



**Gallatin Municipal-Regional Planning Commission
Work Session Agenda**

Monday, August 10, 2015

Dr. J. Deotha Malone Council Chambers; immediately following the Gallatin Municipal-Regional Planning Commission Special-Called meeting at 5 p.m.
Gallatin City Hall, 132 West Main Street

1. Presentation on electronic billboards by Lamar Advertising Company.
2. Discuss proposed minor amendment to the Savannah Marketplace Preliminary Master Development Plan and revision to the Kroger Marketplace Final Master Development Plan to install a metal canopy over four (4) parking spaces for "Clicklist" customers on property containing 18.22 (+/-) acres, located at 2011-2037 Nashville Pike (PC File #8-946-15).
3. Discuss proposed Preliminary Plat for the Jennings Park Subdivision for six (6) lots containing 4.16 (+/-) acres located at 703 Hartsville Pike (PC File #1-958-15B).
4. Discuss proposed administrative rezoning for property on South Water Avenue at Woods Ferry Road.
5. Discuss TAPA Fall Retreat in Chattanooga scheduled for September 30 - October 2, 2015.
6. Discuss proposed amendments to the Gallatin Zoning Ordinance. (Please bring your copy of the working draft amendments for discussion.)
7. List of active sureties (handout).
8. Other Business

SITE DEVELOPER:

KROGER LIMITED PARTNERSHIP I
2620 ELM HILL PIKE
NASHVILLE, TN 37214
PHONE: 615-871-2405
CONTACT: MR. BOBBY CAPERS

CIVIL ENGINEER:

PERRY ENGINEERING, LLC
100 NORTH MAIN ST., SUITE F
GOODLETTSVILLE, TN 37072
PHONE: 615-855-2220
CONTACT: MR. RANDY HARPER

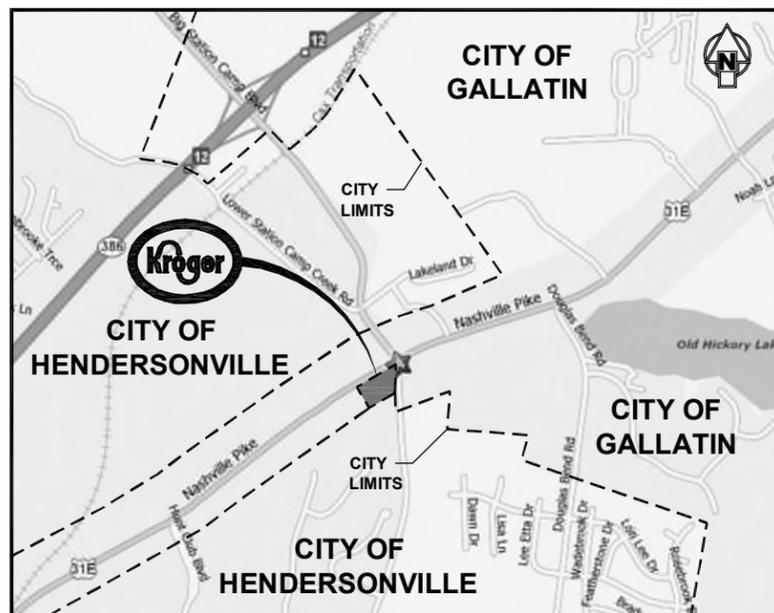


Know what's below.
Call before you dig.

