallatin, at its regular meeting on February 23, 2015; and;

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the information presented by City Staff and evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows:

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Gallatin Zoning Ordinance, §15.03.080 and Gallatin Subdivision Regulations, Chapter 3:

1. It has been determined that the renewal and extensions of the performance sureties will not create adverse effects upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
2. It has been determined that no one property owner or small group of property owners will benefit materially from the renewal and extensions of the performance sureties to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a one (1) year renewal and extension of the performance sureties as follows:

- Estates of Fairway Heights, Phase 1; PC File #8-5-06 site surety one (1) year renewal and extension for \$7,500.

- Twin Eagles, Phase 8; PC File #8-5-07 site surety one (1) year renewal and extension for \$8,100.
- Carellton, Phase 1B; PC0216-13 subdivision surety one (1) year renewal and extension for \$322,000.
- Foxland, Phase 3, Section 1A; PC9815-11 subdivision surety one (1) year renewal and extension for \$74,000.
- Kennesaw Farms, Phase 1 Commercial; PC0228-13 utility surety one (1) year renewal and extension for \$15,000.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 2/23/15

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney

ITEM 2

GMRPC Resolution No. 2015-24

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL PLAT FOR RAY ESTATES, SECTION 2B, A MAJOR SUBDIVISION REPLATTING A PORTION OF RAY ESTATES SECTION II, TO CREATE 26 ATTACHED DWELLING LOTS, AND TWO (2) OPEN SPACE TRACTS COMPRISING 6.00 (+/-) ACRES, LOCATED NORTH OF EAST MAIN STREET AND EAST OF SUNSET DRIVE – (PC File# 1-265-15C)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Final Plat submitted by the applicant, Caldwell Engineering & Surveying, at its regular meeting on February 23, 2015; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-402, §13-3-404, §13-4-302, and §13-4-304 and the City of Gallatin Subdivision Regulations:

1. The Final Plat is in agreement and consistent with the intent and recommendations of the General Development and Transportation Plan for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The Final Plat is consistent with the Policy and Procedures of the as described in Chapter 1, Section 1-104, items 1-11, and Chapter 2, Section 2-105 of the City of Gallatin Subdivision Regulations.
3. The Final Plat is consistent with the purpose and intent of the Residential 8 (R-8) Zoning District.
4. The Final Plat is consistent with T.C.A. Sections 13-3-402, 13-3-404, 13-4-302 and 13-4-304.
5. The Final Plat is consistent with the approved Preliminary Plat for Ray Estates, Section 2.
6. The legal purposes for which zoning and subdivision regulations exist have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Plat for Ray Estates Section 2B consisting of three (3) sheets prepared by Caldwell Engineering and Surveying of Hendersonville, TN with Job No. 14-23, dated January 2, 2015, with the following conditions:

1. The developer shall be aware prior to acceptance of subdivision infrastructure; an as-built survey will be required.
2. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 2/23/15

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY

ITEM 2



PLANNING DEPARTMENT STAFF REPORT

Final Plat for Ray Estates Section 2B

(PC File# 1-265-15C)

North of East Main Street and East of Sunset Drive

Date: February 10, 2015

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR THE RAY ESTATES, SECTION 2B SUBDIVISION, REPLATTING A PORTION OF RAY ESTATES SECTION II TO REVISE LOTS LINES ON 26 ATTACHED DWELLING LOTS COMPRISING 6.00 (+/-) ACRES LOCATED NORTH OF EAST MAIN STREET AND EAST OF SUNSET DRIVE.

OWNER: CMB INVESTMENTS, LLC (CRISTAN K. BLACKMAN)

APPLICANT: CALDWELL ENGINEERING (DEWAYNE CALDWELL)

STAFF RECOMMENDATION: APPROVAL AS SUBMITTED

STAFF CONTACT: KEVIN CHASTINE

PLANNING COMMISSION DATE: FEBRUARY 23, 2015

PROPERTY OVERVIEW: The owner and applicant is requesting approval of a Final Plat for Ray Estates, Section 2B, a major subdivision, replatting a portion of Ray Estates Section II to revise lot lines on 26 Attached Dwelling lots, comprising 6.00 (+/-) acres. The property is located north of East Main Street and east of Sunset Drive. The property is currently zoned Residential 8 (R-8) and Attached Dwellings are a permitted use in the R-8 zone district. (Attachment 2-1)

CASE BACKGROUND:

Previous Approvals

On May 22, 2006, the Planning Commission recommended approval of the rezoning the property from Residential 15 (R-15) to Residential 8 (R-8) with a Preliminary Master Development Plan (PC File# 3-9-06).

On June 6, 2006, the City Council approved the rezoning and Preliminary Master Development Plan on second reading.

On July 24, 2006, the Planning Commission approved a Final Master Development (PC File # 8-44-06) for Rhea Estates.

On September 25, 2006, Planning Commission approved the Preliminary Plat for Rhea Estates with conditions. A Final Plat for Ray Estates, Section one was later approved and recorded on December 14, 2006. (This phase included only one (1) lot, which included an existing house on East Main Street.) At this time the name of the development changed from Rhea Estates to Ray Estates.

On December 15, 2008, the Planning Commission approved a Final Plat (PC File # 1-36-08C) for Ray Estates, Section 2 with conditions. However, the Final Plat was never recorded.

On August 28th, 2013, the Planning Commission approved an amended Preliminary Master Development Plan (PC0167-13) as a minor amendment with conditions, a Preliminary Plat with conditions (PC0181-13) and Final Plat with conditions. (PC0182-13)

On February 24, 2014, the Planning Commission approved the Final Master Development Plan (PC0245-14) with conditions and the Final Plat for Ray Estates, Section II (PC0246-14) with conditions. The Final Plat was recorded in Plat Book 28, Pages 166 through 168 on June 17, 2014. (Attachment 2-2)

DISCUSSION:

Proposed Development

The Final Plat for Ray Estates Section 2B contains 26 attached dwelling lots. The applicant is proposing to shift lot lines and thereby change lot sizes within 16 of the 26 attached dwelling lots. The attached dwelling lots are for tri-plexes and the accompanying lots are addressed as 'A', 'B', and 'C'. The 'A' lots are closest to Odie Ray Street and the 'C' lots about the southwesterly property boundary. In an effort to pull the 'A' lot units away from the sidewalk the applicant is requesting to add five (5) feet of width to the 'A' lots (Lots 17, 20, 23, 26, 29, 32, 35, and 38). In turn, the 'C' lots have been reduced by five (5) feet in width (Lots 19, 22, 25, 28, 31, 34, 37, and 40). The 'B' lots will maintain the same width and size as previously approved, but will be moved five (5) feet to the southwest. The building setback and yard lines will remain the same.

The affected lots are 17, 19, 20, 22, 23, 25, 26, 28, 29, 31, 32, 34, 35, 37, 39, and 40. The table below shows a comparison of the currently platted lot sizes and the proposed lot sizes.

LOT SIZE COMPARISON (PLATTED vs. REQUESTED)		
LOT NUMBER	CURRENTLY PLATTED (Sq Ft)	PROPOSED (Sq Ft)
17	8731.2	9331.2
19	7978.9	7378.9
20	8731.2	9331.2
22	8001.1	7401.1
23	8829.4	9429.4
25	7954.8	7354.8
26	8829.4	9429.4
28	8005.5	7405.5
29	8939.8	9539.8
31	7954.4	7354.5
32	8939.8	9539.8
34	8005.5	7405.5
35	9085.2	9685.2
37	7940.3	7340.3
38	8745.5	9354.5
40	8022.9	7422.9

The Amended Preliminary Master Development Plan was approved with bulk regulation exceptions to the lot sizes for the tri-plex lots. The lot sizes and layout shown on the Final Plat are consistent with lot sizes and layouts on the Amended Preliminary Master Development Plan and Revised Final Master Development Plan (PC0245-14).

Natural Features

The northern portion of this property, lots 38, 39, and 40 are partially located within a flood hazard area Zone AE and Shaded X, based on FEMA FIRM Map 4765C0318G, which was adopted April 17th, 2012. The buildable portions of these lots will be elevated outside any special flood hazard area.

Adjacent Development

Ray Estates, Section 2B is bordered to the northeast by 13 single family lots that are part of Ray Estates, Section 2 and on all other sides by single family detached residential homes. The property to the northeast is zoned Residential 8 (R-8) and south is zoned Residential 40 (R-40) (Sunset Park Subdivision).

Preliminary Plat

The latest Preliminary Plat for Ray Estates Section 2 was approved on October 28th, 2013. Per the City Engineer, no amended Preliminary Plat is required this time to show the requested amendment to the attached dwelling lot widths. (Attachment 2-4)

Bulk Regulations, Bufferyards and Landscaping

The Final Plat shows the two (2) proposed open space tracts (Tract 'A' and 'B') consistent with the Amended Preliminary and Revised Final Master Development Plan. The two (2) open space tracts total .51 (+/-) acres. These two (2) open space tracts correspond to the existing detention areas. Tract 'A' is located at the northwest corner of the intersection of Odie Ray Street and East Main Street. Tract 'B' is located at the westside of the cul-de-sac of Odie Ray Street.

The owner/applicant is requesting alternative Type 25 Bufferyards along the northeastern and western property boundaries. The alternative requested reduces the width from 25 feet to 15 feet. A total of 93 trees will be retained and supplemented with 92 Nellie Stevens Hollies. All landscape material will be planted within the alternative 15 foot Landscaping and Screening Easement along the northern and southern property boundaries.

Public Utility and Drainage Easements (P.U.D.E'S)

The P.U.D.Es are consistent with the Ray Estates, Section 2, Amended Preliminary Master Development Plan and Revised Final Master Development Plan (PC0245-14), and with the Final Plat for Section II. The P.U.D.E. widths shown on this replat are a variance from the Gallatin Subdivision Regulations and the Engineering Division supports this variance.

Dedication of Right-of-Way

Odie Ray Street is a public right-of-way to be maintained by the City, once accpeted. The Final Plat also shows five (5) public alleyways, which are named Public Alley 'A' through 'E'. The alleyways have been installed and match the 20 foot wide right-of-way and 16 foot pavement width as shown on the Final Plat. The alleyways will become a public right-of-way and will be maintained by the City. The owner/applicant shall provide E-911

documentation that the alleyway names have been approved. All public rights-of-way will be accepted as prescribed by code.

Planning Department Comments

The Planning Department reviewed and commented on the Final Plat. The Planning Department comments have been satisfied; however the applicant shall provide documents as indicated below:

Engineering Division Comments

The Engineering Division reviewed and commented on the Final Plat. The developer shall be aware prior to acceptance of subdivision infrastructure; an as-built survey will be required.

Other Departmental Comments

Other City Departments reviewed and commented on the Final Plat. All of the Other City Departmental comments have been satisfied.

Findings

1. The Final Plat is in agreement and consistent with the intent and recommendations of the General Development and Transportation Plan for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The Final Plat is consistent with the Policy and Procedures of the as described in Chapter 1, Section 1-104, items 1-11, and Chapter 2, Section 2-105 of the City of Gallatin Subdivision Regulations.
3. The Final Plat is consistent with the purpose and intent of the Residential 8 (R-8) Zoning District.
4. The Final Plat is consistent with T.C.A. Sections 13-3-402, 13-3-404, 13-4-302 and 13-4-304.
5. The Final Plat is consistent with the approved Preliminary Plat for Ray Estates, Section 2.
6. The legal purposes for which zoning and subdivision regulations exist have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2015-24, Final Plat for Ray Estates, Section 2B, consisting of a three (3) sheet plat, prepared by Caldwell Engineering & Surveying Inc. of Hendersonville, Tennessee, Job No. #14-23, dated January 2, 2015, with the following conditions:

1. The developer shall be aware prior to acceptance of subdivision infrastructure; an as-built survey will be required.

- 2. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

Attachment	2-1	Location Map
Attachment	2-2	Final Plat for Ray Estates Section 2 (PC0246-14)
Attachment	2-3	Final Plat for Ray Estates Section 2B (PC File# 1-265-15)
Attachment	2-4	Approved Preliminary Plat for Ray Estates Section 2 (PC0181-13)

I:\PLANNING COMMISSION\PC Items\2015\2-23-2015\Staff Reports\Item 2 Ray Estates Section 2B Final Plat (PC 1-256-15) KC

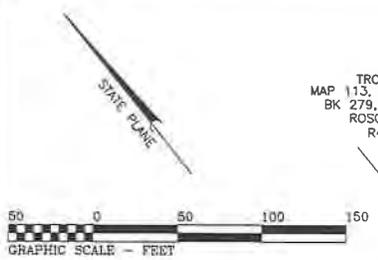


Prepared By: Kevin Chastine, AICP
Prepared On: Feb. 19, 2015

Location Map
Ray Estates - Final Plat - Section 2B
1190 East Main Street
PC File# 1-265-15C



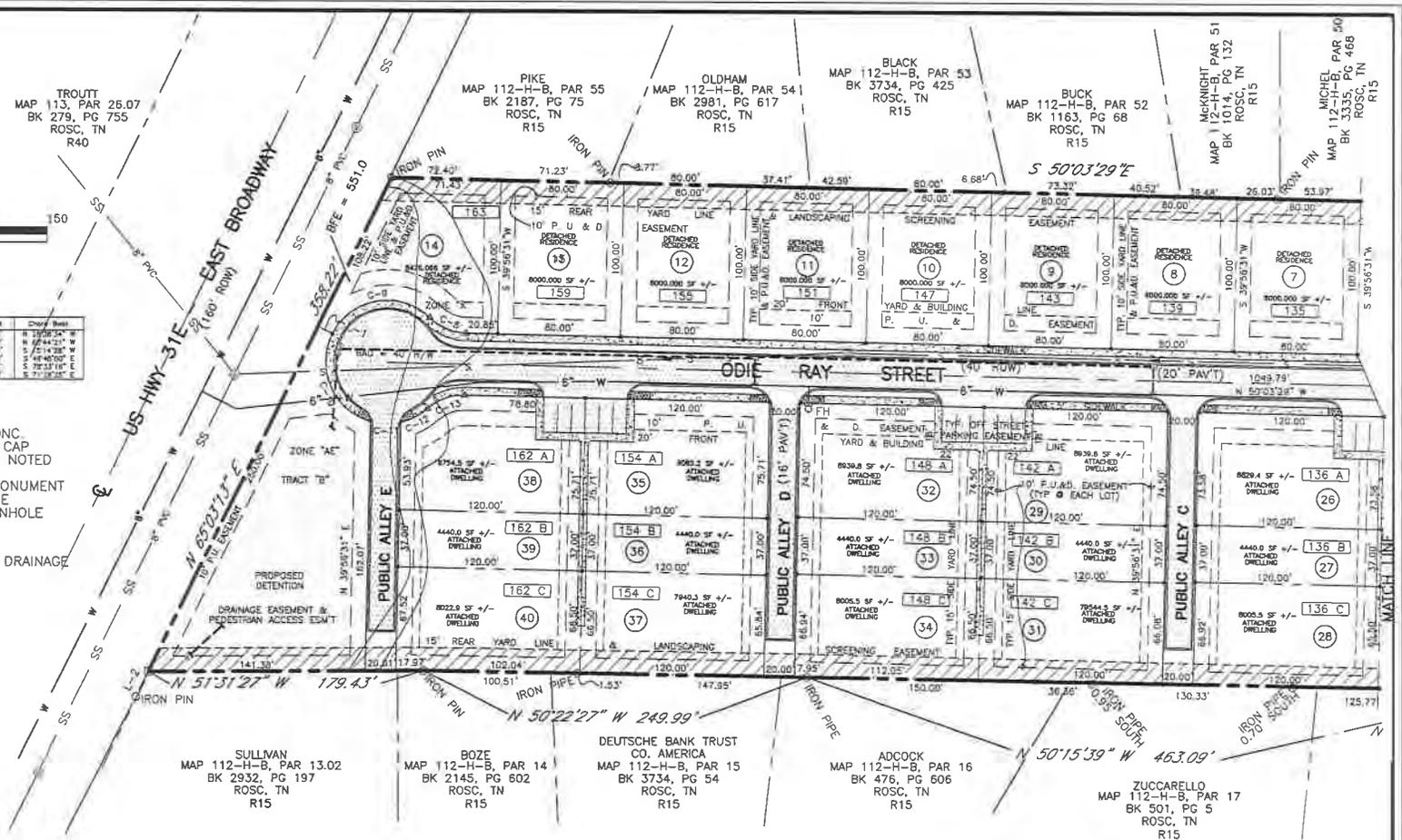
ATTACHMENT 2-1



Course	Bearing	Distance	Start	End	Chord	Chord Bearing
C-1	38.00°	12.72'	24.16'	42°42'51"	35.58'	S 13°02'54" W
C-2	40.00°	84.00'	84.71'	107°01'28"	84.32'	S 67°44'22" W
C-3	40.00°	48.53'	76.82'	101°30'55"	61.72'	S 71°14'28" W
C-4	40.00°	16.33'	25.21'	39°27'21"	25.00'	S 48°40'00" E
C-5	40.00°	13.22'	25.21'	38°42'06"	16.81'	S 78°33'16" E
C-6	16.00°	1.18'	26.18'	42°49'51"	25.81'	S 71°12'24" E

LEGEND

- ▲ = SET IRON PIN IN CONC.
- = SET 1/2" REBAR & CAP
- = FOUND IRON PIN AS NOTED
- = COMPUTED CORNER
- = FOUND CONCRETE MONUMENT
- SS — = SANITARY SEWER LINE
- ⊙ = SANITARY SEWER MANHOLE
- W — = WATER LINE
- ⊕ FH = FIRE HYDRANT
- P.U. & D = PUBLIC UTILITY AND DRAINAGE
- 1190 = ADDRESS



NOTES:
 1. SEE SHEET 3 OF 3 FOR NOTES & CERTIFICATES.
 2. THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE PROPERTY IN TO 39 LOTS.
 3. THE FINAL PLAT IS APPROVED WITH R8 ZONING AND AS PART OF THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR RAY ESTATES (PC0245-14) ON JANUARY 24, 2014.

ACCORDING TO GRAPHIC REPRESENTATION ON FLOOD INSURANCE RATE MAP NO.47165C0318G DATED: APRIL 17, 2012, A PORTION OF THIS PROPERTY LIES IN AN AREA DESIGNATED AS A "ZONE AE AND A ZONE X" FLOOD HAZARD AREA.

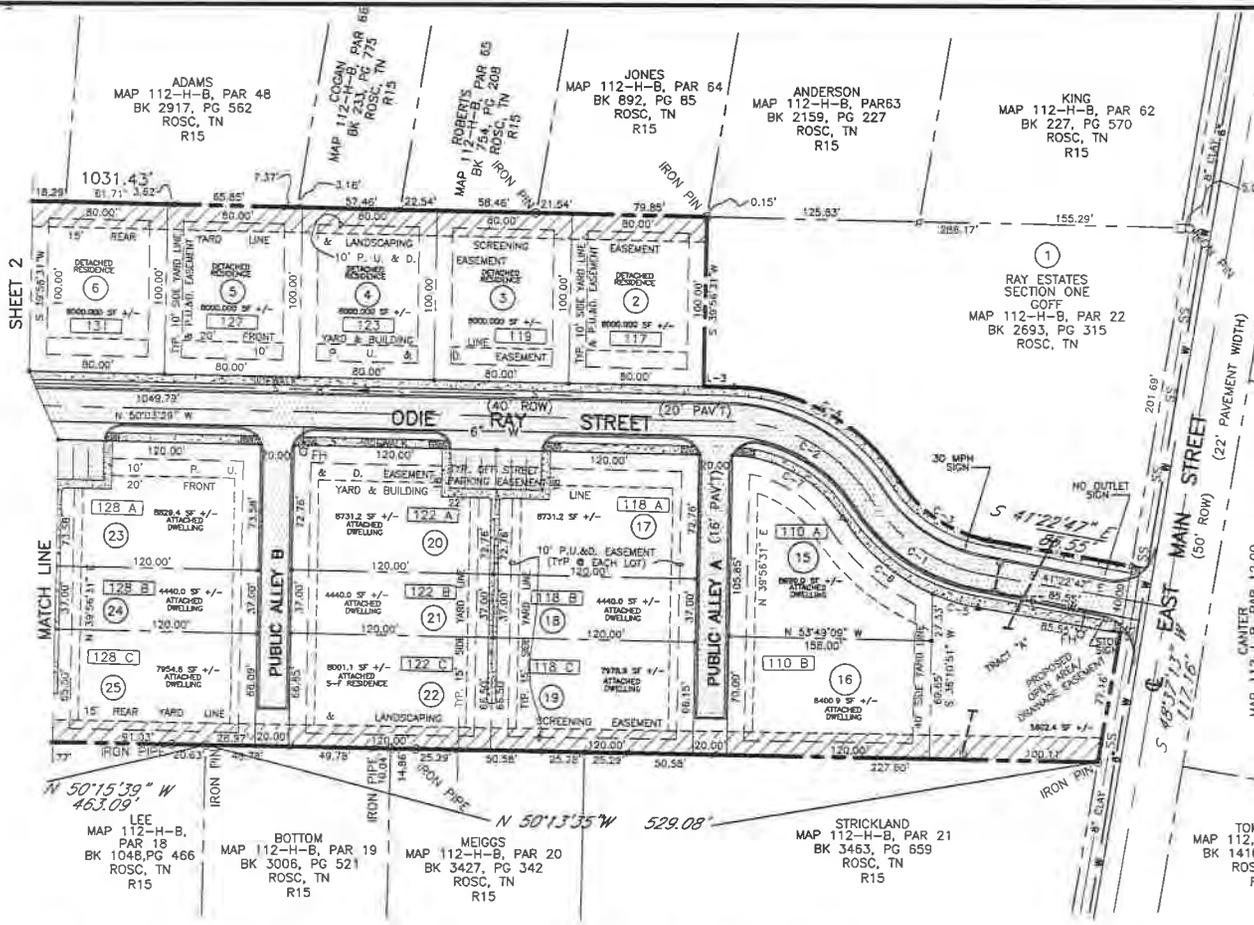


FINAL PLAT
 RAY ESTATES SEC. II
 GALLATIN, TENNESSEE
 OWNER & DEVELOPER
 CMB INVESTMENTS LLC
 100 BLUEGRASS COMMONS SUITE 350
 HENDERSONVILLE, TENNESSEE 37075

CALDWELL ENGINEERING & SURVEYING
 POST OFFICE BOX 323 HENDERSONVILLE, TENNESSEE 37077
 PHONE: (615) 824-4747
 E-MAIL: CALDWELLENR@GMAIL.COM

JOB NO: 13-33 DATE: 02/11/2014 SCALE: 1" = 50'
 COORDINATE FILE: 06-06.CRD DRAWING FILE: 13-18FP.DWG SHEET: 02 OF 03

ATTACHMENT 2-2



- ### LEGEND
- △ = SET IRON PIN IN CONC
 - = SET 1/2" REBAR & CAP
 - = FOUND IRON PIN AS NOTED
 - = COMPUTED CORNER
 - = FOUND CONCRETE MONUMENT
 - SS — = SANITARY SEWER LINE
 - S — = SANITARY SEWER MANHOLE
 - W — = WATER LINE
 - ⊕ FH = FIRE HYDRANT
 - S-F = SINGLE FAMILY
 - M-F = MULTIFAMILY
 - P.U.&D. = PUBLIC UTILITY AND DRAINAGE
 - 1190 = ADDRESS



Course	Bearing	Distance	Course	Bearing	Distance
1	N 50°13'35" W	529.08	1	N 50°13'35" W	529.08
2	S 41°24'47" E	463.09	2	S 41°24'47" E	463.09
3	S 35°56'31" W	100.00	3	S 35°56'31" W	100.00
4	N 39°56'31" E	100.00	4	N 39°56'31" E	100.00
5	N 50°13'35" W	100.00	5	N 50°13'35" W	100.00
6	S 41°24'47" E	100.00	6	S 41°24'47" E	100.00
7	S 35°56'31" W	100.00	7	S 35°56'31" W	100.00
8	N 39°56'31" E	100.00	8	N 39°56'31" E	100.00
9	N 50°13'35" W	100.00	9	N 50°13'35" W	100.00
10	S 41°24'47" E	100.00	10	S 41°24'47" E	100.00
11	S 35°56'31" W	100.00	11	S 35°56'31" W	100.00
12	N 39°56'31" E	100.00	12	N 39°56'31" E	100.00
13	N 50°13'35" W	100.00	13	N 50°13'35" W	100.00
14	S 41°24'47" E	100.00	14	S 41°24'47" E	100.00
15	S 35°56'31" W	100.00	15	S 35°56'31" W	100.00
16	N 39°56'31" E	100.00	16	N 39°56'31" E	100.00
17	N 50°13'35" W	100.00	17	N 50°13'35" W	100.00
18	S 41°24'47" E	100.00	18	S 41°24'47" E	100.00
19	S 35°56'31" W	100.00	19	S 35°56'31" W	100.00
20	N 39°56'31" E	100.00	20	N 39°56'31" E	100.00
21	N 50°13'35" W	100.00	21	N 50°13'35" W	100.00
22	S 41°24'47" E	100.00	22	S 41°24'47" E	100.00
23	S 35°56'31" W	100.00	23	S 35°56'31" W	100.00
24	N 39°56'31" E	100.00	24	N 39°56'31" E	100.00
25	N 50°13'35" W	100.00	25	N 50°13'35" W	100.00
26	S 41°24'47" E	100.00	26	S 41°24'47" E	100.00
27	S 35°56'31" W	100.00	27	S 35°56'31" W	100.00
28	N 39°56'31" E	100.00	28	N 39°56'31" E	100.00
29	N 50°13'35" W	100.00	29	N 50°13'35" W	100.00
30	S 41°24'47" E	100.00	30	S 41°24'47" E	100.00
31	S 35°56'31" W	100.00	31	S 35°56'31" W	100.00
32	N 39°56'31" E	100.00	32	N 39°56'31" E	100.00
33	N 50°13'35" W	100.00	33	N 50°13'35" W	100.00
34	S 41°24'47" E	100.00	34	S 41°24'47" E	100.00
35	S 35°56'31" W	100.00	35	S 35°56'31" W	100.00
36	N 39°56'31" E	100.00	36	N 39°56'31" E	100.00
37	N 50°13'35" W	100.00	37	N 50°13'35" W	100.00
38	S 41°24'47" E	100.00	38	S 41°24'47" E	100.00
39	S 35°56'31" W	100.00	39	S 35°56'31" W	100.00
40	N 39°56'31" E	100.00	40	N 39°56'31" E	100.00
41	N 50°13'35" W	100.00	41	N 50°13'35" W	100.00
42	S 41°24'47" E	100.00	42	S 41°24'47" E	100.00
43	S 35°56'31" W	100.00	43	S 35°56'31" W	100.00
44	N 39°56'31" E	100.00	44	N 39°56'31" E	100.00
45	N 50°13'35" W	100.00	45	N 50°13'35" W	100.00
46	S 41°24'47" E	100.00	46	S 41°24'47" E	100.00
47	S 35°56'31" W	100.00	47	S 35°56'31" W	100.00
48	N 39°56'31" E	100.00	48	N 39°56'31" E	100.00
49	N 50°13'35" W	100.00	49	N 50°13'35" W	100.00
50	S 41°24'47" E	100.00	50	S 41°24'47" E	100.00
51	S 35°56'31" W	100.00	51	S 35°56'31" W	100.00
52	N 39°56'31" E	100.00	52	N 39°56'31" E	100.00
53	N 50°13'35" W	100.00	53	N 50°13'35" W	100.00
54	S 41°24'47" E	100.00	54	S 41°24'47" E	100.00
55	S 35°56'31" W	100.00	55	S 35°56'31" W	100.00
56	N 39°56'31" E	100.00	56	N 39°56'31" E	100.00
57	N 50°13'35" W	100.00	57	N 50°13'35" W	100.00
58	S 41°24'47" E	100.00	58	S 41°24'47" E	100.00
59	S 35°56'31" W	100.00	59	S 35°56'31" W	100.00
60	N 39°56'31" E	100.00	60	N 39°56'31" E	100.00

- NOTES:
- SEE SHEET 2 OF 3 FOR FLOOD NOTE & LOT DIAGRAM
 - MAP 112 H "B", PARCEL 22.01
 - ZONED R-8
 - TOTAL: 9.04 ACRES +/-
 - 39 LOTS
 - 5' SIDEWALK ALONG STREETS (BOTH SIDES)
 - 20' STREET PAVEMENT
 - 16' ALLEY PAVEMENT
 - HOMEDOWNERS ASSOCIATION IS TO MAINTAIN OPEN SPACE AREAS
 - PROPOSED USE: SINGLE FAMILY DETACHED & SINGLE FAMILY ATTACHED RESIDENCE
 - EXISTING USE: VACANT
 - NO ACCESS TO E. BROADWAY FOR LOT 14
 - DETENTION AERAS IDENTIFIED ARE SUBJECT TO THE TERMS OUTLINED IN THE SEPARATELY RECORDED STORMWATER INSPECTION AND MAINTENANCE AGREEMENT.
 - DETENTION AERAS IDENTIFIED ARE SUBJECT TO THE TERMS OUTLINED IN THE SEPARATELY RECORDED STORM WATER INSPECTION AND MAINTANCE AGREEMENT.
 - PLUETS SHOWN ON ARE VARIANCE FROM SUBDIVISION REGULATIONS. DEVELOPER SHALL BE AWARE AND AS-BUILT SURVEY WILL BE REQUIRED PRIOR TO ACCEPTANCE.

FINAL PLAT
RAY ESTATES SEC. II
 GALLATIN, TENNESSEE
 OWNER & DEVELOPER
 CMB INVESTMENTS LLC
 100 BLUEGRASS COMMONS SUIT 350
 HENDERSONVILLE, TENNESSEE 37075

CALDWELL ENGINEERING & SURVEYING
 POST OFFICE BOX 323 HENDERSONVILLE, TENNESSEE 37077
 PHONE (615) 824-6747
 E-MAIL: CALDWELLENR@GMAIL.COM

JOB NO: 13-33 DATE: 02/11/14 SCALE: 1" = 50'
 COORDINATE FILE: 06-06.CRD DRAWING FILE: 13-189F.DWG SHEET: 03 OF 03

CERTIFICATE OF COMPLETION AND RECORDATION
 I (We) hereby certify that I am (We are) the owner(s) of the property shown and described hereon, as evidenced in Book Number 2068, Page 18, Sumner County Register's Office, and that I (We) hereby adopt this plan of subdivision with me (We) the interest, establish the minimum building restriction lines, and that offers or transmits decision for all public roads, utilities, and other facilities have been filed as required by the Galatin Municipal-Regional Subdivision Regulations.

Date _____
 City Engineer _____

CERTIFICATE OF COMMON AREA RESERVATION
 CMB Investments LLC, in recording this plat has designated certain areas of land shown hereon as common areas of land shown hereon as common areas intended for use by the homeowner in Ray Estates Section 2 for recreation and related activities. The above designated areas are for dedicated family for use by the general public, but are not intended for the common use and enjoyment of the homeowners in Ray Estates Section 2 as more fully provided in Article _____ Declaration of Covenants and Restrictions, contained in Ray Estates Section 2 dated _____ and recorded with this plat. Said Article _____ is hereby incorporated and made part of this plat.

Date _____
 City Engineer _____

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I hereby certify that the sewer systems outlined or indicated on the Final Subdivision Plat entitled Ray Estates Section 2 have been installed in accordance with current local and state government requirements or sufficient bond or cash has been filed which will guarantee said installation.

Date _____
 SUPERINTENDENT OF PUBLIC UTILITIES,
 GALLATIN, TENNESSEE

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Galatin Municipal-Regional Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the planning commission, and that it has been approved for recording in the Office of County Register.

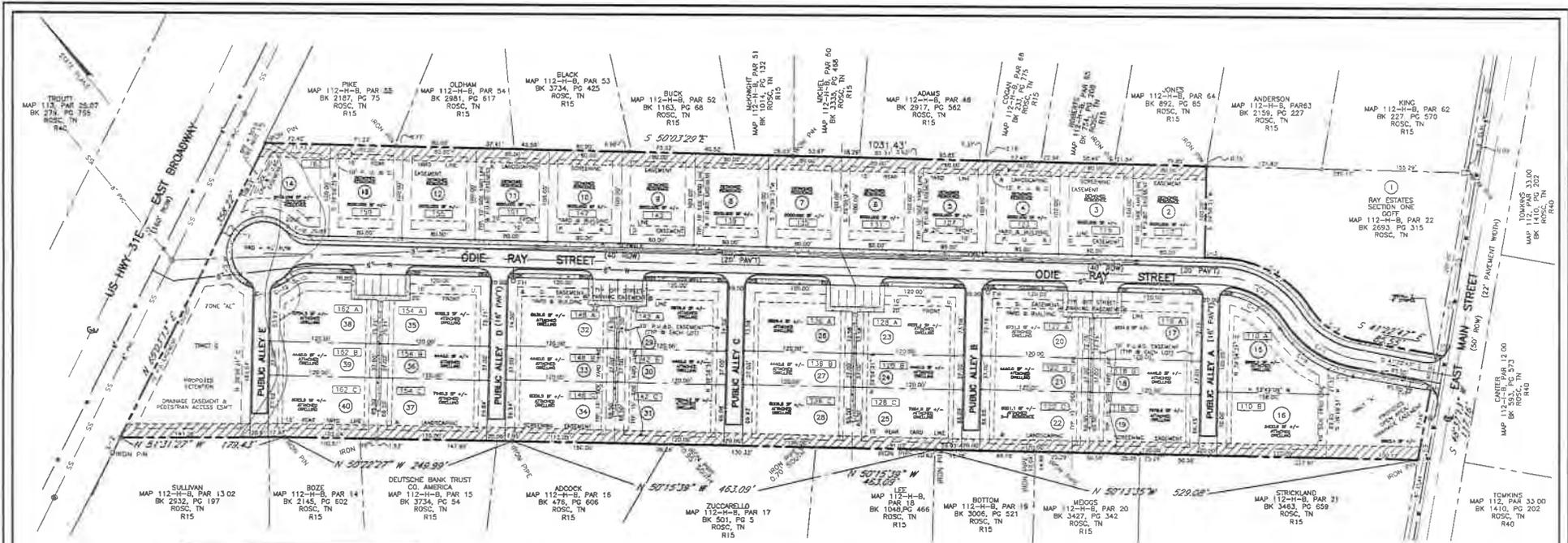
Date _____
 Secretary, Planning Commission _____
 Date _____
 Chairman's Office _____

CERTIFICATE OF ACCURACY
 I hereby certify that the plan shown and described herein is a true and correct survey to the contrary of 1/28/07, returned by the Galatin Municipal-Regional Planning Commission and that the instruments have been or will be placed, as shown hereon, in specifications in these regulations.

Date _____
 Registered Land Surveyor _____



ATTACHMENT 2-2



ACCORDING TO GRAPHIC REPRESENTATION ON FEMA FLOOD MAP 47185C03186 DATED APRIL 17, 2012 A PORTION OF THIS PROPERTY LIES IN AN AREA DESIGNATED AS A "ZONE AE" AND A "ZONE X" FLOOD HAZARD AREA.

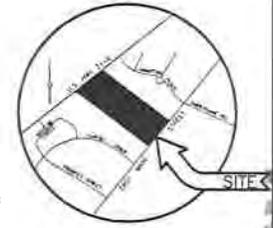
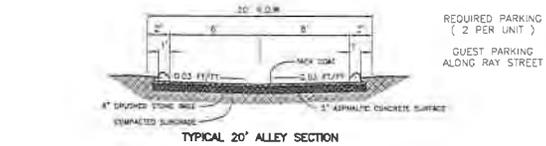
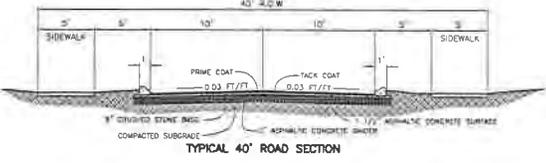
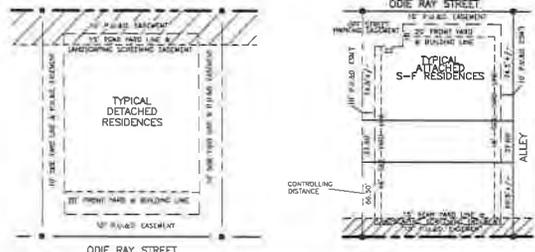


ESTIMATED TRAFFIC

13 DETACHED RESIDENCES @ 9.5	= 124
26 ATTACHED RESIDENCES @ 9.9	= 154
TOTAL	278/DAY

SITE DATA TABLE:

PROPERTY OWNER(S)	CMB INVESTMENTS LLC	
PROPERTY ZONING	RR (06-20-06)	
ACREAGE	9.04 AC±	
TAX MAP	112H - 79	
PARCEL	22.01	
ADDRESS	1195 EAST MAIN STREET	
YARDS	FRONT 20'; SIDE 10'; REAR 15'	
EXISTING USE	VACANT	
PROPOSED USE	SINGLE FAMILY DETACHED & ATTACHED	
PROPOSED ZONING CATEGORIES		
FLOOR AREA	40 MAX	
BUILDING HEIGHTS	35 MAX	
LAND USE	ACREAGE	PERCENTAGE
OPCN/DETENTION AREAS	51±±±	5.6%
SINGLE FAMILY DETACHED	2.34±±±	26.9%
ATTACHED DWELLING	8±±±±±	48.9%
ROW/ROADS/ALLEYS	1.88±±±	18.6%



NOTES:

- ALL LOT LINES SUBJECT TO A 10' UTILITY AND DRAINAGE EASEMENT DRAINAGE WILL BE ACCOMPLISHED BY DIVERTING THE RUNOFF TO THE FRONT OR REAR DETENTION POND BY PIPES, DITCH BASINS AND OPEN DITCHES
- ALL UTILITIES TO BE UNDERGROUND
- ALL ARCHITECTURAL DESIGN TO BE APPROVED BY THE GALLATIN PLANNING COMMISSION
- 2' CONTOURS AS SHOWN
- PMP# FILE NUMBER: 0157-13
- STOP SIGN, 30 WPM SIGN AND NO PARKING ALONG STREET SIGNS WILL BE INSTALLED ALONG ODIE RAY STREET.
- SIGNAGE WILL MEET SECTION 13.07(B) OF THE GALLATIN ZONING ORDINANCE AND APPROVAL AND A SIGN PERMIT WILL BE OBTAINED FROM THE SIGN ADMINISTRATOR PRIOR TO INSTALLATION OF ENTRANCE SIGN. ALL SIGNAGE AND ROADWAY MARKINGS SHALL MEET MUTCD STANDARDS.
- THE PROPERTY KNOWN AS RAY ESTATES IN GALLATIN IS OWNED BY CMB INVESTMENTS LLC
- NO BUILDING PERMIT SHALL BE ISSUED FOR THE PROJECT UNTIL A FINAL PLAN OF THE ALL ARCHITECTURAL DESIGN IS APPROVED, FILED, AND RECORDED
- PROPOSED DEVELOPMENT, OR PORTION THEREOF, IS APPROVED, FILED, AND RECORDED
- THE SCHEDULE FOR COMPLETION IS BEGIN SUMMER OF 2014 AND END FALL 2015.
- THE OPEN SPACE WILL BE DEDICATED AND MAINTAINED BY THE RAY ESTATES HOMEOWNERS ASSOCIATION TO BE CHARTERED WITH THE STATE OF TENNESSEE.
- ASSOCIATION WILL OWN, MAINTAIN, AND PRESERVE THE OPEN SPACES, PARKING AREAS & ALLEYS
- ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.
- ALL NEW RESIDENCES WILL HAVE DIMENSIONAL SHIELDS ON THE ROOF
- DETENTION AREAS IDENTIFIED ARE SUBJECT TO THE TERMS OUTLINED IN THE SEPARATELY RECORDED STORMWATER INSPECTION AND MAINTENANCE AGREEMENT.
- C/O 2 SECTION 10.03.070 B.1 REQUIRES THE F.P.E. TO BE AT LEAST 1' ABOVE THE B.F.C.

MAP	PARCEL	OWNER	ADDRESS	BOOK	PAGE
112-H-B	22.00	JAMES W COFF & WICKI L KELLY SULLIVAN	1118 LEARN COURT 994 BENTLEY CIRCLE	2593	315
112-H-B	13.02	TOMMY BOZE	1741 HWY 25W	2592	197
112-H-B	14	DEUSCHKE BANK TRUST CO AMERICA	* SEE BELOW	2145	302
112-H-B	15	FORREST ADDOCK	1010 BENTLEY CIRCLE	3724	94
112-H-B	16	BETTY R FUSCARELLO	124 SUNSET DRIVE	476	506
112-H-B	17	DOE LEE ETUX SHIRLEY	111 LAKEWOOD DRIVE	160	466
112-H-B	18	GARRY E BUCK ETUX MELANIE G	116 SUNSET DRIVE	3096	521
112-H-B	19	IRWIN AMANDA & DAVID BLACK	112 SUNSET DRIVE	2927	342
112-H-B	20	MARVIN G MEDCOS ETUX MART	107 SUNSET DRIVE	3463	659
112-H-B	21	LENA T STRICKLAND	111 HAMPION PLACE	2917	563
112-H-B	48	AMANDA ADAMS	123 HAMPION PLACE	3335	488
112-H-B	50	BOBBY G MCKINCH ETUX BRENDA	119 HAMPION PLACE	3724	426
112-H-B	51	TONY L KING ETUX MELANIE G	115 HAMPION PLACE	1152	65
112-H-B	52	GARRY E BUCK ETUX MARTHA J	111 HAMPION PLACE	3724	426
112-H-B	53	CLMONT AND MARY OLDMAN	107 HAMPION PLACE	2281	617
112-H-B	54	RICHIE D PINK	103 HAMPION PLACE	2187	75
112-H-B	55	GG & BILLIE ANN BOWDOW	185 HAMPION PLACE	221	570
112-H-B	62	DAWN W ANDERSON & JAMES W ANDERSON	173 HAMPION PLACE	2159	227
112-H-B	63	PAUL THOMAS JONES ETUX KIMBERLY ELLEN	163 HAMPION PLACE	4927	35
112-H-B	64	AMELIA GALE ROBERTS	153 HAMPION PLACE	754	208
112-H-B	65	THOMAS M COGAN ETUX LOIS I	145 PEAR HWY 25	233	755
112-H-B	66	PAULA A TROUT	189 MAIN STREET EAST	583	573
112-H-B	112	EDWARD A CANTER & MARY C BENNETT	PO BOX 1435	1410	202
112-H-B	12	CHAS R TOMKINS JR			

VICINITY MAP
N.T.S.



AMENDED PRELIMINARY DEVELOPMENT PLAN AND FINAL MASTER DEVELOPMENT PLAN
RAY ESTATES SECT. II
GALLATIN, TENNESSEE
CMB INVESTMENTS LLC
100 BLUEGRASS COMMONS SUITE 350
HENDERSONVILLE, TENNESSEE 37075

CALDWELL ENGINEERING & SURVEYING
POST OFFICE BOX 203 HENDERSONVILLE, TENNESSEE 37077 (615)844-1477
JOB NO. 12-2314WOP
SCALE: 1"=50' SHEET 1 OF 2 DATE: 2/11/2014

FINAL PLAT

RAY ESTATES SECTION 2B

EAST MAIN STREET & ODIE RAY STREET

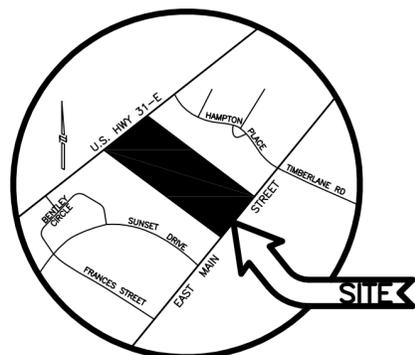
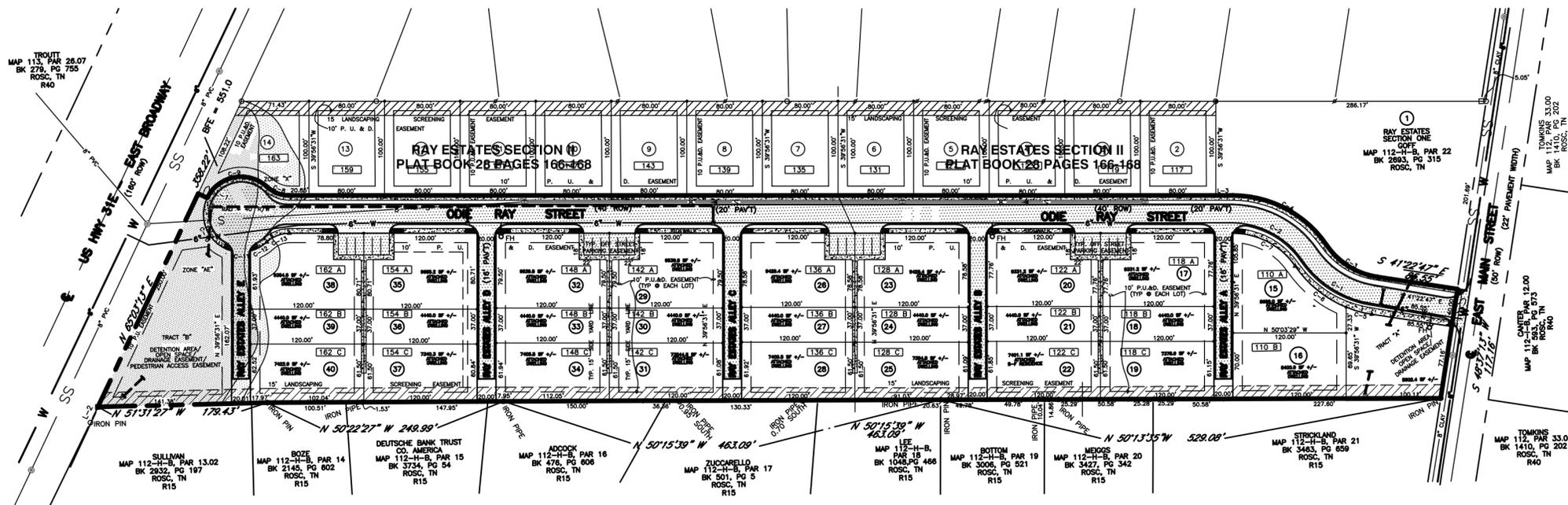
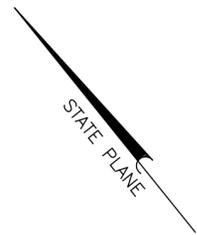
GALLATIN, TENNESSEE

OWNER & DEVELOPER

CMB INVESTMENTS LLC

100 BLUEGRASS COMMONS SUITE 350
HENDERSONVILLE, TENNESSEE 37075

JANUARY 2, 2015



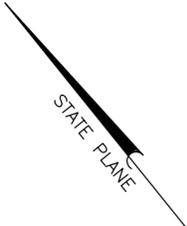
VICINITY MAP
N.T.S.



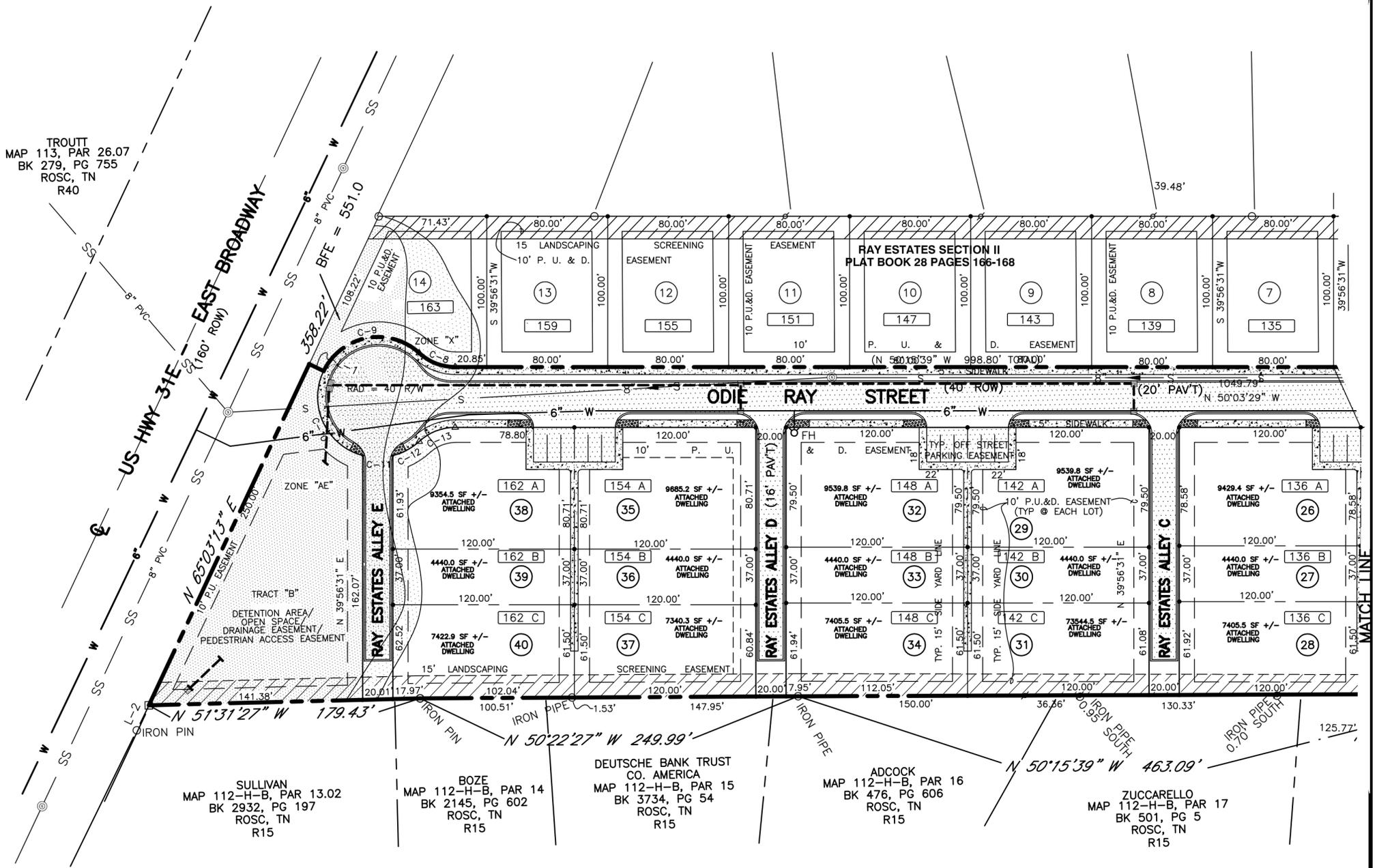
TABLE OF CONTENTS

SHT #	DRAWING TITLE
1	TITLE SHEET
2	LOTS - 26-40, FLOOD STATEMENT, LOT DIAGRAMS
3	LOTS - 15-25, NOTES, CERTIFICATES

	CALDWELL ENGINEERING & SURVEYING POST OFFICE BOX 323 HENDERSONVILLE, TENNESSEE 37077 PHONE (615) 824-4747 E-MAIL: CALDWELLENGR@GMAIL.COM		
	JOB NO:14-23	DATE: 01/02/2015	SCALE: 1"=100'
COORDINATE FILE: 06-06.CRD			DRAWING FILE: 13-18FP.DWG
			SHEET: 01 OF 03



TROUTT
MAP 113, PAR 26.07
BK 279, PG 755
ROSC, TN
R40



SULLIVAN
MAP 112-H-B, PAR 13.02
BK 2932, PG 197
ROSC, TN
R15

BOZE
MAP 112-H-B, PAR 14
BK 2145, PG 602
ROSC, TN
R15

DEUTSCHE BANK TRUST
CO. AMERICA
MAP 112-H-B, PAR 15
BK 3734, PG 54
ROSC, TN
R15

ADCOCK
MAP 112-H-B, PAR 16
BK 476, PG 606
ROSC, TN
R15

ZUCCARELLO
MAP 112-H-B, PAR 17
BK 501, PG 5
ROSC, TN
R15

Course	Bearing	Distance
L-1	N 24°15'16" W	10.56'
L-2	S 65°33'27" W	18.41'

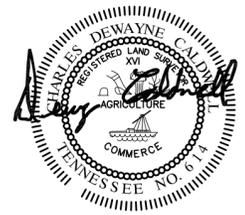
Curve	Radius	Tangent	Length	Delta	Chord	Chord Bear.
C-8	35.00'	13.73'	26.16'	42°49'51"	25.56'	N 28°38'34" W
C-9	40.00'	54.08'	74.71'	107°01'38"	64.32'	N 60°44'21" W
C-10	40.00'	48.53'	70.52'	101°00'32"	61.73'	S 15°14'28" W
C-11	40.00'	10.33'	20.21'	28°57'21"	20.00'	S 49°45'00" E
C-12	40.00'	10.22'	20.01'	28°40'09"	19.81'	S 78°33'16" E
C-13	35.00'	13.73'	26.16'	42°49'51"	25.56'	S 71°28'25" E

LEGEND

- ▲ = SET IRON PIN IN CONC.
- = SET 1/2" REBAR & CAP
- = FOUND IRON PIN AS NOTED
- ⊙ = COMPUTED CORNER
- = FOUND CONCRETE MONUMENT
- SS — = SANITARY SEWER LINE
- ⊙ = SANITARY SEWER MANHOLE
- — — = WATER LINE
- ⊕ FH = FIRE HYDRANT
- P.U.&D. = PUBLIC UTILITY AND DRAINAGE
- 1190 = ADDRESS

- NOTES:
1. SEE SHEET 3 OF 3 FOR NOTES & CERTIFICATES.
 2. THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE PROPERTY INTO 26 LOTS AND DEDICATION OF PUBLIC RIGHT-OF-WAY.
 3. THE FINAL PLAT IS APPROVED WITH R8 ZONING AND AS PART OF THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR RAY ESTATES (PC0245-14) ON JANUARY 24, 2014.
 4. RESTRICTIVE COVENANTS SHALL BE RECORDED PRIOR TO THE RECORDING OF FINAL PLAT.

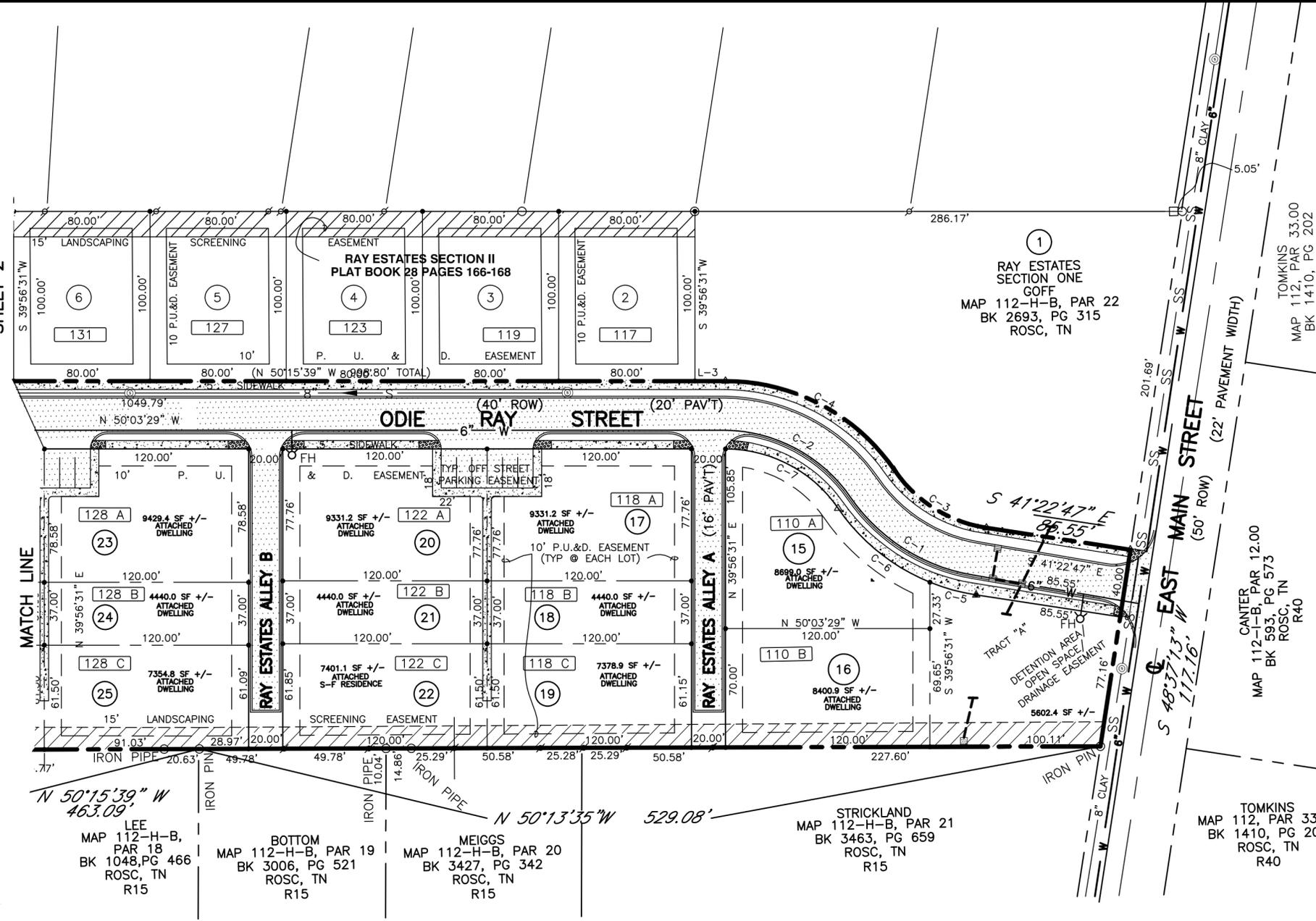
ACCORDING TO GRAPHIC REPRESENTATION ON FLOOD INSURANCE RATE MAP NO.47165C0318G DATED: APRIL 17, 2012, A PORTION OF THIS PROPERTY LIES IN AN AREA DESIGNATED AS A "ZONE AE AND A ZONE X" FLOOD HAZARD AREA.



FINAL PLAT
RAY ESTATES SEC. 2B
 GALLATIN, TENNESSEE
 OWNER & DEVELOPER
 CMB INVESTMENTS LLC
 100 BLUEGRASS COMMONS SUITE 350
 HENDERSONVILLE, TENNESSEE 37075

	CALDWELL ENGINEERING & SURVEYING POST OFFICE BOX 323 HENDERSONVILLE, TENNESSEE 37077 PHONE (615) 824-4747 E-MAIL: CALDWELLENGR@GMAIL.COM		
	JOB NO: 14-23	DATE: 01/02/2015	SCALE: 1" = 50'
COORDINATE FILE: 06-06.CRD			DRAWING FILE: 13-18FP.DWG
			SHEET: 02 OF 03

SHEET 2



LEGEND

- △ = SET IRON PIN IN CONC.
- = SET 1/2" REBAR & CAP
- = FOUND IRON PIN AS NOTED
- ⊙ = COMPUTED CORNER
- = FOUND CONCRETE MONUMENT
- SS — = SANITARY SEWER LINE
- ⊙ = SANITARY SEWER MANHOLE
- — — = WATER LINE
- ⊕ FH = FIRE HYDRANT
- S-F = SINGLE FAMILY
- M-F = MULTIFAMILY
- P.U.&D. = PUBLIC UTILITY AND DRAINAGE
- 1190 = ADDRESS



Course	Bearing	Distance	Curve	Radius	Tangent	Length	Delta	Chord	Chord Bear.
L-3	S 50°03'29" E	17.95'							
C-1	100.00'	43.54'	82.13'	47°03'18"	79.84'	N 17°51'08" W			
C-2	100.00'	52.87'	97.27'	55°44'01"	93.48'	N 22°11'29" W			
C-3	80.00'	34.83'	65.70'	47°03'18"	63.97'	N 17°51'08" W			
C-4	120.00'	63.45'	116.73'	55°44'01"	112.18'	N 22°11'29" W			
C-5	120.00'	14.20'	28.26'	13°29'35"	28.69'	N 38°23'39" W			
C-6	120.00'	36.19'	70.29'	33°33'43"	69.29'	N 14°52'00" W			
C-7	80.00'	42.30'	77.82'	55°44'01"	74.79'	N 25°57'09" W			

- NOTES:
- SEE SHEET 2 OF 3 FOR FLOOD NOTE
 - MAP 112 H "B", PARCEL 22.01
 - ZONED R-8
 - TOTAL: 6.0 ACRES +/-
 - 26 LOTS
 - 5' SIDEWALK ALONG STREETS (BOTH SIDES)
 - 20' STREET PAVEMENT
 - 16' ALLEY PAVEMENT
 - HOMEOWNERS ASSOCIATION IS TO MAINTAIN OPEN SPACE AREAS.
 - PROPOSED USE: SINGLE FAMILY ATTACHED RESIDENCE
 - EXISTING USE: VACANT
 - DETENTION AREAS IDENTIFIED ARE SUBJECT TO THE TERMS OUTLINED IN THE SEPARATELY RECORDED STORMWATER INSPECTION AND MAINTENANCE AGREEMENT.
 - P.U.D.'S SHOWN ARE VARIANCE FROM SUBDIVISION REGULATIONS. DEVELOPER SHALL BE AWARE AN AS-BUILT SURVEY WILL BE REQUIRED PRIOR TO ACCEPTANCE.
 - THE RECORDING OF THIS PLAT VOIDS, VACATES & SUPERCEDES THE RECORDING OF LOTS 15 THRU 40 OF RAY ESTATES, SECTION II AS RECORDED IN PLAT BOOK 28, PAGE 166 THRU 168 R.O.S.C., TN.

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (We) hereby certify that I am (We are) the owner(s) of the property shown and described hereon, as evidenced in Book Number 3898, Page 18, Sumner County Registers Office, and that I (We) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers or irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.

Date _____ Owner Cristan Blackman

CERTIFICATE OF COMMON AREAS DEDICATION
 CMB Investments LLC in recording this plat has designated certain areas of land shown hereon as common areas of land shown hereon as common areas intended for use by the homeowner in Ray Estates Section 2B for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in Ray Estates Section 2B as more fully provided in Article _____ Declaration of Covenants and Restrictions, applicable to Ray Estates Section 2 dated _____, and recorded with this plat. Said Article _____ is hereby incorporated and made part of this plat.

Date _____ Owner/Title Cristan Blackman

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I hereby certify that the sewer systems outlined or indicated on the Final Subdivision Plat entitled Ray Estates Section 2B have been installed in accordance with current local and state government requirements or sufficient surety or cash has been filed which will guarantee said installation.

Date _____ SUPERINTENDENT OF PUBLIC UTILITIES, GALLATIN, TENNESSEE

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulation, with the exception of such variances, if any, as are noted in the minutes of the planning commission, and that it has been approved for recording in the Office of County Register.

Date _____ Secretary, Planning Commission
 Date _____ Chairman's Initials

CERTIFICATE OF THE APPROVAL OR SURETY FOR COMPLETION OF ROADS
 I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance surety has been posted with the Planning Commission to assure completion of all required improvements in case of default.

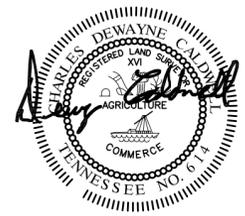
Date _____ City Engineer

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I hereby certify that the water systems outlined or indicated on the Final Subdivision Plat entitled Ray Estates Section 2B have been installed in accordance with current local and state government requirements or sufficient surety or cash has been filed which will guarantee said installation.

Date _____ SUPERINTENDENT OF PUBLIC UTILITIES, GALLATIN, TENNESSEE

CERTIFICATE OF ACCURACY
 I hereby certify that the plan shown and described hereon is a true and correct category 2 survey to the accuracy of 1:24,057, required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown hereon, to specifications in these regulations.

Date _____ Registered Land Surveyor



FINAL PLAT
RAY ESTATES SEC. 2B
GALLATIN, TENNESSEE
OWNER & DEVELOPER
CMB INVESTMENTS LLC
100 BLUEGRASS COMMONS SUIT 350
HENDERSONVILLE, TENNESSEE 37075

	CALDWELL ENGINEERING & SURVEYING POST OFFICE BOX 323 HENDERSONVILLE, TENNESSEE 37077 PHONE (615) 824-4747 E-MAIL: CALDWELLENGR@GMAIL.COM		
	JOB NO: 14-23	DATE: 01/02/15	SCALE: 1" = 50'
COORDINATE FILE: 06-06.CRD			DRAWING FILE: 13-18FP.DWG
			SHEET: 03 OF 03

ITEM 3

GMRPC Resolution No. 2015-22

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION RECOMMENDING APPROVAL OF A MINOR AMENDMENT TO THE GREENSBORO VILLAGE PLANNED UNIT DEVELOPMENT (PUD) PRELIMINARY MASTER DEVELOPMENT PLAN AND A REVISION TO THE FINAL MASTER DEVELOPMENT PLAN FOR THE MCDONALD'S CORPORATION TO ADD A SECOND DRIVE THRU LANE ON A 1.17 (+/-) ACRE LOT LOCATED AT 990 GREENSBORO DRIVE (PC FILE #4-285-15).

WHEREAS, The applicant has submitted an Amended Planned Unit Development (PUD)/Preliminary Master Development Plan and Revised Final Master Development Plan consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Amended Planned Unit Development (PUD)/Preliminary Master Development Plan and Revised Final Master Development Plan submitted by the applicant, TSquare Engineering, at its regular meeting on February 23, 2015; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-3-310, § 13-4-310, §13-7-201, and §13-7-202 and §13.02 of the City of Gallatin Zoning Ordinance:

1. The proposed Amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan is consistent with the purpose and intent of the Multiple Residential and Office Planned Unit Development (MRO PUD) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district.
2. The proposed changes shown in the Amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan do not constitute a major amendment to the approved PUD/Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
3. The Amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan is in agreement and consistent with the intent and

recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Commercial Corridor Community Character Area.

4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed modifications will not change the essential character of the Greensboro Village PUD.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare. An Alternative Type 10 Bufferyard along the southern property boundary is a minimal change to the approved landscaping plan and is mitigated by the proposed extensive landscaped hedge row.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves GMRPC Resolution No. 2015-22 as a minor amendment to the Greensboro Village Planned Unit Development (PUD)/Preliminary Master Development Plan and approves the Revised Final Master Development Plan for the McDonald's Corporation, consisting of a 16 sheet plan, prepared by TSquare Engineering of Brentwood, Tennessee, with Regional Drawing No. 27062, location code number 041-0751, dated January 20, 2015, with the following conditions:

1. The proposed changes are considered as a minor amendment to the approved PUD/Preliminary Master Development Plan.
2. Planning Commission shall determine if the Alternative Type 10 Bufferyard shown along the southern property boundary meets the requirements of Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval, and if so, grant approval of the landscaping plan.
3. Submit a Master Signage Plan in accordance with G.Z.O. Section 13.07.065.E including details of all permanent signs to be installed on site. Proposed signs

shall meet the size and illumination requirements of the Gallatin Zoning Ordinance, Section 13.07. The applicant shall obtain sign permits from the Planning Department prior to the installation of any signage on site.

4. Obtain building permits from the Building Codes Department prior to commencing construction on site.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 2/23/15

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney



ITEM 3

PLANNING DEPARTMENT STAFF REPORT

McDonald's Additional Drive Thru PUD Amendment

PC File #4-285-15

990 Greensboro Drive

Date: February 20, 2015

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE GREENSBORO VILLAGE PLANNED UNIT DEVELOPMENT (PUD) PRELIMINARY MASTER DEVELOPMENT PLAN AND A REVISION TO THE FINAL MASTER DEVELOPMENT PLAN FOR THE MCDONALD'S CORPORATION TO ADD A SECOND DRIVE THRU LANE ON A 1.17 (+/-) ACRE LOT LOCATED AT 990 GREENSBORO DRIVE (PC FILE #4-285-15).

OWNER: MCDONALD'S CORPORATION

APPLICANT: TSQUARE ENGINEERING

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION NO. 2015-22
WITH CONDITIONS

STAFF CONTACT: KATHERINE SCHOCH, AICP

PC MEETING DATE: FEBRUARY 23, 2015

PROPERTY OVERVIEW:

The owner and applicant request approval of a minor amendment to the Greensboro Village Planned Unit Development (PUD) Preliminary Master Development Plan and a revision to the Final Master Development Plan for the McDonald's Corporation to add a second drive thru lane on a 1.17 (+/-) acre lot located at 990 Greensboro Drive (PC File #4-285-15) (Attachment 3-1, Attachment 3-2, and Attachment 3-3).

The additional ten (10) foot wide drive thru lane will be installed on the south side of the lot, behind the existing restaurant, southwest of the existing drive thru lane. This design is commonly referred to as a "side by side" drive thru arrangement. According to the applicant, the proposed site improvements will decrease customers' wait times in the drive thru line. The added lane will allow for a total of 15 cars in the drive thru queues (Attachment 3-1; sheet C3.0). An additional menu board and order screen will also be added to the site. There are no proposed architectural changes to the existing building and only minimal changes will be made to the available parking on site.

The property is part of the Greensboro Village Planned Unit Development (PUD) and is currently zoned Multiple Residential and Office Planned Unit Development (MRO PUD). Food Service Drive In is a permitted use in the MRO PUD zone district.

Staff recommends that the Planning Commission approve the proposed changes as a minor amendment to the approved Greensboro Village Planned Unit Development (PUD)/Preliminary Master Development Plan and recommends approval of the Revised Final Master Development Plan with the conditions list on page 6 of the staff report and in GMRPC Resolution No. 2015-22.

CASE BACKGROUND:

Previous Approvals and Property History

The Greensboro Village PUD (formally Greenfield Station) originally contained approximately 700 acres on property north and south of Nashville Pike. The property was initially divided up into three (3) development tracts; A, B, & C and general uses were designated for those tracts. The PUD has a long approval history dating back to the 1980's and was approved under the PUD provisions of the previous Zoning Ordinance. When the current Zoning Ordinance was approved in July of 1998, previously approved PUD's were extended for a period of two (2) years from the date of the adoption of the Zoning Ordinance. Over the years the PUD has been extended and amended several times, but the PUD has always retained the mixture of commercial and residential uses as originally planned. The total acreage of the PUD has also decreased over the years and currently contains approximately 246 acres.

At the September 23, 2002 meeting, the Planning Commission approved with conditions a Final Master Development Plan for a 3,827 square foot McDonald's Restaurant in the Greensboro Village Planned Unit Development (PUD) (PC File #8-48-02). The actual size of the existing structure is 3,564 square feet. The McDonald's Restaurant was the first site to be developed in the Greensboro Village PUD.

Subdivision Plat

A Final Plat for Greensboro Village, Phase 1, Section 1, including lot 2 (the McDonald's property), was approved with conditions by the Planning Commission at the July 22, 2002 meeting and recorded on December 27, 2002; PB 20, PG 345 (PC File #1-7-02C) (Attachment 3-3).

Gallatin on the Move 2020 General Development and Transportation Plan

This portion of the Greensboro Village PUD property is located within the Commercial Corridor Community Character Area as shown on the Community Character Area Map of the *Gallatin on the Move 2020 General Development and Transportation Plan* (Attachment 3-4). The main goals of the Commercial Corridor Community Character Area are to provide a distinct sense of place with a mixture of uses, improve existing traffic flow by consolidating driveways, providing sidewalks and pedestrian-friendly areas and bufferyards to limit the visual impact on surrounding properties. The McDonald's Restaurant was designed in keeping with the high quality design standards recommended for property within the Commercial Corridor Community Character Area. (Attachment 3-5).

Natural Features

The existing McDonald's Restaurant site has no unusual topographical features and contains many mature trees and shrubs planted by the developer to fulfill the bufferyard and parking lot landscaping requirements.

No portion of the subject property is located within a special flood hazard area according to FEMA FIRM map panel #47165C0426G; dated April 17, 2012; zone X (Attachment 3-1; sheet C0.0). This site contains many mature trees that were installed in 2002 to fulfil the bufferyard requirements. Following

construction of the additional drive thru lane and parking area, many of the trees and shrubs will be replaced (Attachment 3-1; sheet LS-1).

Surrounding Zoning

The majority of the surrounding property is located within the Greensboro Village PUD and zoned MRO PUD. Volunteer State Community College, zoned Residential-20 (R20), is located to the north of the McDonald's site across Nashville Pike.

Access

The McDonald's property has road frontage on three (3) different streets; Nashville Pike to the north, Greensboro Drive to the east, and Stonebridge Drive to the south. The main access to the restaurant is located off Greensboro Drive; however, customers may access the site from a shared driveway along the western property boundary and from a driveway cut on Stonebridge Drive (Attachment 3-1; sheet C1.0). This ingress/egress will be used for all construction traffic.

Parking Calculations

Parking calculations are based on the use of the building. The Food Service Drive In (Restaurant Drive In per G.Z.O. Table 11-01) use requires one (1) space per 40 square feet of customer service or dining area or one (1) space per 150 square feet of gross building area. Based on this ratio, 24 regular parking spaces and one (1) handicap parking spaces are required. Currently, the site provides 53 regular parking spaces and three (3) handicap parking spaces exceeding the parking requirements of the Gallatin Zoning Ordinance (Attachment 3-1; sheet C3.0). The new plan calls for the demolition and redesign of some parking spaces on the west and south side of the lot. A total of 45 parking spaces, including two (2) handicap parking spaces will be provided, which still exceeds the minimum parking requirements of the Gallatin Zoning Ordinance. Once the additional drive thru lane is installed, the redesigned parking spaces will be installed and the curb and gutter replaced at the south side of the lot.

Architectural Elevations

The McDonald's Restaurant was approved with brick, glass, and stone details on all four (4) building façades. No architectural elevation changes are proposed with this plan amendment and the proposed plan will not change the footprint of the existing building constructed in 2003.

Design Review Committee Approval

Since the project is located within the Greensboro Village PUD, all site design changes require approval from the private design review committee. Mr. L.A. Green, III, Chairman of the Greensboro Village Commercial South Owners Association, reviewed and approved the proposed changes. Please refer to the approval documentation included with this staff report as Attachment 3-6.

Master Signage Plan

The applicant included conceptual designs of the two (2) additional signs and a directional canopy that will be installed as part of the drive thru project; however, the applicant shall submit a Master Signage Plan, in accordance with G.Z.O. Section 13.07.065.E, including details of all permanent signs to be installed on site. The proposed signs shall meet the size and illumination requirements of the Gallatin Zoning Ordinance, Section 13.07. The applicant shall obtain sign permits from the Planning Department prior to the installation of any signage on site.

Construction Schedule

Construction will begin immediately following Planning Commission approval and is expected to be completed within three (3) weeks. Please refer to the detailed construction schedule included with this staff report as Attachment 3-7.

Landscaping and Bufferyards

Bufferyards are required to be shown as part of the Preliminary and Final Master Development Plans and are intended to minimize the potential impacts of proposed development on the adjacent properties as outlined in the Gallatin Zoning Ordinance and the *2020 Plan*. The original PUD/Preliminary and Final Master Development Plans for McDonald's were approved with alternative landscaping plans. Ten (10) foot bufferyards were approved along all four (4) property boundaries and all the necessary plantings have been installed on site. No substantial changes to the approved bufferyards are proposed with this amendment; however, an Alternative Type 10 Bufferyard, nine (9) feet wide, will be installed along the southern parking areas adjacent to Stonebridge Drive will encroach approximately one (1) foot into the required bufferyard. This area will be heavily landscaped with Luykens Laurel shrubs (Attachment 3-1; sheet LS-1). Planning Commission shall determine if the Alternative Type 10 Bufferyard shown along the southern property boundary meets the requirements of Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval, and if so, grant approval of the landscaping plan.

Some interior plantings will need to be removed to allow for the construction of the additional drive thru lane. The area behind (south of) the existing building will be heavily landscaped following construction (Attachment 3-1; sheet LS-1). The applicant has submitted a detailed landscaping plan showing the areas that will be affected by construction. Eleven (11) trees and 91 shrubs will be replaced on site following the installation of the second drive thru lane.

Site Surety

A site surety is required to cover all site improvements, in an amount to be determined by the applicant and approved by the Planning Department, per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance. A site surety check, in the amount of \$25,000, was submitted to the Planning Department and will be released once all site improvements are completed. Please refer to the site surety calculation spreadsheet included with this is staff report as Attachment 3-8.

Drainage and Detentioning

All stormwater runoff drains towards the south end of the site and is conveyed through a piped system to Rankin Branch on the nearby Walgreens property, which ultimately drains to Old Hickory Lake. The applicant submitted stormwater runoff calculations with the initial plan and the Engineering Division reviewed and approved those calculations. The change in the amount of impervious area on site is minimal requiring no additional detention areas.

A ten (10) foot Public Utility and Drainage Easement (P.U.D.E.) is located on three (3) sides of the lot and a 20-foot Public Utility and Drainage Easement (P.U.D.E.) extends along the south side to accommodate the eight (8) inch sanitary sewer line and eight (8) inch water line that run along the rear property boundary. No vertical construction is allowed in any easements; however, the modified southern parking lot will be constructed over a portion of the rear P.U.D.E.

Minor Amendment

G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan, lists specific items that would constitute a major amendment to an approved Preliminary Master Development Plan including an increase in density, substantial changes to access or site circulation, or substantial changes to approved architecture. Staff reviewed the approved amended PUD/Preliminary Master Development Plan in detail and found no substantial changes to the access or internal site circulation that would constitute a major amendment.

Departmental Comments

No other City Departments commented on the amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan.

Findings

The project was designed to reflect the recommendations of the *2020 Plan* and be consistent with the intent and purpose of the Gallatin Zoning Ordinance. Staff, therefore, makes the following findings:

1. The proposed Amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan is consistent with the purpose and intent of the Multiple Residential and Office Planned Unit Development (MRO PUD) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district.
2. The proposed changes shown in the Amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan do not constitute a major amendment to the approved PUD/Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
3. The Amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Commercial Corridor Community Character Area.
4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed modifications will not change the essential character of the Greensboro Village PUD.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare. An Alternative Type 10 Bufferyard along the southern property boundary is a minimal change to the approved landscaping plan and is mitigated by the proposed extensive landscaped hedge row.

7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended PUD/Preliminary Master Development Plan/Revised Final Master Development Plan has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

RECOMMENDATION:

Based on the findings presented in the staff report, Staff recommends that the Planning Commission approve GMRPC Resolution No. 2015-22 as a minor amendment to the Greensboro Village Planned Unit Development (PUD)/Preliminary Master Development Plan and approve the Revised Final Master Development Plan for the McDonald's Corporation, consisting of a 16 sheet plan, prepared by TSquare Engineering of Brentwood, Tennessee, with Regional Drawing No. 27062, location code number 041-0751, dated January 20, 2015, with the following conditions:

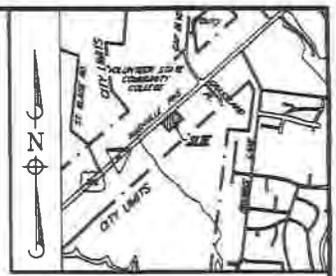
1. The proposed changes are considered as a minor amendment to the approved PUD/Preliminary Master Development Plan.
2. Planning Commission shall determine if the Alternative Type 10 Bufferyard shown along the southern property boundary meets the requirements of Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval, and if so, grant approval of the landscaping plan.
3. Submit a Master Signage Plan, in accordance with G.Z.O. Section 13.07.065.E, including details of all permanent signs to be installed on site. Proposed signs shall meet the size and illumination requirements of the Gallatin Zoning Ordinance, Section 13.07. The applicant shall obtain sign permits from the Planning Department prior to the installation of any signage on site.
4. Obtain building permits from the Building Codes Department prior to commencing construction on site.

ATTACHMENTS:

Attachment	3-1	McDonald's Amended PUD/PMDP/Revised FMDP
Attachment	3-2	Location Map
Attachment	3-3	Greensboro Village, Phase 1, Section 1 Final Plat; PB 20, PG 345
Attachment	3-4	2020 Plan Community Character Area Map – West Gallatin
Attachment	3-5	2020 Plan Commercial Corridor Description
Attachment	3-6	GVC SOA Approval Document dated 1/28/15
Attachment	3-7	Construction Schedule
Attachment	3-8	Site Surety Calculation Spreadsheet

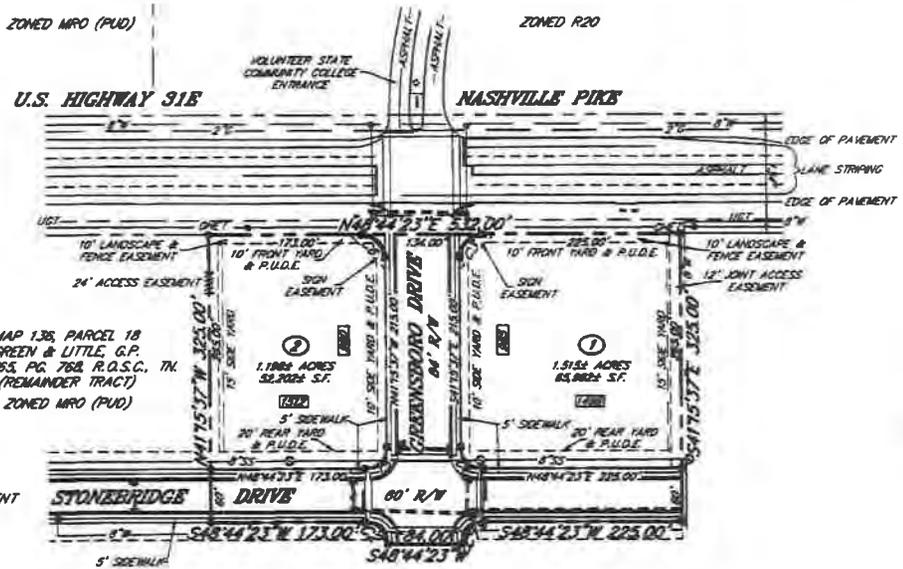
MCDONALD'S ADDITIONAL DRIVE THRU 990 GREENSBORO DRIVE
PLANNED UNIT DEVELOPMENT AMENDMENT
LOCATION MAP





SURVEYOR'S NOTES

1. THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE POLICY. THEREFORE THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONE OF THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH.
2. DEED REFERENCE: GREENSBORO I R.B. 1501 PG 170, R.O.S.C., TN.
3. MAP AND PARCEL NUMBERS SHOWN REFER TO THE SUMNER COUNTY TAX ASSESSOR'S MAPS. THE SUBJECT PROPERTY SHOWN ON THIS PLAT IS PART OF PARCEL 18, ON TAX MAP 136.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM SURFACE IMPROVEMENTS UTILITY COMPANY RECORDS AND/OR PLANS BY OTHERS. ACTUAL FIELD LOCATIONS AND SIZES OF THESE LINES SHOULD BE OBTAINED PRIOR TO ANY CONSTRUCTION ON THIS SITE. ADDITIONAL BURIED UTILITIES AND/OR STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES AND/OR STRUCTURES. BEFORE ANY EXCAVATION HAS BEGUN ON THIS SITE CALL 1-800-381-1111 FOR UNDERGROUND UTILITY LOCATIONS.
5. THIS PROPERTY IS ZONED "MRO (PUD)" AS OF THE DATE OF THIS SURVEY.
6. ALL BUILDINGS, SURFACE IMPROVEMENTS, AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THIS SITE ARE NOT NECESSARILY SHOWN HEREON.
7. SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY.
8. BEARINGS SHOWN ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM - ZONE 4100, NAD 1983.
9. A REVIEW OF F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47048 0012 B, EFFECTIVE DATE AUGUST 3, 1991, SHOWS NONE OF THIS PROPERTY TO BE WITHIN THE 100 YEAR FLOOD PLAIN.
10. THIS IS A CATEGORY I SURVEY IN COMPLIANCE WITH THE RULES OF THE STATE OF TENNESSEE, BOARD OF EXAMINERS FOR LAND SURVEYORS, CHAPTER 0800-3, STANDARDS OF PRACTICE. THE ERROR OF CLOSURE FOR THE UNADJUSTED FIELD SURVEY IS BETTER THAN 1 : 10,000.
11. SETBACKS AND POINTS OF ACCESS ARE TO BE DERIVED FROM THE GREENSBORO VILLAGE P.U.D., MASTER DEVELOPMENT PLAN.
12. THE EXISTING USES OF LOTS ONE AND TWO ARE CURRENTLY "VACANT". THE PROPOSED USE WILL BE "COMMERCIAL".



MAP 136, PARCEL 18
 GREEN & LITTLE G.P.
 R.B. 785, PG. 788, R.O.S.C., TN.
 (REMAINDER TRACT)
 ZONED MRO (PUD)

MAP 136, PARCEL 18
 GREEN & LITTLE G.P.
 R.B. 785, PG. 788, R.O.S.C., TN.
 (REMAINDER TRACT)
 ZONED MRO (PUD)



LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- YARD LINE
- EASEMENT
- CONCRETE MONUMENT (NEW)
- CONCRETE MONUMENT (OLD)
- CAPPED 1/2" IRON ROD (NEW)
- IRON ROD (OLD)
- LOT NUMBER
- SANITARY SEWER W/ MANHOLE
- WATER LINE
- GAS LINE
- BTI ADDRESS
- FIRE HYDRANT
- STORM SEWER

CURVE TABLE

MEMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD
CD	90°00'	25.00	39.27	S01°44'31"W 35.36
CD	90°00'	25.00	39.27	N89°15'29"W 35.36
CD	90°00'	25.00	39.27	S01°44'31"W 35.36
CD	90°00'	25.00	39.27	N89°15'29"W 35.36
CD	90°00'	25.00	39.27	S01°44'31"W 35.36
CD	90°00'	25.00	39.27	N89°15'29"W 35.36



ENTERED
 Philip G. Simpson
 PROPERTY ASSESSOR

DEC 27 2002

MAP_OP_CPL_PAR

OWNER / DEVELOPER
 GREENSBORO I
 P.O. BOX 8037
 GALLATIN, TN. 37066

TOTAL AREA = 4.0214 ACRES

REVISED: NOVEMBER 18, 2002 - PER OWNERS REQUEST
 REVISED: NOVEMBER 3, 2002 - PER OWNERS REQUEST
 REVISED: JULY 8, 2002 - PER PLANNING COMMENTS
 REVISED: JUNE 18, 2002 - PER OWNERS REQUEST

CERTIFICATE OF APPROVAL FOR UTILITY SYSTEMS
 I HEREBY CERTIFY THAT THE WATER AND SEWER SYSTEMS OUTLINED ON INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "GREENSBORO VILLAGE PHASE ONE SECTION ONE" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SURVEYED BOND OF CASH HAS BEEN FILED WHICH WILL GUARANTEE THE INSTALLATION.
 WATER SYSTEM 12-16-02
 SEWER SYSTEM 12-16-02
 JOHN T. DARNALL
 REGISTERED PROFESSIONAL SURVEYOR
 UTILITY RECORDS GALLATIN, TENNESSEE

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS INDICATED BY R.B. 1500, PG. 170, R.O.S.C., TN. AND THAT I HEREBY ADOPT AND PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENTS ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL - REGIONAL SUBDIVISION REGULATIONS.
 DATE 12-16-02
 CONSTANCE E. KING
 OWNER

CERTIFICATE OF ACCURACY
 I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL - REGIONAL PLANNING COMMISSION AND THAT ALL MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE IMPROVEMENTS IN THESE REGULATIONS.
 DATE 12-19-02
 JOHN T. DARNALL
 REGISTERED LAND SURVEYOR

CERTIFICATE OF APPROVAL OF BENEFICIARIES OF ROADS
 I HEREBY CERTIFY THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO SPECIFICATIONS OF THE GALLATIN MUNICIPAL - REGIONAL SUBDIVISION REGULATIONS, OR THAT A PERFORMANCE BOND HAS BEEN FILED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.
 REVISED IMPROVEMENTS IN CASE OF DEFAULT
 DATE 12-26-02
 JOHN T. DARNALL
 CITY ENGINEER

Darnall & Associates, LLC
 LAND SURVEYING - LAND DEVELOPMENT SERVICES
 CONSTRUCTION STAKING - DESIGN
 104 Jordan Avenue Gallatin, Tennessee 37066
 Ph. 615-208-8842 Fax 615-208-8848 darna@dnassoc.com

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL - REGIONAL SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH IMPROVEMENTS AS ARE NOTED BY THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK.
 DATE 12-26-02
 JOHN T. DARNALL
 COUNTY CLERK

FINAL PLAT
GREENSBORO VILLAGE PHASE ONE SECTION ONE
 U.S. HIGHWAY 31-E CITY OF GALLATIN,
 4TH CIVIL DISTRICT, SUMNER COUNTY, TENNESSEE

TOTAL ACRES = 4.0214 TOTAL LOTS = 2
 ACRES OF NEW ROAD = 1.3104 FEET OF NEW ROAD = 827 1/2
 OWNER: GREENSBORO I CIVIL DISTRICT: 3RD
 SCALE: 1"=100' CITY OF GALLATIN
 SURVEYOR: DARNALL & ASSOC. DIVISION: 0044174N SUMNER COUNTY
 JOB NO: 02-02 STATE OF TENNESSEE
 DATE: JUNE 10, 2002 SHEET NO. 1 OF 1

ATTACHMENT 3-3

COMMERCIAL CORRIDOR

General Description of Existing Development Patterns

These Commercial Corridors include a mix of larger-scale commercial development that fronts the corridor, with undeveloped farmland and rapidly-developing residential areas located behind commercial frontage. Buildings are typically single-story, single-use and are generally separated from the street and sidewalk by parking lots.

Location

Areas within this character area include the following:

- US-31E/Nashville Pike from SR-25 to SR-109 Bypass
- US-31E/Nashville Pike from the west city limits (City of Hendersonville border) to SR-109 Bypass
- US-31E/East Broadway between Triple Creek Park and Reynolds Street (north side of the street)
- Hancock Street south of US-31E/Nashville Pike to SR-109 Bypass

Intent

The development pattern for established and emerging corridors should seek to:

- Provide through transportation, land use and other physical enhancements an environment that provides a distinct sense of place, not just another commercial strip
- Discourage continuous ribbons of automobile-oriented commercial development along major corridors
- Organize nodal commercial development opportunities at intersections with major streets and new secondary roads
- Permit development of suburban commercial and residential development along arterial roadways with master planning to address access management and design that is consistent with community character
- Improve traffic flow by consolidating driveways and encouraging interparcel access
- Provide sidewalks and a more pedestrian-friendly environment by incorporating landscaped buffers between the roadway and sidewalks, placing buildings closer to the street, and locating parking to the rear of buildings
- Encourage mixed use development
- Reflect quality materials and design (related to the building, the site, and signage)

COMMERCIAL CORRIDOR

- Medium to High

Transportation

- Medium level of service
- Medium level of connectivity
- Properties accessed by public roads
- Regular-shaped, medium-to-long blocks
- Roads characterized by a mix of curb, gutter with sidewalk and grassy swales all with a low-to-medium level of pedestrian orientation
- Bike lanes/routes

Infrastructure

- Public water and sewer available
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood and pocket parks
- Community gardens

Primary Land Uses

- Small and large-scale apartments and townhomes
- Office
- Vertical Mixed Use
- Commercial/Retail (including grocery stores, home improvement stores, restaurants, hotels)

Appropriate Intensity

- 0.75 FAR

Applicable Zoning Districts

Existing Zoning Districts

- PGC, MU, MRO, GO

Proposed Zoning Districts

- Mixed-Use Node (new)
- CS, CG with Corridor Overlay (new)

- Provide shade, reduce impervious surfaces, shield parking areas, and improve the appearance of individual sites and the entire corridor with quality landscaping

Development Strategies

- Encourage retrofitting of existing strip development into pedestrian-scale interconnected nodes
- Limit signs and billboards
- Cluster high-density development at nodes along the corridor, such as major intersections
- Depict clear physical boundaries and transitions between the edge of the character area and adjacent character areas, in particularly those that include residential uses
- Strengthen pedestrian connections to adjacent residential areas
- Increase landscaping along the corridor, including in and along parking lots to provide shade, reduce impervious surfaces, shield parking areas, and improve the appearance of individual sites and the entire corridor
- Plan for community street network that creates rather than hinders opportunities for walking, biking and providing future public transit
- Establish pedestrian-oriented building setbacks
- Guide building and site design, including parking lot configuration and streetscape features
- Find an appropriate balance between residential and commercial uses within mixed use developments
- Organize new development a nodal fashion with nodal commercial/mixed use development opportunities at intersections with major streets and new secondary roads. Areas between these development nodes along the corridor provide opportunities for development of higher intensity residential uses that would create more housing choices for the City that are in proximity to commercial areas and major transportation arteries.

Implementation Measures

- ☞ Amend Mixed-Use districts
- ☞ Mixed-Use Node zoning district (new)
- ☞ Corridor Overlay District



Existing commercial corridor area along Nashville Pike near Vol State



Emerging commercial corridor along Nashville Pike west of Gallatin



Quality office development along the Commercial Corridor on Nashville Pike includes quality building materials, landscaping and preservation of mature trees

**GREENSBORO VILLAGE COMMERCIAL SOUTH
OWNERS ASSOCIATION**

January 28, 2015

McDonald's
Attn: Ted Lyon
2205 Cages Bend Road
Gallatin, TN 37066

RE: Drive-thru Improvements

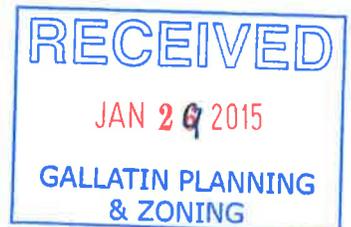
Dear Ted,

Please accept this letter as confirmation that the drive-thru improvements (dual drive-thru) per the attached concept plan have been approved by the Design Review Committee.

Sincerely,



L.A. Green III
GVCSOA
Chairman



ATTACHMENT 3-7

Gallatin, TN –990 Greensboro Drive
McDONALD'S GENERAL "SIDE BY SIDE" DRIVE THRU REMODEL SCHEDULE
Venture Construction: Sam Litchfield-Project Manager

Week 1:

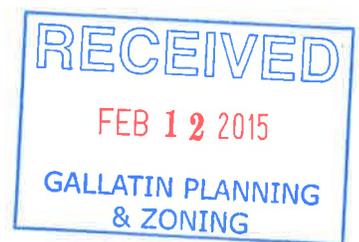
Demolition Begins at Rear Parking Expansion
Demolition of Second Lane of DT (for place back)
Demolition of partial sidewalks at DT entry area
Pour Back COD & Canopy Bases Lane 2

Week 2:

Demolition of Interior Lane 1
Place Back Interior Lane 1
Pour Back the COD & Canopy Bases Lane 1
Pour Back the Parking Expansion
-includes the Curb & Gutter at Parking Expansion
-includes any affected Light Poles as applicable
Set Drive Thru Signage Begins (End of Week)

Week 3:

Set Drive Thru Signage (Completion)
Wiring & Activation of Signage with POS System in Drive Thru Booths
Demo & Replace Accessible Walks at DT Entry & Lobby Entry Area
Demo & Replace Accessible Parking Stalls
Striping & Landscape by Operator
Clean Up



RESUBMITTAL

4-285-15

FILE #

ITEM	UNIT	QTY.	\$/UNIT	TOTAL
UTILITIES (from connection to building)				
WATER SERVICE (Per GPU)	LF	0	30.00	0.00
SEWER SERVICE (Per GPU)	LF	0	45.00	0.00
PAVING				
GRAVEL BASE COURSE (6 inch deep) p.366 (#0100)	SY	41	7.19	294.79
RIP RAP (3" to 6") (Per TDOT/Eng.)	TON	0	24.18	0.00
BINDER COURSE - 1.5 inch p.368 (#0080)	SY	10	5.82	58.20
BINDER COURSE - 2 inch p.368 (#0120)	SY	14	7.68	107.52
BINDER COURSE - 2.5 inch p.368 (#0130)	SY	0	9.50	0.00
CONCRETE				
CONCRETE WALKS (4" thick sidewalk) p.611(#1620)	SF	785	5.46	4286.10
CURB & GUTTER - (24" wide) p.374 (#0430)	LF	574	18.80	10791.20
DRAINAGE				
DRAINAGE PIPE - 12" p.484 (#2080)	LF	0	24.04	0.00
DRAINAGE PIPE - 15" p.484 (#2100)	LF	0	30.02	0.00
DRAINAGE PIPE - 18" p.484 (#2120)	LF	0	32.11	0.00
DRAINAGE PIPE - 24" p.484 (#2140)	LF	0	38.19	0.00
DRAINAGE PIPE - 30" p.484 (#2160)	LF	0	51.55	0.00
DRAINAGE PIPE - 36" p.484 (#2180)	LF	0	58.55	0.00
DRAINAGE PIPE - 48" p.484 (#2200)	LF	0	83.45	0.00
DRAINAGE PIPE - 60" p.484 (#2220)	LF	0	128.15	0.00
TRENCH DRAIN/GRATE (medium) p.243 (#6670)	LF	0	49.35	0.00
HEADWALLS (Per Eng.)	EA	0	1000.00	0.00
INLETS/CATCH BASINS (Per Eng.)	EA	0	2000.00	0.00
MANHOLES (Per Eng.)	EA	0	2000.00	0.00
RETAINING WALL (w/reinforcement) p.387 (#7140 + #7260)	SF	0	20.50	0.00
LANDSCAPING (Bufferyard only)				
LARGE DECIDUOUS TREES (Per estimates)	EA	0	200.00	0.00
FLOWERING/PINE TREES (Per estimates)	EA	11	150.00	1650.00
SHRUBS (Per estimates)	EA	91	60.00	5460.00
SOD (1 inch deep) p. 396 (#0020)	SF	0	0.25	0.00
FINAL STABILIZATION (Seed & Straw) (Per Eng.)	SF	1,286	0.03	32.15
MISC.				
			SUBTOTAL	\$ 22,679.96
			OH&P@10%	2268.00
			GRAND TOTAL	\$ 24,947.96
REFER TO G.Z.O., SECTION 15.03.080 SURETY REQUIRED				
Page and item numbers refer to 2012 RSMeans Site Work and Landscape Cost Data.				