CONSTRUCTION PLANS FOR



STORE #U-569 - CLICKLIST SAVANNAH MARKETPLACE 2011 NASHVILLE PIKE GALLATIN, TENNESSEE 37066 SUMNER COUNTY



VICINITY MAP
NOT TO SCALE

SITE DATA TABLE

GENERAL DATA:	
SUBDIVISION / DEVELOPMENT:	SAVANNAH MARKETPLACE
PHASE:	PHASE 1
TAX MAP / PARCEL:	TAX MAP 146, PARCEL 37.01
EXISTING ZONING:	PGC - PLANNED GENERAL COMMERCIAL
EXISTING USE:	GENERAL RETAIL SALES AND SERVICES / CONVENIENCE SALES AND SERVICES
AREA OF SITE (OVERALL):	65.1 ACRES (2,835,756 S.F.)
PHASE I BULK REGULATIONS:	
AREA OF SITE:	18.222 ACRES (793,763 S.F.)
BUILDING S.F.:	123,426 S.F. (MARKETPLACE) + 171 S.F. (KIOSK)
MAXIMUM FLOOR AREA RATIO ALLOWED:	1.00
PROPOSED FLOOR AREA RATIO:	0.155
MINIMUM PARKING REQUIREMENT (4 SPA./1000 S.F.):	494 SPACES
PARKING PROVIDED:	572 SPACES
LOT WIDTH MINIMUM:	100'
LOT WIDTH PROVIDED:	1,052 L.F.
M.B.S.L. (FRONT):	50' (ARTERIAL - NASHVILLE PIKE)
M.B.S.L. (EAST SIDE):	40' (COLLECTOR - CAGES BEND ROAD)
YARDS (FRONT):	25' (50% OF REQ'D M.B.S.L. - NASHVILLE PIKE)
YARDS (EAST SIDE):	20' (50% OF REQ'D M.B.S.L. - CAGES BEND ROAD)
YARDS (REAR):	40' (ABUTTING R-40 ZONING, CITY OF H'VILLE)*
* 10' OF YARD WIDTH TO BE IN THE CITY OF GALLATIN	
* 30' OF YARD WIDTH TO BE IN THE CITY OF HENDERSONVILLE	
BUFFERYARDS (FRONT):	20' (ALONG NASHVILLE PIKE)
BUFFERYARDS (EAST SIDE):	12' (ALONG CAGES BEND ROAD)
BUFFERYARDS (REAR):	40' (ABUTTING R-40 ZONING, CITY OF H'VILLE)*
* 10' OF BUFFERYARD WIDTH TO BE IN THE CITY OF GALLATIN	
* 30' OF BUFFERYARD WIDTH TO BE IN THE CITY OF HENDERSONVILLE	
BUILDING HEIGHT MAXIMUM:	40' + 1.5' FOR EACH FT. FROM BLDG. SETBACK
BUILDING HEIGHT PROPOSED:	25' (PARAPET) 41'-7" (GABLE)
GREENSPACE (REQUIRED):	59,532 S.F. OR 1.37 ACRES (7.5%)
GREENSPACE (PROPOSED):	297,395 S.F. OR 6.83 ACRES (37.5%)
APPLICANT: RANDY HARPER, P.E. PERRY ENGINEERING, LLC 100 NORTH MAIN STREET, SUITE F GOODLETTSVILLE, TENNESSEE 37072 PHONE: (615) 855-2220 FAX: (615) 855-2221	OWNER / DEVELOPER: MR. BOBBY CAPERS KROGER 2620 ELM HILL PIKE NASHVILLE, TN 37214 PHONE: (615) 871-2405 FAX: (615) 871-2409
CONSTRUCTION SCHEDULE (PHASE I):	ESTIMATED START DATE: SEPTEMBER 2015 ESTIMATED END DATE: NOVEMBER 2015
STATEMENT OF FINANCIAL RESPONSIBILITY:	KROGER WILL BE FINANCIALLY RESPONSIBLE FOR THE PROJECT.

LIST OF DRAWINGS:

C-0.1	COVER SHEET
C-1.1	NOTES
C-1.2	NOTES
C-2.1	SITE PLAN
C-3.1	GRADING & UTILITY PLAN
C-4.1	DETAILS
A-1.1	ELEVATIONS
A-1.2	BUILDING ELEVATIONS
A-1.3	RENDERING

SHEET NUMBER
C-0.1

COVER
KROGER MARKETPLACE - CLICKLIST - STORE # U-569
SAVANNAH MARKETPLACE (U.S. HWY. 31E)
GALLATIN, SUMNER COUNTY, TENNESSEE 37066

SCALE: 1"=30'
DATE: 07/29/2015
PROJ. #: 125-145

THE KROGER COMPANY
MID-SOUTH OFFICE
2620 ELM HILL PIKE
NASHVILLE, TN 37214
PH 615-871-2403



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100 NORTH MAIN STREET, SUITE F
GOODLETTSVILLE, TENNESSEE 37072
(615) 855-2220 (V)
(615) 855-2221 (F)

GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. CONTRACTOR SHALL VERIFY THAT ACTUAL SITE CONDITIONS ARE CONSISTENT WITH THE EXISTING CONDITIONS DEPICTED ON THE CONSTRUCTION PLANS. DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER PRIOR TO BIDDING AND PRIOR TO STARTING CONSTRUCTION. SUBMITTAL OF BID SHALL INDICATE THAT THE CONTRACTOR ACCEPTS THE ACTUAL SITE CONDITIONS AS MATCHING THE EXISTING CONDITIONS DEPICTED ON THE CONSTRUCTION PLANS
3. THE CONTRACTOR SHALL EMPLOY A UTILITY LOCATION COMPANY TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
4. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
5. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. MILL ALL EDGES OF EXISTING PAVEMENT AT TIE-IN POINT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT. ENSURE POSITIVE DRAINAGE IN AREAS TO BE MILLED.
6. CONCRETE PAVEMENT EXPANSION JOINT MATERIAL TO BE RIGID POLYSTYRENE EXTRUSION MATERIAL, I.E. ZIP STRIP OR APPROVED EQUAL.
7. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, TREES, UTILITIES, AND STRUCTURES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE AT NO ADDITIONAL COST TO THE OWNER.
8. ALL DAMAGE TO EXISTING ASPHALT OR CONCRETE PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE. THIS INCLUDES, BUT IS NOT LIMITED TO ANY CHIPPING OR CRACKING ON THE CONCRETE SIDEWALKS, ESPECIALLY IN THE AREA OF THE CONCRETE SIDEWALK REMOVAL AND REPLACEMENT.
9. CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE CLASS "A" (4,000 P.S.I.), UNLESS OTHERWISE NOTED. PREFORMED FIBER EXPANSION JOINTS (1") SHALL BE PROVIDED WHERE SIDEWALKS OR PADS CONTACT WITH CIRCULAR CURB, BUILDINGS, AND RETAINING WALLS, (1/2") JOINTS TO BE USED AT ALL OTHER LOCATIONS. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT A MAXIMUM SPACING OF 25' TO MATCH TRANSVERSE JOINT MARKINGS. TRANSVERSE JOINT MARKINGS SHALL BE MADE TO FORM BLOCKS AS NEARLY SQUARE AS POSSIBLE.
10. ON-SITE PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND THE GEOTECHNICAL ENGINEERING REPORT AND T.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION. ALL PAVING WORK WITHIN PUBLIC RIGHT-OF-WAYS MUST MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION, AND TESTING REQUIREMENTS OF THE CITY OF MURFREESBORO DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
11. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
12. INSTALL SAFETY FENCING AS NECESSARY FOR SECURITY, SAFETY AND TRAFFIC PURPOSES.
13. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
14. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.

15. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AOC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
16. ALL CURB/ASSESSIBLE RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR GALLATIN BUILDING CODE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
17. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH ALL FEDERAL OSHA REGULATIONS. CONTRACTOR TO PAY PARTICULAR ATTENTION TO 29 CFR PART 1926, SUBPARTS M AND P.
18. THE ENGINEER AS REPRESENTATIVE OF THE OWNER, SHALL NOT GUARANTEE THE WORK OF ANY CONTRACTOR OR SUB-CONTRACTOR, SHALL HAVE NO AUTHORITY TO STOP WORK, SHALL NOT HAVE CHARGE OF THE WORK, SHALL NOT BE RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE JOB SITE, OR HAVE ANY CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENT, SCAFFOLDING, SUPPORTS, FORMS OR OTHER WORK AIDS.
19. ALL SIDEWALKS, EXISTING AND PROPOSED, ARE TO BE CONSTRUCTED AND/OR LEFT IN A CONDITION THAT MEETS OR EXCEEDS THE CITY OF GALLATIN PUBLIC WORKS STANDARDS.
20. ALL SYSTEMS, PRODUCTS AND INSTALLATIONS SHALL BE GUARANTEED AGAINST ANY DEFECTS FOR ONE YEAR FROM THE PROJECT OPENING DATE. CORRECTION OR REPLACEMENT OF DEFECTIVE MATERIALS AND WORKMANSHIP SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
21. CONTRACTOR IS TO ADJUST ALL EXISTING UTILITY CASTINGS TO PROVIDE FLUSH ELEVATION WITH SURROUNDING PROPOSED PAVEMENT ELEVATIONS.
22. CONTRACTOR IS TO ENSURE PROPER DRAINAGE TO ALL INLETS. CONTACT ENGINEER IF ADDITIONAL MILLING IS REQUIRED.
23. CONTRACTOR IS TO ENSURE POSITIVE DRAINAGE FROM ALL DOORS. REPORT ANY DISCREPANCY TO THE ENGINEER IMMEDIATELY.
24. PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND T.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
25. ALL ON-SITE PAVEMENT MARKINGS SHALL BE 4" PAINTED, USING WHITE LINES ON ASPHALT PAVING AND YELLOW LINES ON PORTLAND CEMENT CONCRETE PAVING, UNLESS NOTED OTHERWISE. ALL PAVEMENT MARKINGS IN RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
26. ALL SIDEWALKS, PROPOSED AND EXISTING, ARE TO BE CONSTRUCTED AND/OR LEFT IN A CONDITION THAT MEETS OR EXCEEDS CITY OF GALLATIN STANDARDS.
27. DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, UNLESS OTHERWISE NOTED.
28. ALL TRAFFIC CONTROL, INCLUDING MARKINGS, SIGNS, ETC. SHALL FOLLOW THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

BENCHMARK NOTE

SITE BENCHMARK IS LOCATED ON TOP CENTER OF MANHOLE COVER ALONG THE WESTERLY SIDE OF THE CAGES BEND ROAD JUST SOUTH OF KROGER'S PROPERTY ON CREEKSIDE HOMES LLC PROPERTY.
ELEV. = 461.00. N = 731,659.0781, E = 1,814,036.0781

FLOODPLAIN NOTE

THIS PROPERTY LIES WITHIN ZONE "X", AS DELINEATED ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA, COMMUNITY PANEL NOS. "47165 C0407 G & 47165 C0409 G", DATED: APRIL 17, 2014. ZONE "X" IS DEFINED UNDER "OTHER AREAS" AS BEING "AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOODPLAIN."