RECEIVED
 FEB 12 2015
 GALLATIN PLANNING
 & ZONING

RESUBMITTAL

ATTACHMENT 3-8

4-285-15

GENERAL NOTES

DESIGN AND CODE INFORMATION

- ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, 2009 EDITION.
- VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS AND NOTIFY ENGINEER OF ANY CONDITIONS WHICH CONFLICT WITH OTHER PLANS AND SPECIFICATIONS. STRUCTURAL DRAWINGS MUST BE COORDINATED WITH SITE DRAWINGS. STRUCTURAL DRAWINGS ARE NOT INTENDED FOR BUILDING LAYOUT.
- WIND LOADS:

BASIC WIND SPEED:	90 MPH
WIND IMPORTANCE FACTOR:	II
WIND EXPOSURE:	B
CLADDING LOAD:	30 PSF

FOUNDATION NOTES

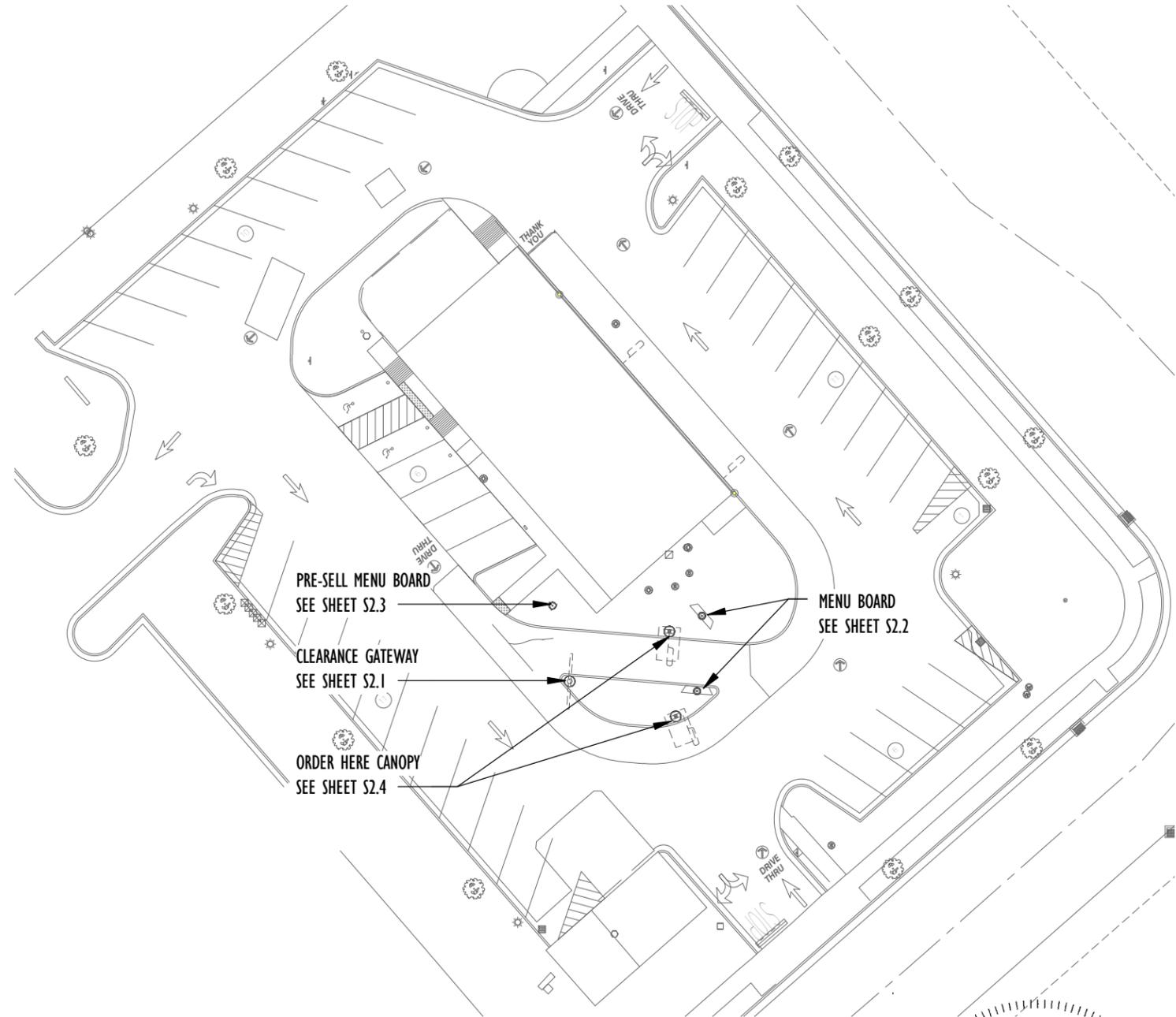
- FOUNDATION DESIGN IS BASED ON THE FOLLOWING ASSUMPTIONS. A GEOTECHNICAL ENGINEER SHALL BE EMPLOYED PRIOR TO THE START OF CONSTRUCTION TO INVESTIGATE SUBSURFACE CONDITIONS. IF THE GEOTECHNICAL REPORT INDICATES THAT THESE ASSUMPTIONS ARE INCORRECT, PLEASE NOTIFY ENGINEER IMMEDIATELY.
- FOOTINGS ARE DESIGNED TO BEAR ON UNIFORM SOIL CAPABLE OF SUPPORTING 1500 PSF. DESIGN ASSUMES TOTAL SETTLEMENT IS WITHIN ACCEPTED TOLERANCES FOR THE TYPE OF CONSTRUCTION USED.
- FOOTINGS ARE DESIGNED BASED ON A MINIMUM ALLOWABLE LATERAL SOIL PRESSURE OF 100 PSF/FT.
- THE SOIL BEARING CAPACITY, LATERAL SOIL PRESSURE CAPACITY AND CONSISTENCY SHALL BE VERIFIED FOR THE BUILDING LIMITS BY A REGISTERED GEOTECHNICAL ENGINEER WHEN FOUNDATION EXCAVATIONS HAVE BEEN CARRIED DOWN TO THE PROPOSED ELEVATIONS.
- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR) UNLESS OTHERWISE NOTED.

REINFORCED CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," (ACI 318-08).
- REINFORCING STEEL SHALL BE DEFORMED BARS ASTM A-615 (GRADE 60).
- THE COMPRESSIVE STRENGTH AT 28 DAYS OF ALL CAST IN PLACE CONCRETE SHALL BE 3000 PSI.
- LAP SPLICES FOR REINFORCING BARS SHALL BE CLASS B IN ACCORDANCE WITH ACI 318-08, UNLESS NOTED OTHERWISE.
- CLEAR CONCRETE COVER FOR REINFORCING STEEL SHALL BE 3"
- MECHANICAL VIBRATORS SHALL VIBRATE ALL CONCRETE.
- USE OF ADMIXTURES SHALL CONFORM TO McDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6.
- AIR ENTRAINMENT SHALL CONFORM TO McDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A.
- WATER CONTENT RATIO SHALL CONFORM TO McDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A.
- CONCRETE TESTING SHALL CONFORM TO McDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.14.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO McDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 3.2 & 3.5.
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER McDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "MANUAL OF STEEL CONSTRUCTION ALLOWABLE STRESS DESIGN" THIRTEENTH EDITION AND AISC CODE OF STANDARD PRACTICE.
- ANCHOR RODS SHALL BE ASTM F-1554.
- NUTS SHALL BE ASTM A-563DH OR A-194-2H.
- WASHERS SHALL BE ASTM F-436.
- ALL BOLTS AND FASTENERS SHALL BE HOT-DIPPED GALVANIZED.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.



SIGN FOUNDATION PLAN

SCALE: NONE

NOTES:

- LOCATIONS OF SIGNS AND POSTS ARE APPROXIMATE. COORDINATE ACTUAL LOCATIONS WITH SITE PLAN

BSD# 15002

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 (615) 850-1888

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REVISIONS

DRAWN BY:

BSD

DATE:

01/26/2015

REF. SHEET:

SHEET NO.

S1.1

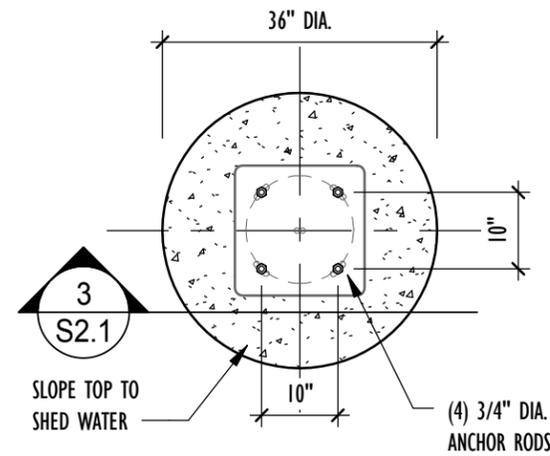
CLEARANCE GATEWAY FOUNDATION

NOTES:

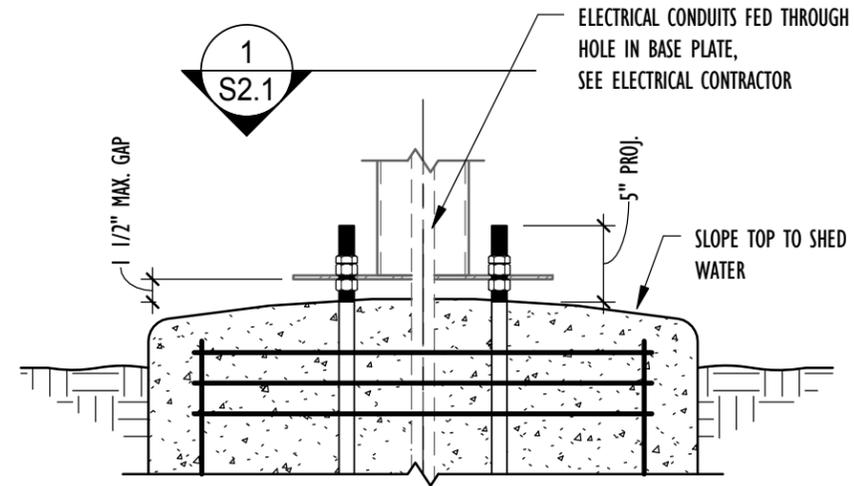
1. SLOPE TOP OF PIER SUCH THAT MOISTURE CANNOT ACCUMULATE.
2. ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
3. PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL REINFORCING.
4. THE COMPRESSIVE STRENGTH AT 28 DAYS OF THE CONCRETE SHALL BE 3000 PSI.
5. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60.
6. ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 55, HOT DIP GALVANIZED PER ASTM F2329.
7. NUTS SHALL BE HEAVY HEX ASTM A563 GRADE DH, HOT DIP GALVANIZED PER ASTM A153.
8. LOCK NUTS SHALL BE HOT DIP GALVANIZED PER ASTM A153.
9. PLATES SHALL BE ASTM A572 GRADE 36, HOT DIP GALVANIZED PER ASTM A153.
10. WASHERS SHALL BE ASTM F844 A36, HOT DIP GALVANIZED PER ASTM A153.
11. SET ANCHOR RODS IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
12. ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
13. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.

FOUNDATION & ANCHOR BOLT DESIGN BASED ON A TYPICAL CLEARANCE GATEWAY PROVIDED BY McDONALD'S. IF SIGN IS DIFFERENT, THIS DESIGN MAY NOT BE USED.

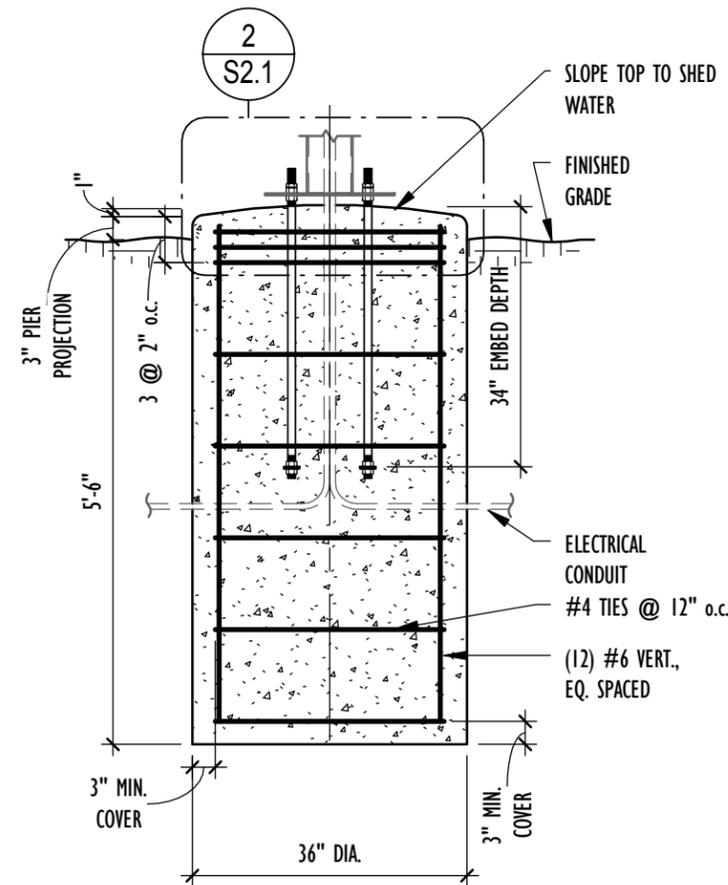
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 DESIGN BASE AXIAL = 1.0 KIP



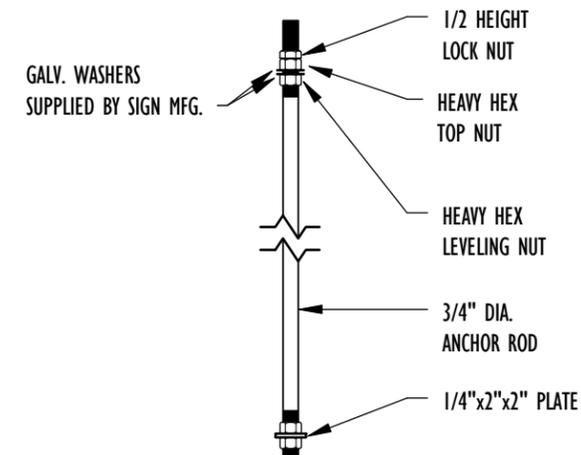
1 PLAN
SCALE: 1/2" = 1'-0"



2 BASE DETAIL
SCALE: 1" = 1'-0"



3 SECTION
SCALE: 1/2" = 1'-0"



4 ANCHOR BOLT DETAIL
SCALE: NONE



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S2.1

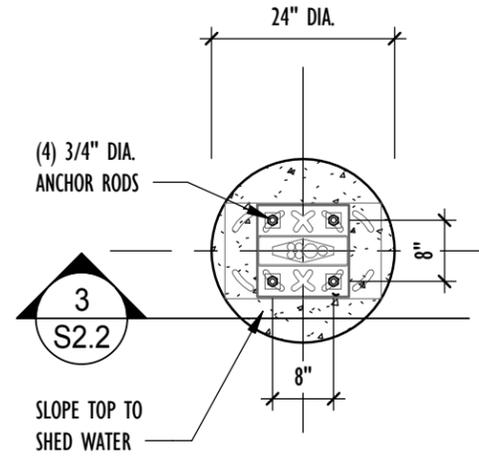
BSD# 15002

MENU BOARD FOUNDATION

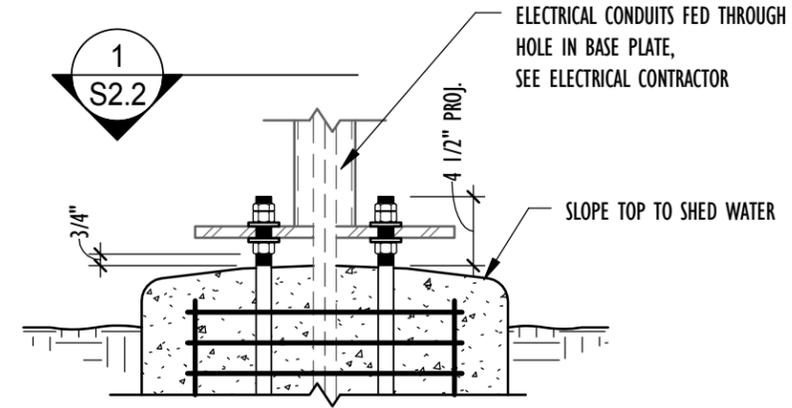
- NOTES:**
1. SLOPE TOP OF PIER SUCH THAT MOISTURE CANNOT ACCUMULATE.
 2. ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
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 11. SET ANCHOR RODS IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
 12. ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
 13. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.

FOUNDATION & ANCHOR BOLT DESIGN BASED ON A TYPICAL MENU BOARD PROVIDED BY McDONALD'S. IF SIGN IS DIFFERENT, THIS DESIGN MAY NOT BE USED.

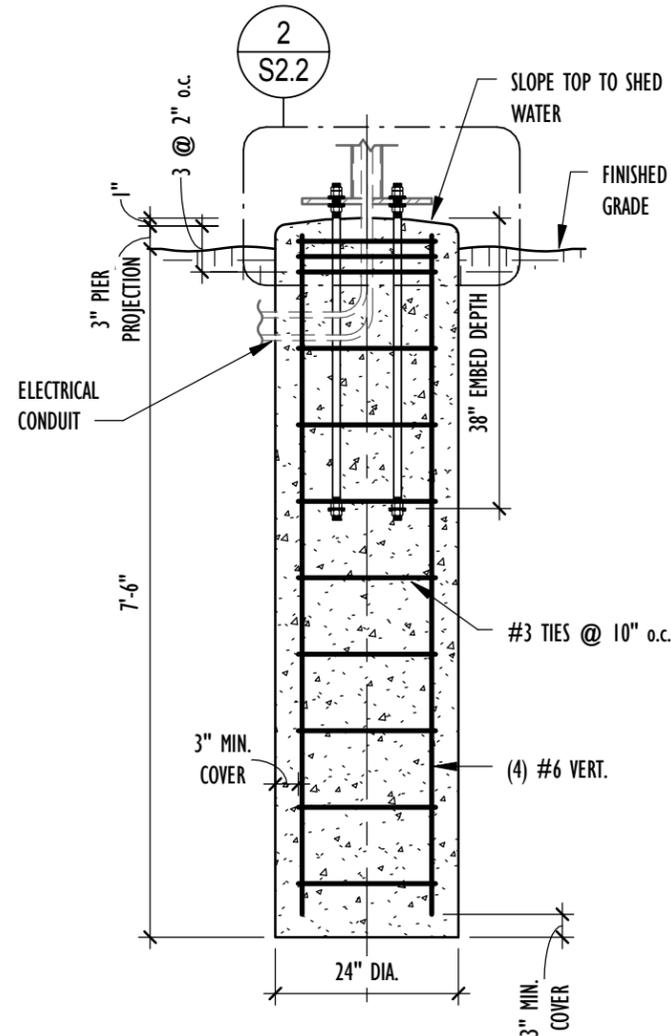
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 DESIGN BASE AXIAL = 0.9 KIP



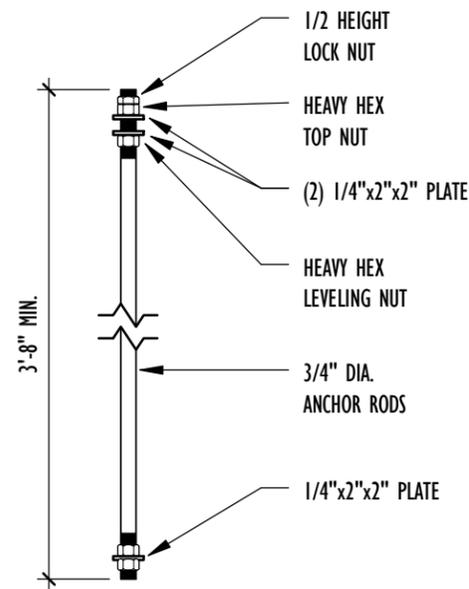
1 PLAN
 SCALE: 1/2" = 1'-0"



2 BASE DETAIL
 SCALE: 1" = 1'-0"



3 SECTION
 SCALE: 1/2" = 1'-0"



4 ANCHOR BOLT DETAIL
 SCALE: NONE



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S2.2

BSD# 15002

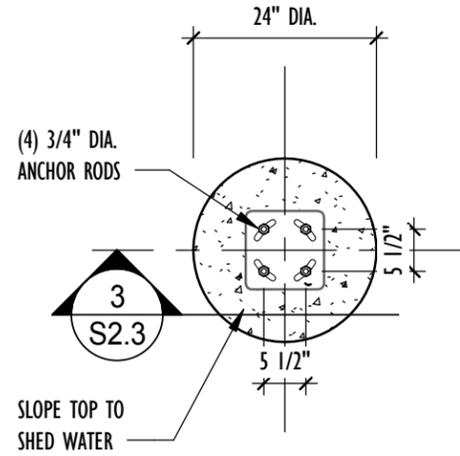
PRE-SELL MENU BOARD FOUNDATION

NOTES:

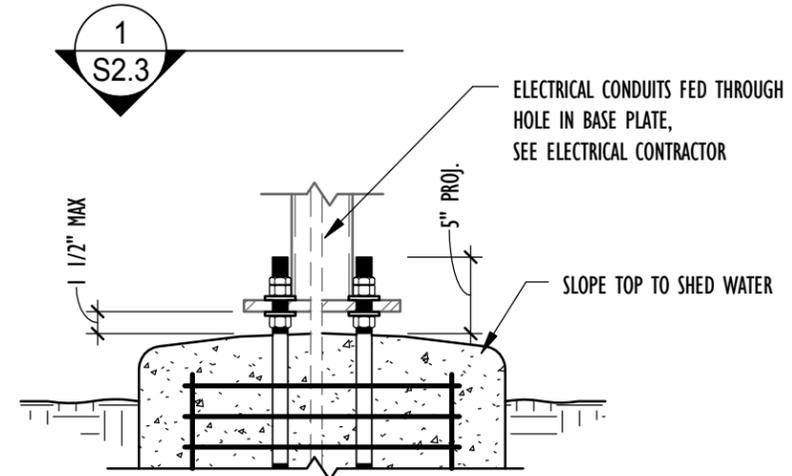
1. SLOPE TOP OF PIER SUCH THAT MOISTURE CANNOT ACCUMULATE.
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13. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.

FOUNDATION & ANCHOR BOLT DESIGN BASED ON A TYPICAL PRE-SELL MENU BOARD PROVIDED BY McDONALD'S. IF SIGN IS DIFFERENT, THIS DESIGN MAY NOT BE USED.

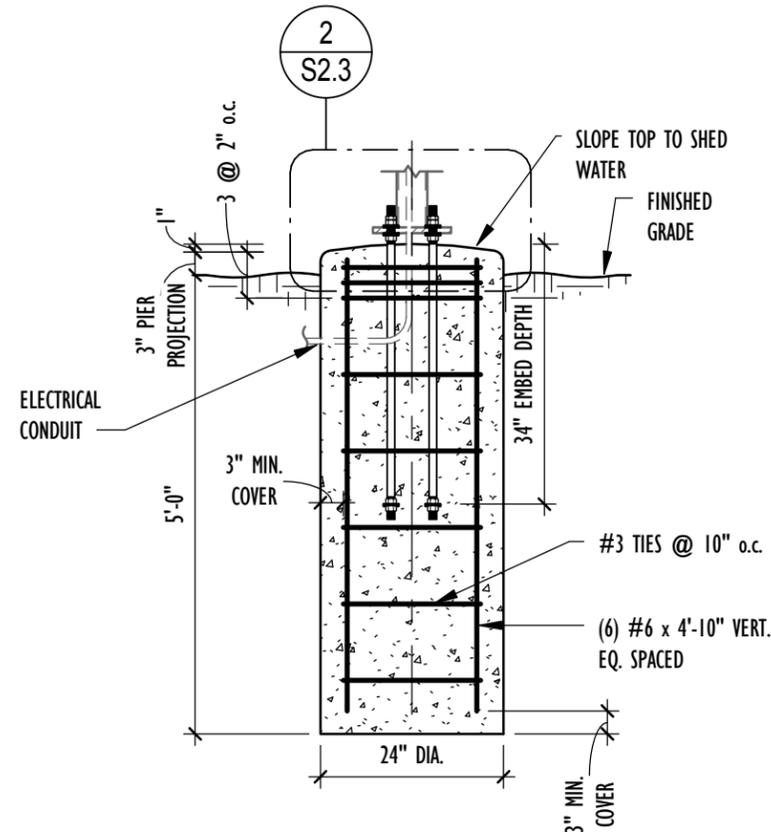
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 DESIGN BASE AXIAL = 0.5 KIP



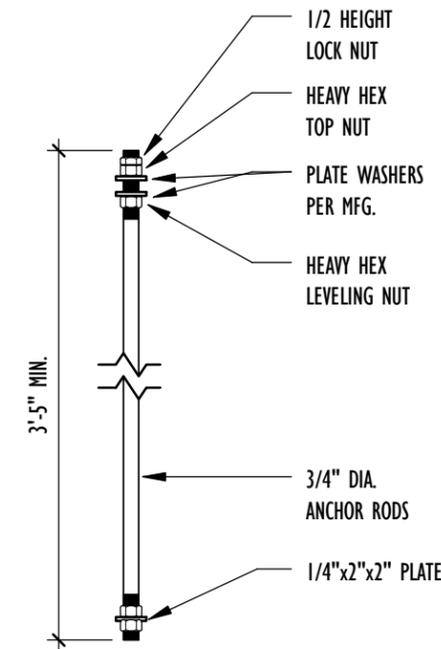
1 PLAN
 SCALE: 1/2" = 1'-0"



2 BASE DETAIL
 SCALE: 1" = 1'-0"



3 SECTION
 SCALE: 1/2" = 1'-0"



4 ANCHOR BOLT DETAIL
 SCALE: NONE



BSD# 15002

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S2.3

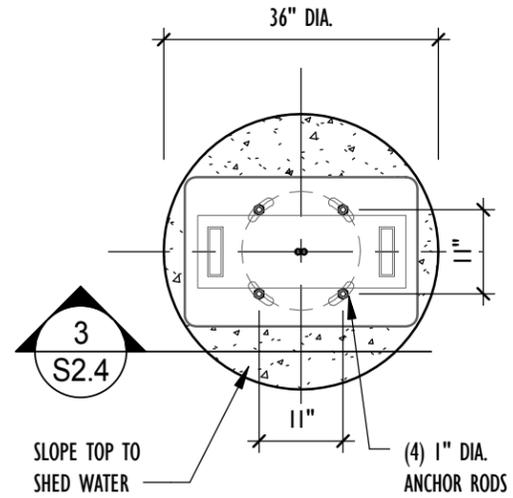
ORDER HERE CANOPY FOUNDATION

NOTES:

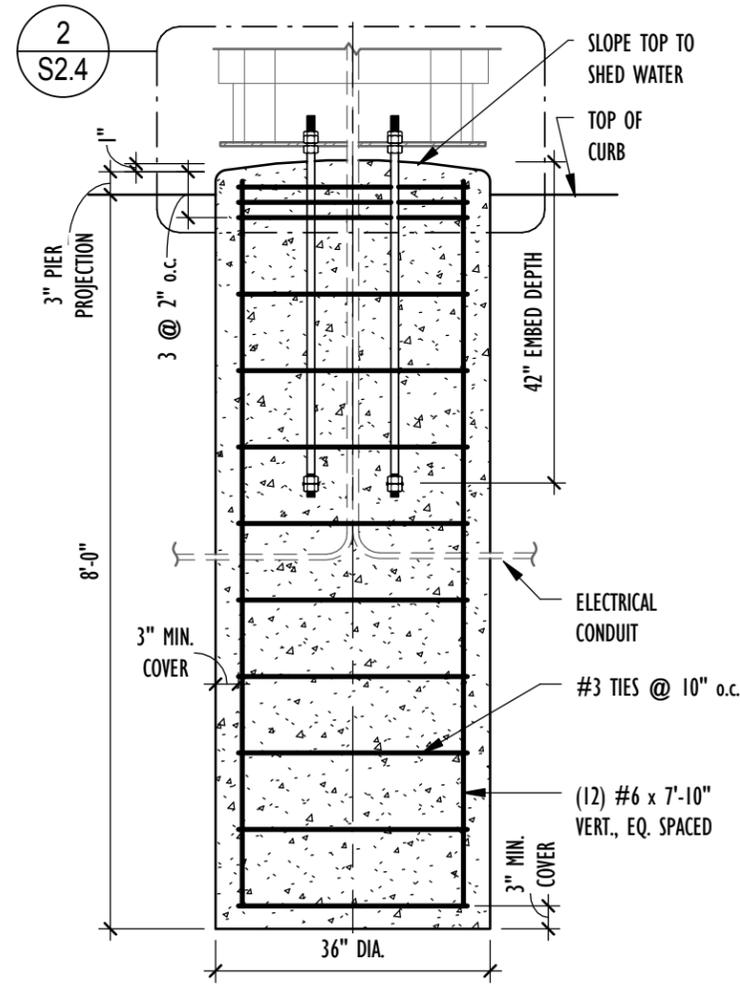
1. SLOPE TOP OF PIER SUCH THAT MOISTURE CANNOT ACCUMALATE.
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FOUNDATION & ANCHOR BOLT DESIGN BASED ON A TYPICAL ORDER HERE CANOPY PROVIDED BY McDONALD'S. IF SIGN IS DIFFERENT, THIS DESIGN MAY NOT BE USED.

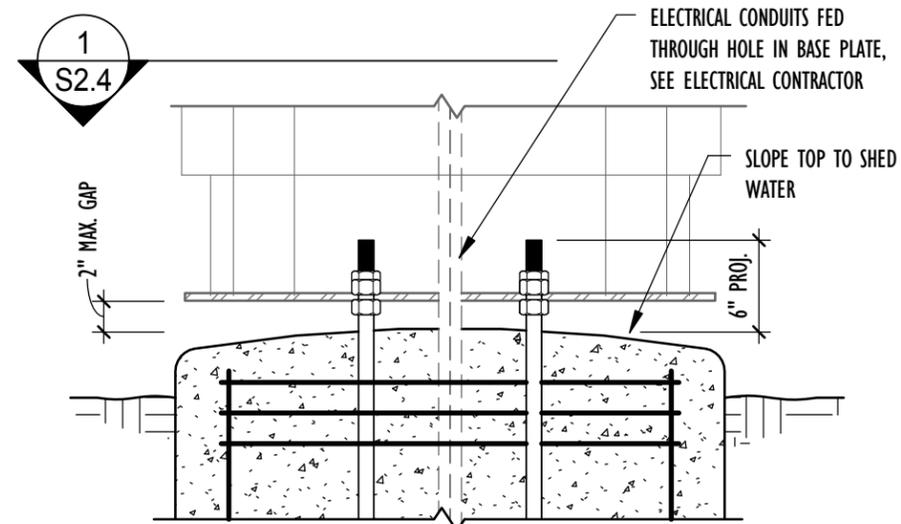
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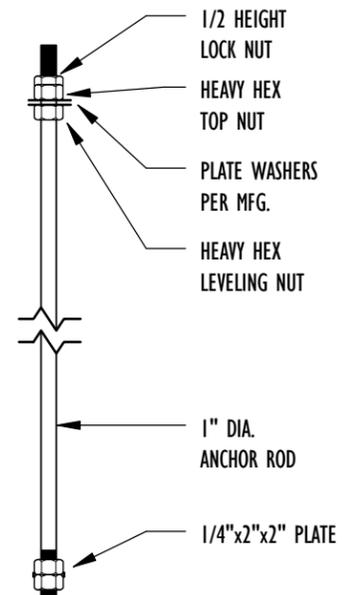
1 PLAN
 SCALE: 1/2" = 1'-0"



3 SECTION
 SCALE: 1/2" = 1'-0"



2 BASE DETAIL
 SCALE: 1" = 1'-0"



4 ANCHOR BOLT DETAIL
 SCALE: NONE



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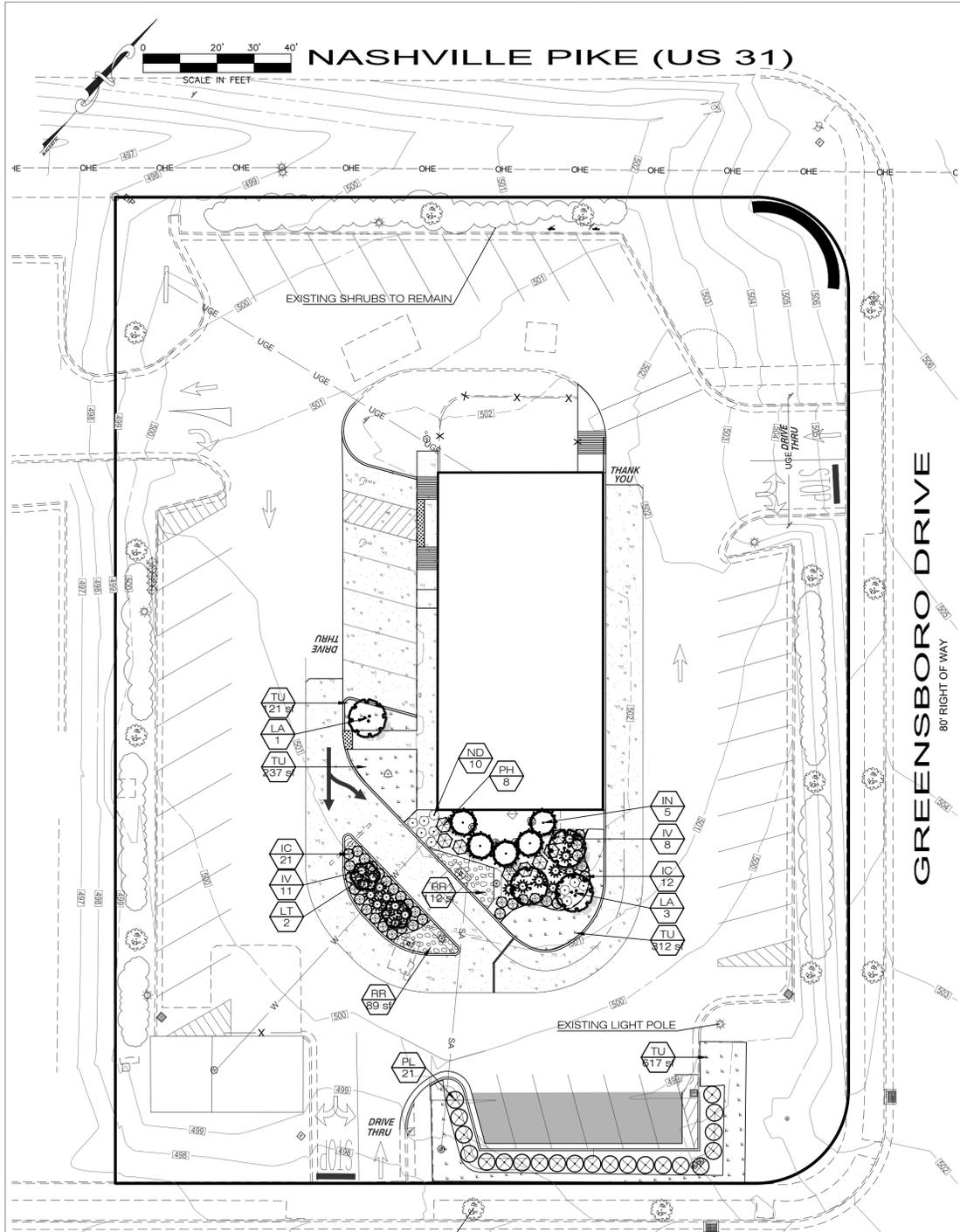
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REF. SHEET:

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LANDSCAPE NOTES:
 Before the landscape project is started, the chosen landscape contractor will meet the Landscape Architect on site for a detailed explanation of the landscape plan. All plant material provided shall be nursery grown and shall comply with the American Standard For Nursery Stock: ANSI Z60.1-1996, for size and quality. No substitutions as to type, size, or spacing of plant materials specified on this plan may be made without written approval of owner and Landscape Architect. All plants will be guaranteed to live, flourish, and be true-to-name for one full year from the date of completion of work by the landscape contractor as determined by the Landscape Architect.
 The quantities indicated on the plant list and plan are provided for the benefit of the contractor, but should not be assumed to always be correct. The landscape contractor assumes all responsibility for his or her own quantity calculations and the liability which pertains to those quantities and to any related contract documents and/or price quotations.
 The contractor is to verify the exact locations of all existing utilities. Take care to protect utilities that are to remain. Repair any damage according to local standards and codes, and at landscape contractor's expense. Coordinate all construction with appropriate utility company.
 All disturbed areas outside of planters and planting beds to be seeded unless otherwise noted on landscape plan. Seed type to be approved by Landscape Architect.

Before planting installation is to begin, a soil test is to be performed for all planting areas in order to determine the soil's structure, pH, and nutrient content. Specifically addressing the relationship between nitrogen, phosphorus, and potassium; as well as testing for other nutrients, organic matter, and soluble salt composition. Analysis is also required of any stockpiled topsoil. If topsoil is imported, then analysis shall be done for each location where the topsoil was excavated. These tests will guide the makeup of all future soil amendments as well as any additional soil excavation and replacement that may be necessary when determined and or approved by Landscape Architect and home owner. These notes provide a general outline for soil sampling, preparation, plant installation, fertilization, and mulching.

BED PREPARATION NOTES:
 The objective of the bed preparation and planting notes herein is to develop and preserve landscape material according to our landscape plan. Included in that goal is a standard of achieving optimum health, including growth and appearance of all ornamental landscape plants, while recognizing the unique growing environment presented by each planting location. The chosen landscape contractor must perform percolation tests in areas of planting, especially in areas where plants are to be installed that do not tolerate wet conditions. If it is observed that soils to not percolate well, the landscape architect and home owner are to be notified immediately and prior to any planting.

PLANTING SOIL PREPARATION:
 Soil preparation shall be provided on all areas to be planted, and on turf areas where specified. Future soil mixes and topsoil shall improve soil texture, tilth, and biological activity of the planting bed soil. All planting soil, topsoil, mulch, "soil conditioners" and other additives and amendments are subject to testing and approval of the home owner and Landscape Architect. The planting soil shall be tested and shall meet the following criteria:
 pH range 6.0-7.0
 organic matter 25%
 soluble salts not to exceed 500ppm
 soluble salt concentration 10dSm max.
 physical contaminant <1%, dry weight basis
 chemical contaminants meet or exceed US EPA

PLANT INSTALLATION:
 Soil amendments shall be incorporated in the following manner; the soil surface shall be loosened by rototilling to a minimum depth of 18" (only when outside the drip line of existing trees). All materials over 1" in diameter shall be removed. The manure and organic compost mixture shall be evenly spread over the area at a rate of 12 cubic yards per thousand square feet, and shall be mixed thoroughly into the soil surface to a depth of 6 inches by means of a rototiller, soil mixer or similar apparatus. Adjusting agents (e.g. lime and sulfur) may be applied in conjunction at this time based on the soil tests, and approved by the Landscape Architect. When incorporating topsoil, it should be spread over the area to a minimum 4" compacted depth, and mixed lightly into the subsoil by means of a rototiller, soil mixer or similar apparatus. Amendments are to be spread and tilled into the soil uniformly.
 In situations where existing soil is to be excavated from non-turf planters and replaced as per planting plan notes, remove soil to specified depth. Replace soil with a mixture containing fifty percent (50%) coarse river sand, twenty-five percent (25%) organic matter, and twenty-five (25%) topsoil. Soil mixture will be subject to the same chemical and mechanical analysis described above. Composted organic matter used shall be a well decomposed, stable, weed free source. It shall be derived from: yard trimmings, agricultural, food, or industrial residuals. The product shall contain no substances toxic to plants, animals, or humans and shall be reasonably free (<1% by dry weight) of man-made foreign matter. The composted organic matter will possess no objectionable odors and shall not resemble the raw material from which it was derived. Topsoil shall be a fertile sandy clay loam. Topsoil shall be taken from the top 18-24" of a well-drained site, and free from clay subsoil, stones, lumps, plants or their roots, sticks, stolons, and seeds, high salt content, and other materials harmful to plant life. Mix soil mixture lightly into the subsoil by means of a rototiller, soil mixer or similar apparatus.
 Fertilize all plant beds and planters with a complete slow release fertilizer which has a 2-1-2 NPK ratio to stimulate root growth. Fertilize planting beds at a rate that will provide 2-3 lbs. of actual nitrogen per 1000 square feet in the planting bed. Prior to seeding or sodding, fertilizer with a 10-10-10 NPK ratio shall be spread evenly over the surface at the rate of five pounds per thousand square feet. Never shall fertilizers be added to the soil of a new planting bed or lawn area with NPK ratios higher than 10-10-10.
 All planting beds within the drip line of existing trees are to be prepped with the addition of light topsoil amendments over the existing topsoil and vertical mulching. The vertical mulching should occur at 18" on center with a 1-1/2" auger, 12-15" deep. The augured holes are to then be filled with approved organic matter and mulches.
 The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball for all trees and large shrubs. Trees and large shrubs shall be planted so 1/8 of the root ball is above final grade (at least 2" of root ball). All plants are to be installed with mycorrhizae, following manufacturer's directions. The top soil material should taper out around plant crowns, particularly with perennials.
 Thoroughly water the ground bed cover after installation. Contractor shall mulch planting beds to a depth of 2 1/4-3", not allowing mulch depth over 1" against any tree trunk. Leave some organic matter on the surface.

SUBSTITUTION NOTE:
 1. Requirements shown are as per City Zoning Ordinance.
 Substitutions are not allowed unless approved by Heibert+Ball, Land Design.
 2. After installation, the landscape will be maintained by the owner.
 3. Additional screening may be required if the inspection for the release of the performance surety reveals that the screening is not effective.
TO AVOID OVERHEAD UTILITY CONFLICTS:
 In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.
TO AVOID OVERHEAD LIGHT POLE CONFLICTS:
 In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.
UTILITY SCREEN
 All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball, Land Design for screening recommendations.
PLANT STANDARDS
 The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on the drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.
TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 1. Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
 2. Trees with forked trunks are acceptable if all the following conditions are met:
 a. The fork occurs in the upper 1/3 of the tree.
 b. One fork is less than 2/3 the diameter of the dominant fork.
 c. The top 1/3 of the smaller fork is removed at the time of planting.
 3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.
 4. The trunk and/or major branches shall not touch.
 5. Several branches are larger in diameter and obviously more dominant.
 6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
 7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
 8. Crown spread shall look proportional to the tree.
 9. NO flush cuts or open trunk wounds or other bark injury.
 10. Root ball meets all ANSI standards and is appropriately sized.
DEFICIENCIES NOT ACCEPTED:
 1. Tip dieback on 5% of branches
 2. Crown thin/sparsely foliated
 3. Included bark
 4. Major Branches touching
 5. Asymmetrical branching

City Landscape Notes
 1. The Owner shall submit a Certificate of Landscape Compliance to the Planning Department upon completion of the landscape installation.
 2. Upon submission of a Certificate of Landscape Compliance contact the Planning Department to schedule a Landscape Inspection.
 3. No Certificate of Occupancy shall be issued until all landscape materials are in place in substantial compliance with the approved landscape plan.
 4. All trees and shrubs shall be tagged according to species. Tags shall not be removed until after the Site Inspection for the issuance of a Certificate of Occupancy.
 5. Any plant material that dies, turns brown or defoliates shall be replaced within one year or by the next growing season, whichever comes first. Other defective landscape material shall be replaced within three months.
 6. All trees shall be straight trunked, full headed and meet all requirements specified. All trees and shrubs must be container grown or balled and burlapped with sizes indicated on the plant schedule on the approved plans. All plants shall be healthy, vigorous material, free of pest and disease. All rootballs, containers and height to width ratios shall conform to the size standards set forth in the American Standards for Nursery Stock, current edition.
 7. All required deciduous trees shall be a minimum of 2" (two inches) in caliper at planting.
 8. All required evergreen trees shall be a minimum of 6" (six feet) in height at planting.
 9. All required shrubs shall be a minimum of 18" in height at planting.
 10. Any site or landscape changes (including but not limited to a change in design, a reduction in size or number of plant material, or the relocation of overhead or underground utilities) will require a revised landscape plan to be submitted and approved prior to the landscape installation.
 11. The Owner acknowledges that landscaping in a dedicated easement does not waive or modify the City rights as the easement holder. The Owner understands that the City, its authorized contractor or applicable private utility may at any time and for any reason perform work within the dedicated easement. The City, its authorized contractor or applicable private utility shall have no liability to the Owner for any damage to the landscaping in the easement when said damage is due to work within the easement. The Owner may be held responsible for the removal of the landscaping to enable work to be done. The Owner shall be solely responsible for any costs incurred in repairing and/or replacing the required landscaping.
 12. ATTENTION OWNER/INSTALLER:
 This landscape plan has been designed to meet the minimum requirements of the City Zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements. Thus problems may arise with releasing the performance/maintenance surety for landscaping. Deviation from the approved landscape plan shall not be made without first consulting Heibert + Ball, Land Design and then obtaining approval from either the planning commission or the planning department.

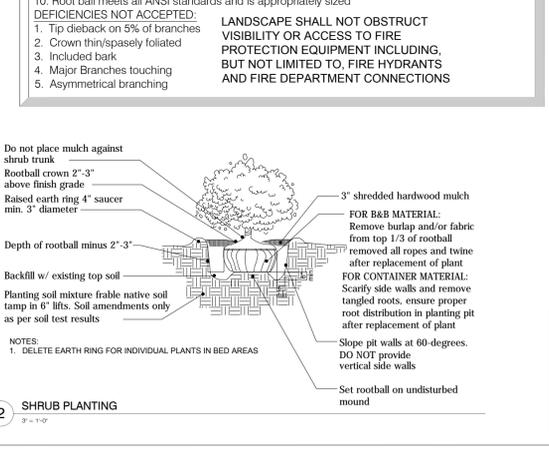
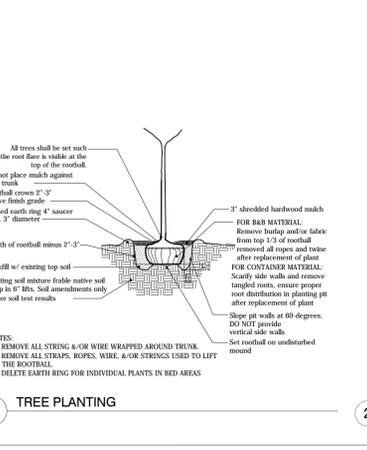
MISCELLANEOUS REMARKS
 Shredded Hardwood Bark Mulch Minimum 4" depth throughout plant beds.
NOTES
 F.T.B. = Full To Base
 PLANT MATERIAL CHANGES WITHOUT THE APPROVAL OF HEIBERT+BALL MAY BE DENIED AT THE TIME OF INSPECTION. PLEASE CONTACT H+B FOR ANY SUBSTITUTION REQUESTS.

IRRIGATION
 PROVIDE DRIP IRRIGATION TO ALL SHRUB AREAS
 PROVIDE SPRAY HEADS TO ALL TURF AREAS
 TIE INTO EXISTING IRRIGATION AND RESCHEDULE CLOCK

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	SIZE
	IN	5	Nellie Stevens Holly / Ilex x 'Nellie R Stevens' F.T.B. Full Well Rounded Tree	B & B	6' Height
	LT	2	Tonto Crape Myrtle Multi-Trunk / Lagerstroemia x 'Tonto' 3 Cane, Min. Full, Airy Form.	#15 Container	
	LA	4	Tuscarora Red Crape Myrtle Multi-Trunk / Lagerstroemia x 'Tuscarora' Multi Trunk. Full, Well Branched	8'-10' HT	
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	
	IC	33	Carissa Holly / Ilex cornuta 'Carissa' Full, Heavy	15"x15"	
	IV	19	Henry's Garnet Sweetpire / Itea virginica 'Henry's Garnet' Full, Heavy, Well Branched	18" HT	
	ND	10	Dwarf Heavenly Bamboo / Nandina domestica 'Harbour Dwarf' Full, Heavy, Well Branched, Not Sheared	#1 Container	
	PH	8	Blue Switch Grass / Panicum virgatum 'Heavy Metal' Full, Heavy, Well Rooted	3 gal	
	PL	21	Luykens Laurel / Prunus laurocerasus 'Otto Luyken' Full Form. Well Matched	18" HT	
GROUND COVERS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	
	RR	200 sf	6'-8" Brown River Rock	Space as Noted	
	TU	1,286 sf	Turf-type Tall Fescue / Turf Sod Marathon III	Space as Noted	

THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47165C0426G, DATED APRIL 17, 2012.



TSQUARE ENGINEERING
 Consulting Civil Engineering
 7101 Sharondale Court, Suite 200, Brentwood, TN 37027
 tim@t2-eng.com

GENERAL NOTES		BY	ISSUE REF																								
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<p>LANDSCAPE PLAN LS-1</p>		<p>STATUS: PRELIMINARY DATE: 01-20-15 BY: KAC</p> <p>PLAN CHECKED: AS-BUILT</p>																									
<p>CONTRACTOR: OWNER</p>		<p>PLANNING APPROVALS</p> <p>SIGNATURE (2 REQUIRED) DATE</p> <p>REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT.</p> <p>CO-SIGN SIGNATURES</p>																									



McDonald's USA, LLC
 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written permission of McDonald's USA, LLC. The drawings and specifications are specific to the site and are not to be used for any other project. Use of these drawings for use on any other project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

ADDRESS: 250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260

McDonald's Corporation

990 GREENSBORO DRIVE

Gallatin, Sumner County, Tennessee

Tax Map 136F Group E Parcel 002.00

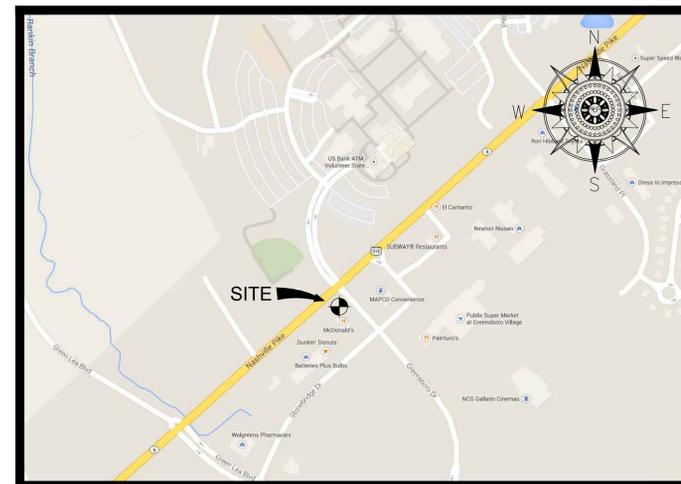
Site Code 041-0751

Developer/Owner: McDonald's Corporation
250 W. 96th Street, Suite 500
Indianapolis, IN 46260
(615) 517-0877

Engineer:  **Tim Turner**
TSQUARE ENGINEERING
Consulting Civil Engineering
7101 Sharondale Court, Suite 200 • BRENTWOOD, TN 37027 • (615)678-8212
tim@t2-eng.com

Landscape Architect: Connor Ball
Heibert+Ball Land Design
1894 Gen. Geo. Patton Dr. Suite 400
Franklin, TN 37067
(615) 376-2421

Surveyor: Allen O'Leary
O'Leary and Associates
2558 Nashville Highway
Columbia, TN 38401
(931) 489-2088



VICINITY MAP
N.T.S.

Sheet Schedule

- C-0.0 Cover Sheet
- C-1.0 Demolition Plan
- C-2.0 Initial Erosion Control Plan
- C-2.1 Construction Facilities Plan
- C-3.0 Site Plan
- C-4.0 Signage Plan
- C-5.0 Temporary Erosion Control Plan
- C-6.0 Grading Plan
- C-7.0 Permanent Erosion Control Plan
- C-8.0 Utility Plan
- C-9.0 Detail Sheet
- DT-1.0 Drive Thru Layout Sheet
- SD-2 Detail Sheet
- SD-3 Detail Sheet
- SD-4 Detail Sheet
- SD-6 Detail Sheet
- LS-1 Landscape Plan
- S1.1 Sign Foundations
- S2.1 Sign Foundations
- S2.2 Sign Foundations
- S2.3 Sign Foundations
- S2.4 Sign Foundations

NOTE:

TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:

BOUNDARY: O'Leary and Associates, LLC.
2558 Nashville Highway
Columbia, TN 38401
931-489-2088

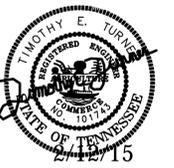
TOPOGRAPHY: O'Leary and Associates, LLC.
2558 Nashville Highway
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931-489-2088

TSQUARE ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR ITS ACCURACY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM POTENTIAL SURVEY INACCURACIES.

THIS PROPERTY IS LOCATED WITHIN AN UNSHADED SPECIAL FLOOD HAZARD AREA ZONE X AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47165C0426G, DATED APRIL 17, 2012.

 **TSQUARE ENGINEERING**
Consulting Civil Engineering
7101 Sharondale Court, Suite 200, Brentwood, TN 37027
tim@t2-eng.com

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TYPE OF BUILDING : EXISTING BUILDING				
PAVING SPECIFICATION -----				
NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE, IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.				
LOT LIGHTING RECOMMENDATION				
PARKING INFORMATION				
TOTAL SPACES	TWENTY-ONE	SPACES	9'-3" X 19'-0"	75 *
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SURVEY INFORMATION				
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TELEPHONE:	(931) 489-2088	DATE:	-	
FAX:	(931) 489-2089	REV:	-	
LEGEND				
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STREET ADDRESS 990 GREENSBORO DRIVE				
CITY	STATE		STATUS	DATE
GALLATIN	TENNESSEE		PRELIMINARY	01-20-15
COUNTY	CONTRACTOR		PLAN CHECKED	
SUMNER	OWNER		AS-BUILT	
REGIONAL DWG. NO	LOCATION CODE NUMBER		COVER SHEET	
27062	041-0751		C 0.0	

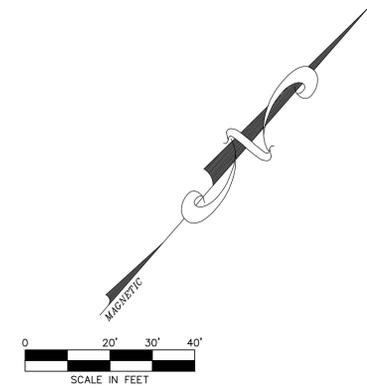
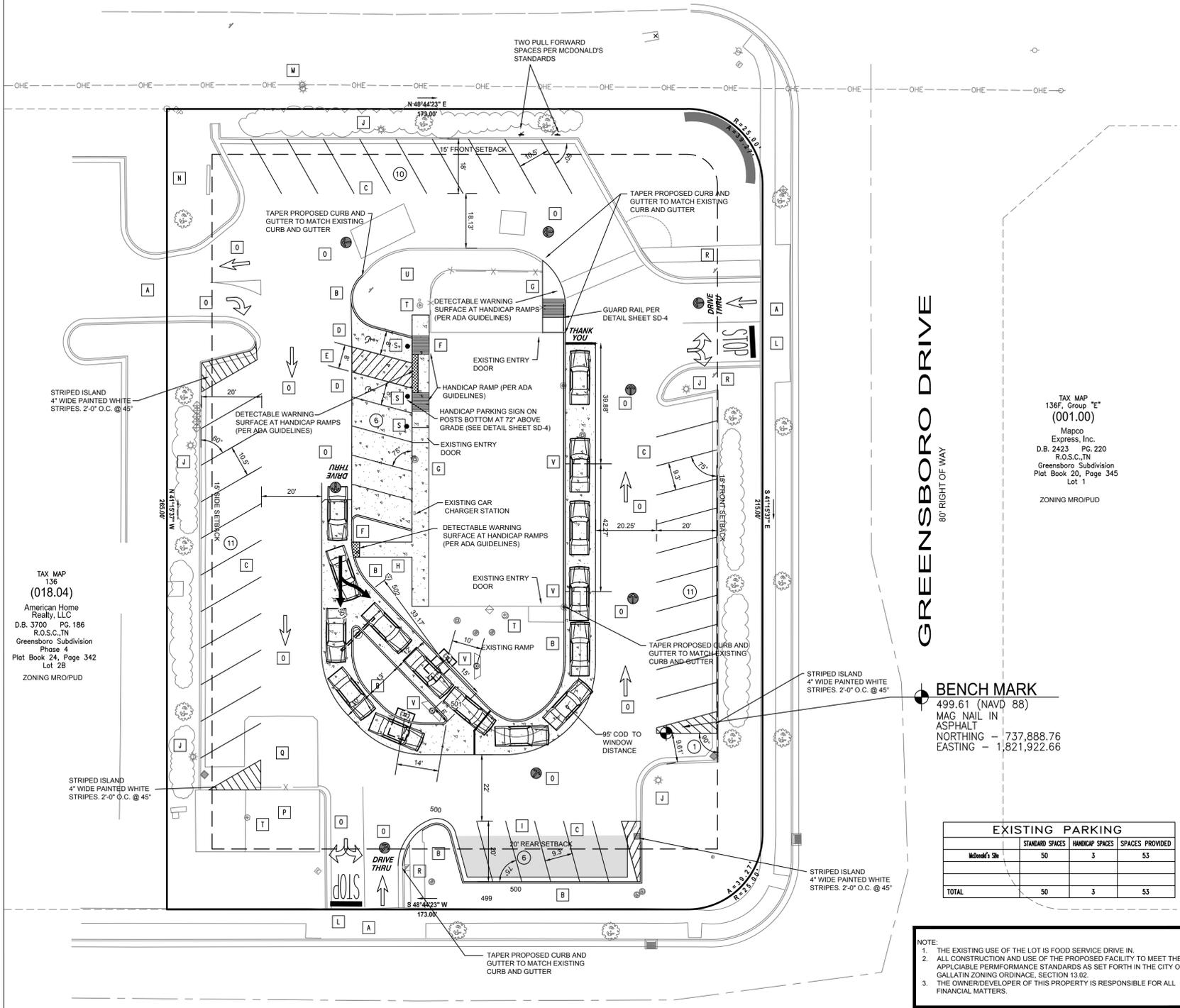


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ADDRESS: 250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260

TAX MAP
136
(005.00)
Sumner
County
D.B. 282 PG. 187
R.O.S.C., TN
ZONING R20

NASHVILLE PIKE (US 31)



SITE PLAN LEGEND

- A EXISTING ACCESS DRIVE
- B 6"x18" STANDARD CURB PER MCDONALD'S SPECIFICATIONS
- C 9'-3"x20' 75' 10'-6"x20' 60' AND 9'-0"x20' 90' STANDARD PARKING SPACE MARKED WITH 4" WIDE WHITE PAINT STRIP. MEASURED CENTER OF STRIPE TO CENTER OF STRIPE
- D 8'x20' 75' ACCESSIBLE PARKING SPACE WITH BLUE PAINTED GRAPHIC & SIGN AND 4" BLUE PAINT STRIPE. MEASURED CENTER OF STRIPE TO CENTER OF STRIPE
- E 8'x20' 75' ACCESSIBLE AISLE MARKED WITH 4" BLUE PAINT STRIPE. MEASURED CENTER OF STRIPE TO CENTER OF STRIPE.
- F SIDEWALK RAMP WITH NON-SLIP SURFACE (12:1 MAX SLOPE) PER ADA STANDARDS
- G 4" THICK FIBER REINFORCED CONCRETE SIDEWALK WITH MONOLITHIC CURB
- H 4" THICK FIBER REINFORCED CONCRETE SIDEWALK
- I BITUMINOUS PAVEMENT
165#/SYD (1 1/2") BITUMINOUS SURFACE (#12) OVER
275#/SYD (2 1/2") BITUMINOUS BASE (#8) OVER
6" COMPACTED AGGREGATE BASE (#53)
- J EXISTING SITE LIGHTING
- K NOT USED
- L 12" WIDE x 10' LONG WHITE PAINTED STOP BAR
- M EXISTING POLE MOUNTED TRANSFORMER
- N EXISTING MCDONALD'S ROAD SIGN
- O PAVEMENT MARKINGS PER MCDONALD'S STANDARDS
- P EXISTING TRASH CORRAL
- Q EXISTING CONCRETE TRASH CORRAL PAD
- R EXISTING DIRECTIONAL SIGN
- S PIPE BOLLARD
- T HOSE BIBB
- U EXISTING FLAG POLE
- V CONCRETE 10'-0" WIDE x 5" THICK 3,000 PSI WITH INTERGRAL LOOP DETECTOR AT CUSTOMER ORDER DISPLAY. SEE ELECTRICAL PLANS FOR DETECTOR SPECIFICATIONS.

SEE SHEET DT-1.0 FOR DRIVE THRU CONFIGURATION AND LAYOUT

NOTE:
MCDONALD'S SITE IS ZONED MRO/PUD

GREENSBORO DRIVE
80' RIGHT OF WAY

BENCH MARK
499.61 (NAVD 88)
MAG NAIL IN ASPHALT
NORTHING - 737,888.76
EASTING - 1,821,922.66

EXISTING PARKING			
	STANDARD SPACES	HANDICAP SPACES	SPACES PROVIDED
McDonald's Site	50	3	53
TOTAL	50	3	53

PARKING RATIO (BASED ON SQFT)				
	BUILDING SQ.FT.	SPACES REQ'D	SPACES PROVIDED	REQUIRED RATIO
McDonald's Customer Service Area	3,564	18	43	1 SPACE/200 SF
McDonald's Handicap Parking		1	2	IF BUILDING
TOTAL		19	45	

ACCESSIBLE PARKING		
VAN PARKING	1 REQUIRED	1 PROVIDED
ACCESSIBLE PARKING	1 REQUIRED	1 PROVIDED
TOTAL	2 REQUIRED	2 PROVIDED

FLOOR AREA RATIO			
	BUILDING SQ.FT.	AREA (ACRES)	RATIO
BASE BUILDING	3,564	1.17	0.071

NOTE:
1. THE EXISTING USE OF THE LOT IS FOOD SERVICE DRIVE IN.
2. ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
3. THE OWNER/DEVELOPER OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.

GENERAL NOTES:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PATIOS, RAMPS, SLOPED PAVING, AND BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

TAX MAP
136
(018.04)
American Home
Realty, LLC
D.B. 3700 PG. 186
R.O.S.C., TN
Greensboro Subdivision
Phase 4
Plat Book 24, Page 342
Lot 2B
ZONING MRO/PUD

TAX MAP
136
(018.00)
Greensboro
I, L.P.
D.B. 2300 PG. 423
R.O.S.C., TN
Greensboro Subdivision
Plat Book 26, Page 146
Lot 2 and 4
ZONING MRO/PUD

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TYPE OF BUILDING :
EXISTING BUILDING

PAVING SPECIFICATION

LOT LIGHTING RECOMMENDATION

PARKING INFORMATION

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ELECTRIC	-	OVERHEAD	ALONG HIGHWAY 31E
GAS	-	-	ALONG HIGHWAY 31E

SURVEY INFORMATION

PREPARED BY: OLEARY AND ASSOCIATES
2558 NASHVILLE HIGHWAY
COLUMBIA, TENNESSEE 38401

TELEPHONE: (931) 489-2088 DATE: -
FAX: (931) 489-2089 REV: -

LEGEND

-SAN- SAN- SAN- SAN-	G- GAS- G- G-
-W- W- W- W-	-UGT- UGT- UGT- UGT-
-STORM SEWER	LOT LIGHT
-ELECTRIC	EXISTING ELEVATION 76.5
-UGE- UGE- UGE- UGE-	PROPOSED ELEVATION 77.0

PLAN SCALE: 1" = 20'

STREET ADDRESS
990 GREENSBORO DRIVE

CITY	STATE	STATUS	DATE	BY
GALLATIN	TENNESSEE	PRELIMINARY	01-20-15	KAC
COUNTY SUMNER		PLAN CHECKED		
REGIONAL DWG. NO 27062		AS-BUILT		
LOCATION CODE NUMBER 041-0751		SITE PLAN C 3.0		

McDonald's USA, LLC

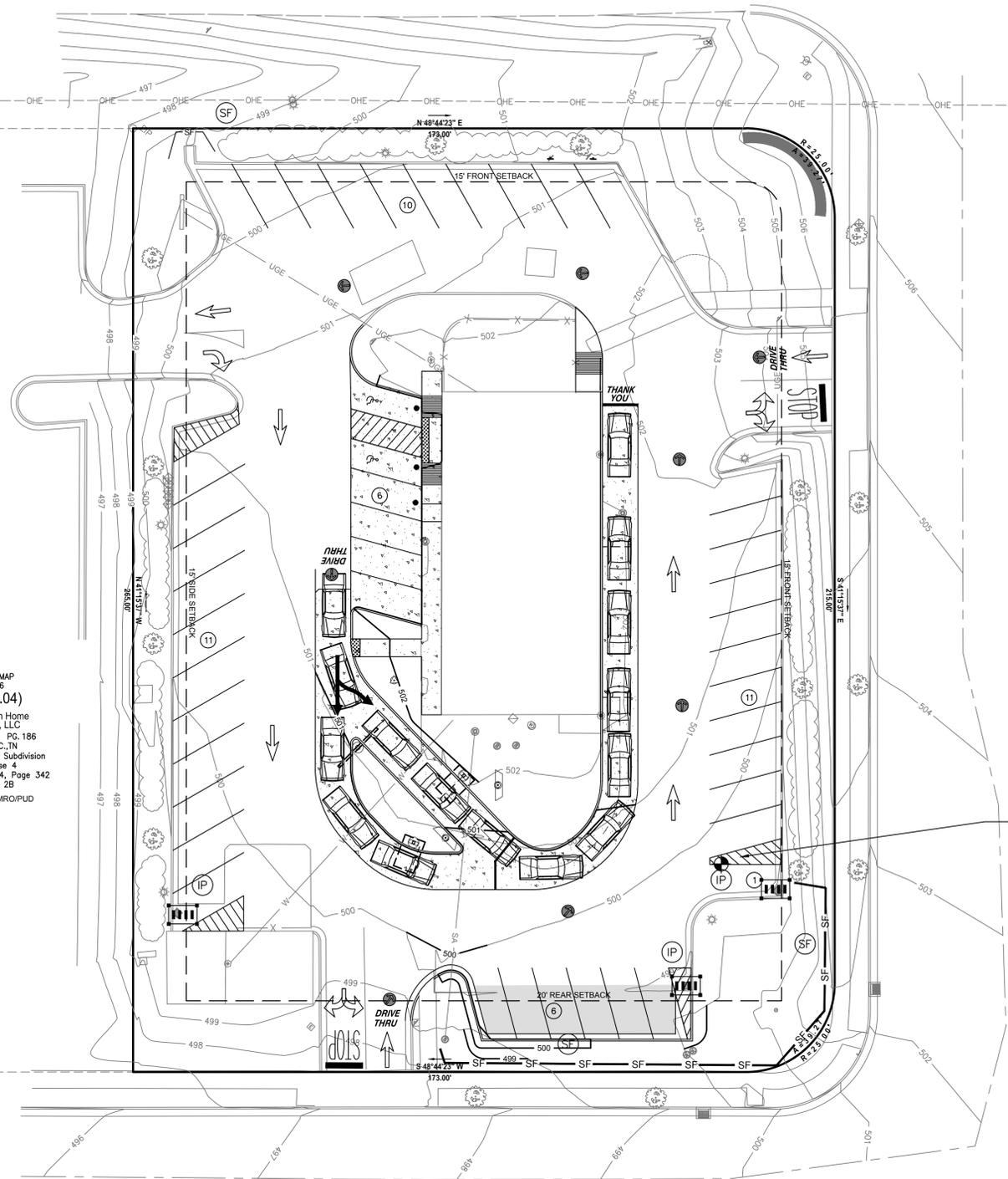
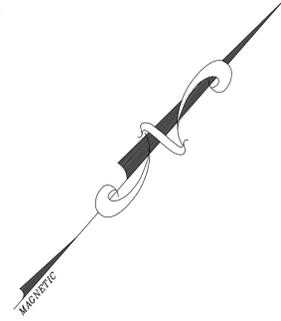
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ADDRESS: 250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260

TSQUARE ENGINEERING
Consulting Civil Engineering
7101 Sharondale Court, Suite 200, Brentwood, TN 37027
tim@t2-eng.com

TAX MAP
136
(005.00)
Sumner
County
D.B. 282 PG. 187
R.O.S.C., TN
ZONING R20

NASHVILLE PIKE (US 31)



GREENSBORO DRIVE
80' RIGHT OF WAY

TAX MAP
136F Group "E"
(001.00)
Mapco
Express, Inc.
D.B. 2423 PG. 220
R.O.S.C., TN
Greensboro Subdivision
Plot Book 20, Page 345
Lot 1
ZONING MRO/PUD

BENCH MARK
499.61 (NAVD 88)
MAG NAIL IN
ASPHALT
NORTHING - 737,888.76
EASTING - 1,821,922.66

GENERAL EROSION NOTES

- A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF TENNESSEE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- B. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- C. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- D. DUST CONTROL ON THE SITE SHALL BE MINIMIZED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- E. NO RUBBISH, TRASH, GARBAGE, OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- F. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- G. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- H. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- I. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- J. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- K. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.

MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST TWICE EVERY SEVEN CALENDAR DAYS AT LEAST 72 HOURS APART. IT SHALL ALSO BE INSPECTED WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING WITHIN 7 CALENDAR DAYS:

- 1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEEDED AS NEEDED.
- 2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.

LEGEND

CE	CONSTRUCTION ENTRANCE	
SF	SILT FENCE	
IP	INLET PROTECTION	
MA	EROSION CONTROL MATTING TENSAR NORTH AMERICAN GREEN V-MAX SC230 PERMANENT TREATMENT FOR SLOPES AND 34ONET C125 LONG TERM PHOTODEGRADABLE DOUBLE NET COCONUT BLANKET FOR DRAINAGE SWALE BOTTOM	
OP	OUTLET PROTECTION	
PS	PERMANENT SEEDING TURF TYPE FESCUE SOWN AT A RATE OF 8 LBS/1,000 SF AND 2 LBS PERENNIAL RYGRASS/1,000 SF	
FR	FILTER RING	

GENERAL NOTES		ISSUE REF																								
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<p>SURVEY INFORMATION</p> <p>PREPARED BY: OLEARY AND ASSOCIATES 2558 NASHVILLE HIGHWAY COLUMBIA, TENNESSEE 38401</p> <p>TELEPHONE: (931) 489-2088 DATE: - FAX: (931) 489-2089 REV: -</p>																										
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REGIONAL MGR.	CONSTR. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

TAX MAP
136
(018.04)
American Home
Realty, LLC
D.B. 3700 PG. 186
R.O.S.C., TN
Greensboro Subdivision
Phase 4
Plot Book 24, Page 342
Lot 2B
ZONING MRO/PUD

TAX MAP 136F GROUP E PARCEL 002.00

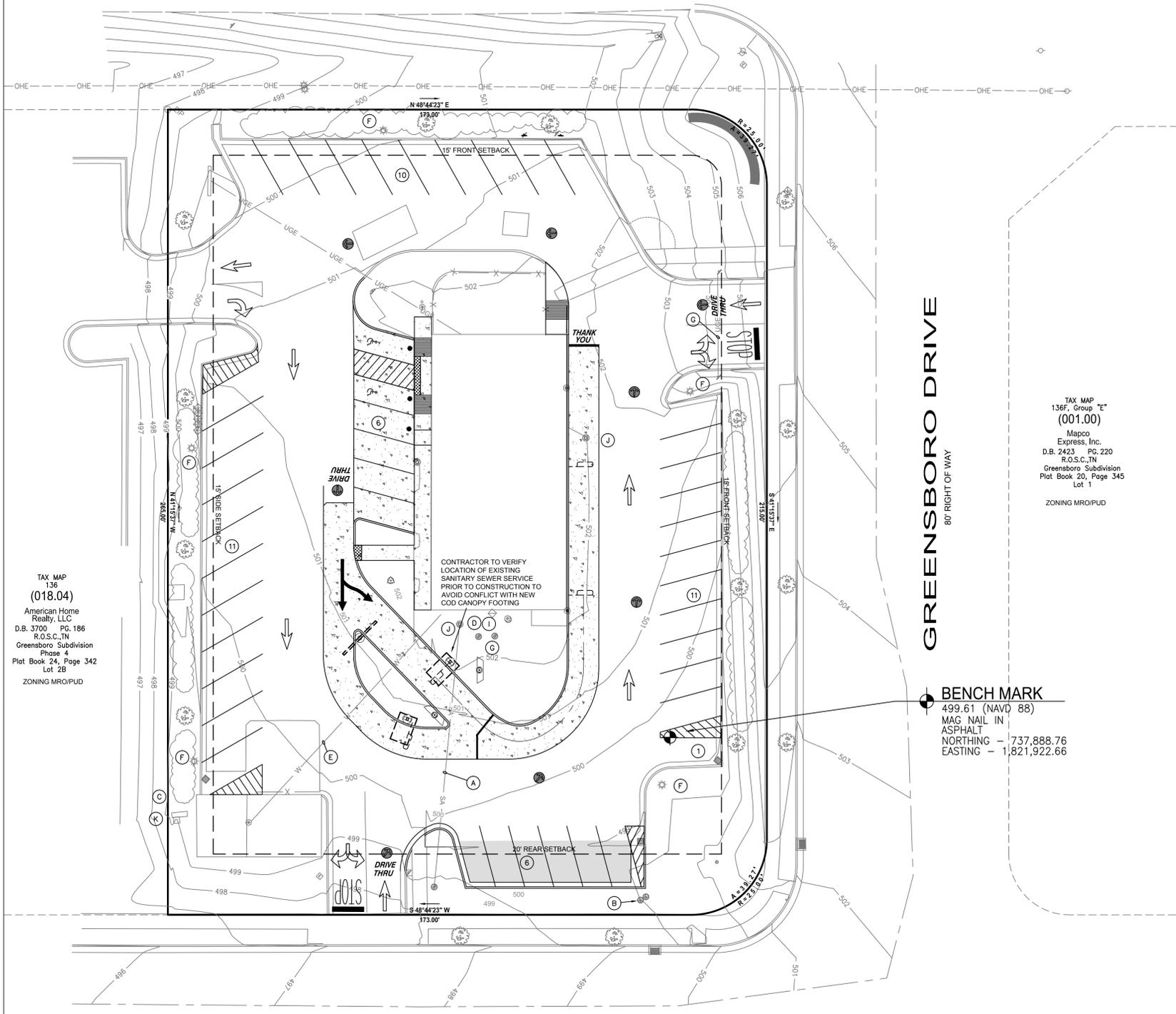
TAX MAP
136
(018.00)
Greensboro
I, L.P.
D.B. 2300 PG. 423
R.O.S.C., TN
Greensboro Subdivision
Plot Book 26, Page 146
Lot 2 and 4
ZONING MRO/PUD

THIS PROPERTY IS LOCATED WITHIN AN UNSHADED SPECIAL FLOOD HAZARD AREA ZONE X AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47165C0426G, DATED APRIL 17, 2012.

T² TSQUARE ENGINEERING
Consulting Civil Engineering
7101 Sharondale Court, Suite 200, Brentwood, TN 37027
tim@t2-eng.com

TAX MAP
136
(005.00)
Sumner
County
D.B. 282 PG. 187
R.O.S.C., TN
ZONING R20

NASHVILLE PIKE (US 31)



TAX MAP
136
(018.04)
American Home
Realty, LLC
D.B. 3700 PG. 186
R.O.S.C., TN
Greensboro Subdivision
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TAX MAP 136F GROUP E PARCEL 002.00

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GREENSBORO DRIVE
80' RIGHT OF WAY

BENCH MARK
499.61 (NAVD 88)
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(001.00)
Mapco
Express, Inc.
D.B. 2423 PG. 220
R.O.S.C., TN
Greensboro Subdivision
Plat Book 20, Page 345
Lot 1
ZONING MRO/PUD

GENERAL UTILITY NOTES:

ALL WATER LINES SHALL BE DUCTILE IRON PIPES CLASS 52 WITH 30" MINIMUM COVER. VALVES, CONNECTIONS AND RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH NFPA STANDARDS, STATE OF TENNESSEE PLUMBING CODE, AS WELL AS THE CONSOLIDATED UTILITY DISTRICT STANDARD SPECIFICATIONS AND INSTALLED WITH REQUIRED BEDDING AND THRUST BLOCKING PER DETAILS. WATER LINE DISCONNECTION REQUIRES A LICENSED TENNESSEE PLUMBER.

ALL SANITARY SEWER LINES SHALL BE SCH-40 PVC WITH 30" MINIMUM COVER AND INSTALLED WITH REQUIRED BEDDING PER DETAIL.

ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES. CONTRACTOR ALSO SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.

CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY UTILITIES, THE CONTRACTOR SHALL EXCAVATE AND VERIFY ALL UTILITY CROSSINGS, AND INFORM THE OWNER'S REPRESENTATIVE OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.

UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOMEOWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE BUILDER AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THIS REQUIREMENT.

UTILITY LEGEND	
A.	EXISTING SANITARY SEWER SERVICE
B.	EXISTING WATER SERVICE (CONTRACTOR TO VERIFY IF SERVICE IS ADEQUATE) (LOCATION UNKNOWN)
C.	EXISTING UNDERGROUND ELECTRICAL SERVICE (LOCATION UNKNOWN)
D.	EXISTING GAS SERVICE (LOCATION UNKNOWN)
E.	EXISTING WATER TO REFUSE AREA WITH FROST PROOF HOSE BIBB (WATER LINE LOCATION UNKNOWN)
F.	EXISTING SITE LIGHTING
G.	EXISTING GREASE INCEPTOR
H.	EXISTING PAD MOUNTED TRANSFORMER, UNDERGROUND SECONDARY SERVICE
I.	EXISTING GAS METER
J.	EXISTING SANITARY SEWER CLEAN-OUT
K.	EXISTING UNDERGROUND TELEPHONE SERVICE (LOCATION UNKNOWN)

UTILITY PROVIDERS	
SEWER:	GALLATIN PUBLIC UTILITIES 239 HANCOCK STREET GALLATIN, TN 37066 615-451-8922
WATER:	GALLATIN PUBLIC UTILITIES 239 HANCOCK STREET GALLATIN, TN 37066 615-451-8922
ELECTRIC:	GALLATIN DEPARTMENT OF ELECTRICITY 135 JONES STREET GALLATIN, TN 37066 615-452-5152
GAS:	GALLATIN PUBLIC UTILITIES 239 HANCOCK STREET GALLATIN, TN 37066 615-451-8922

GENERAL NOTES		ISSUE REF
1.	MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.	
2.	BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.	
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12.	ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.	

REV	DATE	DESCRIPTION
1		

TYPE OF BUILDING :
EXISTING BUILDING

PAVING SPECIFICATION

NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

PARKING INFORMATION

TOTAL SPACES	SPACES	SIZE	TYPE	LOCATION
45	TWENTY-ONE	9'-3" X 19'-0"	75'	AT REAR OF SITE
	TWENTY-ONE	10'-6" X 20'-0"	60'	AT REAR OF SITE
	TWO (H)	8'-0" X 20'-0"	75'	ON SITE
	SPACES	9'-0" X 18'-0"	60'	ALONG HIGHWAY 31E

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	8"	GRAVITY	AT REAR OF SITE
WATER	8"	---	AT REAR OF SITE
STORM SEWER	15"	GRAVITY	ON SITE
ELECTRIC	---	OVERHEAD	ALONG HIGHWAY 31E
GAS	---	---	ALONG HIGHWAY 31E

SURVEY INFORMATION

PREPARED BY: OLEARY AND ASSOCIATES
2558 NASHVILLE HIGHWAY
COLUMBIA, TENNESSEE 38401

TELEPHONE: (931) 489-2088 DATE: --
FAX: (931) 489-2089 REV: --

LEGEND

-SAN-	SANITARY SEWER	-G-	GAS
-W-	WATER	-G-	TELEPHONE
-W-	STORM SEWER	-UGT-	UGT
-E-	ELECTRIC	-LOT LIGHT-	LOT LIGHT
-UG-	PROPOSED ELEVATION	-ELEVATION-	EXISTING ELEVATION
-UG-	PROPOSED ELEVATION	-ELEVATION-	PROPOSED ELEVATION

PLAN SCALE: 1" = 20'

STREET ADDRESS
990 GREENSBORO DRIVE

CITY: GALLATIN STATE: TENNESSEE

COUNTY: SUMNER

REGIONAL DWG. NO: 27062 LOCATION CODE NUMBER: 041-0751

REGIONAL MGR.	DATE	BY

STATUS	DATE	BY
PRELIMINARY	01-20-15	KAC

PLANNING	DATE	BY
PLANNING		

OPERATIONS	DATE	BY
OPERATIONS		

CONTRACTOR	DATE	BY
CONTRACTOR		

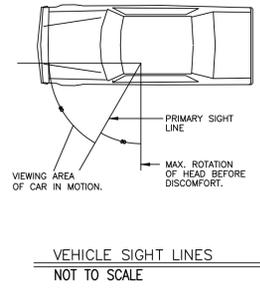
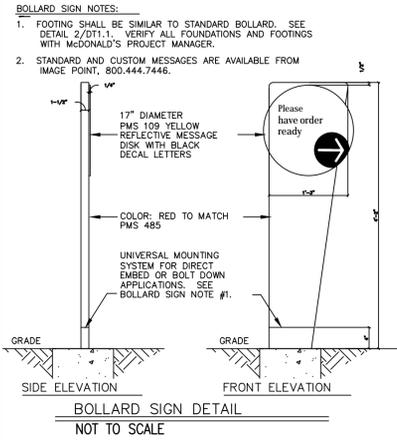
UTILITY PLAN
C 8.0

T² TSQUARE ENGINEERING
Consulting Civil Engineering
7101 Sharondale Court, Suite 200, Brentwood, TN 37027
tim@t2-eng.com



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ADDRESS: 250 W. 99th STREET, SUITE 500, INDIANAPOLIS, IN 46260



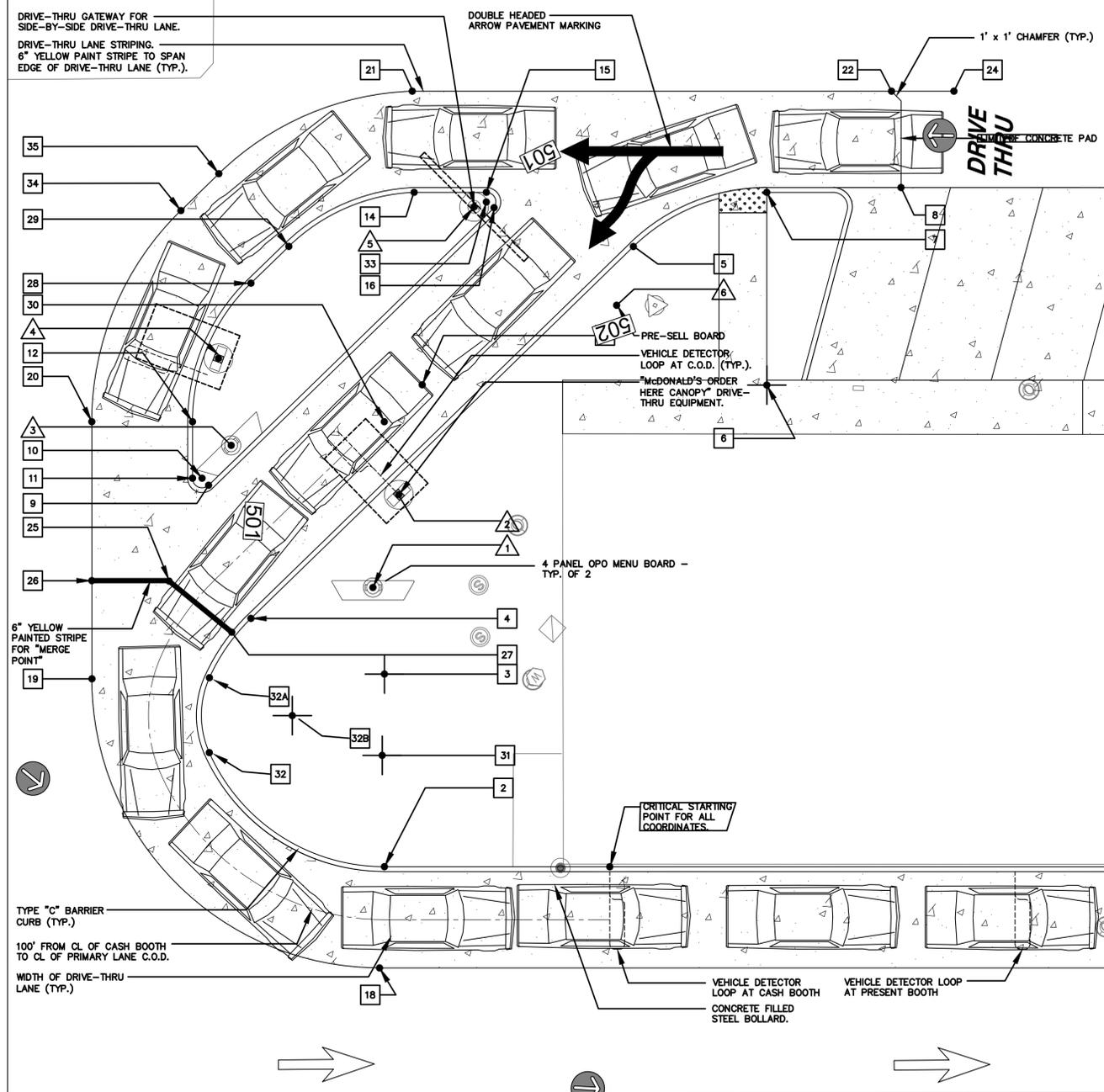
GENERAL NOTES:

- THE LOCATION AND ORIENTATION OF MENU BOARDS AND PRE-SELLS WERE DETERMINED BY THE SIGHT LINES OF THE CARS SHOWN. THE CARS WERE POSITIONED ACCORDING TO THE MAX. AMOUNT OF CARS DURING A PEAK PERIOD. ALL DIMENSIONS SHOWN ARE BASED UPON PROTOTYPICAL LAYOUTS SHOWN. ACTUAL DIMENSIONS TO BE BASED ON SITE SPECIFIC CONFIGURATIONS AND THE REQUIREMENTS OF NOTE 2.
- MENU BOARD IS ORIENTATED FOR VIEWING BY CAR 6 (PRIMARY USER) AND CAR 7 (SECONDARY USER).
- NOT USED
- NOT USED
- NOT USED
- PROVIDE TWO CIRCUITS FOR MENU BOARDS. ONE CIRCUIT FOR LIGHTS AND ONE CIRCUIT WITH LOCK FOR MOTOR AND AND CONTROLLER. REFER TO SHEET E1 FOR TERMINATION OF CONDUIT RUNS INSIDE BUILDING. MERCHANDISER TO HAVE ONE CIRCUIT FOR LIGHTS.
- ALL GALVANIZED ANCHOR BOLTS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.

NOTE: THIS SHEET IS FOR CUSTOMER ORDER DISPLAY AND / OR SPEAKER POST INSTALLATIONS ONLY. THESE DETAILS ARE NOT FOR USE WITH THE FACE TO FACE DRIVE THRU OPERATING SYSTEM. VERIFY THE INSTALLATION OF CUSTOMER ORDER DISPLAY AND / OR SPEAKER POST WITH THE PROJECT MANAGER.

NOTES:

- THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL AND CONSIDERED "RED". ONCE APPROVED, NO CHANGES ARE TO BE MADE AFTER THIS POINT.
- DUE TO THE EXACT GEOMETRY REQUIRED FOR THE EFFICIENT OPERATION OF THIS DRIVE-THRU LAYOUT, IT IS REQUIRED THAT ALL DRIVE-THRU LAYOUTS AND IMPROVEMENTS TO BE FIELD LOCATED BY A LICENSED SURVEYOR.
- THE PLACEMENT OF THE CODS AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
- THIS SIDE BY SIDE DRIVE-THRU STANDARD D IS BASED ON THE PROTOTYPICAL MCDONALD'S 4067 BUILDING.
- ALL DRIVE THRU EQUIPMENT SUPPLIED BY MCDONALD'S APPROVED SUPPLIERS.

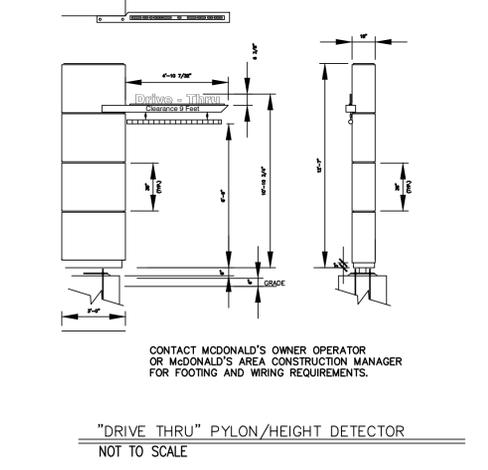
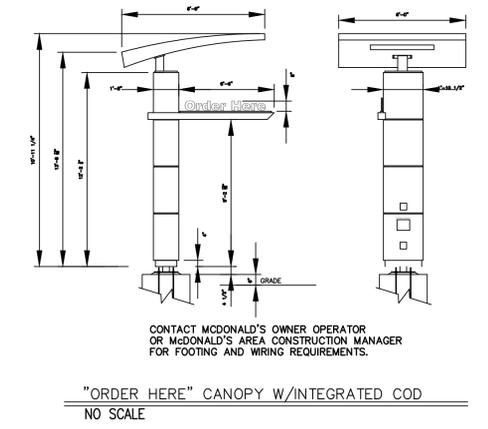


COORDINATES

PAVEMENT	X	Y	DESCRIPTION
1	-82.48'	-0.50'	TO EDGE OF EXISTING CONCRETE AT FACE OF CURB
2	23.50'	0.00'	TO BACK OF CURB AT START OF RADIUS
3	23.50'	20.00'	TO CENTER OF RADIUS
4	37.41'	25.77'	TO BACK OF CURB AT END OF RADIUS
5	-2.48'	64.38'	TO BACK OF CURB AT START OF RADIUS
6	-16.38'	50.00'	TO CENTER OF RADIUS
7	-16.38'	70.00'	TO BACK OF CURB AT END OF RADIUS
8	-30.39'	70.50'	TO FACE OF CURB AT EDGE OF CONCRETE
9	41.83'	39.59'	TO BACK OF CURB AT START OF RADIUS
10	42.50'	40.32'	TO CENTER OF RADIUS
11	43.50'	40.32'	TO BACK OF CURB AT END OF RADIUS
12	43.50'	46.19'	TO BACK OF CURB AT START OF RADIUS
13	19.55'	50.02'	TO CENTER OF RADIUS
14	20.38'	70.00'	TO BACK OF CURB AT END OF RADIUS
15	12.86'	70.00'	TO BACK OF CURB AT START OF RADIUS
16	12.06'	68.40'	TO BACK OF CURB AT END OF RADIUS
17	-82.48'	-9.50'	TO EDGE OF CONCRETE
18	23.99'	-10.50'	TO EDGE OF CONCRETE AT START OF RADIUS
19	53.99'	19.50'	TO EDGE OF CONCRETE AT END OF RADIUS
20	53.99'	46.18'	TO EDGE OF CONCRETE AT START OF RADIUS
21	20.57'	80.50'	TO EDGE OF CONCRETE AT END OF RADIUS
22	-29.14'	80.50'	TO EDGE OF CONCRETE
23	-87.48'	-10.50'	TO END OF STRIPE
24	-35.93'	80.50'	TO END OF STRIPE
25	45.99'	29.69'	TO MERGE POINT STRIPING
26	53.99'	29.69'	TO MERGE POINT STRIPING
27	39.40'	24.33'	TO MERGE POINT STRIPING
28	37.41'	60.50'	TO BACK OF CURB END OF RADIUS
29	39.46'	64.39'	TO BACK OF CURB START OF RADIUS
30	23.50'	46.19'	TO CENTER OF RADIUS
31	23.50'	11.40'	TO CENTER OF RADIUS
32	41.75'	11.83'	TO CENTER OF RADIUS
32A	41.75'	19.61'	TO END/START RADIUS
32B	33.09'	15.69'	TO END/START RADIUS
33	12.86'	69.00'	TO CENTER OF RADIUS
34	44.69'	68.10'	TO EDGE OF CONCRETE
35	40.74'	71.93'	TO EDGE OF CONCRETE

EQUIPMENT

DESCRIPTION	X	Y	
1	24.69'	28.98'	TO CENTER OF FOUNDATION OF MENU BOARD 1
2	21.99'	38.61'	TO CENTER OF FOUNDATION OF CANOPY/COD UNIT 1
3	39.48'	43.73'	TO CENTER OF FOUNDATION OF MENU BOARD 2
4	40.80'	52.78'	TO CENTER OF FOUNDATION OF CANOPY/COD UNIT 2
5	14.14'	68.49'	TO CENTER OF FOUNDATION DUAL GATEWAY SIGN
6	-4.73'	58.28'	TO CENTER OF FOUNDATION OF PRE-SELL BOARD



GENERAL NOTES:

- MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR. DIMENSION OF LIGHT POLE BASES BEHIND CURB AT 2'.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE POINT OF SERVICE CONNECTION OF EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. CONSTRUCTION SHALL NOT START UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE UTILITY COMPANY. A MINIMUM OF 48 HOURS IS REQUIRED FOR NOTIFICATION.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
- ALL PHASES OF SITE WORK SHALL MEET OR EXCEED MCDONALD'S SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

TYPE OF BUILDING :
4597 +2' REAR ADDITION 5' FRONT ADDITION

PAVING SPECIFICATION

NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

PARKING INFORMATION

TOTAL SPACES	SPACES	SIZE
45	TWENTY-ONE	SPACES 9'-3" X 19'-0" @ 75'
	TWENTY-ONE	SPACES 10'-6" X 20'-0" @ 60'
	TWO (H)	SPACES 8'-0" X 20'-0" @ 75'
	-----	SPACES 9'-0" X 18'-0" @ 60'

UTILITY INFORMATION

SIZE	TYPE	LOCATION
SANITARY SEWER	8"	GRAVITY NORTHEAST CORNER OF LOT
WATER	24"	---
STORM SEWER	18"	---
ELECTRIC	---	---
GAS	---	---

SURVEY INFORMATION

PREPARED BY: OLEARY AND ASSOCIATES
2558 NASHVILLE HIGHWAY
COLUMBIA, TENNESSEE 38401

TELEPHONE: (931) 489-2088 DATE: --
FAX: (931) 489-2089 REV: --

LEGEND

-SAN-	SANITARY SEWER	-G-	GAS
-W-	WATER	-UGT-	TELEPHONE
-E-	ELECTRIC	-UGT-	UGT
-L-	LOT LIGHT		
-76.5-	EXISTING ELEVATION		
-77.0-	PROPOSED ELEVATION		

PLAN SCALE: 1" = 20'

STREET ADDRESS
MEDICAL CENTER BLVD AND GRESHAMPARK DRIVE

CITY MURFREESBORO **STATE** TENNESSEE

COUNTY RUTHERFORD

REGIONAL DWG. NO. LOCATION CODE NUMBER
041-1139

DRIVE THRU DT 1.0

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ADDRESS 1250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260

TSQUARE ENGINEERING
Consulting Civil Engineering
2558 Nashville Highway * Columbia, TN, 38401 * (931) 489-2088
TIM@TSQUAREENGINEERING.COM

NOTE:
THE PLACEMENT OF THE CODs SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.