KROGER STANDARD NOTES:

1. UNDERGROUND SITE UTILITIES SHALL NOT BE LOCATED UNDER BUILDINGS, STRUCTURES, SIGNS, OR IN AREAS OF FUTURE BUILDING EXPANSION. NO UTILITY LINES ARE PERMITTED TO PASS THROUGH OR OVER THE KROGER FACILITY IN ORDER TO FEED ANOTHER BUILDING.
2. UNDERGROUND UTILITIES, CONDUITS, OR CABLES MUST BE LOCATED BELOW ANY PAVING AND AGGREGATE BASE (IN THE SUBGRADE) OR BELOW FROST DEPTH WHEN APPLICABLE. DEPTH AND HORIZONTAL SPACING MUST CONFORM TO LOCAL UTILITY AND CODE REQUIREMENTS.
3. ALL UTILITY LINES, CONDUITS, AND CABLES ARE INSTALLED, AT A MINIMUM, WITHIN FIVE (5) FEET OF A BUILDING'S PERIMETER WALL.
4. BUILDING CONTRACTOR SHALL COORDINATE ALL UTILITY TIE-INS WITH THE APPROPRIATE BUILDING CONTRACTOR, ARCHITECT, AND KROGER ENGINEER.
5. CONTRACTOR SHALL INSTALL "TRACER" WIRE IN NON-CONDUCTIVE UTILITY EXCAVATIONS SO THAT UTILITY LOCATION COMPANY CAN CONNECT SIGNAL GENERATOR TO THE GROUND WIRE AND THE UTILITY CAN BE SPECIFICALLY LOCATED AND DEPTH DETERMINED. INSTALL #10 GROUND WIRE AND STUB UP AT THE FACE OF THE BUILDING; TAP LOCATION, METER, OR FIRE HYDRANT, ETC. INSTALL "CODED" ALUMINUM UTILITY TAG AT EACH STUB UP.
6. CONTRACTOR WILL ONLY OPEN UTILITY TRENCHES REQUIRED FOR THAT DAY'S WORK. THE UTILITY TRENCHES WILL BE BACKFILLED AND COMPACTED AT THE END OF THE DAY'S WORK.
7. ALL PIPING WILL BE CAPPED AT THE END OF THE DAY'S WORK.
8. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS OF UTILITY METERS, BOXES, LINES AND TRANSFORMERS WITH APPROPRIATE UTILITY COMPANIES PRIOR TO ANY UTILITY RELATED WORK.
9. ONLY GALVANIZED RIGID OR PLASTIC CONDUIT SHALL BE USED. JOINTS SHALL BE SEALED TO PREVENT MOISTURE PENETRATION.
10. CONTRACTOR TO CONTACT APPROPRIATE UTILITY LOCATE COMPANY PRIOR TO ANY CONSTRUCTION.
11. CONTRACTOR SHALL VERIFY THAT ACTUAL SITE CONDITIONS ARE CONSISTENT WITH THE EXISTING CONDITIONS DEPICTED ON THE CONSTRUCTION PLANS, PRIOR TO BIDDING AND ALSO PRIOR TO CONSTRUCTION. DISCREPANCIES ARE TO BE REPORTED TO THE KROGER FACILITY ENGINEER PRIOR TO BIDDING OR STARTING CONSTRUCTION. COMMENCEMENT OF CONSTRUCTION SHALL INDICATE THAT THE CONTRACTOR ACCEPTS THE ACTUAL SITE CONDITIONS AS MATCHING THE EXISTING CONDITIONS DEPICTED ON THE CONSTRUCTION PLANS AND SHALL COMPLETE THE WORK AT BID COST.
12. ALL KROGER SUPPLIED EQUIPMENT SHALL BE RECEIVED, UNLOADED, STORED, AND PROTECTED ON SITE. CONTRACTOR SHALL INSPECT UPON RECEIPT FOR SHORTAGES, DAMAGES, OR DEFECTS AND NOTIFY KROGER WITHIN 24 HOURS. FAILURE TO REPORT SHORTAGES OR DAMAGED EQUIPMENT SHALL CONSTITUTE CONTRACTORS' ACCEPTANCE OF QUANTITY AND QUALITY OF EQUIPMENT.
13. ALL PAVEMENT MARKINGS, INCLUDING STRIPES, DIRECTIONAL ARROWS, ETC., SHALL BE SLIP RESISTANT PAINT (TWO COATS). ACCESSIBLE SYMBOL COLORS SHALL BE PER LOCAL CODE. APPROVED EXTERIOR PAINTS ARE AS FOLLOWS:
A. PRATT & LAMBERT TRAFFIC PAINT
B. SHERWIN-WILLIAMS PRO-MAR TRAFFIC PAINT B29 SERIES
C. GLIDDEN ROMARK TRAFFIC PAINT
D. PPG ZONE AND TRAFFIC MARKING PAINT
E. FOY-JOHNSTON TRAFFIC PAINT 9862
14. SITE CONTRACTOR TO COORDINATE ALL ACCESS, PARKING, AND STAGING AREAS WITH THE BUILDING GENERAL CONTRACTOR AND THE KROGER ENGINEER

SHEET
NUMBER

C-1.1

NOTES
KROGER MARKETPLACE - CLICKLIST - STORE # U-569
SAVANNAH MARKETPLACE (U.S. HWY. 31E)
GALLATIN, SUMNER COUNTY, TENNESSEE 37066

SCALE: 1"=30'
DATE: 07/29/2015
PROJ. #: 125-145

THE KROGER COMPANY
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100 NORTH MAIN STREET, SUITE 100
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(615) 856-2251 (V)
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GRADING, DRAINAGE, AND EROSION CONTROL NOTES:

1. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY OWNER'S REPRESENTATIVE AND CITY ENGINEER.
2. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK.
3. CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF A DETAILED ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ENGINEER SHOULD BE CONTACTED IMMEDIATELY PRIOR TO BEGINNING WORK.
4. CONTRACTOR SHALL REFER TO AND ADHERE TO THE RECOMMENDATIONS IN THE GEOTECHNICAL ENGINEERING REPORT, IF AVAILABLE
5. ANY MUD/CONSTRUCTION DEBRIS THAT MAY BE TRANSPORTED TO SURROUNDING ROADS OR PARKING AREAS SHALL BE CLEANED UP IMMEDIATELY.
6. SITE GRADES AROUND THE BUILDING AND PAVEMENT AREAS SHALL BE GRADED DURING CONSTRUCTION TO PREVENT PONDING. ANY SURFACE WATER ACCUMULATION IN THE BUILDING AND PAVEMENT AREAS SHALL BE DRAINED IMMEDIATELY TO AVOID SATURATION OF THE SUBGRADE SOILS.
7. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH ALL FEDERAL OSHA REGULATIONS. CONTRACTOR TO PAY PARTICULAR ATTENTION TO 29 CFR PART 1926, SUBPARTS M AND P.
8. ENGINEERED FILL SHALL BE COMPACTED AS SPECIFIED IN THE GEOTECHNICAL ENGINEERING REPORT.
9. CONTRACTOR IS ADVISED THAT FINAL GRADING AND CURB PLACEMENT SHALL BE COMPLETED TO ACCOMMODATE THE FOLLOWING:
 - A) NO WATER WILL POND AT POINTS WHERE LANDSCAPE ISLANDS EXTEND INTO PARKING FIELDS.
 - B) SPACES DESIGNATED FOR ACCESSIBLE PARKING AND ACCESS AISLE SHALL HAVE A FINAL SLOPE AFTER PAVING IS COMPLETED OF NOT MORE THAN 2.0% IN ANY DIRECTION. IF EITHER OF THESE ITEMS ARE NOT CONSTRUCTED AS OUTLINED ABOVE, REWORK WILL BE PROVIDED BY THE CONTRACTOR TO CORRECT DEFICIENCIES AT THE CONTRACTOR'S EXPENSE.
10. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE. SPOT ELEVATIONS SHOWN ALONG CURB LINE ARE FLOW ELEVATIONS FOR FACE OF CURB.
11. CONTRACTOR IS RESPONSIBLE FOR PROPER STORAGE OF ALL FLUIDS, ANY SPILLS ARE TO BE IMMEDIATELY REMEDIATED..
12. GENERAL CONTRACTOR SHALL KEEP GROUND DISTURBANCE TO THE MINIMUM REQUIRED TO COMPLETE THE PROJECT. ALL AREAS MUST BE TEMPORARILY OR PERMANENTLY STABILIZED IF DISTURBED AREA HAS NOT BEEN WORKED WITHIN THE PAST 14 DAYS.