DRIVE THRU APPROACH
NOT TO SCALE



PLAN APPROVALS

SIGNATURE (2 REQUIRED)

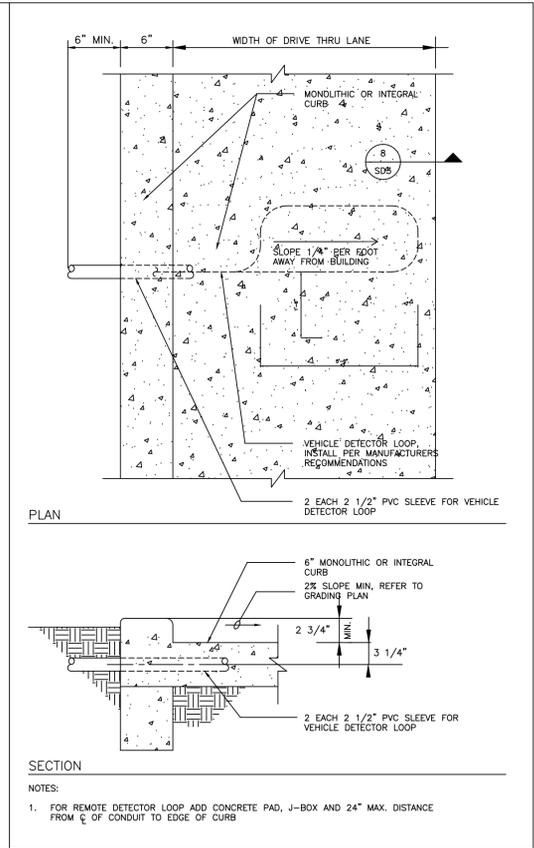
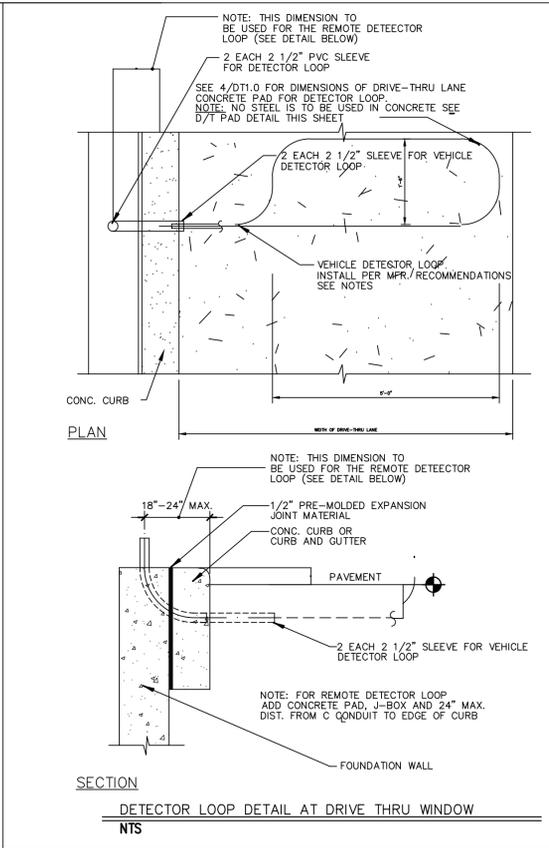
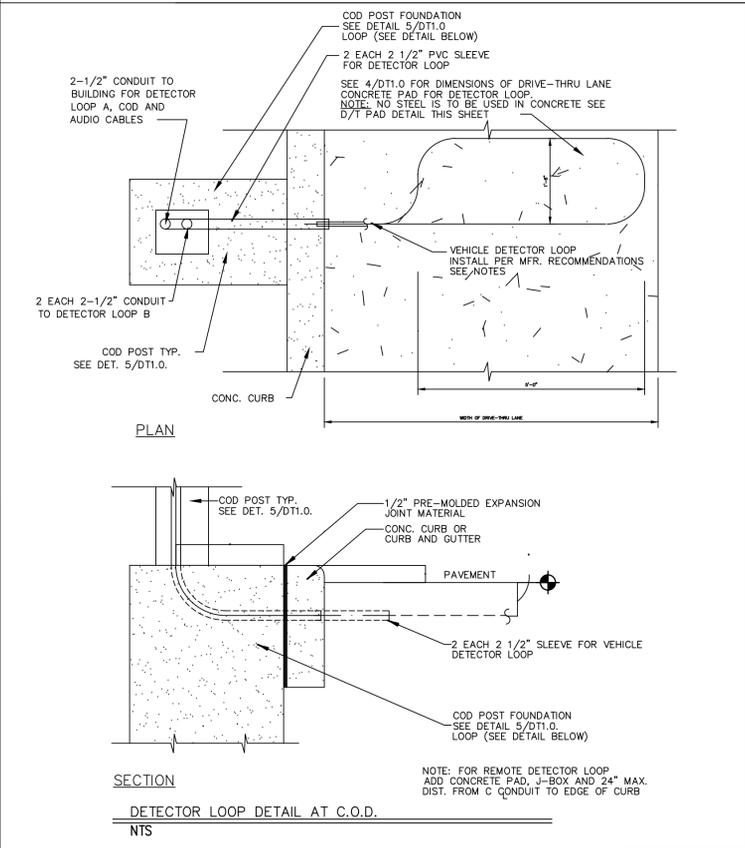
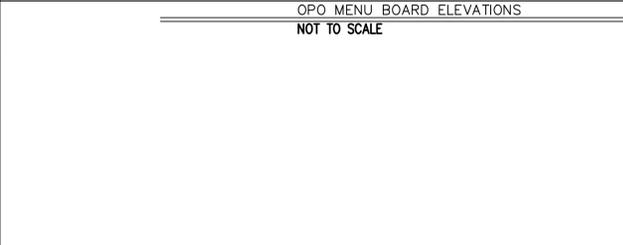
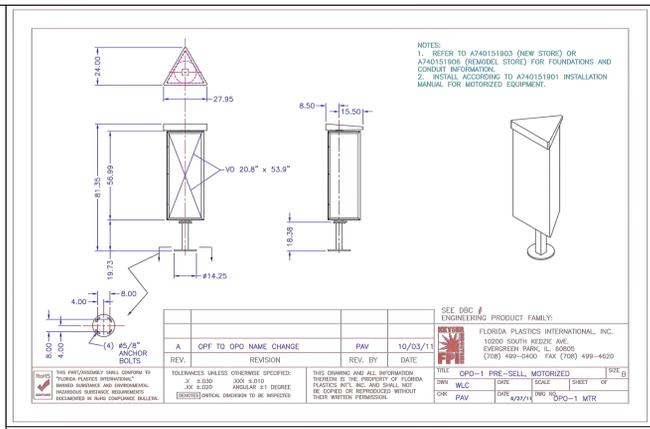
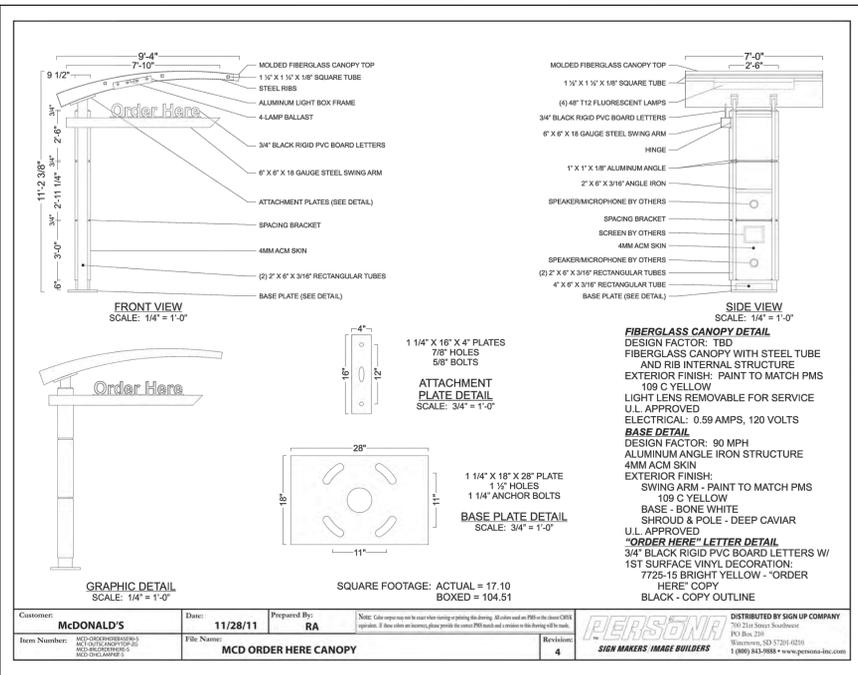
REGIONAL MGR. _____ DATE _____
CONST. MGR. _____
OPERATIONS DEPT. _____
REAL ESTATE DEPT. _____

CO-SIGN SIGNATURES

CONTRACTOR _____
OWNER _____

STATUS PRELIMINARY **DATE** 1-6-12 **BY** TSQUARE

PLAN CHECKED AS-BUILT



GENERAL NOTES

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- ALL PHASES OF SITE WORK SHALL MEET OR EXCEED McDONALD'S SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

TYPE OF BUILDING :
EXISTING BUILDING

PAVING SPECIFICATION

LOT LIGHTING RECOMMENDATION

PARKING INFORMATION

TOTAL SPACES	TWENTY-ONE	SPACES 9'-3" X 19'-0"	75 *
45	TWENTY-ONE	SPACES 10'-6" X 20'-0"	60 *
	TWO (H)	SPACES 8'-0" X 20'-0"	75 *
	-----	SPACES 9'-0" X 18'-0"	60 *

UTILITY INFORMATION

SIZE	TYPE	LOCATION
8"	GRAVITY	AT REAR OF SITE
8"	-	AT REAR OF SITE
15"	GRAVITY	ON SITE
-	OVERHEAD	ALONG HIGHWAY 31E
-	-	ALONG HIGHWAY 31E

SURVEY INFORMATION

PREPARED BY: OLEARY AND ASSOCIATES
2558 NASHVILLE HIGHWAY
COLUMBIA, TENNESSEE 38401

TELEPHONE: (931) 489-2088
FAX: (931) 489-2089

DATE: -
REV: -

LEGEND

-SAN-	SANITARY SEWER	-G-	GAS
-W-	WATER	-T-	TELEPHONE
-W-	STORM SEWER	-UGT-	UTILITY
-E-	ELECTRIC	-UGT-	UTILITY

EXISTING ELEVATION: 76.5
PROPOSED ELEVATION: 77.0

PLAN SCALE: 1" = 20'

STREET ADDRESS
990 GREENSBORO DRIVE

CITY GALLATIN **STATE** TENNESSEE

COUNTY SUMNER

REGIONAL DWG. NO 27062 **LOCATION CODE NUMBER** 041-0751

STATUS PRELIMINARY **DATE** 01-20-15 **BY** KAC

PLAN CHECKED AS-BUILT

REGIONAL DWG. NO 27062 **LOCATION CODE NUMBER** 041-0751

SD-2

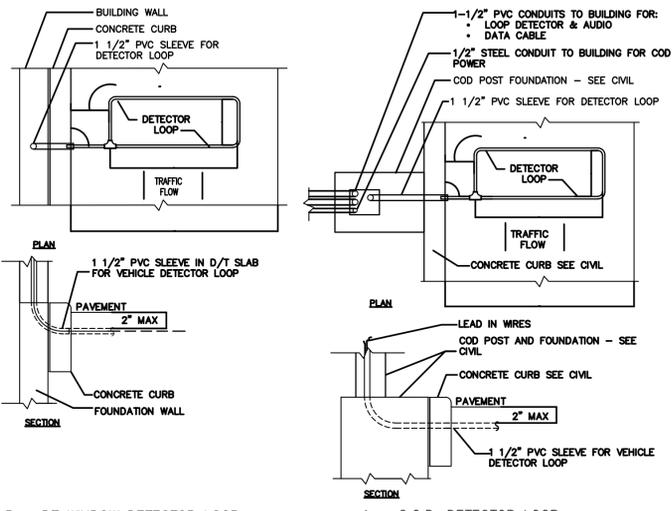
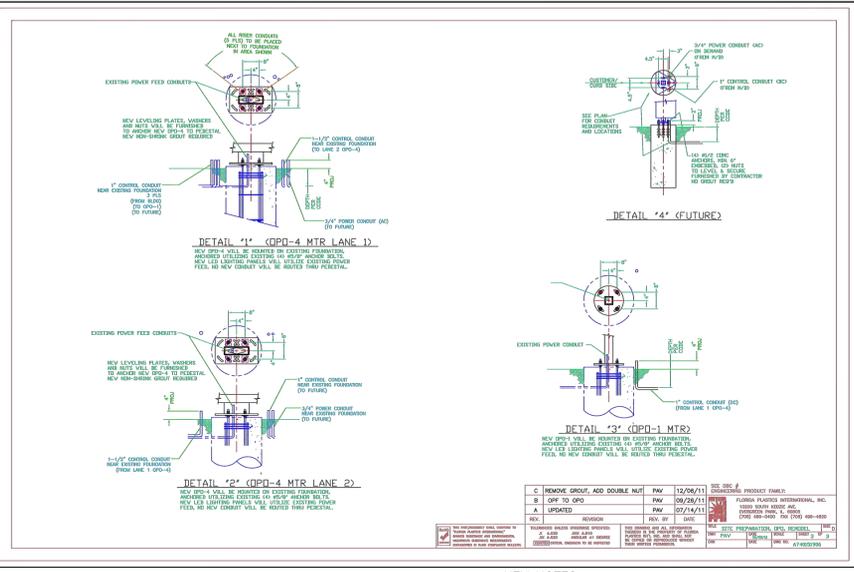
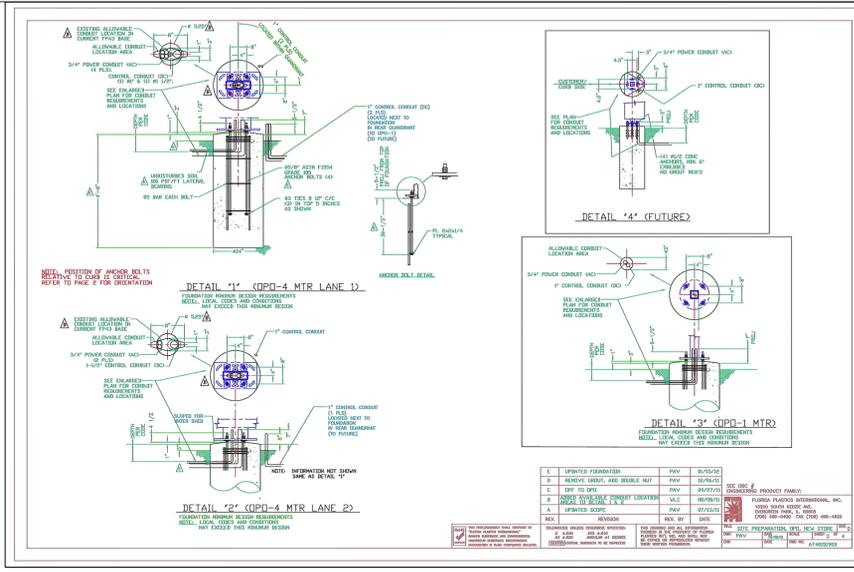
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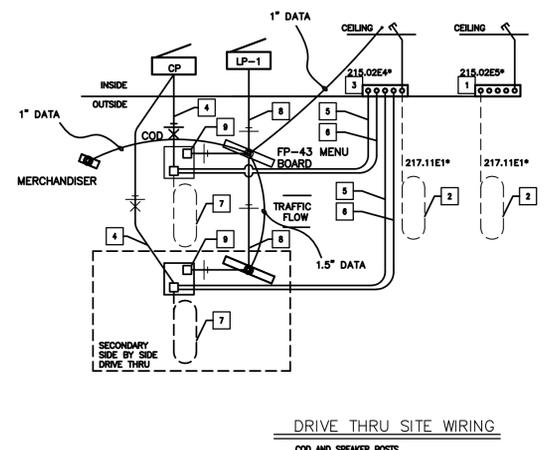
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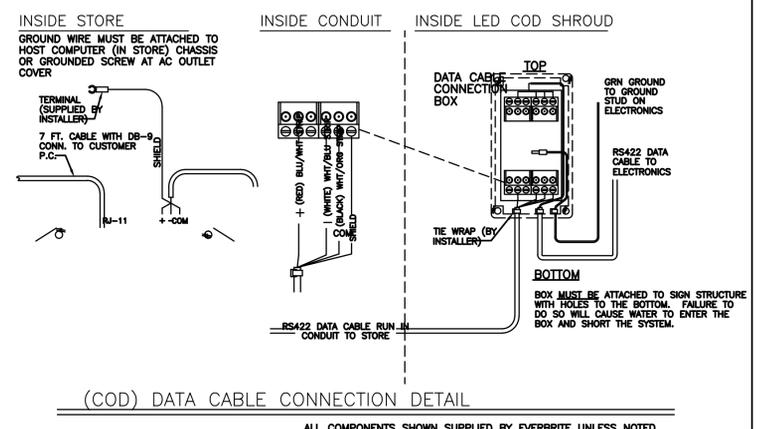




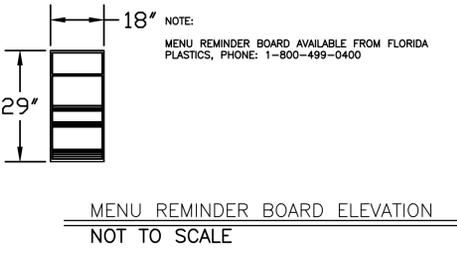
- NOTES**
- VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
 - CENTER VEHICLE DETECTOR LOOP (ITEM # 217.11E1) IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
 - SEE CIVIL FOR DIMENSIONS OF DRIVE-THRU LANE CONCRETE PAD FOR DETECTOR LOOP.
 - NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
 - DETECTOR LOOP MANUFACTURERS: DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWING COMPANIES OR EQUAL.
 3M: 1-800-328-0033
 HME: 1-800-848-4488
 - DETECTOR LOOP MATERIAL: PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
 - DETECTOR LOOP CONSTRUCTION: FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PITGAILED AS DETAILED.



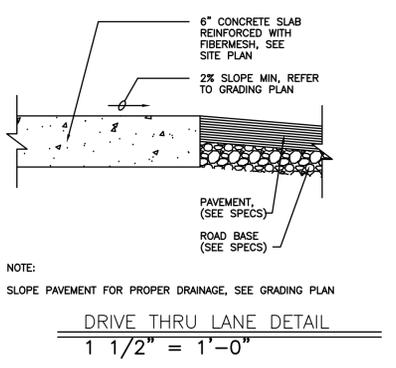
- KEY NOTES**
- ELECTRICAL EQUIPMENT ITEM 215.02E5* IN PRESENTATION BOOTH. PROVIDE 2" HOLE & GROMMET IN JUNCTION BOX COVER PLATE FOR POS DATA CABLES. PROVIDE 2 1/2" ABOVE CEILING.
 - DRIVE-THRU WINDOW DETECTOR LOOP FOR ORDER & PRESENTATION WINDOWS - SEE 3B/DT1.0. GC TO INSTALL PVC SLEEVES TO FACILITATE LOOP INSTALLATION.
 - ELECTRICAL EQUIPMENT ITEM #215.02E4 IN ORDER/CASH BOOTH. PROVIDE 2" HOLE & GROMMET IN JUNCTION BOX COVER PLATE FOR POS DATA CABLES. PROVIDE 2 1/2" ABOVE CEILING.
 - PROVIDE STEEL CONDUIT AND CONDUCTOR PER POS & COD ISOLATED. GROUND/DEDICATED CIRCUIT DETAIL. 3/4"-2#12 & 1#12 GROUND & 1 #12 ISOLATED GROUND. PROVIDE 1 CB PER COD.
 - 1 1/2" PVC CONDUIT FOR REMOTE LOOP DETECTOR & COD AUDIO CABLES. EC TO PROVIDE 3 PULL STRINGS INSIDE CONDUIT.
 - 1 1/2" PVC FOR COD DATA CABLES. EC TO PROVIDE 3 PULL STRINGS INSIDE CONDUIT.
 - CONDUIT FOR COD LOOP DETECTOR. ELECTRICAL EQUIPMENT ITEM 217.11E1* - SEE 3A/DT1.0.
 - 3/4"-2#12, POWER FOR MENU BOARD ILLUMINATION. TWO 120 VOLT CIRCUITS. (1ST CIRCUIT FOR PRIMARY LANE, 2ND FOR SECONDARY LANE COMPONENTS)
 - "ORDER HERE" CANOPY LIGHTS.
 - (1) 120-V "ALWAYS ON" CIRCUIT
- * SEE ELECTRICAL EQUIPMENT SCHEDULE FOR NOTES ON NUMBERED ELECTRICAL EQUIPMENT.



- NOTES:**
- G.C. TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER.
 - GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
 - #12 GREEN GROUNDING CONDUCTOR MUST BE RUN WITH CIRCUIT CONDUCTORS FROM GROUND BUS IN PANEL LP TO ALL MENU BOARDS AND REFERENCE BOARDS.
 - ALL UNDERGROUND CONDUIT FOR AUDIO TO BE P.V.C. NO METAL ALLOWED.
 - DIRECTIONAL SIGN FOOTING DETAIL 2/SD2 TO BE USED FOR ALL ENTER/EXIT/WELCOME SIGNS AND DRIVE THRU DIRECTIONAL SIGNAGE. COORDINATE WITH THE SITE PLANS AND MCDONALD'S PROJECT MANAGER FOR THE EXACT LOCATION, ORIENTATION AND NUMBER OF SIGNS TO BE INSTALLED AT THIS SITE. ALL WORK TO BE COORDINATED WITH THE OTHER TRADES.
 - ALL GALVANIZED ANCHOR BOLTS TO BE SUPPLIED BY THE SIGNAGE DISTRIBUTOR.



- NOTES:**
- G.C. TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER.
 - GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
 - #12 GREEN GROUNDING CONDUCTOR MUST BE RUN WITH CIRCUIT CONDUCTORS FROM GROUND BUS IN PANEL LP TO ALL MENU BOARDS AND REFERENCE BOARDS.
 - ALL UNDERGROUND CONDUIT FOR AUDIO TO BE P.V.C. NO METAL ALLOWED.
 - ELECTRICAL CONTRACTOR IS TO PROVIDE "AS BUILT" PLANS OF ALL SITE WIRING UPON COMPLETION OF PROJECT.



- GENERAL NOTES**
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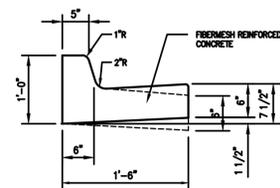
McDonald's USA, LLC

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ADDRESS: 250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260

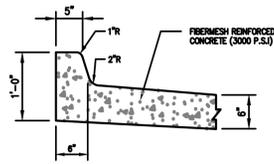
TYPE OF BUILDING :		EXISTING BUILDING		
PAVING SPECIFICATION		-----		
PARKING INFORMATION				
TOTAL SPACES	TWENTY-ONE	SPACES 9'-3" X 19'-0" @ 75 *		
	TWENTY-ONE	SPACES 10'-6" X 20'-0" @ 60 *		
	TWO (H)	SPACES 8'-0" X 20'-0" @ 75 *		
	-----	SPACES 9'-0" X 18'-0" @ 60 *		
UTILITY INFORMATION				
	SIZE	TYPE LOCATION		
SANITARY SEWER	8"	GRAVITY AT REAR OF SITE		
WATER	8"	AT REAR OF SITE		
STORM SEWER	15"	GRAVITY ON SITE		
ELECTRIC	-	OVERHEAD ALONG HIGHWAY 31E		
GAS	-	ALONG HIGHWAY 31E		
SURVEY INFORMATION				
PREPARED BY:	OLEARY AND ASSOCIATES 2558 NASHVILLE HIGHWAY COLUMBIA, TENNESSEE 38401			
TELEPHONE:	(931) 489-2089	DATE: -		
FAX:	(931) 489-2089	REV: -		
LEGEND				
-SAN-	SANITARY SEWER	-G-	GAS	
-SAN-	SANITARY WATER	-UGT-	TELEPHONE	
-W-	WATER	-UGT-	UGT	
-S-	STORM SEWER	-L-	LOT LIGHT	
-E-	ELECTRIC	-E-	EXISTING ELEVATION	
-UG-	UGT	-E-	PROPOSED ELEVATION	
PLAN SCALE: 1" = 20'				
STREET ADDRESS				
990 GREENSBORO DRIVE				
CITY	STATE	STATUS	DATE	BY
GALLATIN	TENNESSEE	PRELIMINARY	01-20-15	KAC
COUNTY		PLAN CHECKED		
SUMNER		AS-BUILT		
REGIONAL DWG. NO	LOCATION CODE NUMBER			
27062	041-0751			
		SD-3		

T2TSQUARE ENGINEERING
 Consulting Civil Engineering
 2558 Nashville Highway * Columbia, TN, 38401 * (931) 489-2088
 TIM@TSQUAREENGINEERING.COM

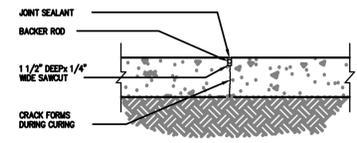


- NOTES:
 1. PROVIDE CONTRACTION JOINTS @ 15' OC & EXPANSION JOINTS @ 75' OC
 2. REFER TO GRADING PLAN FOR SPILL GUTTER

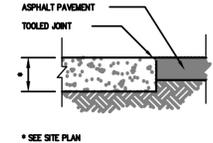
CONCRETE CURB AND GUTTER
 NTS



CONCRETE CURB AND GUTTER
 NTS



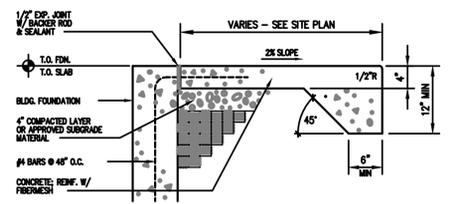
CONTRACTION JOINT
 NTS



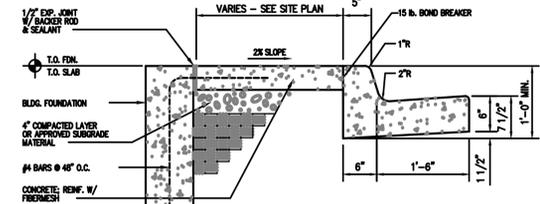
TERMINAL JOINT W/ ASPHALT PAV'T
 NTS



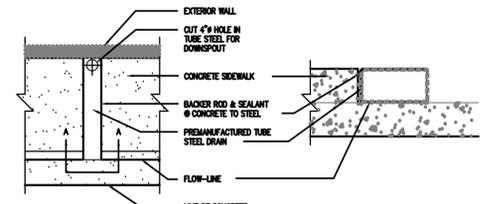
CONSTRUCTION JOINT
 NTS



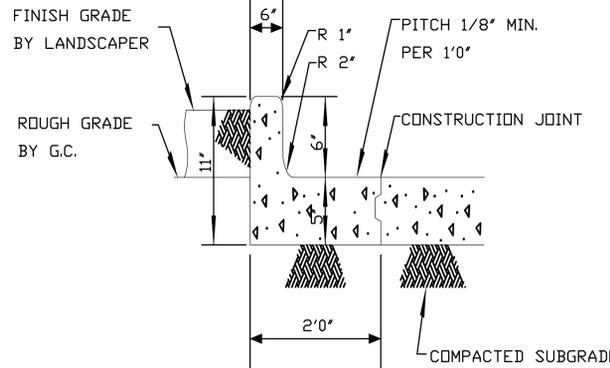
SIDEWALK AT BUILDING
 NTS



CONCRETE BUILDING WALK
 NTS



PLAN VIEW SCALE: 1/4" = 1'-0"
 SECTION A-A SCALE: 1" = 1'-0"
 DOWNSPOUT THROUGH SIDEWALK
 NTS



NOTE: PROVIDE EXPANSION JOINTS @ 15'0" O.C. (MAX)
 INTEGRAL CURB FOR CONCRETE LOTS
 NOT TO SCALE
 .017 C.Y. CONC. PER L.F. FOR 6"x11" UPRIGHT SECTION

GENERAL NOTES

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR. DIMENSION OF LIGHT POLE BASES BEHIND CURB AT 2'.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE POINT OF SERVICE CONNECTION OF EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. CONSTRUCTION SHALL NOT START UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE UTILITY COMPANY. A MINIMUM OF 48 HOURS IS REQUIRED FOR NOTIFICATION.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
- ALL PHASES OF SITE WORK SHALL MEET OR EXCEED McDONALD'S SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

TYPE OF BUILDING :
 EXISTING BUILDING

PAVING SPECIFICATION

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

PARKING INFORMATION

TOTAL SPACES 45	TWENTY-ONE	SPACES 9'-3" X 19'-0" @ 75'
	TWENTY-ONE	SPACES 10'-6" X 20'-0" @ 60'
	TWO (H)	SPACES 8'-0" X 20'-0" @ 75'
	-----	SPACES 9'-0" X 18'-0" @ 60'

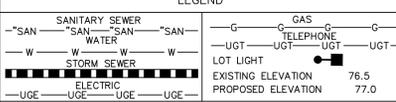
UTILITY INFORMATION

	SIZE	TYPE	LOCATION
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WATER	8"	-	AT REAR OF SITE
STORM SEWER	15"	GRAVITY	ON SITE
ELECTRIC	-	OVERHEAD	ALONG HIGHWAY 31E
GAS	-	-	ALONG HIGHWAY 31E

SURVEY INFORMATION

PREPARED BY: OLEARY AND ASSOCIATES
 2558 NASHVILLE HIGHWAY
 COLUMBIA, TENNESSEE 38401
 TELEPHONE: (931) 489-2088 DATE: -
 FAX: (931) 489-2089 REV: -

LEGEND



PLAN SCALE: 1" = 20'

STREET ADDRESS
 990 GREENSBORO DRIVE

CITY STATE
 GALLATIN TENNESSEE

COUNTY
 SUMNER

REGIONAL DWG. NO
 27062

LOCATION CODE NUMBER
 041-0751

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	2-9-15	REVISED PER PLANNING COMMENTS	KAC	



McDonald's USA, LLC

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ADDRESS: 250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260

PLAN APPROVALS	SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR		
OWNER		

STATUS	DATE	BY
PRELIMINARY	01-20-15	KAC
PLAN CHECKED		
AS-BUILT		

SD-6

ITEM 4

GMRPC Resolution No. 2015-26

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A SITE PLAN TO CONSTRUCT TWO (2) MEDICAL OFFICE BUILDINGS TOTALLING 10,400 SQUARE FEET ON A 2.067 (+/-) ACRE LOT, ZONED MULTIPLE RESIDENTIAL AND OFFICE (MRO), LOCATED AT 865 NORTH BLUE JAY WAY. (PC File# 8-283-15)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Site Plan submitted by the applicant, Rogers Engineering Group, at its regular meeting on February 23, 2015; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-3-413, 13-4-310, and G.Z.O., § 15.03.020:

1. The Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required* of the Gallatin Zoning Ordinance.
2. The Site Plan is consistent with the purpose and intent of the Multiple Residential and office (MRO) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning Districts.
3. Once completed, the Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), Flood Prevention and Protection Regulations (G.Z.O., Section 10.03) and the Landscaping Requirements (Section 13.05).

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Site Plan for Medical Offices for Brothers RE, LLC consisting of 7 sheets, prepared by Rogers Engineering Group of Gallatin, TN with Project No. 14-051, dated January 26, 2015 with a final revision date of February 12, 2015, and architectural elevations plans for office buildings at 865 North Blue Jay Way, consisting of one (1) sheet, prepared by Matchett & Associates of

Gallatin, TN, with Project No. 1427, dated January 28, 2015, as submitted.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 2/23/2015

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY

ITEM 4



PLANNING DEPARTMENT STAFF REPORT

Site Plan for Medical Offices for Brothers RE, LLC

(PC File# 8-283-15)

865 North Blue Jay Way

Date: February 12, 2015

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A SITE PLAN TO CONSTRUCT TWO (2) MEDICAL OFFICE BUILDINGS TOTALING 10,400 SQUARE FEET CONTAINING 2.067 (+/-) LOT. THE PROPERTY IS ZONED MULTIPLE RESIDENTIAL AND OFFICE (MRO) AND IS LOCATED AT 865 NORTH BLUE JAY WAY.

OWNER: BROTHERS RE, LLC

APPLICANT: ROGERS ENGINEERING GROUP (RICHARD JONES, P.E.)

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2015-26

STAFF CONTACT: KEVIN CHASTINE

PLANNING COMMISSION DATE: FEBRUARY 23, 2015

PROPERTY OVERVIEW: The owner and applicant is requesting approval of a site plan to construct two (2) medical office buildings totaling 10,400 square feet on a 2.067 (+/-) acre lot. The property is zoned Multiple Residential and Office (MRO) and is located at 865 North Blue Jay Way. Medical Services is a permitted use in the MRO zone district. (Attachment 4-1)

CASE BACKGROUND:

Previous Approvals

The property was annexed in 1970 (Ordinance #9-2-70 and 1975 (Ordinance #070-84) the current MRO zoning was established at the time of annexation.

A Sketch Plat (PC File# 1-20-02A) for the East Camp Creek Business Park was approved with conditions at the October 28, 2002 Planning Commission meeting.

A Preliminary Plat (PC File# 1-22-02B) and Final Plat (PC File# 1-23-02C) for the East Camp Creek Business Park was approved with conditions at the November 25, 2002 Planning Commission meeting. The Final Plat was recorded on February 17, 2004 (P.B. 21 Pg. 225). At the time the site contained two (2) lots (lots 4 and 5).

A Minor Subdivision Plat (PC File# 2-6-04S) was approved by Staff combining Lots 4 and 5 of the East Camp Creek Business Park, into a single lot 4, known as East Camp Creek Business Park Resubdivision of Lots 4 and 5. (P.B. 21 Pg. 342)

The Gallatin on the Move 2020 Plan was adopted in February 23, 2009 and the property was established with a Commercial Corridor Character Area designation.

DISCUSSION:

Proposed Development

The owner and applicant are requesting approval of a site plan to construct two (2) medical office buildings totaling 10,400 square feet on a 2.067 (+/-) acre lot (Tax Map 136D Group C Parcel 04.00. property located at 865 North Blue Jay Way. The lot is currently zoned Multiple Residential and Office (MRO). The proposed buildings are 5,200 square feet each and can accommodate up to three (3) separate tenants per building for a potential of six (6) total tenants on the site. (Attachment 4-2)

Natural Features

The natural topography of the site slopes from the highest point of elevation (456'), at the northwest property corner, along North Blue Jay Way, to the lowest point (451') along the southeast property boundary, adjacent to Old Hickory. Based on FEMA FIRM Map 47165C0426G a portion of the site is located within the 'AE' special flood hazard area as well as the 'Shaded X' flood hazard area. The northwest corner of Building 1 is located within the 'AE' flood zone and has an established Base Flood Elevation (BFE) of 454.00. Building 1 has a Finished Floor Elevation (FFE) of 455.25, which exceeds the Gallatin Zoning Ordinance of one (1) foot above the BFE. After completion of construction, staff recommends that the owner files a Letter of Map Revision with FEMA.

Adjacent Areas & Uses

To the northwest is the State of Tennessee Division of Motor Vehicles building, on Lot 3. To the south is a vacant lot totaling .964 (+/-) acres. To the northeast is Corps of Engineers property that is part of the Old Hickory Lake Reservation. To the southwest are two (2) vacant parcels totaling 2.29 (+/-) acres. The site is surrounded by Multiple Residential and Office (MRO) zoned property on all sides.

Buildings and Architectural Elevations

The two (2) proposed buildings are one-story symmetrical buildings and contain 5,200 square feet per building. Each building is topped with a hipped roof. The primary difference being Building 1 has two (2) smaller hipped roofs projecting from the front and rear elevations, while Building 2 has a large projecting hipped roof that correlates with a large projecting bay at the center of the building elevation. All roofs, including proposed window awnings, are shown as a metal standing seam roof. (See Sheet PD-1)

Both buildings are 100 percent brick with a lighter color brick used to sheath the walls and a darker brick to sheath below the water table. On the front elevation of each building stone is used to delineate four (4) piers, which are used to provide visual separation between the proposed office entrances.

The west elevation (North Blue Jay Way) is 26 feet tall and consists of a dark brick at the base of the elevation and a lighter brick above the water table. Building 1 has three (3) tenant spaces with one (1) entrance centered within the elevation an entrance at each end of the elevation. The entrances are covered by metal awnings and flanked by one-over-one fixed pane windows.

Building 2 is nearly identical to Building 1 except the center bay has two (2) tenant entrances instead of one (1) entrance.

The north and south elevations for Building 1 are identical with four (4) windows distributed symmetrically within a 100 percent brick wall.

The north and south elevations for Building 2 are identical with three (3) windows distributed symmetrically within a 100 percent brick wall.

The east elevation (East Camp Creek/Corps Property), for both buildings, is 100 percent brick with four (4) door and four (4) windows distributed symmetrically throughout the elevation. The only difference is within the center bay of each elevation. For Building 1, the center bay has two (2) doors at the edges of the bay and two (2) windows in the middle of the bay. Building 2 has the two (2) windows at the edges of the bay and the two (2) doors in the middle of the bay.

The architectural elevations for the building meet the Basic Design Criteria of the Gallatin Zoning Ordinance, Section 13.08.010.A, *Materials*, since the buildings are shown to be constructed with brick to match the existing building in the subdivision and will meet or exceed the required 70 percent brick or stone on each building facade.

The Planning Department shall inspect the exterior building facade materials prior to the installation.

Bufferyard and Landscaping

A Type 10 Bufferyard is required on the north, south, and west property boundaries. The applicant has shown all required landscape materials for the Type 10 bufferyards along the north and south property boundary. To the west, along North Blue Jay Way, the applicant is requesting an Alternative Type 12 Bufferyard that would only contain evergreen (Dwarf English Laurel) shrubs parallel with the front edge of the parking lot. The request for an alternative bufferyard with no trees is based on the presence of an eight (8) inch water line in the area where the required bufferyard trees are required. No bufferyard is required adjacent to Old Hickory Lake.

The applicant has also shown all required evergreen shrubs along the parking lot parallel to North Blue Jay Way, interior tree plantings, and the required six (6) percent interior landscaping requirement.

Mechanical Equipment Screening

Two (2) HVAC units are proposed for each of the proposed buildings. The HVAC units will be located between the two (2) buildings and will be screened by four (4) Burning Bush shrubs.

Parking

The required parking ratio for Medical Offices is one (1) parking space per 200 square foot of the building size. With the two (2) buildings totaling 10,400 square feet the site is required a minimum of 52 parking spaces. The applicant has provided a total of 53 parking

spaces, which includes three (3) handicapped accessible parking spaces. As proposed the project exceeds all parking spaces requirements.

The parking area will be paved with pervious concrete, while drive lanes will be traditional asphalt paving. A system of downspouts on the buildings will convey rain water from the roof on to the pervious concrete.

Access

This project will have two (2) joint access points onto North Blue Jay Way, one at each property boundary corner. These two (2) access points are proposed within existing 40 foot by 60 foot joint access easements that were established by the East Camp Creek Business Park: Resubdivision of Lots 4 & 5 Final Plat (P.B. 21 Pg. 342). The applicant should consider providing sidewalk access from the public sidewalk to the buildings.

Photometric Plan and Lighting Fixtures

The site plan does not indicate any parking lot lighting fixtures on this site. If lighting fixtures are installed in the future, the lighting shall comply with the City of Gallatin Zoning Ordinance, Section 13.02.08.

Signage

The site plan indicates a multi-tenant monument sign, with the potential for eight tenant signs (See Sheet PD-1), setback 12 feet from the North Blue Jay Way right-of-way, seven (7) feet and eight (8) inches tall, and ten (10) feet deep. The sign will match the buildings, with a stacked stone base and brick column with a cast stone cap. Each tenant could permit a wall sign on the building. Each tenant shall contact the Planning Department to determine the size of the permitted wall signs and shall submit a detailed sign package for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.

Planning Department Comments

The Planning Department reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed all Planning Department comments.

Findings:

1. The Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance.
2. The Site Plan is consistent with the purpose and intent of the Multiple Residential and Office (MRO) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning Districts.
3. Once completed, the proposed Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), Flood

Prevention and Protection Regulations (G.Z.O., Section 10.03) and the Landscaping Requirements (Section 13.05), provided an alternative front bufferyard is approved.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2015-26, Site Plan for Medical Offices for Brothers RE, LLC, consisting of 7 sheets, prepared by Rogers Engineering Group of Gallatin, TN with Project No. 14-051, dated January 26, 2015 with a final revision date of February 12, 2015, and architectural elevations, for office buildings at 865 North Blue Jay Way, consisting of one (1) sheet, prepared by Matchett & Associates of Gallatin, TN, with Project No. 1427 and dated January 28, 2015, as submitted.

ATTACHMENTS

- Attachment 4-1 Location Map
- Attachment 4-2 Medical Offices for Brothers RE, LLC Site Plan
- Attachment 4-3 Architectural Elevations

I:\Planning Commission\Items\2015\2-23-2015\Staff Reports\Item 4 Medical Offices for Brothers RE, LLC (PC File# 8-283-15) KC



Prepared By: Kevin Chastine, AICP
Prepared On: Feb. 19, 2015

Location Map
Medical Offices for Brothers RE, LLC- Site Plan
865 North Blue Jay Way
PC File# 8-283-15



ATTACHMENT

4-1



Front / Left Elevations



Front / Right Elevations



Rear Elevations

RECEIVED
 JAN 28 2015
 GALLATIN PLANNING
 & ZONING

Project No. 1427 __
 Drawn by: _____
 Reviewed by: _____

M&A

Matchett
 and
 Associates
 Architects

113 East Main St.
 Gallatin, TN 37066
 615/451-1505

Office
 Buildings

at
 865
 North
 Blue Jay Way

Gallatin,
 Tennessee

Color
 Perspective
 Exteriors

Date: 1/28/15
 Revisions:
 Date: Mark:

PD-2
 Sheet of

R-283-1.5

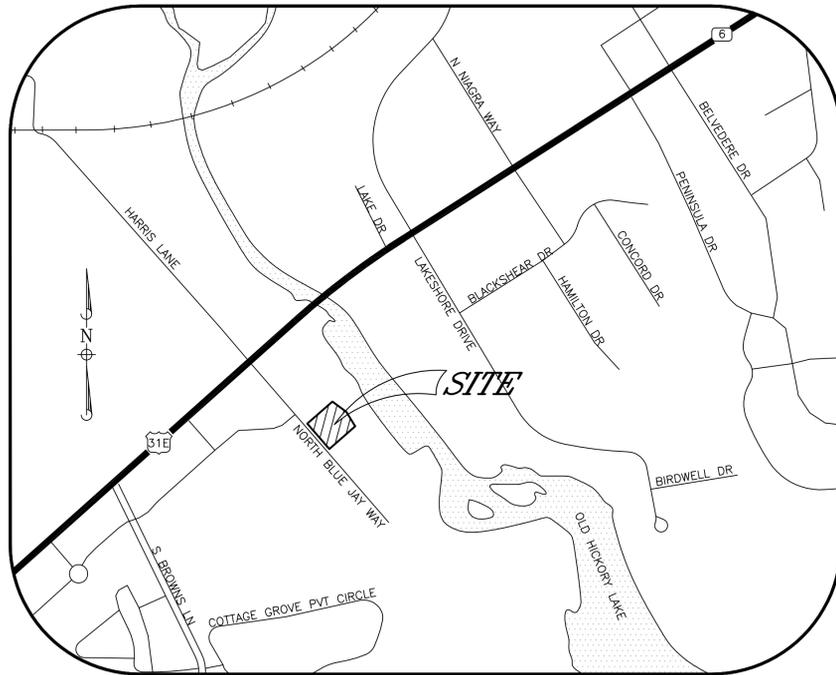
ATTACHMENT 4-3

GENERAL NOTES:

- THIS CONSTRUCTION PROJECT SHALL AT ALL TIMES AND IN ALL SITUATIONS PROCEED IN A MANNER CONSISTENT WITH THE CITY OF GALLATIN SUBDIVISION REGULATIONS, AND ALL OTHER APPLICABLE RULES, REGULATIONS AND LAWS OF ANY OTHER AUTHORITY WITH JURISDICTION TO GOVERN SUCH CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR UNDERTAKING SUCH CONSTRUCTION ACTIVITIES TO INSURE FULL COMPLIANCE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP A COPY OF THE CURRENT CITY OF GALLATIN SUBDIVISION REGULATIONS (INCLUDING SPECIFICATIONS FOR PUBLIC WORKS PROJECTS) ON THE CONSTRUCTION PROJECT AT ALL TIMES, AND REFERENCE SHALL BE MADE TO THEM FOR PROPER MATERIALS, METHODS, ETC. REGARDING CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL ELEVATIONS, DISTANCES, AND DIRECTIONS BEFORE STARTING WORK ON ANY SEGMENT OF THE PROJECT. IF THE CONTRACTOR HAS ANY QUESTIONS OR SUSPECTS THERE IS AN ERROR OR OMISSION WITHIN THE PLANS OR CONSTRUCTION STAKES, HE SHALL NOT PROCEED UNTIL THE ENGINEER OR HIS REPRESENTATIVE HAS BEEN FULLY NOTIFIED, HAS RESPONDED, AND HAS SPECIFICALLY STATED THE CONTRACTOR MAY PROCEED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SURVEYING REFERENCE POINTS, HUBS, AND LOT CORNERS DURING THE CONSTRUCTION PROCESS AND SHALL BEAR THE EXPENSE FOR REPLACING ANY SUCH OBJECTS DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY NOTICES, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES ASSOCIATED WITH SUCCESSFULLY COMPLETING THE CONSTRUCTION PROCESS, INCLUDING ALL PUBLIC INSPECTION FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THIS OR ADJACENT PROPERTY, AND FOR INJURY TO ANY PERSON OCCURRING DURING OR AS A RESULT OF THE CONSTRUCTION PROCESS, WHETHER SUCH DAMAGE OR INJURY RESULTS FROM ANY ACTION OR LACK OF ACTION BY PRINCIPALS OF THE COMPANY, EMPLOYEES, SUBCONTRACTORS, OR SUPPLIERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY SAFETY DEVICES AND FOLLOW ALL ADVISABLE SAFETY PRACTICES NECESSARY TO INSURE THE SAFETY OF ALL PERSONS DURING THE CONSTRUCTION PROCESS. NEITHER THE OWNER NOR THE ENGINEER ASSUME ANY LIABILITY FOR MATTERS RELATING TO SAFETY AT THE CONSTRUCTION SITE.
- ANY DAMAGE TO IMPROVEMENTS PRIOR TO FINAL PROJECT ACCEPTANCE BY THE CITY OF GALLATIN OR THE OWNER SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MEET CURRENT SPECIFICATIONS. ALL EXPENSES ASSOCIATED WITH SUCH REPAIR OR REPLACEMENT SHALL BE PAID BY THE APPROPRIATE CONTRACTOR.
- LOCATION OF EXISTING UTILITIES INDICATED ON THESE PLANS MUST BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY SUCH UTILITIES. THE CONTRACTOR IS FURTHER RESPONSIBLE FOR LOCATING ALL UTILITIES THAT MAY BE IN EXISTENCE ON THE PROJECT SITE BUT WHICH ARE UNKNOWN TO THE ENGINEER. ALL UTILITY LOCATION ACTIVITIES SHALL BE AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT (AS DIRECTED) TO ANY UTILITIES DAMAGED DURING CONSTRUCTION, BEFORE ANY EXCAVATION HAS BEGUN ON THIS SITE CALL 1-800-351-1111 FOR UNDERGROUND UTILITY LOCATIONS.
- EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN ACCORDANCE WITH THE TENNESSEE GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES STORM WATER DISCHARGE. INSPECTION AND MAINTENANCE SHALL BE PERFORMED BY THE CONTRACTOR ON A REGULAR BASIS IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN.
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY RICHARD D. GRAVES LAND SURVEYING, DRAWING DATED 6-26-2013.
- A TITLE SEARCH NOR TITLE POLICY WAS PROVIDED. THEREFORE, THIS SURVEY IS SUBJECTED TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONLY DOCUMENTS NOTED HEREON WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH.
- ELEVATIONS AND CONTOURS WERE DERIVED USING DIGITAL TERRAIN MODELING BY: 1. RADIAL TRIGONOMETRY WITH A TOPCON B205A ROBOTIC TOTAL STATION AND/OR 2. GPS WITH A TOPCON HIRER LITE - DUAL FREQUENCY RTK BASE AND ROVER. CONTOUR INTERVALS ARE ONE (1) FOOT, AND THE SOURCE OF VERTICAL DATUM IS LISTED BELOW.
- BEARINGS SHOWN ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 83).
- A REVIEW OF THE F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANELS NO. 47165004200, EFFECTIVE DATE APRIL 17, 2012, SHOWS A PORTION OF THIS PROPERTY TO BE IN ZONE "AE" WHICH IS A SPECIAL FLOOD HAZARD AREA (100-YR FLOOD WAY) AND A PORTION OF THIS PROPERTY TO BE IN ZONE "X SHADED" (500-YR FLOOD ELEV.) AND A PORTION OF THIS PROPERTY TO BE IN ZONE "X", WHICH IS NOT A SPECIAL FLOOD HAZARD AREA. THE MAJORITY OF CONSTRUCTION WILL TAKE PLACE IN ZONE "X".
- SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SITE PLAN.
- ALL BUILDINGS, SURFACE IMPROVEMENTS, AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THIS SITE ARE NOT NECESSARILY SHOWN HEREON.
- NO GEOTECHNICAL ENGINEERING REPORT WAS PROVIDED FOR THE PREPARATION OF THIS SITE PLAN.
- PERFORMANCE STANDARD COMPLIANCE
ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
- INDUSTRIAL PRETREATMENT
THE PROPOSED PROJECT SHALL COMPLY WITH ALL APPLICABLE CROSS-CONNECTION CONTROL AND SEWER USE REGULATIONS.
- PHOTOMETRIC PLAN
OUTDOOR LIGHTING SHALL COMPLY WITH THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.B. EXTERIOR LIGHTING IS TO BE BUILDING MOUNTED. SHOULD LIGHTING BE ADDED, FOOT-CANDLES AT PROPERTY LINE WILL BE MAX 0.5.
- HVAC UNITS
HVAC UNIT LOCATIONS WILL BE TYPICAL FOR COMMERCIAL CONSTRUCTION. HVAC UNITS TO BE SCREENED FROM THE STREET VIEW AS SHOWN IN THESE PLANS.
- FIRE AND SAFETY CODES
THIS LOCATION SHALL MEET ALL 2009 IFC AND NFPA LIFE SAFETY CODES.

PLAN SHEET INDEX:

DESCRIPTION	SHEET NO.
COVER SHEET	C 1.0
SITE PLAN	C 2.0
GRADING PLAN	C 3.0
LANDSCAPE PLAN	C 4.0
EROSION PLAN A	C 5.0
EROSION PLAN B	C 6.0
DETAILS	C 7.0



MEDICAL OFFICES FOR BROTHERS RE, LLC
 SITE PLAN
 865 NORTH BLUE JAY WAY
 CITY OF GALLATIN, 4TH CIVIL DISTRICT,
 SUMNER COUNTY, TENNESSEE

UTILITY OWNERS			
WATER SEWER GAS	GALLATIN PUBLIC UTILITIES 239 HANCOCK STREET GALLATIN, TN 37066 CONTACT: DAVID GREGORY (615) 451-5922	TELEPHONE	AT&T 2501 PARK PLACE NASHVILLE, TN 3720 (615) 344-5288
ELECTRIC	GALLATIN DEPARTMENT OF ELECTRICITY 135 JONES STREET GALLATIN, TN 37066 CONTACT: MIKE TAYLOR (615) 452-5152	CABLE	COMCAST 840 SOUTH WESTLAND AVENUE GALLATIN, TN 37066 (615) 244-5900

PROJECT DESCRIPTION:

THIS PROJECT PROPOSES THE CONSTRUCTION OF TWO 5,200 SF OFFICE BUILDINGS (10,400 SF TOTAL) WHICH WILL BE USED TO PROVIDE MEDICAL SERVICES, PARKING, UTILITIES AND OTHER APPURTENANCES WILL BE ADDED FOR THIS SITE DEVELOPMENT. A PORTION OF THIS SITE IS IN THE "AE" FLOOD PLAIN. FILL IN THE FLOOD PLAIN WILL BE MINIMIZED BY CONSTRUCTING A SEGMENTAL BLOCK RETAINING WALL.

ESTIMATED CONSTRUCTION SCHEDULE:

BEGIN: MARCH 1 2015
 END: SEPTEMBER 1 2015

STATEMENT OF FINANCIAL RESPONSIBILITY:

BROTHERS RE, LLC WILL BE FINANCIALLY RESPONSIBLE FOR ALL IMPROVEMENTS SHOWN ON THIS PLAN.

PAVING AND DRAINAGE NOTES:

- DRAINAGE SYSTEM RIP-RAP SHALL BE PLACED IN SUCH A MANNER AS TO ACHIEVE MAXIMUM INTERLOCKING TIGHTNESS.
- DURING CONSTRUCTION EXPOSE THE MINIMUM AREA OF SOIL FOR THE MINIMUM TIME POSSIBLE. CONTROL DUST BY WATERING OR OTHER METHOD APPROVED BY THE CITY OF GALLATIN.
- EROSION SHALL BE CONTROLLED IN ACCORDANCE WITH THE GENERAL PERMIT FOR DISCHARGES OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (PERMIT NO. TNRI0000). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTROL EROSION FROM STORM WATER RUNOFF.
- ALL STUMPS, LARGE ROCK, CONCRETE, SCRAP MATERIALS, TRASH AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- COMPACTION REQUIREMENTS FOR ROADWAYS AND PAVEMENT - ALL FILL MATERIAL TO BE PLACED EVENLY AND IN A UNIFORM MANNER AT A MAXIMUM OF 8" LIFTS AND COMPACTED TO 98% STD PROCTOR ON ALL LIFTS. MOISTURE TO BE WITHIN 2% OF OPTIMUM DURING COMPACTION. COMPACTION REQUIREMENTS FOR BUILDING PADS - ALL FILL MATERIAL TO BE PLACED EVENLY AND IN A UNIFORM MANNER AT A MAXIMUM OF 8" LIFTS AND COMPACTED WITH SHEEPS-FOOT VIBRATORY COMPACTOR TO 98% STD PROCTOR ON ALL LIFTS. MOISTURE TO BE WITHIN 2% OF OPTIMUM DURING COMPACTION.
- PROJECT BENCHMARK, AS SHOWN ON PLANS.
- ALL DRAINAGE PIPE BELOW ROADWAYS TO BE:
 CLASS III RCP (REINFORCED CONCRETE PIPE) WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG.
 DRAINAGE PIPE BELOW PAVE AREAS TO BE:
 (1) CLASS III RCP (REINFORCED CONCRETE PIPE) WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG.
 (2) CMP (CORRUGATED METAL PIPE) WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG.
 DRAINAGE PIPE OUTSIDE OF ROADWAY TO BE:
 (1) CLASS I OR CLASS III RCP WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE NATIVE SOIL COMPACTED.
 (2) OR HDPE (SMOOTH INSIDE BORE) WITH 6" STONE BEDDING AND BACKFILLED TO THE SPRINGLINE WITH PUG IN 4" LIFTS COMPACTED TO 95% STD PROCTOR. PUG THEN TO BE PLACED IN 6" LAYERS AND LIGHTLY TAMPED TO 12" ABOVE THE TOP OF THE PIPE CORRUGATION. REMAINDER OF BACKFILL TO BE NATIVE SOIL COMPACTED.
 (3) CMP WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG TO ONE FOOT ABOVE PIPE THE REMAINDER TO BE NATIVE SOIL COMPACTED.
- ALL DITCHES TO RECEIVE COVER TREATMENT AS SHOWN ON PLANS.
- THE PAVING TRANSITION AT EXISTING STREETS SHALL BE SMOOTH IN BOTH HORIZONTAL AND VERTICAL ALIGNMENT; FIELD ADJUST AS NECESSARY.
- CONTRACTOR SHALL OBTAIN A LAND DISTURBANCE PERMIT FROM THE CITY OF GALLATIN ENGINEERING DIVISION PRIOR TO GRADING.
- A TDEC NOTICE OF COVERAGE IS REQUIRED FOR THIS PROJECT.
- REFER TO "GENERAL NOTES" FOR ADDITIONAL INFORMATION RELATING TO THIS CONSTRUCTION PROJECT.

PLAN APPROVAL

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY ME AND ARE APPROVED WITH THE EXCEPTION OF SUCH MODIFICATIONS INDICATED BY ME ON THE PLANS.

ENGINEERING DEPARTMENT	DATE
CITY ENGINEER	DATE

PARKING REQUIREMENTS				
TYPE	REQUIRED SPACES	EXISTING	PROPOSED	TOTAL
MEDICAL OFFICES (10,400 SF)	(1 SPC / 200 SF) x 10,400 SF = 52	0	53	53*

* 3 ACCESSIBLE SPACES REQUIRED AND PROVIDED

BUFFER YARD REQUIREMENTS			
	ORDINANCE	EXISTING	PROPOSED
MRO TO MRO	TYPE 10	NONE	TYPE 10
MRO TO MRO (W/ LOCAL STREET)	12"	NONE	ALTERNATE

* PER GALLATIN ZONING ORDINANCE SECTION 13.04.060.F

MRO BULK AND AREA REGULATIONS (NON-RESIDENTIAL)			
	ORDINANCE	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 SF	90,043 SF	90,043 SF
FRONT YARD	1/2 MBSL (20 FT)	20 FT	20 FT
SIDE YARD	10 FT	10 FT	10 FT
REAR YARD	20 FT	20 FT	20 FT
M.B.S.L. (COLLECTOR)	40 FT	40 FT	89 FT
MAXIMUM BUILDING HEIGHT	35 FT	N/A	24 FT
MAXIMUM FLOOR AREA RATIO	0.5	N/A	0.102

SITE DATA TABLE	
OWNER / DEVELOPER	BROTHERS RE, LLC 808 A COMMONS DRIVE GALLATIN, TN 37066 615-944-7727 CONTACT: SUBIR GUHA
SITE LOCATION	865 NORTH BLUE JAY WAY
TAX MAP	1363 GROUP "C"
PARCEL	4.00; RB 3939, PG 398 R.O.S.C.TN
ACREAGE	2.067 ±
CURRENT ZONE	MRO (COMMERCIAL)
REQUESTED ZONE	MRO (COMMERCIAL)
EXISTING USE	NONE
PROPOSED USE	MEDICAL SERVICE

ROGERS ENGINEERING GROUP
 114B WEST MAIN STREET
 Gallatin, Tennessee 37066
 TEL: 615-230-7269 FAX: 615-230-7271
 richard.jones@rogersgroupinc.com



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 1-615-366-1987
 TENNESSEE ONE CALL
 ITS THE LAW

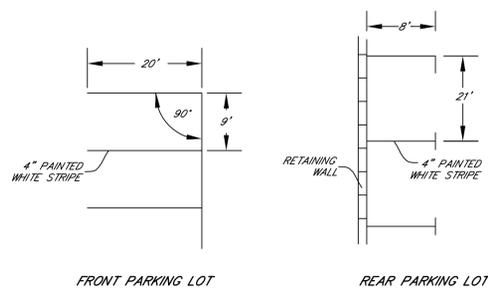
MEDICAL OFFICES FOR BROTHERS RE, LLC
 COVER
 865 NORTH BLUE JAY WAY
 GALLATIN, 4TH CIVIL DISTRICT
 SUMNER COUNTY, TENNESSEE



SHEET NO.
C 1.0

REVISIONS
 REVISION 1: 2-12-15 PER GPC COMMENTS
 DATED 2-6-15

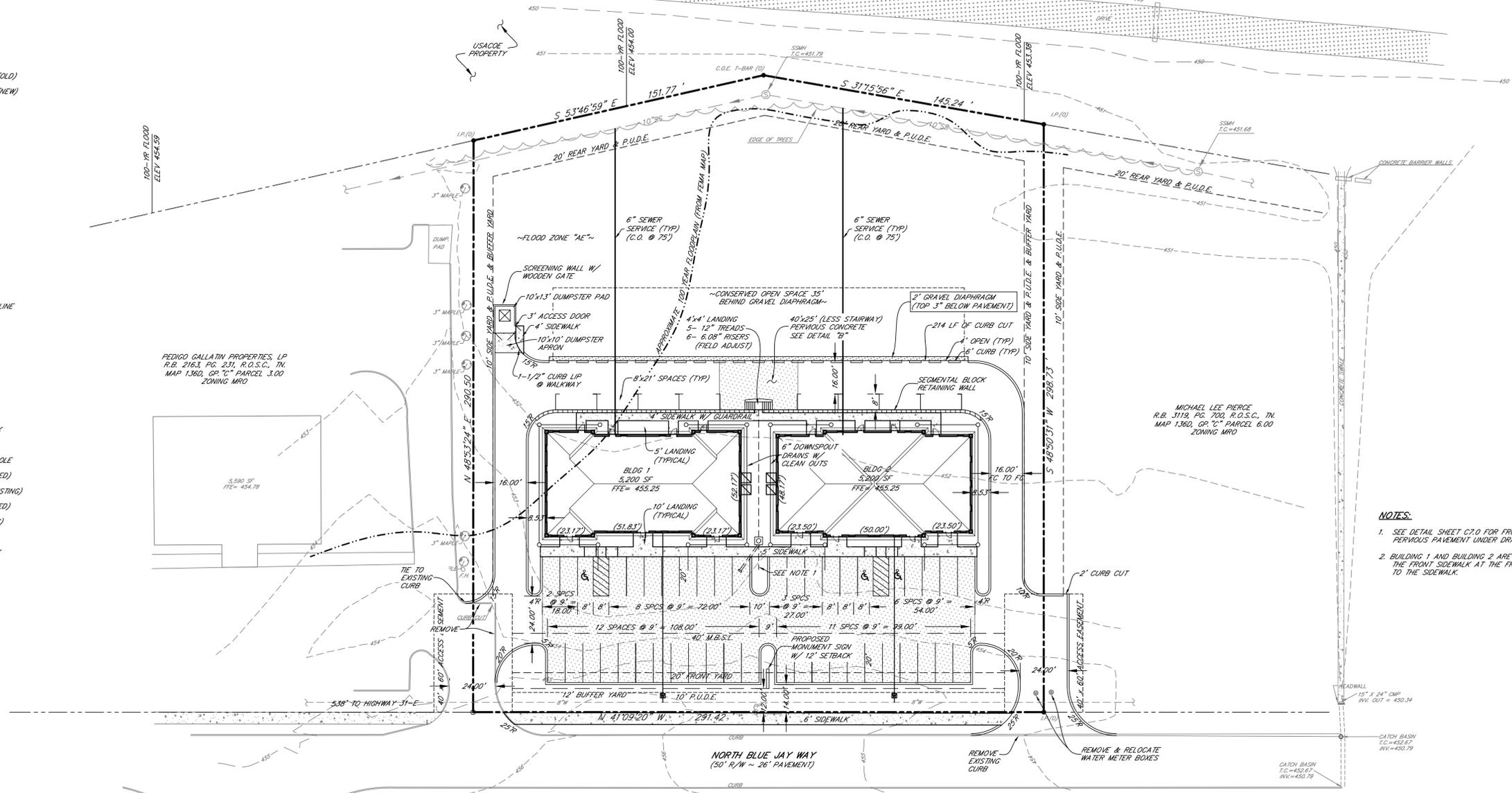
PROJECT # 14-051
 DATE 26 JANUARY 2015



PARKING STRIPING DETAIL
NOT TO SCALE

LEGEND

- CONCRETE MONUMENT (OLD)
- CONCRETE MONUMENT (NEW)
- IRON ROD (OLD)
- IRON ROD (NEW)
- ◆ BENCHMARK
- - - BOUNDARY LINE
- - - BUFFER
- - - SETBACK / YARD
- - - P.U.D.E.
- - - EXTRUDED CURB
- - - SS SANITARY SEWER LINE
- - - W WATER LINE
- - - S STORM SEWER
- - - G GAS LINE
- - - OHE OVERHEAD UTILITY LINE
- - - UGT UNDERGROUND UTILITY LINE
- - - WOVEN WIRE FENCE
- - - TREE LINE
- - - WOODEN FENCING
- UTILITY POLE
- UTILITY POLE W/ LIGHT
- GUY ANCHOR
- TELEPHONE MANHOLE
- ELECTRIC JUNCTION BOX
- CABLE PEDESTAL
- SANITARY SEWER MANHOLE
- WATER METER (PROPOSED)
- WATER METER BOX (EXISTING)
- WATER VALVE (PROPOSED)
- WATER VALVE (EXISTING)
- BLOW OFF VALVE
- AIR RELEASE ASSEMBLY
- FIRE HYDRANT
- GAS METER
- GAS VALVE
- A/C PAD
- MAILBOX
- SEWER VALVE
- EG EDGE OF GRAVEL
- EP EDGE OF PAVEMENT
- PERVIOUS PAVEMENT
- DOWNSPOUT DRAIN



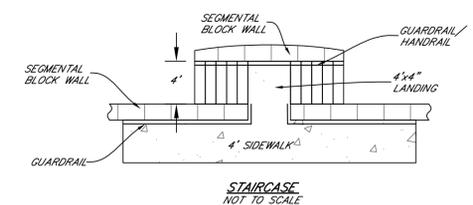
PEDIGO GALLATIN PROPERTIES, LP
R.B. 216.3, PG. 231, R.O.S.C., TN.
MAP 1360, GP. "C" PARCEL 3.00
ZONING MRO

MICHAEL LEE PIERCE
R.B. 3119, PG. 700, R.O.S.C., TN.
MAP 1360, GP. "C" PARCEL 6.00
ZONING MRO

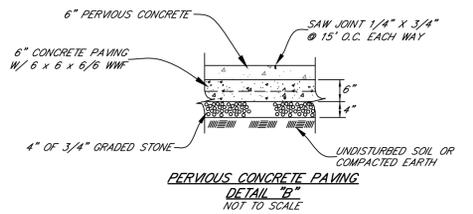
STEVE M. PARKER JR. &
LARRY M. PARKER
AS TR. SMP FAMILY TRUST
R.B. 3554, PG. 831, R.O.S.C., TN.
MAP 1360, GP. "D" PARCEL 1.00
ZONING MRO

STEVE M. PARKER JR. &
LARRY M. PARKER
AS TR. SMP FAMILY TRUST
R.B. 3554, PG. 831, R.O.S.C., TN.
MAP 1360, GP. "D" PARCEL 2.00
ZONING MRO

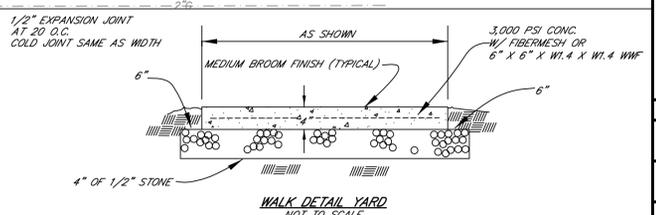
- NOTES:
- SEE DETAIL SHEET C2.0 FOR FRONT PARKING LOT PERVIOUS PAVEMENT UNDER DRAIN SCHEMATIC.
 - BUILDING 1 AND BUILDING 2 ARE BOTH 5.00' FROM THE FRONT SIDEWALK AT THE FRONT WALL CLOSEST TO THE SIDEWALK.



STAIRCASE
NOT TO SCALE

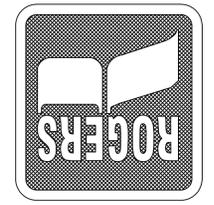


PERVIOUS CONCRETE PAVING
DETAIL "B"
NOT TO SCALE

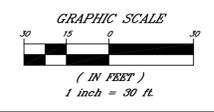
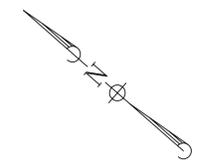


WALK DETAIL YARD
NOT TO SCALE

ROGERS
ENGINEERING
GROUP
114B WEST MAIN STREET
Gallatin, Tennessee 37086
TEL: 615-230-7269 FAX: 615-230-7271
richard.jones@rogersgroupinc.com



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1-615-366-1987
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MEDICAL OFFICES FOR
BROTHERS RE, LLC
SITE PLAN
865 NORTH BLUE JAY WAY
GALLATIN, 4TH CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE



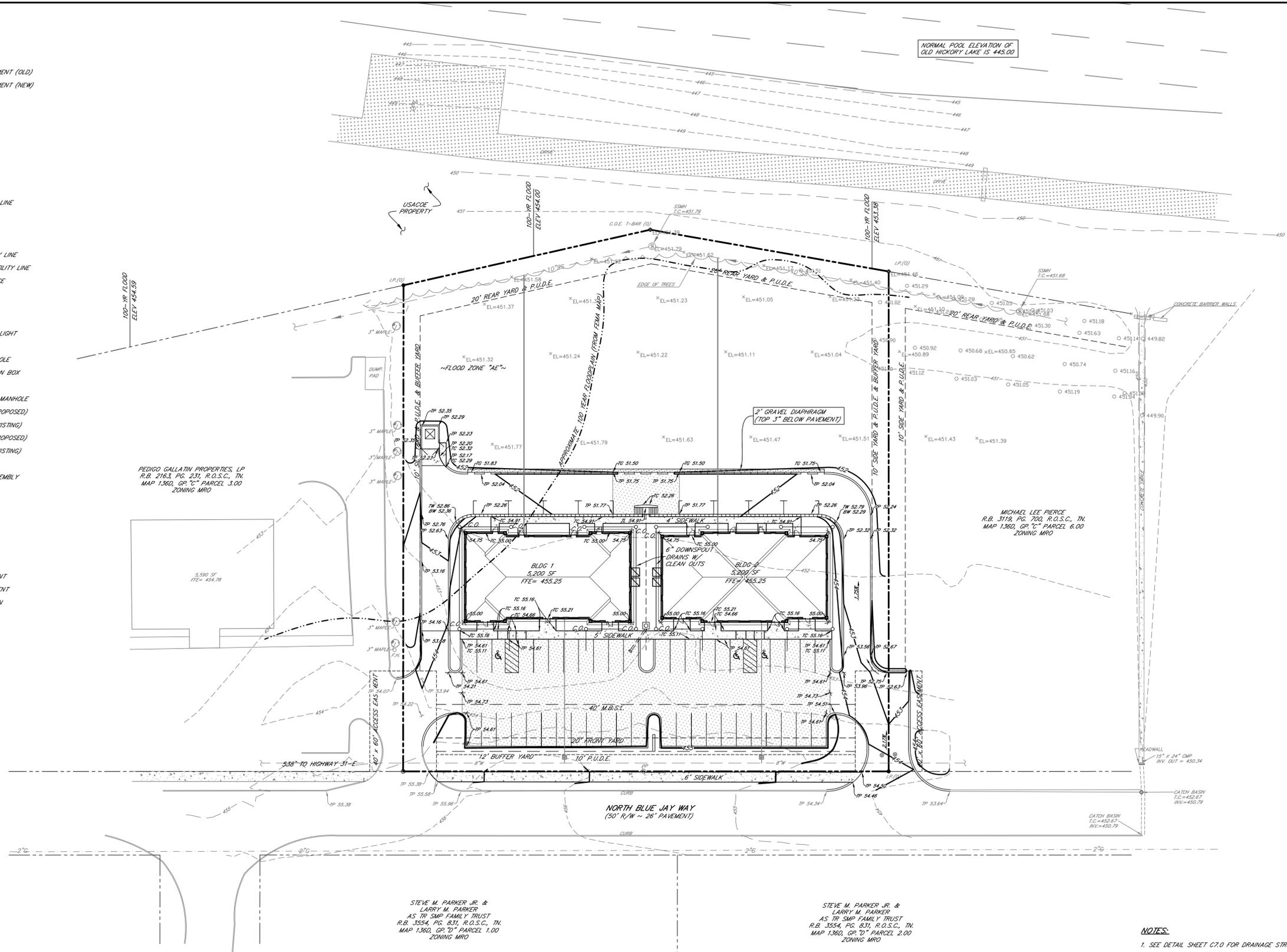
SHEET NO.
C 2.0

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REVISION 1: 2-12-15 PER GPC COMMENTS
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PROJECT # 14-051
DATE 26 JANUARY 2015

LEGEND

- CONCRETE MONUMENT (OLD)
- CONCRETE MONUMENT (NEW)
- IRON ROD (OLD)
- IRON ROD (NEW)
- ⊕ BENCHMARK
- - - BOUNDARY LINE
- - - BUFFER
- - - SETBACK / YARD
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- EG EDGE OF GRAVEL
- EP EDGE OF PAVEMENT
- PERVIOUS PAVEMENT
- DOWNSPOUT DRAIN



PEDIGO GALLATIN PROPERTIES, LP
R.B. 216.3, PG. 231, R.O.S.C., TN.
MAP 1360, GP. 10" PARCEL 3.00
ZONING MRO

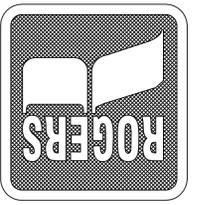
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MAP 1360, GP. 10" PARCEL 1.00
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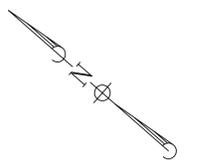
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LARRY M. PARKER
AS TR SMP FAMILY TRUST
R.B. 3554, PG. 831, R.O.S.C., TN.
MAP 1360, GP. 10" PARCEL 2.00
ZONING MRO

NOTES:
1. SEE DETAIL SHEET C7.0 FOR DRAINAGE STRUCTURE DETAILS.

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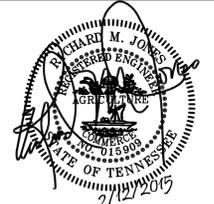


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TENNESSEE ONE CALL
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GRAPHIC SCALE
30 15 0
(IN FEET)
1 inch = 30 ft.

MEDICAL OFFICES FOR BROTHERS RE, LLC
GRADING PLAN
865 NORTH BLUE JAY WAY
GALLATIN, 4TH CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE



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C 3.0

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DATE 26 JANUARY 2015

SWPPP NOTES

- ALL BEST MANAGEMENT PRACTICES ARE TO BE ADHERED TO THROUGHOUT THE LIFE OF THE PROJECT.
- A COPY OF THE SWPPP IS TO BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH RECORDS OF EROSION CONTROL INSPECTIONS PER NPDES PERMIT SECTION 3.3.3.
- CONSTRUCTION ACTIVITIES (NPDES PERMIT SECTION 3.5.1.6)**
TOPSOIL WILL BE STRIPPED AND TEMPORARILY STOCKPILED. FILL MATERIAL WILL BE PLACED ON THE SITE AND CONTAINED BY A SEGMENTAL BLOCK RETAINING WALL. TWO OFFICE BUILDINGS WILL BE CONSTRUCTED ALONG WITH PARKING, SIDEWALKS, UTILITY SERVICES AND ALL NECESSARY APPURTENANCES.
- DISTURBED AREA (NPDES PERMIT SECTION 3.5.1.6)**
SITE AREA = 2.067 AC
DISTURBED AREA = 1.452 AC
- EXISTING SITE SOILS (NPDES PERMIT SECTION 3.5.1.6)**
AR-ARRINGTON SILT LOAM, 0 TO 2 PERCENT SLOPES, ERODED WELL DRAINED
HYDROLOGIC GROUP B
THIS SOIL IS DEEP, AND WELL DRAINED. IT IS ON FLOOD PLAINS. SOIL IS NOT HIGHLY ERODED. IT HAS HIGH AVAILABLE WATER CAPACITY.
THE DEPTH OF LIMESTONE BEDROCK IS FROM 3 TO 5' DEEP (PER TEST HOLES DUG BY RANDY JONES CONSTRUCTION).
BAC-BARFIELD-ROCK OUTCROP COMPLEX, 5 TO 20 PERCENT SLOPES
HYDROLOGIC GROUP D
THIS SOIL IS SHALLOW AND WELL DRAINED WITH OUTCROPS OF LIMESTONE BEDROCK. THIS SOIL CONSIST OF ABOUT 65 PERCENT BARFIELD SOIL, 20 PERCENT ROCK OUTCROP, AND 15 PERCENT INCLUSE SOILS. THE SOIL HAS A SURFACE LAYER OF VERY DARK GRAYISH BROWN SILTY CLAY LOAM ABOUT 4 INCHES THICK. THE UPPER PART OF THE SUBSOIL TO A DEPTH OF ABOUT 10 INCHES IS DARK BROWN CLAY THAT HAS BROWNISH MOTTLES. THE LOWER PART TO A DEPTH OF ABOUT 18 INCHES IS BROWN CLAY THAT HAS BROWNISH MOTTLES. LIMESTONE BEDROCK IS A DEPTH OF ABOUT 18 INCHES.
PERMEABILITY IS MODERATELY SLOW AND THE AVAILABLE WATER CAPACITY IS VERY LOW.
- SEDIMENT IS TO BE REMOVED AS REQUIRED OR WHEN MEASURES ARE AT SOAK CAPACITY PER NPDES PERMIT SECTION 3.5.3.1.a.
- A STABILIZED CONSTRUCTION ACCESS SHALL BE IMPLEMENTED TO REDUCE THE TRACKING OF MUD AND DIRT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES PER NPDES PERMIT SECTION 3.5.3.1.a.
- TEMPORARY OR PERMANENT STABILIZATION SHALL BE WITHIN 14 DAYS (7 DAYS FOR 3% SLOPES) ON PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED PER NPDES PERMIT SECTION 3.5.3.2.
- EPSC MEASURES HAVE BEEN DESIGNED TO CONTROL THE RAINFALL AND RUNOFF FROM A 2-YEAR, 24-HOUR STORM EVENT PER NPDES PERMIT SECTION 3.5.3.3.
- EPSC MEASURES PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL ARE INTENDED TO DISSIPATE ENERGY AND SLOW THE VELOCITY OF RUNOFF FLOW FROM THE SITE PER NPDES PERMIT SECTION 3.5.4.
- INADEQUATE OR DAMAGED EROSION CONTROL MEASURES WILL BE REPLACED, MODIFIED, OR REPAIRED BEFORE THE NEXT RAIN EVENT BUT NO NO CASE MORE THAN 7 DAYS AFTER THE NEED IS IDENTIFIED PER NPDES PERMIT SECTION 3.5.8.2.e.
- ALL SEDIMENT CONTROL TO BE INSPECTED AT LEAST TWICE PER WEEK AND INSPECTIONS ARE TO BE PERFORMED AT LEAST 72 HOURS APART PER NPDES PERMIT SECTION 3.5.8.2.e. A RAINFALL GAUGE IS TO BE MAINTAINED ON SITE AND CHECKED AT EVERY INSPECTION. THE RAINFALL AND DURATION FOR EACH RAIN EVENT IS TO BE RECORDED BY THE INSPECTOR AND MADE AVAILABLE WITH SWPPP INSPECTION RECORDS.
- EROSION PREVENTION AND SEDIMENT CONTROL MUST BE IN PLACE AND INSPECTED BY THE CITY OF GALLATIN ENGINEERING DIVISION PRIOR TO GRADING AS SHOWN ON THESE PLANS AND CONTAINED IN THIS SWPPP.
- LAND DISTURBANCE PERMIT IS TO BE OBTAINED FROM THE CITY OF GALLATIN PRIOR TO GRADING.
- TOPSOIL IS TO BE STRIPPED AND STORED. COMPACT SITE TOPSOIL PILES BY WALKING DOZIER (D-6 OR GREATER) UNTIL TOTAL TOPSOIL STOCKPILE IS IN PLACE. TEMPORARY SEED TOPSOIL STOCKPILE WITHIN 14 DAYS AFTER STOCKPILE IS COMPLETE.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

THIS PROJECT WILL DISTURB MORE THAN 1 ACRE. A SWPPP IS REQUIRED FOR THIS PROJECT.

303(d) SPECIAL REQUIREMENTS

THE RECEIVING WATERS (EAST CAMP CREEK BRANCH OF OLD HICKORY LAKE) ARE NOT ON THE 303d LISTING AS IMPAIRED OR HIGH QUALITY.

SPILLS AND NON-STORMWATER CONTINGENCIES

- ALL FUELING OF EQUIPMENT AND VEHICLES ON SITE WILL BE CONDUCTED NEAR THE STAGING AREA. ANY SPILLAGE WILL BE REMOVED IMMEDIATELY. CONTAMINATED SOILS WILL BE PLACED ON HEAVY PLASTIC AND COVERED, OR PLACED IN APPROVED CONTAINERS TO PREVENT CONTACT WITH STORM WATER.
- ALL FUEL TANKS WILL BE IN THE CONTAINMENT AREA.
- OILS, OTHER VEHICLE FLUIDS, PAINTS, AND SOLVENTS WILL BE STORED IN THE CONSTRUCTION TRAILER.
- EQUIPMENT FUEL OR MAINTENANCE SPILLS OF 2 GALLONS OR MORE WILL BE REPORTED IMMEDIATELY TO A REPRESENTATIVE OF THE PRIMARY CONTRACTOR.
- IF A RELEASE CONTAINING A HAZARDOUS SUBSTANCE IN AN AMOUNT EQUAL TO OR IN EXCESS OF A REPORTING QUANTITY ESTABLISHED UNDER EITHER 40 CFR 117 OR 40 CFR 302 OCCURS DURING A 24-HOUR PERIOD, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE PERMITEE WHO SHALL THEN DO THE FOLLOWING: NOTIFY THE NATIONAL RESPONSE CENTER (NRC) (800-424-8802) AND THE TENNESSEE EMERGENCY MANAGEMENT AGENCY (TEMA) (EMERGENCIES: 800-262-3300; NON-EMERGENCIES: 800-262-3400), AS WELL AS THE LOCAL ENVIRONMENTAL ASSISTANCE CENTER. ALSO, ROGERS ENGINEERING GROUP WILL PREPARE A REVISION OF THIS DOCUMENT TO IDENTIFY MEASURES TO PREVENT THE REOCCURRENCE OF SUCH RELEASES.
- CONCRETE TRUCKS WILL WASH OUT AT THE DESIGNATED AREA NEAR THE STAGING AREA.
- EACH CONTRACTOR IS RESPONSIBLE TO PROVIDE LITTER CONTROL FOR TRASH GENERATED BY HIS CREW. A DUMPSTER FOR GARBAGE WILL BE LOCATED NEAR THE CONSTRUCTION TRAILER AND IS LIMITED TO GARBAGE AND PAPER TRASH ONLY.
- PAINT CANS, OIL CANS, USED OIL, AND FILTERS WILL BE CONTAINED AND DISPOSED OF BY THE CONTRACTOR BY TAKING THEM TO THE LOCAL RESOURCE AUTHORITY.

DEVELOPMENT CONDITIONS

POST-DEVELOPED DRAINAGE WILL CONTINUE TO FOLLOW THE PRE-DEVELOPED DRAINAGE PATH. SEDIMENT CONTROL WILL BE BY BEST MANAGEMENT PRACTICES SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS.

IF THE CONTROLS ARE INSTALLED AND MAINTAINED CORRECTLY BUT ARE FOUND TO PROVIDE AN INADEQUATE LEVEL OF PROTECTION, ROGERS ENGINEERING GROUP WILL MAKE REVISIONS TO THIS PLAN AND THESE REVISIONS WILL BE IMPLEMENTED BY THE CONTRACTOR.

SWPPP CONSTRUCTION SEQUENCING OF WORK

(NPDES PERMIT SECTION 3.5.1.6)

(ALTERNATE SEQUENCING MAY BE PROPOSED IF APPROVED BY THE CITY OF GALLATIN STORM WATER INSPECTOR.)

LIMITATION OF CONSTRUCTION DISTURBED AREA
FIELD STAKE CONSTRUCTION LIMITS BEFORE COMMENCING WORK IN ORDER TO VERIFY THE DISTURBED AREA LIMITS FOR THE CONTRACTOR.

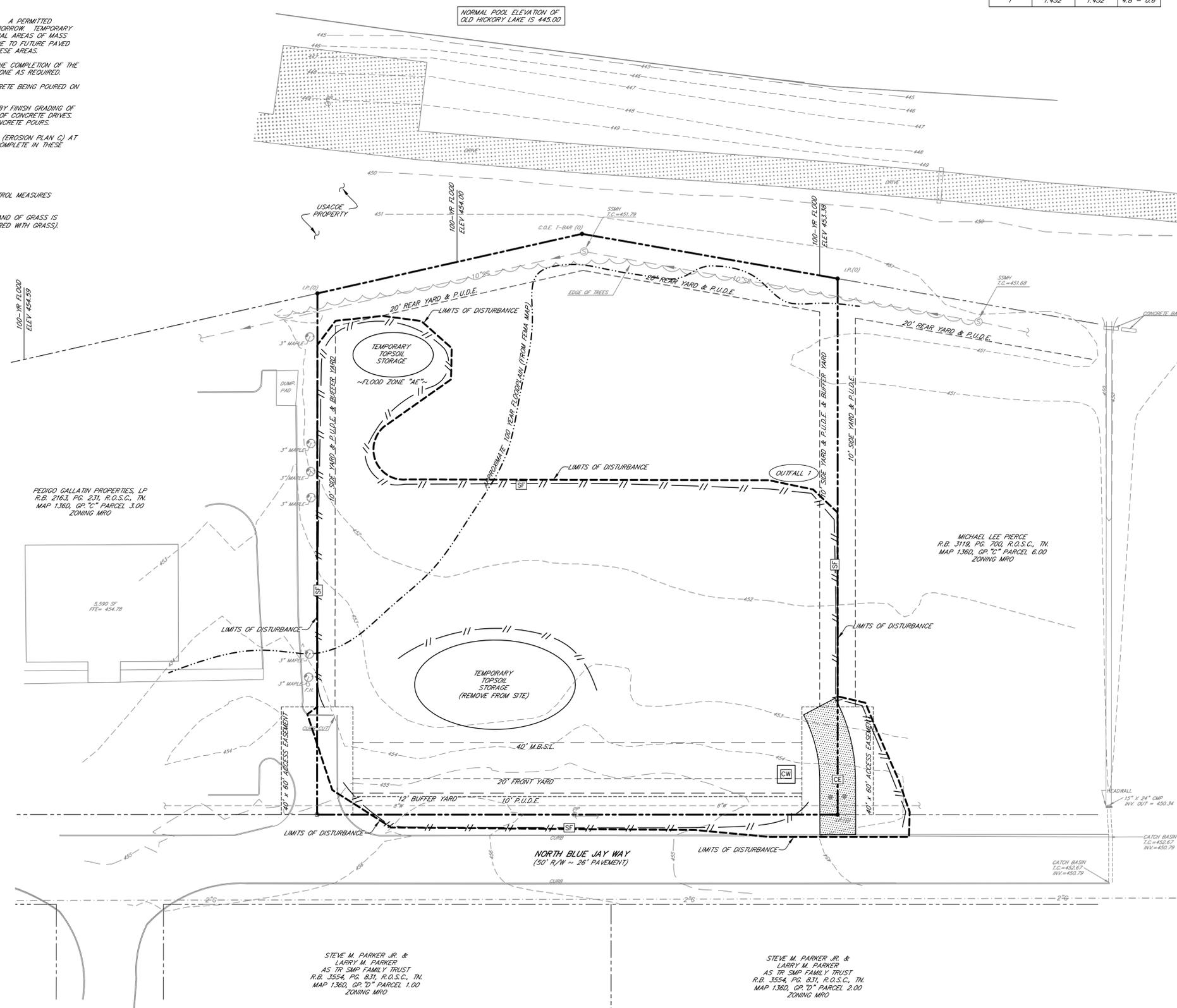
- INSTALL INITIAL EPSC MEASURES INCLUDING CONSTRUCTION EXIT AND TEMPORARY SILT FENCE PER EROSION PLAN A.
- CLEAR & GRUB AREAS TO BE GRADED (GRUBBING IS MINIMAL).
- STRIP TOPSOIL FROM AREAS TO RECEIVE CUT AND FILL (BUILDING PAD, PARKING, BASINS). COMPACT DAILY BY WALKING DOZIER (D-6 OR GREATER) UNTIL TOTAL TOPSOIL STOCKPILE IS IN PLACE. TEMPORARY SEED TOPSOIL STOCKPILE WITHIN 14 DAYS AFTER STOCKPILE IS COMPLETE. INSTALL SILT FENCE AT BASES OF TOPSOIL PILES AFTER STRIPPING PROCESS OR BEFORE A 50% CHANCE OF RAIN.
- REMOVE EXCESS TOPSOIL FROM SITE.
- MASS GRADE SITE. OFFSITE BORROW IS REQUIRED. A PERMITTED OFFSITE BORROW AREA MUST BE USED FOR THIS BORROW. TEMPORARY SEED & MULCH WITHIN 14 DAYS OF WHEN INDIVIDUAL AREAS OF MASS GRADING ARE COMPLETED. ADD 4" OF BASE STONE TO FUTURE PAVED AREAS AS ALTERNATE TO TEMPORARY SEEDING THESE AREAS.
- CONSTRUCT SEGMENTAL BLOCK WALL FOLLOWING THE COMPLETION OF THE MASS GRADING. WALL BACKFILL IS TO BE #57 STONE AS REQUIRED.
- INSTALL THE CONCRETE WASHOUT PRIOR TO CONCRETE BEING POURED ON THE SITE.
- BUILDING CONCRETE IS TO BE POURED FOLLOWED BY FINISH GRADING OF STONE ON CONCRETE DRIVE AREAS AND POURING OF CONCRETE DRIVES. CURB & CURB CUTS WILL BE ADDED WITH THE CONCRETE POURS.
- INSTALL PERMANENT EROSION CONTROL MEASURES (EROSION PLAN C) AT CURB CUTS AS SOON AS CONCRETE POURS ARE COMPLETE IN THESE AREAS.
- INSTALL THE REMAINING UTILITY SERVICES.
- FINISH GRADE BEHIND CURBS.
- INSTALL REMAINDER OF PERMANENT EROSION CONTROL MEASURES (EROSION MAT AND PERMANENT SEED).
- REMOVE TEMPORARY MEASURES ONCE A GOOD STAND OF GRASS IS ESTABLISHED (70% OR ABOVE OF SURFACES COVERED WITH GRASS).

EROSION CONTROL LEGEND:

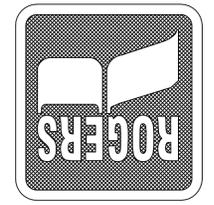
- SF - SILT FENCE
- CE - CONSTRUCTION EXIT
- NAG - NORTH AMERICAN GREEN OR EQUAL
- CW - CONCRETE WASHOUT

OUTFALL CHARACTERISTICS:

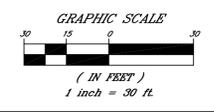
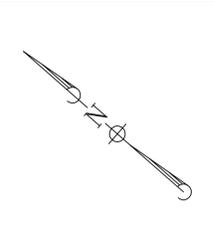
OUTFALL	ACREAGE	DISTURBED ACREAGE	SLOPE %
1	1.452	1.452	4.8 - 0.6



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114B WEST MAIN STREET
Gallatin, Tennessee 37086
TEL: 615-230-7269 FAX: 615-230-7271
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MEDICAL OFFICES FOR BROTHERS RE, LLC
EROSION PREVENTION & SEDIMENT CONTROL PLAN A
865 NORTH BLUE JAY WAY
GALLATIN, 4TH CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE



SHEET NO. C 5.0

REVISIONS
REVISION 1: 2-12-15 PER GPC COMMENTS DATED 2-6-15

PROJECT #	14-051
DATE	26 JANUARY 2015

STEVE M. PARKER JR. & LARRY M. PARKER
AS TR SMP FAMILY TRUST
R.B. 3554, PG. 831, R.O.S.C., TN.
MAP 1360, GP. 71 PARCEL 1.00
ZONING MRO

STEVE M. PARKER JR. & LARRY M. PARKER
AS TR SMP FAMILY TRUST
R.B. 3554, PG. 831, R.O.S.C., TN.
MAP 1360, GP. 71 PARCEL 2.00
ZONING MRO

PERMANENT SEEDING NOTES

1. SEED AND STRAW REQUIRED AS FOLLOWS:
 STRAW: 75 LBS PER 1,000 SQ. FT.
 10-10-10 FERTILIZER: 200 LBS PER ACRE
 SEED: 100 LBS PER ACRE
 AGR LIME: 75 LBS PER 1,000 SQ. FT.
2. PERMANENT SEED ALL AREAS WITHIN 15 DAYS OF FINISH OF TOPSOIL AREAS.
3. SOO TO BE KENTUCKY 31 TURF TYPE FESCUE.
4. NORTH AMERICAN GREEN OR EQUAL ABBREVIATED NAG.

PERMANENT COVER SEEDING MIXTURES

SEEDING DATE	GRASS SEED
FEBRUARY 1 TO JULY 1	KENTUCKY 31 KOREAN LESPEDEZA ENGLISH RYE
JUNE 1 TO AUGUST 15	KENTUCKY 31 KOREAN LESPEDEZA GERMAN MILLET
APRIL 15 TO AUGUST 15	BERMUDAGRASS (HULLED) ANNUAL LESPEDEZA
AUGUST 1 TO DECEMBER 1	KENTUCKY 31 ENGLISH RYE
FEBRUARY 1 TO DECEMBER 1	KENTUCKY 31 CROWN VETCH ENGLISH RYE

NAG DESIGNATIONS:

- NAG A** NAG SC150
328 SF
STAPLE "D"
- NAG B** NAG SC150
462 SF
STAPLE "D"

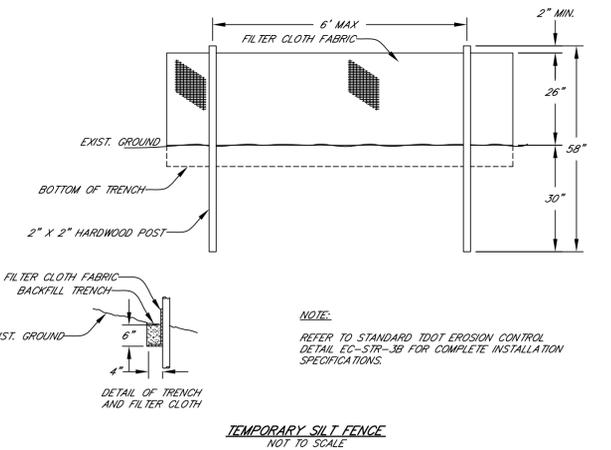
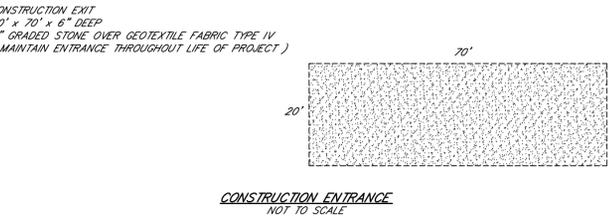
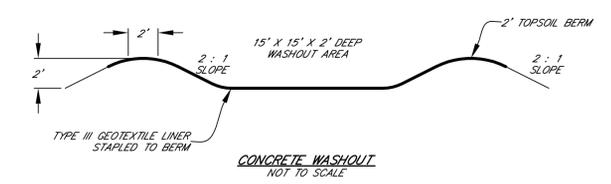
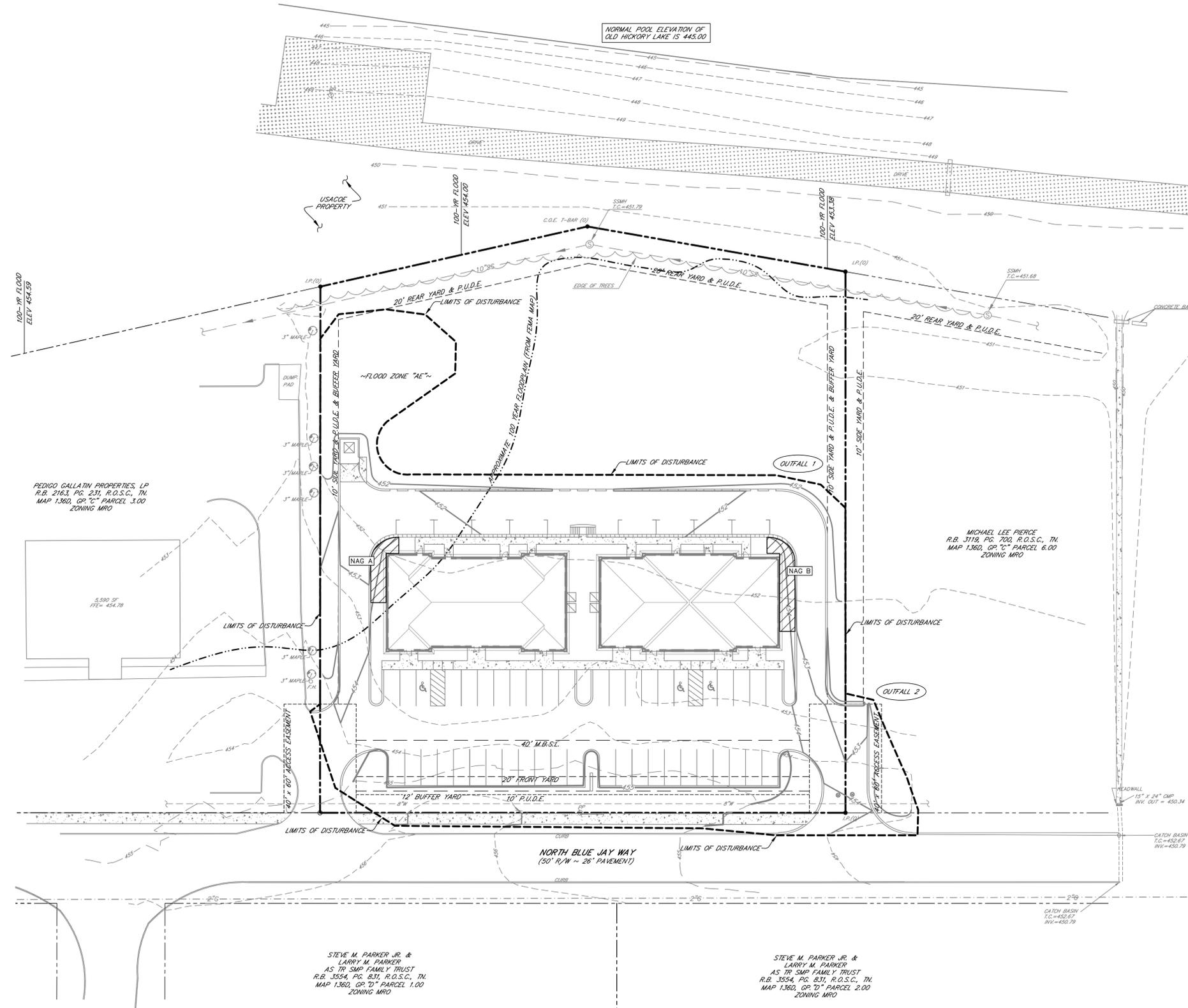
ALL GRASS SLOPES 3:1 OR GREATER TO BE STABILIZED WITH NAG SC150 STAPLE PATTERN "D".