GENERAL UTILITY NOTES

1. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH ALL FEDERAL OSHA REGULATIONS. CONTRACTOR TO PAY PARTICULAR ATTENTION TO 29 CFR PART 1926, SUBPARTS M AND P.
2. ELECTRIC UTILITY CONSTRUCTION SHALL COMPLY WITH GALLATIN DEPARTMENT OF ELECTRICITY SPECIFICATIONS.
3. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
4. CONTRACTOR SHALL COORDINATE INSPECTION WITH LOCAL UTILITY COMPANY.
5. ALL ELECTRICAL CONDUIT TO BE INSTALLED AND ROUTED ACCORDING TO CURRENT ELECTRIC AND NFPA CODES.
6. THE CONTRACTOR SHALL INCLUDE STEEL ROAD PLATES FOR TRENCH AREAS OF PROPOSED UTILITIES WHICH ARE NOT CORDONED OFF IN EXISTING PAVED AREAS. STEEL ROAD PLATES SHALL BE 1" THICK MIN. GRADE A36, CAPABLE OF H-20 LOADING, TO PROVIDE A COVER OVER AN OPEN EXCAVATION TO PROVIDE VEHICULAR OR PEDESTRIAN TRAFFIC PROTECTION. STEEL DRIVE PLATES MUST EXTEND A MINIMUM OF 2'-0" OVER THE TOP OF THE GROUND AT EACH END OR SIDES, AND BE SECURED AGAINST UPLIFT. ALL WORK MUST BE IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AND ANY STATE OR LOCAL REGULATIONS THAT MAY APPLY.
7. ALL SITE UTILITIES END 5'-0" FROM THE FACE OF THE BUILDING. SITE CONTRACTOR SHALL COORDINATE UTILITY TIE-INS TO BUILDING UTILITY LINES WITH THE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS AND WITH THE KROGER PROJECT MANAGER & BUILDING CONTRACTOR(S).

SHEET
NUMBER

C-1.2

NOTES

KROGER MARKETPLACE - CLICKLIST - STORE # U-569
SAVANNAH MARKETPLACE (U.S. HWY. 31E)
GALLATIN, SUMNER COUNTY, TENNESSEE 37066

SCALE: 1"=30'

DATE: 07/29/2015

PROJ. #: 125-145

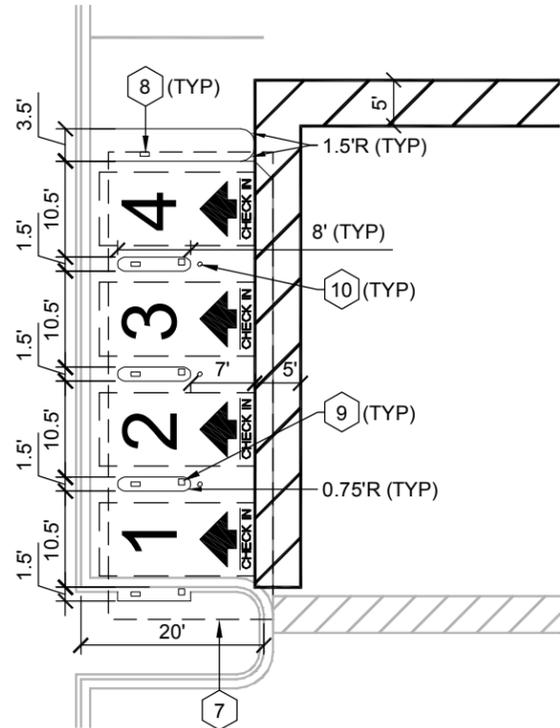
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CLICKLIST DETAILED AREA:

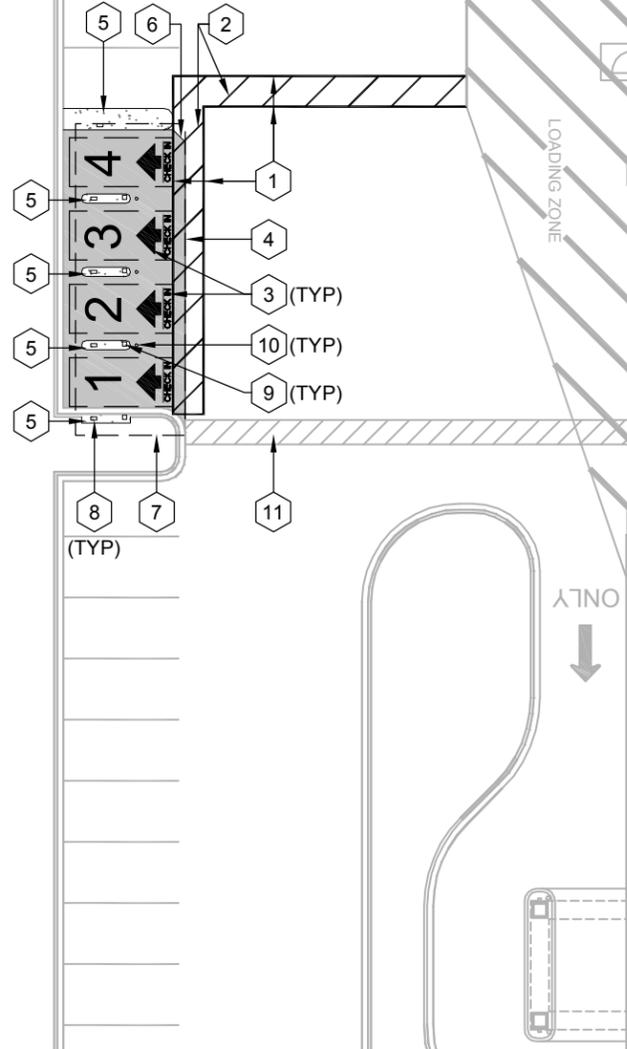
SCALE: 1 inch = 20 ft.