EROSION CONTROL LEGEND:

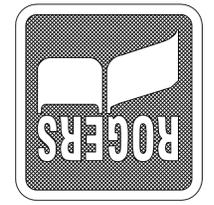
- SF - SILT FENCE
 CE - CONSTRUCTION EXIT
 NAG - NORTH AMERICAN GREEN OR EQUAL

OUTFALL CHARACTERISTICS:

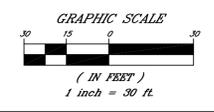
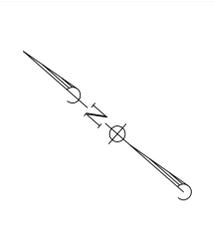
OUTFALL	ACREAGE	DISTURBED ACREAGE	SLOPE %
1	1.452	0	0.67%
2	0.040	0	5.0-0.0%



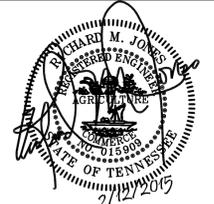
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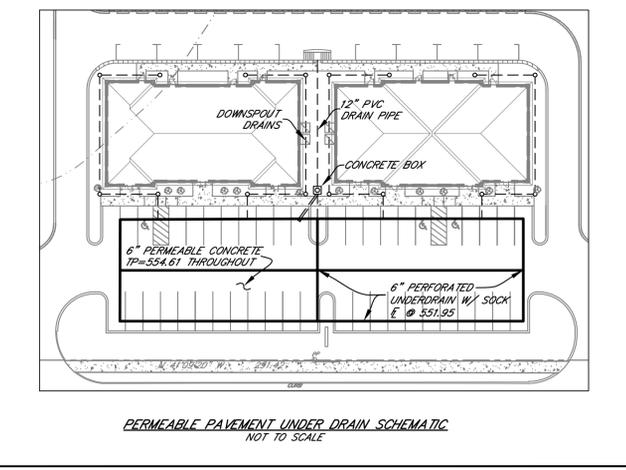
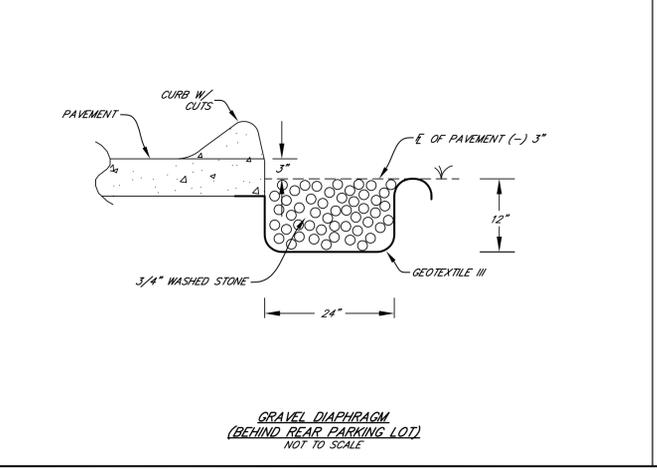
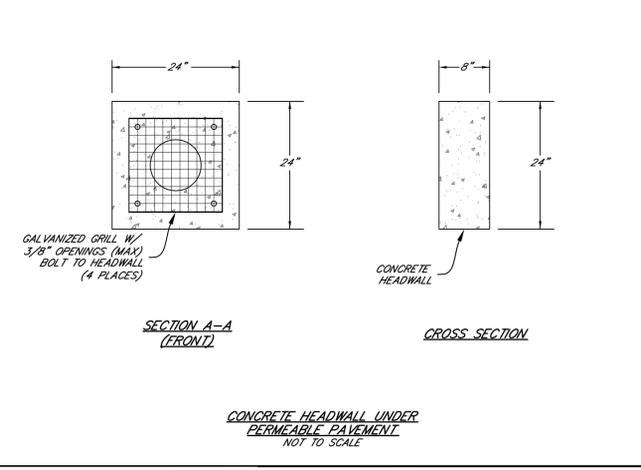
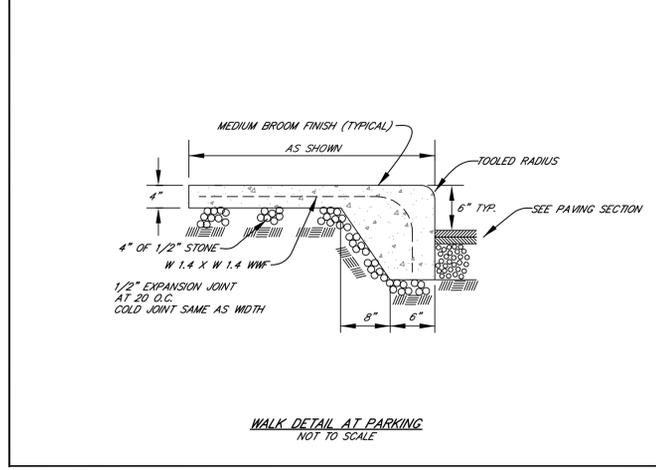
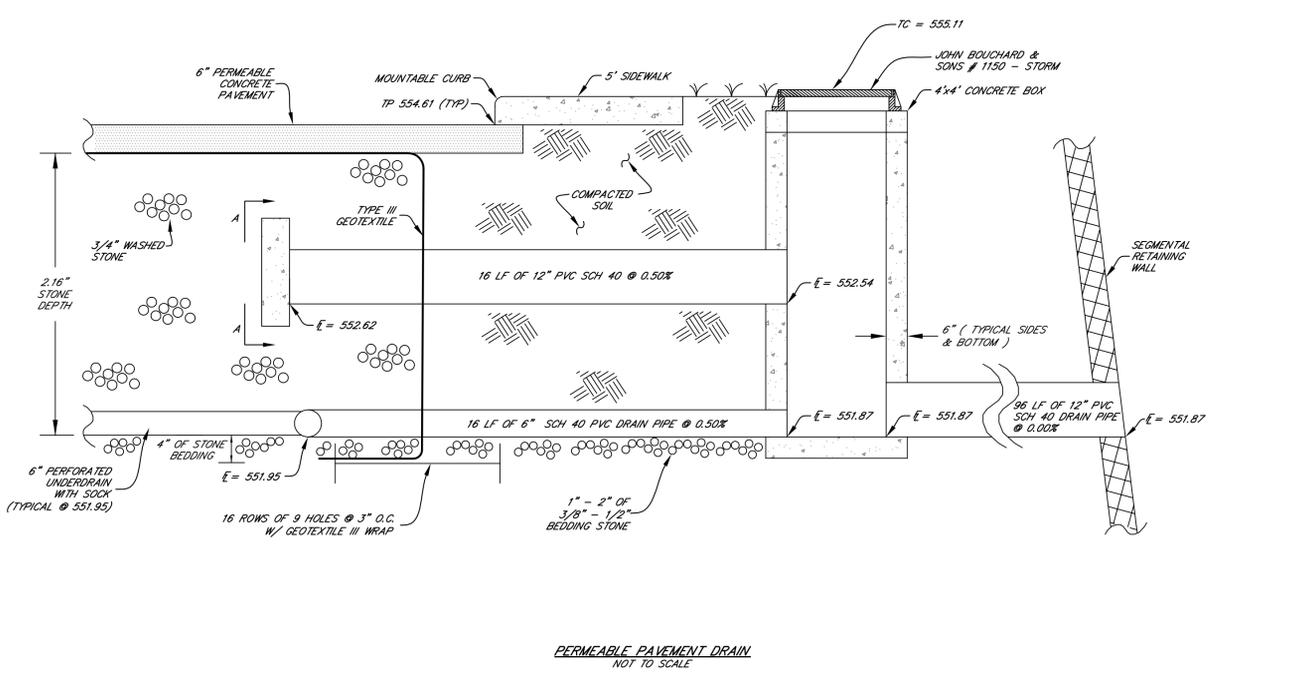
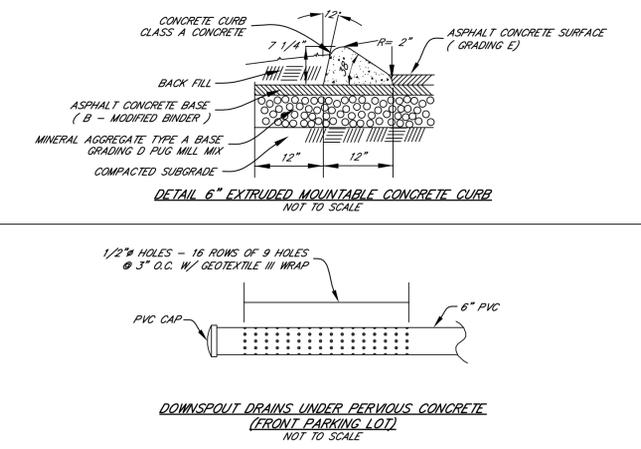
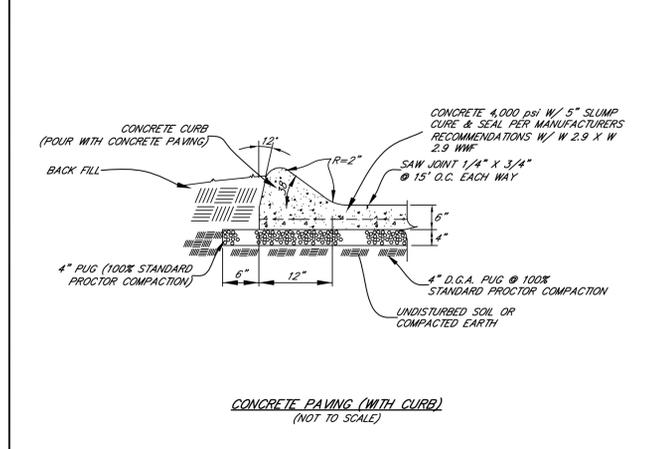
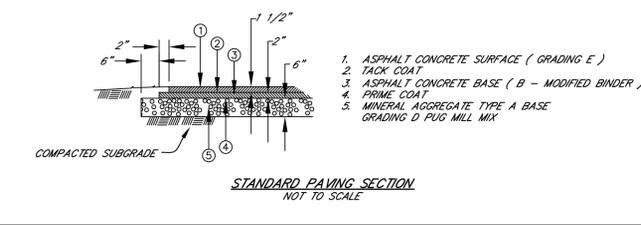
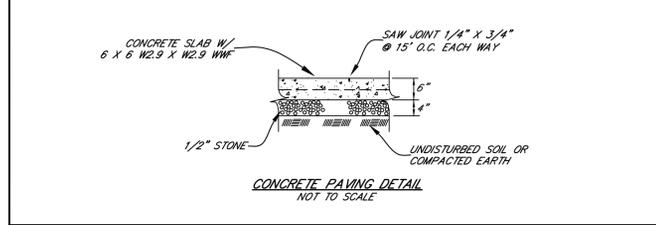
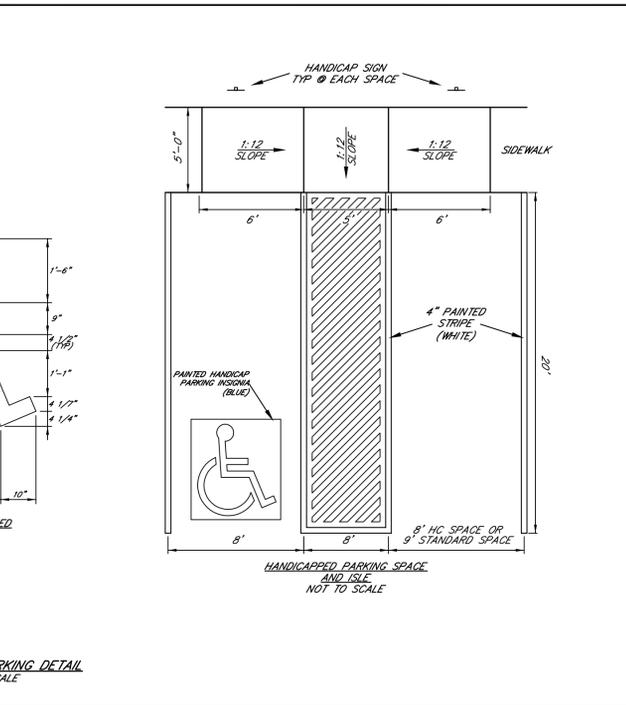
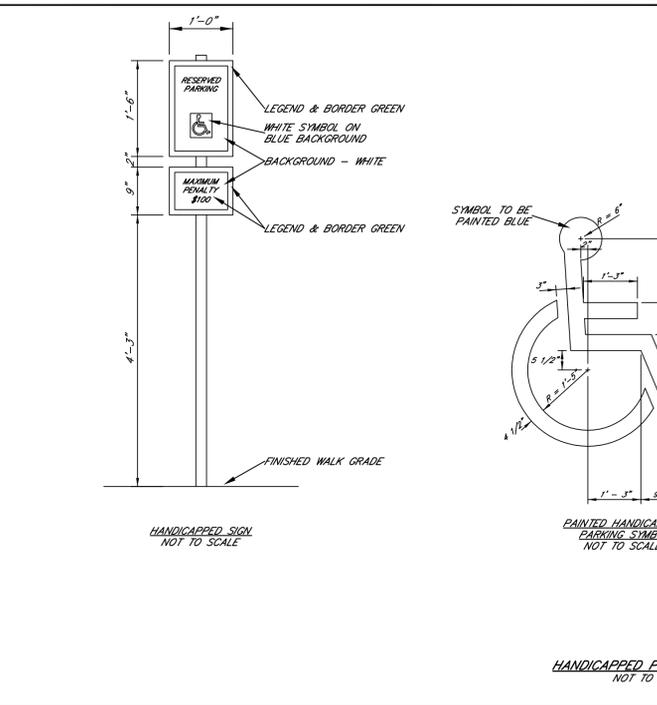
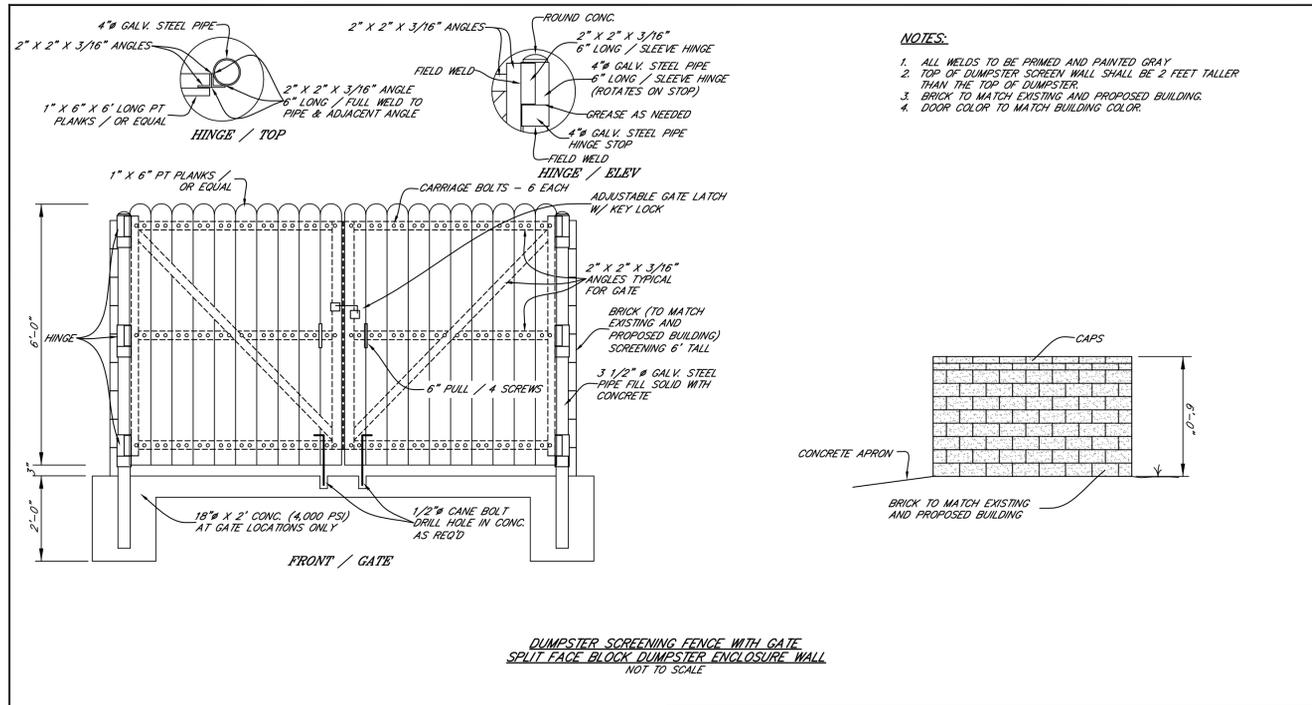
SHEET NO. C 6.0

REVISIONS
 REVISION 1: 2-12-15 PER GPC COMMENTS DATED 2-6-15

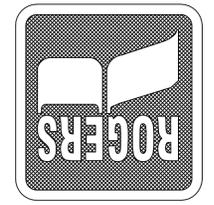
PROJECT #	14-051
DATE	26 JANUARY 2015

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 MAP 1360, GP "D" PARCEL 1.00
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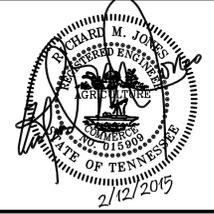


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 SUMNER COUNTY, TENNESSEE



SHEET NO. C7.0

REVISIONS
 REVISION 1: 2-12-15 PER GPC COMMENTS DATED 2-6-15

PROJECT #	14-051
DATE	26 JANUARY 2015

ITEM 5

GMRPC Resolution No. 2015-18

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A SITE PLAN TO CONSTRUCT A 5,035 SQUARE FOOT BUILDING ON LOT 1 OF THE WOODLANDS BUSINESS PARK, PHASE 2, CONTAINING 1.00 (+/-) ACRES, ZONED INDUSTRIAL RESTRICTIVE (IR), LOCATED AT 326 OLD AIRPORT ROAD. (8-280-15)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Site Plan submitted by the applicant, Mid-Tenn Engineering Company, at its regular meeting on February 23, 2015; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-3-413, 13-4-310, and G.Z.O., § 15.03.020:

1. The Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance provided a variance is granted for the building setback.
2. The proposed Site Plan is consistent with the purpose and intent of the Industrial Restrictive (IR) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning District.
3. Once completed, the proposed Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), Flood Prevention and Protection Regulations (G.Z.O., Section 10.03) and the Landscaping Requirements (Section 13.05).
4. The Site Plan is consistent with the Final Plat for The Woodlands Business Park, Phase 2 Subdivision.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approve the Site Plan for The Woodlands Business Park, Phase 2, Lot 1 Building, consisting of nine (9) sheets, prepared by

Mid-Tenn Engineering Co. of Lafayette, TN with Job No.839401 dated January 26, 2015 with a final revision date of February 12, 2015, and Architectural Elevations, consisting of seven (7) sheets, prepared by Stamps Design Group, Inc of Cookeville, TN with Job No. SDG 1426 dated January 13, 2015 with a final revision date of February 12, 2015 with the following conditions:

1. Site Plan is subject to approval of the variance request for TSI Construction, LLC (B-282-15)
2. Submit a site surety for site improvements in an amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits per Article 15.00 Administration and Enforcement, Section 15.03.080, Surety Required, Gallatin Zoning Ordinance.
3. On the northern portion of the property, the proposed spot shots do not match up with the proposed 525 contour, please correct.
4. Provide a copy of a signed and recorded Stormwater Inspection and Maintenance Agreement prior to final plan approval.
5. The time of concentration for basin 1A appears high, please correct/clarify.
6. Provide pond input data sheet.
7. Post Development Drainage Map appears to have labels for basins 1A and 1B swapped, please correct/clarify.
8. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 2/23/15

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 5 PLANNING DEPARTMENT STAFF REPORT

Site Plan for TSI Construction, LLC

(8-280-15)

326 Old Airport Road

Date: February 10, 2015

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A SITE PLAN TO CONSTRUCT A 5,035 SQUARE FOOT BUILDING ON LOT 1 OF THE WOODLANDS BUSINESS PARK, PHASE 2 SUBDIVISION, CONTAINING 1.00 (+/-) ACRES. THE PROPERTY IS ZONED INDUSTRIAL RESTRICTIVE (IR) AND LOCATED AT 326 OLD AIRPORT ROAD.

OWNER: R T PROPERTIES

APPLICANT: MID-TENN ENGINEERING CO.

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2015-18 WITH CONDITIONS

STAFF CONTACT: DENISE BROWN

PLANNING COMMISSION DATE: FEBRUARY 23, 2015

PROPERTY OVERVIEW: The owner and applicant is requesting approval of a Site Plan to construct a 5,035 square foot building on Lot 1 of the Woodlands Business Park, Phase 2 subdivision, containing 1.00 (+/-) acres located at 326 Old Airport Road. The property is zoned Industrial Restrictive (IR). The proposed office and warehouse is a permitted use in the IR zone district. (Attachment 5-1)

The architectural elevations for the building do not meet the Basic Design Criteria of the Gallatin Zoning Ordinance, Section 13.08.010.A, *Materials*, since the building is shown to be constructed with metal panels and will not contain the required 70 percent brick or stone on each building facade (Attachment 5-2). The owner and applicant are requesting approval of an alternative architectural plan per Section 13.08.010.B, *Compatibility with Adjacent Buildings* of the Gallatin Zoning Ordinance. The Planning Commission shall determine whether the proposed plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.

CASE BACKGROUND:

Previous Approvals

On January 27, 2014, Planning Commission approved a Final Plat for The Woodlands Business Park, Phase 2, to subdivide the property into four (4) lots. The plat was never recorded.

On September 16, 2014, the owner and applicant submitted an application for a Minor Subdivision Plat to the Planning Department for review and approval. The purpose of the

plat was to create a two (2) lot subdivision which includes the applicant's lot. The Minor Subdivision Plat was approved administratively and recorded on October 24, 2014, (PB 28, PG 242). (Attachment 5-3)

DISCUSSION:

Proposed Development

The owner and applicant are requesting approval of a site plan to construct a 5,035 square foot building to be used as office space and warehousing for an existing construction company. The building is a narrow rectangular shape with two (2) different building heights to differentiate the office space from the warehouse. The front portion of the building (1,104 square feet) will be used for the office space and the rear portion (3,931 square feet) will be utilized as the warehouse.

The property contains two (2) large utility easements which restricts the size of the building envelope and makes it challenging to situate a building on the property. As proposed, the front (northeast corner) of the building encroaches, a maximum of ten (10) feet into the 55 foot minimum building setback line. The owner and applicant have submitted an application for a variance to the Municipal Board of Zoning Appeals for the February 26, 2015 meeting.

Floodplain and Floodway

No portion of this property is located in a special flood hazard area.

Buildings and Architectural Elevations

Section 13.08.010.A of the Gallatin Zoning Ordinance requires buildings to be constructed with 70 percent brick or stone in an Industrial Restrictive (IR) zoned district. All three (3) façades surrounding the office space will be constructed of 100 percent brick veneer; however, the owner and applicant propose to install metal wall panels on the warehouse portion of the building. The proposed building design will exceed the standards of most of the existing buildings located within The Woodlands Business Park. The vast majority of existing industrial buildings located in this area are constructed with metal panels in the early 2000's.

The color of the proposed brick veneer is "Brown Range" with "White" trim around the windows and doors. There are three (3) double hung windows on the east elevation, facing Old Airport Road, one (1) on the south side elevation and two (2) on the north side elevation. The entrance to the office consists of double glass doors on the north side elevation.

The warehouse portion of the building will be constructed of "Gray" metal siding on all sides. Two (2) "White" overhead doors and two (2) "White" single hinged doors are shown on the north side elevation.

The building consists of two (2) roof heights separating the office and warehouse, which adds an architectural appeal to the building. A gable roof constructed of "Charcoal" metal panels is shown over both roofs. The proposed roof height over the office is 14 ½ feet at

the highest peak and 19 feet over the warehouse. A "White" gable vent is shown on the front elevation.

The architectural elevations for the building do not meet the Basic Design Criteria of the Gallatin Zoning Ordinance, Section 13.08.010.A, *Materials*, since the building is shown to be constructed with metal panels and will not contain the required 70 percent brick or stone on each building facade. The owner and applicant are requesting approval of an alternative architectural plan per Section 13.08.010.B, *Compatibility with Adjacent Buildings* of the Gallatin Zoning Ordinance. The Planning Commission shall determine whether the proposed plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.

The Planning Department shall inspect the exterior building facade materials prior to the installation of the exterior building facade materials.

Dumpster Enclosure

The owner and applicant have indicated a dumpster pad located in the northwest corner of the lot that will be screened with "Gray" split faced CMU.

Bufferyard and Landscaping

The adjoining properties and properties across Old Airport Road are zoned Industrial Restrictive (IR). No bufferyard is required in the IR zoned district. Since no parking area will be located adjacent to Old Airport Road no parking screening is required.

Easements for Drainage and Retention/Utilities

The property is encumbered by two (2) large utility lines extending through the property. An existing 42 inch storm drain which includes a 20 foot easement, extends between the opposite side of Old Airport Road in a diagonal direction towards the southwest corner of the property, where it drains area properties. The plans indicate, 16 linear feet will be added to the storm drain. A stormwater detention pond and structure will be constructed to capture the stormwater runoff from the site and then be conveyed to the 42 inch drainage pipe. The owner and applicant shall work closely with the Engineering Division to ensure proper installation of the storm drain extension and stormwater detention structure.

There is an existing eight (8) inch sewer main with a 20 foot easement that also extends diagonally through the northwest portion of the property. The majority of the rear of the property is unbuildable due to utility and drainage easements. The applicant shall comply with all applicable cross-connection regulations.

Mechanical Equipment Screening

The owner and applicant have shown "green giant arborvitae" screening around the HVAC unit located on the south, side elevation.

Parking

Parking requirements are based on the use of the property. The Office and Warehousing use refers to Schedule 'A' which requires one (1) space per 300 square feet of office activity and one (1) space per 5,000 square feet of warehousing. Based on these calculations, five (5) parking spaces are required. The site plan indicates five (5) parking

spaces which includes one (1) van accessible handicapped space which complies with the minimum number of parking spaces, including handicap accessible parking requirements, required by G.Z.O., Section 11.03, *Schedule of Off-Street Parking Requirements* and Section 11.07, *Handicapped Parking*.

Access and Right-of-Way

Lot 1 of The Woodlands Business Park, Phase 2 is accessed to/from Old Airport Road with a 24 foot wide driveway on the northeast corner of the property. The Old Airport Road right-of-way to the edge of pavement in front of this property varies between 40 and 60 feet. The driveway and parking area will be constructed of concrete and allows for maneuvering into or out of the space to occur outside of any public street. The parking area and driveway is sufficient in size with ample space for delivery trucks to comfortably maneuver in and out of the loading dock area as required by Gallatin Zoning Ordinance Section, 11.10.020.E.

Photometric Plan and Lighting Fixtures

Wall mounted security lighting will be installed on the building. The owner and applicant submitted a detailed photometric plan which complies with the City of Gallatin Zoning Ordinance, Section 13.02.08.

Signage

No signage is proposed at this time. If any signage is added in the future a detailed sign package shall be submitted for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.

Site Surety

The owner and applicant is required to submit a site surety for site improvements in an amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits per Article 15.00 *Administration and Enforcement*, Section 15.03.080, *Surety Required*, Gallatin Zoning Ordinance.

Planning Department Comments

The Planning Department reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed the Planning Department comments. In addition, the owner and applicant shall:

1. Site Plan is subject to approval of the variance request for TSI Construction LLC (B-282-15)
2. Submit a site surety for site improvements in an amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits per Article 15.00 Administration and Enforcement, Section 15.03.080, Surety Required, Gallatin Zoning Ordinance.

Engineering Division Comments

The Engineering Division reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed most of the Engineering comments. In addition, the owner and applicant shall be aware of the following items indicated below:

1. On the northern portion of the property, the proposed spot shots do not match up with the proposed 525 contour, please correct.
2. Provide a copy of a signed and recorded Stormwater Inspection and Maintenance Agreement prior to final plan approval.

Drainage Calculations

1. The time of concentration for basin 1A appears high, please correct/clarify.
2. Provide pond input data sheet.
3. Post Development Drainage Map appears to have labels for basins 1A and 1B swapped, please correct/clarify.

Other Departmental Comments

Other City Departments reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed the other City Department comments; however, applicant shall comply with all applicable cross-connection regulations.

Findings:

1. The Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, and Section 11.10.020.E, *Dimensions and Design Standards*, of the Gallatin Zoning Ordinance provided a variance is granted for minimal building setbacks.
2. The Site Plan is consistent with the purpose and intent of the Industrial Restrictive (IR) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning District.
3. Once completed, the proposed Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), Flood Prevention and Protection Regulations (G.Z.O., Section 10.03) and the Landscaping Requirements (Section 13.05).
4. The site plan is consistent with the Final Plat for The Woodlands Business Park, Phase 2.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2015-18, Site Plan for TSI Construction LLC, consisting of nine (9) sheets, prepared by Mid-Tenn Engineering Co. of Lafayette, TN with Job No.839401 dated January 26, 2015 with a final revision date of February 12, 2015, and Architectural Elevations, consisting of seven (7) sheets, prepared by Stamps Design Group, Inc of Cookeville, TN with Job No. SDG 1426 dated January 13, 2015 with a final revision date of February 12, 2015 with the following conditions:

1. Site Plan is subject to approval of the variance request for TSI Construction, LLC (B-282-15)
2. Submit a site surety for site improvements in an amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits per Article 15.00 Administration and Enforcement, Section 15.03.080, Surety Required, Gallatin Zoning Ordinance.
3. On the northern portion of the property, the proposed spot shots do not match up with the proposed 525 contour, please correct.
4. Provide a copy of a signed and recorded Stormwater Inspection and Maintenance Agreement prior to final plan approval.
5. The time of concentration for basin 1A appears high, please correct/clarify.
6. Provide pond input data sheet.
7. Post Development Drainage Map appears to have labels for basins 1A and 1B swapped, please correct/clarify.
8. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

ATTACHMENTS

Attachment 5-1 Location Map

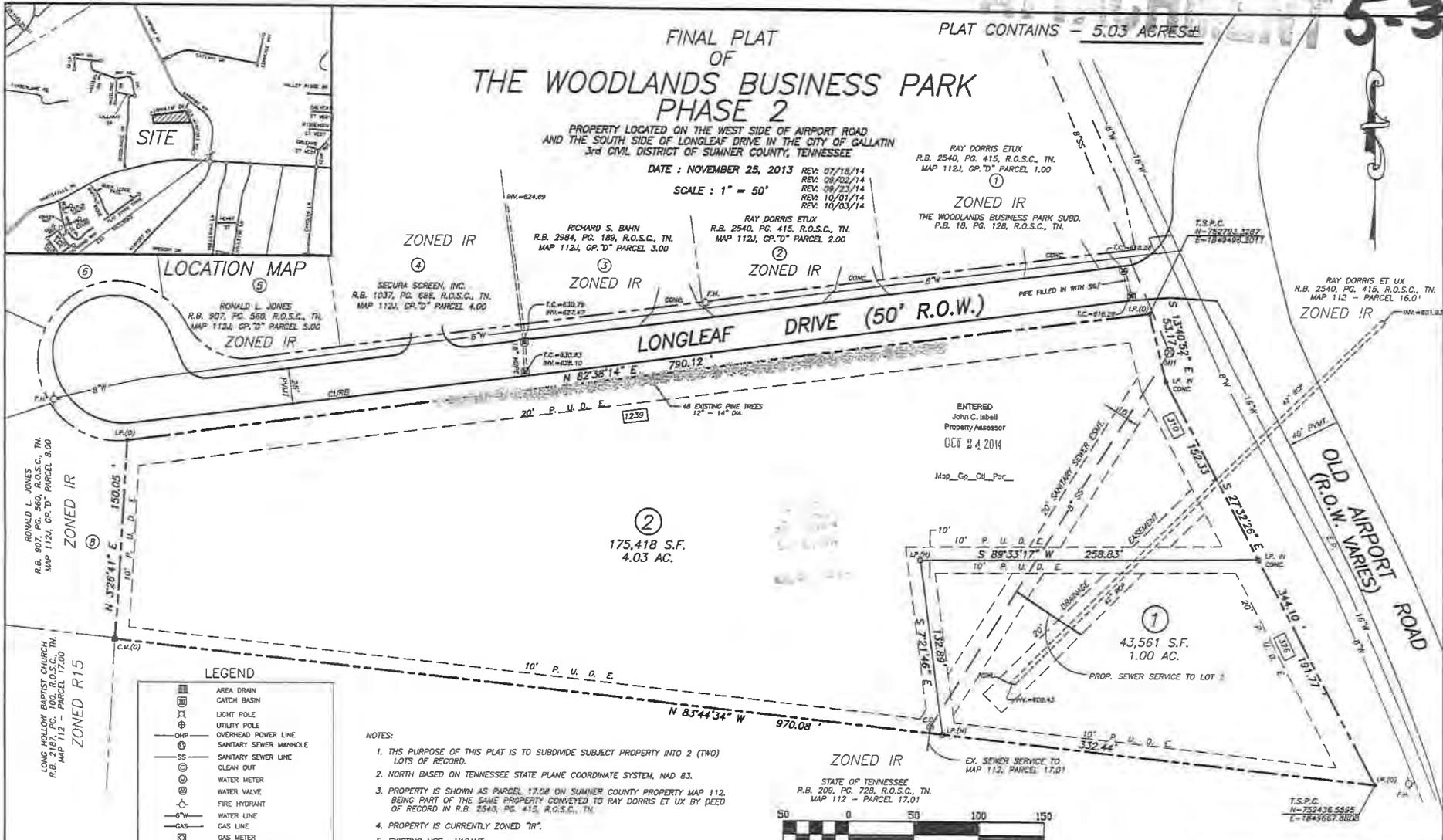
Attachment 5-2 Site Plan and Architectural Elevations

Attachment 5-3 The Woodlands Business Park, Phase 2 - Final Plat

TSI Construction, LLC
326 Old Airport Road, 112//017.08
Zoned Industrial Restrictive (IR)
PC File # 8-280-15



ATTACHMENT 5-1



FINAL PLAT OF THE WOODLANDS BUSINESS PARK PHASE 2

PROPERTY LOCATED ON THE WEST SIDE OF AIRPORT ROAD AND THE SOUTH SIDE OF LONGLEAF DRIVE IN THE CITY OF GALLATIN 3rd CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE : NOVEMBER 25, 2013
 SCALE : 1" = 50'

PLAT CONTAINS - 5.03 ACRES±

LOCATION MAP

RONALD L. JONES
 R.B. 907, PG. 560, R.O.S.C., TN.
 MAP 1124, GP. "D" PARCEL 5.00
 ZONED IR

ZONED IR

RICHARD S. BAHN
 R.B. 2984, PG. 189, R.O.S.C., TN.
 MAP 1124, GP. "D" PARCEL 3.00

RAY DORRIS ET UX
 R.B. 2540, PG. 415, R.O.S.C., TN.
 MAP 1124, GP. "D" PARCEL 2.00

RAY DORRIS ET UX
 R.B. 2540, PG. 415, R.O.S.C., TN.
 MAP 1124, GP. "D" PARCEL 1.00

ZONED IR
 THE WOODLANDS BUSINESS PARK SUBD.
 P.B. 18, PG. 128, R.O.S.C., TN.

T.S.P.C.
 N-752791 3287
 E-1849492 2071

RAY DORRIS ET UX
 R.B. 2540, PG. 415, R.O.S.C., TN.
 MAP 112 - PARCEL 16.0'
 ZONED IR

LONGLEAF DRIVE (50' R.O.W.)

ENTERED
 John C. Ibbell
 Property Assessor
 OCT 24 2014

Map_Go_Ch_Par_

OLD AIRPORT ROAD
 (R.O.W. VARIES)

175,418 S.F.
 4.03 AC.

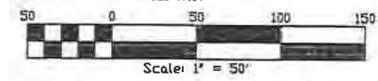
43,561 S.F.
 1.00 AC.

LEGEND

- AREA DRAIN
- CATCH BASIN
- LIGHT POLE
- UTILITY POLE
- OVERHEAD POWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER LINE
- CLEAN OUT
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- 6" W. WATER LINE
- GAS LINE
- GAS METER
- GAS VALVE
- PHONE MANHOLE
- CONC. MONUMENT
- IRON PIN (OLD)
- IRON PIN (NEW)
- 422 CONTOUR LINE (EXISTING)
- 422 CONTOUR LINE (PROPOSED)
- FENCE LINE

NOTES:

1. THIS PURPOSE OF THIS PLAT IS TO SUBDIVIDE SUBJECT PROPERTY INTO 2 (TWO) LOTS OF RECORD.
2. NORTH BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM, NAD 83.
3. PROPERTY IS SHOWN AS PARCEL 17.08 ON SUMNER COUNTY PROPERTY MAP 112, BEING PART OF THE SAME PROPERTY CONVEYED TO RAY DORRIS ET UX BY DEED OF RECORD IN R.B. 2540, PG. 415, R.O.S.C., TN.
4. PROPERTY IS CURRENTLY ZONED "IR".
5. EXISTING USE : VACANT
 PROPOSED USE : VACANT (TEMPORARY)
6. ACCORDING TO F.I.R.M. FLOOD MAP NO. 47165CD318G AND 47165CO319G, DATED 4-17-12, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA.
7. [1239] DENOTES STREET ADDRESS.
8. EACH LOT WILL BE RESPONSIBLE FOR MEETING THE CURRENT STORMWATER MANAGEMENT REQUIREMENTS AT THE TIME OF EACH F.I.R.M.P. APPROVAL.



OWNER :
 DAVIS RAY DORRIS ET UX
 P.O. BOX 971
 GALLATIN, TN. 37066

Phonela L. Whitaker, Registrar
 Sumner County Register
 Rec #: 842800 Instrument #: 1099751
 Rec'd #: 15.00 Received
 State #: 0.00 10/24/2014 at 2:20 PM
 Clerk: 0.00 in Plat Book
 Other: 2.00
 Total: 17.00
 Pg 242-242

CERTIFICATE OF STAFF CERTIFICATION

10-22-14 DATE
 [Signature] CITY CLERK

CERTIFICATE OF OWNERSHIP & DEDICATION	CERTIFICATE OF SURVEY ACCURACY	CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS	CERTIFICATE OF THE APPROVAL OR SURVEY FOR COMPLETION OF ROADS	CERTIFICATE OF APPROVAL FOR RECORDING	RECORD
<p>I (We) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in book number 2562 page 415 R.O.S.C., TN, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.</p> <p>DATE: 10/16/2014 OWNER: Davis Ray Dorris 10/06/2014 TITLE: Owner</p>	<p>I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Subdivision Regulations and that the same or will be placed in accordance with the specifications of the said regulations.</p> <p>I hereby certify that the survey is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Subdivision Regulations.</p> <p>REGISTERED: [Signature] DATE: 10-6-14</p>	<p>I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled "The Woodlands Business Park Phase 2" have been installed in accordance with current local and state government requirements, or a sufficient surety or cash has been filed which will guarantee said installation.</p> <p>WATER SYSTEM: 10/10/14 Date: [Signature] Superintendent of Public Utilities, Gallatin, Tennessee SEWER SYSTEM: 10/10/14 Date: [Signature] Superintendent of Public Utilities, Gallatin, Tennessee</p>	<p>I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance surety has been posted with the Planning Commission to assure completion of all required improvements in case of default.</p> <p>DATE: 10/14/14 [Signature] CITY ENGINEER</p>	<p>I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register.</p> <p>10-21-14 Date: [Signature] Secretary, Planning Commission 10-21-14 Date: [Signature] Chairman's Initials</p>	<p>Recorded _____, 2014 in Book _____ Page _____ of the Register's Office, Sumner Co., TN.</p> <p>PREPARED BY : Bruce Rainey LAND DEVELOPMENT CONSULTANTS 115 MARBLE BOW BLVD. HENRIEVILLE, TN. 37075 Phone 615-822-0012 Fax 615-821-1467</p> <p>JOB NO. 090099</p>

PC 0841-14

--CONSTRUCTION PLANS--

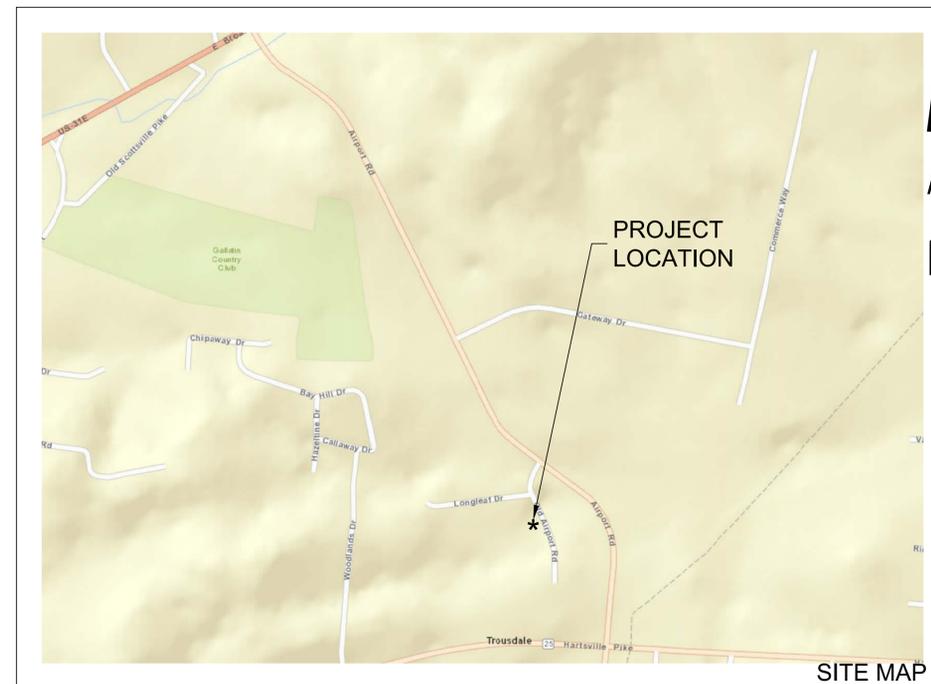
TSI CONSTRUCTION & ROOFING, LLC

326 OLD AIRPORT RD. OFFICE SITE PLAN

GALLATIN, TENNESSEE

INDEX OF DRAWINGS

<u>DESCRIPTION</u>	<u>SHEET</u>
TITLE SHEET	T1
EXISTING SITE PLAN	C1
PROPOSED SITE PLAN	C2
PROPOSED GRADING PLAN	C3
PROPOSED UTILITY PLAN	C4
PROPOSED PHOTOMETRIC PLAN	C5
STANDARD SITE DETAILS	C6
STANDARD SITE DETAILS	C7
STANDARD UTILITY DETAILS	C8



OWNER APPROVAL

APPROVED *Jerry Tuck* DATE 1-26-15

MR. TONY TUCK



**MID - TENN
ENGINEERING CO.**

648 HIGHWAY 52 BYPASS W.
LAFAYETTE, TN (615) 666-2385



LONGLEAF DR.

BENCHMARK	DESCRIPTION	NORTHING	EASTING	ELEVATION
BM#1	PK NAIL IN WESTERN EOP OF OLD AIRPORT RD.	752.606.7826	1.849.646.4058	625.00
BM#2	PK NAIL IN EASTERN EOP OF OLD AIRPORT RD.	752.443.7402	1.849.755.2006	630.24
BM#3	SPIKE IN POWER POLE (NOT SHOWN)	752.370.9385	1.849.812.3877	631.41

NOTES: COORDINATES AND ELEVATIONS ARE BASED ON TENNESSEE STATE PLANE.

BOUNDARY LINES AND PROPERTY OWNERS TAKEN FROM SURVEY BY BRUCE RAINEY AND ASSOC. ON NOVEMBER 25, 2013.

EXIST. UTILITIES SHOWN ARE APPROXIMATELY LOCATED FROM INFORMATION PROVIDED BY THE GALLATIN UTILITY DEPT. OF PUBLIC WORKS. CONTRACTOR SHALL VERIFY ACTUAL UTILITY EXISTENCE AND LOCATION BY CALLING THE TENNESSEE ONE CALL CENTER (TEL. NO. 811) AT LEAST 72 HOURS PRIOR TO BEGINNING SITE CONSTRUCTION.

SYMBOL	DESCRIPTION
	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	EXISTING SEWER MAIN
	EXISTING WATER MAIN
	EXISTING OVERHEAD POWER
	EXISTING STORM DRAIN
	EXISTING OVERHEAD TELEPHONE
	EXISTING GAS MAIN
	EXISTING EDGE OF PAVEMENT
	MINIMUM BUILDING SETBACK LINE
	PUBLIC UTILITY AND DRAINAGE EASEMENT
	SIDE YARD SETBACK
	EXISTING SEWER MANHOLE
	EXISTING POWER POLE
	EXISTING IRON ROD (OLD)
	EXISTING BENCHMARK

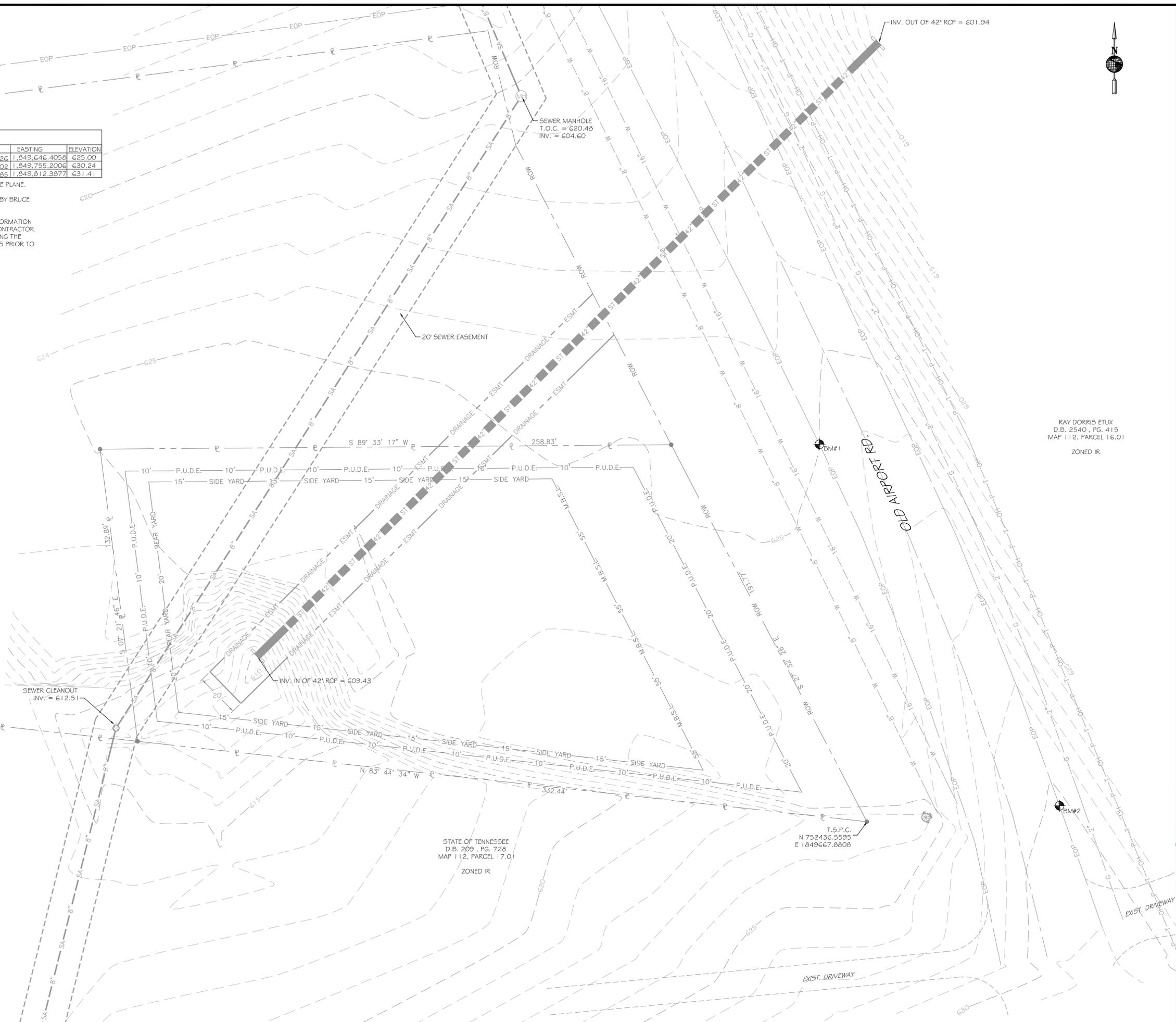
RAY DORRIS ETUX
D.B. 2540, PG. 415
MAP 112, PARCEL 17.08
ZONED IR

CALL BEFORE YOU DIG

UTILITIES PROTECTION CENTER
IN
TENNESSEE
CALL
811
THREE WORKING DAYS BEFORE YOU DIG



IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN IN THESE PLANS IS APPROXIMATE AND POSSIBLY INCOMPLETE.



RAY DORRIS ETUX
D.B. 2540, PG. 415
MAP 112, PARCEL 16.01
ZONED IR

STATE OF TENNESSEE
D.B. 209, PG. 728
MAP 112, PARCEL 17.01
ZONED IR

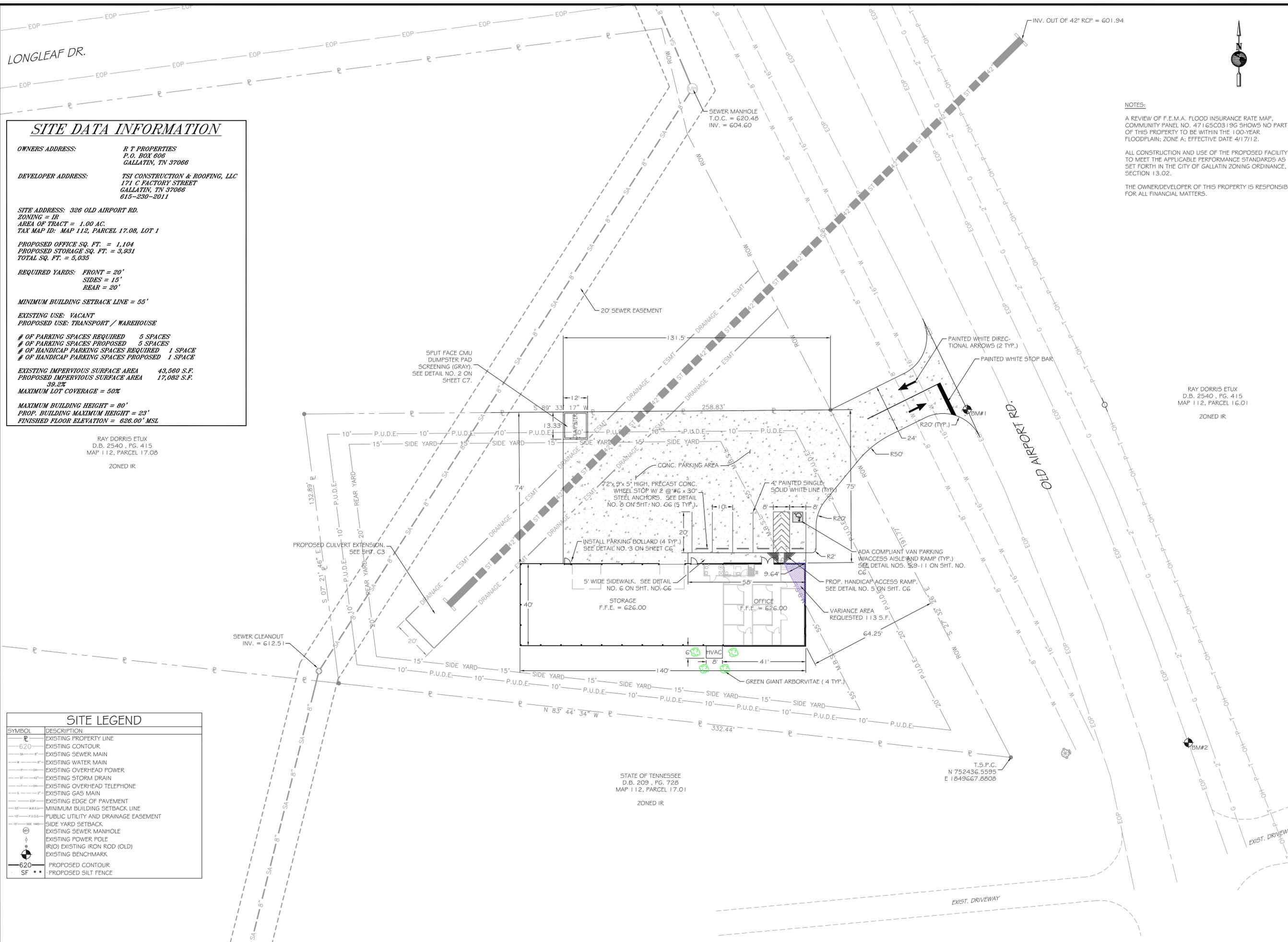
T.S.P.C.
N 752436.5595
E 1849667.8808



<p>MID - TENN ENGINEERING CO. 648 HIGHWAY 52 BYPASS W. LAFAYETTE, TN (615) 666-5365</p>	
<p>TSI CONSTRUCTION & ROOFING, LLC GALLATIN, TENNESSEE</p>	
<p>EXISTING SITE PLAN</p>	
<p>CREATED BY: E.J.W.</p>	<p>DATE: 1-26-15</p>
<p>DRAWN BY: E.J.W.</p>	<p>SCALE: 1" = 20'</p>
<p>NO. 1</p>	<p>DATE: 2-11-15</p>
<p>DESCRIPTION: REVISED PER PLANNING COMMENTS</p>	<p>BY: E.J.W.</p>
<p>REVISIONS</p>	<p>CHKD: E.J.W.</p>



SHEET
C1



SITE DATA INFORMATION

OWNERS ADDRESS: R T PROPERTIES
P.O. BOX 606
GALLATIN, TN 37066

DEVELOPER ADDRESS: TSI CONSTRUCTION & ROOFING, LLC
171 C FACTORY STREET
GALLATIN, TN 37066
615-230-2011

SITE ADDRESS: 326 OLD AIRPORT RD.
ZONING = IR
AREA OF TRACT = 1.00 AC.
TAX MAP ID: MAP 112, PARCEL 17.08, LOT 1

PROPOSED OFFICE SQ. FT. = 1,104
PROPOSED STORAGE SQ. FT. = 3,931
TOTAL SQ. FT. = 5,035

REQUIRED YARDS: FRONT = 20'
SIDES = 15'
REAR = 20'

MINIMUM BUILDING SETBACK LINE = 55'

EXISTING USE: VACANT
PROPOSED USE: TRANSPORT / WAREHOUSE

OF PARKING SPACES REQUIRED 5 SPACES
OF PARKING SPACES PROPOSED 5 SPACES
OF HANDICAP PARKING SPACES REQUIRED 1 SPACE
OF HANDICAP PARKING SPACES PROPOSED 1 SPACE

EXISTING IMPERVIOUS SURFACE AREA 43,560 S.F.
PROPOSED IMPERVIOUS SURFACE AREA 17,082 S.F.
39.2%
MAXIMUM LOT COVERAGE = 50%

MAXIMUM BUILDING HEIGHT = 80'
PROP. BUILDING MAXIMUM HEIGHT = 23'
FINISHED FLOOR ELEVATION = 626.00' MSL

RAY DORRIS ETUX
D.B. 2540, PG. 415
MAP 112, PARCEL 17.08
ZONED IR

SITE LEGEND

SYMBOL	DESCRIPTION
—P—	EXISTING PROPERTY LINE
—620—	EXISTING CONTOUR
—SA—	EXISTING SEWER MAIN
—WA—	EXISTING WATER MAIN
—OP—	EXISTING OVERHEAD POWER
—SD—	EXISTING STORM DRAIN
—OT—	EXISTING OVERHEAD TELEPHONE
—GM—	EXISTING GAS MAIN
—EOP—	EXISTING EDGE OF PAVEMENT
—M.B.L.—	MINIMUM BUILDING SETBACK LINE
—P.U.D.E.—	PUBLIC UTILITY AND DRAINAGE EASEMENT
—SY—	SIDE YARD SETBACK
—M—	EXISTING SEWER MANHOLE
—P—	EXISTING POWER POLE
—IR(O)—	EXISTING IRON ROD (OLD)
—B—	EXISTING BENCHMARK
—620—	PROPOSED CONTOUR
—SF—	PROPOSED SILT FENCE

STATE OF TENNESSEE
D.B. 209, PG. 728
MAP 112, PARCEL 17.01
ZONED IR

T.S.P.C.
N 752436.5595
E 1849667.8808

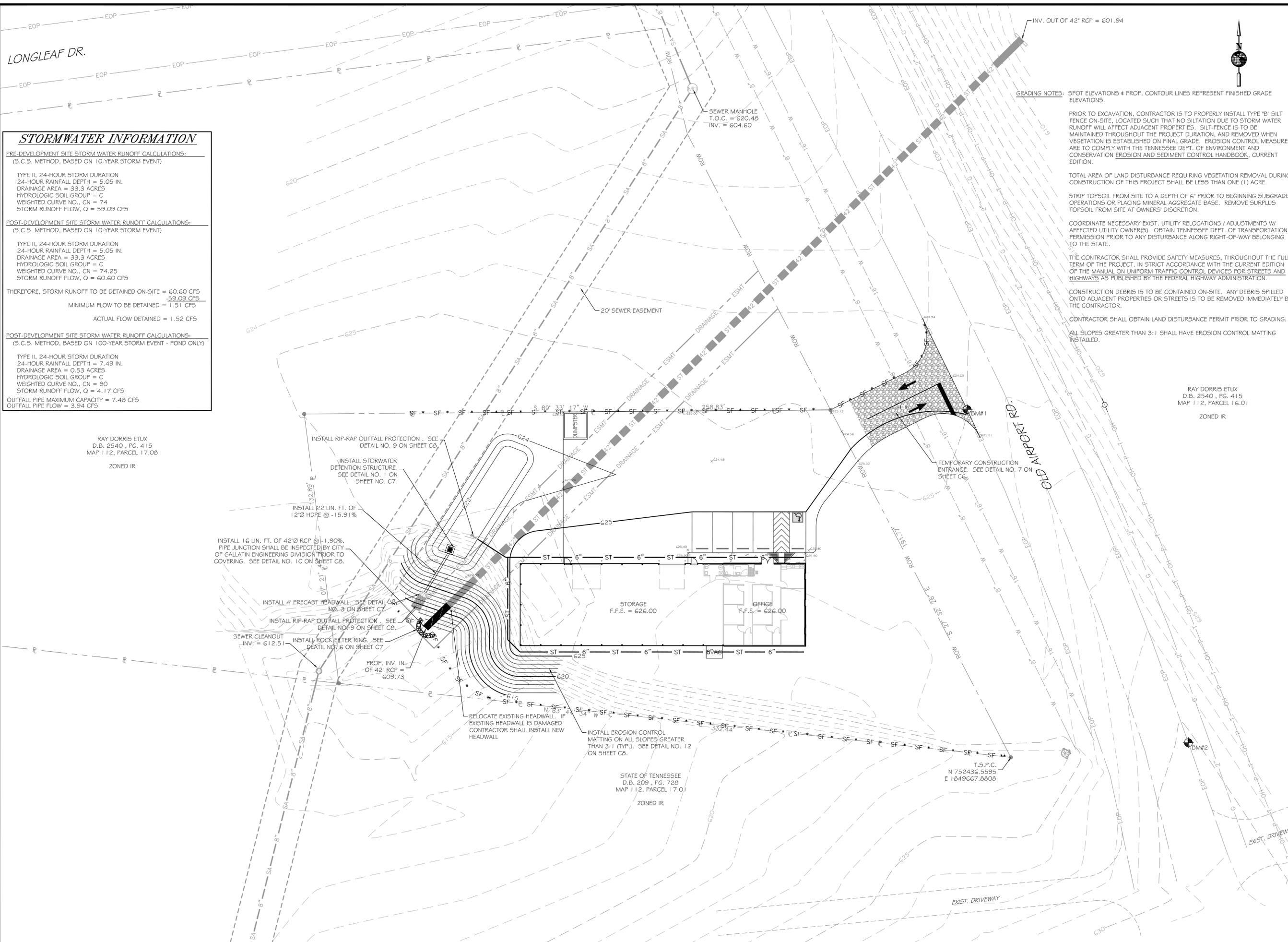
NOTES:

A REVIEW OF F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47165C0319G SHOWS NO PART OF THIS PROPERTY TO BE WITHIN THE 100-YEAR FLOODPLAIN; ZONE A; EFFECTIVE DATE 4/17/12.

ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.

THE OWNER/DEVELOPER OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.

MID - TENN ENGINEERING CO. 648 HIGHWAY 52 BYPASS W. LAFAYETTE, TN (615) 669-5385											
TSI CONSTRUCTION & ROOFING, LLC GALLATIN, TENNESSEE											
PROPOSED SITE PLAN											
CREATED BY: E.J.W.	DATE: 1-26-15										
DRAWN BY: E.J.W.	SCALE: 1" = 20'										
SHEET C2											
<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHKD</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2-11-15</td> <td>REVISED PER PLANNING COMMENTS</td> <td>E.J.W.</td> <td>E.J.W.</td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	BY	CHKD	1	2-11-15	REVISED PER PLANNING COMMENTS	E.J.W.	E.J.W.
NO.	DATE	DESCRIPTION	BY	CHKD							
1	2-11-15	REVISED PER PLANNING COMMENTS	E.J.W.	E.J.W.							



STORMWATER INFORMATION

PRE-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS:
(S.C.S. METHOD, BASED ON 10-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION
24-HOUR RAINFALL DEPTH = 5.05 IN.
DRAINAGE AREA = 33.3 ACRES
HYDROLOGIC SOIL GROUP = C
WEIGHTED CURVE NO., CN = 74
STORM RUNOFF FLOW, Q = 59.09 CFS

POST-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS:
(S.C.S. METHOD, BASED ON 10-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION
24-HOUR RAINFALL DEPTH = 5.05 IN.
DRAINAGE AREA = 33.3 ACRES
HYDROLOGIC SOIL GROUP = C
WEIGHTED CURVE NO., CN = 74.25
STORM RUNOFF FLOW, Q = 60.60 CFS

THEREFORE, STORM RUNOFF TO BE DETAINED ON-SITE = 60.60 CFS
MINIMUM FLOW TO BE DETAINED = 1.51 CFS
ACTUAL FLOW DETAINED = 1.52 CFS

POST-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS:
(S.C.S. METHOD, BASED ON 100-YEAR STORM EVENT - POND ONLY)

TYPE II, 24-HOUR STORM DURATION
24-HOUR RAINFALL DEPTH = 7.49 IN.
DRAINAGE AREA = 0.53 ACRES
HYDROLOGIC SOIL GROUP = C
WEIGHTED CURVE NO., CN = 90
STORM RUNOFF FLOW, Q = 4.17 CFS

OUTFALL PIPE MAXIMUM CAPACITY = 7.48 CFS
OUTFALL PIPE FLOW = 3.94 CFS

GRADING NOTES: SPOT ELEVATIONS & PROP. CONTOUR LINES REPRESENT FINISHED GRADE ELEVATIONS.

PRIOR TO EXCAVATION, CONTRACTOR IS TO PROPERLY INSTALL TYPE "B" SILT FENCE ON-SITE, LOCATED SUCH THAT NO SILTATION DUE TO STORM WATER RUNOFF WILL AFFECT ADJACENT PROPERTIES. SILT-FENCE IS TO BE MAINTAINED THROUGHOUT THE PROJECT DURATION, AND REMOVED WHEN VEGETATION IS ESTABLISHED ON FINAL GRADE. EROSION CONTROL MEASURES ARE TO COMPLY WITH THE TENNESSEE DEPT. OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK, CURRENT EDITION.

TOTAL AREA OF LAND DISTURBANCE REQUIRING VEGETATION REMOVAL DURING CONSTRUCTION OF THIS PROJECT SHALL BE LESS THAN ONE (1) ACRE.

STRIP TOPSOIL FROM SITE TO A DEPTH OF 6" PRIOR TO BEGINNING SUBGRADE OPERATIONS OR PLACING MINERAL AGGREGATE BASE. REMOVE SURPLUS TOPSOIL FROM SITE AT OWNERS' DISCRETION.

COORDINATE NECESSARY EXIST. UTILITY RELOCATIONS / ADJUSTMENTS W/ AFFECTED UTILITY OWNER(S). OBTAIN TENNESSEE DEPT. OF TRANSPORTATION PERMISSION PRIOR TO ANY DISTURBANCE ALONG RIGHT-OF-WAY BELONGING TO THE STATE.

THE CONTRACTOR SHALL PROVIDE SAFETY MEASURES, THROUGHOUT THE FULL TERM OF THE PROJECT, IN STRICT ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AS PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.

CONSTRUCTION DEBRIS IS TO BE CONTAINED ON-SITE. ANY DEBRIS SPILLED ONTO ADJACENT PROPERTIES OR STREETS IS TO BE REMOVED IMMEDIATELY BY THE CONTRACTOR.

CONTRACTOR SHALL OBTAIN LAND DISTURBANCE PERMIT PRIOR TO GRADING. ALL SLOPES GREATER THAN 3:1 SHALL HAVE EROSION CONTROL MATTING INSTALLED.

RAY DORRIS ETUX
D.B. 2540, PG. 415
MAP 112, PARCEL 17.08
ZONED IR

RAY DORRIS ETUX
D.B. 2540, PG. 415
MAP 112, PARCEL 16.01
ZONED IR

STATE OF TENNESSEE
D.B. 209, PG. 728
MAP 112, PARCEL 17.01
ZONED IR

T.S.P.C.
N 752436.5595
E 1849667.8808

NO.	DATE	DESCRIPTION	BY	CHKD
1	2-11-15	REVISED PER PLANNING COMMENTS	E.J.W.	E.J.W.

MID - TENN ENGINEERING CO.
648 HIGHWAY 52 BYPASS W.
LAFAYETTE, TN (615) 669-5385

TSI CONSTRUCTION & ROOFING, LLC
GALLATIN, TENNESSEE

PROPOSED GRADING PLAN

CREATED BY: E.J.W.
DATE: 1-26-15
JOB NO.: 839401

DRAWN BY: E.J.W.
SCALE: 1" = 20'

SHEET **C3**

LUMINAIRE SCHEDULE

SYMBOL	LABEL	QTY	CATALOG NUMBER	DESCRIPTION	LAMP	NUMBER LAMPS	LUMENS PER LAMP	LLF	WATTAGE	IMAGE	MOUNTING HEIGHT	REMARKS
	A1	3	TWAC 100M	SPECIFICATION BUILDING MOUNTED LUMINAIRE, 100W MH, W/CLEAR LAMP.	ONE 100-WATT CLEAR ED-17 METAL HALIDE, HORIZONTAL POSITION.	1	8500	1	140		10'	
	A2	3	TWAC 100M	SPECIFICATION BUILDING MOUNTED LUMINAIRE, 100W MH, W/CLEAR LAMP.	ONE 100-WATT CLEAR ED-17 METAL HALIDE, HORIZONTAL POSITION.	1	8500	1	140		8'	WITH 20° TILT

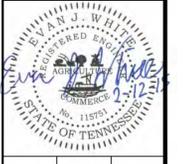


NO.	DATE	DESCRIPTION	BY	CHKD

**MID - TENN
ENGINEERING CO.**
648 HIGHWAY 52 BYPASS W.
LAFAYETTE, TN 37155
669-5365

TSI CONSTRUCTION & ROOFING, LLC
GALLATIN, TENNESSEE

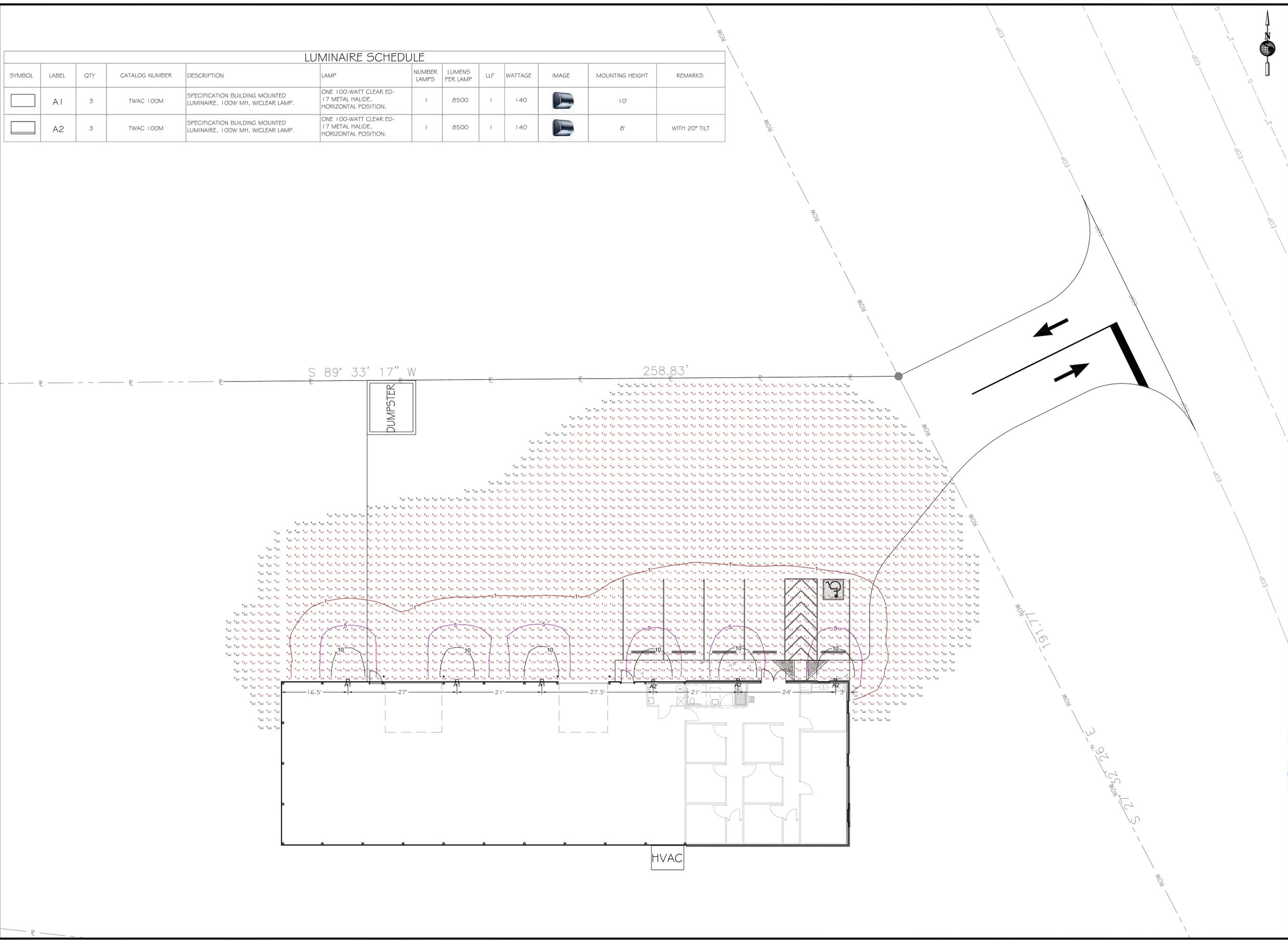
PROPOSED PHOTOMETRIC PLAN

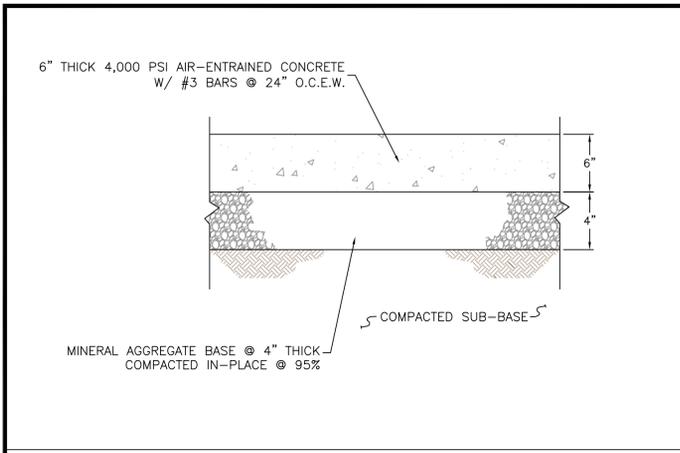


DESIGNED BY: E.J.W.
DRAWN BY: E.J.W.
SCALE: 1" = 10'

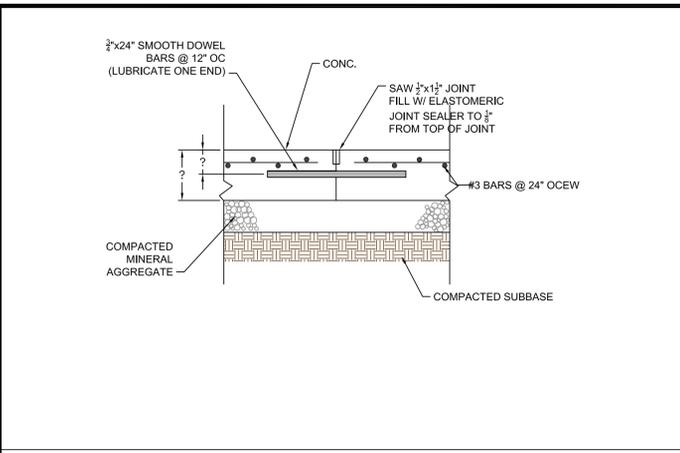
CHECKED BY: E.J.W.
DATE: 1-26-15
JOB NO.: 839401

SHEET
C5

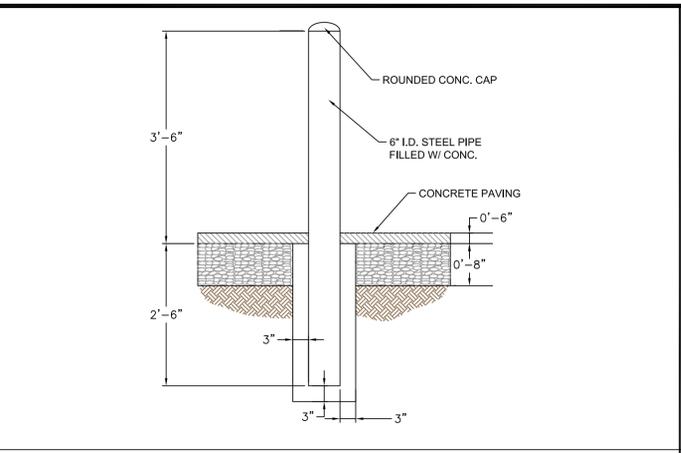




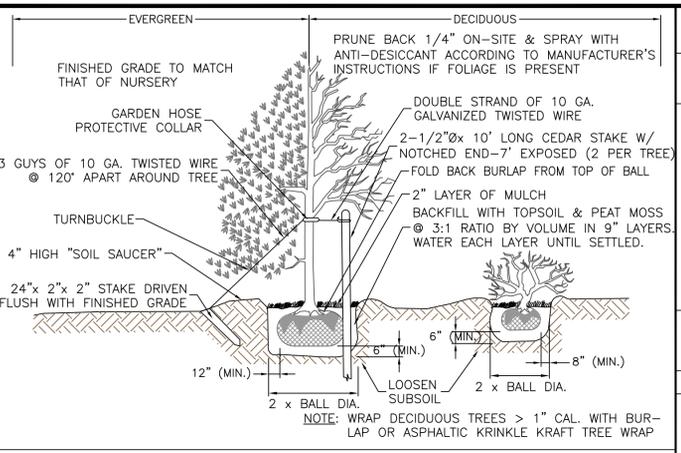
SECTION MEDIUM DUTY CONCRETE PAVING SCALE: N.T.S. ①



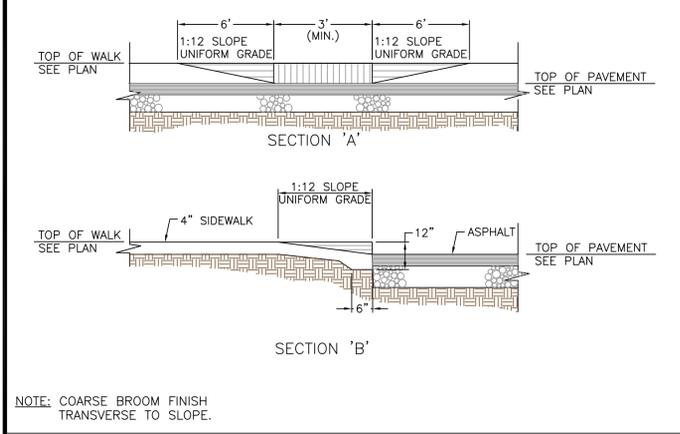
SECTION CONSTRUCTION JOINT IN CONCRETE PAVING SCALE: N.T.S. ②



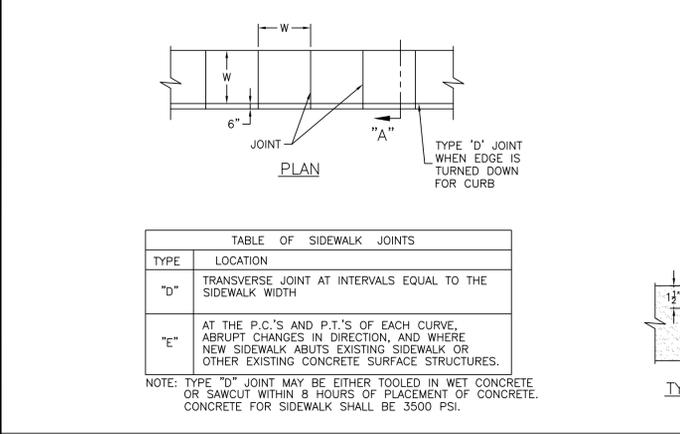
DETAIL PARKING BOLLARD SCALE: N.T.S. ③



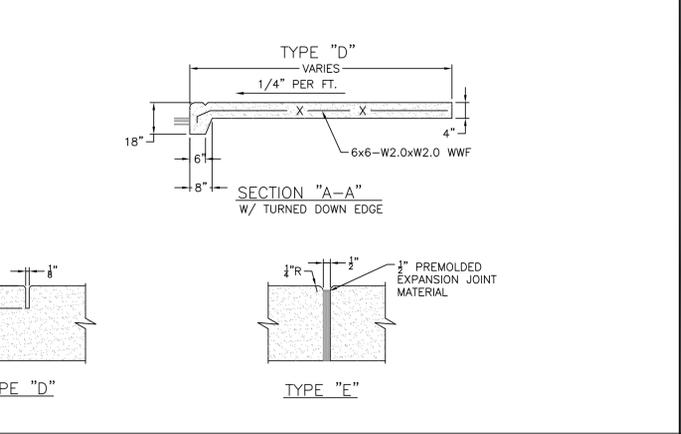
DETAIL TREE AND SHRUBBERY PLANTING SCALE: N.T.S. ④



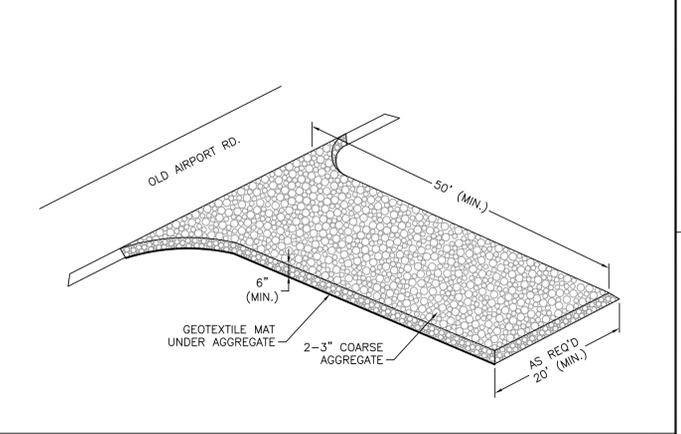
DETAIL HANDICAP ACCESSIBLE RAMP SCALE: N.T.S. ⑤



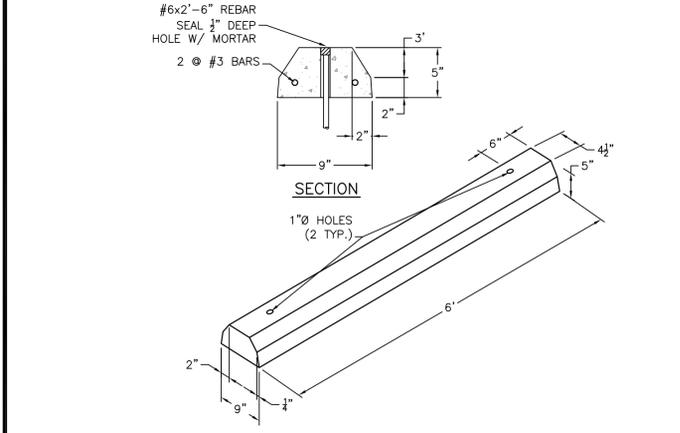
DETAIL CONCRETE SIDEWALK SCALE: N.T.S. ⑥



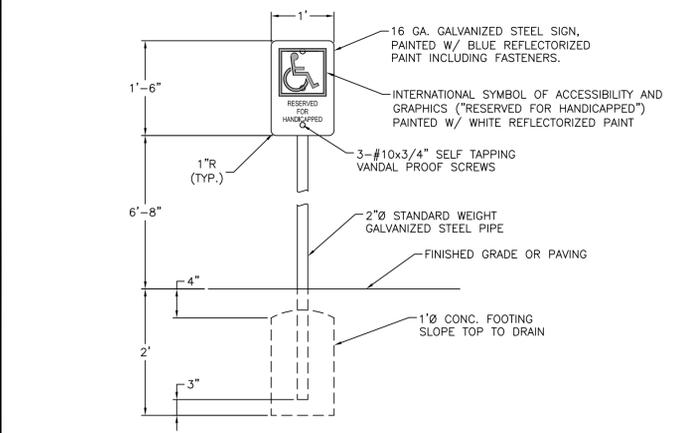
DETAIL TEMPORARY CONSTRUCTION ENTRANCE SCALE: N.T.S. ⑦



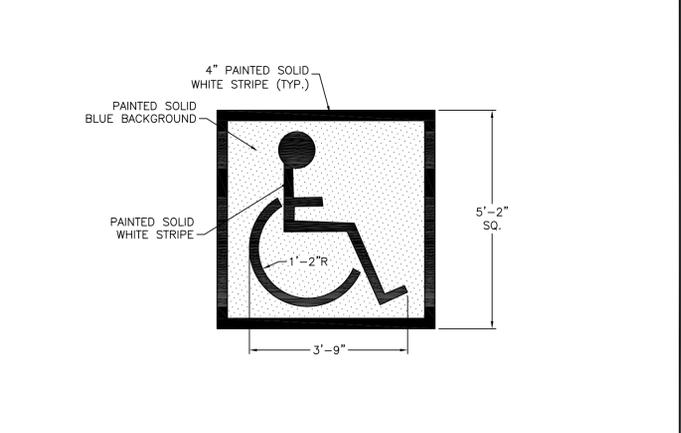
DETAIL HANDICAP PARKING LAYOUT SCALE: N.T.S. ⑧



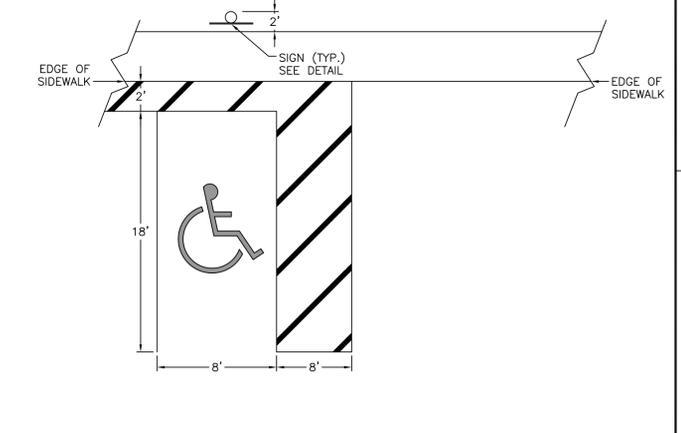
DETAIL PRECAST CONCRETE WHEEL STOP SCALE: N.T.S. ⑨



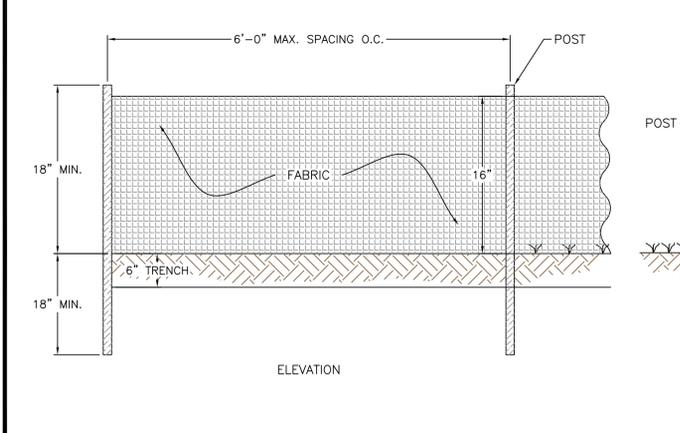
DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. ⑩



DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. ⑪



DETAIL HANDICAP PARKING LAYOUT SCALE: N.T.S. ⑫



DETAIL TYP. SILT FENCE SCALE: N.T.S. ⑬

* TYPE OF FENCE	B
TENSILE STRENGTH (LBS. MIN.) (ASTM D-4632)	WARP - 120 FILL - 100
ELONGATION (% MAX.) (ASTM D-4632)	40
AOS (APPARENT OPENING SIZE) (MAX. SIEVE SIZE) (ASTM D-4751)	#30
FLOW RATE (GAL / MIN. / SQ. FT.) (CDT - 87)	25
ULTRAVIOLET STABILITY (ASTM D-4632 AFTER 300 HOURS WEATHERING IN ACCORDANCE WITH ASTM D-4355)	80
BURSTING STRENGTH (PSI MIN.) (ASTM D-3786 DIAPHRAGM BURSTING STRENGTH TESTER)	175
MINIMUM FABRIC WIDTH (INCHES)	22
MINIMUM LENGTH (FEET)	3
TYPE OF POST & SIZE OF POST	SOFTWOOD: 2" Ø OR 2"x2" OAK: 1" x 1" STEEL: 3/4 LB. / FT. MIN.
POST SPACING (FEET MAX.)	6

DETAIL TYP. SILT FENCE SCALE: N.T.S. ⑭

STANDARD SITE DETAILS

TSI CONSTRUCTION & ROOFING, LLC
GALLATIN, TENNESSEE

MID-TENN ENGINEERING CO.
608 HWY. 52 BYPASS WEST
LAFAYETTE, TN (615) 666-2385

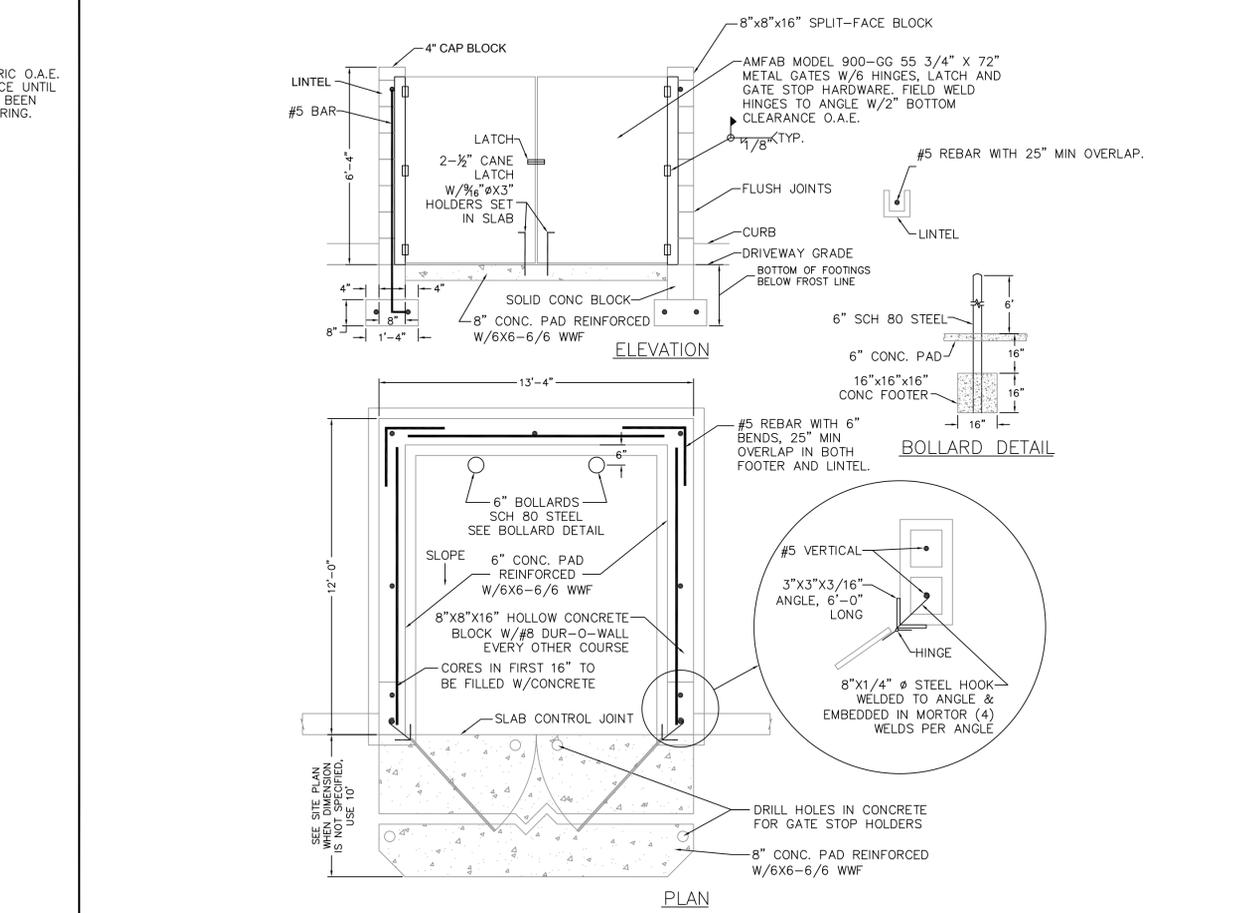
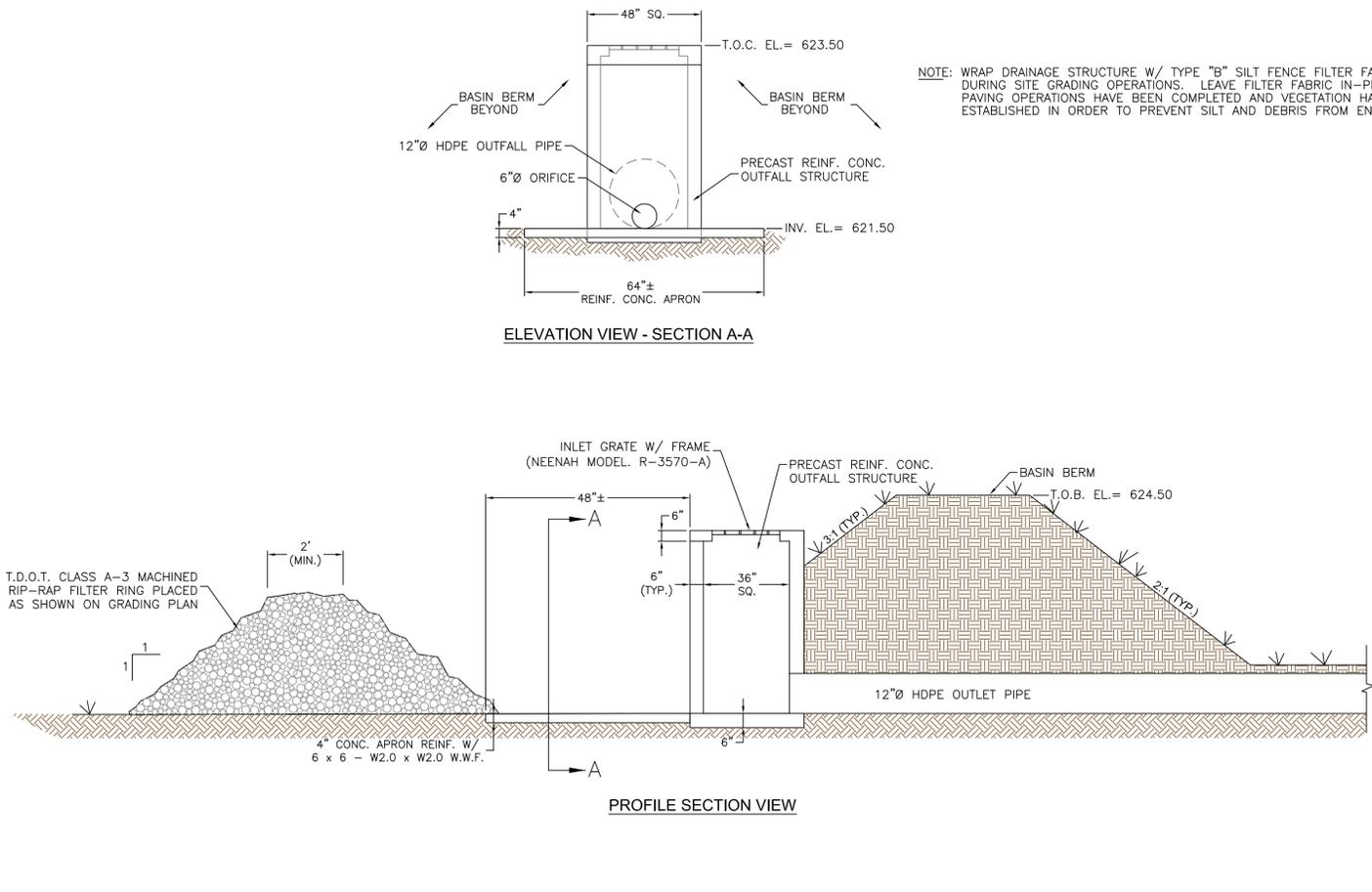
DESIGNED BY:	E.J.W.	DATE:	1-26-15
CHECKED BY:	E.J.W.	SCALE:	N.T.S.
DRAWN BY:	E.J.W.	JOB NO.:	839401
DATE:	1-26-15	REVISIONS:	

REVISIONS:

NO.	DATE	DESCRIPTION	BY	CHK
1	2-11-15	REVISED PER PLANNING COMMENTS	E.J.W.	E.J.W.

SHEET **C6**





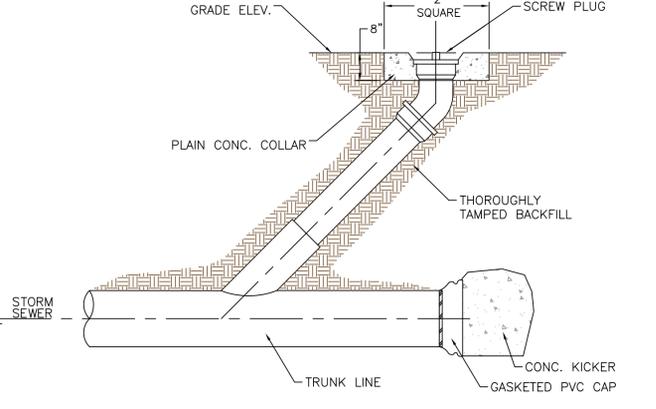
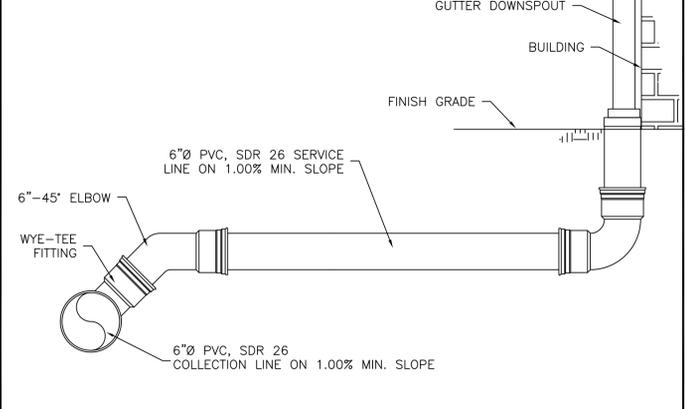
DETAIL
DETENTION BASIN OUTLET STRUCTURE

SCALE: N.T.S. ①
DETAIL
DUMPSTER PAD

SCALE: N.T.S. ②

SIZE	4'	6'	8'	10'
A	32"	48"	72"	96"
B	48"	72"	96"	120"
C	30"	44"	50"	56"
D	25"	36"	52"	66"
E	24"	36"	59"	83"
F	8"	8"	8"	8"
MAX. OPG.	18"	26"	40"	60"
WT.#	1090	3130	5625	8575

CONCRETE: 4500 PSI @ 28 DAYS REINFORCED WITH #4 BARS

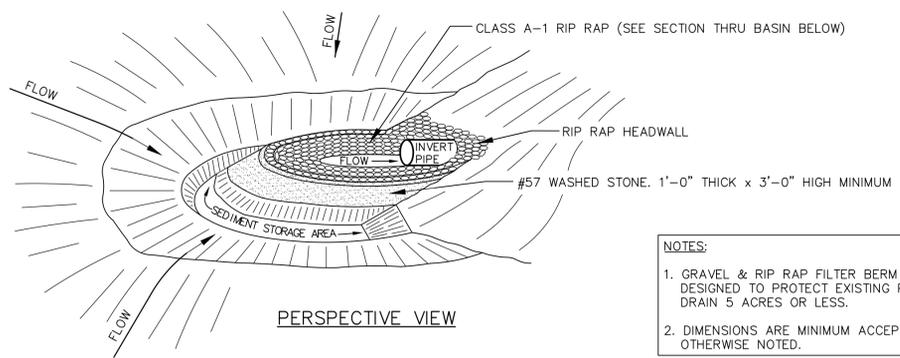


DETAIL
PRECAST WINGED HEADWALL

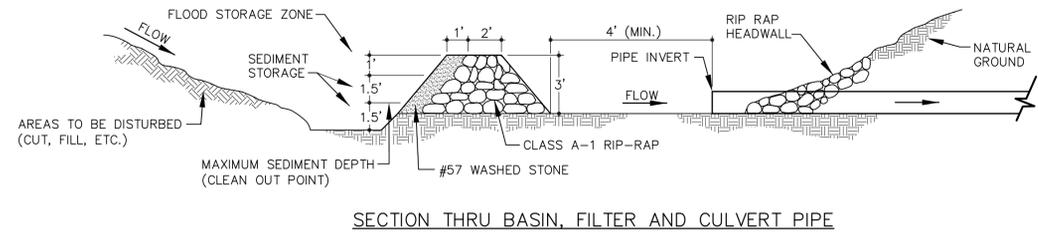
SCALE: N.T.S. ③
DETAIL
GUTTER DOWNSPOUT COLLECTION

SCALE: N.T.S. ④
DETAIL
GUTTER DOWNSPOUT CLEAN-OUT

SCALE: N.T.S. ⑤



NOTES:
1. GRAVEL & RIP RAP FILTER BERM BASIN DETAIL IS DESIGNED TO PROTECT EXISTING PIPE INVERTS THAT DRAIN 5 ACRES OR LESS.
2. DIMENSIONS ARE MINIMUM ACCEPTABLE UNLESS OTHERWISE NOTED.



DETAIL
FILTER RING

SCALE: N.T.S. ⑥

STANDARD SITE DETAILS

TSI CONSTRUCTION & ROOFING, LLC
GALLATIN, TENNESSEE

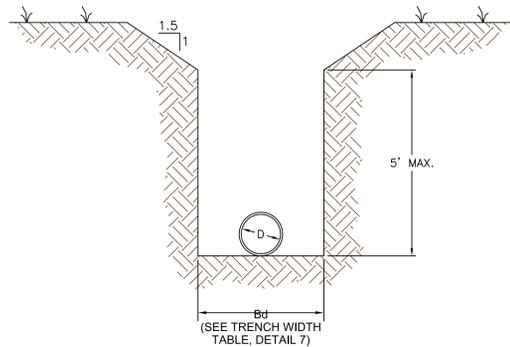
MID-TENN ENGINEERING CO.
6048 HWY. 52 BYPASS WEST
LAFAYETTE, TN (615) 666-2385

REVISIONS	NO.	DATE	DESCRIPTION	BY	CHK
1	2-11-15		REVISED PER PLANNING COMMENTS	E.J.W.	E.J.W.

DESIGNED BY: E.J.W. CHECKED BY: E.J.W. SCALE: N.T.S. JOB NO: 839401

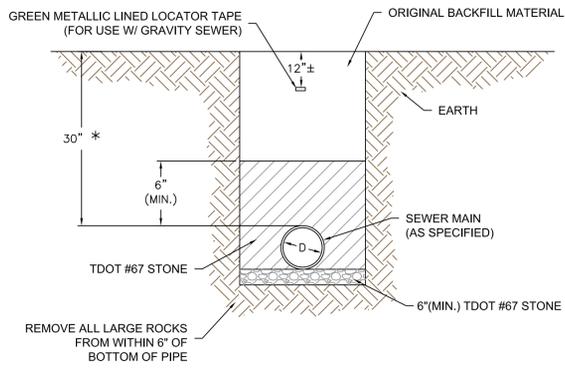
DRAWN BY: E.J.W. DATE: 1-26-15

SHEET **C7**



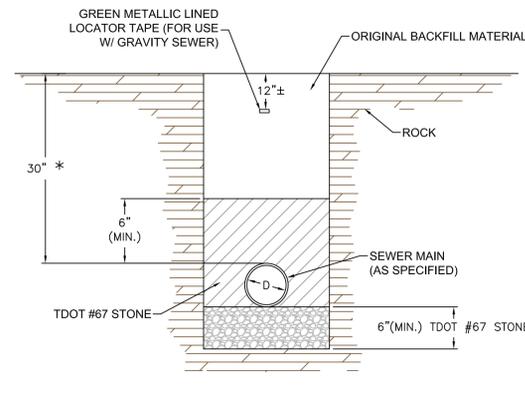
DETAIL EXCAVATION TRENCH

SCALE: N.T.S. ①



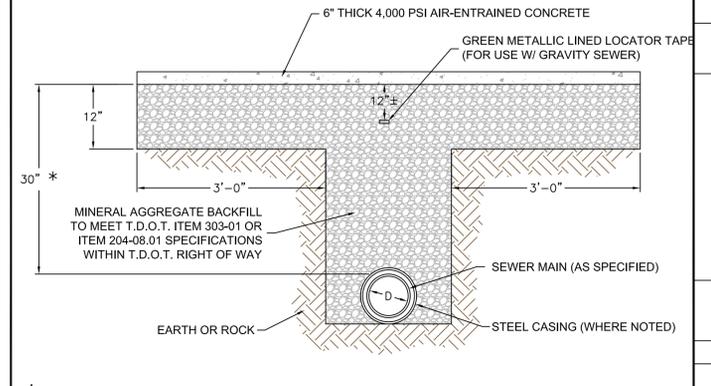
DETAIL SEWER TRENCH EARTH

SCALE: N.T.S. ②



DETAIL SEWER TRENCH IN ROCK

SCALE: N.T.S. ③



DETAIL SEWER TRENCH IN CONCRETE SURFACE

SCALE: N.T.S. ④

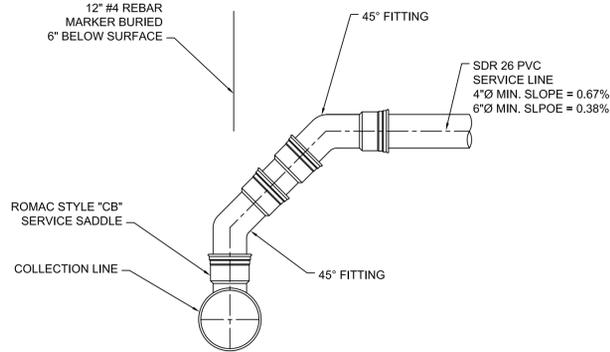
SUPPORT SPACING FOR SUSPENDED HORIZONTAL PVC PIPE

PIPE SIZE	SUPPORT SPACING (FT)
2"	4.5'
3"	5.0'
4"	6.0'
6"	6.5'
8"	7.5'
10"	8.0'
12"	8.0'
14"	8.0'

PIPE SIZE	MAX. DEFLECTION SDR21 PIPE	MAX. TRENCH WIDTH (Bd)
2"	56"	2.00'
4"	31"	2.33'
6"	22"	2.50'
8"	17"	2.66'
10"	13"	2.83'
12"	11"	3.00'
14"	10"	3.16'

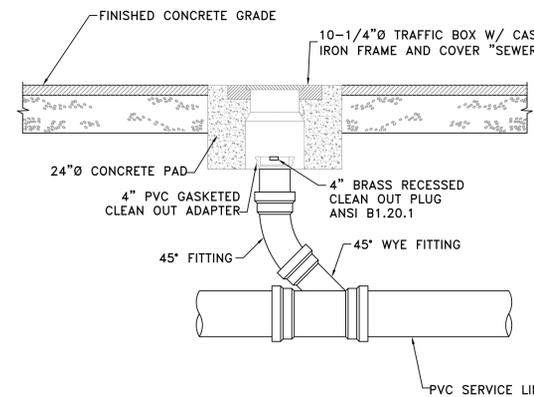
TABLE PIPE SUPPORT SPACING, MAX. DEFLECTION, & TRENCH WIDTH

SCALE: N.T.S. ⑤



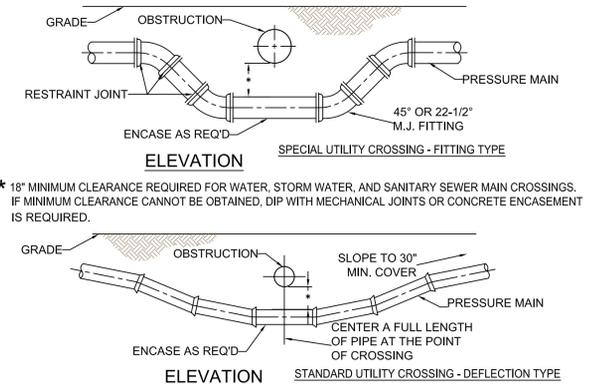
SECTION GRAVITY SEWER SERVICE

SCALE: N.T.S. ⑥



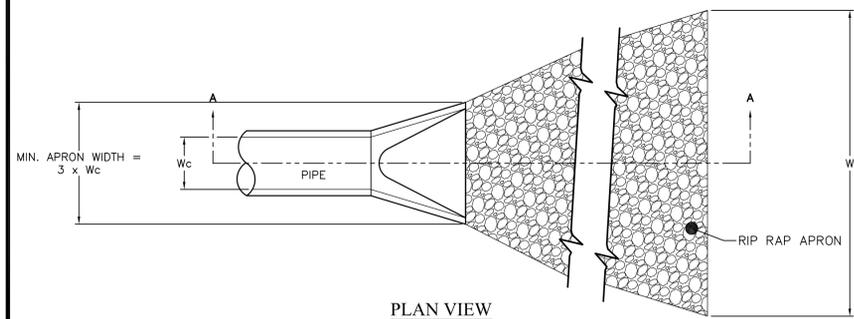
SECTION TYPICAL TRAFFIC CLEAN-OUT ASSEMBLY

SCALE: N.T.S. ⑦



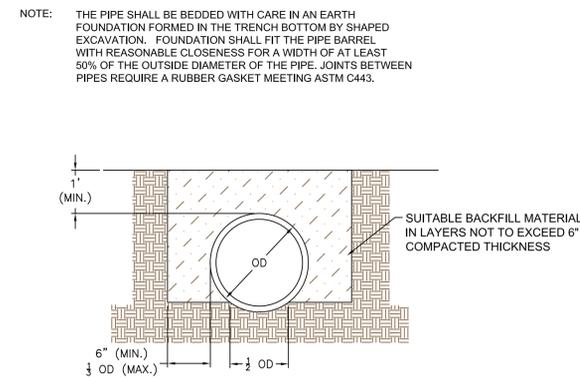
SECTION STANDARD UTILITY CROSSING SEPERATION

SCALE: N.T.S. ⑧



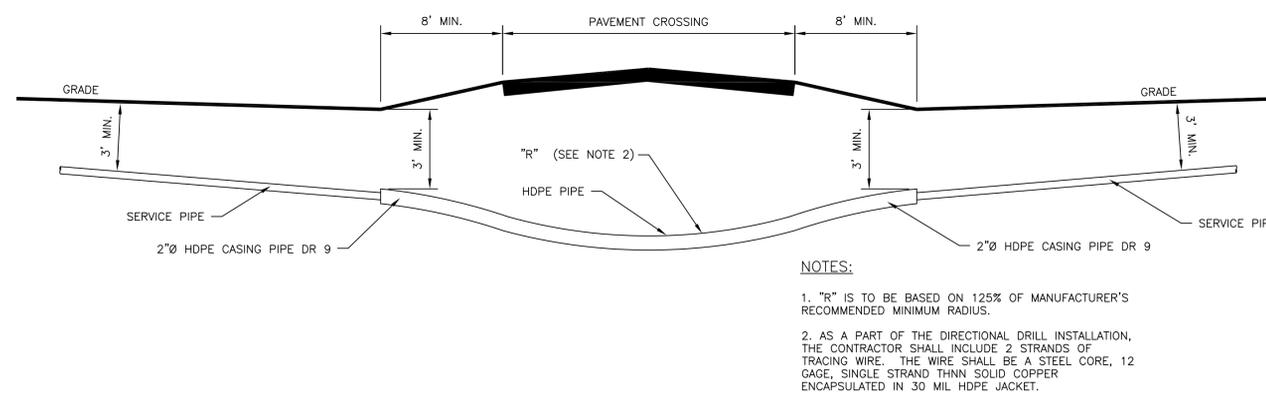
DETAIL PIPE OUTFALL PROTECTION

SCALE: N.T.S. ⑨



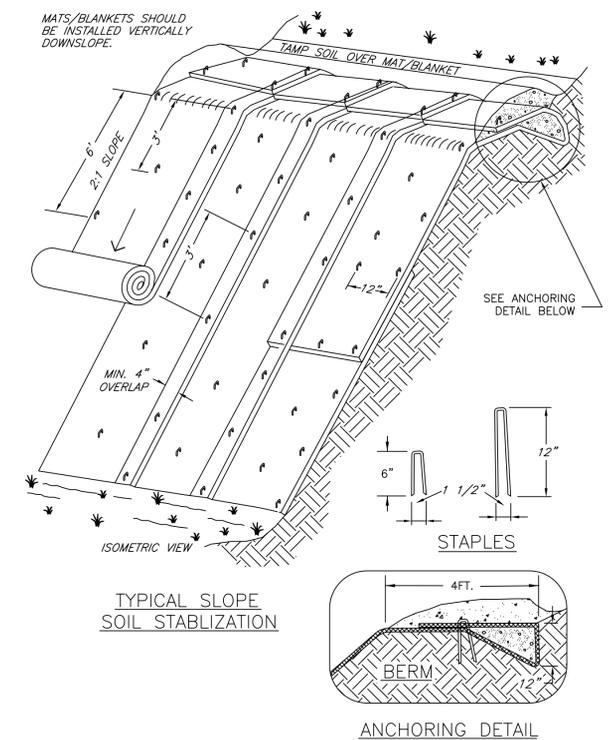
DETAIL PRECAST STORMWATER PIPE

SCALE: N.T.S. ⑩



DETAIL DIRECTIONAL BORE PAVEMENT CROSSING

SCALE: N.T.S. ⑪



DETAIL EROSION CONTROL BLANKET

SCALE: N.T.S. ⑫

MID-TENN ENGINEERING CO.
 608 HWY. 52 BYPASS WEST
 LAFAYETTE, TN (615) 666-2385

TSI CONSTRUCTION & ROOFING, LLC
 GALLATIN, TENNESSEE

STANDARD UTILITY DETAILS

DESIGNED BY:	E.J.W.	DATE:	1-26-15
CHECKED BY:	E.J.W.	SCALE:	N.T.S.
NO.	1	JOB NO.	839401
DATE	2-11-15	DATE	1-26-15
DESCRIPTION	ADDED DETAILS NO. 9-12	BY	E.J.W.
REVISIONS		CD	

SHEET **C8**

TSI CONSTRUCTION OLD AIRPORT ROAD GALLATIN, TENNESSEE

SDG

Architecture + Planning

Stamps Design Group, Inc.
41 North Cedar Avenue
Cookeville, TN 38501
Phone: 931-526-7341
Fax: 931-526-7351

PROJECT DESCRIPTION: _____ NEW CONSTRUCTION
FIRE DISTRICT: _____ SUMNER COUNTY
PROJECT CONTACT PERSON: _____ GREG STAMPS
PLAN DATE: _____ JANUARY 2015

Stamps Design Group, Inc.
Architecture + Planning

41 North Cedar Ave.
Cookeville, TN 38501
Phone: 931-526-7341
Fax: 931-526-7351
Email: greg@stampsdesigngroup.com
groves@stampsdesigngroup.com

CODE ANALYSIS

DESIGN CODES/EDITION: 2009 BUILDING CODE
2009 INTERNATIONAL FIRE CODE
2009 INTERNATIONAL PLUMBING CODE
2009 INTERNATIONAL MECHANICAL CODE
2009 INTERNATIONAL FUEL AND GAS CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2008 NATIONAL ELECTRICAL CODE
2010 AMERICAN WITH DISABILITIES ACT

TYPE OF CONSTRUCTION: IBC: MIXED USE
IBC: (B) BUSINESS
OCCUPANCY GROUP(S): IBC: (S-1) MODERATE HAZARD STORAGE

NUMBER OF STORES: 1 (ONE)
(excluding basement unless educational or assembly occupancy)

HEIGHT OF BUILDING FROM AVERAGE GRADE: 29'-0"

BUILDING AREA: ALLOWABLE: IBC: 9,000 S.F.
PROPOSED: 5,000 S.F. TOTAL
IBC BUSINESS: 3,100 S.F.
IBC (S-1) STORAGE: 3,900 S.F.

OCCUPANT LOAD PER FLOOR: IBC: 50
REQUIRED DIST. WIDTH PER FLOOR: IBC: 32' PROPOSED: 104'

FIRE PROTECTION HOURLY RATINGS FOR ALL STRUCTURAL COMPONENTS AND SEPARATION OF HAZARDS COMPONENTS REQUIRED BY THE APPLICABLE BUILDING CODE.

2009 EDITION OF THE IBC		
WOOD - COLUMNS	WOOD - BEAMS	WOOD - WALLS
CONCRETE - FLOORS/CEILING	N/A - ROOF/CEILING	METAL - ROOF COVERINGS
N/A - CORRIDORS	N/A - SHAFT ENCLOSURES	N/A - STAIR ENCLOSURES
N/A - TENANT SEPARATIONS	N/A - OCCUPANCY SEPARATIONS	

SPRINKLER SYSTEM TYPE: N/A STANDPIPE SYSTEM: N/A
FIRE/SMOKE ALARM SYSTEM: N/A
ABBREVIATIONS USED AND MEANING: N/A

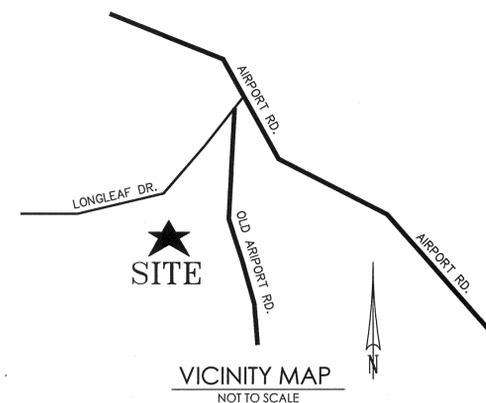
INDEX TO DRAWINGS

GENERAL
CV COVER SHEET

ARCHITECTURAL
A-1.0 OVERALL FLOOR PLAN
A-1.1 ENLARGED OFFICE FLOOR PLAN
A-1.2 ENLARGED GARAGE FLOOR PLAN
A-1.3 ROOF PLAN
A-2.0 ELEVATIONS
A-2.1 ELEVATIONS
A-3.0 DETAILS
A-4.0 H.C. BATHROOM
A-4.1 INTERIOR ELEVATION

MECHANICAL & PLUMBING
MP-1 MECHANICAL & PLUMBING PLANS

ELECTRICAL
E-1 ELECTRICAL LIGHTING & POWER PLANS



TSI CONSTRUCTION
OLD AIRPORT RD.
GALLATIN, TN



REVISIONS

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____
9. _____
10. _____

SIGNATURES: _____

JOB NO: SDG 1426

DWN BY: JAV

DATE: 1-13-15

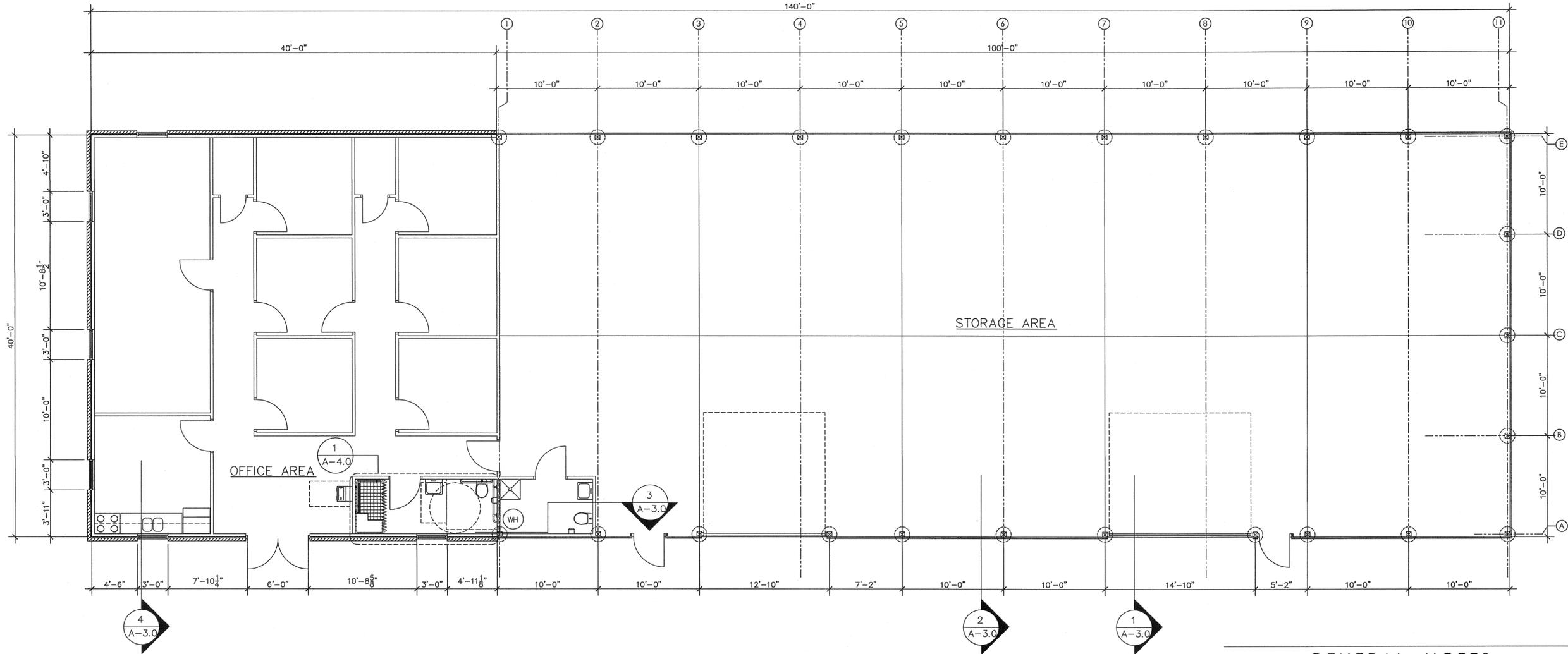
THIS SHEET: COVER SHEET

SCALE: AS NOTED

SHEET: _____

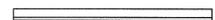
CV

TSI CONSTRUCTION
OLD AIRPORT RD.
GALLATIN, TN



1 OVERALL FLOOR PLAN
A-1.0 SCALE: 3/16" = 1'-0"

WALL LEGEND

-  3-1/2" WOOD STUD @ 16 O.C. WITH 1/2" GYP. BOTH SIDES - PROVIDE R-13 BATT INSULATION AT ALL OFFICE AND RESTROOM WALLS
-  3-1/2" WOOD STUDS AT 16" O.C. WITH R-13 BATT INSULATION, 5/8" EXTERIOR SHEATHING, VAPOR BARRIER, 1" AIR SPACE, AND BRICK VENEER
-  3-1/2" HORIZONTAL WOOD STUDS WITH EXTERIOR METAL WALL PANELING

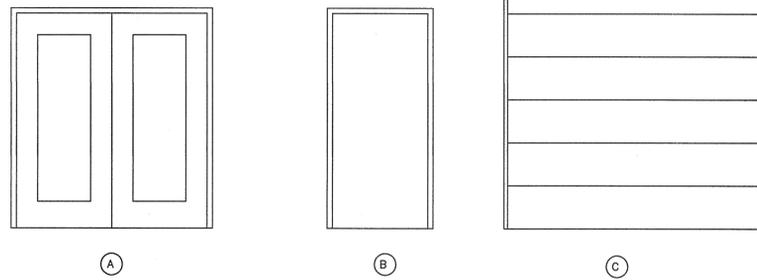
GENERAL NOTES

- 1.) DO NOT SCALE DRAWINGS.
- 2.) CLEARANCE DIMENSIONS SHALL BE MAINTAINED ESPECIALLY AT HANDRAILS, GRAB BARS & PLUMBING FIXTURES.
- 3.) THE CONTRACTOR SHALL FIELD MEASURE BEFORE STARTING CONSTRUCTION & SHOP DRAWINGS.
- 4.) NOTIFY THE DESIGNER OF ANY VARIATION REQUIRED IN THE DIMENSIONS, WHETHER NOTED FOR VERIFICATION, FOR THE INSTALLATION OF EQUIPMENT OR OTHERWISE BEFORE CONTINUING WITH THE WORK.
- 5.) IN THE EVENT CLARIFICATION IS NEEDED, NOTIFY THE DESIGNER BEFORE CONTINUING WITH THE WORK IN QUESTION.
- 6.) REFER TO CIVIL, LANDSCAPING, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, & ELECTRICAL DRAWINGS FOR COORDINATION.
- 7.) ALL RATED WALLS ARE CONTINUOUS ABOVE DOORS AND ABOVE & BELOW WINDOWS.
- 8.) ADEQUATE FIRE PROTECTION & WATER SUPPLY SHALL BE ON SITE, TESTED & OPERATIONAL BEFORE PROCEEDING WITH CONSTRUCTION INVOLVING COMBUSTIBLE MATERIALS.
- 9.) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DIMENSIONS ON THE SHOP DRAWINGS.
- 10.) ALL WOOD BLOCKING SHALL BE TREATED SO THAT IT IS FIRE RETARDANT. ALL WOOD USED IN AREAS WHERE EXPOSURE TO MOISTURE IS POSSIBLE OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED TO RESIST ROT.
- 11.) DIMENSIONS SHOW ARE FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.

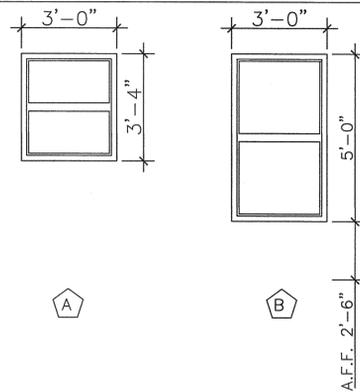


REVISIONS	
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	
SIGNATURES:	
JOB NO:	SDG-1428
DWN BY:	JAV
DATE:	1-26-15
THIS SHEET:	OVERALL FLOOR PLAN
SCALE:	AS NOTED
SHEET:	

DOOR STYLES



WINDOW STYLES



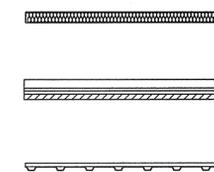
DOOR SCHEDULE

MARK	WIDTH	HEIGHT	THICK.	FRAME	MATERIAL	STYLE	LABEL	REMARKS
1	PR. 3'-0"	6'-8"	1-3/4"	WOOD	INSULATED FIBERGLASS	A	NONE	GLASS
2	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
3	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
4	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
5	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
6	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
7	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
8	2'-8"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
9	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
10	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
11	2'-8"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
12	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
13	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
14	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
15	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
16	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE
17	12'-0"	12'-0"	1-3/4"	METAL	METAL	C	NONE	NONE
18	14'-0"	12'-0"	1-3/4"	METAL	METAL	C	NONE	NONE
19	3'-0"	6'-8"	1-3/4"	WOOD	MASONITE	B	NONE	NONE

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- CLEARANCE DIMENSIONS SHALL BE MAINTAINED ESPECIALLY AT HANDRAILS, GRAB BARS & PLUMBING FIXTURES.
- THE CONTRACTOR SHALL FIELD MEASURE BEFORE STARTING CONSTRUCTION & SHOP DRAWINGS.
- NOTIFY THE DESIGNER OF ANY VARIATION REQUIRED IN THE DIMENSIONS, WHETHER NOTED FOR VERIFICATION, FOR THE INSTALLATION OF EQUIPMENT OR OTHERWISE BEFORE CONTINUING WITH THE WORK.
- IN THE EVENT CLARIFICATION IS NEEDED, NOTIFY THE DESIGNER BEFORE CONTINUING WITH THE WORK IN QUESTION.
- REFER TO CIVIL, LANDSCAPING, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, & ELECTRICAL DRAWINGS FOR COORDINATION.
- ALL RATED WALLS ARE CONTINUOUS ABOVE DOORS AND ABOVE & BELOW WINDOWS.
- ADEQUATE FIRE PROTECTION & WATER SUPPLY SHALL BE ON SITE, TESTED & OPERATIONAL BEFORE PROCEEDING WITH CONSTRUCTION INVOLVING COMBUSTIBLE MATERIALS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DIMENSIONS ON THE SHOP DRAWINGS.
- ALL WOOD BLOCKING SHALL BE TREATED SO THAT IT IS FIRE RETARDANT. ALL WOOD USED IN AREAS WHERE EXPOSURE TO MOISTURE IS POSSIBLE OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED TO RESIST ROT.
- DIMENSIONS SHOW ARE FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.

WALL LEGEND



TSI CONSTRUCTION
 OLD AIRPORT RD.
 GALLATIN, TN



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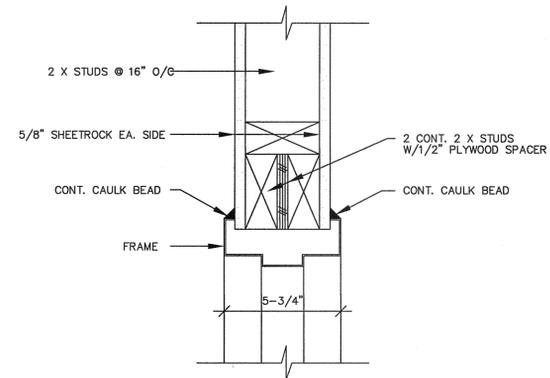
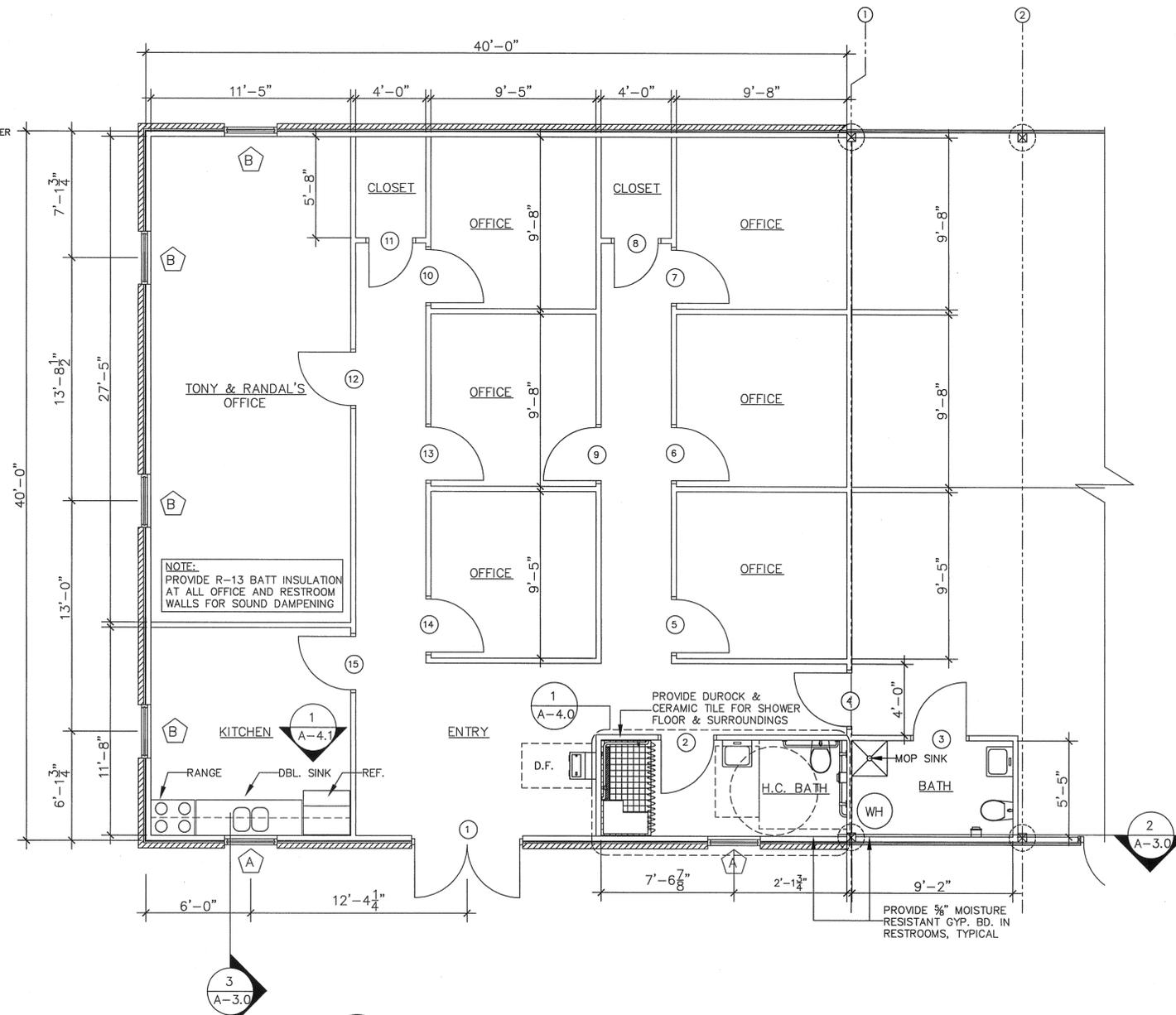
SIGNATURES:

JOB NO: SDG 1428
 DWN BY: JAV
 DATE: 1-26-15
 THIS SHEET: ENLARGED OFFICE FLOOR PLAN

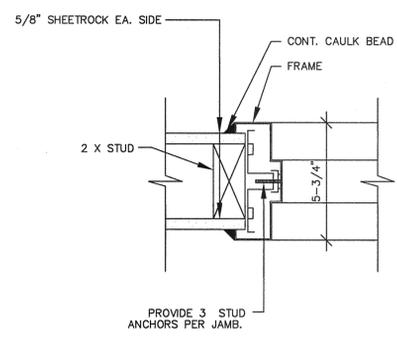
SCALE: AS NOTED

SHEET:

1 ENLARGED OFFICE FLOOR PLAN
SCALE: 1/4" = 1'-0"



TYPICAL METAL DOOR HEADER
SCALE: 3" = 1'-0"



TYPICAL METAL DOOR JAMB
SCALE: 3" = 1'-0"

Stamps Design Group, Inc.
41 North Cedar Avenue
Cookeville, TN 38501
Phone: 931-526-7341
Fax: 931-526-7351

TSI CONSTRUCTION
OLD AIRPORT RD.
GALLATIN, TN



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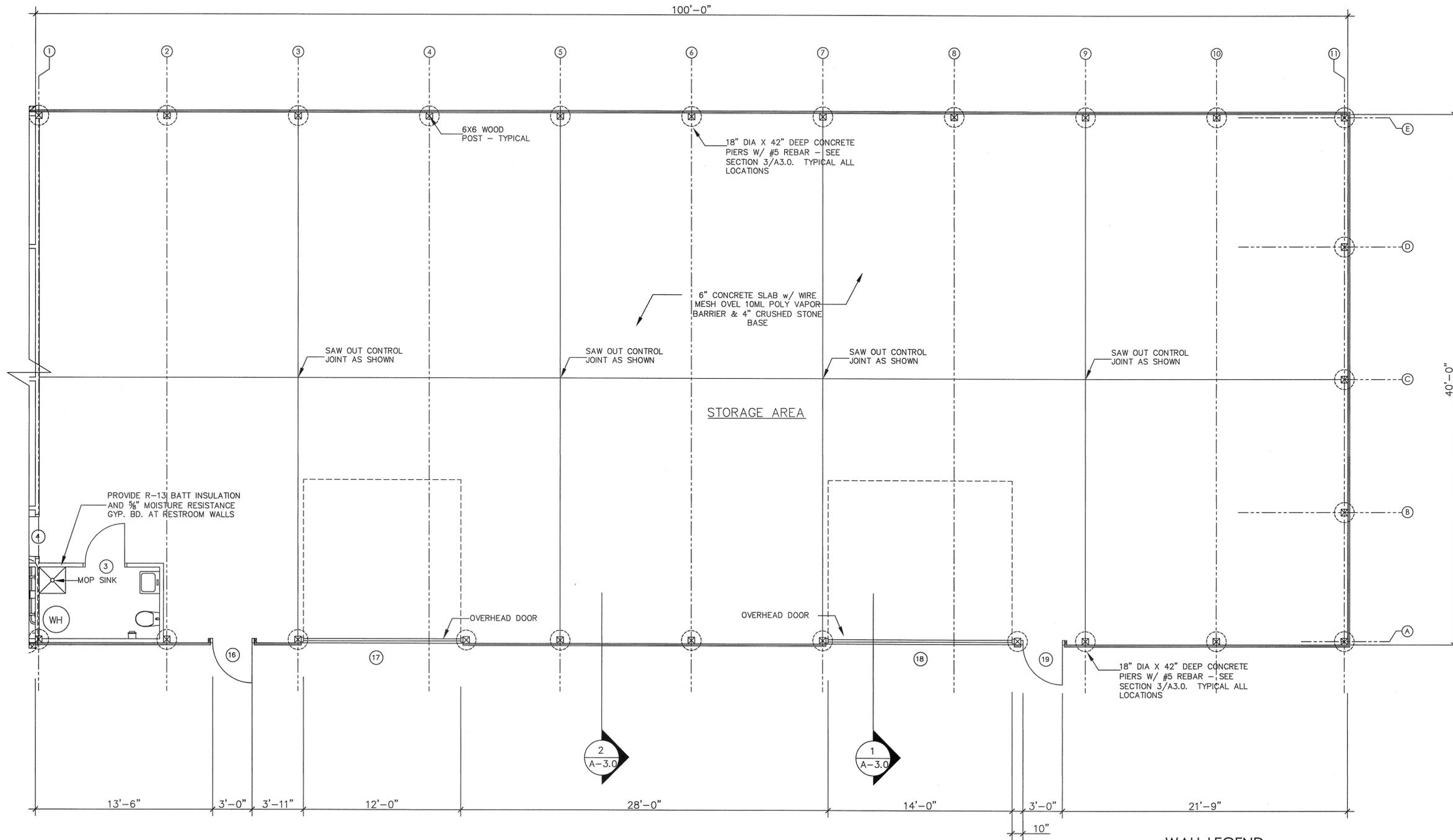
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JOB NO: SDG 1428
DWN BY: JAV
DATE: 1-26-15
THIS SHEET: ENLARGED GARAGE FLOOR PLAN
SCALE: AS NOTED

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A-1.2

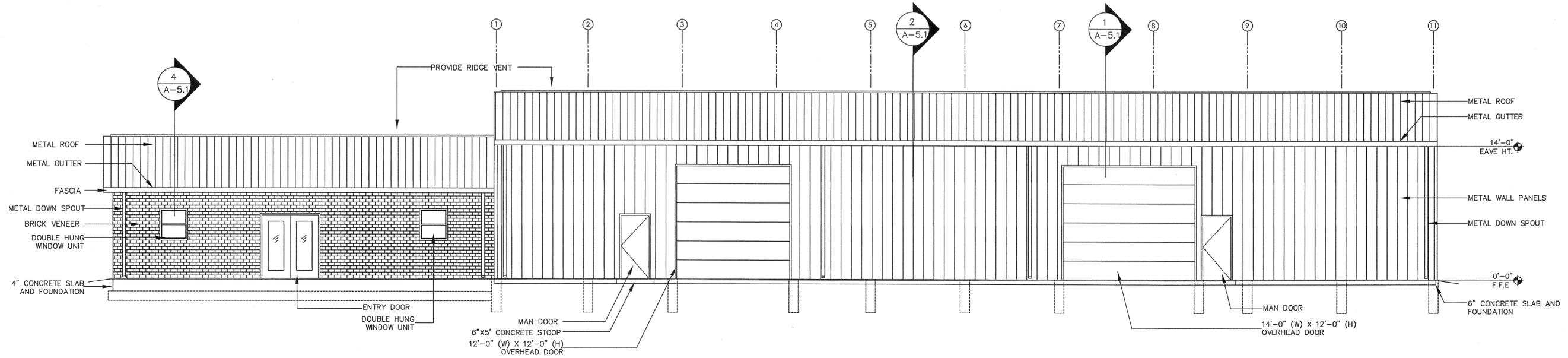


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A-1.2 ENLARGED GARAGE FLOOR PLAN
SCALE: 3/16" = 1'-0"

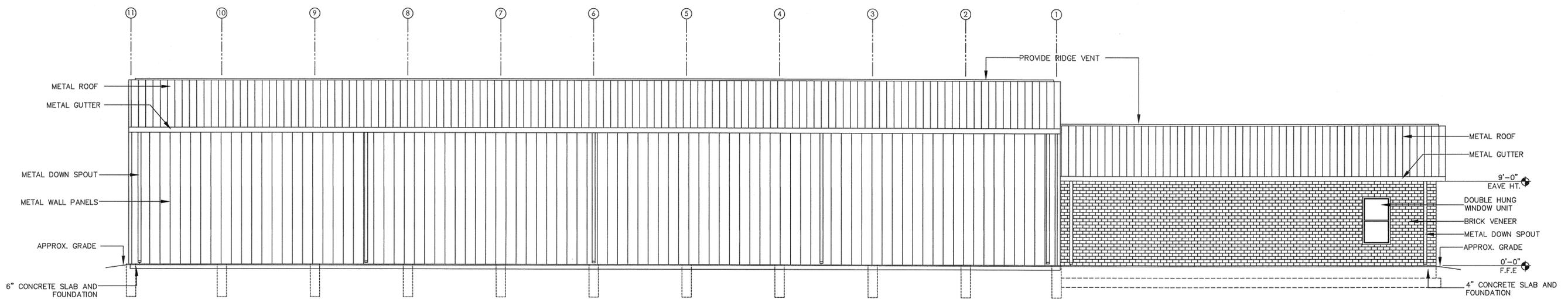
WALL LEGEND

-  3-1/2" WOOD STUD @ 16" O.C. WITH 1/2" GYP. BOTH SIDES - PROVIDE R-13 BATT INSULATION AT ALL OFFICE AND RESTROOM WALLS
-  3-1/2" WOOD STUDS AT 16" O.C. WITH R-13 BATT INSULATION, 5/8" EXTERIOR SHEATHING, VAPOR BARRIER, 1" AIR SPACE, AND BRICK VENEER
-  3-1/2" HORIZONTAL WOOD STUDS WITH EXTERIOR METAL WALL PANELING

TSI CONSTRUCTION
OLD AIRPORT RD.
GALLATIN, TN



1 NORTH ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A-2.0 SCALE: 3/16" = 1'-0"

EXTERIOR COLOR SCHEDULE	
METAL BUILDING SIDING	GRAY
METAL ROOFING	CHARCOAL
FASCIA TRIM, METAL GUTTER/DOWNSPOUT, WINDOWS AND DOORS	WHITE
BRICK	BROWN RANGE



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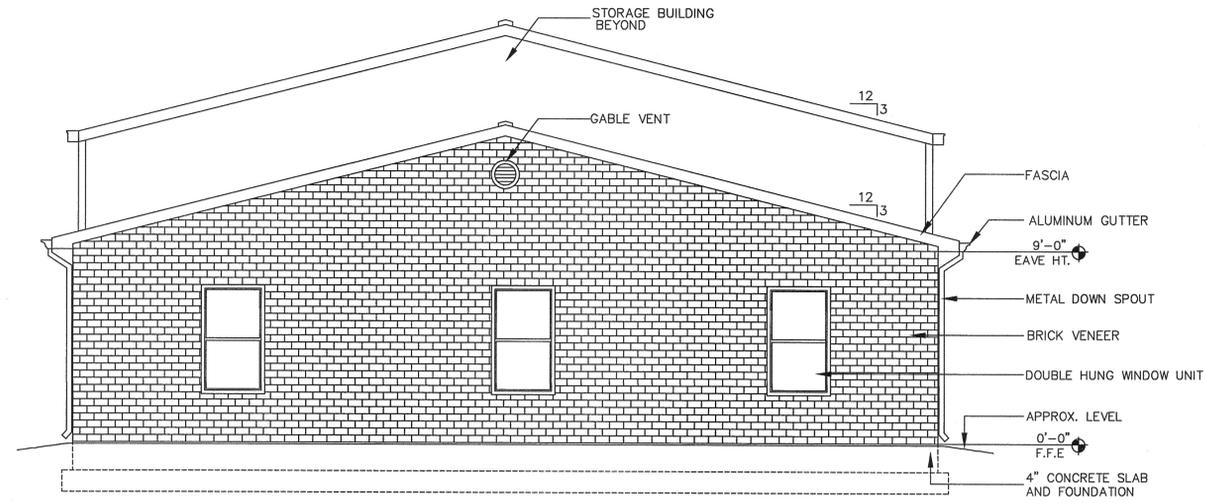
JOB NO: SDG 1428
DWN BY: JAV
DATE: 1-26-15
THIS SHEET: ELEVATIONS

SCALE: AS NOTED

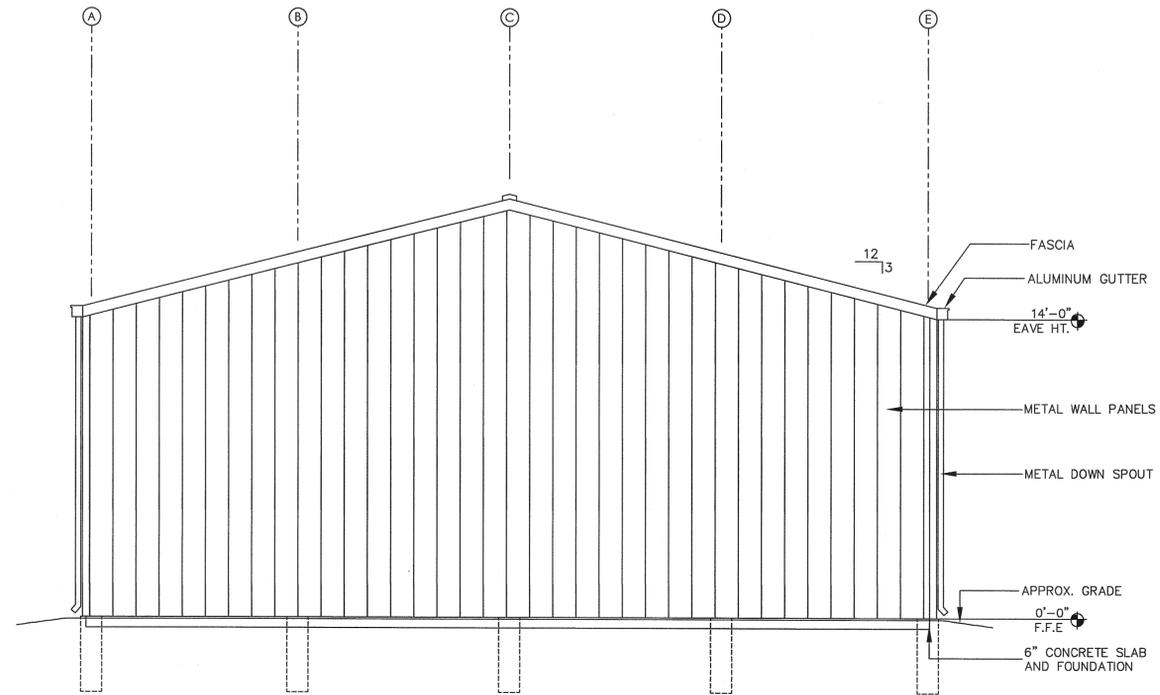
SHEET:

A-2.0

Stamps Design Group, Inc.
 41 North Cedar Avenue
 Cookeville, TN 38501
 Phone: 931-526-7341
 Fax: 931-526-7351



1 EAST ELEVATION
 A-2.1 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
 A-2.1 SCALE: 1/4" = 1'-0"

EXTERIOR COLOR SCHEDULE

- METAL BUILDING SIDING - GRAY
- METAL ROOFING - CHARCOAL
- FASCIA TRIM, METAL GUTTER/DOWNSPOUT, WINDOWS AND DOORS - WHITE
- BRICK - BROWN RANGE

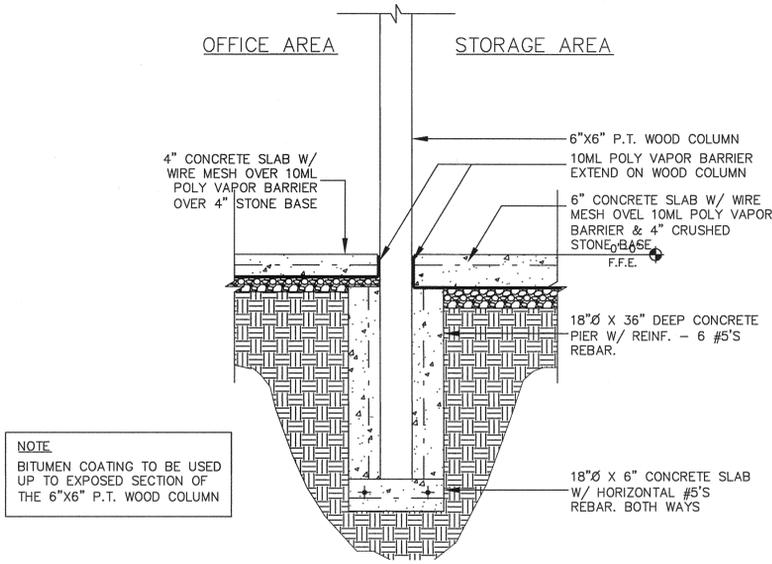
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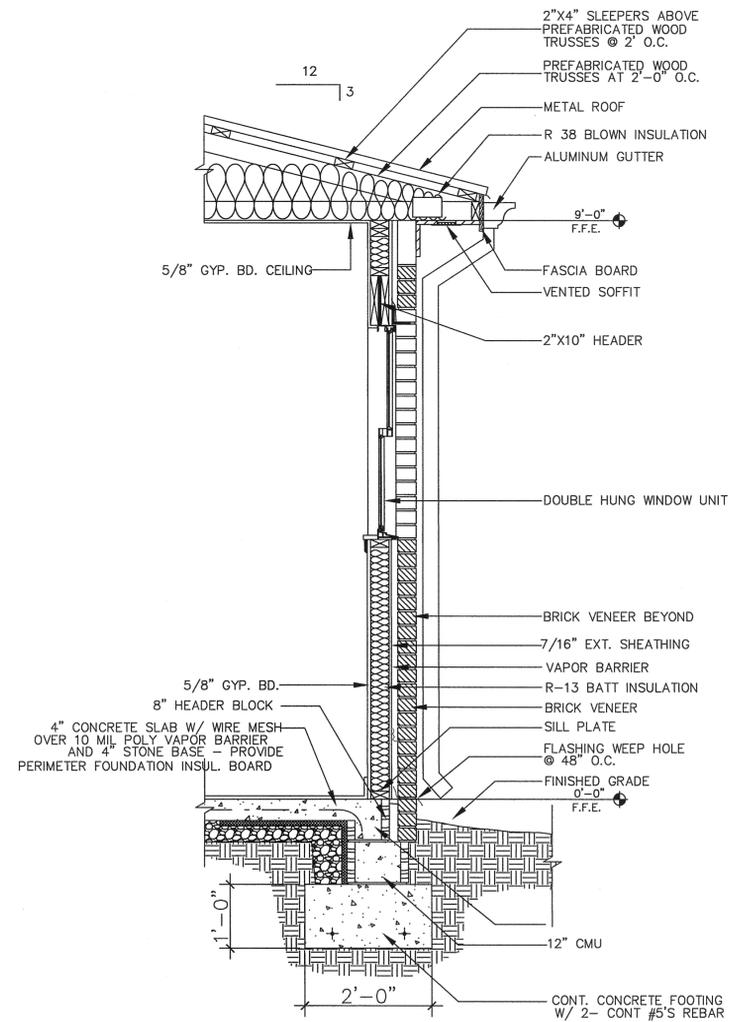
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JOB NO: SDG 1428
 DWN BY: JAV
 DATE: 1-13-15
 THIS SHEET: ELEVATIONS
 SCALE: AS NOTED
 SHEET:

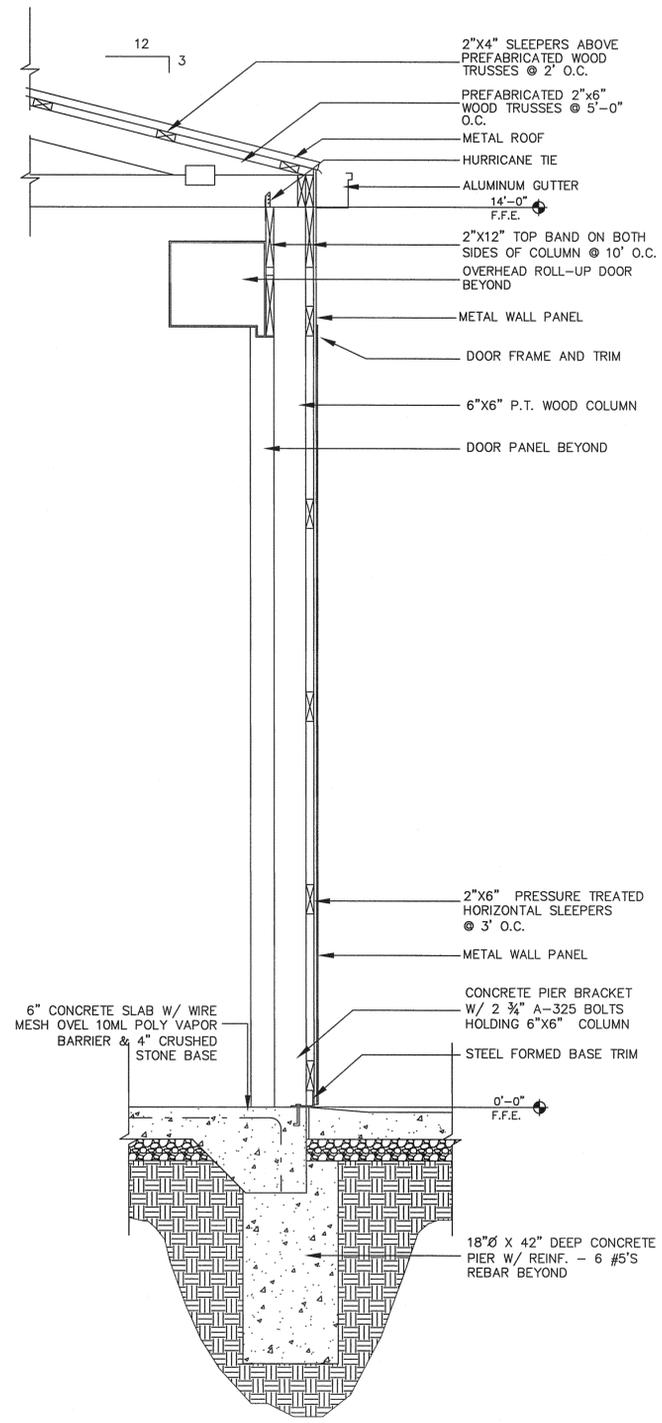


NOTE
BITUMEN COATING TO BE USED UP TO EXPOSED SECTION OF THE 6"x6" P.T. WOOD COLUMN

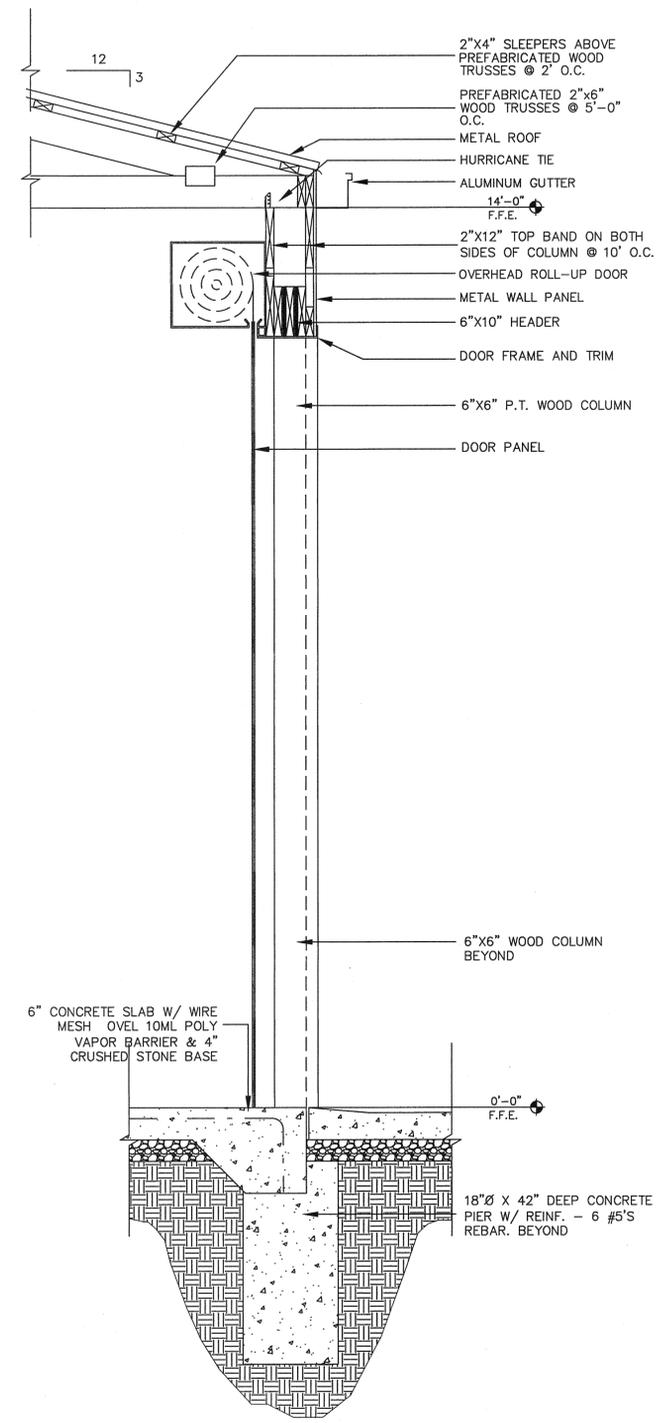
3 WEST ELEVATION
A-3.0 SCALE: 3/4" = 1'-0"



4 WEST ELEVATION
A-3.0 SCALE: 3/4" = 1'-0"



2 WEST ELEVATION
A-3.0 SCALE: 3/4" = 1'-0"



1 WEST ELEVATION
A-3.0 SCALE: 3/4" = 1'-0"

TSI CONSTRUCTION
OLD AIRPORT RD.
GALLATIN, TN



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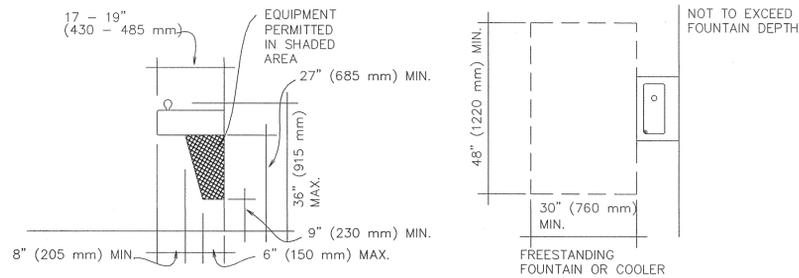
JOB NO: SDG 1428
DWN BY: JAV
DATE: 1-13-15
THIS SHEET: SECTIONS
SCALE: AS NOTED



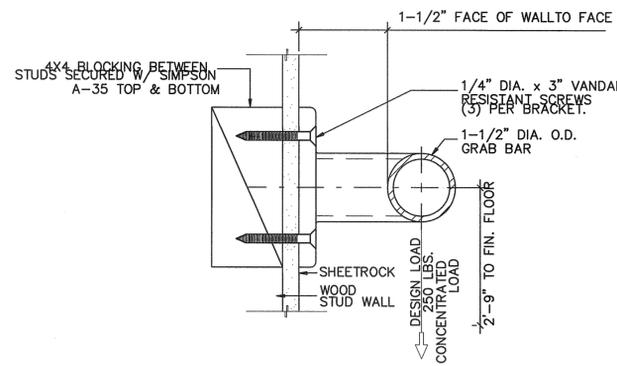
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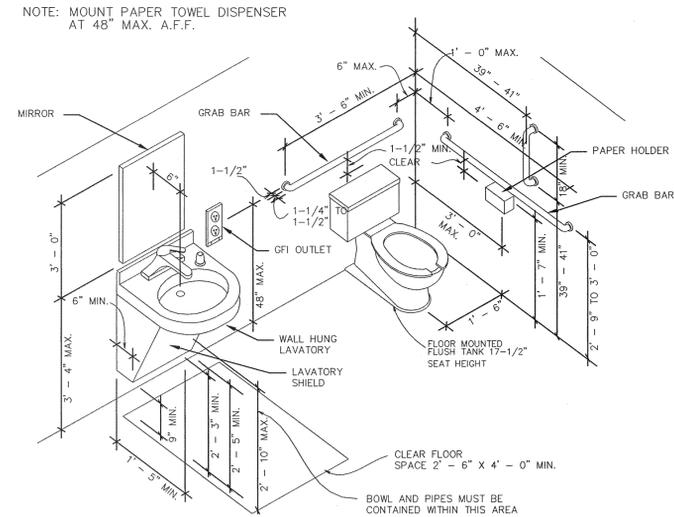
JOB NO: SDG 1428
DWN BY: JAV
DATE: 1-13-15
THIS SHEET: H.C. BATH DETAIL/ELEVATION/SECTION
SCALE: AS NOTED



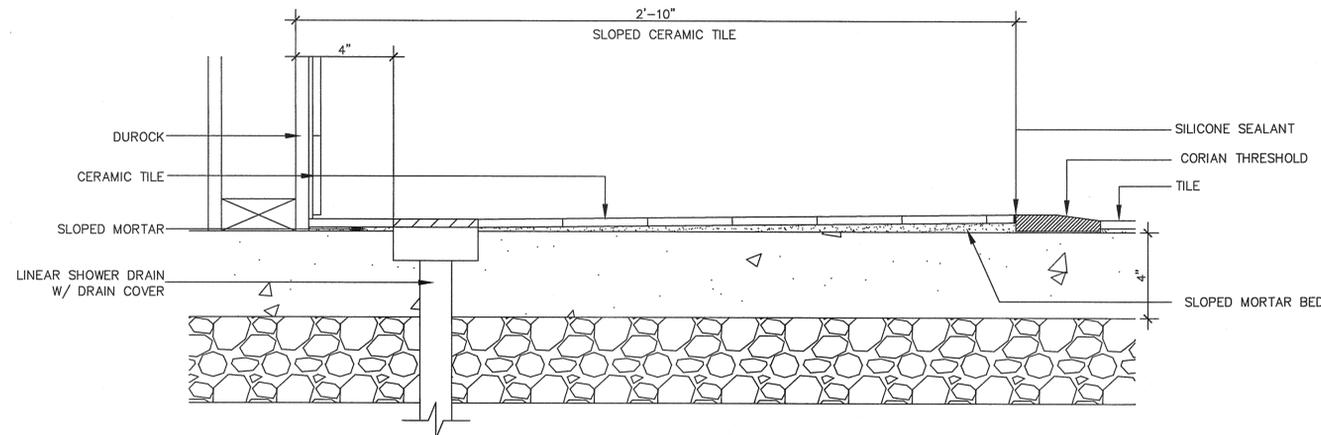
TYPICAL DRINKING FOUNTAIN DETAIL
SCALE: 1/2" = 1'-0"



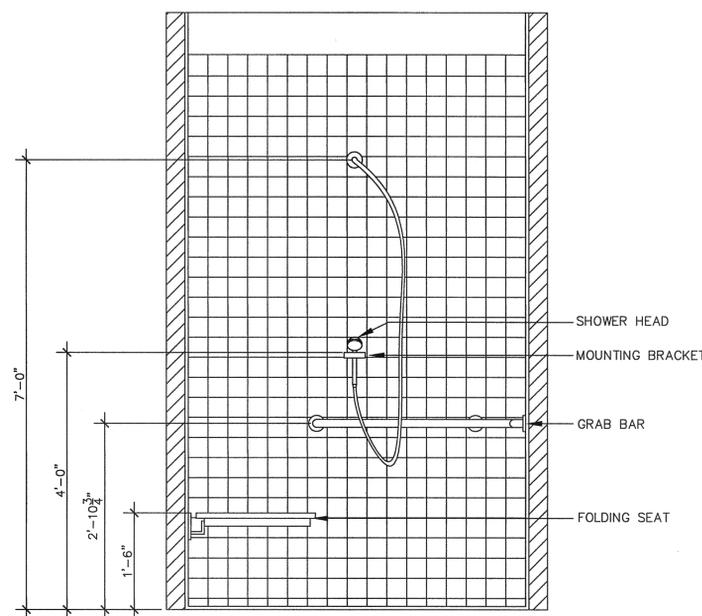
TYPICAL GRAB BAR DETAIL
SCALE: 3/4" = 1'-0"



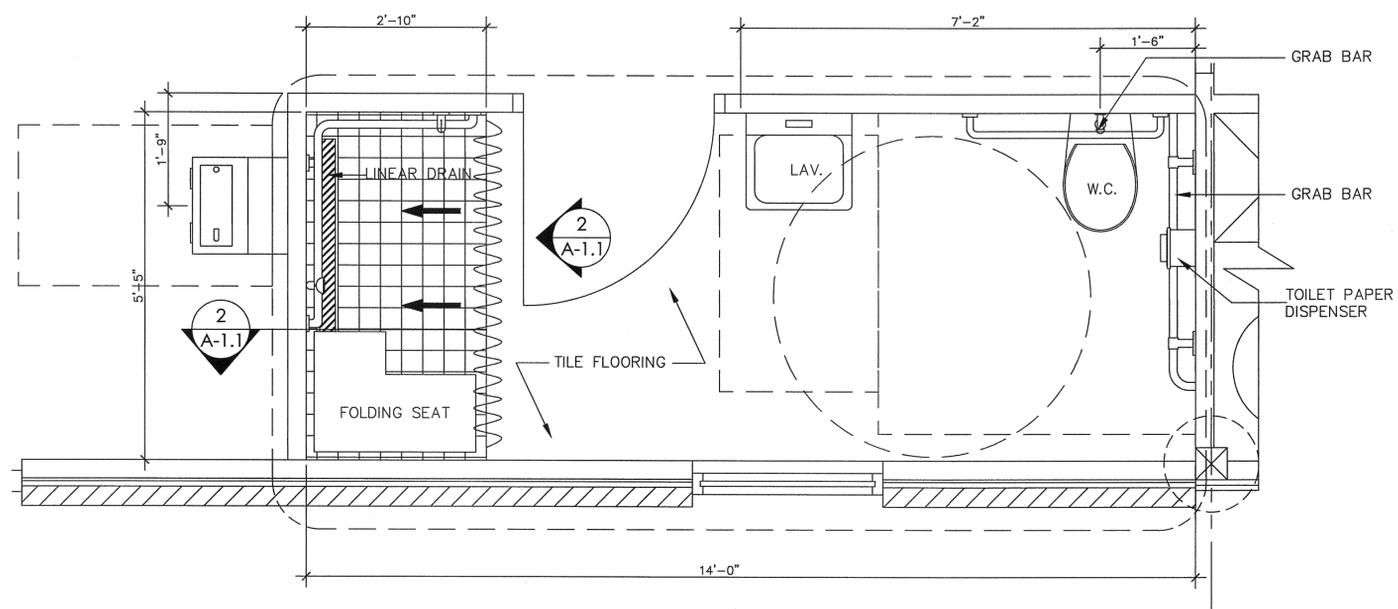
TYPICAL H.C. RESTROOM DETAIL
SCALE: 1" = 1'-0"



3 H.C. SHOWER SECTION
SCALE: 3" = 1'-0"

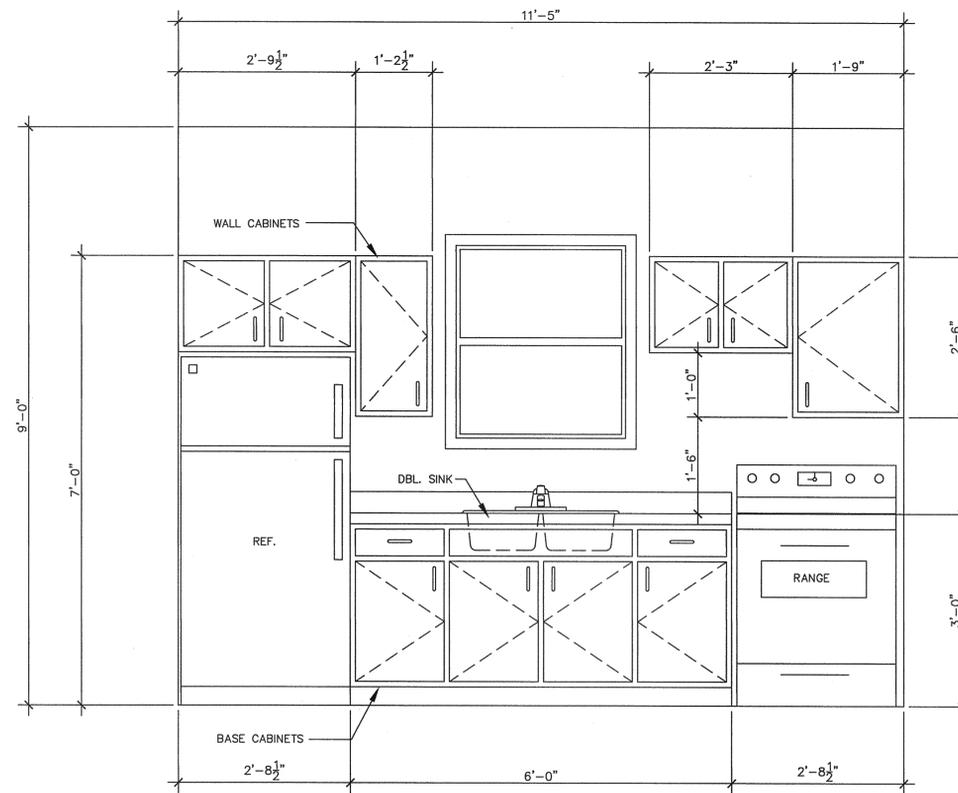


2 H.C. ELEVATION
SCALE: 3/4" = 1'-0"

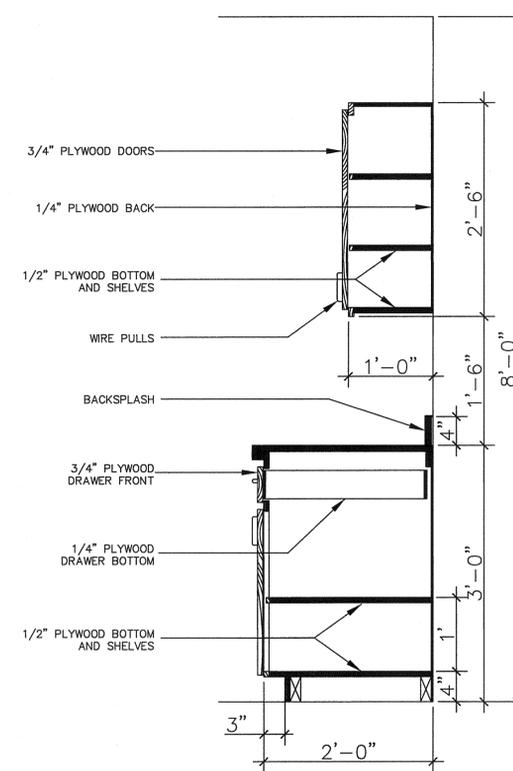


1 HANDICAP BATHROOM
SCALE: 3/4" = 1'-0"

TSI CONSTRUCTION
OLD AIRPORT RD.
GALLATIN, TN



1 INTERIOR ELEVATION
A-4.1 SCALE: 3/4" = 1'-0"



TYPICAL CASEWORK DETAIL
SCALE: N.T.S.



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SIGNATURES:

JOB NO: SDG 1428
DWN BY: JAV
DATE: 1-13-15
THIS SHEET: INTERIOR ELEVATIONS

SCALE: AS NOTED

SHEET:

ITEM 6

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A SITE PLAN ON A .277 (+/-) ACRE LOT, ZONED COMMERCIAL GENERAL (CG), LOCATED AT 334 WEST GRAY STREET. (PC File# 8-275-15)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Site Plan submitted by the applicant, John R. Williams, at its regular meeting on February 23, 2015; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-3-413, 13-4-310, and G.Z.O., § 15.03.020:

1. The Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required* of the Gallatin Zoning Ordinance.
2. The Site Plan is consistent with the purpose and intent of the Commercial General (CG) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions established in said Zoning Districts and the applicant has applied for a variance for building setback, which if approved, the site plan will comply with building setback requirements.
3. Once completed, the Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), Flood Prevention and Protection Regulations (G.Z.O., Section 10.03) and the Landscaping Requirements (Section 13.05).

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Site Plan for Sumner County Ornamental Service consisting of 7 sheets, prepared by John R. Williams, of Gallatin, TN, dated February 12, 2015, with the following conditions:

1. This site plan is contingent on the review and approval by the Municipal Board of Zoning Appeals of two (2) variances related to the Minimum Building Setback and the Rear Yard area.
2. The project shall comply with International Fire Code Sections 2101.1, 2101.2, 1506, and 1504.7, which provide regulations on the location of powder coating operations, which shall be conducted in enclosed powder coating rooms, enclosed powder coating facilities which are ventilated or ventilated spray booths. Powder coating rooms shall be constructed of noncombustible materials.
3. The project shall comply with International Fire Code Section 1504.3.2, which provides standards do the construction of spray booths. Also, powder coating areas shall be kept free from the accumulation of powder coating dust, including horizontal surfaces such as ledges, beams, pipes, hoods, booths and floor.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 2/23/2015

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY

ITEM 6



PLANNING DEPARTMENT STAFF REPORT

Site Plan for Sumner County Ornamental

(PC File# 8-275-15)

334 West Gray Street

Date: February 12, 2015

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A SITE PLAN TO CONSTRUCT A 1,334 SQUARE FOOT ADDITION TO AN EXISTING BUILDING ON A .0277 (+/-) ACRE LOT, ZONED COMMERCIAL GENERAL (CG), LOCATED AT 334 WEST GRAY STREET.

OWNER: JOHN WILLIAMS

APPLICANT: JOHN WILLIAMS (OWNER - SUMNER COUNTY ORNAMENTAL)

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2015-25

STAFF CONTACT: KEVIN CHASTINE

PLANNING COMMISSION DATE: FEBRUARY 23, 2015

PROPERTY OVERVIEW: The owner and applicant is requesting approval of a site plan to construct a 1,334 square foot addition to an existing building on a 0.277 (+/-) acre lot, zoned Commercial General (CG), located at 334 West Gray Street. Limited Manufacturing is a permitted use in the CG zone district. (Attachment 6-1)

CASE BACKGROUND:
Previous Approvals

A variance (PC File# B-2-03) for Sumner County Welding was approved at the March 23, 2003 Municipal Board of Zoning Appeals meeting. The approval provided a 10 foot variance from the required 20 foot rear yard and a 15 foot variance from the required 50 minimum building setback line for the construction of a 50 foot by 80 foot building.

A Minor Subdivision Plat (PC File# 2-10-07S), for the John R. Williams Property, was approved by Staff on June 21, 2007 to combine two (2) lots (Tax Map 113N Group A Parcel 015.00 and Parcel 017.00) into one (1). The Minor Subdivision Plat was recorded on June 28, 2007 (P.B. 24 Pg. 265).

DISCUSSION:
Proposed Development

The owner/applicant is requesting approval of a site plan to construct a 1,344 square foot addition on to an existing 3,404 square foot building for a total square footage of 4,738. The site is located on a .277 (+/-) acre lot (Tax Map 113N Group A Parcel 015.00) (Plat Book 24 Pg. 265) at 334 West Gray Street. The property is currently zoned Commercial General (CG) and the Limited Manufacturing use is permitted in the CG zone district. (Attachment 6-2)

Board of Zoning Appeals

The existing building was constructed prior to the existence of the current zoning regulations, which means the building encroaches on the required 50 foot Minimum Building Setback Line and 20 foot Rear Yard. The owner desires to construct the addition so that it maintains the building line of the existing building. Constructing the addition to match the alignment of the existing building requires a variance. Although the property was provided a variance from the rear yard and minimum setback line in 2003 (B-2-03), the variance was not given for the entire width of the property, therefore the applicant is required to apply for a variance for the current addition. The applicant has applied for a variance with the Municipal Board of Zoning Appeals to permit construction of the addition within the required 50 foot Minimum Building Setback Line (M.B.S.L.) and the required 20 foot rear yard.

An approval of this site plan is contingent on the review and approval by the Municipal Board of Zoning Appeals of two (2) variances related to the Minimum Building Setback and the Rear Yard.

Natural Features

The natural topography for the lot has been altered when the entire site was initially developed. Based on FEMA FIRM Map 47165C0314G, no portion of the site is located within special flood hazard area.

Adjacent Areas & Uses

The project site is surrounded by Commercial General (CG) zoned property on all sides. To the north is Northstar Environmental Group, Inc. a waste management/recycling service company. To the south is a 4.330 (+/-) acre vacant industrial lot formerly used as lumber yard. To the east is a .115 (+/-) acre vacant lot. To the west is a .080 (+/-) acre vacant lot.

Buildings and Architectural Elevations

The proposed addition is one-story and symmetrical and contains 1,334 square feet (29 feet by 46 feet). Although the addition is symmetrical, the entire building will be asymmetrical in its design once the addition is constructed. The addition will match and extend the existing side gable roof, which is sheathed with a muted gray standing seam metal roof.

The building additions south elevation (West Gray Street) will contain 100 percent brick and two (2) large roll up doors that will match the three (3) roll up doors on the existing building. The north and east elevations will match tan metal panels on the existing building. The north elevation will have no doors or windows.

The architectural elevations for the building does not meet the Basic Design Criteria of the Gallatin Zoning Ordinance, Section 13.08.010.A, *Materials*, since the building will match the existing building but will not meet the required 70 percent brick or stone on each building facade.

The Planning Commission shall make a determination of whether or not the proposed alternative architectural design meets the standards for an alternative architectural design as stated in Gallatin Zoning Ordinance, Section 13.08.010.D.

Bufferyard and Landscaping

Gallatin Zoning Ordinance, Section 13.04.020.C states building additions larger than 20 percent of the existing building requires bufferyards on the portion of the lot where the addition is proposed. Given this requirement, the proposed addition would require a Type 15 Bufferyard on the north, south and east property lines directly adjacent to the proposed addition.

The property, as it exists, has been paved to the northern, southern, and eastern property boundaries, therefore, to install the required landscape material would require removal of the parking lot and outdoor storage area. A few trees at the northeast corner of the property will remain.

Parking

The required parking ratio for Limited Manufacturing is one (1) parking space per 1,000 square foot of the building size. With the proposed addition the building will total 4,738 square feet, which would require five (5) parking spaces. The applicant has provided the required five (5) parking spaces. All five (5) parking spaces will be located in front of the existing building, where the entire front portion of the site is paved with concrete.

Access

This existing site has a single access point that extends most of the width of the site. This site plan will not change the existing access point.

Photometric Plan and Lighting Fixtures

The site plan indicated no parking lot lighting fixtures will be installed on this site. If lighting fixtures are installed in the future, the lighting shall comply with the City of Gallatin Zoning Ordinance, Section 13.02.08.

Signage

No new or additional signage is proposed for this site. If, in the future, additional signage is proposed, the applicant shall submit a detailed sign package for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.

Planning Department Comments

The Planning Department reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed all of the Planning Department review comments.

Engineering Division Comments

The Engineering Division reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed all Engineering Division comments.

Fire Department Comments

The Fire Department reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed the other Fire Department comments, except those that are listed below:

1. The project shall comply with International Fire Code Sections 2101.1, 2101.2, 1506, and 1504.7, which provide regulations on the location of powder coating operations, which shall be conducted in enclosed powder coating rooms, enclosed powder coating facilities which are ventilated or ventilated spray booths. Powder coating rooms shall be constructed of noncombustible materials.
2. The project shall comply with International Fire Code Section 1504.3.2, which provides standards do the construction of spray booths. Also, powder coating areas shall be kept free from the accumulation of powder coating dust, including horizontal surfaces such as ledges, beams, pipes, hoods, booths and floor.

Findings:

1. The Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required* of the Gallatin Zoning Ordinance.
2. The Site Plan is consistent with the purpose and intent of the Commercial General (CG) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions established in said Zoning Districts and the applicant has applied for a variance for building setback, which if approved, the site plan will comply with building setback requirements.
3. Once completed, the Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), Flood Prevention and Protection Regulations (G.Z.O., Section 10.03) and the Landscaping Requirements (Section 13.05).

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2015-25, Site Plan for Sumner County Ornamental, consisting of 7 sheets, prepared by John R. Williams of Gallatin, TN, dated February 12, 2015, with the following conditions:

1. This site plan is contingent on the review and approval by the Municipal Board of Zoning Appeals of two (2) variances related to the Minimum Building Setback and the Rear Yard area.
2. The project shall comply with International Fire Code Sections 2101.1, 2101.2, 1506, and 1504.7, which provide regulations on the location of powder coating operations, which shall be conducted in enclosed powder coating rooms, enclosed powder coating facilities which are ventilated or ventilated spray booths. Powder coating rooms shall be constructed of noncombustible materials.

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ATTACHMENTS

- Attachment 6-1 Location Map
- Attachment 6-2 Sumner County Ornamental - Site Plan

I:\Planning Commission\ Items\2015\2-23-2015\Staff Reports\Item 6 Sumner County Ornamental - Site Plan (PC File# 8-275-15) KC

ATTACHMENT 6-1



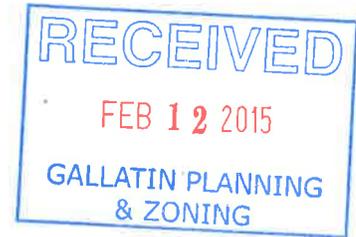
Prepared By: Kevin Chastine, AICP
Prepared On: Feb. 19, 2015

Location Map
Sumner County Ornamental - Site Plan
334 West Gray Street
PC File# 8-275-15





Sumner County Ornamental
Full Service Welding, Fabricating and Design
Commercial and Residential
Established 1996



- 334 West Gray Street addition

Proposal will meet all City of Gallatin performance standards GZO SEC 13.02
PC File # 8-275-15

Zoning CG all adjacent property owners

Proposed addition 29' X 46'

According to FEMA panel 47165C0314D 4/17/12,

No part of this property is located in an area of special flood hazard

No new signage or additional signs

Utilities: City of Gallatin, water, sewer and gas, trash disposal, waste disposal

Company owned dumpster for waste disposal

Required parking 5 spaces

Provided parking 5 spaces

Yard setbacks 20' rear yard, 10' side yards, 50' MBSL front yard

I, John R. Williams am financially responsible for any and all liabilities
connected with 334 W Gray Street, Gallatin, TN.

Sumner County Ornamental
334 W. Gray Street Gallatin, Tn. 37066
615.230.8649 OR 615.456.8087 Fax 615.230.8649
Email: sumnercountyorna@bellsouth.net

Visit our website at: www.sumnercountyornamental.com

8-275-15

RESUBMITTAL



2014 Property Tax Notice
Connie W. Kittrell, Gallatin City Recorder
 132 West Main St Room 111
 Gallatin, TN 37066

	Tax Bill # 1062
Total Due \$59.00	Amount Paid
Property Address 334 WEST GRAY STREET	

DIST	MAP	GP	C-MAP	PARCEL	SP-JNT	CO	CI
		A	113N	015.00 P	000	083	278



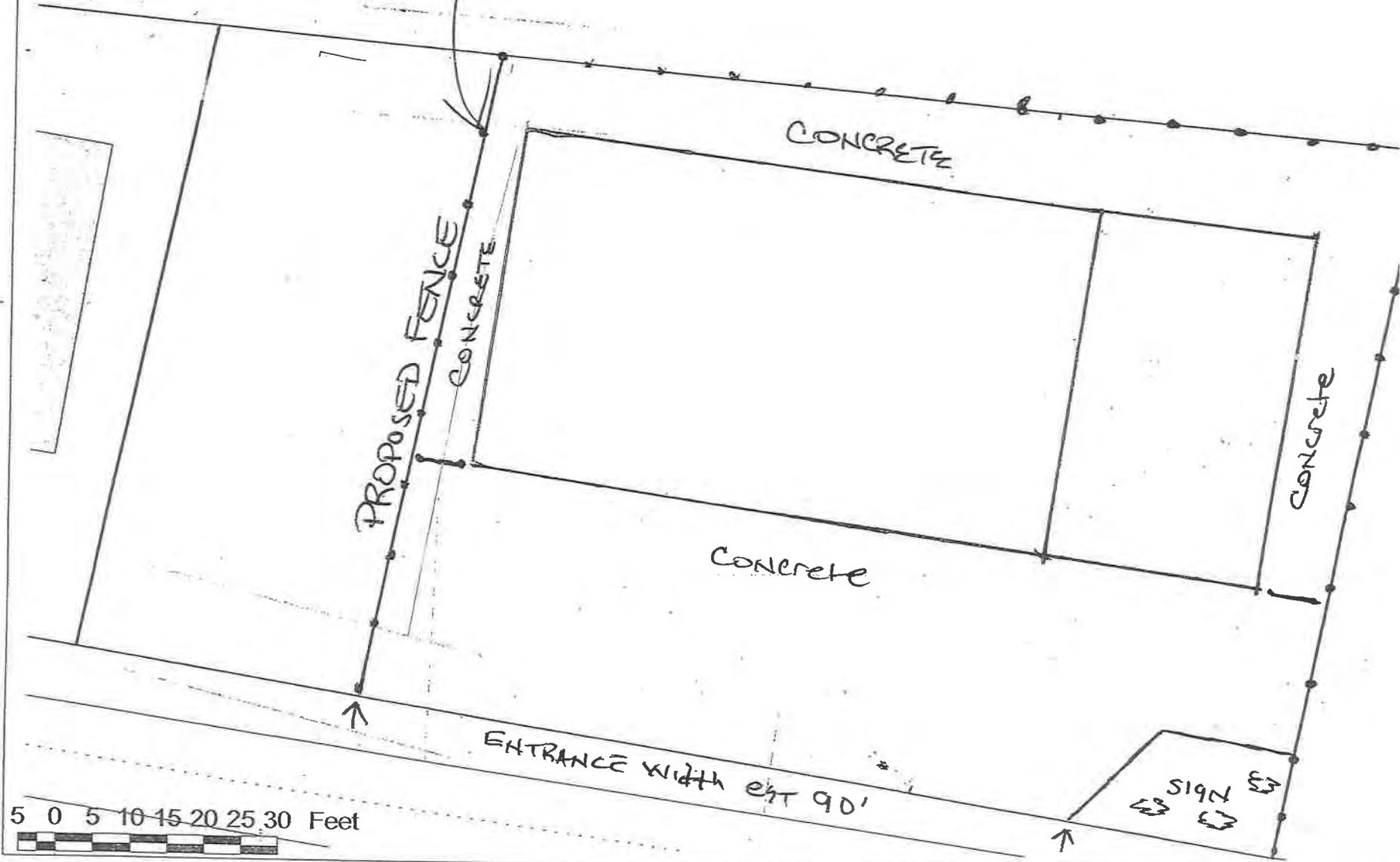
*****AUTO**5-DIGIT 37031 25 247
 SUMNER COUNTY ORNAMENTAL SERVICE
 JOHN R WILLIAMS
 334 WEST GRAY STREET
 GALLATIN, TN 37066

To avoid interest, taxes must be paid by February 28, 2015.

116

DIST	MAP	GP	Q-MAP	PARCEL	SP-INT	CO	CI
03	113N	A	113N	015.00	000	083	278

PROPOSED FENCE



5 0 5 10 15 20 25 30 Feet

SIGN



REAR FENCE

GATE
SECURITY

CONCRETE

FENCE

916



DIST	MAP	GP	C-MAP	PARCEL	SP-INT	CO	CI
03	113N	A	113N	015.00	000	083	278

Sumner County Ornamental
 334 West Gray Street
 Gallatin, TN 37066
 615-230-8649

PROPOSAL USE WILL MEET ALL CITY OF GALLATIN PERFOR
 STANDARDS

USE: LIMITED MANUFACTURING
 NO EASEMENTS

TOTAL SQ' 3"
 PROPOSAL 13'
 TOTAL SQ' 4'



5 0 5 10 15 20 25 30 Feet



CG STEWARD LUMBER

FENCING WEST END OF Building
metal FENCING PANELS to match Building



ITEM 7



City of Gallatin
Engineering Division
Transportation and Drainage Infrastructure
Inspection Report

Name of Site/Subdivision		Baywood Pointe		Phase/Section		Phase 3	
PC #	1-2-06C	Site Contact	Jim Sweeney/Lee Wall	Site Contact #	615-405-0344		

DATE	REASON FOR INSPECTION						
8-11-2011	<input type="checkbox"/> Surety Inspection	<input type="checkbox"/> ROW Acceptance	<input type="checkbox"/> Violation	<input checked="" type="checkbox"/> X	<input type="checkbox"/> Other		
TRANSPORTATION INFRASTRUCTURE							
DRAINAGE INFRASTRUCTURE							
NOTES							INSPECTOR
Refer to PH 3 ROW INSPECTION(BIG POND) for old inspection reports							RES

DATE	REASON FOR INSPECTION						
8-11-2011	<input checked="" type="checkbox"/> X	<input type="checkbox"/> Surety Inspection	<input type="checkbox"/> ROW Acceptance	<input type="checkbox"/> Violation	<input type="checkbox"/> Other		
TRANSPORTATION INFRASTRUCTURE							
Curb, binder, and all except speed limit sign in. Needs topping. A few minor binder failures. (1) 14'x40' (1) 10'x40'. Realignment of triple catch basin @ entrance to subdivision required.							
DRAINAGE INFRASTRUCTURE							
Improvements from Neel-Shaffer report have not been completed including: enlargement of "sediment pond", spillway, and ditch lined w/ rip rap.							
NOTES							INSPECTOR
							JZW

DATE	REASON FOR INSPECTION						
11-25-13	<input checked="" type="checkbox"/> X	<input type="checkbox"/> Surety Inspection	<input type="checkbox"/> ROW Acceptance	<input type="checkbox"/> Violation	<input type="checkbox"/> Other		
TRANSPORTATION INFRASTRUCTURE							
BINDER AND CURBS ARE INSTALLED. STILL NEEDS FINAL TOPPING AND STRIPPING. HAS ROAD FAILURES 10'X75' 10'X50' 4'X20' 4'X30' 10'X20' OF BINDER COMING APART. STILL NEEDS THE REALIGNMENT OF THE TRIPLE CATCH BASINS@ ENTRANCE OF SUBDIVISION PER PLANS.							
DRAINAGE INFRASTRUCTURE							
IMPROVEMENTS FROM THE NEEL-SHAFFER REPORT HAVE BEEN COMPLETED NOW.							
NOTES							INSPECTOR
							RES

1-2-06C (suggs)
 1-41-06C

DATE	REASON FOR INSPECTION				
1-12-2015	X	Surety Inspection	ROW Acceptance	Violation	Other
TRANSPORTATION INFRASTRUCTURE					
BINDER AND CURBS ARE INSTALLED. STILL NEEDS FINAL TOPPING AND STRIPPING. HAS ROAD FAILURES 10'X75' 10'X50' 4'X20' 4'X30' 10'X20' OF BINDER COMING APART. STILL NEEDS THE REALIGNMENT OF THE TRIPLE CATCH BASINS@ ENTRANCE OF SUBDIVISION PER PLANS.					
DRAINAGE INFRASTRUCTURE					
IMPROVEMENTS FROM THE NEEL-SHAFFER REPORT HAVE BEEN COMPLETED NOW.					
NOTES					INSPECTOR
					Buck

Performance Bond Estimate

Date: 1/4/10

By: JZW

TNR No. _____

PC/BZA #: 1-2-06C

Subdivision Name: Baywood Pointe Phase 3

*50% surety is held by Sweeney, 25% Wall, and 25% Suggs old new

Reduced:	Date	Description	old	new
JZW	8/12/2010	Updated prices for basestone, tack coat, and sidewalk.		
JZW	8/11/2011	Updated to include N-S report recommendations and road failures.	\$177,000	\$212,000
JZW	12/3/2012	Updated to account for improvements per N-S report	\$212,000	\$180,000
TDR	1/23/2013	Updated to account for improvements per N-S report	\$160,000	\$163,000
TDR	11/25/2013	Surety Update. Revised Road Failures.	\$163,000	\$159,000
TDR	1/12/2015	Surety Update. No change since last year.	\$159,000	\$159,000

Road Specifications

ROAD NAME	LENGTH (ft)	WIDTH (ft)	CUL- DE-SAC RADIUS (ft)	BASE (in)	BINDER (in)	SURFACE (in)	R.O.W (ft)
Blue Jay Way	955	26	0	6	2.5	1.5	50
Westbrook Drive	740	26	40	6	2.5	1.5	50
Summerstar Circle	700	26	0	6	2.5	1.5	50
Morningstar Court	200	26	40	6	2.5	1.5	50
Road Name	0	24	0	6	2.5	1.5	50
Road Name	0	24	0	6	2.5	1.5	50
Road Name	0	24	0	6	2.5	1.5	50
Road Name	0	24	0	6	2.5	1.5	50

Roadway

Description	Unit Price	Estimated Quantity	Cost	% Complete	Cost To Complete
Aggregate-Type A Base Grading D (TON)	\$30.00	38759 CF	\$61,045.43	100%	\$0.00
Prime Coat (TON)	\$400.00	3015	\$5,024.31	100%	\$0.00
Binder-B-Mod (TON)	\$75.00	16150 CF	\$81,757.27	100%	\$0.00
Tack Coat (TON)	\$570.00	861	\$2,045.61	0%	\$2,045.61
Asphalt Surface Coarse Grade D (TON)	\$100.00	711	\$71,058.17	0%	\$71,058.17
Clearing and Grubbing (AC)	\$15,000.00	2.04	\$30,600.00	100%	\$0.00
Strip Topsoil (CY)	\$8.75	2588.85	\$22,652.45	100%	\$0.00
Roadway Excavation (CY)	\$4.05	4785.57	\$19,381.57	100%	\$0.00
Staking (AC)	\$2,000.00	2.04	\$4,080.00	100%	\$0.00
Mobilization (LS)	\$6,000.00	1.00	\$6,000.00	100%	\$0.00
6' Sidewalk (LF)	\$25.00		\$0.00	0%	\$0.00
5' Sidewalk (LF)	\$20.00	5200	\$104,000.00	40%	\$62,400.00
Extruded Curb (LF)	\$15.00	5200	\$78,000.00	100%	\$0.00
Curb and Gutter (LF)	\$23.76		\$0.00	0%	\$0.00

4 binder failures. See inspection report

Total Cost: \$485,644.81

Cost To Complete: \$135,503.78

Street Signs and Markings

Description	Price w/ Installation	Quantity	Cost	% Complete	Cost To Complete
(R1-1) Stop Sign and Post	\$95.00	4	\$380.00	100%	\$0.00
(D3) Street Name Signs (6"x36")	\$30.00	6	\$180.00	100%	\$0.00
Street Name Signs (9"x36") (Over 40 mph)	\$45.00	0	\$0.00	0%	\$0.00
(R2-1) Speed Limit Sign	\$75.00	1	\$75.00	0%	\$75.00
(R1-2) Yield, (W14-2) No Outlet, (W14-1) Dead End, (W2-6)	\$95.00	0	\$0.00	0%	\$0.00
(W11-2) FYG Pedestrian Crosswalk	\$150.00	0	\$0.00	0%	\$0.00
(W16-7p) Arrow					
Installation of Owner Furnished Signs	\$75.00	0	\$0.00	0%	\$0.00
Stop Bar	\$150.00	4	\$600.00	0%	\$600.00
Pavement Markings (Arrows, Etc.)	\$250.00	0	\$0.00	0%	\$0.00
Crosswalk	\$800.00	0	\$0.00	0%	\$0.00
Single Line (LF)	\$3.23	0	\$0.00	0%	\$0.00
Double Line (LF)	\$6.26	0	\$0.00	0%	\$0.00

Total Cost:	\$1,235.00	Cost To Complete:	\$675.00
Sign Bill:	\$635.00		

Stormwater and Erosion Control

Description	Unit Price	Quantity	Cost	% Complete	Cost To Complete
Inlet/Junction Box (EA)	\$2,000.00	13	\$26,000.00	95%	\$1,300.00
Headwalls (EA)	1,000.00	5	\$5,000.00	100%	\$0.00
Pipe Culverts 15-24" (LF)	35.00	868	\$30,380.00	100%	\$0.00
Pipe Culverts 30"+ (LF)	50.00	215	\$10,750.00	100%	\$0.00
Driveway Culvert 15"	18.00	0	\$0.00	0%	\$0.00
Driveway Culvert 18"	32.00	0	\$0.00	0%	\$0.00
Ditches up to 2' bottom (LF)	17.50	0	\$0.00	0%	\$0.00
Ditches over 3' bottom (LF)	25.00	500	\$12,500.00	100%	\$0.00
Box Culverts (WxL) (SF)	50.00	0	\$0.00	0%	\$0.00
Detention Ponds (Small) (EA)	25,000.00	1	\$25,000.00	100%	\$0.00
Detention Ponds (Large) (EA)	35,000.00	0	\$0.00	0%	\$0.00
Final Stabilization (Avg.) (ACRE)	2,000.00	4	\$8,000.00	100%	\$0.00
Silt fence (LF)	\$1.50	500	\$750.00	100%	\$0.00
Silt Fence Wire Backing (LF)	\$4.50	0	\$0.00	0%	\$0.00
Temporary stabilization (ACRE)	1,000.00	9	\$9,000.00	100%	\$0.00
Check Dams (EA)	100.00	5	\$500.00	100%	\$0.00
Filter Swales (up to 15' W) (LF)	35.00	0	\$0.00	0%	\$0.00
Filter Swales (over 15' W) (LF)	50.00	0	\$0.00	0%	\$0.00
Catch Basin filter assembly (EA)	75.00	13	\$975.00	100%	\$0.00
Construction entrance (EA)	1,500.00	0	\$0.00	0%	\$0.00
Rock inlet protection (EA)	150.00	0	\$0.00	0%	\$0.00
Dust Control (EA)	2,000.00	0	\$0.00	0%	\$0.00
EC Blanket (SY)	1.15	0	\$0.00	0%	\$0.00
Curb inlet protection (EA)	200.00	0	\$0.00	0%	\$0.00
Pipe for overflow per N-S plan	35.00	30	\$1,050.00	100%	\$0.00

Total Cost	\$128,855.00	Cost To Complete:	\$1,300.00
EC Bond:	\$11,225.00		

Description	Unit Price	Quantity	Cost	% Complete	Cost to Complete
Full Depth Pavement Repair (Ton)	\$120.00	61	\$7,367	0%	\$7,366.67

Comments:

Total Project Cost(110%)=	\$677,600	Cost To Complete(110%)=	\$159,000
15% of Principal Amount=	\$102,000		
Maintenance Bond Amount = (10% Total Project Cost)	\$68,000		

11-009

UPDATED AMOUNT AND EXPIRATION DATE
IRREVOCABLE LETTER OF CREDIT NUMBER 85001776

Issue Date March 18, 2014
Expiration Date March 31, 2015

March 18, 2014

Horace Mike Suggs
1756 Edgar Dillard Road
Greenbrier, Tn. 37073

BENEFICIARY:

City of Gallatin, Codes and Planning Dept.
132 West Main St.
Gallatin, Tn. 37066

Re: Baywood Pointe, Phase 3 (Suggs); PC File #1-2-06C

Ladies and Gentlemen:

We hereby establish our Irrevocable Standby Letter of Credit in your favor available by your draft(s) drawn at sight on Community Bank & Trust and accompanied by the documents specified below:

1. Beneficiary's statement signed by one of its officials reading as follows:

Baywood Pointe, Phase 3 has failed to complete certain improvements and/or has Failed to obtain written authorization to release from all affected agencies for the Subdivision known as Baywood Pointe, Phase 3.