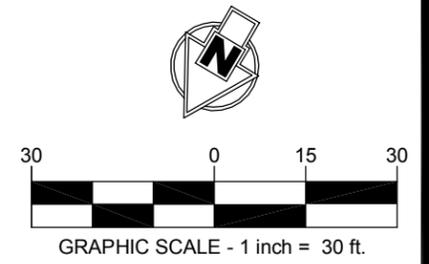
NOTE: DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, AND ALL RADII ARE 3', UNLESS OTHERWISE NOTED.

SITE KEY NOTES:

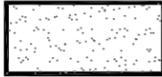
- 1 4" PAINTED SSYL
- 2 4" PAINTED SSYL @ 5' O.C.
- 3 YELLOW PAINTED PAVEMENT MARKINGS (REF. C-4.1)
- 4 CONCRETE PAVING TO LIMITS OF DISTURBANCE
- 5 CONCRETE FILLED ISLAND
- 6 2' CHAMFER
- 7 CLICKLIST CANOPY
- 8 CLICKLIST CANOPY COLUMN
- 9 CLICKLIST CALL BOX
- 10 4" SCH. 40 STEEL PIPE BOLLARD (CONCRETE FILLED)
- 11 SAWCUT AND REPLACE TRENCH PAVEMENT SECTION (REF C-4.1)



U-569



PAVING LEGEND

-  SAWCUT & REPLACE WITH LIKE MATERIALS
-  CONCRETE PAVEMENT
-  CONCRETE SIDEWALK SECTION

PARKING:

PARKING REQUIRED (4 SPA./1000 S.F.): _____ 494 SPACES
 PARKING PROVIDED (PRE-CLICKLIST): _____ 573 SPACES
 PARKING PROVIDED (POST-CLICKLIST): _____ 572 SPACES

SHEET NUMBER
C-2.1

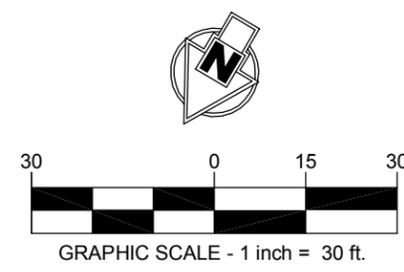
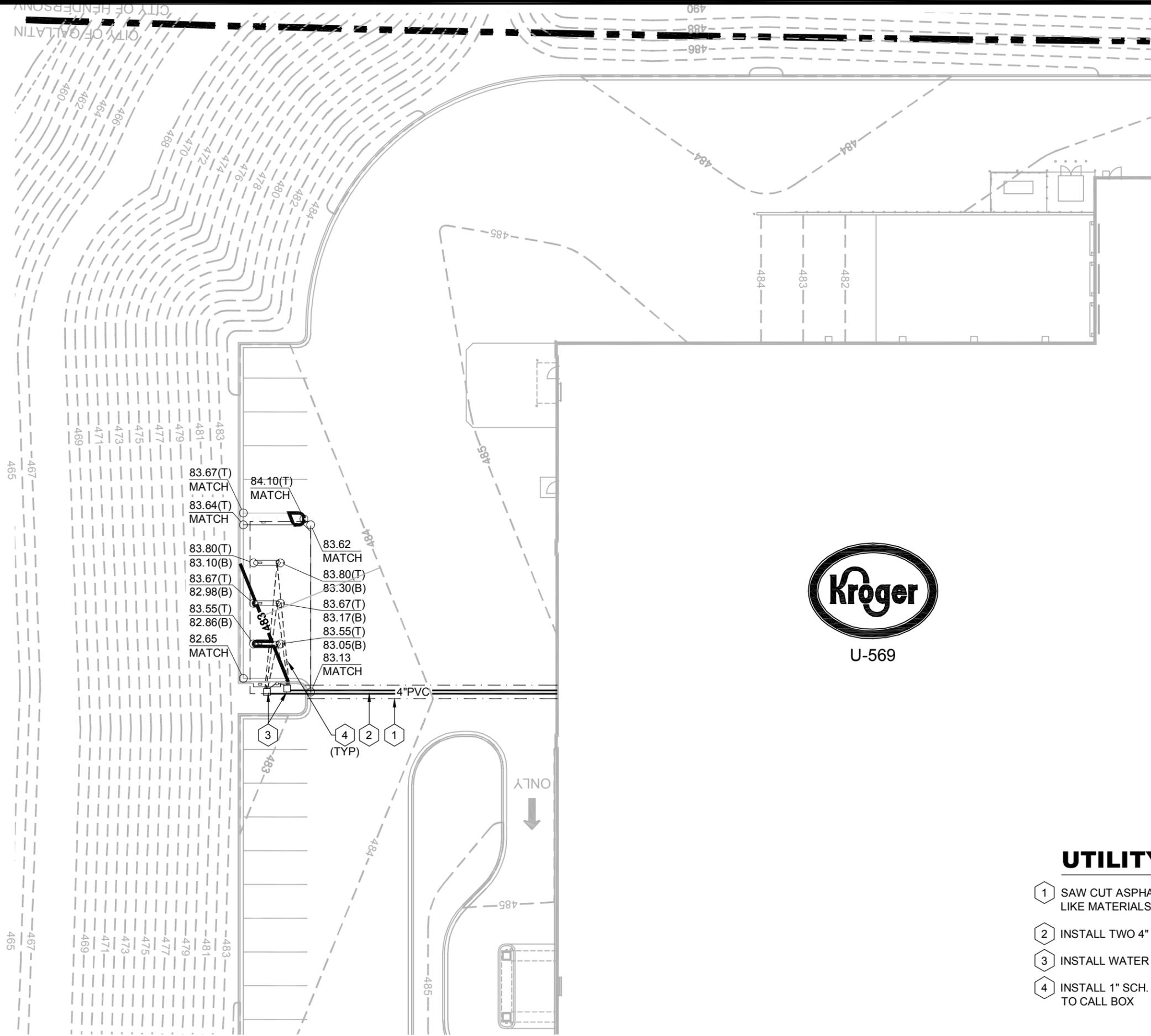
SITE PLAN
KROGER MARKETPLACE - CLICKLIST - STORE # U-569
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U-569