2. Original Letter of Credit

3. Drafts may be drawn at Community Bank & Trust, 3564 Tom Austin Hwy, Springfield, Tn. 37172 and must contain the clause "Drawn under Community Bank & Trust, Letter of Credit No. 85001776.

The amount of this Letter of Credit is \$39,750.00 (Thirty Nine Thousand Seven Hundred Fifty Dollars).

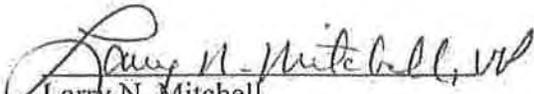
REC'D APR 15 2014
BØ3Ø796--11
1-2-06C (Suggs)
(Subd.)

The Letter of Credit will automatically renew one year from the issue date provided there be no adverse changes in the Applicants Financial Condition. Community Bank & Trust will notify the Beneficiary sixty (60) days prior to maturity should the Letter of Credit not be renewed.

This Letter of Credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 Revision). International Chamber of Commerce, Publication Number 500.

THE ORIGINAL OF THIS LETTER OF CREDIT AND ANY AMENDMENTS
THERE TO MUST BE PRESENTED WITH ANY DRAWING.

COMMUNITY BANK & TRUST

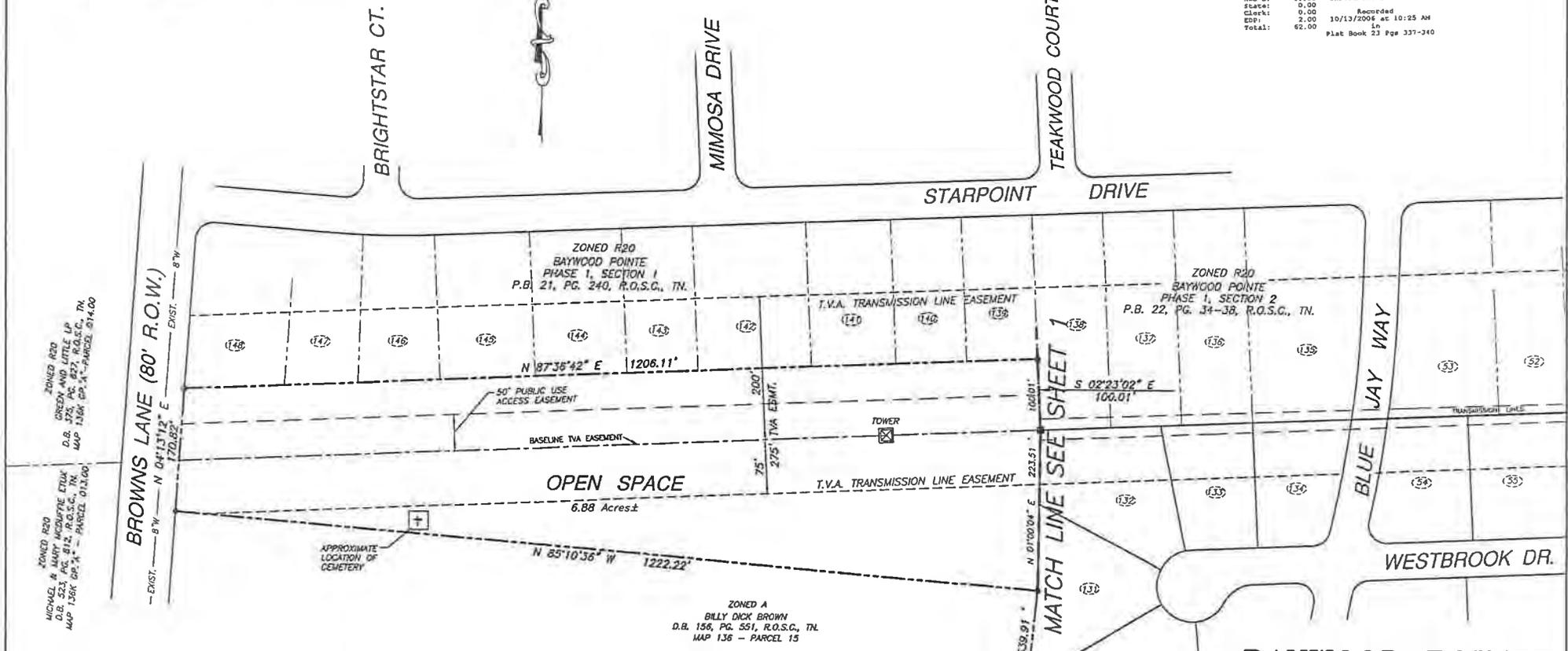

Larry N. Mitchell
Vice President

REC'D APR 15 2014

BØ3Ø796--11
1-2-06C (suggs)
(Subd.)



Pamela L. Whitaker, Register
 Sumner County Tennessee
 Run #: 65059 Instrument #: 813942
 Fee: 60.00
 State: 0.00
 Clerk: 0.00
 EDP: 2.00
 Total: 62.00
 10/13/2006 at 10:25 AM
 Plat Book 23 Pgs 337-340



NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT	CHORD DIRECTION
C1	184°48'53"	1599.34	161.42	181.42	80.81	N 11°01'31" E	
C2	05°08'23"	1649.94	162.08	172.03	23.59	N 02°23'58" E	
C3	2°41'42"	25.00	32.16	29.58	18.73	N 50°45'52" E	
C4	240°00'00"	50.00	208.44	86.60	86.60	S 23°21'17" E	
C5	04°00'00"	50.00	32.38	50.00	28.87	S 27°38'43" W	
C6	102°58'25"	25.00	44.93	39.12	31.41	N 42°34'04" W	
C7	105°18'25"	25.00	45.85	39.75	32.76	S 39°44'05" E	
C8	78°25'29"	25.00	33.20	30.81	19.56	S 48°33'50" W	
C9	08°17'13"	1489.78	215.47	215.29	107.92	S 06°29'27" W	
C10	02°13'19"	1439.78	211.73	231.48	116.12	S 02°54'20" W	
C11	92°00'00"	25.00	39.27	35.56	25.00	N 47°19'26" E	
C12	81°24'35"	50.00	58.14	38.38	18.90	S 66°58'48" E	
C13	282°49'59"	50.00	228.35	75.00	56.69	S 02°17'55" W	
C14	81°23'55"	50.00	38.14	35.36	18.90	S 74°25'50" W	
C15	92°00'00"	25.00	39.27	35.56	25.00	N 47°19'26" W	
C16	92°42'02"	25.00	40.87	36.47	26.65	N 45°13'13" W	
C17	88°18'53"	25.00	37.87	34.21	23.45	S 44°29'47" W	
C18	85°28'10"	120.59	227.18	208.26	147.51	S 41°58'18" E	
C19	58°31'19"	300.59	205.00	125.18	112.44	S 27°59'48" E	
C20	27°32'58"	300.60	37.82	26.66	49.30	S 71°17'57" E	

CERTIFICATE OF COMMON AREAS DEDICATION

Jim Sweeney Construction, Inc. and J & M Homebuilders, Inc., a Joint Venture, in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in Baywood Pointe Phase 3 for recreation and related activities. The above described areas are not dedicated hereto for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in Baywood Pointe Phase 3 as more fully provided in Article _____ Declaration of Covenants and Restrictions, applicable to Baywood Pointe Phase 3, dated _____ and recorded with this plat. Said Article _____ is hereby incorporated and made part of this plat.

DATE: 9-29-06 OWNER: *Jim Sweeney*

DATE: 10-5-06 OWNER: *Jim Sweeney*

BAYWOOD POINTE
PHASE 3
FINAL PLAT

PROPERTY LOCATED IN THE 4th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE: DECEMBER 30, 2005 Rev: 2/9/2006
 SCALE: 1" = 100' Rev: 4/6/2006

OWNER/DEVELOPER:
JIM SWEENEY CONSTRUCTION, INC. AND
J & M HOMEBUILDERS, INC., A JOINT VENTURE
 131 INDIAN LAKE ROAD, SUITE 203
 HENDERSONVILLE, TN 37075

CERTIFICATE OF OWNERSHIP & DEDICATION

I (We) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in book number 2384 page 381 R.O.S.C., TN, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, execution and that the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.

DATE: 9-29-06 OWNER: *Jim Sweeney*

DATE: 10-5-06 OWNER: *Jim Sweeney*

TITLE: *Patricia*

TITLE: *Patricia*

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown on the plan, in accordance with the specifications herein.

DATE: 10-13-06

REGISTERED SURVEYOR
 STATE OF TENNESSEE No. 2023

CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS

I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled Baywood Pointe Phase 3 have been installed in accordance with current local and state government requirements, or a sufficient bond or cash has been filed which will guarantee said installation.

WATER SYSTEM: *9/29/06* *Paul M. Sweeney*
 Date Superintendent of Public Utilities, Gallatin, Tennessee

SEWER SYSTEM: *9/29/06* *Paul M. Sweeney*
 Date Superintendent of Public Utilities, Gallatin, Tennessee

CERTIFICATE OF THE APPROVAL OR BONDING OF ROADS

I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance bond has been posted with the Planning Commission to assure completion of all required improvements in case of default.

DATE: 10/13/06

Paul M. Sweeney
 CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register.

DATE: 10-13-06 *John Sweeney*
 Secretary, Planning Commission

DATE: 10-11-06 *D.D.*
 Chair's Initials

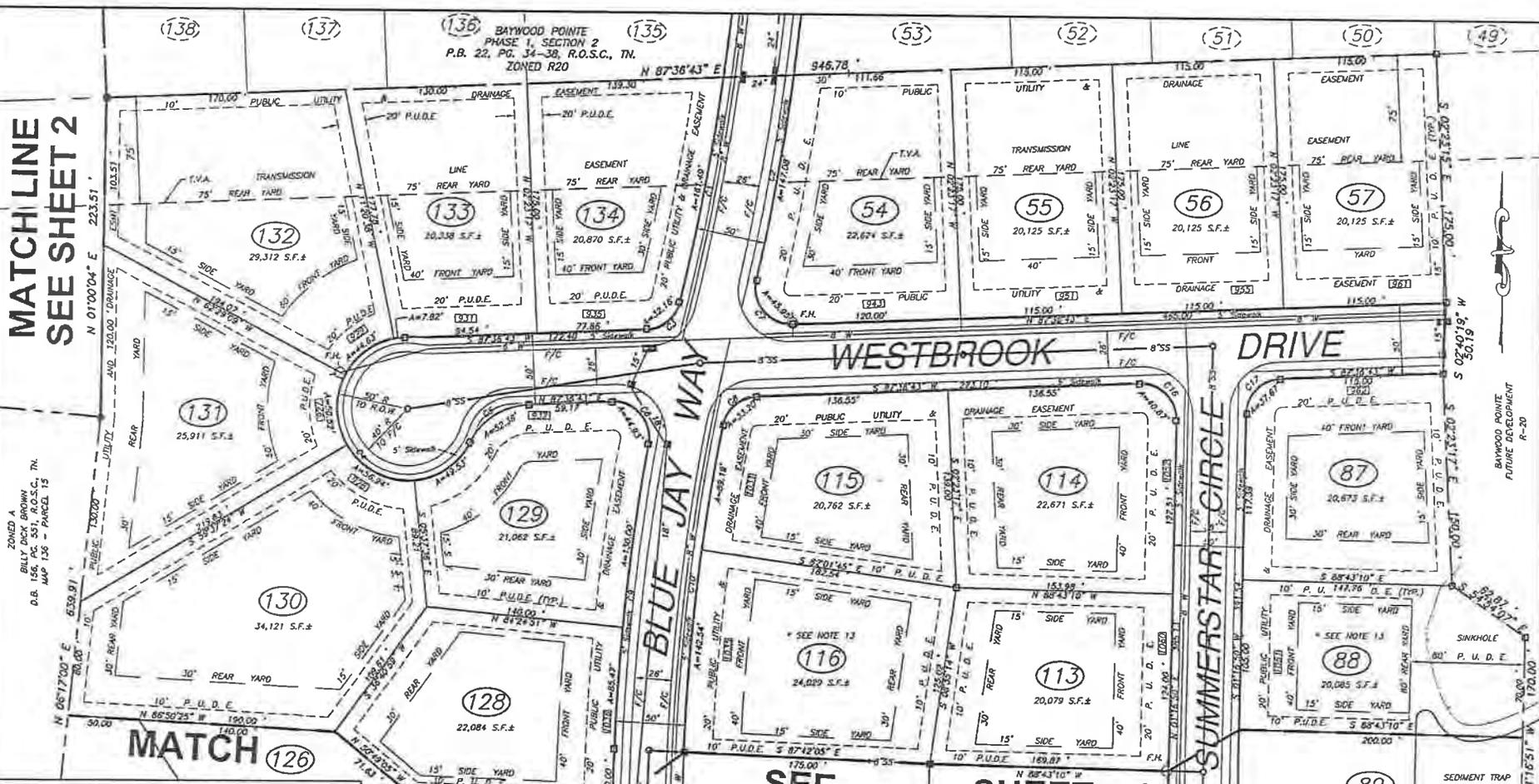
RECORD

Recorded _____ 2006
 in Book _____ Page _____
 of the Register's Office, Sumner Co., TN

PREPARED BY:
Bruce Rainey
 LAND DEVELOPMENT CONSULTANTS
 118 MAPLE ROW BLVD.
 HENDERSONVILLE, TN 37075
 PHONE 615-822-0013
 FAX 615-822-1487

JOB NO. 01-0265
 SHEET 2 OF 4

**MATCH LINE
SEE SHEET 2**



CERTIFICATE OF COMMON AREAS DEDICATION
 Jim Sweeney Construction, Inc. and J & M Homebuilders, Inc. a Joint Venture, in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in Baywood Pointe Phase 3 for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in Baywood Pointe Phase 3 as more fully provided in Article Declaration of Covenants and Restrictions, applicable to Baywood Pointe Phase 3, and recorded with this plat. Said Article is hereby incorporated and made part of this plat.

DATE: 9-29-06 OWNER: Joe Zuehl

DATE: 10-5-06 OWNER: [Signature]

SEE SHEET 3

NOTES:
 1. ALL NOTES ON SHEET ONE APPLY TO THIS SHEET.
 2. SEE SHEET TWO FOR CURVE DATA.

OCT 13 2006

MAP_GP_CIT_PAR

**BAYWOOD POINTE
 PHASE 3,
 FINAL PLAT**

OWNER/DEVELOPER:
**JIM SWEENEY CONSTRUCTION, INC. AND
 J & M HOMEBUILDERS, INC., A JOINT VENTURE**
 131 INDIAN LAKE ROAD, SUITE 203
 HENDERSONVILLE, TN 37075

PROPERTY LOCATED IN THE 4th CIVIL DISTRICT
 OF SUMNER COUNTY, TENNESSEE

DATE: DECEMBER 30, 2005 Rev: 2/9/2006
 SCALE: 1" = 50' Rev: 4/3/2005

CERTIFICATE OF OWNERSHIP & DEDICATION

I (We) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in book number 128, page 25, R.O.S.C., TN., and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.

DATE: 9-29-06 OWNER: Joe Zuehl

TITLE: Partner

DATE: 10-5-06 OWNER: [Signature]

TITLE: Partner

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown, subject to the applications of these regulations.

DATE: [Signature]

REGISTERED SURVEYOR
 TENNESSEE No. 0000

CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS

I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled Baywood Pointe Phase 3, have been installed in accordance with current local and state government requirements, or a sufficient bond or cash has been filed which will guarantee said installation.

WATER SYSTEM: 9/29/06 [Signature] Superintendent of Public Utilities, Gallatin, Tennessee

SEWER SYSTEM: 9/29/06 [Signature] Superintendent of Public Utilities, Gallatin, Tennessee

CERTIFICATE OF THE APPROVAL OR BONDING OF ROADS

I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance bond has been posted with the Planning Commission to assure completion of all required improvements in case of default.

DATE: 10/9/06

[Signature] CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register.

DATE: 10-9-06 [Signature] Secretary, Planning Commission

DATE: 10-11-06 [Signature] Chair's Initials

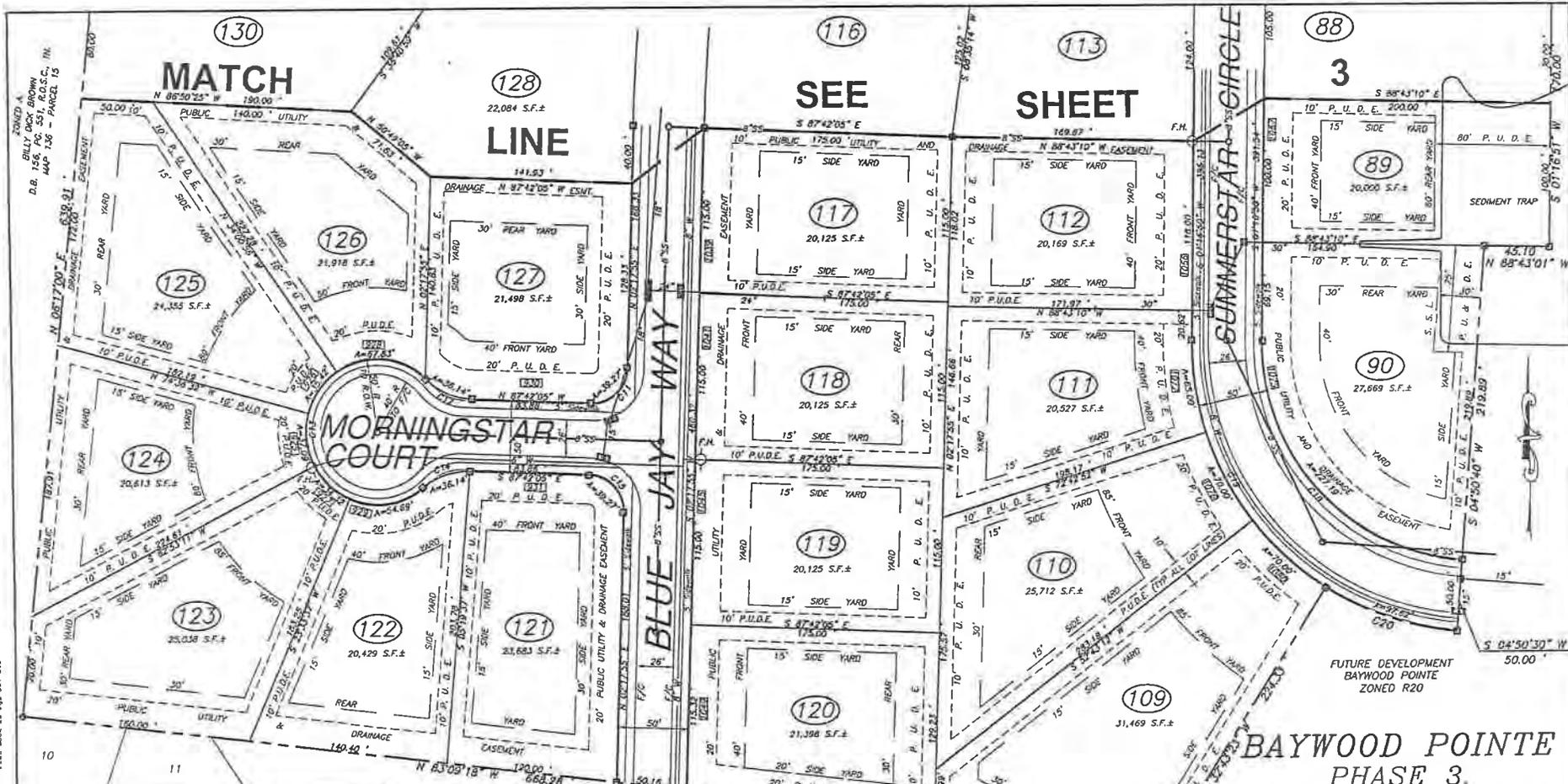
RECORD

Recorded _____, 2006
 in Book _____, Page _____
 of the Register's Office, Sumner Co., TN

PREPARED BY:
Bruce Rainey
 LAND DEVELOPMENT CONSULTANTS
 116 MAPLE ROW BLVD
 HENDERSONVILLE, TN 37075
 PHONE 615-923-0012
 FAX 615-923-1497

JOB NO. 01-0265
 SHEET 3 OF 4

Sumner County Register
 Sumner County Tennessee
 Book 128 Page 25
 0-00
 0-00
 2-00
 2-00
 10/13/2006 10:25 AM
 10/13/2006 10:25 AM
 10/13/2006 10:25 AM



**BAYWOOD POINTE
PHASE 3,
FINAL PLAT**

PROPERTY LOCATED IN THE 4th CIVIL DISTRICT
OF SUMNER COUNTY, TENNESSEE

DATE: DECEMBER 30, 2005 Rev: 2/9/2006
Rev: 4/3/2006

OWNER/DEVELOPER:
JIM SWEENEY CONSTRUCTION, INC. AND
J & M HOMEBUILDERS, INC., A JOINT VENTURE
131 INDIAN LAKE ROAD, SUITE 203
HENDERSONVILLE, TN 37075

Recorded _____, 2006
in Book _____, Page _____
of the Register's Office, Sumner Co., TN

PREPARED BY:
Bruce Raine
LAND DEVELOPMENT CONSULTANTS
116 MAPLE ROW BLVD
HENDERSONVILLE, TN 37075
PHONE 615-824-2013
FAX 615-824-1497

Sumner County Register
Instrument #: 013142
Date: 10/12/2005
Total: \$2,000.00

CERTIFICATE OF COMMON AREAS DEDICATION

Jim Sweeney Construction, Inc. and J & M Homebuilders, Inc., a Joint Venture, in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in Baywood Pointe Phase 3 for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in Baywood Pointe Phase 3 as more fully provided in Article Declaration of Covenants and Restrictions, applicable to Baywood Pointe Phase 3, dated and recorded with this plat. Said Article is hereby incorporated and made part of this plat.

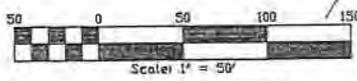
DATE: 9-29-06 OWNER: *Jim I. Ward*

DATE: 10-5-06 OWNER: *Jim I. Ward*

BAY POINT ESTATES
SECTION 1
P.B. 10, PG. 21 R.O.S.C., TN.
ZONED R20

OCT 13 2006
MAY 09 07 PM

- NOTES:
1. ALL NOTES ON SHEET ONE APPLY TO THIS SHEET.
2. SEE SHEET TWO FOR CURVE DATA.



CERTIFICATE OF OWNERSHIP & DEDICATION	CERTIFICATE OF SURVEY ACCURACY	CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS	CERTIFICATE OF THE APPROVAL OR BONDING OF ROADS	CERTIFICATE OF APPROVAL FOR RECORDING	RECORD
<p>I (We) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in book number 2384, page 201, of the Register's Office, Sumner County, Tennessee, and that I (we) hereby consent this plan of subdivision with my (our) fee consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Galatin Municipal-Regional Subdivision Regulations.</p> <p>DATE: 9-29-06 OWNER: <i>Jim I. Ward</i></p> <p>DATE: 10-5-06 OWNER: <i>Jim I. Ward</i></p> <p>TITLE: <i>Partner</i></p> <p>DATE: <i>10-5-06</i> OWNER: <i>Jim I. Ward</i></p> <p>TITLE: <i>Partner</i></p>	<p>I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Galatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown, to the specifications.</p> <p>DATE: <i>10/12/05</i></p> <p>REGISTERED LAND SURVEYOR <i>James S. See</i> No. 233</p>	<p>I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled Baywood Pointe Phase 3 have been installed in accordance with current local and state government requirements, or a sufficient bond or cash has been filed which will guarantee said installation.</p> <p>WATER SYSTEM: <i>9/29/06</i> Date <i>David L. Sneyd</i> Superintendent of Public Utilities, Galatin, Tennessee</p> <p>SEWER SYSTEM: <i>9/29/06</i> Date <i>David L. Sneyd</i> Superintendent of Public Utilities, Galatin, Tennessee</p>	<p>I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Galatin Municipal-Regional Subdivision Regulations, or (2) that a performance bond has been posted with the Planning Commission to ensure completion of all required improvements in case of default.</p> <p>DATE: <i>10/9/06</i></p> <p><i>Ran Old</i> CITY ENGINEER</p>	<p>I hereby certify that the subdivision plat shown hereon has been found to comply with the Galatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register.</p> <p>DATE: <i>10-9-06</i></p> <p><i>John H. Wilson</i> Secretary, Planning Commission</p> <p>DATE: <i>10-11-06</i></p> <p><i>DD</i> Chair's Initials</p>	<p>Recorded _____, 2006 in Book _____, Page _____ of the Register's Office, Sumner Co., TN</p> <p>PREPARED BY: Bruce Raine LAND DEVELOPMENT CONSULTANTS 116 MAPLE ROW BLVD HENDERSONVILLE, TN 37075 PHONE 615-824-2013 FAX 615-824-1497</p>

ITEM 8

City of Gallatin
Engineering Division
Transportation and Drainage Infrastructure
Inspection Report

Name of Site/Subdivision		Baywood Pointe		Phase/Section	Phase 3
PC #	1-2-06C	Site Contact	Jim Sweeney/Lee Wall	Site Contact #	615-405-0344

DATE	REASON FOR INSPECTION				
8-11-2011	<input type="checkbox"/> Surety Inspection	<input type="checkbox"/> ROW Acceptance	<input type="checkbox"/> Violation	<input checked="" type="checkbox"/> X	<input type="checkbox"/> Other
TRANSPORTATION INFRASTRUCTURE					
DRAINAGE INFRASTRUCTURE					
NOTES					INSPECTOR
Refer to PH 3 ROW INSPECTION(BIG POND) for old inspection reports					RES

DATE	REASON FOR INSPECTION				
8-11-2011	<input checked="" type="checkbox"/> X	<input type="checkbox"/> Surety Inspection	<input type="checkbox"/> ROW Acceptance	<input type="checkbox"/> Violation	<input type="checkbox"/> Other
TRANSPORTATION INFRASTRUCTURE					
Curb, binder, and all except speed limit sign in. Needs topping. A few minor binder failures. (1) 14'x40' (1) 10'x40'. Realignment of triple catch basin @ entrance to subdivision required.					
DRAINAGE INFRASTRUCTURE					
Improvements from Neel-Shaffer report have not been completed including: enlargement of "sediment pond", spillway, and ditch lined w/ rip rap.					
NOTES					INSPECTOR
					JZW

DATE	REASON FOR INSPECTION				
11-25-13	<input checked="" type="checkbox"/> X	<input type="checkbox"/> Surety Inspection	<input type="checkbox"/> ROW Acceptance	<input type="checkbox"/> Violation	<input type="checkbox"/> Other
TRANSPORTATION INFRASTRUCTURE					
BINDER AND CURBS ARE INSTALLED. STILL NEEDS FINAL TOPPING AND STRIPPING. HAS ROAD FAILURES 10'X75' 10'X50' 4'X20' 4'X30' 10'X20' OF BINDER COMING APART. STILL NEEDS THE REALIGNMENT OF THE TRIPLE CATCH BASINS@ ENTRANCE OF SUBDIVISION PER PLANS.					
DRAINAGE INFRASTRUCTURE					
IMPROVEMENTS FROM THE NEEL-SHAFFER REPORT HAVE BEEN COMPLETED NOW.					
NOTES					INSPECTOR
					RES

1-2-06C (wall)
1-41-06C

DATE	REASON FOR INSPECTION				
1-12-2015	X	Surety Inspection	ROW Acceptance	Violation	Other
TRANSPORTATION INFRASTRUCTURE					
BINDER AND CURBS ARE INSTALLED. STILL NEEDS FINAL TOPPING AND STRIPPING. HAS ROAD FAILURES 10'X75' 10'X50' 4'X20' 4'X30' 10'X20' OF BINDER COMING APART. STILL NEEDS THE REALIGNMENT OF THE TRIPLE CATCH BASINS@ ENTRANCE OF SUBDIVISION PER PLANS.					
DRAINAGE INFRASTRUCTURE					
IMPROVEMENTS FROM THE NEEL-SHAFFER REPORT HAVE BEEN COMPLETED NOW.					
NOTES					INSPECTOR
					Buck

Performance Bond Estimate

Date: 1/4/10
 By: JZW
 TNR No. _____

PC/BZA #: 1-2-06C

Subdivision Name:	Baywood Pointe Phase 3				
	*50% surety is held by Sweeney, 25% Wall, and 25% Suggs			old	new
Reduced:	JZW	8/12/2010	Updated prices for basestone, tack coat, and sidewalk.		
	JZW	8/11/2011	Updated to include N-S report recommendations and road failures,	\$177,000	\$212,000
	JZW	12/3/2012	Updated to account for improvements per N-S report	\$212,000	\$180,000
	TDR	1/23/2013	Updated to account for improvements per N-S report	\$180,000	\$163,000
	TDR	11/25/2013	Surety Update. Revised Road Failures	\$163,000	\$159,000
	TDR	1/12/2015	Surety Update. No change since last year.	\$159,000	\$159,000

Road Specifications

ROAD NAME	LENGTH (ft)	WIDTH (ft)	CUL- DE-SAC RADIUS (ft)	BASE (in)	BINDER (in)	SURFACE (in)	R.O.W (ft)
Blue Jay Way	955	26	0	6	2.5	1.5	50
Westbrook Drive	740	26	40	6	2.5	1.5	50
Summerstar Circle	700	26	0	6	2.5	1.5	50
Morningstar Court	200	26	40	6	2.5	1.5	50
Road Name	0	24	0	6	2.5	1.5	50
Road Name	0	24	0	6	2.5	1.5	50
Road Name	0	24	0	6	2.5	1.5	50
Road Name	0	24	0	6	2.5	1.5	50

Roadway

Description	Unit Price	Estimated Quantity	Cost	% Complete	Cost To Complete
Aggregate-Type A Base Grading D (TON)	\$30.00	38759 CF	\$61,045.43	100%	\$0.00
Prime Coat (TON)	\$400.00	3015	\$5,024.31	100%	\$0.00
Binder-B-Mod (TON)	\$75.00	16150 CF	\$81,757.27	100%	\$0.00
Tack Coat (TON)	\$570.00	861	\$2,045.61	0%	\$2,045.61
Asphalt Surface Coarse Grade D (TON)	\$100.00	711	\$71,058.17	0%	\$71,058.17
Clearing and Grubbing (AC)	\$15,000.00	2.04	\$30,600.00	100%	\$0.00
Strip Topsoil (CY)	\$8.75	2588.85	\$22,652.45	100%	\$0.00
Roadway Excavation (CY)	\$4.05	4785.57	\$19,381.57	100%	\$0.00
Staking (AC)	\$2,000.00	2.04	\$4,080.00	100%	\$0.00
Mobilization (LS)	\$6,000.00	1.00	\$6,000.00	100%	\$0.00
6' Sidewalk (LF)	\$25.00		\$0.00	0%	\$0.00
5' Sidewalk (LF)	\$20.00	5200	\$104,000.00	40%	\$62,400.00
Extruded Curb (LF)	\$15.00	5200	\$78,000.00	100%	\$0.00
Curb and Gutter (LF)	\$23.76		\$0.00	0%	\$0.00

4 binder failures. See inspection report

Total Cost: \$485,644.81

Cost To Complete: \$135,503.78

Street Signs and Markings

Description	Price w/ Installation	Quantity	Cost	% Complete	Cost To Complete
(R1-1) Stop Sign and Post	\$95.00	4	\$380.00	100%	\$0.00
(D3) Street Name Signs (6"x36")	\$30.00	6	\$180.00	100%	\$0.00
Street Name Signs (9"x36") (Over 40 mph)	\$45.00	0	\$0.00	0%	\$0.00
(R2-1) Speed Limit Sign	\$75.00	1	\$75.00	0%	\$75.00
(R1-2) Yield, (W14-2) No Outlet, (W14-1) Dead End, (W2-6)	\$95.00	0	\$0.00	0%	\$0.00
(W11-2) FYG Pedestrian Crosswalk	\$150.00	0	\$0.00	0%	\$0.00
(W16-7p) Arrow					
Installation of Owner Furnished Signs	\$75.00	0	\$0.00	0%	\$0.00
Stop Bar	\$150.00	4	\$600.00	0%	\$600.00
Pavement Markings (Arrows, Etc.)	\$250.00	0	\$0.00	0%	\$0.00
Crosswalk	\$800.00	0	\$0.00	0%	\$0.00
Single Line (LF)	\$3.23	0	\$0.00	0%	\$0.00
Double Line (LF)	\$6.26	0	\$0.00	0%	\$0.00

Total Cost:	\$1,235.00	Cost To Complete:	\$675.00
Sign Bill:	\$635.00		

Stormwater and Erosion Control

Description	Unit Price	Quantity	Cost	% Complete	Cost To Complete
Inlet/Junction Box (EA)	\$2,000.00	13	\$26,000.00	95%	\$1,300.00
Headwalls (EA)	1,000.00	5	\$5,000.00	100%	\$0.00
Pipe Culverts 15-24" (LF)	35.00	868	\$30,380.00	100%	\$0.00
Pipe Culverts 30"+ (LF)	50.00	215	\$10,750.00	100%	\$0.00
Driveway Culvert 15"	18.00	0	\$0.00	0%	\$0.00
Driveway Culvert 18"	32.00	0	\$0.00	0%	\$0.00
Ditches up to 2' bottom (LF)	17.50	0	\$0.00	0%	\$0.00
Ditches over 3' bottom (LF)	25.00	500	\$12,500.00	100%	\$0.00
Box Culverts (WxL) (SF)	50.00	0	\$0.00	0%	\$0.00
Detention Ponds (Small) (EA)	25,000.00	1	\$25,000.00	100%	\$0.00
Detention Ponds (Large) (EA)	35,000.00	0	\$0.00	0%	\$0.00
Final Stabilization (Avg.) (ACRE)	2,000.00	4	\$8,000.00	100%	\$0.00
Silt fence (LF)	\$1.50	500	\$750.00	100%	\$0.00
Silt Fence Wire Backing (LF)	\$4.50	0	\$0.00	0%	\$0.00
Temporary stabilization (ACRE)	1,000.00	9	\$9,000.00	100%	\$0.00
Check Dams (EA)	100.00	5	\$500.00	100%	\$0.00
Filter Swales (up to 15' W) (LF)	35.00	0	\$0.00	0%	\$0.00
Filter Swales (over 15' W) (LF)	50.00	0	\$0.00	0%	\$0.00
Catch Basin filter assembly (EA)	75.00	13	\$975.00	100%	\$0.00
Construction entrance (EA)	1,500.00	0	\$0.00	0%	\$0.00
Rock inlet protection (EA)	150.00	0	\$0.00	0%	\$0.00
Dust Control (EA)	2,000.00	0	\$0.00	0%	\$0.00
EC Blanket (SY)	1.15	0	\$0.00	0%	\$0.00
Curb inlet protection (EA)	200.00	0	\$0.00	0%	\$0.00
Pipe for overflow per N-S plan	35.00	30	\$1,050.00	100%	\$0.00

Total Cost	\$128,855.00	Cost To Complete:	\$1,300.00
EC Bond:	\$11,225.00		

Description	Unit Price	Quantity	Cost	% Complete	Cost to Complete
Full Depth Pavement Repair (Ton)	\$120.00	61	\$7,367	0%	\$7,366.67

Comments:

Total Project Cost(110%)=	\$677,600	Cost To Complete(110%)=	\$159,000
15% of Principal Amount=	\$102,000		
Maintenance Bond Amount =	\$68,000		
(10% Total Project Cost)			

IRREVOCABLE LETTER OF CREDIT

09-012

Principal	Loan Date	Maturity	Loan No	Call / Coll	Account	Officer	Initials
\$40,750.00	03-21-2014	03-21-2015	10031900		***	BDS	

References in the boxes above are for Lender's use only and do not limit the applicability of this document to any particular loan or item. Any item above containing "****" has been omitted due to text length limitations.

Borrower: JOE L WALL
2091 KATHERINE DRIVE
GOODLETTSVILLE, TN 37072

Lender: VOLUNTEER STATE BANK
GOODLETTSVILLE OFFICE
405 LONG HOLLOW PIKE
GOODLETTSVILLE, TN 37072

ILC #: 10031900
AMOUNT: \$40,750.00
DATE: March 21, 2014
TO: The City of Gallatin

We hereby establish our Irrevocable Letter of Credit in your favor for the account of Joe L. Wall, for a sum not to exceed the aggregate of \$40,750.00 available by your draft(s) at the above referenced branch office of our bank, drawn against this letter of credit on our bank, to be accompanied by the following documents:

A. This Letter of Credit being issued for the purpose of securing the following obligations: certain improvements, including but not limited to, all engineering including roadway improvements, right-of-way improvements and sidewalk installation and/or obtain written authorizations to release from all affected agencies for the subdivision known as Baywood Pointe, Phase 3, (File #1-2-06C), Sumner County, Tennessee.

B. A signed statement by an authorized signer for the City of Gallatin that Joe L. Wall has failed to honor their contractual agreement with the City of Gallatin.

All drafts must be marked "Drawn Under Letter of Credit #10031900"

This credit expires March 22, 2015 at 12:01 a.m.

This Letter of Credit shall be deemed automatically renewable without amended for one year from the expiration date thereof, or any future expiration date, unless sixty (60) days prior to any expiration date we shall notify you by Registered Mail that we elect not to consider this Letter of Credit renewed for any such additional period.

This Agreement will be governed by federal law applicable to Lender and, to the extent not preempted by federal law, the laws of the State of Tennessee without regard to its conflicts of law provisions, and except to the extent such laws are inconsistent with the 2007 revision of the Uniform Customs and Practice for Documentary Credits of the International Chamber of Commerce, ICC Publication No. 600.

We hereby agree with the drawers, endorsers and bona fide holders of drafts under and in compliance with the terms of this credit that such drafts will be duly honored upon due presentations to the drawer.

LENDER:

VOLUNTEER STATE BANK

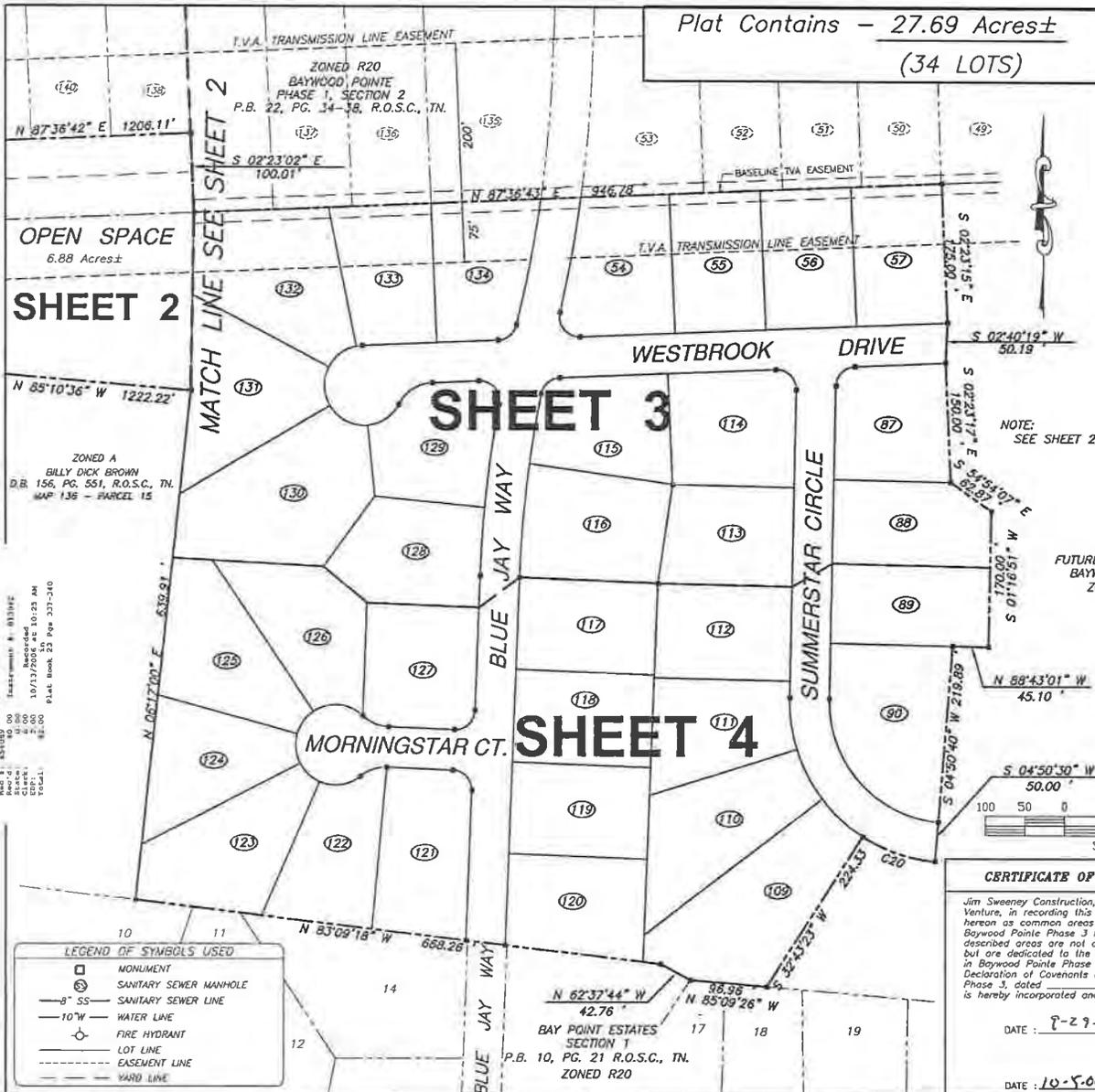
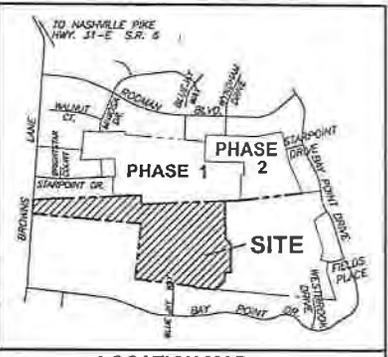
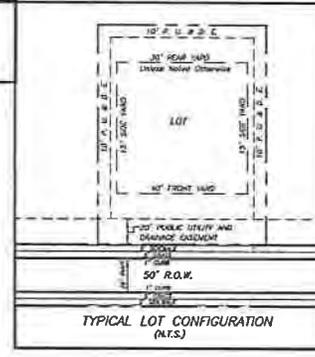
x Billy Seals S.V.P.
Billy Seals, Senior Vice President

RECEIVED
MAR 25 2014

GALLATIN PLANNING
& ZONING

B030430--11
1-2-06C (wall)
(subd 1)

Plat Contains - 27.69 Acres±
(34 LOTS)



- NOTES:
1. NORTH BASED ON DEED OF RECORD IN R.B. 762, PG. 769, R.O.S.C., TN.
 2. PROPERTY SHOWN IS PART OF PARCEL 15.04 ON SUMNER COUNTY PROPERTY MAP 136.
 3. ACCORDING TO F.I.R.M. COMMUNITY PANEL #47165C04262, DATED 11/21/02, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA, ZONE X.
 4. BEING A PORTION OF THE SAME PROPERTY CONVEYED TO JIM SWEENEY, INC. AND J & M HOMEBUILDERS, INC., A JOINT VENTURE, BY DEED OF RECORD IN R.B. 2384, PG. 581, R.O.S.C., TN.
 5. IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
B INDICATES MONUMENT
 6. THERE IS A 20' PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG THE FRONT OF EACH LOT.
 7. THERE IS A 10' PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG EACH SIDE AND REAR LOT LINE.
 8. MINIMUM YARDS ARE AS FOLLOWS:
FRONT - 40 FEET
REAR - 30 FEET
SIDE - 15 FEET
 9. PROPERTY IS ZONED R20.
 10. TYPICAL ROADWAY TO BE 50' R.O.W. WITH 26" PAVEMENT, 1' CURB, 5' GRASS STRIP AND 5' CONC. SIDEWALK ON EACH SIDE.
 11. NO CONSTRUCTION PERMITTED IN TVA EASEMENT.
 12. THE DIMENSIONS ON PAVING, SEWER LINES, SIDEWALKS, ETC. REPRESENT DESIGNED IMPROVEMENTS, NOT AS-BUILT IMPROVEMENTS.
 13. LOT(S) 88, 116, 120, 121, 122, 125, & 127 WILL REQUIRE AN ENGINEERED FOOTING AS REQUIRED BY THE GEOTECHNICAL ENGINEERING REPORT FOR THE ROADWAY PROPERTY, DATE MAY 22, 2001. THIS REPORT CONTAINS THE FOOTING DESIGN REQUIREMENTS.
 14. [100] INDICATES STREET ADDRESS.
 15. OPEN SPACE TO BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION.

Surveyed by: Mitchell Register
Map No. 1 151149 00
Scale: 1" = 100'
Date: 10/13/2006
Plat Book 23 Page 237-240

LEGEND OF SYMBOLS USED

⊠	MONUMENT
⊙	SANITARY SEWER MANHOLE
— 8" SS	SANITARY SEWER LINE
— 10" W	WATER LINE
⊕	FIRE HYDRANT
---	LOT LINE
---	EASEMENT LINE
---	WARD LINE

CERTIFICATE OF COMMON AREAS DEDICATION

Jim Sweeney Construction, Inc. and J & M Homebuilders, Inc., a Joint Venture, in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in Baywood Pointe Phase 3 for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in Baywood Pointe Phase 3 as more fully provided in Article Declaration of Covenants and Restrictions, applicable to Baywood Pointe Phase 3, dated _____ and recorded with this plat. Said Article is hereby incorporated and made part of this plat.

DATE: 8-29-06 OWNER: *Jim Sweeney*

DATE: 10-5-06 OWNER: *Jim Sweeney*

BAYWOOD POINTE, PHASE 3, FINAL PLAT

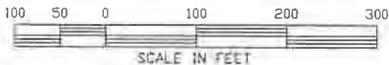
PROPERTY LOCATED IN THE 4th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE: DECEMBER 30, 2005 Rev. 2/9/2006
Rev. 4/3/2006

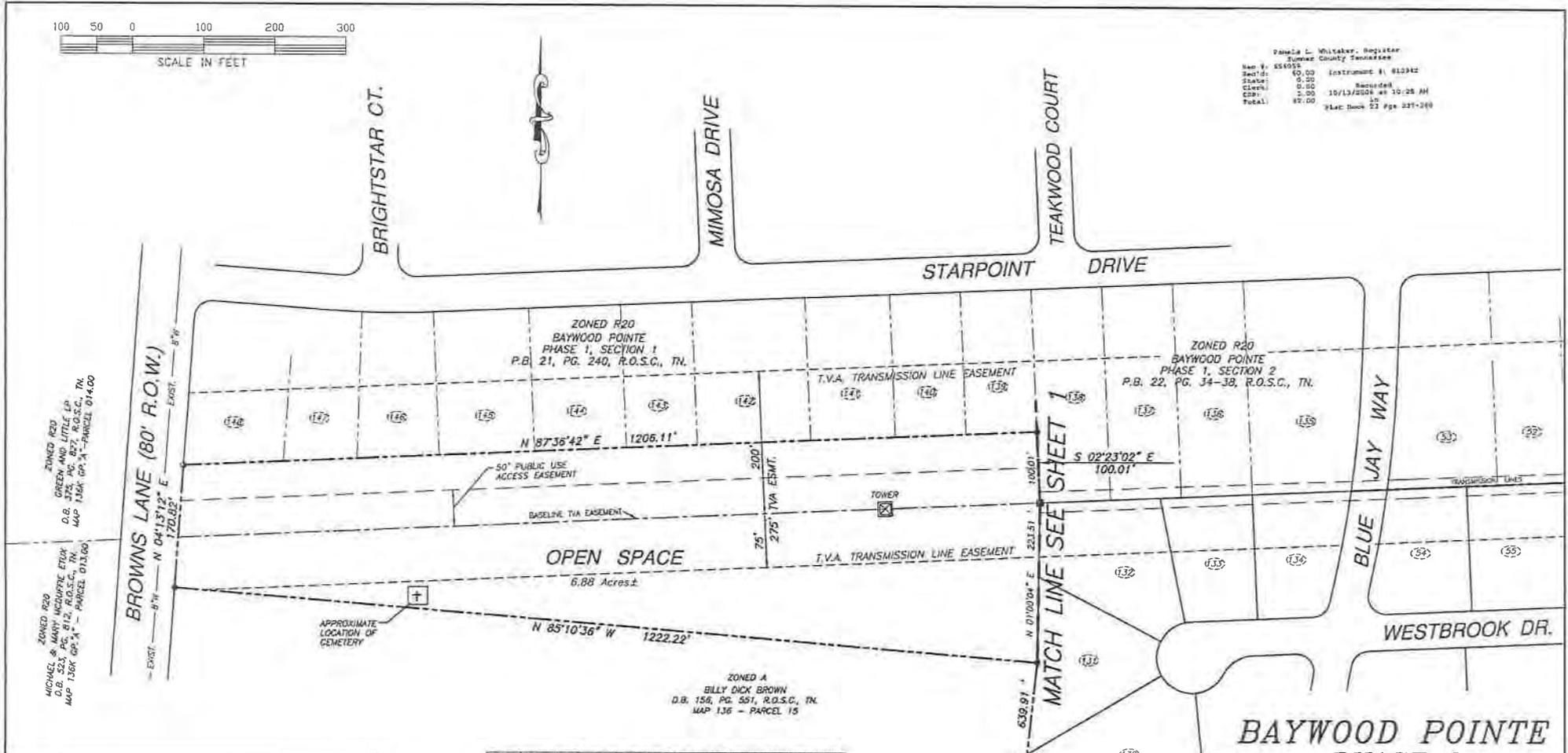
SCALE: 1" = 100'

OWNER/DEVELOPER:
JIM SWEENEY CONSTRUCTION, INC. AND
J & M HOMEBUILDERS, INC., A JOINT VENTURE
131 INDIAN LAKE ROAD, SUITE 203
HENDERSONVILLE, TN 37075

CERTIFICATE OF OWNERSHIP & DEDICATION	CERTIFICATE OF SURVEY ACCURACY	CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS	CERTIFICATE OF THE APPROVAL OR BONDING OF ROADS	CERTIFICATE OF APPROVAL FOR RECORDING	RECORD
<p>I (We) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in book number 2384, page 581, R.O.S.C., TN., and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that affairs of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations</p> <p>DATE: 8-29-06 OWNER: <i>Jim Sweeney</i></p> <p>TITLE: <i>Partner</i></p> <p>DATE: 10-5-06 OWNER: <i>Jim Sweeney</i></p> <p>TITLE: <i>Partner</i></p>	<p>I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown hereon, to the specifications.</p> <p>DATE: _____</p> <p>REGISTERED LAND SURVEYOR STATE OF TENNESSEE</p>	<p>I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled Baywood Pointe Phase 3 have been installed in accordance with current local and state government requirements, or a sufficient bond or cash has been filed which will guarantee said installation.</p> <p>WATER SYSTEM: 9/29/06 <i>David L. ...</i> Date: _____ Superintendent of Public Utilities, Gallatin, Tennessee</p> <p>SEWER SYSTEM: 9/29/06 <i>David L. ...</i> Date: _____ Superintendent of Public Utilities, Gallatin, Tennessee</p>	<p>I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance bond has been posted with the Planning Commission to assure completion of all required improvements in case of default.</p> <p>DATE: 10/9/06</p> <p><i>Ran ...</i> CITY ENGINEER</p>	<p>I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register.</p> <p>DATE: 10-9-06 <i>John ...</i> DATE: _____ Secretary, Planning Commission</p> <p>DATE: 10-11-06 <i>DP</i> DATE: _____ Chair's Initials</p>	<p>Recorded _____, 2006 in Book _____, Page _____ of the Register's Office, Sumner Co., TN</p> <p>PREPARED BY: Bruce Rainey LAND DEVELOPMENT CONSULTANTS 118 MAPLE ROW BLVD HENDERSONVILLE, TN 37075 PHONE 615-824-0113 FAX 615-824-1487</p>



Pamela L. Whitaker, Register
 Sumner County Tennessee
 Map No. 55405 Instrument # 010342
 Section 40.00
 State 6.20
 Clerk 1.00
 Date 10/17/08 at 10:28 AM
 Total 47.00
 Date Book 23 Page 237-240



NUMBER	DELTA	ANGLE	STATION	ARC LENGTH	CHORD LENGTH	TANGENT	C-CORD	DIRECTION
C1	25.4623	1222.24	181.49	181.42	83.61	N 1701.31° E		
C2	05.0823	1848.24	147.08	147.03	71.39	N 1021.55° E		
C3	23.4142	25.00	32.78	28.28	18.73	N 5045.52° E		
C4	140.0000	50.00	208.44	56.80	28.60	E 2273.12° E		
C5	80.0000	50.00	32.16	30.00	20.87	S 2736.43° W		
C6	102.5823	25.00	44.33	38.12	31.47	N 4054.04° W		
C7	108.7823	25.00	45.95	38.75	32.78	S 3944.05° E		
C8	78.0523	25.00	33.20	30.81	18.58	S 4833.56° E		
C9	08.1723	1489.74	215.47	215.25	102.52	S 0828.23° W		
C10	02.1319	1432.74	231.23	231.48	118.12	S 0854.30° W		
C11	30.0000	25.00	39.27	35.35	25.00	N 4717.55° E		
C12	41.2435	20.00	38.18	35.38	18.99	S 4833.48° E		
C13	25.4209	50.00	27.55	25.00	25.69	S 2217.53° E		
C14	41.2435	50.00	36.18	35.38	18.99	S 4733.58° E		
C15	30.0000	25.00	39.27	35.35	25.00	N 4242.05° W		
C16	02.4007	25.00	40.87	36.77	26.05	N 4533.73° W		
C17	08.1301	25.00	27.67	24.21	23.45	E 4420.47° W		
C18	08.2676	150.58	222.18	208.23	141.51	S 4176.15° E		
C19	54.3319	200.59	202.00	198.19	112.48	S 2259.42° E		
C20	27.5258	200.60	92.62	98.66	42.80	S 2112.52° E		

CERTIFICATE OF COMMON AREAS DEDICATION

Jim Sweeney Construction, Inc and J & M Homebuilders, Inc., a Joint Venture, in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in Baywood Pointe Phase 3 for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in Baywood Pointe Phase 3 as more fully provided in Article Declaration of Covenants and Restrictions, applicable to Baywood Pointe Phase 3, dated and recorded with this plat. Said Article is hereby incorporated and made part of this plat.

DATE: 9-29-06 OWNER: Joe Zwan
 DATE: 10-5-06 OWNER: Dan Shroy

**BAYWOOD POINTE
 PHASE 3
 FINAL PLAT**

PROPERTY LOCATED IN THE 4th CIVIL DISTRICT
 OF SUMNER COUNTY, TENNESSEE

DATE: DECEMBER 30, 2005 Rev: 2/9/2006
 Rev: 4/6/2006

SCALE: 1" = 100'

OWNER/DEVELOPER:
**JIM SWEENEY CONSTRUCTION, INC. AND
 J & M HOMEBUILDERS, INC., A JOINT VENTURE**
 131 INDIAN LAKE ROAD, SUITE 203
 HENDERSONVILLE, TN 37075

ENTERED
 10/13/08
 PROPERTY ASSESSOR
 OCT 13 2008
 MAP_GP_CIT_PAR

CERTIFICATE OF OWNERSHIP & DEDICATION	CERTIFICATE OF SURVEY ACCURACY	CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS	CERTIFICATE OF THE APPROVAL OR BONDING OF ROADS	CERTIFICATE OF APPROVAL FOR RECORDING	RECORD
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in book number 2384 page 581 R.O.S.C., TN, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations. DATE: 9-29-06 OWNER: Joe Zwan TITLE: Patra DATE: 10-5-06 OWNER: Dan Shroy TITLE: Patra	I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown on this plan, in accordance with the specifications of the said regulations. DATE: 10/9/06 	I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled Baywood Pointe Phase 3 have been installed in accordance with current local and state government requirements, or a sufficient bond or cash has been filed which will guarantee said installation. WATER SYSTEM: 9/29/06 DATE: 10/9/06 SEWER SYSTEM: 9/29/06 DATE: 10/9/06	I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance bond has been posted with the Planning Commission to assure completion of all required improvements in case of default. DATE: 10-13-06 DATE: 10-11-06	I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register. DATE: 10-13-06 DATE: 10-11-06	Recorded _____, 2006 in Book _____ Page _____ of the Register's Office, Sumner Co., TN. PREPARED BY: LAND DEVELOPMENT CONSULTANTS 116 MARLE ROW BLVD HENDERSONVILLE TN 37075 PHONE 615-824-0012 FAX 615-824-1487 JOB NO. 01-0265 SHEET 2 OF 4

**MATCH LINE
SEE SHEET 2**

ZONED A
BILLY DICK BROWN
D.B. 156, PG. 551, R.O.S.C., TN.
MAP 150 - PARCEL 15

Franklin L. Whelan, Register
Sumner County Tennessee
Sum. Co. Instrument # 013142
05/09/06 0:00
0:00
10/13/2006 10:15 AM
42:00
Plot Book 53 Page 317-340



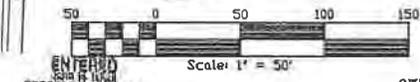
MATCH LINE

SEE SHEET 3

**BAYWOOD POINTE
PHASE 3,
FINAL PLAT**

CERTIFICATE OF COMMON AREAS DEDICATION
Jim Sweeney Construction, Inc. and J & M Homebuilders, Inc., a Joint Venture, in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in Baywood Pointe Phase 3 for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in Baywood Pointe Phase 3 as more fully provided in Article Declaration of Covenants and Restrictions, applicable to Baywood Pointe Phase 3, dated and recorded with this plat. Said Article is hereby incorporated and made part of this plat.

NOTES:
1. ALL NOTES ON SHEET ONE APPLY TO THIS SHEET.
2. SEE SHEET TWO FOR CURVE DATA.



PROPERTY ASSESSOR
OCT 13 2006
MAP_GP_CIT_PAR

OWNER/DEVELOPER :
JIM SWEENEY CONSTRUCTION, INC. AND
J & M HOMEBUILDERS, INC., A JOINT VENTURE
131 INDIAN LAKE ROAD, SUITE 203
HENDERSONVILLE, TN 37075

PROPERTY LOCATED IN THE 4th CIVIL DISTRICT
OF SUMNER COUNTY, TENNESSEE

DATE : DECEMBER 30, 2005 Rev: 2/9/2006
Rev: 4/3/2006
SCALE : 1" = 50'

DATE : 9-29-06 OWNER : Joe Zuehl

DATE : 10-5-06 OWNER : Jim Sweeney

CERTIFICATE OF OWNERSHIP & DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in book number 2384, page 591, R.O.S.C., TN, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gollatin Municipal-Regional Subdivision Regulations.

DATE : 9-29-06 OWNER : Joe Zuehl
TITLE : Partner
DATE : 10-5-06 OWNER : Jim Sweeney
TITLE : Partner

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Gollatin Municipal-Regional Planning Commission and that the monuments have been set or will be placed, as shown hereon, in the specifications of the Gollatin Municipal-Regional Subdivision Regulations.

DATE : _____
REGISTERED SURVEYOR
J. BRUCE RAINE
SUMNER COUNTY, TENNESSEE

CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS

I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled to Baywood Pointe Phase 3 have been installed in accordance with current local and state government requirements, or a sufficient bond or cash has been filed which will guarantee said installation.

WATER SYSTEM: 9/29/06 Date Superintendent of Public Utilities, Gollatin, Tennessee
SEWER SYSTEM: 9/29/06 Date Superintendent of Public Utilities, Gollatin, Tennessee

CERTIFICATE OF THE APPROVAL OR BONDING OF ROADS

I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gollatin Municipal-Regional Subdivision Regulations, or (2) that a performance bond has been posted with the Planning Commission to assure completion of all required improvements in case of default.

DATE : 10/9/06
R. C. [Signature]
CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Gollatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register

DATE : 10-9-06 [Signature]
DATE : 10-11-06 [Signature]
Chair's Initials

RECORD

Recorded _____, 2006
in Book _____ Page _____
of the Register's Office, Sumner Co., TN

PREPARED BY:
Bruce Raine
LAND DEVELOPMENT CONSULTANTS
110 MAPLE CROW BLVD.
HENDERSONVILLE, TN 37075
PHONE 615-824-0012
FAX 615-824-1487



Example 1: Unincorporated
 Example 2: Incorporated
 Example 3: Incorporated
 Example 4: Incorporated
 Example 5: Incorporated
 Example 6: Incorporated
 Example 7: Incorporated
 Example 8: Incorporated
 Example 9: Incorporated
 Example 10: Incorporated
 Example 11: Incorporated
 Example 12: Incorporated
 Example 13: Incorporated
 Example 14: Incorporated
 Example 15: Incorporated
 Example 16: Incorporated
 Example 17: Incorporated
 Example 18: Incorporated
 Example 19: Incorporated
 Example 20: Incorporated

CERTIFICATE OF COMMON AREAS DEDICATION

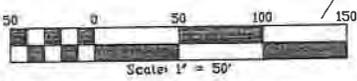
John Sweeney Construction, Inc. and J & M Homebuilders, Inc. a joint venture, in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in Baywood Pointe Phase 3 for recreation and related activities. The space described herein are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in Baywood Pointe Phase 3 as more fully provided in Article 1 of the Declaration of Covenants and Restrictions, applicable to Baywood Pointe Phase 3, dated _____ and recorded with this plat. Said Article is hereby incorporated and made part of this plat.

DATE: 9-29-06 OWNER: John E. Wall
 DATE: 10-5-06 OWNER: John E. Wall

BAY POINT ESTATES SECTION 1
 P.B. 10, PG. 21 R.O.S.C. TN.
 ZONED R20

RECORDED
 OCT 13 2006
 MAP_SP_CT_PAR

NOTES:
 1. ALL NOTES ON SHEET ONE APPLY TO THIS SHEET.
 2. SEE SHEET TWO FOR CURVE DATA.



DATE: DECEMBER 30, 2005 Rev: 2/9/2005
 SCALE: 1" = 50' Rev: 4/3/2005

BAYWOOD POINTE PHASE 3, FINAL PLAT
 PROPERTY LOCATED IN THE 4th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

OWNER/DEVELOPER:
 JIM SWEENEY CONSTRUCTION, INC. AND
 J & M HOMEBUILDERS, INC., A JOINT VENTURE
 131 INDIAN LAKE ROAD, SUITE 203
 HENDERSONVILLE, TN 37075

CERTIFICATE OF OWNERSHIP & DEDICATION	CERTIFICATE OF SURVEY ACCURACY	CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS	CERTIFICATE OF THE APPROVAL OR BONDING OF ROADS	CERTIFICATE OF APPROVAL FOR RECORDING	RECORD
<p>I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon, as evidenced in book number _____, Page _____, R.O.S.C., TN, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establishing the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Galloway Municipal-Regional Subdivision Regulations.</p> <p>DATE: <u>9-29-06</u> OWNER: <u>John E. Wall</u> TITLE: <u>Partner</u> DATE: <u>10-5-06</u> OWNER: <u>John E. Wall</u> TITLE: <u>Partner</u></p>	<p>I hereby certify that the plan shown and described hereon is a true and correct survey of the property required by the Galloway Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown on the plan, in accordance with the specifications of the Galloway Municipal-Regional Planning Commission.</p> <p>DATE: <u>10/19/06</u> REGISTRAR: <u>[Signature]</u> JIM BIRCH, REGISTRAR SUMNER COUNTY, TENNESSEE</p>	<p>I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled "Baywood Pointe Phase 3" have been installed in accordance with current local and state government requirements, and a sufficient bond or cash has been filed which will guarantee said installation.</p> <p>WATER SYSTEM: <u>9/29/06</u> <u>[Signature]</u> Date Superintendent of Public Utilities, Galloway, Tennessee SEWER SYSTEM: <u>9/29/06</u> <u>[Signature]</u> Date Superintendent of Public Utilities, Galloway, Tennessee</p>	<p>I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Galloway Municipal-Regional Subdivision Regulations, or (2) that a performance bond has been posted with the Planning Commission to assure completion of all required improvements in case of default.</p> <p>DATE: <u>10/19/06</u> <u>[Signature]</u> CITY ENGINEER</p>	<p>I hereby certify that the subdivision plat shown hereon has been found to comply with the Galloway Municipal-Regional Subdivision Regulations with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the County Register.</p> <p>DATE: <u>10-9-06</u> <u>[Signature]</u> DATE: <u>10-11-06</u> <u>[Signature]</u> Secretary, Planning Commission Chair's Initials</p>	<p>Recorded _____, 2006 in Book _____ Page _____ of the Register's Office, Sumner Co., TN</p> <p>FORWARDED BY: LAND DEVELOPMENT CONSULTANTS 118 MAPLE ROW BLVD HENDERSONVILLE, TN 37075 PHONE 615-925-0131 FAX 615-924-1487</p> <p>JOB NO. 01-0265 SHEET 4 OF 4</p>

ITEM 9

GMRPC Resolution No. 2015-23

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE APPROVED PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE GT STATION TO ADD THE FOOD SERVICE USE, INCREASE THE BUILDING SQUARE FOOTAGE, AND REVISE THE APPROVED ARCHITECTURAL ELEVATIONS FOR THE PROPOSED SUDDEN SERVICE GAS STATION ON A 1.40 (+/-) ACRE LOT LOCATED AT 1845 NASHVILLE PIKE (PC FILE #3-281-15)

WHEREAS, The applicant has submitted an Amended Preliminary Master Development Plan consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Amended Preliminary Master Development Plan submitted by the applicant, Perry Engineering, Inc., at its regular meeting on February 23, 2015; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-3-310, § 13-4-310, §13-7-201, and §13-7-202 and §13.02 of the City of Gallatin Zoning Ordinance:

1. The proposed Amended Preliminary Master Development Plan is consistent with the purpose and intent of the Planned General Commercial (PGC) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district.
2. The proposed changes shown in the Amended Preliminary Master Development Plan do not constitute a major amendment to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
3. The Amended Preliminary Master Development Plan is in agreement and consistent with the intent and land use recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Regional Activity Center Community Character Area; however, the

proposed northwest access does not meet the design criteria of the *Gallatin on the Move 2020 General Development and Transportation Plan*.

4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed modifications will not change the essential character of Nashville Pike and the proposed architecture will complement the existing residential structures along Douglas Bend Road and Foxland Boulevard.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended Preliminary Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended Preliminary Master Development Plan was submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves GMRPC Resolution No. 2015-23 as a minor amendment to the GT Station Preliminary Master Development Plan and approves the Amended Preliminary Master Development Plan for the Sudden Service with a Quick Service Restaurant, consisting of a four (4) sheet plan, including architectural elevations, prepared by Perry Engineering, Inc. of Goodlettsville, Tennessee, with project number 199-001, dated January 28, 2015, with a revision date of February 12, 2015, with the following conditions:

1. The proposed changes are considered as a minor amendment to the approved Preliminary Master Development Plan.
2. Planning Commission approved the conceptual architectural elevations as submitted. Final architectural elevations shall be approved as part of the Final Master Development Plan.
3. Planning Commission approved the conceptual landscaping plan as submitted. A final detailed landscaping plan, meeting all requirements of the G.Z.O., shall be approved at the Final Master Development Plan stage.
4. Access point at northeast property corner does not meet design criteria of the *Gallatin on the Move 2020 General Development and Transportation Plan*. Minimum throat length at major arterial roadway is 80 feet.
5. Revise access point at northwest property corner to be right-in only.

6. Revise access point at northwest property corner to be shared/joint access easement with adjacent property.
7. Extend driveway throat length to Douglas Bend Road.
8. Owner/developer shall be responsible for pedestrian modifications to the signalized intersection of Nashville Pike and Douglas Bend Road, including striping and signal modifications. Existing stop bars shall be relocated.
9. Revise access point at southwest property corner to connect through western property line rather than rear property line.
10. Provide public access easement for proposed sidewalk or relocate to public right-of-way.
11. Revise plan so scale is accurate.
12. Submit a revised subdivision plat, including the access point at northwest property corner as a shared/joint access easement with the adjacent property. The revised subdivision plat shall be recorded prior to the issuance of a building permit for this project.
13. Correct Fire Department contact information on sheet C-0.
14. Install fire hydrant at this location per the 2009 IFC since the nearest hydrant is over 600 feet away.
15. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit a copy of the utility surety to the Planning Department, if required by White House Utility District, prior to the recording of revised subdivision plat for this property.
16. Submit approval documentation from the U.S. Army Corps of Engineers for construction within the flowage easement at the Final Master Development Plan stage.
17. Submit five (5) corrected, folded copies of the Amended Preliminary Master Development to the Planning Department prior to Planning Commission's consideration of the Final Master Development Plan.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 2/23/15

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney



ITEM 9

PLANNING DEPARTMENT STAFF REPORT

Sudden Service Amended Preliminary Master Development Plan

PC File #3-281-15

1845 Nashville Pike

Date: February 20, 2015

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE APPROVED PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE GT STATION TO ADD THE FOOD SERVICE USE, INCREASE THE BUILDING SQUARE FOOTAGE, AND REVISE THE APPROVED ARCHITECTURAL ELEVATIONS FOR THE PROPOSED SUDDEN SERVICE GAS STATION ON A 1.40 (+/-) ACRE LOT LOCATED AT 1845 NASHVILLE PIKE (PC FILE #3-281-15).

OWNER: SUMNER BANK & TRUST

APPLICANT: PERRY ENGINEERING, INC.

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION NO. 2015-23 WITH CONDITIONS

STAFF CONTACT: KATHERINE SCHOCH, AICP

PC MEETING DATE: FEBRUARY 23, 2015

PROPERTY OVERVIEW:

The owner and applicant request approval of a minor amendment to the approved Preliminary Master Development Plan for the GT Station to add the Food Service use, increase the building square footage, and revise the approved architectural elevations for the proposed Sudden Service gas station on a 1.40 (+/-) acre lot located at 1845 Nashville Pike (Attachment 9-1 and Attachment 9-2).

The ownership has changed since the property was first rezoned in 2004. The current owner and new developer would like to amend the plan to add the Food Service use to the project originally approved for a Convenience Sales and Services use including gas pumps. The proposed structure is also being increased from a total of 4,000 square feet to 3,895 square feet for the convenience store and 1,575 square feet for the attached Quick Service Restaurant. The size of the gas pump canopy has decreased from 6,336 square feet (with 12 gas pumps) to 4,080 square feet [with six (6) gas pumps] (Attachment 9-1; sheet 4). The project meets the size limits established by the Gallatin Zoning Ordinance, Section 03.07.090 Activity Type – Convenience Sales and Services Commercial Activities, because the square footage of the convenience store use itself does not exceed 5,000 square feet. The design of the building has changed slightly, but the overall style of the building and gas pump canopy match the final architectural elevations approved with the Final Master Development Plan in 2008 (PC File #8-59-07) (Attachment 9-3).

The property is currently zoned Planned General Commercial (PGC). Convenient Sales and Services (with gas pumps) and Food Service are permitted uses in the PGC zone district. Staff recommends that the Planning Commission consider the proposed changes as a minor amendment to the approved Preliminary Master Development Plan and approve the Amended Preliminary Master Development Plan with the conditions listed on page 10 of the staff report and in GMRPC Resolution No. 2015-23.

CASE BACKGROUND:

Previous Approvals and Property History

At the June 28, 2004 meeting, the Planning Commission recommended approval with conditions of the rezoning request from Multiple Residential and Office Planned Unit Development (MRO PUD) to Planned General Commercial (PGC) and a Preliminary Master Development Plan to rezone 1.37 (+/-) acres located at the southwest corner of Douglas Bend Road and Nashville Pike (PC File #3-13-04). According to the staff report, although the property was originally zoned MRO PUD, no PUD plan or Preliminary Master Development Plan was ever submitted for the property. The Gallatin Zoning Ordinance in place in 2004 “grandfathered” previously approved Planned Unit Developments per Section 08.04.010 and extended their approval. Since no Final Master Development Plan was submitted and no building permits were requested on the property prior to the expiration date, the Zoning Ordinance stipulated that the Planning Commission and City Council had the following three (3) options regarding the zoning for the property:

- (1) extend the current approval of the subject tract for a period not to exceed two (2) years;
- (2) revise the current approval in regards to the use, bulk, and/or design standards required of the current approval; or
- (3) cancel the current approval and impose a new base zoning district on the project.

In keeping with the recommendation of the Planning Department Staff, the owner and applicant at the time requested to utilize the third option and apply new PGC zoning on the property to construct a convenience store with gas pumps. The PGC zone district complied with the recommendations of the *1996 City of Gallatin General Development Plan* in place at the time, which indicated that the property was suitable for commercial uses. The Preliminary Master Development Plan submitted at that time included plans for a gas station and a car wash at the back of the lot.

The Preliminary Master Development Plan included two (2) driveways into the property; a right-in/right-out only access onto Nashville Pike and full access on Douglas Bend Road. At the time, the Planning Department and Engineering Division Staff expressed concerns about the width of the right-in/right-out entrance onto Nashville Pike stating that the size and shape of the design would not effectively function to limit left turns into the site. In addition, the proposed design of the access onto Douglas Bend Road exceeded the width permitted by the Gallatin Municipal Code. Staff recommended that the driveway on Nashville Pike be redesigned to the satisfaction of the City Engineer. Staff also asked the applicant to reduce the width of the entrance on Douglas Bend Road to the satisfaction of the City Engineer.

City Council approved the rezoning request and Preliminary Master Development Plan for the property at Second Reading on August 17, 2004; Ordinance #O0407-039 (Attachment 9-4).

The property owner then received a Conditional Use Permit for the Convenience Sales and Services use (with gas pumps) from the Municipal Board of Zoning Appeals on August 23, 2004 (PC File #B-7-04). The Planning Commission approved a Final Master Development Plan for the GT Station at the January 23, 2006 meeting (PC File #8-35-04).

The widening and realignment of Douglas Bend Road resulted in a land swap between the adjacent Foxland property owners and the GT Station owner. At the December 17, 2007 meeting, the Planning Commission recommended approval with conditions of the rezoning request and Preliminary Master Development Plan to rezone 0.25 (+/-) acres from Mixed Use (MU) to Planned General Commercial (PGC) and approval of a Revised Final Master Development Plan for the GT Station to change the site layout on property and accommodate the necessary land swap (PC File #3-11-07 & #8-59-07).

According to the staff report, a 0.12 (+/-) acre strip was traded from the east side of the property to the west side of the property. In addition to the land swap, a 0.13 (+/-) acre strip of land was also purchased and added to the GT Station site. The additional land across the southern property line was acquired to expand the overall site and help to accommodate additional gas pumps not shown on the original Final Master Development Plan.

The Amended Preliminary Master Development Plan/Revised Final Master Development Plan called for a 4,000 square foot convenience store building and a 6,336 square foot green metal roof gas pump canopy with a 6:12 roof pitch. The revised architectural elevations included a brick building with stone and tan stucco accents at the main entrance. A forest green standing seam metal roof was shown on the main building to match the gas station canopy. A decorative copula was added above the main entrance to the convenience store building to add visual interest (Attachment 9-3). The Amended Preliminary Master Development Plan/Revised Final Master Development Plan was approved with a right-in only access from Nashville Pike; however, corrected copies of the Revised Final Master Development Plan were never submitted to the Planning Department following the Planning Commission meeting (PC File #8-59-07). The rezoning request was approved by the Gallatin City Council at Second Reading on February 5, 2008; Ordinance #O0801-3 (Attachment 9-5).

In 2008, the applicant requested minor modifications to the architecture approved with the Final Master Development Plan including a change to the roof material from green standing seam metal to brown dimensional asphalt shingles and the addition of one (1) window on the rear elevation of the convenience store building. The applicant also changed the stacked stone veneer to faux stone veneer on the front façade of the building. The changes were approved in house by the Planning Department on December 3, 2008 (Attachment 9-3).

According to G.Z.O. Section 12.02.040.B, Final Master Development Plan, since a building permit was not obtained within the three (3) year timeframe, the Revised Final Master Development Plan expired.

The proposed changes to the previously approved plans were most recently discussed at the February 9, 2015 Planning Commission Work Session. Planning Commission did not indicate any issues with the addition of the Food Service use or the increased size of the proposed building. Regarding the proposed architecture however, Planning Commission asked the applicant to increase the overall aesthetic appeal

of the building by redesigned it to be more compatible with the adjacent neighborhoods. Planning Commission strongly encouraged the applicant to reduce the size of the yellow and red corporate color ascent details on the proposed gas pump canopy. The applicant has revised the architectural elevations accordingly (Attachment 9-1; sheet 4).

Gallatin on the Move 2020 General Development and Transportation Plan

The subject property is located within the Regional Activity Center Community Character Area as shown on the Community Character Area Map in the *Gallatin on the Move 2020 General Development and Transportation Plan*. The *2020 Plan* encourages developers in the Regional Activity Center Community Character Area to provide pedestrian-scaled buildings along with the installation of adequate buffers to ensure compatibility with adjacent uses (Attachment 9-6). One of the intentions of the Regional Activity Center is to provide for a pedestrian-friendly area that offers mixed-use services such as shopping, offices, restaurants, entertainment, as well as different types of residential uses. Planned General Commercial (PNC) is listed as an applicable zoning district for the Regional Activity Center Community Character Area. Please refer to the development strategies for the Regional Activity Center Community Character Area included with this staff report as Attachment 9-7.

Surrounding Zoning

The property is surrounded by Residential-20 (R20) property to the north and east, and Mixed Use (MU) zoning to the south and west. A public lake access is located across Douglas Bend Road to the east of the subject property and construction is almost complete on the adjoining Foxland Crossing Apartment project directly to the south.

Natural Features

The subject property is currently unimproved and vacant. A note on the plan indicates that no portion of the property is located within a special flood hazard area according to FEMA FIRM map panel #47165C0407G dated April 17, 2012 (Attachment 9-1; sheet C-1). This site contains many mature trees along the southern and western property boundaries, 12 of which will be preserved and counted towards the bufferyard requirement. Trees being preserved on site have been properly identified on the tree survey (Attachment 9-1; sheet C-1). The lot also contains a slope easement along the northern property boundary allowing for the construction of a slope to adjust the elevation difference between the subject property and the adjacent Nashville Pike right-of-way (Attachment 9-8).

Drainage and Detentioning

Due to the close proximity to Old Hickory Lake, the site was designed to allow stormwater to flow directly into the lake. The lot was platted with a 30-foot wide Public Utility Drainage Easement (P.U.D.E.) along the northern property line adjacent to Nashville Pike and a ten (10) foot wide Public Utility Drainage Easement (P.U.D.E.) along the eastern property line adjacent to Douglas Bend Road. According to the Foxland, Phase 1, Section 1 Final Plat, this lot is located within a US Army Corps of Engineers (C.O.E.) Flowage Easement (Attachment 9-8). No vertical construction is allowed in any easements. The applicant shall submit approval documentation from the U.S. Army Corps of Engineers for construction within the flowage easement at the Final Master Development Plan stage.

Access

The site has frontage on two (2) streets; Nashville Pike to the north and Douglas Bend Road to the east (Attachment 9-1, Attachment 9-2, and Attachment 9-8). During the initial review of the plan, Staff

recommended that the access on Nashville Pike be eliminated since it does not meet the minimum driveway spacing requirements of the *Gallatin on the Move 2020 General Development and Transportation Plan* (Attachment 9-9). Additionally, the Engineering Division noted that the driveway throat length on Douglas Bend Road was insufficient.

At the February 9, 2015 Planning Commission Work Session, the applicant indicated that the project would not be economically feasible without an access from Nashville Pike. As a compromise, the applicant shifted the driveway access on Nashville Pike as far west as possible and limited it to a right-in/right-out only access. In addition, the plan shows the installation of a raised concrete median in the center lane of Nashville Pike that will prohibit west bound left hand turning movements to and from the project site (Attachment 9-1; sheet C-2). Staff recommends that a landscaped median be installed in that location. The plan was revised to extend the driveway throat length from the site to Douglas Bend Road to 41 feet.

According to the applicant, the site has been designed to allow fuel tanker trucks to enter the site from Nashville Pike, travel behind the convenience store building, and exit the site onto Douglas Bend Road (Attachment 9-1; sheet C-2). A driveway connection was also provided at the southwestern corner to allow future access to the adjacent property; however, the Engineering Division would like the applicant to revise the plan to provide a joint access easement along the front of the lot to connect to the adjoining property to the west. This cross access would allow for traffic to travel between the sites without having to re-enter Nashville Pike. A handicap ramp, crosswalk, and pedestrian signal modifications were added to the revised resubmittal in accordance with the development strategies identified in the *2020 Plan* (Attachment 9-7). The Engineering Division noted that the owner/developer shall be responsible for pedestrian modifications to the signalized intersection of Nashville Pike and Douglas Bend Road, including striping and signal modifications. Furthermore, the existing stop bars shall be relocated.

The Engineering Division is not satisfied with the access points shown on the resubmitted plan since they do not comply with the requirements of the *2020 Plan* and would like to discuss the access issues with the Planning Commission at the meeting.

Subdivision Plats

A Final Plat for Foxland, Phase 1, Section 1, containing one (1) lot at 1845 Nashville Pike, was approved with conditions by the Planning Commission at the March 27, 2006 meeting and was recorded on December 27, 2007; PB 25, PG 261 (PC File #1-16-06C) (Attachment 9-8).

The Engineering Division requested a revised subdivision plat be approved and recorded for the property in 2007 showing the location of the right-in only access from Nashville Pike; however, a revised subdivision plat was never submitted. The applicant shall submit a revised subdivision plat, including the access point at the northwest property corner as a shared/joint access easement with the adjacent property. The revised subdivision plat shall be recorded prior to the issuance of a building permit for this project.

Parking Calculations

Parking calculations are based on the use of the building. The Convenience Sales and Services use (with gas pumps) requires one (1) space per 100 square feet of building area. The Food Service (Restaurant Convenience) use requires one (1) space per 200 square feet of building area. Based on this ratio, a total

of 47 parking spaces, including two (2) handicap spaces, are required. The plan calls for 47 regular parking spaces and two (2) handicap parking spaces, for a total of 49 spaces, which exceeds the parking requirements of the Gallatin Zoning Ordinance (Attachment 9-1; sheet C-2).

Architectural Elevations

The applicant submitted color renderings of the proposed convenience store, attached restaurant, gas pumps, and gas station canopy to be constructed on the north side of the lot, parallel to Nashville Pike (Attachment 9-1; sheet 4). The proposed 32-foot tall, rectangular building features a mixture of dark brown brick and tan stacked stone, with metal awnings and dark bronze window trim and decorative wall-mounted lamps. The convenience store building will contain 100 percent brick and stone on all four (4) building facades (Attachment 9-1). A pitched, seal brown standing seam metal roof will be installed to match the color scheme of the building. The gas pumps feature stacked stone ascents around the bases of each column with brick on all four (4) sides to the bottom of the canopy roof. The gas pump canopy will also feature a pitched, standing seam metal roof to match the convenience store and restaurant building (Attachment 9-1; sheet 4).

At the Planning Commission's request, the applicant enhanced the architectural elevations of the building and gas canopy to complement the existing multifamily residential structures on Douglas Bend Road, the historic Foxland Mansion visible from the project site, and the existing single-family homes in the Foxland Subdivision. A decorative cupola was also added above the main entrance to the building, similar to the design on the previously approved plan (Attachment 9-3).

Special Conditions

G.Z.O. Section 08.04.050, Special Conditions for Convenience Sales and Services Commercial Activities, contains additional requirements for the Convenience Sales and Services use in the PGC zone district, which include certain architectural, design, and color requirements for the building and gas pump canopy (Attachment 9-10). The revised architectural elevations meet the design requirements of the Gallatin Zoning Ordinance and are consistent with the previously approved architecture included with the Final Master Development Plan for the GT Station (Attachment 9-1; sheet 4 and Attachment 9-3 respectively).

Staff recommends that Planning Commission approved the conceptual architectural elevations as submitted. Final architectural elevations shall be approved as part of the Final Master Development Plan.

Landscaping and Bufferyards

Bufferyards are required to be shown on Preliminary Master Development Plans and are intended to minimize the potential impacts of proposed developments on adjacent properties as outlined in the Gallatin Zoning Ordinance and the *2020 Plan*. The applicant has correctly shown the required bufferyards approved on the original Preliminary Master Development Plan including a Type 20 Bufferyard along Nashville Pike, a Type 12 Bufferyard along the southern and western property boundaries, and a Type 15 Bufferyard along Douglas Bend Road (Attachment 9-1; sheet C-2).

G.Z.O. Section 08.04.050, Additional Site Development Regulations, contains additional landscaping and screening requirements for the PGC zone district, including the requirement that a minimum of seven and one-half (7.5) percent of the lot area shall be permanently maintained landscape area,

exclusive of the required bufferyards (Attachment 9-10). It does not appear that the conceptual landscaping plan meets the additional requirements; however, Staff recommends that the Planning Commission approve the conceptual landscaping plan as submitted with the understanding that a final detailed landscaping plan, meeting all requirements of the G.Z.O., shall be approved at the Final Master Development Plan stage.

Master Signage Plan

The applicant included conceptual designs of the wall-mounted signs that will be installed on the convenience store and gas pump canopy. The applicant shall submit a Master Signage Plan, in accordance with G.Z.O. Section 13.07.065.E, including details of all permanent signs to be installed on site as part of the Final Master Development Plan. No gas prices are permitted on the gas pump canopy. The original sign package approved with the Final Master Development Plan limited the monument signs to six (6) feet tall. The Amended Sign Ordinance allows eight (8) foot tall monument signs to be located a minimum of five (5) feet from the rights-of-way. The proposed signs shall meet the size and illumination requirements of the Gallatin Zoning Ordinance, Section 13.07. The applicant shall obtain sign permits from the Planning Department prior to the installation of any signage on site.

Construction Schedule

The site will be developed by Mr. Bob Summers, H & S Properties, of Gallatin, TN. Construction is expected to commence in April 2015, and is scheduled for completion by October 2015 (Attachment 9-1; sheet C-0).

Site Surety

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department. The site surety, in the form of cash, certified check, or Irrevocable Letter of Credit, shall be submitted prior to issuance of a building permit. The site surety requirement shall be added to the conditions of approval for the Final Master Development Plan.

Minor Amendment

G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan, lists specific items that would constitute a major amendment to an approved Preliminary Master Development Plan including an increase in density, substantial changes to access or site circulation, or substantial changes to approved architecture (Attachment 9-11).

Staff reviewed the amended Preliminary Master Development Plan in detail and found no major changes to the access or internal site circulation, or any substantial changes to the approved architecture that would constitute a major amendment. Moreover, the size of the gas pump canopy has been significantly reduced and the number of gas pumps has decreased from 12 to six (6). Staff recommends that that the proposed changes be considered a minor amendment to the approved Preliminary Master Development Plan.

Departmental Comments

- ***Engineering Division***

The Engineering Division provided a number of comments following the initial review of the plan.

Many of the general comments were satisfactorily addressed; however, the applicant must update the plan to address transportation and access issues. Review comments not addressed in the resubmittal were added as conditions of approval.

- ***Police Department***

The Police Department expressed safety concerns with the full access on Nashville Pike shown on the initial submittal. The Police Department recommended that the access on Nashville Pike be limited to a right-in, right-out only.

- ***Department of Public Utilities***

This project will be serviced primarily by the White House Utility District. The Gallatin Department of Public Utilities only provides gas service in this area.

- ***Industrial Pre-treatment Department***

Industrial Pre-treatment Department provided no comments since the property will be serviced primarily by White House Utility District.

- ***White House Utility District***

Since the project site will be serviced primarily by the White House Utility District, the owner and applicant shall coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. The applicant shall submit a copy of the utility surety to the Planning Department, if required by White House Utility District, prior to recording of revised subdivision plat for the property.

- ***Fire Department***

The Fire Department noted that a fire hydrant shall be installed at this location per the 2009 IFC since the nearest hydrant is over 600 feet away.

- ***Public Works Department***

The Public Works Department provided no comments on the plan.

- ***Sumner County E-911***

The Sumner County E-911 Office did not review the Amended Preliminary Master Development Plan; however, the department will review the revised subdivision plat for the property.

- ***Building Codes Department***

The Building Codes Department provided no review comments on the plan; however, full building plans shall be submitted for the building, gas pumps, and gas pump canopy prior to the issuance of a building permit.

- ***Department of Electricity***

The Department of Electricity stated that proper clearance from all overhead electric lines is required.

Departmental comments not addressed by the resubmittal have been added as conditions of approval.

Findings

According to the applicant, the project was designed to reflect the recommendations of the *2020 Plan* and be consistent with the intent and purpose of the Gallatin Zoning Ordinance. Staff, therefore, makes the following findings:

1. The proposed Amended Preliminary Master Development Plan is consistent with the purpose and intent of the Planned General Commercial (PGC) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district.
2. The proposed changes shown in the Amended Preliminary Master Development Plan do not constitute a major amendment to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
3. The Amended Preliminary Master Development Plan is in agreement and consistent with the intent and land use recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Regional Activity Center Community Character Area; however, the proposed northwest access does not meet the design criteria of the *Gallatin on the Move 2020 General Development and Transportation Plan*.
4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed modifications will not change the essential character of Nashville Pike and the proposed architecture will complement the existing residential structures along Douglas Bend Road and Foxland Boulevard.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended Preliminary Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended Preliminary Master Development Plan was submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

RECOMMENDATION:

Based on the findings presented in the staff report, Staff recommends that the Planning Commission approve GMRPC Resolution No. 2015-23 as a minor amendment to the GT Station Preliminary Master Development Plan and approve the Amended Preliminary Master Development Plan for the Sudden Service with a Quick Service Restaurant, consisting of a four (4) sheet plan, including architectural elevations, prepared by Perry Engineering, Inc. of Goodlettsville, Tennessee, with project number 199-001, dated January 28, 2015, with a revision date of February 12, 2015, with the following conditions:

1. The proposed changes are considered as a minor amendment to the approved Preliminary Master Development Plan.
2. Planning Commission approved the conceptual architectural elevations as submitted. Final architectural elevations shall be approved as part of the Final Master Development Plan.
3. Planning Commission approved the conceptual landscaping plan as submitted. A final detailed landscaping plan, meeting all requirements of the G.Z.O., shall be approved at the Final Master Development Plan stage.
4. Access point at northeast property corner does not meet design criteria of the *Gallatin on the Move 2020 General Development and Transportation Plan*. Minimum throat length at major arterial roadway is 80 feet.
5. Revise access point at northwest property corner to be right-in only.
6. Revise access point at northwest property corner to be shared/joint access easement with adjacent property.
7. Extend driveway throat length to Douglas Bend Road.
8. Owner/developer shall be responsible for pedestrian modifications to the signalized intersection of Nashville Pike and Douglas Bend Road, including striping and signal modifications. Existing stop bars shall be relocated.
9. Revise access point at southwest property corner to connect through western property line rather than rear property line.
10. Provide public access easement for proposed sidewalk or relocate to public right-of-way.
11. Revise plan so scale is accurate.
12. Submit a revised subdivision plat, including the access point at northwest property corner as a shared/joint access easement with the adjacent property. The revised subdivision plat shall be recorded prior to the issuance of a building permit for this project.
13. Correct Fire Department contact information on sheet C-0.
14. Install fire hydrant at this location per the 2009 IFC since the nearest hydrant is over 600 feet away.
15. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit a copy of the utility surety to the Planning Department, if required by White House Utility District, prior to the recording of revised subdivision plat for this property.
16. Submit approval documentation from the U.S. Army Corps of Engineers for construction within the flowage easement at the Final Master Development Plan stage.
17. Submit five (5) corrected, folded copies of the Amended Preliminary Master Development to the Planning Department prior to Planning Commission's consideration of the Final Master Development Plan.

ATTACHMENTS:

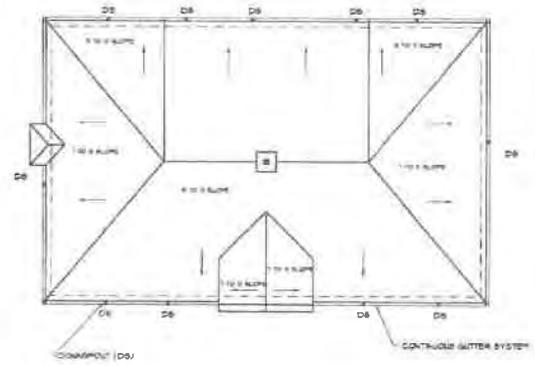
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|-------------------|------------|--|
| Attachment | 9-1 | Sudden Service Amended PMDP with architectural elevations |
| Attachment | 9-2 | Location Map |
| Attachment | 9-3 | Final Architectural Elevations approved 12/3/08 |
| Attachment | 9-4 | Rezoning Ordinance #O0407-039 |
| Attachment | 9-5 | Rezoning Ordinance #O0801-3 |
| Attachment | 9-8 | Foxland, Phase 1, Section 1 Final Plat PB 25; PG261 |
| Attachment | 9-6 | 2020 Plan Community Character Area Map – West Gallatin |

- Attachment 9-7 2020 Plan Regional Activity Center Description**
- Attachment 9-9 2020 Plan Driveway Spacing Requirements**
- Attachment 9-10 G.Z.O. Section 08.04 – Section 08.04.060.E**
- Attachment 9-11 G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan**

SUDDEN SERVICE 1845 NASHVILLE PIKE
AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
LOCATION MAP



COMMON © CASSETTY ARCHITECTS 2008

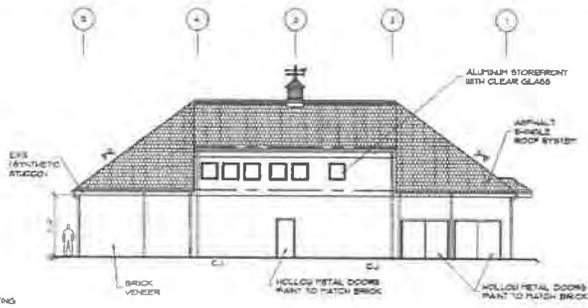


5 ROOF PLAN

ROUTE DOWNSPROUT INTO STORM DRAIN PIPE UNDER SIDEWALK. SEE CIVIL DRAWINGS FOR CONTINUATION



2 ELEVATION



3 ELEVATION

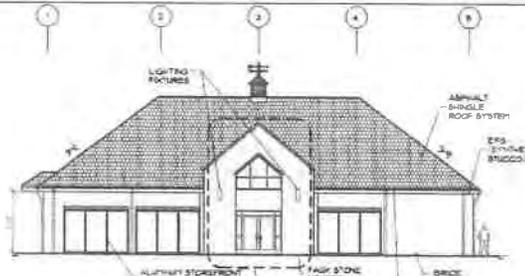


4 ELEVATION

Approved
CITY OF GALLATIN
PLANNING OFFICE

CIRCL NUMBER DATED
7-20-07

- ▲ 9-24-07
- ▲ 8/24/08
- ▲ 8/24/08

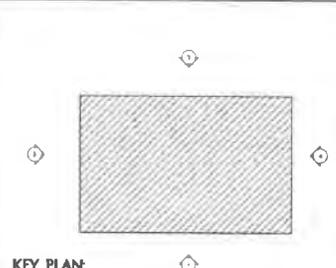


5 ELEVATION

EXTERIOR COLORS

- 1 ASPHALT SINGLE ROOF
 - LEATHERED BERRY-BROWN
- 2 EXTERIOR INSULATING FINISHING SYSTEM (EIFS)
 - MEDIUM EARTH-TONE TAN
- 3 BRICK VENEER
 - DARTMOUTH TAN
- 4 FAUX STONE VENEER
 - SANDSTONE, REDSTONE ACCENTS
 - NATURE'S POINT, HARBORVIEW, CASTLEROCK
- 5 ALUMINUM WINDOW SYSTEM
 - BRONZE/ANODIZED
- 6 PREFINISHED ALUMINUM TRIM & SOFFIT
 - LEATHERED BROWN

ALTERNATE #1 PROVIDE FRAMELESS BUTT-GLAZED PANELS AT ELEVATION #1 IN LIEU OF ALUMINUM STOREFRONT



KEY PLAN

RECEIVED
NOV 06 2008

GALLATIN PLANNING
PROJECT NUMBER 0903

FILE NUMBER
0903-420

EXTERIOR ELEVATIONS

A20

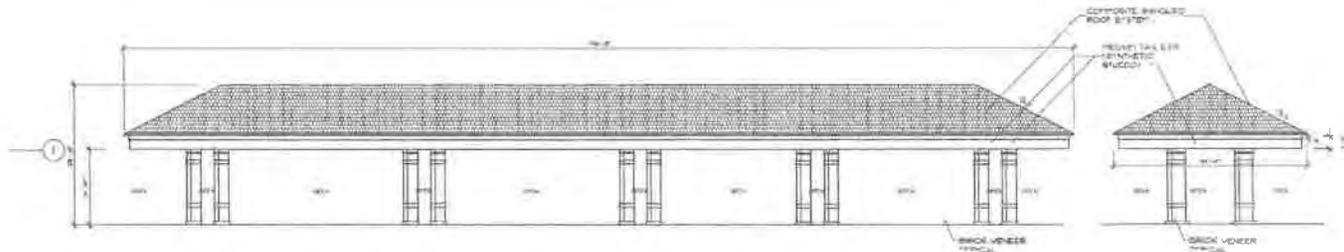
2nd REVISION SUBMITTED
 8-29-07

9-3

ATTACHMENT

ATTACHMENT 9-3

COPYRIGHT © JAMES CASSETTY ARCHITECT 2005



ROUTE DOWNPOUT INTO STORM DRAIN PIPE UNDER SIDEWALK. SEE CIVIL DRAWINGS FOR CONTINUATION

1 FUEL DISPENSER CANOPY


A NEW FACILITY FOR
GTE MARKET
 8001 HB
 A DOUGLAS WOOD RD
 GALLATIN TN

CASSETTY
 ARCHITECTURE



CASSETTY
 ARCHITECTURE
 10 WEST MAIN STREET
 MEMPHIS, TN 38103
 PH: 901-527-1111
 FAX: 901-527-1112

DATE: 07-20-07

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PROJECT NUMBER
0903

FILE NAME
 0903-A23

CANOPY
ELEVATIONS
A23

ORDINANCE AMENDING ZONING ORDINANCE
OF THE CITY OF GALLATIN, TENNESSEE BY AMENDING MULTIPLE RESIDENTIAL AND
OFFICE PLANNED UNIT DEVELOPMENT (MRO PUD) ZONE DISTRICT TO PLANNED
GENERAL COMMERCIAL (PGC) ZONE DISTRICT – TEXAS WEST, LLC – OWNER(S) – 1.37 (+)
ACRES – S.B.E. TAX MAP #136//027.02 –
LOCATED AT THE CORNER OF NASHVILLE PIKE AND DOUGLAS BEND ROAD

BE IT ORDAINED BY THE CITY OF GALLATIN, TENNESSEE, as follows:

Section 1. That based upon recommendation of approval by the Gallatin Municipal – Regional Planning Commission (Section 15.07.040) and notice to adjacent owners, public notice, and after public hearing in compliance with Section 15.07.060 of the Gallatin Zoning Ordinance, the zone of the real property described in Exhibit A attached hereto shall be amended from the regular zoning district of Multiple Residential and Office Planned Unit Development (MRO PUD) to the regular zoning district of Planned General Commercial (PGC) and the Master Development Plan is approved.

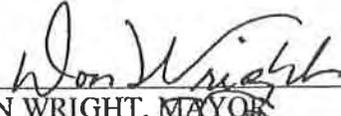
Section 2. The Gallatin City Council has determined that grounds for the amendment exist as are provided and required in Section 15.07.050 of the Gallatin Zoning Ordinance and adopts the findings set forth in the staff report attached as Exhibit B.

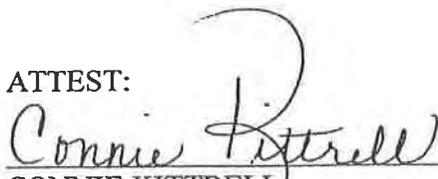
Section 3. In accordance with Section 15.07.080 of the Gallatin Zoning Ordinance, the official zoning map of the City of Gallatin, Tennessee, shall, after final passage of this Ordinance, be amended to reflect the zoning change herein made. In accordance with Section 15.07.070, the Zoning Administrator shall cause Notice of Enactment.

Section 4. This Ordinance shall take effect from and after its final passage, the public welfare requiring it.

PASSED FIRST READING: July 20, 2004

PASSED SECOND READING: August 17, 2004


DON WRIGHT, MAYOR

ATTEST:

CONNIE KITTRELL
CITY RECORDER

APPROVED AS TO FORM:

JOE THOMPSON
CITY ATTORNEY

ATTACHMENT 9-5

ORDINANCE NO. 00801-3

ORDINANCE AMENDING ZONING ORDINANCE OF THE CITY OF GALLATIN, TENNESSEE BY AMENDING MIXED USE (MU) ZONE DISTRICT TO PLANNED GENERAL COMMERCIAL (PGC) ZONE DISTRICT, OAKBROOK REALTY AND INVESTMENTS II LLC- OWNER(S) - 0.25 (+/-) ACRES, S.B.E. TAX MAP #136//027.01 LOCATED AT 1845 NASHVILLE PIKE.

BE IT ORDAINED BY THE CITY OF GALLATIN, TENNESSEE, as follows:

Section 1. That based upon recommendation of approval by the Gallatin Municipal Planning Commission (Section 15.07.040) and notice to adjacent owners, public notice, and after public hearing in compliance with Section 15.07.060 of the Gallatin Zoning Ordinance, the zone of the real property described in Exhibit A, attached hereto, and further defined in Exhibit B, Master Development Plan - GT Station, attached hereto, shall be amended from the regular zoning district of Mixed Use-MU to the regular zoning district of Planned General Commercial-PGC, and the Master Development Plan is approved.

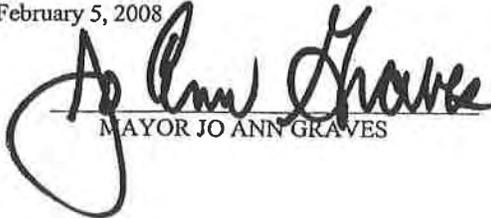
Section 2. The Gallatin City Council has determined that grounds for the amendment exist as are provided and required in Section 15.07.050 of the Gallatin Zoning Ordinance and adopts the findings set forth in the staff report attached as Exhibit C.

Section 3. In accordance with Section 15.07.080 of the Gallatin Zoning Ordinance, the official zoning map of the City of Gallatin, Tennessee, shall, after final passage of this Ordinance, be amended to reflect the zoning change herein made. In accordance with Section 15.07.070, the Zoning Administrator shall cause Notice of Enactment.

Section 4. This Ordinance shall take effect from and after its final passage, the public welfare requiring it.

PASSED FIRST READING: January 15, 2008

PASSED SECOND READING: February 5, 2008


MAYOR JO ANN GRAVES

ATTEST:


CONNIE KITTRELL
CITY RECORDER

APPROVED AS TO FORM:

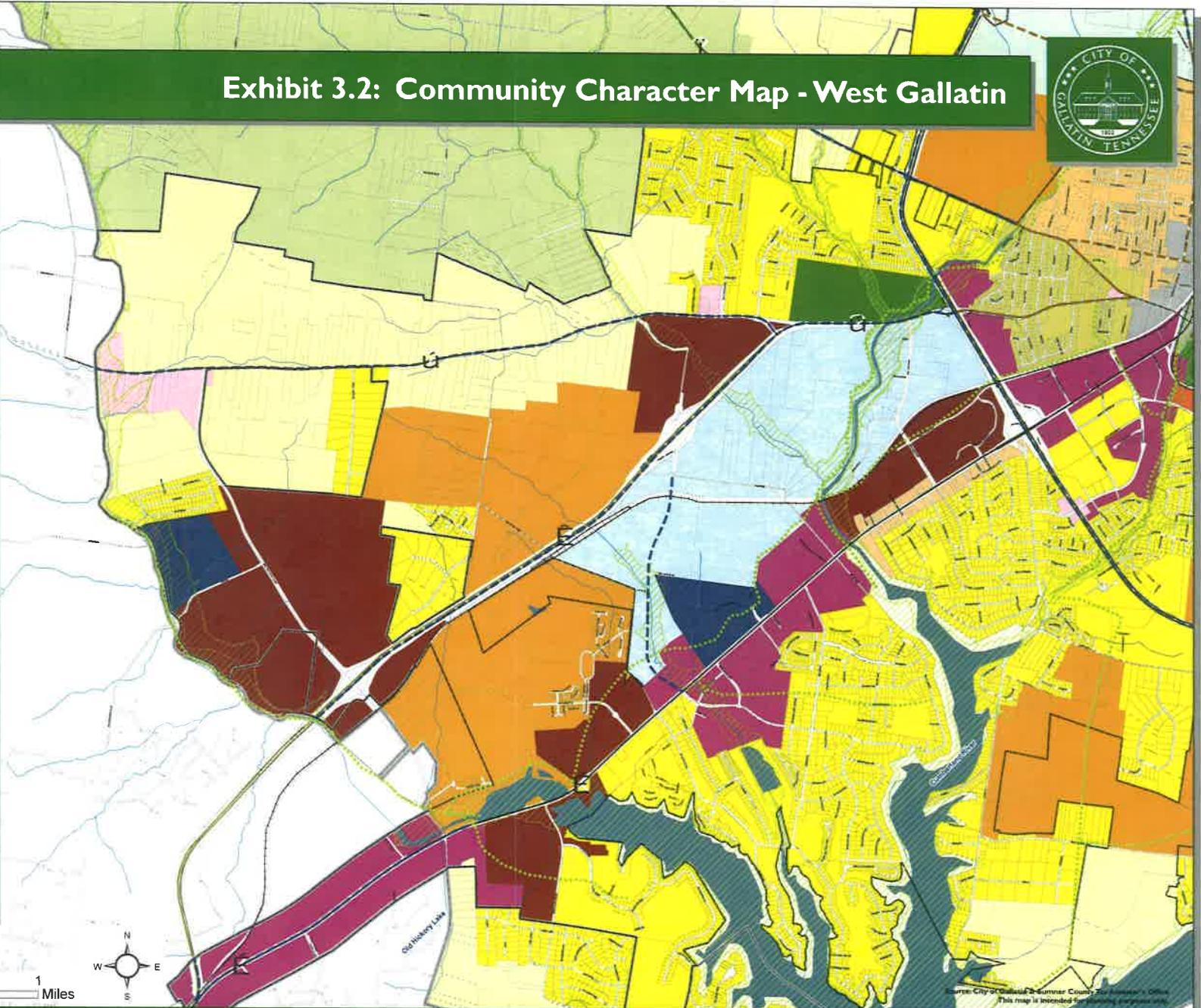

JOE THOMPSON
CITY ATTORNEY

3-11-07

Exhibit 3.2: Community Character Map - West Gallatin



- Legend**
- Rural Corridor
 - Growth Corridor
 - Neighborhood Transition Corridor
 - Greenway
 - Parade/Junction
 - City Limits
 - Roadway
 - Urban Growth Boundary
 - Planning Region
 - Major Road
 - Stream
 - Pond
 - Lake
 - Stream
 - Community Character Area
 - Process
 - Highway
 - Park and Open Space
 - Corridor
 - Commercial Corridor
 - Commercial Corridor - Rehabilitation
 - East Main Street Corridor
 - Health & Fitness Office Corridor
 - Center
 - Brookside/Township Workzone
 - Edge
 - Dispersed
 - Medical Center
 - Neighborhood Center
 - Regional Activity Center
 - Neighborhood
 - Suburban Neighborhood Emerging
 - Suburban Neighborhood Established
 - Suburban Neighborhood Rehabilitation
 - Town Neighborhood Rehabilitation
 - Town Neighborhood Established
 - Town Neighborhood Preservation
 - Emerging/Walkable Community
 - Rural Community
 - Special District
 - Airport Road Industrial
 - Green-Low Density Center
 - North Gallatin Emerging Business Park
 - Stream Plan



0 0.5 1 Miles



Prepared by
MACTEC

Gallatin On The Move 2020
General Development & Transportation Plan

REGIONAL ACTIVITY CENTER

General Description

These suburban centers are emerging mixed-use centers developed or planned with large-scale master plans. While unique mixtures of uses and styles are developed for each suburban center based on the market trends, these centers require sustainable designs that provide for flexibility as the market evolves. These centers include a variety of housing types and densities, employment centers, retail/office and other services that serve a regional scale.

Location

Areas within this character area include the following:

- Commercial and residential portions of the Village Green Planned Unit Development (south of the railroad)
- Big Station Camp emerging center
- Kennesaw Farms/Thoroughbred Park
- Foxland
- Area near the intersection of SR-174/Long Hollow Pike and SR-386/Vietnam Veterans Boulevard

Intent

- Provide for open-air shopping centers and mixed-use centers that offer a wide variety of services, shopping, office, restaurants, entertainment and residences
- Refocus strip or corridor commercial development into master planned villages and nodal development with a "main street feel"
- Provide for pedestrian-friendly areas with public spaces, relatively high intensity mix of businesses, retail and offices, employment, education, hospitality and entertainment facilities
- Provide opportunities for new centers that complement existing centers within the City



Landscaped parking lot located in front of a strip mall located within the Village Green planned unit development

REGIONAL ACTIVITY CENTER

Anticipated level of change:

- High

Transportation

- Medium level of service
- High level of connectivity
- Properties accessed by public roads
- Regular-shaped, medium-length blocks
- Roads characterized by curb, gutter with sidewalks containing a medium level of pedestrian orientation

Infrastructure

- Full urban facilities and services
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood and pocket parks
- Reliant on common-owned squares within new or existing development

Primary Land Uses

- Large-scale apartments and townhomes
- Horizontal and Vertical Mixed-Use
- Commercial/Office/Retail/Big Box Retail
- Hospitality
- Public/Institutional
- Entertainment and Cultural Facilities

Appropriate Intensity

- 0.75

Applicable Zoning Districts

Existing Zoning Districts

- PGC, MU, MRO

Proposed Zoning Districts

- No proposed new districts

Development Strategies

- Connect residential and non-residential areas to other areas with wide, pedestrian-friendly sidewalks and paths
- Address design factors, including the size of commercial buildings (facades of large buildings can be broken down into more pedestrian-scaled units), incorporation of outdoor seating and gathering areas, design parameters for parking and internal circulation, architectural treatments, building setbacks, siting and orientation, and adequate buffers to ensure compatibility with adjacent uses
- Include civic and cultural uses
- Locate buildings in close proximity to each other and on both sides of the street to make walking convenient
- Provide interconnectivity between parcels
- Construct wide sidewalks with street trees, landscaping and traditional lighting
- Accommodate bikes with lanes and bike racks located throughout the center
- Locate taller buildings to the interior of a development, allowing for height step down toward the edge near adjacent development
- Serve a regional population of 60,000 to 80,000 people within a 20-mile radius (and typically a minimum of five miles spacing between Regional Activity Centers)
- With ordinances, address building /site design and establish requirements for future reuse of "Big Box" stores

Implementation Measures

- ☞ Prepare and adopt a Big Box Ordinance



Example of Regional Activity Center development in the Green Hills area of Nashville

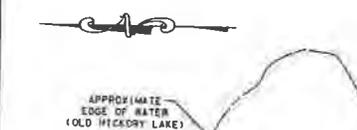


Example of Regional Activity Center development in Murfreesboro

No.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG.
C-1	15°30'22"	72.16'	143.44'	530.00'	141.00'	S08°49'34"E
C-2	25°33'13"	118.84'	234.32'	570.00'	232.67'	S74°45'03"E
C-3	49°31'52"	24.30'	38.56'	25.00'	36.82'	S21°13'27"W
C-4	91°30'39"	25.67'	39.32'	25.00'	34.85'	S68°42'53"E
C-5	28°00'45"	121.56'	240.12'	625.00'	236.65'	S02°13'06"E
C-6	35°03'03"	183.79'	284.98'	630.00'	251.16'	N12°45'03"W
C-7	23°33'13"	131.35'	254.30'	630.00'	251.16'	N68°54'15"W
C-8	15°30'22"	63.99'	127.20'	470.00'	126.81'	N08°42'54"W
C-9	90°14'59"	34.13'	52.53'	34.00'	48.17'	N81°35'13"W
C-10	08°15'05"	93.93'	186.74'	1,296.64'	183.52'	S26°30'20"E
C-11	04°30'20"	76.90'	153.61'	1,271.84'	183.52'	N17°12'50"W
C-12	04°25'37"	20.49'	40.95'	536.20'	40.94'	S03°11'14"E
C-13	07°08'10"	43.06'	86.01'	630.00'	81.93'	S24°02'15"E
C-14	03°35'36"	40.99'	81.95'	1,306.67'	81.93'	N70°40'31"E
C-15	05°42'18"	30.39'	60.74'	670.00'	60.71'	S69°49'47"W
C-16	11°20'31"	82.06'	123.72'	625.00'	123.52'	S18°51'44"E
C-17	31°28'01"	16.94'	33.68'	1,306.67'	33.88'	S08°49'17"W



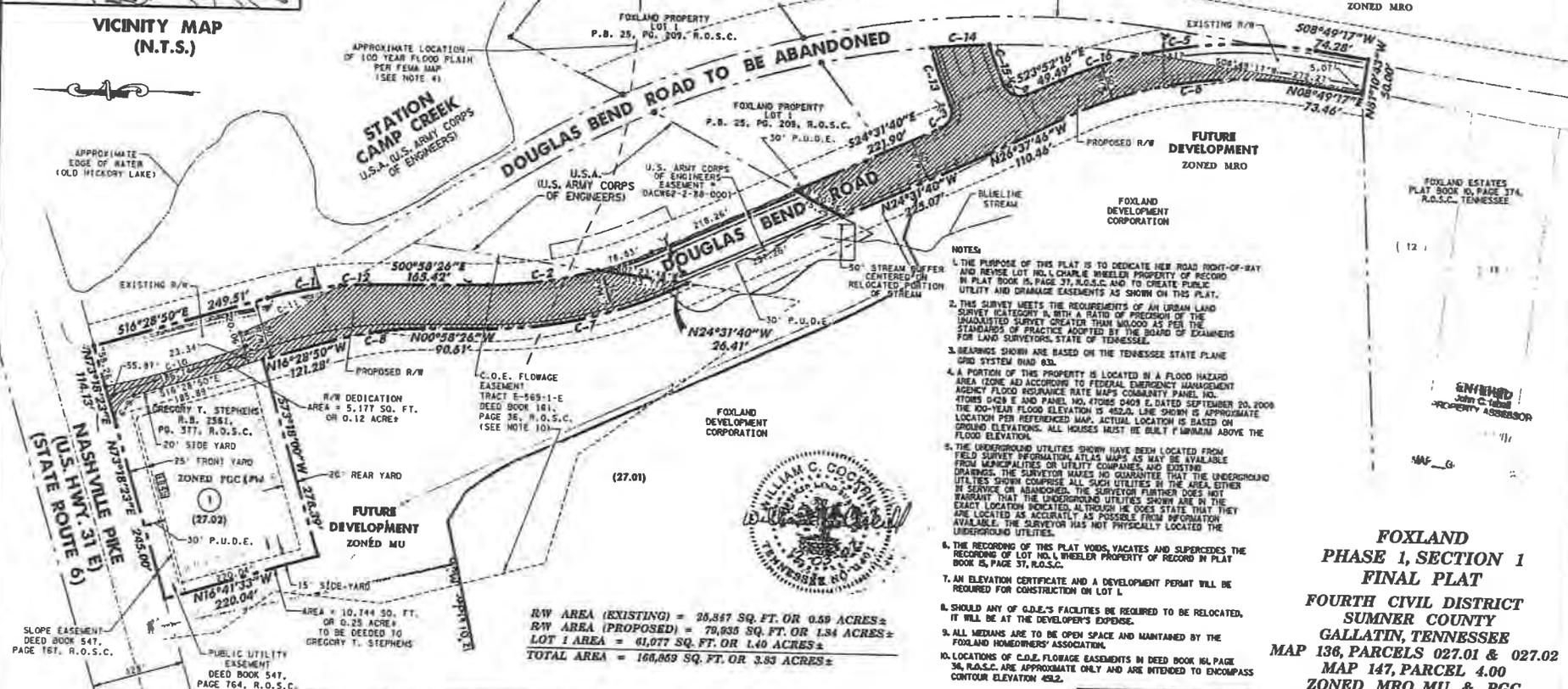
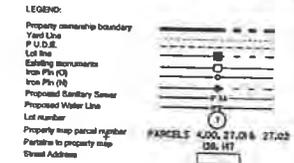
VICINITY MAP (N.T.S.)



FUTURE DEVELOPMENT ZONED MRO

FOXLAND DEVELOPMENT CORPORATION

Parola L. Whitlaker Registrar
 Recorder
 County Tennessee
 Book 8 898429
 Page 15
 Date 12/27/2007 at 9:54 AM
 Total 17 00
 Plat Book 23 Page 261-261



R/W AREA (EXISTING) = 26,847 SQ. FT. OR 0.69 ACRES ±
 R/W AREA (PROPOSED) = 79,635 SQ. FT. OR 1.84 ACRES ±
 LOT 1 AREA = 41,077 SQ. FT. OR 1.40 ACRES ±
 TOTAL AREA = 166,869 SQ. FT. OR 3.83 ACRES ±



OWNER/DEVELOPER
 FOXLAND DEVELOPMENT CORPORATION
 100 MAPLE CREEK NORTH
 HENRIEVILLE, TN 37075
 CONTACT: CHRIS WICK
 PHONE: (615) 264-1980

DATE: MARCH 2, 2008
 REVISED: DECEMBER 03, 2007

SHEET 1 OF 1

CERTIFICATE OF COMMON AREAS DEDICATION
 FOXLAND DEVELOPMENT CORPORATION & INVESTMENTS & LLC
 IN RECORDING THIS PLAT HAVE DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS OF FOXLAND FOR RECREATION AND RELATED ACTIVITIES. THE ABOVE DESCRIBED AREAS ARE NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN FOXLAND AS MORE FULLY PROVIDED IN DECLARATION OF COVENANTS AND RESTRICTIONS FOR FOXLAND, DATED MAY 12, 2008 OF RECORD IN BOOK 281, PAGE 503-508, R.O.S.C.

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (WE) HEREBY CERTIFY THAT I (AM) (WE) ARE THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS INDICATED IN RECORD BOOK 23, PAGE 261, SUMNER COUNTY REGISTER'S OFFICE AND THAT I (AND) HEREBY ADMIT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE BOUNDARIES, BUILDING FOOTPRINT LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROAD, UTILITY, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL, REGIONAL, SUBURBAN REGULATIONS.
 DATE: 12/14/07
 OWNER: FOX INVESTMENT, LLC
 TITLE IF ACTING FOR PARTNERSHIP OR CORPORATION: SECRETARY
 DATE: 12/14/07
 OWNER: FOXLAND DEVELOPMENT CORPORATION
 TITLE IF ACTING FOR PARTNERSHIP OR CORPORATION: SECRETARY
 DATE: 12/14/07
 OWNER: FOXLAND REALTY & INVESTMENTS & LLC
 TITLE IF ACTING FOR PARTNERSHIP OR CORPORATION: SECRETARY
 DATE: 12/14/07
 OWNER: GREGORY T. STEPHENS
 TITLE IF ACTING FOR PARTNERSHIP OR CORPORATION:

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED FOXLAND PHASE 1 SECTION 1 HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.
 DATE: 12/13/07
 SUPERVISOR OF WATER HOUSE UTILITY DISTRICT: Chris Sims

CERTIFICATE OF APPROVAL OF BONDING OF ROADS
 I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL, REGIONAL, SUBURBAN REGULATIONS, OR (2) THAT A PERFORMANCE BOND HAS BEEN FORFEITED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.
 DATE: 12/21/07
 CITY ENGINEER: [Signature]

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED FOXLAND PHASE 1 SECTION 1 HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.
 DATE: 12/14/07
 SUPERVISOR OF WASTE HOUSE UTILITY DISTRICT: Chris Sims

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL, REGIONAL, SUBURBAN REGULATIONS, WITH THE EXCEPTION OF SUCH VIOLATIONS, IF ANY, AS ARE NOTED IN THE MARGINS OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.
 DATE: 12-26-07
 DATE: 12-27-07
 CHAIRMAN'S INITIALS, PLANNING COMMISSION: [Signature]

CERTIFICATE OF ACCURACY
 I (WE) HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL, REGIONAL, PLANNING COMMISSION AND THAT THE INSTRUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS IN THESE REGULATIONS.
 DATE: 12/14/07
 DATE: 12/14/07
 REGISTERED LAND SURVEYOR NUMBER: 1401

BWSC BARGE WAGGONER SUMNER & CANNON, INC.
 ENGINEERS ARCHITECTS PLANNERS
 LANDSCAPE ARCHITECTS AND SURVEYORS
 12 Commerce Street, Suite 100 Memphis, Tennessee 37502
 Phone: 901-524-4000 Fax: 901-524-4002
 PROJECT NO. 32003.00 FILE: PRKSEL-PLAT.DWG DWG BY: CADD

9-8

- Proper geometric design of driveways;
- Spacing between opposite and adjacent driveways;
- Internal circulation between driveways;
- Speed of traffic on the adjacent roadway; and
- Pedestrians, cyclists, and other modes of transportation.

After determining the appropriate location of a driveway, the following criteria should be applied to the design and configuration of the access:

- Driveway access to arterials should not be permitted for parking or loading areas that require backing maneuvers in a public street right-of-way. Driveway access to collector streets for commercial or multi-family developments should not be permitted for parking or loading areas that require backing maneuvers in a public street right-of-way.
- One curb cut should be allowed for access to single family and duplex residential tracts.
- For corner tracts, access to residential tracts should be provided from the lesser (lowest classification) street. The determination as to the lesser (or greater) street should be based on the functional street classification and traffic.
- No cuts through a left-turn reservoir of a median should be permitted in order to provide for left turn movements to driveway approaches.
- Driveways in right-turn lane transition areas should not be permitted.
- When a commercial or multi-family development abuts more than one public street, access to each abutting street may be allowed only if the following criteria are met:
 - It is demonstrated that additional access is required to adequately serve driveway volumes and would not be detrimental or unsafe to traffic operations on public streets;
 - The minimum requirements for corner clearance for commercial or multi-family driveways are met; and/or
 - The proposed access does not promote cut-through traffic.

Access control is based upon the functional classification of the roadway on which access is requested. Driveway access spacing should be measured from the centerline of the proposed driveway pavement to the nearest edge of the roadway pavement (paved shoulder or back of curb) of the adjacent or opposite driveway or street as indicated in the figure below. However, the driveway spacing requirements are not applicable to single family lots accessing local streets.

Opposite downstream (right) driveways should not be located closer than the minimum requirements outlined in the table displayed in the left-hand margin. Additional opposite downstream spacing may be required if there is insufficient left turn storage or weave maneuver area between the opposite downstream and proposed driveway

DRIVEWAY SPACING		
Downstream Spacing		
Street Classification	Minimum Spacing (feet)	Desirable Spacing (feet) ¹
Major Arterial	300	500
Minor Arterial	225	350
Collector	175	300
Local Street	100	225

Adjacent Drive Spacing		
Street Classification	Minimum Spacing (feet)	Desirable Spacing (feet) ¹
Major Arterial	275	350
Minor Arterial	230	300
Collector	185	235
Local Street	100	150

¹ Desirable spacing will be required except in existing developments with insufficient frontage. Drives with higher volumes may require greater offsets

08.04 Intent and Purpose of PGC - Planned General Commercial District

The purpose of this district is to provide for modern, attractive, and efficient, retail, personal, professional, and commercial facilities with access needs that demand location along major arterial roadways. Uses permitted in this district are frequently automobile-oriented, and, as such, this district is most appropriately located along or at intersections of urban arterials or collector roadways, as identified on the City's Official Street Map. Also, since these corridors are major entryways and focal points in the City, landscape and buffer standards are instituted to provide commercial development which is more compatible and visually pleasing with adjacent residential areas. A master development plan for the development of the entire area is required, but the development may occur in stages.

08.04.010 Previously Approved Commercial PUD'S Applicability to the New Planned General Commercial District

Any project lawfully approved under the provisions of a Commercial Planned Unit Development zone (of this or any other government entity) is hereby approved under their original conditions and are hereby made as a new district of the zoning map of Gallatin as a part of this Ordinance for a period not to exceed two years from the date of the enactment of this Ordinance. If no final plan approval or building permit is requested on the subject property at the end of this period, the Planning Commission shall review its previous recommendations and actions on the subject property and provide to the governing authority a recommendation to: (1) extend the current approval of the subject tract for a period not to exceed two years; (2) revise the current approval in regards to the use, bulk, and/or design standards required of the current approval; or (3) cancel the current approval and impose a new base zoning district on the subject project.

08.04.020 Uses and Structures

Within the Planned General Commercial District, as shown on the Gallatin Municipal Regional Zoning Map, as delineated below and described in Article 3.00, the following activities are permitted:

A. Permitted Uses

Community Facility Activities:

- Administrative
- Community Assembly
- Essential Service
- Health Care
- Limited Child and Adult Care
- Non-assembly Cultural
- Nursing Home
- Place of Worship

ATTACHMENT 9-10

Commercial Activities:

- Business and Communication Services
- Financial, Consulting, and Administrative Office
- Food Service
- Food Service - Drive-in
- General Personal Service
- General Retail Sales and Services
- Group Assembly - Limited
- Medical Services
- Transient Habitation
- Vehicular, Craft, and Related Equipment Sales
- Limited Retail Sales
- Automotive Parking
- Automotive Servicing
- Convenience Sales and Services
- Retail Business Supply
- Wholesale Sales

B. Conditional Uses

Community Facility Activities:

- Extensive Impact
- Intermediate Impact
- Utility and Vehicular

Commercial Uses:

- Undertaking Service
- Automotive Repair and Cleaning
- Group Assembly Extensive
- Limited Warehousing

C. Permitted Accessory Uses and Standards

1. Signs in accordance with the regulations contained in Section 13.07 or as approved by the Preliminary Master Development Plan and Final Master Development Plan;
2. Accessory off-street parking and loading facilities as required in Article 11.00;
3. Accessory uses, buildings and structures customarily incidental and appurtenant to a permitted uses provided that such are carried out on the same zone lot and are not otherwise prohibited

08.04.030 Relationship to General Development Plan/Subdivision Regulation

ATTACHMENT 9-10

- A. Relationship to the Subdivision Regulations. The uniqueness of each proposal for a Planned General Commercial District may require that specifications for the width and surfacing of streets, public ways, public utility rights-of-way, curbs, and other standards may be subject to modification from the specifications established in the subdivision regulations adopted by the Gallatin Regional Planning Commission. Modifications may be incorporated only with the approval of the Planning Commission as a part of its review of the preliminary master development and final master development plan for a Planned General Commercial District and granted as a variance in the preliminary approval of the subdivision which must be concurrent with the final approval by the Planning Commission of the final master development plan.

08.04.040 Site Development Regulations

The following minimum development standards shall be observed in the "PGC" Planned General Commercial District.

A. Bulk Regulations

- | | |
|--|--|
| 1. Minimum Site Size (Entire Development): | 1 acre |
| 2. Minimum Lot Area (Within Development): | 20,000 sq.ft. |
| 3. Maximum Floor Area Ratio: | 1.0 |
| 4. Maximum Lot Coverage: | 50 percent |
| 5. Minimum lot width | 100 feet |
| 6. Maximum building height | 40 feet |
| 7. Minimum building setback – based on street classification | |
| a. Arterial | 50 feet |
| b. Collector | 40 feet |
| c. Local | 30 feet |
| 8. Minimum front yard | one half of the
minimum building
setback |
| 9. Minimum side yard | 10 feet |
| 10. Minimum rear yard abutting residential zone district | 40 feet |
| 11. Minimum rear yard abutting commercial zone district | 20 feet |

08.04.050 Additional Site Development Regulations

- A. Landscaped Bufferyard Requirements: In addition to the requirements of Sections 13.04 and 13.05, the following landscape bufferyards and landscaping shall be provided in the PGC District, provided, however, that if the provisions of Sections 13.04 and 13.05, differ from these requirements, the more restrictive requirement shall apply unless approved by the Board of Mayor and Alderman as part of the Preliminary and/or Final Master Development Plan as recommended by the Planning Commission.

ATTACHMENT 9-10

Bufferyard	Minimum Width	Minimum Landscape Requirements
(1) Front bufferyard abutting a street designated "Arterial" on the Major Thoroughfare Plan Map of Gallatin, Tennessee	20 feet	(a) 90% landscaped area* (b) one large deciduous tree for every 50 feet of lot frontage, minimum 2½-inch caliper (c) two small deciduous or ornamental trees for every 50 feet of lot frontage, minimum 1½-inch caliper (d) continuous parking lot screening per Section 13.05
(2) Front bufferyard abutting any other public right-of-way	15 feet	(a) 90% landscaped area* (b) one large deciduous tree for every 60 feet of lot frontage, minimum 2½-inch caliper (c) two small deciduous or ornamental trees for every 60 feet of lot frontage, minimum 1½-inch caliper (d) continuous parking lot screening per Section 13.05
(3) Side bufferyard abutting a public right-of-way	12 feet	(a) 90% landscaped area* (b) one large deciduous tree for every 60 feet of lot frontage, minimum 2½-inch caliper (c) two small deciduous or ornamental trees for every 60 feet of lot frontage, minimum 1½-inch caliper (d) continuous parking lot screening per Section 13.05

* NOTE: Landscaped area shall be defined as an area consisting of grass, shrubs, trees, flowers, ground cover, or other organic plant materials in the minimum percentage as noted. A sidewalk/bike path is only other permitted material within a landscaped area.

B. Additional Landscaping and Screening Requirements.

1. Site Landscaping Area - In addition to the landscape material requirements provided in Section 08.04.050, a minimum of seven and one-half percent of the lot area of all developments shall be permanently maintained landscape area, exclusive of the required bufferyard. This area may include the interior parking lot planting area as required in Section 13.05.020.B.

ATTACHMENT 9-10

2. For every five hundred (500) square feet of site landscaping area on a lot/site, a minimum of one medium deciduous or ornamental tree (minimum 2-inch caliper) shall be provided, exclusive of the required landscape bufferyard requirements.
 3. Every acre of lot/site area shall include a minimum of 50 shrubs, at least 18 inches high. These shrubs may be counted towards the required bufferyard and site landscaping area requirements and shall be exclusive of the continuous parking lot screening required in Section 13.05.
 4. Supplemental Screening Regulations
 - a. Loading areas shall be adequately screened so as not to be visible from any residential areas or streets.
 - b. Mechanical equipment, heating, and cooling units for non-residential structures shall be adequately screened so as not to be visible from streets and/or adjacent properties.
 5. Traffic Access Control and Visibility Areas at Entrances/Intersections. The design and placement of the landscaping materials within the parking areas and front lot line and side lot line bufferyards shall be designed in accordance with Sections 11.09, 13.05 and 13.06.
- C. Ownership and Division of Land. No tract of land may be considered for or approved as a Planned General Commercial District unless such tract is under the single ownership by a landowner. The holder of a written option to purchase, any governmental agency, or a redeveloper under contract with the governing authority shall be considered landowners for the purposes of this section. Unless otherwise provided as a condition of approval of a Planned General Commercial District, the landowner of an adopted Planned General Commercial District may divide and transfer parts of such development. The transferee shall complete each such unit, and use and maintain it in strict conformance with the adopted final site development plan.
- D. Architectural Design - When the Planning Commission and/or Board of Mayor and Aldermen has established architectural design as an integral part of the preliminary master development plan and final master development plan, and stipulates architectural design principles and/or specific architectural design details, such principles and/or details shall be made a part of the preliminary master development plan, final master development plan and all zoning permits for the Planned General Commercial District.
- E. Preliminary Master Development Plan Approval Required: The establishment of the PGC zoning district shall be based upon the submission and approval of a preliminary master development plan according to the provisions of Sections 12.02 and 15.07 of this Ordinance. The preliminary master development plan shall form the basis of the proposed PGC District, and, if approved, the plan and all of its components shall run

ATTACHMENT 9-10

with the land. All other conditions, regulations, and stipulations of the preliminary master development plan requirements shall be applied to any proposed development in the PGC District.

- F. Final Master Development Plan Approval Required: The Mayor and Aldermen's approval of a preliminary master development plan of a PGC District shall authorize and form the basis for the Planning Commission's final approval of said development. The final approval of the Planning Commission of the development shall be subject to the procedures provisions of Section 12.02 of this Ordinance:
- G. Additional Site Design Standards: All developments occurring within a PGC District shall be designed and developed to comply with the standards of Articles 11.00, 12.00, and 13.00 of this Ordinance.

08.04.060 Special Conditions for Convenience Sales and Services Commercial Activities

- A. Personal convenience services, as described in Section 03.07.090, shall be exempt from this special condition section.
- B. Convenience Sales and Service structures shall be designed to be compatible with the character of residential structures in the surrounding area. Scale of materials and building forms are considered important elements of compatibility.
- C. In order to determine compatibility, the applicant shall provide information concerning building design and materials, including elevations of all sides of the proposed buildings and structures. The features shown in the elevations shall include information concerning building materials, heights, scale, door and window openings, façade offsets, roof pitch and colors.
- D. The design of such facilities shall comply with the requirements of Section 13.08, Architectural Character and Compatibility Standards. In addition, the following architectural standards shall apply:
 - 1. Building height and design shall be in keeping with the character and scale of the proposed and surrounding development.
 - a. Building colors should be subdued, with natural earth tones and colors compatible with surrounding development predominating.
 - b. Building rooflines and pitches should be comparable to typical residential roofline styles. To harmonize with residential structures, convenience sales and service structures should have roofs that are visible from the street, preferably with a pitch not less than 1-foot rise in 2-foot run. Roofs should be a dark earth tone in color.
 - 2. Canopy height and design shall be in keeping with the character and scale of the proposed development. The canopies shall have pitched rooftops compatible with the design of the proposed building(s).

ATTACHMENT 9-10

3. Canopies over gas pumps shall use colors and materials that blend with proposed and surrounding building facades. The use of earth tones or dark colors is encouraged.
 4. The use of primary, secondary or other bright, bold colors on building facades, canopies and awnings shall be avoided.
 5. Heating and cooling equipment, solid waste disposal equipment and facilities and mechanical equipment and facilities shall be adequately screened so as not to be visible from streets and adjacent properties. In addition, mechanical equipment placed on rooftops should be concealed from view from public streets and adjacent properties.
- E. The number of gasoline pumps, if any, permitted with this use shall be determined by the Planning Commission. In making this determination the Planning Commission shall consider the location, size, and design of such facilities so that the proposed development will be compatible with the development within the surrounding area, thus reducing the impact upon the surrounding area.

12.02.050 Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan

Major amendments to the master development plan must be submitted to the Planning Commission for review and recommendations and approved by the Mayor and Aldermen. Major amendments shall include, but not be limited to:

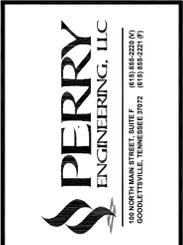
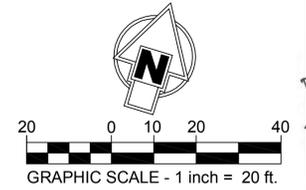
- A. An increase in the density of the development;
- B. Substantial changes in circulation or access;
- C. Substantial changes in the mix of dwelling unit types included in the project;
- D. Substantial changes in grading or utility provision;
- E. Substantial changes in the mixture of land uses;
- F. Reduction in approved open space, landscaping, and bufferyards;
- G. Substantial changes in architectural or site design features of the development; or
- H. Any other change that the City Planner determines to be a major divergence from the approved preliminary master development plan. The Planning Commission may overrule this determination upon the favorable vote of a majority of the entire membership of the Planning Commission.

All other changes in the preliminary or final master development plan shall be considered revisions to the approved plan. The planning commission may approve these minor revisions.

12.03 Requirements for Moving Single Family Residence From One Foundation to Another

- A. No single family residence shall be moved from an existing foundation to another foundation located within a developed area of single family residences unless:
 - 1. The residence to be moved is consistent with the age, value, size, and appearance of existing residences within the developed area of single family residences to which the single family residence is to be moved; provided, that the value of the house may be greater than that of the existing residences and the size of the house may be larger than that of the existing residences; and
 - 2. Approval for the movement of the single family residence to a foundation within a developed area of single family residences has been given by:
 - a. The homeowners' association of the development where the residence is to be moved, if a homeowners' association is in existence;
 - b. A neighborhood association where the residence is to be moved that has been in existence for more than one (1) year prior to the date the residence is to be moved, if a neighborhood association is in existence in the area; or
 - c. The Gallatin Municipal-Regional Planning Commission if there is not a homeowner's association or neighborhood association in existence in the area where the residence is to be moved.

U.S. ARMY
CORPS OF ENGINEERS
ZONED R-20



H&S PROPERTIES
P.O. BOX 8857
GALLATIN, TENNESSEE 37066
PH 615-714-3520

PRELIMINARY MASTER DEVELOPMENT PLAN FOR:
SUDDEN SERVICE
1845 NASHVILLE PIKE
MAP 136, PARCEL 27.02, SUMNER COUNTY, TENNESSEE

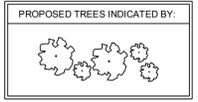
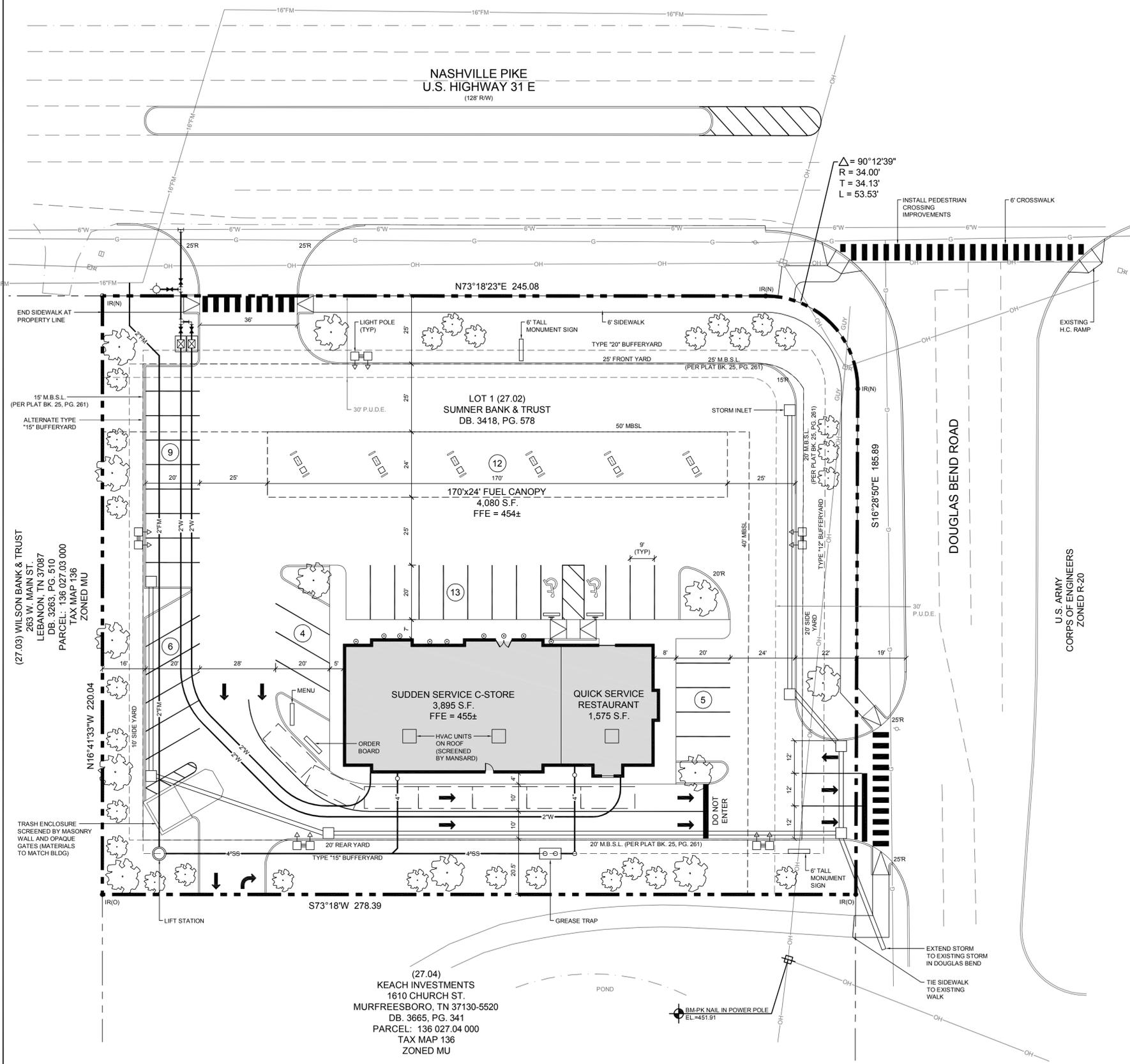
REV.	DATE	COMMENT

PROJ. NO. 199-001

PRELIMINARY MASTER DEVELOPMENT PLAN

C-2

DATE: FEB. 12, 2015
SUBM: PMDP RESUB.



USE TABLE: PER SECTION 08.04.020 - PGC
COMMERCIAL ACTIVITIES:
CONVENIENCE SALES AND SERVICES
WITH GAS PUMPS AND FOOD SERVICE

FREESTANDING SIGNAGE NOTE:
FREESTANDING SIGNAGE TO BE APPROVED BY PLANNING COMMISSION AS A PART OF FMDP. SIGNS TO BE IN ACCORDANCE WITH SECTION 13.07.100 OF THE GALLATIN ZONING ORDINANCE.
MONUMENT SIGNS TO BE 10' TALL MAX. HEIGHT SET BACK FROM R.O.W. PER FIG. 13-07 OF THE GALLATIN ZONING ORDINANCE.
DETAILED SIGN PACKAGE TO BE SUBMITTED WITH FMDP FOR APPROVAL BY THE PLANNING COMMISSION.
ALL SIGNAGE TO BE SUBMITTED TO CODES/PLANNING FOR APPROVAL AND ISSUANCE OF A SIGN PERMIT PRIOR TO INSTALLATION OF SIGNAGE.

- GENERAL NOTES:
- ALL CONSTRUCTION OF THIS DEVELOPMENT TO BE IN ACCORDANCE WITH ARTICLE 13.02 OF THE CITY OF GALLATIN ZONING ORDINANCE.
 - ALL UTILITIES TO BE UNDERGROUND.
 - ROADWAYS AND CURBS SHALL CONFORM TO CITY OF GALLATIN STDS.
 - STREET LIGHTS TO BE PROVIDED BY DEVELOPER.
 - LOT DEVELOPMENT SHALL MEET OR EXCEED ZONING ORDINANCE ARCHITECTURAL AND LANDSCAPING STANDARDS.

LANDSCAPE DATA:

TYPE "20" BUFFERYARD ALONG NASHVILLE PIKE:
90% L.S. AREA
ONE LARGE DECIDUOUS TREE PER 50' OF FRONTAGE (MIN. 2-1/2" CALIPER)
TWO SMALL DECIDUOUS / ORNAMENTAL TREES PER 50' OF FRONTAGE (MIN. 1-1/2" CAL.)
CONTINUOUS PARKING LOT SCREENING PER SECT. 13.05

TYPE "15" BUFFERYARD ALONG DOUGLAS BEND ROAD:
90% L.S. AREA
ONE LARGE DECIDUOUS TREE PER 60' OF FRONTAGE (MIN. 2-1/2" CALIPER)
TWO SMALL DECIDUOUS / ORNAMENTAL TREES PER 60' OF FRONTAGE (MIN. 1-1/2" CAL.)
CONTINUOUS PARKING LOT SCREENING PER SECT. 13.05

TYPE "12" BUFFERYARD ALONG WEST AND SOUTH PROPERTY LINES:
90% L.S. AREA
ONE LARGE DECIDUOUS TREE PER 60' OF FRONTAGE (MIN. 2-1/2" CALIPER)
TWO SMALL DECIDUOUS / ORNAMENTAL TREES PER 60' OF FRONTAGE (MIN. 1-1/2" CAL.)
CONTINUOUS PARKING LOT SCREENING PER SECT. 13.05

COMMON AREA MAINTENANCE:
COMMON OPEN SPACE TO BE MAINTAINED BY THE DEVELOPER THROUGH A REAL ESTATE AGREEMENT BETWEEN TENANTS

STATEMENT OF FINANCIAL RESPONSIBILITY:
H&S PROPERTIES WILL BE FINANCIALLY RESPONSIBLE FOR THE DEVELOPMENT

FEMA / FLOODPLAIN NOTE:
THE PROPERTY IS NOT IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA AS GRAPHICALLY INDICATED ON FEMA COMMUNITY PANEL NO. 47165C0407G, DATED 4/17/12

PARKING DATA:

REQUIRED PARKING:	
FOOD SERVICE (1/200 S.F.)	8 SPACES
CONVENIENCE SALES & SERVICES WITH GAS PUMPS (1/100 S.F.)	39 SPACES
TOTAL PARKING REQUIRED:	47 SPACES
PROVIDED PARKING:	
FOOD SERVICE	10 SPACES
CONVENIENCE SALES & SERVICES WITH GAS PUMPS	39 SPACES
TOTAL PARKING PROVIDED:	49 SPACES

SITE DATA TABLE

PARKING DATA:					
SUBDIVISION / DEVELOPMENT:	SUDDEN SERVICE				
TAX MAP / PARCEL:	MAP 136, PARCEL 27.02				
EXISTING ZONING:	PGC				
PROPOSED USE:	CONVENIENCE SALES & SERVICES WITH GAS PUMPS AND FOOD SERVICE				
AREA OF SITE:	1.40 ACRES				
APPLICANT:	DEVELOPER:				
RANDY PERRY, P.E.	BOB SUMMERS				
PERRY ENGINEERING, LLC	H&S PROPERTIES				
100 NORTH MAIN STREET, SUITE F	P.O. BOX 8857				
GOODLETTSVILLE, TENNESSEE 37072	GALLATIN, TENNESSEE 37066				
PHONE: (615) 855-2220	PHONE: (615) 714-3520				
FAX: (615) 855-2221					
OWNER:	SUMNER BANK & TRUST				
	P.O. BOX 729				
	GALLATIN, TN 37066				
LOT DATA:					
MINIMUM LOT SIZE REQUIRED:	20,000 S.F.				
MINIMUM LOT SIZE PROVIDED:	61,077 S.F.				
TRAFFIC DATA:					
AVG. DAILY TRAFFIC:	16,403 CARS PER DAY				
	(PER 2005 TDOT ADT - HWY. 31-E)				
BULK DATA:					
M.B.S.L.	REQUIRED	PROVIDED	FLOOR AREA RATIO:	REQUIRED	PROVIDED
ARTERIAL (NASHVILLE PIKE):	50'	50'	1.00 MAX.	0.09	
COLLECTOR (DOUGLAS ROAD):	40'	40'	LOT COVERAGE:	50% MAX.	9%
LOCAL:	30'	N/A	LOT WIDTH:	100' MIN.	245±
REAR YARD (ABUTTING COMMERCIAL):	20'	20'	BUILDING HEIGHT:	40' MAX.	25'
SIDE YARD:	10'	10'	CONSTRUCTION SCHEDULE:		
FRONT YARD:			ESTIMATED START OF CONSTRUCTION: APR 2015		
ARTERIAL (NASHVILLE PIKE):	25'	25'	ESTIMATED END OF CONSTRUCTION: OCT 2015		
COLLECTOR (DOUGLAS ROAD):	20'	20'			

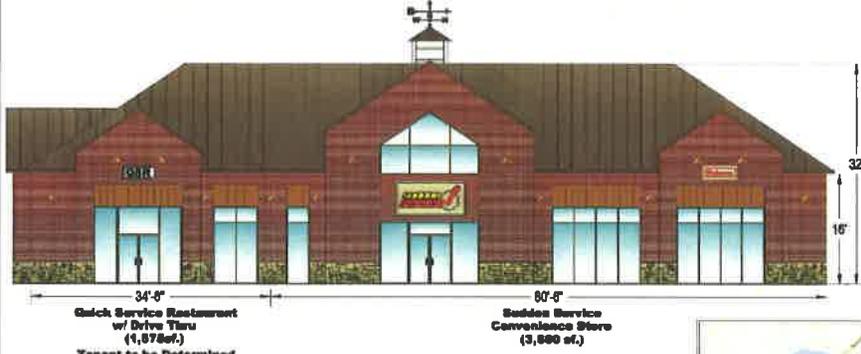
(27.03) WILSON BANK & TRUST
263 W. MAIN ST.
LEBANON, TN 37087
DB. 3263, PG. 510
PARCEL: 136 027.03 000
TAX MAP 136
ZONED MU

TRASH ENCLOSURE
SCREENED BY MASONRY
WALL AND OPAQUE
GATES (MATERIALS
TO MATCH BLDG)

(27.04) KEACH INVESTMENTS
1610 CHURCH ST.
MURFREESBORO, TN 37130-5520
DB. 3665, PG. 341
PARCEL: 136 027.04 000
TAX MAP 136
ZONED MU

BM&P NAIL IN POWER POLE
EL. 481.91

SUDDEN SERVICE w/ QSR CONCEPT
1845 NASHVILLE PIKE at DOUGLAS BEND ROAD



- Facade:
- Stacked Stone & Brick Veneer Exclusive of Windows
 - Standing Seam Metal Roof Seal Brown
 - Metal Awnings, Window Trim and Lamp Post Dark Bronze

Front Elevation
 SCALE: 1/4"=1'-0"

SUDDEN SERVICE w/ QSR CONCEPT
1845 NASHVILLE PIKE at DOUGLAS BEND ROAD



- Facade:
- Stacked Stone & Brick Veneer Exclusive of Windows
 - Standing Seam Metal Roof Seal Brown
 - Metal Awnings, Window Trim and Lamp Post Dark Bronze

Rear Elevation
 SCALE: 1/4"=1'-0"

SUDDEN SERVICE w/ QSR CONCEPT
1845 NASHVILLE PIKE at DOUGLAS BEND ROAD
GALLATIN, TN 37066



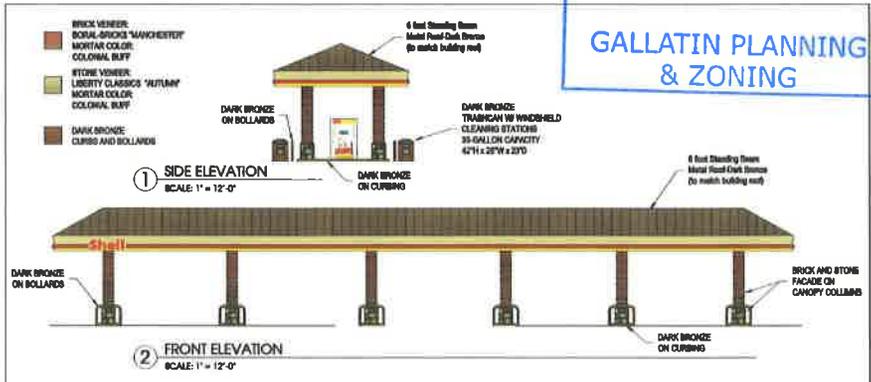
- Facade:
- Stacked Stone & Brick Veneer Exclusive of Windows
 - Standing Seam Metal Roof Seal Brown
 - Metal Awnings, Window Trim and Lamp Post Dark Bronze

Left Elevation
 Quick Service Restaurant w/ Drive Thru (1,575sf.)

Right Elevation
 Sudden Service Convenience Store (3,600sf.)

SCALE: 1/4"=1'-0"

RECEIVED
 FEB 20 2015
 GALLATIN PLANNING & ZONING



① **SIDE ELEVATION**
 SCALE: 1"=12'-0"

② **FRONT ELEVATION**
 SCALE: 1"=12'-0"

ITEM 9



SUDDEN SERVICE STATIONS
 Shell Canopy Hip Roof with Standing Seam Design

ITEM 10

GMRPC Resolution No. 2015-27

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR FAIRVUE PLANTATION PHASES 17-21 (PC FILE# 3-14-05), FOR THE CONSTRUCTION OF SIX (6) SINGLE FAMILY RESIDENCES UNDER A CONDOMINIUM REGIME, LOCATED ON A PROPOSED .84 (+/-) ACRE LOT, NORTH OF ASHLEY TRACE ALLEY AND EAST OF BAXTER LANE. (3-288-15)

WHEREAS, The applicant has submitted an application for a minor amendment to the previously approved Fairvue Plantation, Phases 17-21 Preliminary Master Development Plan consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the Amended Preliminary Master Development Plan application, materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report and the evidence and testimony presented during the meeting, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the amended Preliminary Master Development Plan submitted by the applicant, Lose and Associates, at its regular meeting on February 23, 2015.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. §13-3-310, §13-4-310, §13-7-201, and §13-7-202:

1. The proposed preliminary master development plan amendment is consistent with the Gallatin on the Move 2020 Plan and the Suburban Neighborhood Established Character Area designation of the property.
2. The owner/applicant has submitted a completed application with required attachments to the City requesting the Amended Preliminary Master Development Plan approval as required by Sections 12.02.010 B. and 15.07.030 of the Gallatin Zoning Ordinance and the submittal complies with the twelve (12) standards required of a preliminary master development plan.
3. The Amended Preliminary Master Development Plan is consistent with the purpose and intent of the Multiple Residential and Office (MRO) zoning district and complies with the use, restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zoning district, except where exceptions have been requested for lot size, minimum lot dimensions, and yard lines.

4. The property has adequate public utilities, infrastructure and private or municipal services necessary to serve the existing and proposed development and population permitted by the requested amendment to the preliminary master development plan or such necessary services and facilities will be provided upon development of the property.
5. The Gallatin Regional-Municipal Planning Commission held a public meeting and reviewed and recommended to the City Council action on the proposed request.
6. The proposed amendment to the preliminary master development plan will be compatible with surrounding environment and will protect the public health, safety and welfare and will not be injurious to other property or improvements in the area in which the property is located. The proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a minor amendment to the Preliminary Master Development Plan for Fairvue Plantation Phases 17-21 (PC File# 3-14-05) for the Cottages at Green Farm, consisting of a 13 sheet plan, prepared by Lose and Associates, of Nashville, Tennessee, with Project No. 87022-13, dated 1-28-14 with final revision date of 2-12-15, and two (2) sheet architectural elevations prepared by Abernathy Architecture of Franklin, TN, with Project No. 87022-13, and a final date of 1-28-2015, with the following conditions:

1. The Planning Commission, based on Gallatin Zoning Ordinance Section 12.02.050, determined that the proposed amended to the Preliminary Master Development Plan is a minor amendment.
2. The Planning Commission determined that the proposed alternative bufferyard plan meets the standards for an alternative bufferyard as stated in Gallatin Zoning Ordinance, Section 13.04.100.C.
3. The Planning Commission approves the architectural designs. The final architectural designs will be submitted with the Final Master Development Plan.
4. File a Final Plat, subdividing the property, prior to the Final Master Development Plan approval.
5. Show utility easements for proposed utilities.
6. Driveway connection at the southwest corner will need to be relocated in conjunction with the extension of Baxter Lane. At which time a new connection should be made to the extension.
7. Submit three (3) corrected copies of the Amended PMDP to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE
MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and
after its final passage, the public welfare requiring such.

IT IS SO ORDERED.
PRESENT AND VOTING

AYE:

NAY:

RECUSE:

DATED: 2/23/15

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY

ITEM 10



PLANNING DEPARTMENT STAFF REPORT

Preliminary Master Development Plan for Cottages at Green Farms
(PC File# 3-288-15)

Located North of Asher Trace Alley and East of Baxter Lane

Date: February 17, 2015

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE COTTAGES AT GREEN FARMS, A RESIDENTIAL DEVELOPMENT CONTAINING SIX (6) SINGLE FAMILY RESIDENCES UNDER A CONDOMINIUM REGIME, ON A PROPOSED .84 (+/-) ACRE LOT, LOCATED NORTH OF ASHER TRACE ALLEY AND EAST OF BAXTER LANE.

OWNER: GREEN & LITTLE, LP

APPLICANT: LOSE ASSOCIATES (JEFF CONAR)

STAFF RECOMMENDATION: RECOMMEND APPROVAL OF RESOLUTION 2015-27

STAFF CONTACT: KEVIN CHASTINE

PLANNING COMMISSION DATE: FEBRUARY 23, 2015

PROPERTY OVERVIEW: The owner and applicant is requesting approval of an Amendment to the Fairvue Plantation Phase 17-21 Preliminary Master Development Plan (PC File# 3-14-05) for the Cottages at Green Farms, a residential development containing six (6) single family residences under a condominium regime, on a proposed .84 (+/-) acre lot, zoned Multiple Residential and Office (MRO). The property is located north of Asher Trace Alley and east of Baxter Lane. One-Family Detached Dwellings are a permitted use in the Multiple Residential and Office (MRO) zone district. (Attachment 12-1)

CASE BACKGROUND:

Previous Approvals

The property is part of the 93.68 (+/-) acres that was removed from the Greensboro Village Planned Unit Development (PUD) in 2005. The property was rezoned from Residential-15 Planned Unit Development (R15-PUD) to Multiple Residential and Office (MRO) and approved as part of a Revised Preliminary Master Development Plan for Fairvue Plantation, Phases 17-21 (PC File# 3-14-05). The Preliminary Master Development Plan was revised again in 2008 to amend the uses to include an assisted living facility and to rezone 7.92 (+/-) acres along Nashville Pike from Multiple Residential and Office (MRO) to Planned Neighborhood Commercial (PNC).

DISCUSSION:

The applicant proposes to amend the Fairvue Plantation Preliminary Master Development Plan for Phases 17 -21 (PC File# 3-14-05) approving a plan to construct six (6) single family detached dwelling units on a proposed .84 (+/-) acre lot. The six (6) units will be under a condominium regime. (Attachment 10-3) The proposed parcel is part of a minor

subdivision plat (PC File# 2-307-15S) that is currently under review by Planning Staff. The proposed development includes three (3) private driveways that will provide access to each of the garages within the development. The six (6) residences are oriented to create two (2) courtyard areas, one (1) to the east and one (1) to the west of the central driveway. Each courtyard area has pedestrian pathways that connect each residence to the others as well as the proposed sidewalk along Asher Trace Alley. Construction is projected to begin July 1, 2015 and be completed December 31, 2015.

PMDP Amendment - Major or Minor

The property is currently designated for single family use on individual lots under the Fairvue Plantation Phases 17-21 PMDP. This parcel is shown to be a part of Fairvue Plantation Phase 19, Section 2, which contains 35 single family residential lots ranging in size from 6,000 square feet to 9,527 square feet. The currently approved PMDP for this parcel shows two (2) 6,000 square foot single family residential lots, an open space, and a public alleyway.

The Planning Commission, based on Gallatin Zoning Ordinance Section 12.02.050, shall make a determination of whether the proposed amended to the currently approved Preliminary Master Development Plan is a minor amendment or a major amendment. Staff recommends the Planning Commission consider the amendment to the PMDP as a minor amendment for the following reasons. The currently approved PMDP shows single family residential lots on 6,000 square foot lots, while the Cottages at Green Farms is proposing single family residences on a single parcel that would equals to just over 6,000 square feet per dwelling unit. Also, the proposed central driveway for the Cottages at Green Farms is in a similar location to the current approved public alleyway. The Planning Commission should confirm the total units in this phase of the PMDP where no increase in units shall be permitted.

Natural Features

The natural topography for the existing vacant property begins at the highest point of elevation (507'), at the northeast corner and steadily declines to the lowest point (497') at the southwest corner of the property. Based on FEMA FIRM Map 471650407G no portion of the site is located within a flood hazard area.

Adjacent or Area Uses

The parcel to the north contains a single family residence. To the south are three (3) single family residences that are part of Fairvue Plantation Phase 18. To the east is a vacant .68 (+/-) acre lot that is part of Fairvue Plantation Phase 6, Section 1 and to the west is a vacant tract of land that is part of Green Farms II and which the subject property will be subdivided from. The project site is surrounded by Multiple Residential and Office (MRO) zoning.

Architectural Designs

The applicant has provided architectural elevations for all six (6) of the proposed single family residences. All six (6) of the residences are two-story in height with approximate ridgeline heights of 34 feet and four (4) inches and each contains approximately 2,500 square feet. The development creates a distinctive character and continuity through the use of similar materials and colors. All six (6) residences are constructed between 76 percent to

88 percent brick painted in off white and light tan colors. To contrast with the light colored brick, the window trim is painted in dark contrasting colors of dark bronze and ebony. All windows are shown as six-over-six double hung windows or multi-light fixed pane windows. The roof structures vary between hipped, gable, and truncated gables and are sheathed with architectural dimensional shingles. The overall appearance of the six (6) residences is that of older more traditional architecture. The architectural elevations are included in Attachment 12-3 for reference.

All six (6) sample architectural designs meet the architectural requirements in Section 13.08.010 of the Gallatin Zoning Ordinance. Staff recommends that the Planning Commission approve the architectural designs included in Attachment 12-3. The final architectural designs will be submitted with the Final Master Development Plan for Cottages at Green Farms.

Lot Layout/Addressing

The Amended Preliminary Master Development Plan indicates six (6) one-family detached dwelling units under a condominium regime located on a proposed 36,408 square foot (.84 (+/-) acre lot. The parcel size provides 6,068 square feet per dwelling unit, which is double the required lots size per unit of 3,000 square foot as required by the MRO zone district. The parcel is located north of the public Alley 5 and east of Baxter Lane. Per review comments from Sumner County E-911 the applicant is proposing to change the Alley 5 name to Asher Trace Alley. The applicant has indicated that the residences will be addressed 1 through 6 Asher Trace Alley.

Rights-of-Way/Streets/Roads

The Cottages at Green Farms includes three (3) private driveways providing access to each of the six (6), two (2) car garages. The site is bisected by the center driveway, which has two (2) guest parking spaces located at its northern terminus, and the other driveways are parallel to both the eastern and western property boundaries. All three (3) of these driveways are 12 foot in width and will be paved with asphalt. None of these driveways provide a stub out to the adjacent properties.

The applicant also proposes to create four (4) parallel parking spaces along Asher Trace Alley, two (2) located to the east of and to the west of the center driveway and a five (5) foot wide sidewalk that will connect with the internal pedestrian sidewalk system and the sidewalk network along Baxter Lane. The on-street parking will be public parking spaces.

Stormwater Detention

The site will be graded in a manner that directs stormwater to the south and southwest corner of the site. This grading will direct stormwater runoff into a series of five (5) rain gardens located along the back of the proposed sidewalk along Asher Trace Alley. All five (5) rain gardens will be located on private property, but within a 20 foot Public Utility and Drainage Easement. Additionally, an existing catch basin will be located within Rain Garden 2 and will provide a connection to the existing public storm drainage system of the surrounding development.

Open Space

The Multiple Residential and Office (MRO) zoning district does not require a minimum percentage of open space, however the applicant has designed the site to provide open courtyard areas between the proposed dwellings. Since no requirement for open space exists within the MRO zone district, no percentage of open space has been provided, but the PMDP indicates site coverage is 79 percent, meaning 21 percent of the site is open space. All open space area will be owned and maintained by the Home Owners Association.

Bufferyards/Landscaping

The MRO zoning requires a Type 10 Bufferyard on all four (4) property boundaries. Along the northern property boundary the plan exceeds the Type 10 bufferyard requirements by including an earthen berm and plantings consisting of a mixture of 16 deciduous and evergreen trees. Along the southern property boundary the applicant is requesting an alternative Type 10 Bufferyard by including four (4) Tulip Poplar Trees along the edge of the proposed pedestrian sidewalk and the five (5) proposed rain gardens, which provide additional ground level landscaping. Finally, the Alternative Type 10 bufferyard includes a depth of 20 feet, which is 10 feet more than required. This overlays the 20 foot wide Public Utility and Drainage Easement accommodates utilities. Along the eastern property boundary the existing trees will be retained and 18 supplemental Inkberry Hollies will fill gaps within the existing trees. A tree survey will be required as part of the Final Master Development. Finally, the applicant proposes an alternative Type 10 bufferyard along the western boundary, five (5) foot in width, with no landscaping material. The reason for this request is that the Baxter Lane right-of-way will be extended northward and that road alignment is proposed to run directly parallel with the western property boundary of the Cottages at Green Farms. The applicant requests no landscape material so that it will not have to be removed or damaged when Baxter Lane is extended.

The Planning Commission shall make a determination of whether or not the proposed alternative bufferyard plan meets the standards for an alternative bufferyard as stated in Gallatin Zoning Ordinance, Section 13.04.100.C.

Planning Department Comments

The Planning Department reviewed and commented on the Amended Preliminary Master Development Plan. The applicant satisfactorily addressed most of the Planning Department comments, except those listed as conditions of approval.

Engineering Division Comments

The Engineering Division reviewed and commented on the Amended Preliminary Master Development Plan. The applicant satisfactorily addressed most of the Engineering Division comments, except those listed as conditions of approval.

FINDINGS:

1. The proposed preliminary master development plan amendment is consistent with the Gallatin on the Move 2020 Plan and the Suburban Neighborhood Established Character Area designation of the property.

2. The owner/applicant has submitted a completed application with required attachments to the City requesting the Amended Preliminary Master Development Plan approval as required by Sections 12.02.010 B. and 15.07.030 of the Gallatin Zoning Ordinance and the submittal complies with the twelve (12) standards required of a preliminary master development plan.
3. The Amended Preliminary Master Development Plan is consistent with the purpose and intent of the Multiple Residential and Office (MRO) zoning district and complies with the use, restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zoning district, except where exceptions have been requested for lot size, minimum lot dimensions, and yard lines.
4. The property has adequate public utilities, infrastructure and private or municipal services necessary to serve the existing and proposed development and population permitted by the requested amendment to the preliminary master development plan or such necessary services and facilities will be provided upon development of the property.
5. The Gallatin Regional-Municipal Planning Commission held a public meeting and reviewed and recommended to the City Council action on the proposed request.
6. The proposed amendment to the preliminary master development plan will be compatible with surrounding environment and will protect the public health, safety and welfare and will not be injurious to other property or improvements in the area in which the property is located. The proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2015-27, amending the Preliminary Master Development Plan for Fairvue Plantation, Phases 17- 21, for Cottage at Green Farms, consisting of a 13 sheet plan prepared by Lose and Associates of Nashville, TN with Project No. 87022-13, dated 1-28-14 with final revision date of 2-12-15, and a two (2) sheet architectural elevations prepared by Abernathy Architecture of Franklin, TN, with Project No. 87022-13, and a final date of 1-28-2015, with following conditions:

1. The Planning Commission, based on Gallatin Zoning Ordinance Section 12.02.050, determined that the proposed amended to the Preliminary Master Development Plan is a minor amendment.
2. The Planning Commission determined that the proposed alternative bufferyard plan meets the standards for an alternative bufferyard as stated in Gallatin Zoning Ordinance, Section 13.04.100.C.
3. The Planning Commission approves the architectural designs. The final architectural designs will be submitted with the Final Master Development Plan.
4. File a Final Plat, subdividing the property, prior to the Final Master Development Plan approval.

5. Show utility easements for proposed utilities.
6. Driveway connection at the southwest corner will need to be relocated in conjunction with the extension of Baxter Lane. At which time a new connection should be made to the extension.
7. Submit three (3) corrected copies of the Amended PMDP to the Planning Department.

(The plans shall be amended to comply with the conditions of approval prior to the submission of a Final Master Development Plan)

ATTACHMENTS

- Attachment 10-1 Location Map of Cottage at Green Farms**
- Attachment 10-2 Current PMDP for Fairvue Phases 17-21**
- Attachment 10-3 PMDP for Cottages at Green Farms**

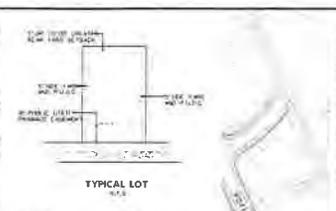
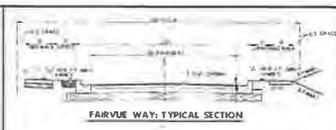
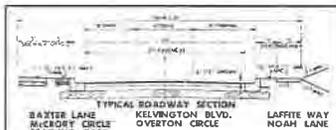
I:\PC Items\2015\2-23-2015\Staff Reports\Item 10 Cottages at Green Farms PMDP (PC File# 3-288-15) KC



Prepared By: Kevin Chastine, AICP
 Prepared On: Feb. 20, 2015

Location Map
 Cottages at Green Farms - PMDP
 North of Asher Trace Alley and East of Baxter Lane
 PC File# 3-288-15





LOT NO.	ACRES	LOT NO.	ACRES	LOT NO.	ACRES
101	0.15	201	0.15	301	0.15
102	0.15	202	0.15	302	0.15
103	0.15	203	0.15	303	0.15
104	0.15	204	0.15	304	0.15
105	0.15	205	0.15	305	0.15
106	0.15	206	0.15	306	0.15
107	0.15	207	0.15	307	0.15
108	0.15	208	0.15	308	0.15
109	0.15	209	0.15	309	0.15
110	0.15	210	0.15	310	0.15
111	0.15	211	0.15	311	0.15
112	0.15	212	0.15	312	0.15
113	0.15	213	0.15	313	0.15
114	0.15	214	0.15	314	0.15
115	0.15	215	0.15	315	0.15
116	0.15	216	0.15	316	0.15
117	0.15	217	0.15	317	0.15
118	0.15	218	0.15	318	0.15
119	0.15	219	0.15	319	0.15
120	0.15	220	0.15	320	0.15
121	0.15	221	0.15	321	0.15
122	0.15	222	0.15	322	0.15
123	0.15	223	0.15	323	0.15
124	0.15	224	0.15	324	0.15
125	0.15	225	0.15	325	0.15
126	0.15	226	0.15	326	0.15
127	0.15	227	0.15	327	0.15
128	0.15	228	0.15	328	0.15
129	0.15	229	0.15	329	0.15
130	0.15	230	0.15	330	0.15
131	0.15	231	0.15	331	0.15
132	0.15	232	0.15	332	0.15
133	0.15	233	0.15	333	0.15
134	0.15	234	0.15	334	0.15
135	0.15	235	0.15	335	0.15
136	0.15	236	0.15	336	0.15
137	0.15	237	0.15	337	0.15
138	0.15	238	0.15	338	0.15
139	0.15	239	0.15	339	0.15
140	0.15	240	0.15	340	0.15
141	0.15	241	0.15	341	0.15
142	0.15	242	0.15	342	0.15
143	0.15	243	0.15	343	0.15
144	0.15	244	0.15	344	0.15
145	0.15	245	0.15	345	0.15
146	0.15	246	0.15	346	0.15
147	0.15	247	0.15	347	0.15
148	0.15	248	0.15	348	0.15
149	0.15	249	0.15	349	0.15
150	0.15	250	0.15	350	0.15
151	0.15	251	0.15	351	0.15
152	0.15	252	0.15	352	0.15
153	0.15	253	0.15	353	0.15
154	0.15	254	0.15	354	0.15
155	0.15	255	0.15	355	0.15
156	0.15	256	0.15	356	0.15
157	0.15	257	0.15	357	0.15
158	0.15	258	0.15	358	0.15
159	0.15	259	0.15	359	0.15
160	0.15	260	0.15	360	0.15
161	0.15	261	0.15	361	0.15
162	0.15	262	0.15	362	0.15
163	0.15	263	0.15	363	0.15
164	0.15	264	0.15	364	0.15
165	0.15	265	0.15	365	0.15
166	0.15	266	0.15	366	0.15
167	0.15	267	0.15	367	0.15
168	0.15	268	0.15	368	0.15
169	0.15	269	0.15	369	0.15
170	0.15	270	0.15	370	0.15
171	0.15	271	0.15	371	0.15
172	0.15	272	0.15	372	0.15
173	0.15	273	0.15	373	0.15
174	0.15	274	0.15	374	0.15
175	0.15	275	0.15	375	0.15
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177	0.15	277	0.15	377	0.15
178	0.15	278	0.15	378	0.15
179	0.15	279	0.15	379	0.15
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181	0.15	281	0.15	381	0.15
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183	0.15	283	0.15	383	0.15
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185	0.15	285	0.15	385	0.15
186	0.15	286	0.15	386	0.15
187	0.15	287	0.15	387	0.15
188	0.15	288	0.15	388	0.15
189	0.15	289	0.15	389	0.15
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192	0.15	292	0.15	392	0.15
193	0.15	293	0.15	393	0.15
194	0.15	294	0.15	394	0.15
195	0.15	295	0.15	395	0.15
196	0.15	296	0.15	396	0.15
197	0.15	297	0.15	397	0.15
198	0.15	298	0.15	398	0.15
199	0.15	299	0.15	399	0.15
200	0.15	300	0.15	400	0.15

- NOTES:**
1. SEE PLAN IN OPEN SPACE FOR CONSTRUCTION OF RETENTION BASIN WHICH SHALL BE NUMBERED AT 1-1.
 2. ONE IN TWO (2") PAVING PAD SHALL BE PROVIDED AT THE REAR OF ALL LOTS WITH ALLEY ACCESS.
 3. THE ZONING FOR PHASES 17-19 AND 21 IS MBO THE ZONING OF PHASE 20 IS PCC.
 4. FAIRVUE IS WITHIN THE KENNESAW FARMS INVESTMENT PARTNERS ZONING DISTRICT WHICH IS A SPECIAL USE ZONING DISTRICT AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE.
 5. PROPOSED FACILITIES SHALL COMPLY WITH ALL APPLICABLE CROSS-CORRELATION ORDINANCES AND OTHER USE REGULATIONS.
 6. THIS SITE WILL COMPLY WITH THE PERFORMANCE AND DESIGN STANDARDS WITHIN THE CITY OF GALLATIN ZONING ORDINANCE SECTION 10B.2.
 7. THE PROPERTY KNOWN AS FAIRVUE PLANTATION IS SEPARATELY OWNED AND FINANCED BY TULY DEVELOPMENT.
 8. EXISTING USE: RESIDENTIAL & COMMERCIAL (RETAIL/RESTAURANT)

IF YOU DO TENNESSEE CALL US FIRST!
 1-800-331-1111
 615-266-1087
TENNESSEE ONE CALL IT'S THE LAW

COTTAGES AT GREEN FARMS

(6 SINGLE FAMILY UNITS ON 1 PARCEL UNDER A CONDOMINIUM REGIME)

PRELIMINARY MASTER DEVELOPMENT PLAN

PREPARED FOR:
GREEN & LITTLE, LP



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SHEET INDEX

C0.00	COVER SHEET
C0.01	GENERAL NOTES
C0.02	EXISTING CONDITIONS PLAN
C0.10	DEMOLITION AND EROSION CONTROL PLAN
C1.00	SITE LAYOUT PLAN
C2.00	SITE GRADING & DRAINAGE PLAN
C4.00	SITE DETAILS
C4.01	SITE DETAILS
C4.02	SITE DETAILS
C5.00	SITE SEWER PLAN
C5.10	SITE WATER PLAN
C5.20	SITE UTILITY DETAILS
L1.00	LANDSCAPE PLAN AND SCHEDULE
L1.10	LANDSCAPE NOTES AND DETAILS
A1.00	ELEVATIONS
A1.01	ELEVATIONS

OWNER/DEVELOPER

GREEN & LITTLE, LP
1175 NASHVILLE PIKE
GALLATIN, TENNESSEE 37066
(615) 452-4500



SITE DATA

PROPERTY OWNER:	GREEN FARMS II, LP 1175 NASHVILLE PIKE GALLATIN, TN 37066
ZONING:	MRO
TAX MAP:	136
PARCEL:	29.05 (PART OF)
STREET ADDRESS:	ALLEY 5
PROPOSED ADDRESSES:	1, 2, 3, 4, 5, AND 6 ASHER TRACE ALLEY
BULK REGULATIONS:	
NUMBER OF LOTS PROPOSED:	1
MINIMUM LOT AREA REQUIRED:	6,000 SQ FT
LOT AREA PROPOSED:	36,408+ SQ FT (0.84+ AC)
MINIMUM LOT WIDTH REQUIRED:	60 FT
MINIMUM LOT WIDTH PROPOSED:	275+ FT
SETBACKS/YARDS:	FRONT: 20' SIDE: 10' REAR: 15'
NUMBER OF UNITS PROPOSED:	6 SINGLE FAMILY
SITE AREA PER UNIT REQUIRED:	3,000 SQ FT
SITE AREA PER UNIT PROPOSED:	6,068+ SQ FT
MAX BUILDING HEIGHT REQUIRED:	35 FT
BUILDING HEIGHT PROPOSED:	34 FT 4 IN
EXISTING USE:	VACANT
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL CONDOMINIUM REGIME
LOT COVERAGE PROPOSED:	28,878+ SQ FT (79%)
FLOOR AREA PROPOSED:	18,612+ SQ FT (6 UNITS)

DESIGNERS

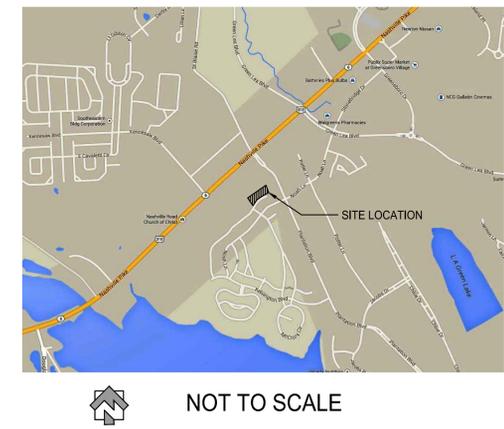
ABERNATHY ARCHITECTURE
ARCHITECTURE

2045 LEWISBURG PIKE
FRANKLIN, TENNESSEE 37064
PHONE: 615-604-7132
CONTACT: JOHN ABERNATHY

LOSE & ASSOCIATES, INC
LANDSCAPE ARCHITECTURE/CIVIL ENGINEERING

1314 5TH AVENUE NORTH, SUITE 200
NASHVILLE, TENNESSEE 37208
PHONE: 615-242-0040
CONTACT: JEFF CONAR

LOCATION MAP



SURVEYOR

K&A LAND SURVEYING
SURVEYOR

1012 SPARTA PIKE
LEBANON, TENNESSEE 37087
PHONE: 615-443-7796
CONTACT: BRIAN KEITH

CONSTRUCTION TIMELINE

BEGIN CONSTRUCTION: JULY 1, 2015
END CONSTRUCTION: DECEMBER 31, 2015

GENERAL NOTES

- ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
- ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 47165C0407G, MAP REVISED APRIL 17, 2012, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA.

COTTAGES AT GREEN FARMS
 PRELIMINARY MASTER DEVELOPMENT PLAN
 PREPARED FOR
 GREEN & LITTLE, LP
 GALLATIN, SUMNER COUNTY, TENNESSEE

REVISIONS			
NO.	DATE	BY	COMMENTS
1	2/12/15	JDC	PROP. SUBMITTAL

SHEET TITLE
COVER SHEET



PROJECT NUMBER	DATE
87022-13	01/28/2015
DRAWN BY	SCALE
JC	NA
CHECKED BY	NA
MW	
SHEET NUMBER	
	C0.00

REFER TO THE TENNESSEE EROSION CONTROL HANDBOOK FOURTH EDITION FOR ADDITIONAL DETAIL ON BEST MANAGEMENT PRACTICES.

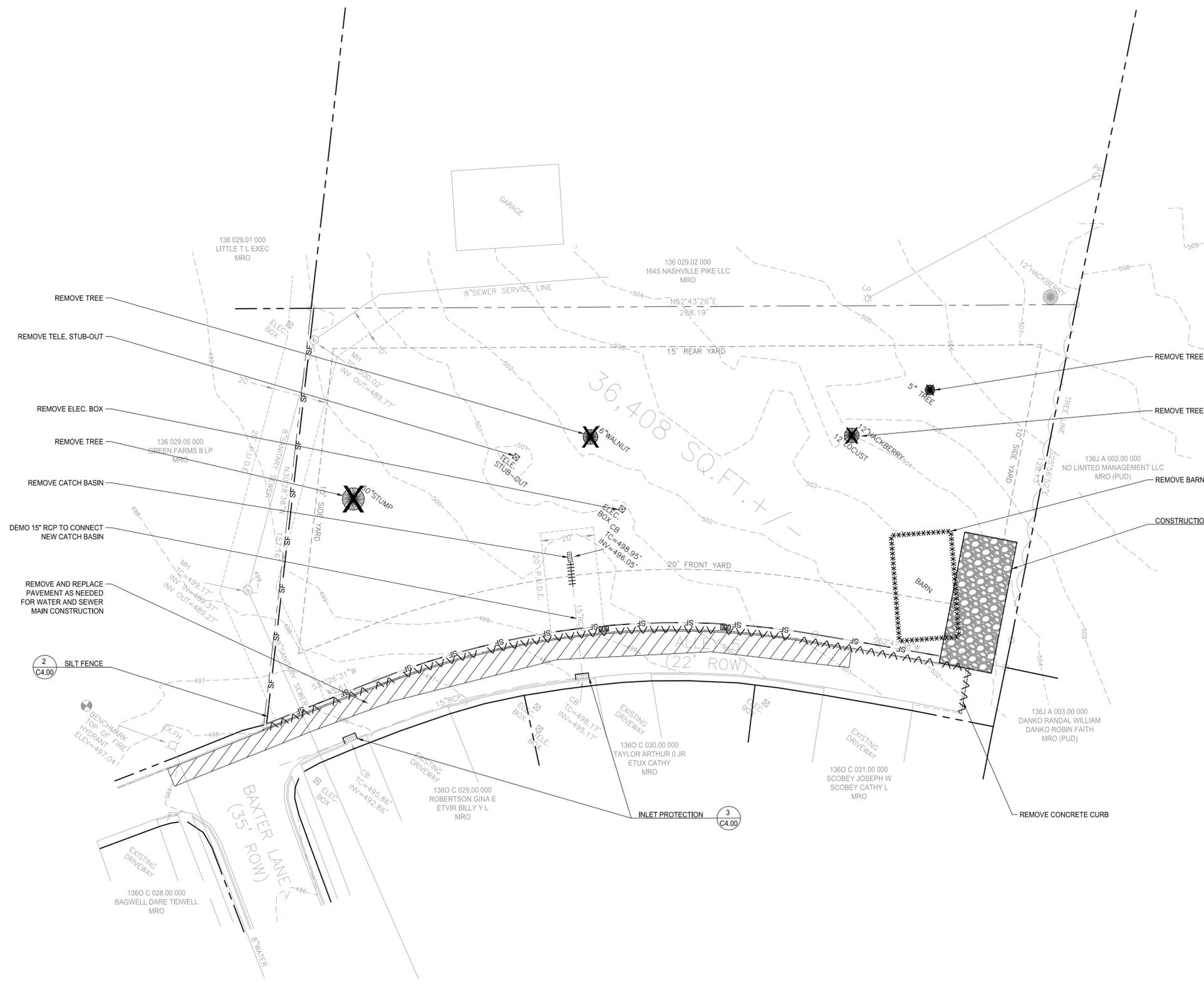


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- NOTE:
- LOSE AND ASSOCIATES, INC., ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY INFORMATION AS PROVIDED. CONTRACTOR IS TO VERIFY ALL SURVEY INFORMATION AS NECESSARY AND TO ADVISE THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY LAYOUT WORK.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITHIN THE R.O.W. AND ADJACENT TO EXISTING UTILITIES WITH THE CITY OF GALLATIN PRIOR TO COMMENCING WITH WORK.
 - NO SITE DISTURBANCE SHALL OCCUR UNTIL ISSUANCE OF THE LAND DISTURBANCE PERMIT FROM THE CITY OF GALLATIN.
 - SEE SHEET C0.01 FOR ADDITIONAL DEMOLITION NOTES.
 - ALL MATERIAL SHALL BE DISPOSED OF OFFSITE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
 - REFER TO SITE GRADING AND DRAINAGE PLAN FOR ASPHALT OVERLAY REQUIREMENTS AND STORM INLET MODIFICATIONS.

- MILLING AND PAVING NOTES
- CONTRACTOR SHALL MILL OR REMOVE PAVEMENT WITHIN PROJECT LIMITS AS NECESSARY TO ACHIEVE PROPOSED FINISH GRADES ON PLANS.
 - PROVIDE POSITIVE DRAINAGE IN THE DIRECTION INDICATED ON THE PLANS.

- EROSION CONTROL NOTES:
- THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL PRIOR TO THE START OF ANY CLEARING OR GRADING OPERATION UNLESS OTHERWISE NOTED ON THE SCHEDULE.
 - THE CONTRACTOR SHALL CLEAR AS SMALL OF AN AREA AS PRACTICAL TO COMPLETE THE REQUIRED GRADING. IN NO CASE SHALL THE CONTRACTOR CLEAR AN AREA MORE THAN 20 DAYS PRIOR TO THE START OF GRADING IN THE AREA. ONLY BRUSH CLEARING AND GRUBBING CAN OCCUR PRIOR TO THE GRADING PERMIT ISSUANCE.
 - THE CONTRACTOR SHALL INSTALL A SITE CONSTRUCTION EXIT AS INDICATED ON THE PLANS. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE THE SITE BY THIS ENTRANCE. THE ENTRANCE AND ADJOINING ROADWAY SHALL BE INSPECTED AT LEAST WEEKLY AND NECESSARY REPAIRS AND CLEANING WILL BE COMPLETED PROMPTLY.
 - KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
 - ALL AREAS TO BE EXPOSED FOR MORE THAN 14 DAYS WITHOUT GRADING SHALL BE SEEDED AND MULCHED WITH TEMPORARY COVER WITHIN 7 DAYS OF GRADING. DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 14 DAYS OF FINAL GRADING.
 - ROADWAY BASE STONE SHALL BE PLACED WITHIN 10 DAYS OF COMPLETION OF THE SUB-GRADE.
 - REFER TO LANDSCAPING PLANS FOR PERMANENT SEEDING REQUIREMENTS.
 - AREAS WITH SLOPES 3:1 OR STEEPER SHALL BE PROTECTED WITH EROSION CONTROL MATTING INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES WEEKLY AND AFTER ALL STORMS THAT PRODUCE MORE THAN 0.5 INCHES OF RAIN IN A 24-HOUR PERIOD. ALL NEEDED REPAIRS SHALL BE MADE WITHIN A 24-HOUR PERIOD OF BEING NOTED. THE CONTRACTOR SHALL MAINTAIN A LOGBOOK ON SITE, NOTING ALL INSPECTIONS AND REPAIRS OF THE EROSION CONTROL DEVICES. EACH ENTRY SHALL BE SIGNED AND DATED BY THE PROJECT SUPERINTENDENT. INSPECTION REPORTS SHALL BE SUBMITTED TO THE LOCAL EAC AS SPECIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN.
 - THE EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM ALLOWABLE AND THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ADDITIONAL EROSION CONTROL MEASURES AS FIELD CONDITIONS AND POST STORM INSPECTIONS DICTATE.
 - EXCESS MATERIAL SHALL BE REMOVED FROM SITE.
 - ALL EROSION CONTROL MEASURES ARE TO BE REMOVED PRIOR TO FINAL SITE APPROVAL.
 - CONTROL OF OTHER SITE WASTE SUCH AS DISCARDED BUILDING MATERIAL, CHEMICALS, LITTER AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE.

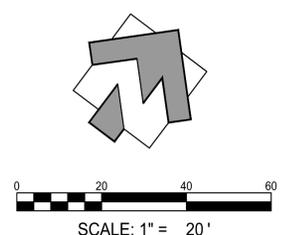


DEMOLITION LEGEND:

- XXXXXXXXXXXXXXXXXXXXXXXXX DEMO BUILDING
- XXXXXXXXXXXXXXXXXXXXXXXXX DEMO CURB
- XXXXXXXXXXXXXXXXXXXXXXXXX DEMO ITEM
- XXXXXXXXXXXXXXXXXXXXXXXXX DEMO STORM
- X DEMO TREE
- XXXXXXXXXXXXXXXXXXXXXXXXX DEMO PAVEMENT

EROSION CONTROL LEGEND:

- SF SF Silt Fence
- INLET PROTECTION
- CONSTRUCTION ENTRANCE



COTTAGES AT GREEN FARMS
 PRELIMINARY MASTER DEVELOPMENT PLAN
 PREPARED FOR
 GREEN & LITTLE, LP
 GALLATIN, SUMNER COUNTY, TENNESSEE

REVISIONS			
NO.	DATE	BY	COMMENTS
1	2/12/15	JDC	PROP. RESUBMITTAL

SHEET TITLE
DEMOLITION AND EROSION CONTROL PLAN

PROJECT NUMBER/DATE
87022-13 01/28/2015
 DRAWN BY SCALE
 JC
 CHECKED BY 1"=20'
 MW
 SHEET NUMBER
C0.10

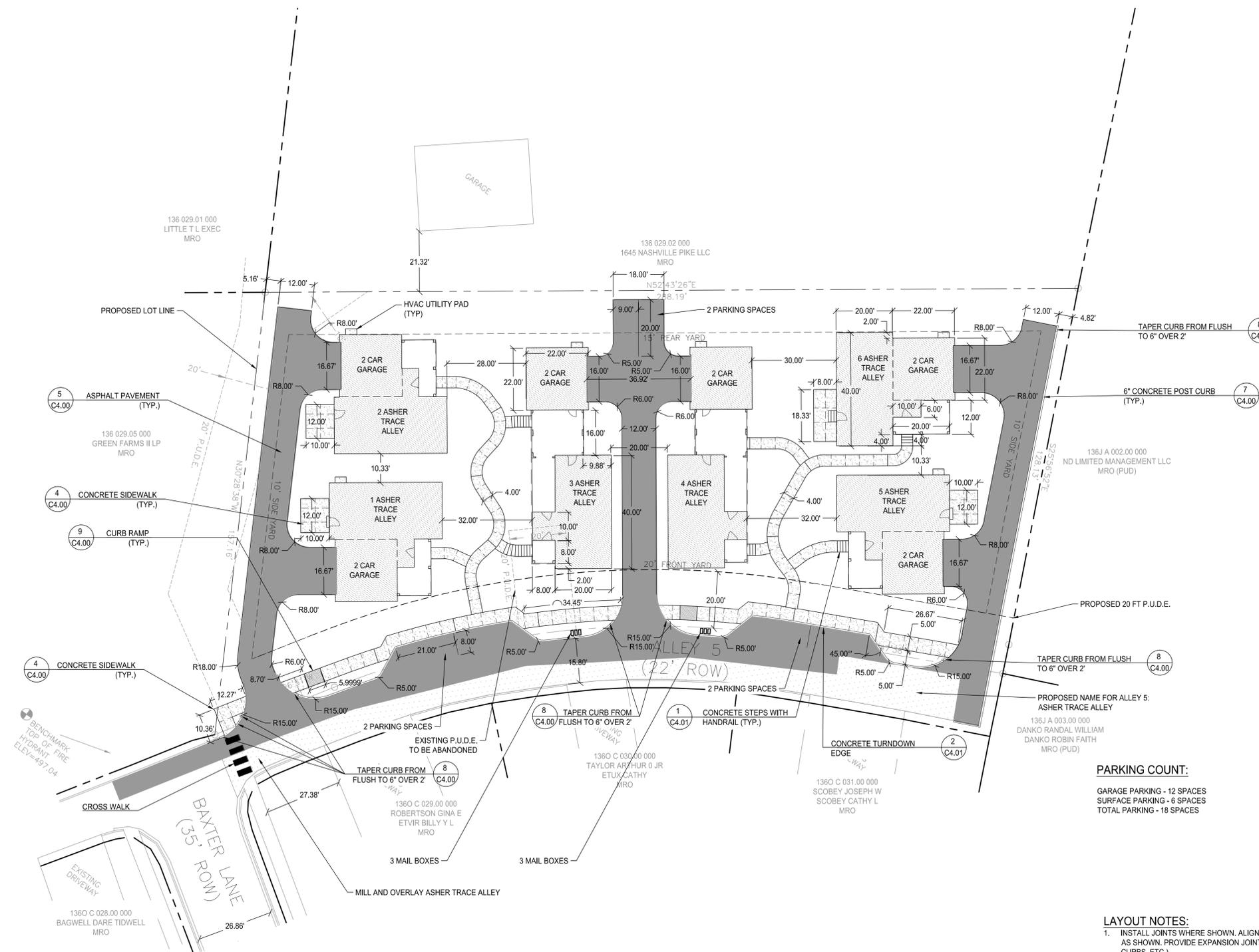


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 GREEN & LITTLE, LP
 GALLATIN, SUMNER COUNTY, TENNESSEE

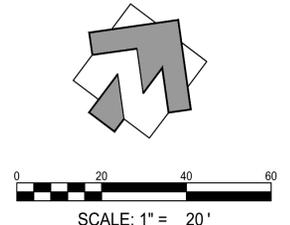


PARKING COUNT:
 GARAGE PARKING - 12 SPACES
 SURFACE PARKING - 6 SPACES
 TOTAL PARKING - 18 SPACES

- LAYOUT NOTES:**
- INSTALL JOINTS WHERE SHOWN. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
 - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
 - ALL CURBS ARE DIMENSIONED TO THE FACE OF CURB.
 - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
 - ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
 - ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC, UNLESS OTHERWISE NOTED.
 - ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH TDOT'S STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.

SITE LAYOUT LEGEND:

- BUILDING
- ASPHALT PAVEMENT
- ASPHALT OVERLAY
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ROOF LINE
- EXPANSION JOINT
- CONTROL JOINT



REVISIONS			
NO.	DATE	BY	COMMENTS
1	2/12/15	JDC	PROP. SUBMITTAL

SHEET TITLE
SITE LAYOUT PLAN

PROJECT NUMBER/DATE
87022-13 01/28/2015

DRAWN BY
 JC

CHECKED BY
 MW

SHEET NUMBER
C1.00

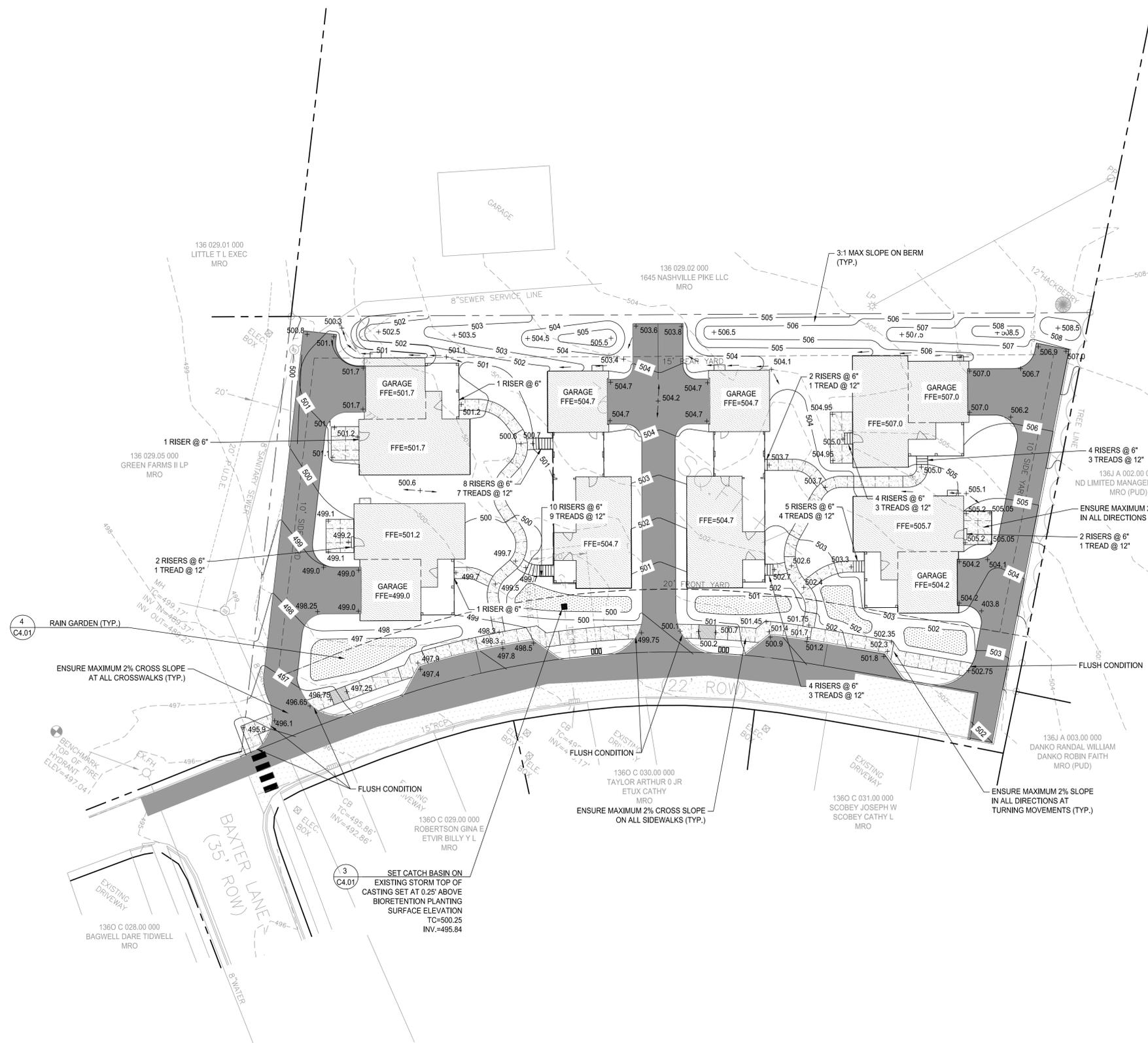


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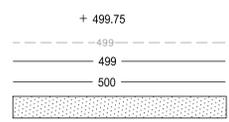


COTTAGES AT GREEN FARMS
 PRELIMINARY MASTER DEVELOPMENT PLAN
 PREPARED FOR
 GREEN & LITTLE, LP
 GALLATIN, SUMNER COUNTY, TENNESSEE

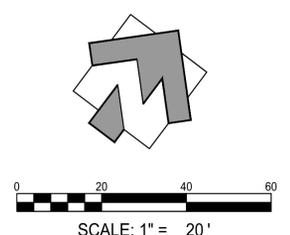


- GRADING AND DRAINAGE NOTES:**
1. ALL FILL AND CUT SLOPES SHALL BE 3:1 OR FLATTER, UNLESS OTHERWISE NOTED ON THE PLANS.
 2. SEE SHEET C0.01 FOR ADDITIONAL GRADING AND DRAINAGE NOTES.
 3. NO EARTHWORK SHALL BE PERMITTED UNTIL ISSUANCE OF A LAND DISTURBANCE PERMIT.
 4. ALL EXCESS MATERIAL TO BE REMOVED FROM SITE.
 5. INSPECTION AND MAINTENANCE OF EROSION CONTROL DEVICES WILL BE PERFORMED ON A REGULAR BASIS PER THE METRO GRADING PERMIT.
 6. EROSION CONTROL MATTING SHALL BE INSTALLED ON ALL SLOPES AT 3:1 OR GREATER.
 7. CONTRACTOR TO OBTAIN A LAND DISTURBANCE PERMIT FROM THE CITY OF GALLATIN.
 8. ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH TDOT'S STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
 9. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL LOCATIONS.
 10. REFER TO LANDSCAPE PLAN FOR TOPSOIL AND PERMANENT VEGETATION REQUIREMENTS IN PLANT BEDS AND TREE WELLS.
 11. CONTRACTOR TO IMPORT CLEAN TOPSOIL IN ALL AREAS WHERE PAVEMENT WAS REMOVED TO ACHIEVE FINISHED GRADE NOTED ON PLANS.

SITE GRADING LEGEND:

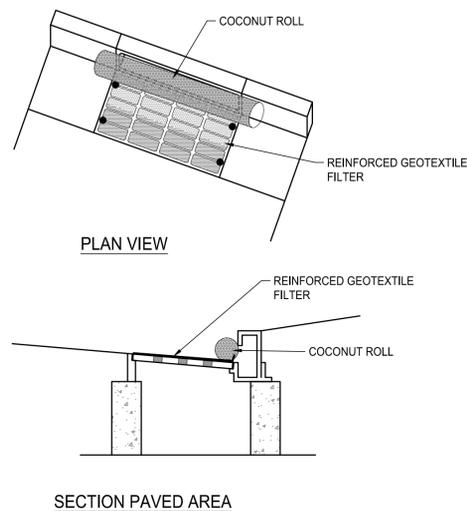


SPOT ELEVATION
 EXISTING CONTOUR
 PROPOSED INTERMEDIATE CONTOUR
 PROPOSED INDEX CONTOUR
 RAIN GARDEN



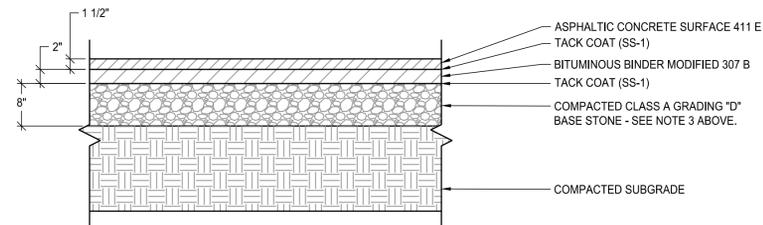
REVISIONS			
NO.	DATE	BY	COMMENTS
1	2/12/15	JDC	PROP. SUBMITTAL

SHEET TITLE	
GRADING AND DRAINAGE PLAN	
PROJECT NUMBER	DATE
87022-13	01/28/2015
DRAWN BY	SCALE
JC	1"=20'
CHECKED BY	SHEET NUMBER
MW	C2.00

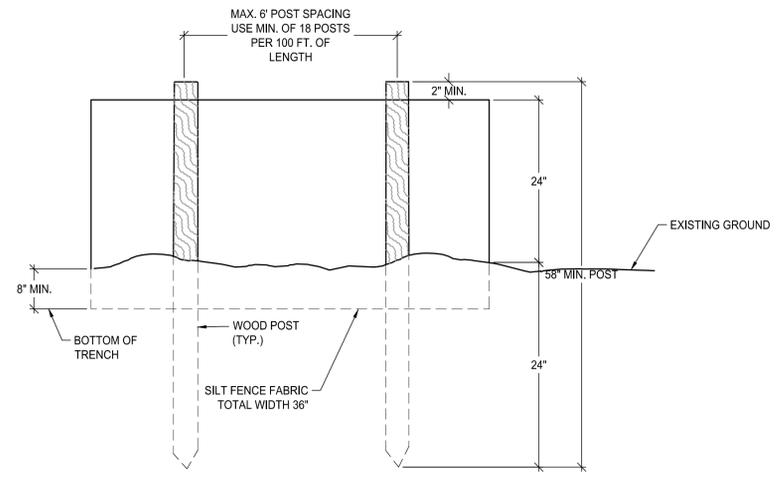


3 INLET PROTECTION
NOT TO SCALE

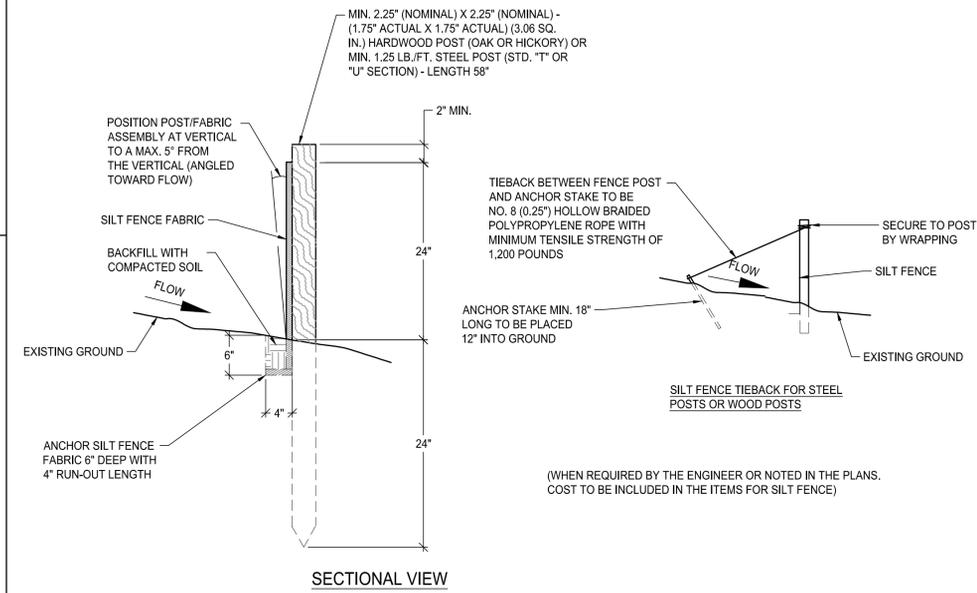
- NOTES:
1. SUB GRADE TO BE COMPACTED TO 95% STANDARD PROCTOR.
 2. AGGREGATE BASE COARSE TO BE COMPACTED TO 100% STANDARD PROCTOR.
 3. ALL ROADWAY CONSTRUCTION TO COMPLY WITH THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.



5 ASPHALT PAVEMENT SECTION
NOT TO SCALE

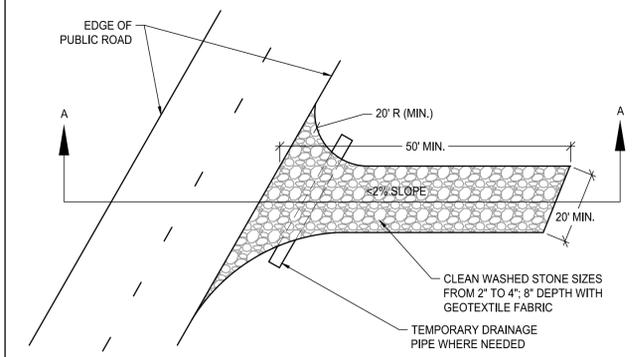


ELEVATION VIEW

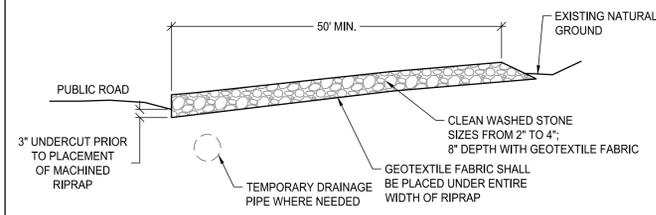


SECTIONAL VIEW

2 SILT FENCE
NOT TO SCALE

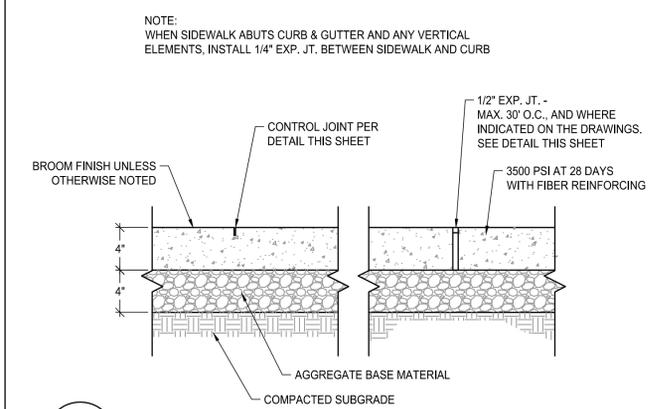


PLAN VIEW OF TEMPORARY CONSTRUCTION ROAD

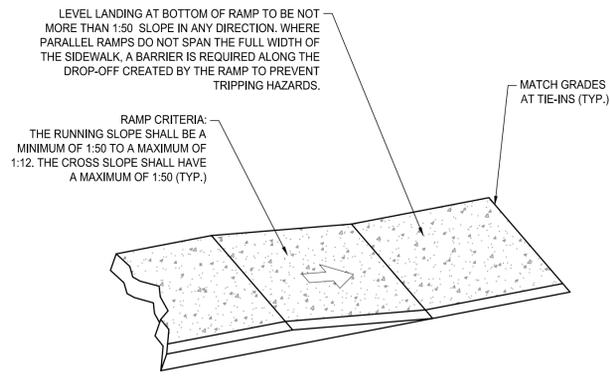


SECTION A-A

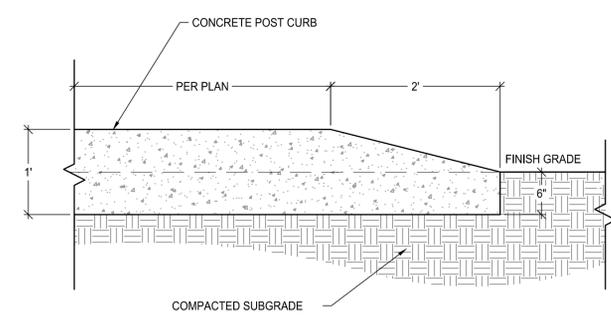
1 CONSTRUCTION EXIT
NOT TO SCALE



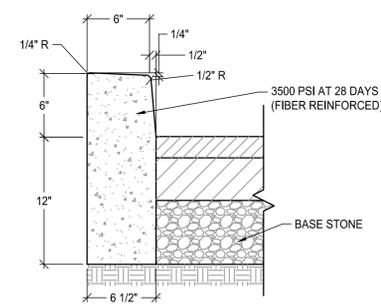
4 CONCRETE SIDEWALK
NOT TO SCALE



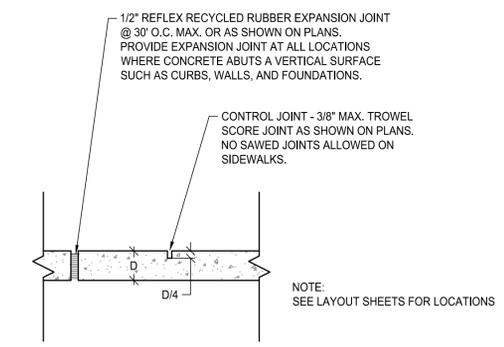
9 ACCESSIBLE CURB RAMP
NOT TO SCALE



8 CURB TAPER
NOT TO SCALE



7 POST CURB
NOT TO SCALE



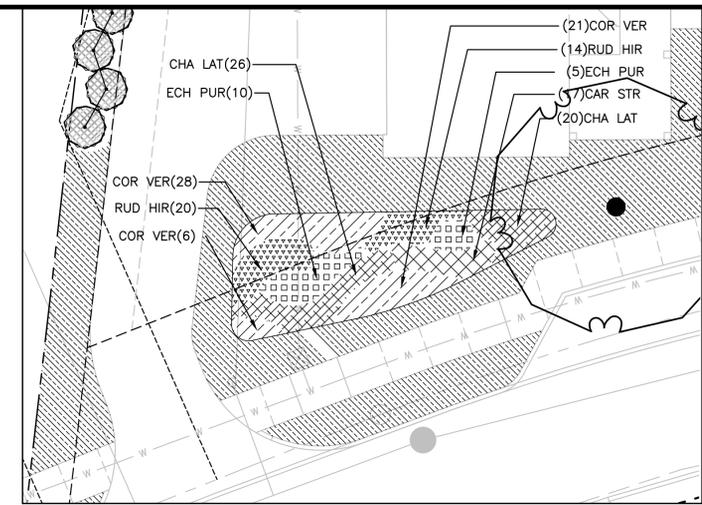
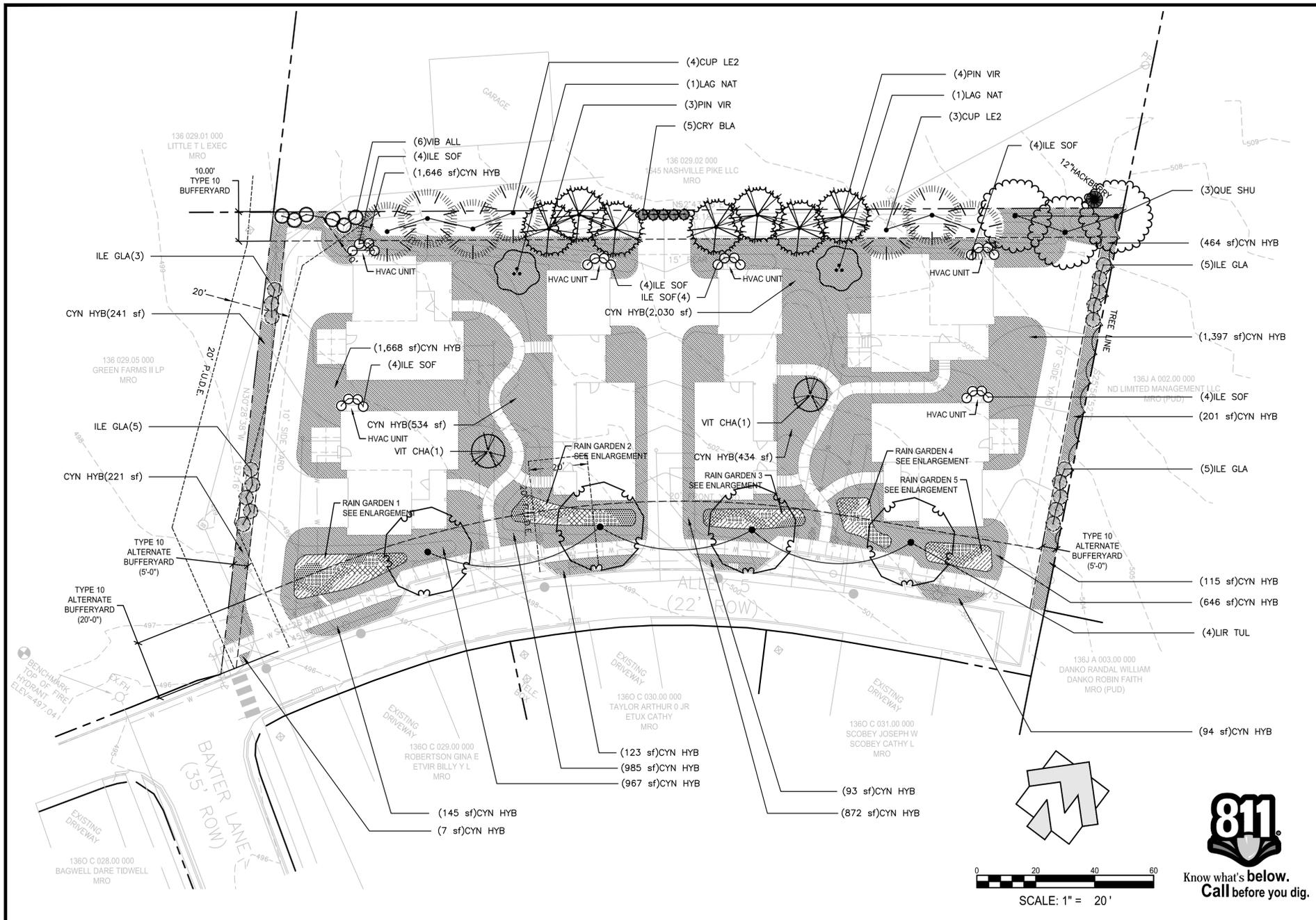
6 CONCRETE JOINTS
NOT TO SCALE



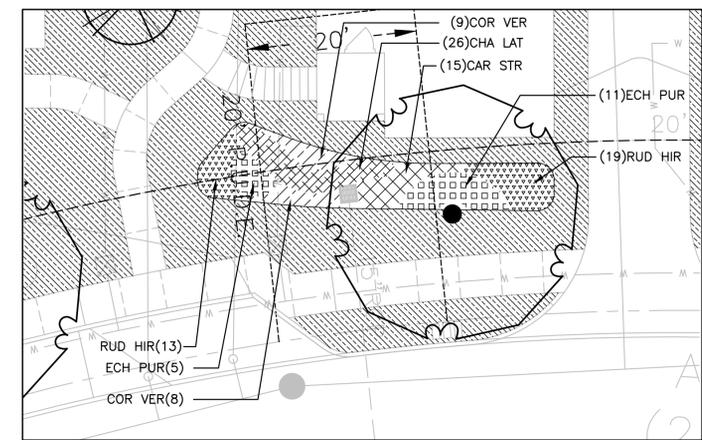
REVISIONS			
NO.	DATE	BY	COMMENTS
1	2/12/15	JDC	PREP

SHEET TITLE
SITE DETAILS

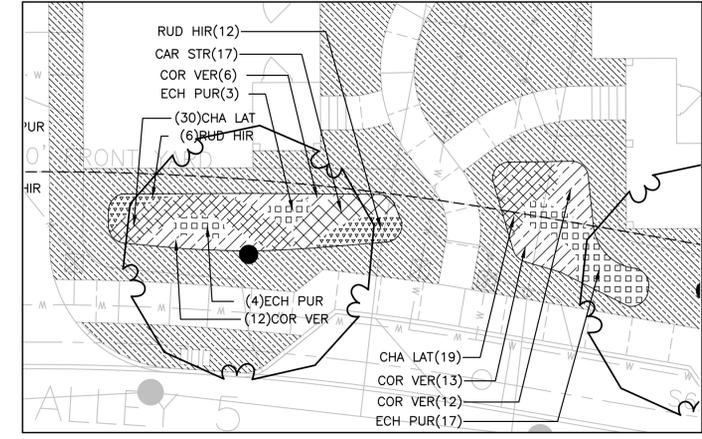
PROJECT NUMBER/DATE
87022-13 01/28/2015
DRAWN BY SCALE
JC
CHECKED BY VARIES
MW
SHEET NUMBER
C4.00



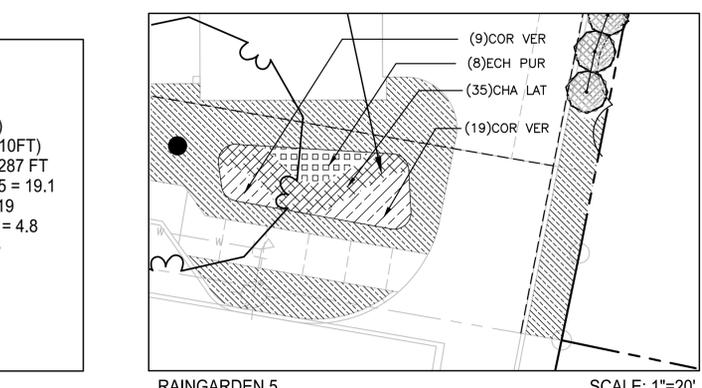
RAINGARDEN 1 SCALE: 1"=20'



RAINGARDEN 2 SCALE: 1"=20'



RAINGARDENS 3 & 4 SCALE: 1"=20'



RAINGARDEN 5 SCALE: 1"=20'



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COTTAGES AT GREEN FARMS
PRELIMINARY MASTER DEVELOPMENT PLAN
PREPARED FOR
GREEN & LITTLE, LP
GALLATIN, SUMNER COUNTY, TENNESSEE

PLANT SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	FIELD#	REMARKS
DECIDUOUS TREES							
4	LIRIODENDRON TULIPIFERA	TULIP TREE	B&B	2" CAL.	10' MIN HT		FULL, MATCHED TREES
3	QUERCUS SHUMARDII	SHUMARD RED OAK	B&B	2" CAL.	10'-12' HT		MATCHED TREES
EVERGREEN TREES							
5	CRYPTOMERIA JAPONICA 'BLACK DRAGON'	BLACK DRAGON JAPANESE CEDAR	B&B		6' MIN HT		FULL, MATCHED TREES
7	PINUS VIRGINIANA	VIRGINIA PINE	B&B		6'-8' HT		MATCHED TREES
7	X CUPRESSOCYPARIS LEYLANDII	LEYLANDI CYPRESS	B&B		10'-12' HT		FULL TO THE GROUND, MATCHED PLANT MATERIAL
UNDERSTORY TREES							
2	LAGERSTROEMIA X 'NATCHEZ'	GRAPE MYRTLE	B&B	1.5" CANES	8' MIN HT		MULTI TRUNK, MIN 3 CANES
2	VITEX AGNUS-CASTUS	CHASTE TREE	B&B	2" CAL.	6' MIN HT		FULL MATCHED PLANTS
SHRUBS							
24	ILEX CRENATA 'SOFT TOUCH'	SOFT TOUCH JAPANESE HOLLY	T.B.D.	18"-24"	18"-24"		FULL PLANT
18	ILEX GLABRA	INKBERRY HOLLY	T.B.D.	24" MIN.	24" MIN		FULL MATCHED PLANTS.
6	VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY'	LEATHERLEAF VIBURNUM	T.B.D.	24" MIN.	24"-36"		FULL, MATCHED PLANTS
GROUND COVERS							
12,881 SF	CYNODON DACTYLON	BERMUDA GRASS	CONT	SOD			LAY WITHIN 36 HOURS OF CUTTING
RAIN GARDEN							
49	CAREX STRICTA	TUSSOCK SEDGE	1	GAL	18" o.c.		SUN/PART SHADE, 1-3FT
156	CHASMANTHIUM LATIFOLIUM	WOOD OATS	1	GAL	18" o.c.		SUN/PART SHADE, 2-3FT, JUN.-AUG.
143	COREOPSIS VERTICILLATA 'MOONBEAM'	THREADLEAF COREOPSIS	1	GAL	18" o.c.		FULL SUN, 1.5-2 FT, JUN-SEPT
63	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1	GAL	24" o.c.		SUN/PART SHADE, 2-5 FT, JUN-AUG
84	RUDBECKIA HIRTA	BLACK-EYED SUSAN	1	GAL	18" o.c.		FULL SUN, 2-3 FT, JUN-SEPT

BUFFERYARD CALCULATIONS
SITE ZONING: RMO
ADJACENT ZONING: RMO
REQUIRED BUFFERYARD TYPE: TYPE 10 (10 FT)
PROPOSED REAR BUFFERYARD: TYPE 10 (10FT)
LINEAR FEET OF REAR BUFFERYARD: 287 FT
EVERGREEN TREES REQUIRED: 287/15 = 19.1
REQUIRED EVERGREEN TREES = 19
DECIDUOUS TREES REQUIRED: 287/60 = 4.8
REQUIRED DECIDUOUS TREES = 5

PROPOSED SIDE BUFFERYARDS:
TYPE 10 ALTERNATE (5 FT)
PROPOSED FRONT BUFFERYARD:
TYPE 10 ALTERNATE (20 FT)

REVISIONS

NO.	DATE	BY	COMMENTS
1	2/12/15	JDC	PROJ SUBMITTAL

LANDSCAPE PLAN AND SCHEDULE

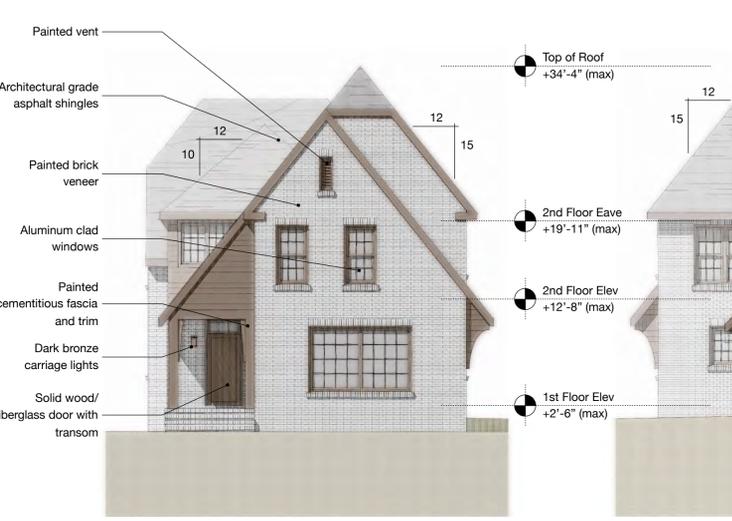
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DATE: 01/28/2015
DRAWN BY: AG
CHECKED BY: MW
SCALE: 1"=20'
SHEET NUMBER: L1.00



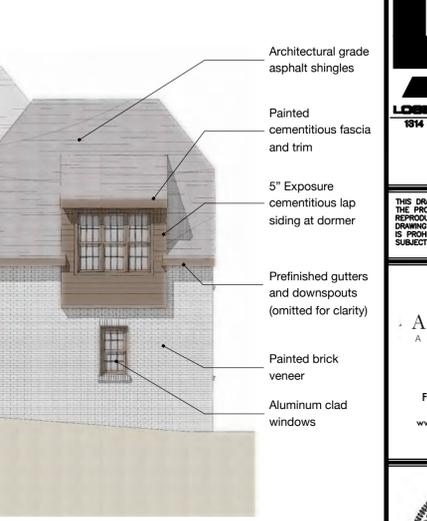
1 Front Elevation - House A1
 SCALE: 1/8" = 1'-0"



2 Left Elevation - House A1
 SCALE: 1/8" = 1'-0"



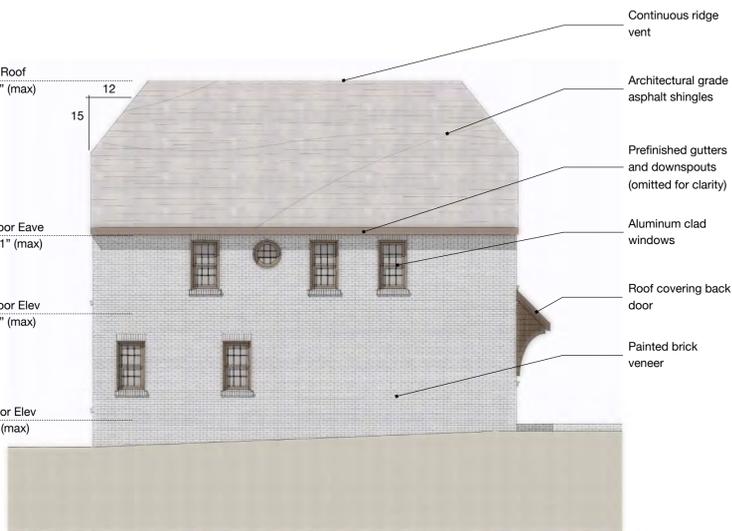
5 Front Elevation - House B1
 SCALE: 1/8" = 1'-0"



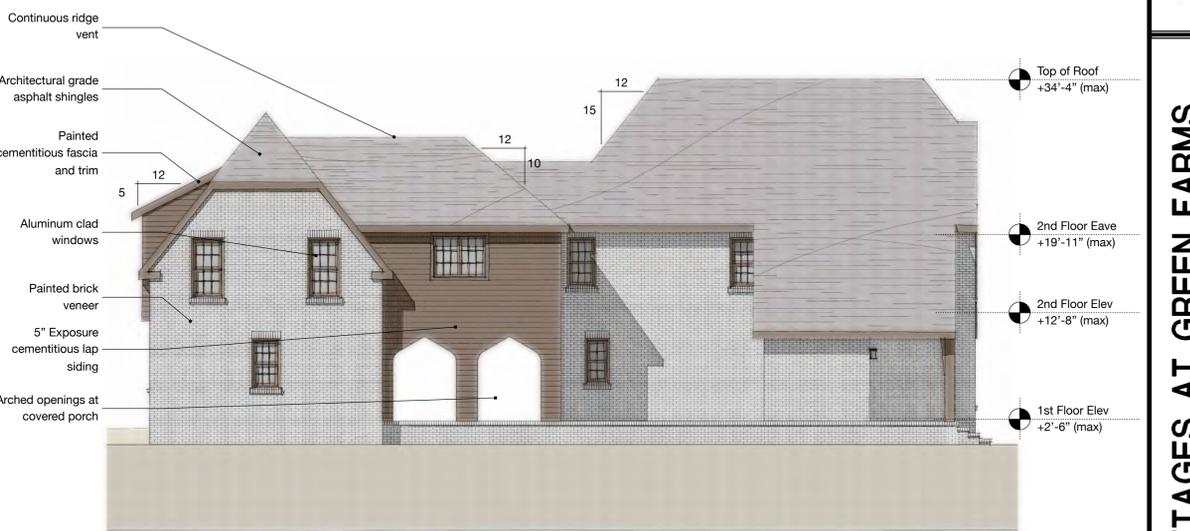
6 Rear Elevation - House B1
 SCALE: 1/8" = 1'-0"



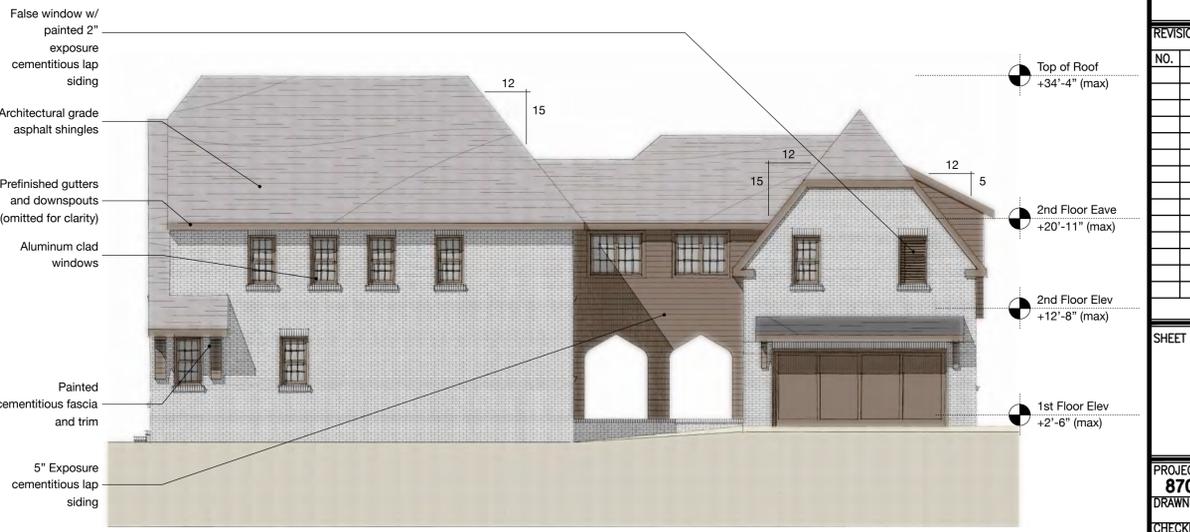
3 Rear Elevation - House A1
 SCALE: 1/8" = 1'-0"



4 Right Elevation - House A1
 SCALE: 1/8" = 1'-0"



7 Left Elevation - House B1
 SCALE: 1/8" = 1'-0"



8 Right Elevation - House B1
 SCALE: 1/8" = 1'-0"

Area Calculation: Front Elevation House A1

Total Facade Area:	923 SF	
Opening Area:	142 SF	
Masonry Area:	601 SF	77%
Siding & Trim Area:	180 SF	23%

Area Calculation: Left Elevation House A1

Total Facade Area:	906 SF	
Opening Area:	67 SF	
Masonry Area:	668 SF	80%
Siding & Trim Area:	171 SF	20%

Area Calculation: Rear Elevation House A1

Total Facade Area:	863 SF	
Opening Area:	235 SF	
Masonry Area:	568 SF	90%
Siding & Trim Area:	60 SF	10%

Area Calculation: Right Elevation House A1

Total Facade Area:	805 SF	
Opening Area:	67 SF	
Masonry Area:	700 SF	95%
Siding & Trim Area:	38 SF	5%

Area Calculation: Front Elevation House B1

Total Facade Area:	759 SF	
Opening Area:	141 SF	
Masonry Area:	485 SF	78%
Siding & Trim Area:	133 SF	22%

Area Calculation: Left Elevation House B1

Total Facade Area:	1,494 SF	
Opening Area:	182 SF	
Masonry Area:	1,021 SF	78%
Siding & Trim Area:	291 SF	22%

Area Calculation: Rear Elevation House B1

Total Facade Area:	560 SF	
Opening Area:	87 SF	
Masonry Area:	345 SF	73%
Siding & Trim Area:	128 SF	27%

Area Calculation: Right Elevation House B1

Total Facade Area:	1,572 SF	
Opening Area:	209 SF	
Masonry Area:	1,048 SF	77%
Siding & Trim Area:	315 SF	23%

REVISIONS

NO.	DATE	BY	COMMENTS

SHEET TITLE

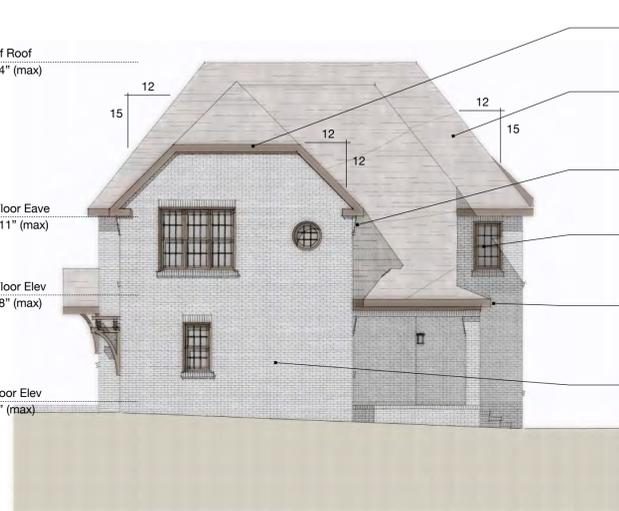
ELEVATIONS

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 DRAWN BY: **JA** SCALE: **1/8"=1'-0"**
 CHECKED BY: **JA**

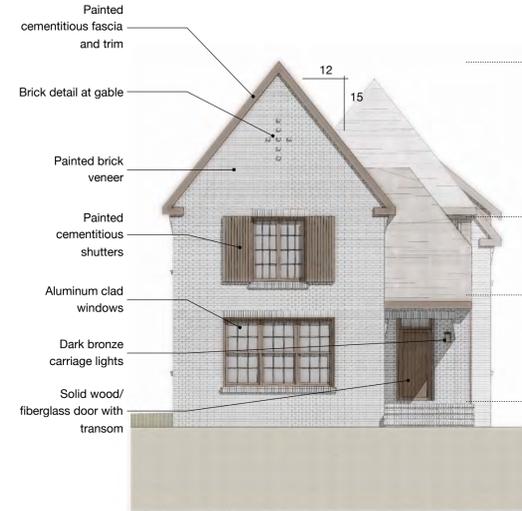
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A1.00



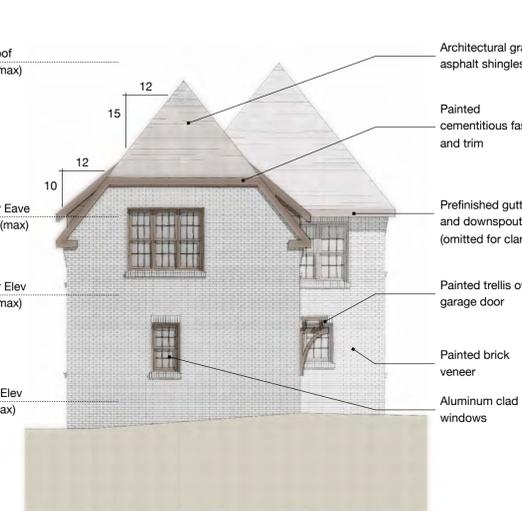
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SCALE: 1/8" = 1'-0"



2 Left Elevation - House A2
SCALE: 1/8" = 1'-0"



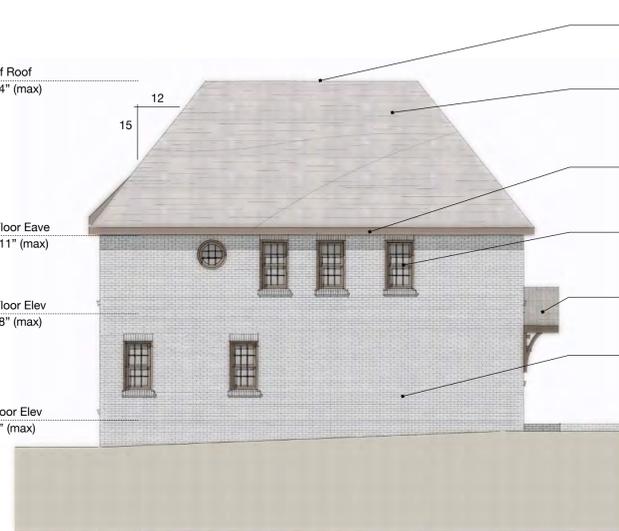
5 Front Elevation - House B2
SCALE: 1/8" = 1'-0"



6 Rear Elevation - House B2
SCALE: 1/8" = 1'-0"



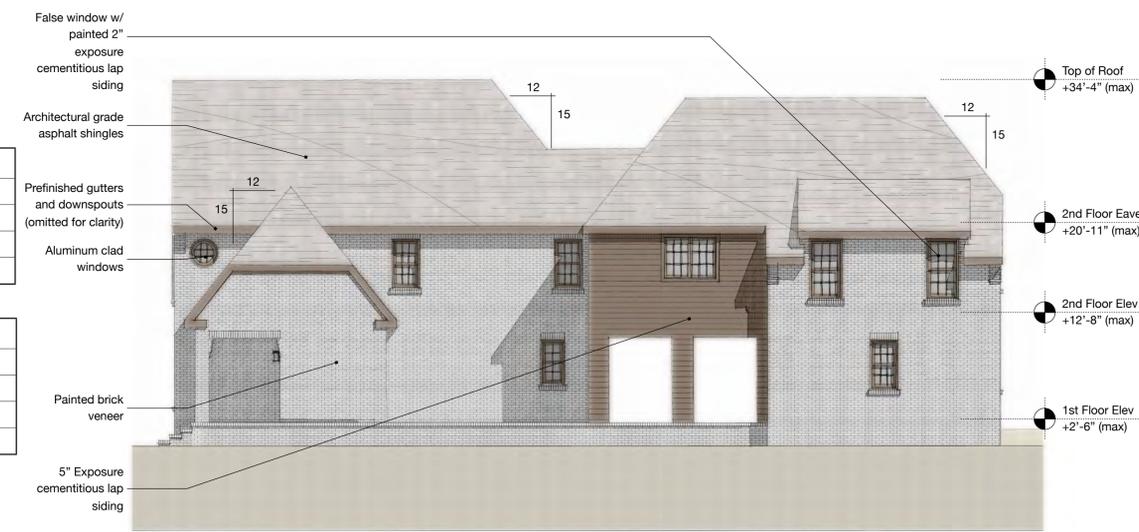
3 Rear Elevation - House A2
SCALE: 1/8" = 1'-0"



4 Right Elevation - House A2
SCALE: 1/8" = 1'-0"



7 Left Elevation - House B2
SCALE: 1/8" = 1'-0"



8 Right Elevation - House B2
SCALE: 1/8" = 1'-0"

Area Calculation: Front Elevation House A2

Total Facade Area:	898 SF	
Opening Area:	147 SF	
Masonry Area:	583 SF	78%
Siding & Trim Area:	168 SF	22%

Area Calculation: Left Elevation House A2

Total Facade Area:	818 SF	
Opening Area:	73 SF	
Masonry Area:	698 SF	94%
Siding & Trim Area:	47 SF	6%

Area Calculation: Rear Elevation House A2

Total Facade Area:	804 SF	
Opening Area:	231 SF	
Masonry Area:	505 SF	88%
Siding & Trim Area:	68 SF	12%

Area Calculation: Right Elevation House A2

Total Facade Area:	799 SF	
Opening Area:	67 SF	
Masonry Area:	699 SF	95%
Siding & Trim Area:	33 SF	5%

Area Calculation: Front Elevation House B2

Total Facade Area:	711 SF	
Opening Area:	129 SF	
Masonry Area:	505 SF	87%
Siding & Trim Area:	77 SF	13%

Area Calculation: Left Elevation House B2

Total Facade Area:	1,537 SF	
Opening Area:	332 SF	
Masonry Area:	965 SF	80%
Siding & Trim Area:	240 SF	20%

Area Calculation: Rear Elevation House B2

Total Facade Area:	711 SF	
Opening Area:	129 SF	
Masonry Area:	540 SF	93%
Siding & Trim Area:	42 SF	7%

Area Calculation: Right Elevation House B2

Total Facade Area:	1,550 SF	
Opening Area:	202 SF	
Masonry Area:	1,104 SF	82%
Siding & Trim Area:	244 SF	18%



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ABERNATHY ARCHITECTURE
2045 Lewisburg Pike
Franklin, Tennessee 37064
615.595.1490
www.abernathyarchitecture.com



COTTAGES AT GREEN FARMS
PREPARED FOR
GREEN & LITTLE, LP
GALLATIN, SUMNER COUNTY, TENNESSEE

REVISIONS

NO.	DATE	BY	COMMENTS

SHEET TITLE
ELEVATIONS

PROJECT NUMBER/DATE
87022-13 01/28/2015
DRAWN BY SCALE
JA
CHECKED BY
JA 1/8"=1'-0"

SHEET NUMBER
A1.01

ITEM 12

GMRPC Resolution No. 2015-29

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR FAIRWAY FARMS AND A REVISED FINAL MASTER DEVELOPMENT PLAN FOR FAIRWAY FARMS, PHASES 2 & 3, TO DEVELOP THE "RESERVED" AREA INTO TWO (2) LOTS AND OPEN SPACES, CONTAINING 2.16 (+/-) ACRES, LOCATED AT WENDLING BOULEVARD AND NELMS DRIVE. (PC 3-294-15)

WHEREAS, The applicant has submitted an application for a minor amendment to the previously approved Fairway Farms Preliminary Master Development Plans and a Revised Final Master Development Plan for Fairway Farms, Phases 2 & 3 consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Amended Preliminary Master Development Plan and the Revised Final Master Development Plan submitted by the applicant, Bruce Rainey and Associates, at its regular meeting on February 23, 2015, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the Amended Preliminary Master Development Plan/Revised Final Master Development Plan, application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. §13-3-310, §13-4-310, §13-7-201, and §13-7-202:

1. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is in agreement and consistent with the intent and recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The proposed Amended Preliminary Master Development Plan/Revised Final Master Development Plan is consistent with the purpose and intent of the Residential-15 Planned Residential Development (R15 PRD) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district.
3. The proposed changes shown in the Amended Preliminary Master Development Plan/Revised Final Master Development Plan do not constitute a major amendment

ITEM 12

(considered a minor amendment) to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.

4. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
5. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
6. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed modifications will not change the essential character of the Fairway Farms Development.
7. The legal purposes for which zoning regulations exist have not been contravened.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a minor amendment to the Preliminary Master Development Plan for Fairway Farms Preliminary Master Development Plan and approves the Revised Final Master Development Plan for Fairway Farms, Phases 2 & 3 consisting of a one (1) sheet plan, prepared by Bruce Rainey and Associates of Hendersonville, Tennessee, with job number 140152, dated September 29, 2009, with a final revision date of February 11, 2015, with the following conditions:

1. Correct 5,000 sq. ft. to 15,000 sq. ft. in General Design Note #1.
2. Modify the Site Data Table to indicate the effect of all formerly approved amendments affecting Fairway Farms Development.
3. Correct the number of 15,000 sq. ft. lots from 33 to 34 for, in Site Data Table, under proposed Fairway Farms Phases 2 & 3.
4. Provide a 'Typical Lot Configuration' inset detail for the 18,000 sq. ft. lots.
5. Revise property line to align with existing rear of sidewalk or provide access easements.
6. Submit three (3) corrected folded 24" x 36" copies of the Fairway Farms Amended Preliminary Master Development Plan and Revised Final Master Development Plan for Fairway Farms, Phases 2 & 3 to the Planning Department for Planning Staff approval prior to the submittal of a final plat.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

ITEM 12

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 02/23/2015

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney



ITEM 12

PLANNING DEPARTMENT STAFF REPORT

Fairway Farms, Phases 2 & 3, Amended PMDP & Revised FMDP
(PC 3-294-15)

Wendling Boulevard and Nelms Drive

Date: February 20, 2015

REQUEST: THE OWNER AND APPLICANT REQUEST APPROVAL OF AN MINOR AMENDMENT TO THE FAIRWAY FARMS PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVAL OF A REVISED FINAL MASTER DEVELOPMENT PLAN FOR FAIRWAY FARMS, PHASES 2 & 3, TO DEVELOP THE “RESERVED” AREA INTO TWO (2) LOTS AND OPEN SPACES, CONTAINING 2.16 (+/-) ACRES, LOCATED AT WENDLING BOULEVARD AND NELMS DRIVE (PC 3-294-15).

OWNER: FAIRWAY FARMS DEVELOPMENT, GP

APPLICANT: BRUCE RAINEY & ASSOCIATES

STAFF RECOMMENDATION: RECOMMEND APPROVAL OF RESOLUTION NO. 2015-29

STAFF CONTACT: ROBERT J. KALISZ

PC MEETING DATE: FEBRUARY 23, 2015

PROPERTY OVERVIEW:

The owner and applicant are requesting approval of an amendment to the Fairway Farms Preliminary Master Development Plan and approval of a Revised Final Master Development Plan for Fairway Farms, Phases 2 & 3, consisting of 58.96 (+/-) acres, to develop the “Reserved” area into two (2) lots and open spaces, containing 2.16 (+/-) acres, located at Wendling Boulevard and Nelms Drive (Attachments 12-1 and 12-2).

The property is currently zoned Residential 15 Planned Residential Development (R15-PRD). One-family Detached dwelling units is a permitted use in the R15-PRD zone district.

The owner and applicant are requesting an increase in the number of lots by adding two (2) lots to Phase 2 and requesting a slight reduction in open space. There is no significant change to the overall density (increase of 0.008 units per acre from 511 approved units to 513 approved units) and only a slight change of density (increase of 0.034 units per acre) to Phases 2 & 3. The open space for Phases 2 & 3 will decrease by 1.50 (+/-) acres, while the overall open space for Fairway Farms will be reduced from 72.12 (+/-) acres to 70.62 (+/-) acres (+/-) acres which will remain larger than the required 52.23 (+/-) acres.

Staff recommends that the Planning Commission approve the proposed changes as a minor amendment to the approved Preliminary Master Development Plan and recommends approval of the Revised Final Master Development Plan with the conditions listed on pages 7 and 8 of the staff report and in GMRPC Resolution No. 2015-29.

CASE BACKGROUND:

Previous Approvals and Property History

Rezoning and Approval of Preliminary Master Development Plan

City Council originally approved rezoning the property from Agricultural (A) to Residential-R15 Planned Residential Development (R15 PRD) and the Preliminary Master Development Plan (PMDP) for Fairway Farms (PC File #3-26-04) on January 4, 2005.

The original Preliminary Master Development Plan for Fairway Farms (PC File #3-26-04) that was approved by the Planning Commission contained a total of 479 lots on 261.17 acres. The PMDP was divided into two parts, Area “A” (west part of the development) and Area “B” (northeast part of the development). Area “A” included a mixture of lot sizes ranging from 9,000 square feet to 18,000 square feet while Area “B” included entirely of 9,000 square foot lots. The PMDP included alley loaded lots in portions of Area A and roadway connections into the adjacent Cambridge Farms and Eagle Creek Developments. However, when the PMDP was considered by City Council, the Council approved the PMDP with revisions removing the connections into the adjoining subdivisions and required the developer to add a roadway and bridge crossing to connect areas A and B. The approved Preliminary Master Development Plan for Fairway Farms included a total of 482 lots with a density of 1.85 dwelling units per acre and 31.7 percent open space.

Lot Count – Original PMDP Approved for Fairways Farms – January 2005(plan dated 12-08-2004)

Number of Lots	Area “A”	Area “B”	Total
18,000 sq.ft.	62	0	62
15,000 sq.ft.	138	0	138
9,000 sq.ft.	119	163	282
Total	319	163	482

1st Amended Preliminary Master Development Plan

On November 28, 2005, the Planning Commission approved a minor amendment to the Preliminary Master Development Plan for Fairway Farms (PC File #3-26-04) to remove the alleys that were originally planned to serve the lots in Area “A”. The amended PMDP included 472 lots with a density of 1.81 dwelling units per acre and 31.4 percent open space. At this time the existing brick house and surrounding area was identified as “Clubhouse Area”.

Lot Count – 1st Amended PMDP Approved for Fairways Farms – November 2005

Number of Lots	Area “A”	Area “B”	Total
18,000 sq.ft.	62	0	62
15,000 sq.ft.	131	0	131
9,000 sq.ft.	116	163	279
Total	309	163	472

(Shown as 5th Revised Resubmittal Plan dated December 22, 2005 and 7th Revised Resubmittal Plan dated May 10, 2007)

Final Master Development Plan

On February 26, 2007, the Planning Commission approved a Final Master Development Plan for Fairway Farms, Pool Facility (PC File #8-3-07) on 1.91 (+/-) acres. The pool facility was approved on portion of the PMDDP as “Clubhouse Area” and “Open Space”.

2nd Amended Preliminary Master Development Plan

On March 25, 2013, the Planning Commission recommended approval of the Amended Preliminary Master Development Plan for Fairway Farms, Phases 2 & 3 (PC0044-12) to City Council as a major amendment to the PMDDP. The owner and applicant requested to amend the phase lines, lot layout, open space, design standards and increase the overall density and number of units in the development. The Amended PMDDP approved by Planning Commission included a total of 511 lots with a density of 1.96 dwelling units per acre and 27.6 percent open space. At this time the “Clubhouse Area” was relabeled as “Reserved”.

According to a summary submitted by the applicant with this PMDDP amendment request, the following numbers of lots have been approved by plats to date:

Lot Count – Platted Lots in Area “A” Fairway Farms, Phase 1, Sections 1 – 4, and Phase 3, Section 1

Number of Lots	Area “A”	Area “B”	Total
18,000 sq.ft.	69	0	69
15,000 sq.ft.	75	0	75
**12,000 sq.ft.	13	0	13
9,000 sq.ft.	37	0	37
Total	194	0	194

** The 12,000 sq.ft. lots were not shown as a separate lot size category on any previously approved Amended PMDDP. The applicant requested approval to add the 12,000 sq.ft. lot category to the site data table as part of the proposed amendment to the PMDDP.

Listed below is the number of lots approved as part of the Amended PMDDP (PC0044-12):

Lot Count – Area “A” and “B” Fairway Farms Development

Number of Lots	Area “A”	Area “B”	Total
18,000 sq.ft.	69	0	69
15,000 sq.ft.	75	33	108
**12,000 sq.ft.	13	21	34
9,000 sq.ft.	37	100	137
Total	194	154	511

Final Master Development Plan

On June 24, 2013, the Planning Commission approved a Final Master Development Plan for Fairway Farms, Phases 2 & 3 (PC 0146-13) included 154 lots on 82.83 (+/-) acres, which also indicated the “Reserved” area.

Discussion:

Proposed Development

The owner and applicant are requesting a 3rd amendment to the Preliminary Master Development Plan and revise the Final Master Development Plan for Fairway Farms, Phases 2 & 3 to increase the number of lots from 511 to 513 and reduce the open space. The request is to develop the “Reserved” area into two (2) lots and open spaces, containing 1.92 (+/-) acres. If approved, a final plat will be required.

Clubhouse Area/Reserved Area

The original approved Preliminary Master Development Plan for Fairway Farms indicated a Clubhouse Area, which included a clubhouse and pool facility, to be located at the end of the cul-de-sac on Wendling Boulevard. The “Clubhouse Area” was to be privately owned (developer) and offer private membership separate from the homeowners association. (Refer to Sections 1.9, definitions, and 4.10, Common Property and Clubhouse Property, of the Declaration of Covenants and Restrictions for Fairway Farms for definition and explanation of Club Property (Attachment 12-3)). The existing brick house was to be converted to the clubhouse and a new pool facility to be constructed adjacent to the clubhouse. The pool facility was constructed in an area designated as open space just east of the “Clubhouse Area” in 2009.

Gallatin on the Move 2020 General Development and Transportation Plan

The entire Fairway Farms Development is located in the Suburban Neighborhood Established Community Character Area as shown on the Community Character Area Map of the *Gallatin on the Move 2020 General Development and Transportation Plan*. The main goals of the Suburban Neighborhood Established Community Character Area are to maintain residential uses, provide safe facilities for pedestrians, school buses, and bicyclists using the road right of way, and maintain the predominate development pattern of detached one-family homes.

Natural Features

The majority of the 2.16 (+/-) acre site, the “Reserved” area, currently includes a 6,000 square foot brick house with a driveway and sidewalks located at the end of Wendling Boulevard cul-de-sac and adjacent to the site are open spaces to the east and west with an existing pool facility located on the east open space area. The western portion of the “Reserved” area contains gently sloping open space which slopes from the adjacent to Lot 145 to a depression and pond located on the northwest corner of the “Reserved” tract. This portion of the site contains many existing mature trees along the northern and eastern property lines, many of which will be preserved.

No portion of the subject property is located within a special flood hazard area according to FEMA FIRM map panel #471165C0125G dated April 17, 2012.

Surrounding Zoning

The entire Fairway Farms Development property lies within the Gallatin City limits and is zoned Residential-15 Planned Residential Development (R15 PRD). Cambridge Farms is located to the west, zoned Residential-20 Planned Unit Development (R20 PUD), Eagle Creek is located to the east, zoned Residential-20 (R20), the Long Hollow Golf Course is located to the south, zoned Agricultural

Residential (A), and to the north are several residential neighborhoods, zoned Residential-20 (R20) and Agricultural Residential (A).

Building and Architectural Elevations

There are no architectural changes proposed with this amendment. The existing brick house located on the proposed Lot 160 (Attachment 12-4) meets the architectural standards approved for the Fairway Farms Development and the future home to be constructed on the proposed Lot 159 will also follow the architectural standards.

Open Space

The 2.16 (+/-) acre "Reserved" area on the approved Preliminary Master Development Plan for Fairway Farms is mostly open space and is included in the open space calculations. The proposed two (2) one-family detached lots will consist of 1.50 (+/-) acres leaving the remainder of 0.66 (+/-) acres as open space. The remainder of open space will consist of three (3) areas; one (1) located adjacent to the pool facility, including the joint use access easement, one (1) located in the northwest corner which will be connected to the open space located to the west, and a 20 foot wide open space corridor located between Lot 145 and proposed Lot 159 (Attachment 12-5) to provide a connection from the open space located to the west to Wendling Boulevard and act as a buffer between this lot and the existing home on Lot 160.

Access and Lot Sizes

Wendling Boulevard, located off Long Hollow Pike, is the main entrance to Fairway Farms and provides access to the proposed Lot 159 and Lot 160 (existing brick house) and access to the pool facility at the end of Wendling Boulevard cul-de-sac. A Joint Use Access Easement and Public Utility Easement (P.U.E.) will be provided for across the proposed open space tract to the pool facility. Lot 159 located on the west side of the cul-de-sac abuts the existing right of way.

The proposed lot size for Lot 159 is 16,689 square feet and Lot 160 is 48,820 square feet which will respectively increase the number of lots 15,000 square feet and 18,000 square feet lots. The proposed lots meet the lot width requirements as set forth in the approved Amended Preliminary Master Development Plan for Fairway Farms and shall follow the yard setbacks and Public Utility and Drainage Easements (P.U.D.E.) setbacks as illustrated in the Typical Lot Configurations details. If approved, this will create 109 (15,000 square feet lots (minimum)) and 70 (18,000 square feet lots (minimum)) for a total of 513 lots.

Drainage and Detention

No additional drainage or detention is required for this site. The existing grading and detention areas will accommodate the additional home on Lot 159.

Planning Department Comments

The Planning Department reviewed and commented on the Amended PMDP/Revised FMDP. Most of the Planning Department comments have been satisfied however, the owner and applicant shall correct the Amended PMDP/Revised FMDP and provide documents as indicated below:

1. Correct 5,000 sq. ft. to 15,000 sq. ft. in General Design Note #1.
2. Modify the Site Data Table to indicate the effect of all formerly approved amendments affecting Fairway Farms Development.

3. Correct the number of 15,000 sq. ft. lots from 33 to 34 for, in Site Data Table, under proposed Fairway Farms Phases 2 & 3.
4. Provide a 'Typical Lot Configuration' inset detail for the 18,000 sq. ft. lots.
5. Submit three (3) corrected folded 24" x 36" copies of the Fairway Farms Amended Preliminary Master Development Plan and Revised Final Master Development Plan for Fairway Farms, Phases 2 & 3 to the Planning Department for Planning Staff approval prior to the submittal of a final plat.

Engineering Division Comments

The Engineering Division reviewed and commented on the Amended PMDP/Revised FMDP. Most of the Engineering Division comments have been satisfied however, the owner and applicant shall correct the Amended PMDP/Revised FMDP and provide documents as indicated below:

1. Revise property line to align with existing rear of sidewalk or provide access easements.

Other Departmental Comments

Other City Departments reviewed and commented on the Amended PMDP/Revised FMDP. The owner and applicant satisfactorily addressed the majority of the Other City Department comments; however the owner and applicant shall provide approved vehicle access for fire fighting equipment to all construction sites and to be within 100 feet of temporary or permanent Fire Department fire hydrants, and all road access shall be capable of supporting vehicle loading under all weather conditions.

Gallatin Public Utilities Department

This development is located in the Gallatin Public Utility District area. The Gallatin Public Utilities Department reviewed and commented on the Amended PMDP/Revised FMDP. The owner and applicant shall submit detailed plans and specifications for water and sanitary sewer installations to the Gallatin Public Utilities Department for review and approval prior to submission of final plat.

Minor Amendment

G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan, lists specific items that would constitute a major amendment to an approved Preliminary Master Development Plan including an increase in density, substantial changes to access or site circulation, or substantial changes to approved architecture. Staff reviewed the approved Fairway Farms Preliminary Master Development Plan in detail and found no significant changes in the current plan that would constitute a major amendment. Although an increase in the number of lots is an increase in density the change is insignificant and should be considered a minor amendment. Planning Commission should determine if the proposed changes to the Fairway Farms PMDP should be considered as minor amendments to the approved Preliminary Master Development Plan for Fairway Farms.

FINDINGS:

In keeping with the *Gallatin on the Move 2020 General Development and Transportation Plan*, the proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity. As designed, the proposed uses will not change the essential character of the Fairway Farms Development. The project has also been designed to reflect the recommendations of the *Gallatin on the Move 2020 General*

Development and Transportation Plan and be consistent with the intent and purpose of the Gallatin Zoning Ordinance. Staff, therefore, makes the following findings:

1. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is in agreement and consistent with the intent and recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The proposed Amended Preliminary Master Development Plan/Revised Final Master Development Plan is consistent with the purpose and intent of the Residential-15 Planned Residential Development (R15 PRD) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district.
3. The proposed changes shown in the Amended Preliminary Master Development Plan/Revised Final Master Development Plan do not constitute a major amendment (considered a minor amendment) to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
4. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
5. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
6. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed modifications will not change the essential character of the Fairway Farms Development.
7. The legal purposes for which zoning regulations exist have not been contravened.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Based on the findings presented in the staff report, Staff recommends that the Planning Commission approve GMRPC Resolution No. 2015-29 as a minor amendment to the Fairway Farms Preliminary Master Development Plan and approve the Revised Final Master Development Plan for Fairway Farms, Phases 2 & 3 consisting of a one (1) sheet plan, prepared by Bruce Rainey and Associates of Hendersonville, Tennessee, with job number 140152, dated September 29, 2009, with a final revision date of February 11, 2015, with the following conditions:

1. Correct 5,000 sq. ft. to 15,000 sq. ft. in General Design Note #1.
2. Modify the Site Data Table to indicate the effect of all formerly approved amendments affecting Fairway Farms Development.
3. Correct the number of 15,000 sq. ft. lots from 33 to 34 for, in Site Data Table, under proposed Fairway Farms Phases 2 & 3.
4. Provide a 'Typical Lot Configuration' inset detail for the 18,000 sq. ft. lots.
5. Revise property line to align with existing rear of sidewalk or provide access easements.

6. Submit three (3) corrected folded 24" x 36" copies of the Fairway Farms Amended Preliminary Master Development Plan and Revised Final Master Development Plan for Fairway Farms, Phases 2 & 3 to the Planning Department for Planning Staff approval prior to the submittal of a final plat.

ATTACHMENTS:

Attachment	12-1	Fairway Farms Development Location Map
Attachment	12-2	Fairway Farms, Phases 2 & 3 Amended PMDP/Revised FMDP
Attachment	12-3	Declaration of Covenants and Restrictions for Fairway Farms
Attachment	12-4	Photographs of Existing Brick House located in the 'Reserved' Area
Attachment	12-5	Photographs of Existing Brick House located on Lot 145

FAIRWAY FARMS DEVELOPMENT LOCATION MAP



WENDLING BOULEVARD AND NELMS DRIVE
TAX MAP #114//040.01
ZONED R15 PRD
PC #3-294-15

ATTACHMENT 12-1

THIS INSTRUMENT PREPARED BY: WILLIAM D. CASTLEMAN, ATTORNEY
307 CHURCHILL CROSSING
MADISON, TN 37115
PHONE: (615) 394-0204

1:50

DECLARATION OF COVENANTS AND RESTRICTIONS
FOR
FAIRWAY FARMS

ATTACHMENT 12-3

THE DECLARATION OF COVENANTS AND RESTRICTION (the "Declaration") is made and executed by Fairway Farms Joint Venture, a Tennessee general partnership, its successors and assigns ("Declarant").

WITNESSETH:

WHEREAS, it is the intent of Declarant to establish a general plan and uniform scheme of development and improvement of the Property; and

WHEREAS, Declarant wishes to provide for the preservation and enhancement of property values, amenities and opportunities within the property in order to contribute to the personal and general health, safety and welfare of the property owners and residents therein, and to maintain the land and improvements therein, and to this end wishes to subject the Property to the covenants, restrictions, easements, reservations, assessments, charges, liens and other provisions hereinafter set forth.

NOW THEREFORE, Declarant hereby declares that the Property is and shall be held, transferred, sold, conveyed and occupied subject to the covenants, restrictions, easements, reservations, assessments, charges, liens and other provisions hereinafter set forth in this Declaration of Covenants and Restrictions for Fairway Farms, and the provisions of the zoning ordinances of the City of Gallatin, Tennessee, as same may now exist, or hereafter be amended, insofar as same are applicable to the Development.

ARTICLE I - DEFINITIONS

The following terms, as used in this Declaration, shall have the following meanings:

1.1 "ARCHITECTURAL REVIEW BOARD" or "A.R.B." shall mean and refer to that permanent committee of the Association, created for the purpose of establishing and enforcing criteria for the construction of Improvements within the Property, and any modifications to Improvements, and reviewing and approving the plans for the same.

1.2 "ASSESSMENT" shall mean and refer to those charges made by the Association from time to time, against Owners, for the purposes, and subject to the terms, set forth herein.

1.3 "ASSOCIATION" shall mean and refer to Fairway Farms Community Association, Inc., a Tennessee corporation, not-for-profit, its successors and assigns, created or to be created to govern and for the purpose of providing maintenance services, owning, and managing Common Property for The Fairway Farms Development.

1.4 "BOARD" or "BOARD OF DIRECTORS" shall mean and refer to the Board of Directors of the Association.

1.5 "BY-LAWS" shall mean and refer to the By-Laws of the Association as attached hereto as Exhibit "D" as the same may be hereafter amended.

1.6 "CHARTER" shall mean and refer to the Charter of the Association as it may exist from time to time.

1.7 "CITY" shall mean the City of Gallatin.

1.8 "CLUB" shall mean the Owner of the Club Property, its successors, assigns and affiliates.

1.9 "CLUB PROPERTY" shall mean all of that portion of the Development designated on the Development Plan for recreational and social facilities constructed thereon, that will be operated by the Club, including, without limitation, the swim facilities and the club house. The Club Property is not Common Property.

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Pamela L. Whitaker, Register
Sumner County Tennessee
Rec #: 631705
Rec'd: 225.00 Instrument #: 779185
State: 0.00
Clerk: 0.00
RDP: 2.00 1/13/2006 at 1:50 pm
Total: 227.00 in
Record Book 2423 Pgs 451-495

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1-29-05C

For so long as Declarant owns or has any use rights to any property subject to this Declaration, Declarant shall have the right to transact any business necessary to consummate sales of property throughout Fairway Farms, including, but not limited to, the right to maintain office(s) on the Common Property in location(s) to be selected by Declarant, to have employees in such offices, to construct and maintain other structures or appurtenances which are necessary or desirable for the development and sale of the Property throughout Fairway Farms including without limitation, sales models and parking lots; to post and display a sign or signs on any Lots owned by Declarant or the Common Property; and to use the Common Property and to show Lots. Sales office signs and all other structures and appurtenances pertaining to the sale or development of property within Fairway Farms shall not be considered Common Property and shall remain the Property of Declarant.

After turnover of control of the Association, and regardless of whether Declarant owns or has any use rights to any property in Fairway Farms, Declarant or its assignee shall have the right, but not the obligation, to continue to exercise the rights granted to Declarant under Section 12.6 herein below at no cost or charge of any kind except its pro rata share of utility expenses and real estate taxes and payment of a rental for use of property based on the current market rate for commercial space in the County. This office shall be used as a real estate brokerage office to assist Owners in the sale or lease of their Lots and obtaining necessary approvals for such transfers. No other commercial or real estate offices shall be located on the Common Property after turnover of control of the Association.

4.7 Continual Maintenance. In the event of a permanent dissolution of the Association, the Members shall immediately thereupon hold title to the Common Property as tenants in common and shall collectively provide for the continued maintenance and upkeep thereof. In no event shall the County/City be obligated to accept any dedication offered to them by the Association or the Members pursuant to this section, but said County/City may accept such a dedication and any such acceptance must be made by formal resolution of the then empowered County/City Board of Commissioners.

4.8 Exclusive Common Property. Certain portions of the Common Property may be designated on the Development Plan, as amended and supplemented, as Exclusive Common Property and reserved for the exclusive use of Owners and occupants of certain designated Lots and/or Lots within a particular Neighborhood or Neighborhoods. By way of illustration and not limitation, Exclusive Common Property may include recreational facilities intended for the exclusive use of Owners within a particular Neighborhood or Neighborhoods, and supported by Neighborhood Assessments.

4.9 DISCLAIMER OF WARRANTIES. The Association and the Owners agree that the Common Property is and will be received in its "as is, where is" condition and without recourse; that Declarant disclaims and makes no representations, warranties or other agreements, express or implied, with respect to any of the Common Property, including without limitation, warranties of merchantability or fitness for any purpose; and that no claim can be made by the Association, any Neighborhood Association or Owner relating to the Common Property or for incidental or consequential damages arising there from.

4.10 Club Property. The Club Property will be privately owned and operated by the Club. The Club Property is not a part of the Common Property. The Club has the exclusive right to determine from time to time, in its sole discretion and without notice or approval of any change, how and by whom the Club Property will be used. By way of example, but not limitation, the Club has the right to approve users and determine eligibility for use, to reserve use rights for future purchasers of Lots within the Community, to terminate any or all use rights, to change, eliminate or cease operation of any or all of the Club Property, to transfer any or all of its rights to the Club Property or the operation thereof to anyone and on any terms which it deems appropriate, to limit the availability of use privileges, and to require the payment of a purchase price, initiation fee, membership deposit, dues and other charges for use privileges. OWNERSHIP OF A LOT OR ANY PORTION OF THE PROPERTY AND/OR MEMBERSHIP IN THE ASSOCIATION AND ANY NEIGHBORHOOD ASSOCIATION DOES NOT GIVE ANY VESTED RIGHT OR EASEMENT, PREScriptive OR OTHERWISE, TO USE THE CLUB PROPERTY, OR TO ACQUIRE A MEMBERSHIP IN THE CLUB AND DOES NOT GRANT ANY OWNERSHIP OR MEMBERSHIP INTEREST IN THE CLUB OR THE CLUB PROPERTY. Any entry upon the Club Property without



permission of the Club will be deemed a trespass, and each Owner shall refrain from, and will cause all occupants of such Owner's Lot, their guests and invitees to refrain from, any unauthorized entry upon the Club Property.

ARTICLE 5- EASEMENTS

5.1 Easements. The following easements are hereby reserved to and granted by Declarant over, across and through the Property.

5.1.1 Utilities. Easements for the installation and maintenance of utilities are reserved by Declarant and may be granted by Declarant to the Association and to the public and private utilities across the front, side and rear Lot lines of each Lot, in the dimensions set forth below, or as otherwise shown on the recorded subdivision plats of the Property, for present and future utility services to Fairway Farms, including, but not limited to, water lines, sanitary sewer lines, storm drainage culverts, sprinkler lines, natural gas lines, security wires, streetlights, communication lines, communication devices, and other services. The easement shall run along the entire length of each front, rear and side lot line for a width of (10) feet.

Within these easement areas, no structure, planting, or other material (other than sod), which may interfere with the installation and maintenance of utility facilities, shall be placed or permitted to remain unless such structure, planting or other material was installed by Declarant. Declarant, the Association, and their respective successors and assigns (or such other entity as is indicated on the plats of the Property) are hereby granted access to all easements within which such facilities are located for the purpose of operation, maintenance and replacement thereof.

In the event that Lots are recombined or reconfigured with the joinder of Declarant, then the easements reserved herein or granted pursuant hereto shall run along the newly established Lot lines and the easements along the old Lot lines shall be abolished, unless some easement is expressly reserved.

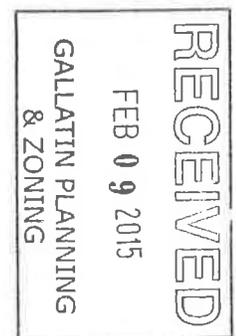
5.1.2 Drainage. Easements for the installation and maintenance of drainage facilities are reserved by Declarant and may be granted by Declarant to the Association, as shown on the recorded subdivision plats of the Property, to run along the entire length of each front, rear and side Lot line of Lots for the same widths set forth in 5.1.1 above or as otherwise shown on the recorded plats. Within these easement areas, no structure, planting or material (other than sod), which may interfere with the installation and maintenance of drainage facilities or which may obstruct or retard the flow of water through lakes, streams or drainage channels, shall be placed or permitted to remain, unless such structure, planting or other materials were installed by Declarant. Declarant, the Association and their respective successors and assigns, shall have access to all such drainage easements for the purpose of operation and maintenance of the streams and Surface Water Management System.

In the event that Lots are recombined or reconfigured with the joinder of Declarant, then the easements reserved herein shall run along the newly established Lot lines and the easements along the old Lot lines shall be abolished, unless some easement is expressly reserved.

5.1.3 Maintenance and Operation. The Common Property is hereby declared to be subject to a perpetual, non-exclusive easement in favor of the Association, employees and agents of the Association, and of any management entity contracted by the Association in order that such employees, agents or management entity may carry out their duties.

5.1.4 Development. Easements are hereby reserved through the Common Property, including, without limitation, the Streets and the easements shown on the plat(s) of the Property, for use by Lot Owners and by Developer, for their use and the use of their agents, employees, licensees and invitees, for all purposes in connection with the use, development and sales of the Property. Only Declarant may dedicate any street, road, or driveway easements through the Property, including the Common Property.

5.1.5 Access. A non-exclusive easement is hereby reserved for ingress and egress over, across and through all Streets to Declarant. This easement is subject to all reasonable rules and regulations promulgated by the Association from time to time.



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ATTACHMENT 12-4



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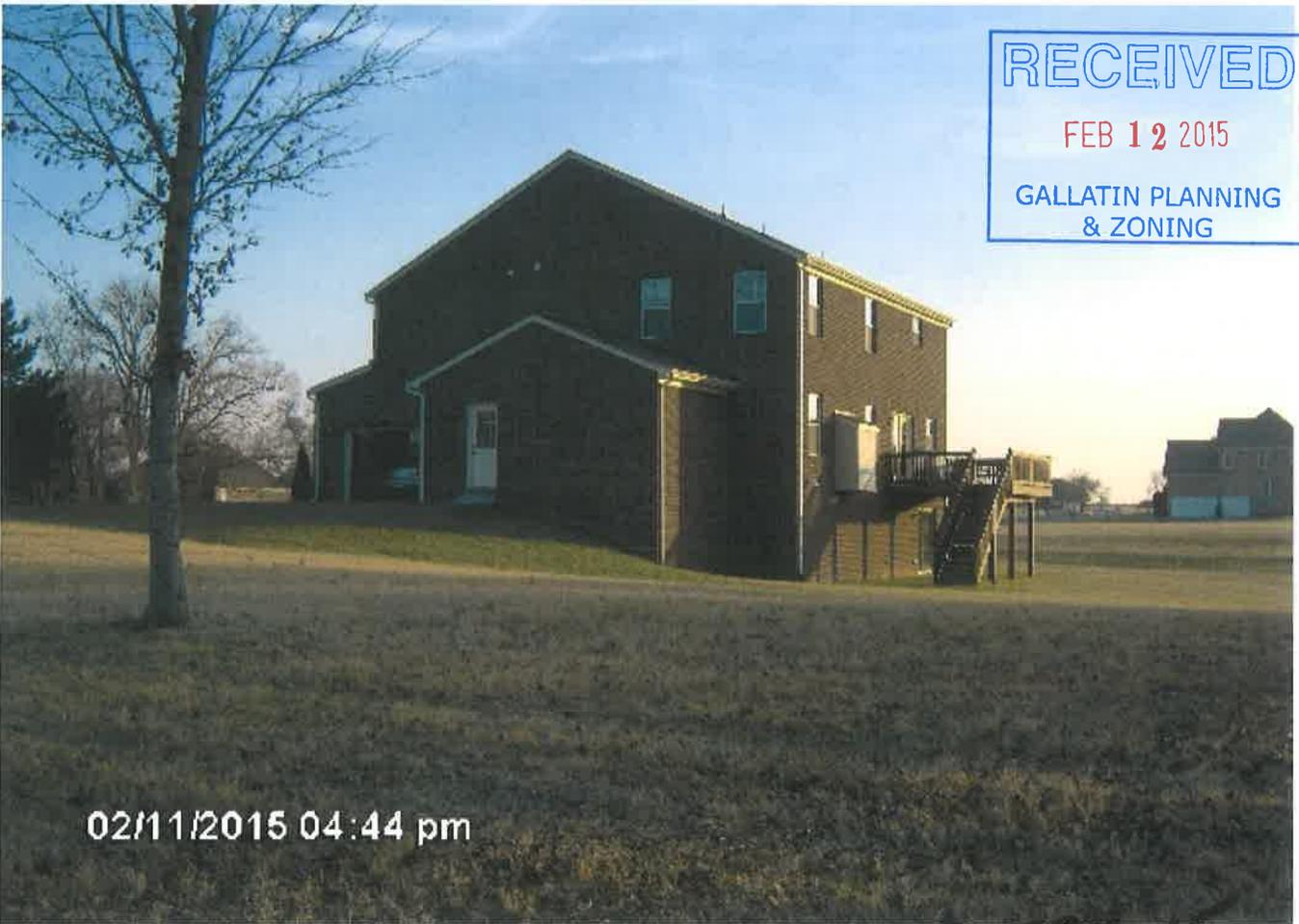
HOUSE LOT 145

ATTACHMENT

12-5



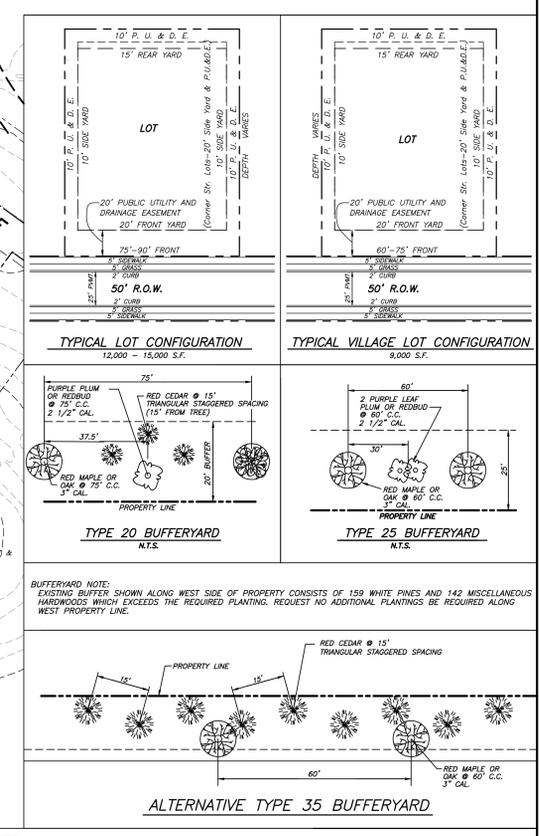
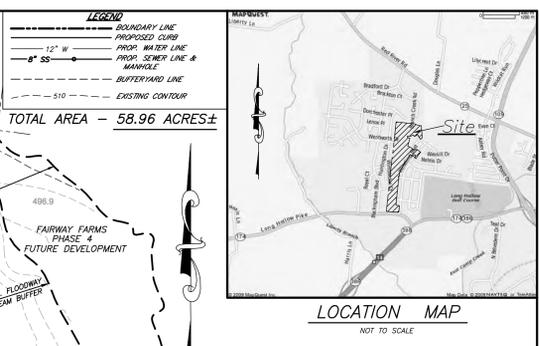
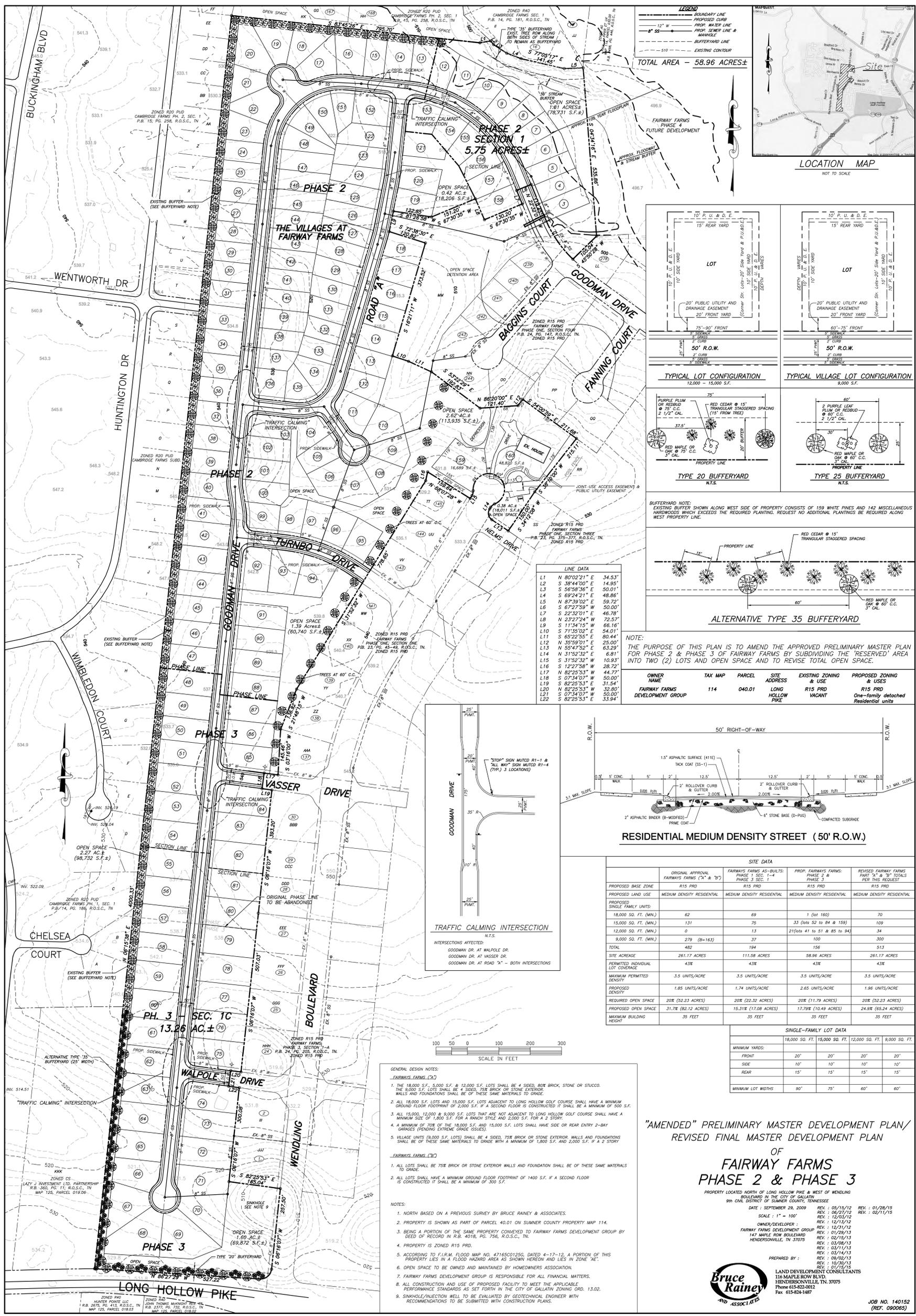
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& ZONING

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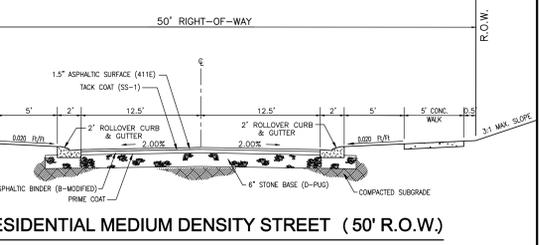


LINE DATA

L1	N 80°02'21" E	34.53'
L2	S 38°14'00" E	14.96'
L3	S 56°58'36" E	50.01'
L4	S 69°24'21" E	48.86'
L5	N 67°39'02" E	59.22'
L6	S 67°27'59" W	50.00'
L7	S 22°32'01" E	46.78'
L8	N 23°27'24" W	72.57'
L9	S 11°34'15" W	66.16'
L10	S 71°35'02" E	54.01'
L11	S 65°22'55" E	80.44'
L12	N 35°59'01" E	25.00'
L13	N 55°47'52" E	63.29'
L14	N 31°52'32" E	6.81'
L15	S 31°52'32" W	10.23'
L16	S 12°27'58" W	28.72'
L17	N 82°25'53" W	44.77'
L18	S 07°34'07" W	50.00'
L19	S 82°25'53" E	31.54'
L20	S 82°25'53" W	32.80'
L21	S 07°34'07" W	50.00'
L22	S 82°25'53" E	33.94'

NOTE:
THE PURPOSE OF THIS PLAN IS TO AMEND THE APPROVED PRELIMINARY MASTER PLAN FOR PHASE 2 & PHASE 3 OF FAIRWAY FARMS BY SUBDIVIDING THE "RESERVED" AREA INTO TWO (2) LOTS AND OPEN SPACE AND TO REVISE TOTAL OPEN SPACE.

OWNER NAME	TAX MAP	PARCEL	SITE ADDRESS	EXISTING ZONING & USE	PROPOSED ZONING & USES
FAIRWAY FARMS DEVELOPMENT GROUP	114	040.01	LONG HOLLOW PIKE	R15 PRD VACANT	R15 PRD One-family detached Residential units



SITE DATA

	ORIGINAL APPROVAL FAIRWAY FARMS PHASE 1 & 2	FAIRWAY FARMS AS-BUILT PHASE 1 SEC. 1-4 & PHASE 3 SEC. 1	PROP. FAIRWAY FARMS PHASE 2 & PHASE 3	REVISED FAIRWAY FARMS PHASE 2 & 3 TOTALS PER THIS REQUEST
PROPOSED BASE ZONE	R15 PRD	R15 PRD	R15 PRD	R15 PRD
PROPOSED LAND USE	MEDIUM DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL
PROPOSED SINGLE FAMILY UNITS:				
18,000 SQ. FT. (MIN.)	62	69	1 (lot 160)	70
15,000 SQ. FT. (MIN.)	131	75	33 (lots 52 to 84 & 159)	109
12,000 SQ. FT. (MIN.)	0	13	21 (lots 41 to 51 & 85 to 94)	34
9,000 SQ. FT. (MIN.)	279 (8=163)	37	100	300
TOTAL	482	194	158	513
SITE ACREAGE	261.17 ACRES	111.58 ACRES	58.96 ACRES	261.17 ACRES
ADJUSTED INDIVIDUAL LOT COVERAGE	43%	43%	43%	43%
MAXIMUM PERMITTED DENSITY	3.5 UNITS/ACRE	3.5 UNITS/ACRE	3.5 UNITS/ACRE	3.5 UNITS/ACRE
PROPOSED DENSITY	1.85 UNITS/ACRE	1.74 UNITS/ACRE	2.65 UNITS/ACRE	1.96 UNITS/ACRE
REQUIRED OPEN SPACE	20% (52.23 ACRES)	20% (22.32 ACRES)	20% (11.79 ACRES)	20% (52.23 ACRES)
PROPOSED OPEN SPACE	31.7% (82.12 ACRES)	15.31% (10.49 ACRES)	17.79% (10.49 ACRES)	24.9% (65.24 ACRES)
MAXIMUM BUILDING HEIGHT	35 FEET	35 FEET	35 FEET	35 FEET

SINGLE-FAMILY LOT DATA

	18,000 SQ. FT.	15,000 SQ. FT.	12,000 SQ. FT.	9,000 SQ. FT.
MINIMUM YARDS:				
FRONT	20'	20'	20'	20'
SIDE	10'	10'	10'	10'
REAR	15'	15'	15'	15'
MINIMUM LOT WIDTHS	90'	75'	60'	60'

- GENERAL DESIGN NOTES:**
- THE 18,000 S.F., 15,000 S.F. & 12,000 S.F. LOTS SHALL BE 4 SIDED, 80% BRICK, STONE OR STUCCO. THE 9,000 S.F. LOTS SHALL BE 4 SIDED, 75% BRICK OR STONE EXTERIOR WALLS AND FOUNDATIONS SHALL BE OF THESE SAME MATERIALS TO GRADE.
 - ALL 18,000 S.F. LOTS AND 15,000 S.F. LOTS ADJACENT TO LONG HOLLOW GOLF COURSE SHALL HAVE A MINIMUM GROUND FLOOR FOOTPRINT OF 2,000 S.F. IF A SECOND FLOOR IS CONSTRUCTED IT SHALL BE A MINIMUM OF 500 S.F.
 - ALL 15,000, 12,000 & 9,000 S.F. LOTS THAT ARE NOT ADJACENT TO LONG HOLLOW GOLF COURSE SHALL HAVE A MINIMUM SIZE OF 1,800 S.F. FOR A RANCH STYLE AND 2,000 S.F. FOR A 2 STORY.
 - A MINIMUM OF 70% OF THE 18,000 S.F. AND 15,000 S.F. LOTS SHALL HAVE SIDE OR REAR ENTRY 2-BAY GARAGES (EXCLUDING EXTENDED GARAGES).
 - VILLAGE UNITS (9,000 S.F. LOTS) SHALL BE 4 SIDED, 75% BRICK OR STONE EXTERIOR WALLS AND FOUNDATIONS SHALL BE OF THESE SAME MATERIALS TO GRADE WITH A MINIMUM OF 1,800 S.F. AND 2,000 S.F. IF A 2 STORY.
- FAIRWAY FARMS (C/A)**
- ALL LOTS SHALL BE 75% BRICK OR STONE EXTERIOR WALLS AND FOUNDATION SHALL BE OF THESE SAME MATERIALS TO GRADE.
 - ALL LOTS SHALL HAVE A MINIMUM GROUND FLOOR FOOTPRINT OF 1,400 S.F. IF A SECOND FLOOR IS CONSTRUCTED IT SHALL BE A MINIMUM OF 300 S.F.
- FAIRWAY FARMS (2/B)**
- NORTH BASED ON A PREVIOUS SURVEY BY BRUCE RAINEY & ASSOCIATES.
 - PROPERTY IS SHOWN AS PART OF PARCEL 40.01 ON SUMNER COUNTY PROPERTY MAP 114.
 - BING A PORTION OF THE SAME PROPERTY CONVEYED TO FAIRWAY FARMS DEVELOPMENT GROUP BY DEED OF RECORD IN R.B. 4018, PG. 756, R.O.S.C., TN.
 - PROPERTY IS ZONED R15 PRD.
 - ACCORDING TO F.I.R.M. FLOOD MAP NO. 47165C0125G, DATED 4-17-12, A PORTION OF THIS PROPERTY LIES IN A FLOOD HAZARD AREA AS SHOWN HEREON AND LIES IN ZONE "AE".
 - OPEN SPACE TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
 - FAIRWAY FARMS DEVELOPMENT GROUP IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.
 - ALL CONSTRUCTION AND USE OF PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORD. 13.02.
 - SINKHOLE/INJECTION WELL TO BE EVALUATED BY GEOTECHNICAL ENGINEER WITH RECOMMENDATIONS TO BE SUBMITTED WITH CONSTRUCTION PLANS.

"AMENDED" PRELIMINARY MASTER DEVELOPMENT PLAN / REVISED FINAL MASTER DEVELOPMENT PLAN OF FAIRWAY FARMS PHASE 2 & PHASE 3

PROPERTY LOCATED NORTH OF LONG HOLLOW PIKE & WEST OF WENDING BOULEVARD IN THE CITY OF GALLATIN, 9th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE: SEPTEMBER 29, 2009
SCALE: 1" = 100'

OWNER/DEVELOPER: FAIRWAY FARMS DEVELOPMENT GROUP
147 MAPLE ROW BOULEVARD
HENDERSONVILLE, TN 37075

PREPARED BY: BRUCE RAINEY & ASSOCIATES
LAND DEVELOPMENT CONSULTANTS
116 MAPLE ROW BLVD.
HENDERSONVILLE, TN 37075
Phone 615-824-1012
Fax 615-824-1487

REV: 09/15/12
REV: 09/21/12
REV: 12/03/12
REV: 12/13/12
REV: 12/21/12
REV: 02/28/13
REV: 03/08/13
REV: 03/11/13
REV: 03/14/13
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