UTILITY KEY NOTES:

- 1 SAW CUT ASPHALT AND CONCRETE CURB & REPLACE WITH LIKE MATERIALS (REF. C-4.1)
- 2 INSTALL TWO 4" SCH. 40 PVC CONDUITS
- 3 INSTALL WATER TIGHT ELECTRICAL PULL-BOX
- 4 INSTALL 1" SCH. 40 PVC CONDUITS FROM EACH PULL-BOX TO CALL BOX

SHEET NUMBER
C-3.1

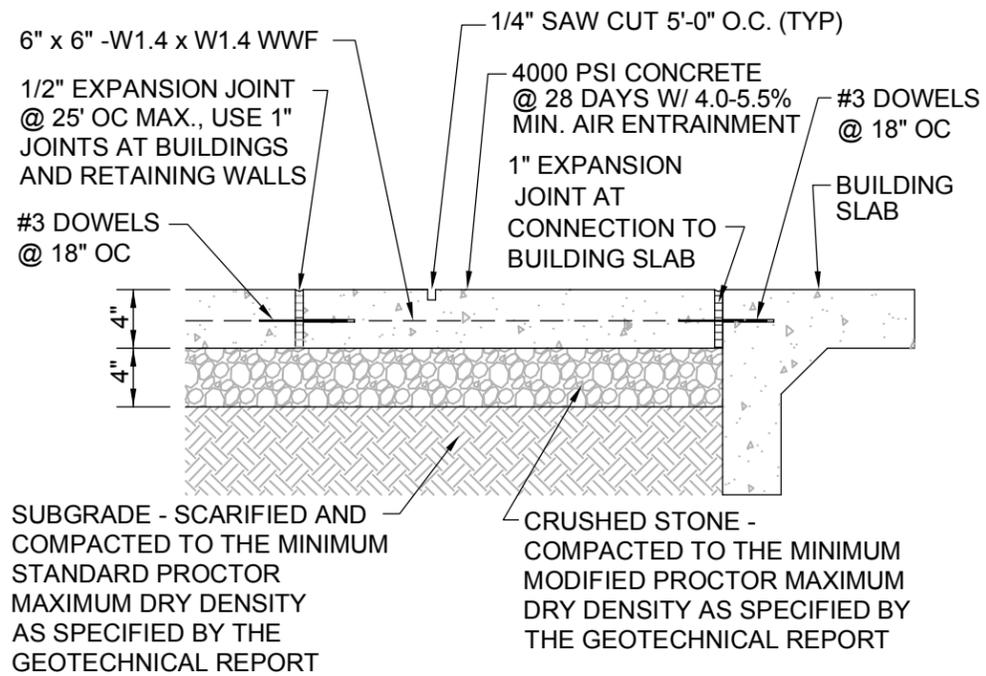
GRADING & UTILITY PLAN
KROGER MARKETPLACE - CLICKLIST - STORE # U-569
 SAVANNAH MARKETPLACE (U.S. HWY. 31E)
 GALLATIN, SUMNER COUNTY, TENNESSEE 37066

SCALE: 1"=30'
 DATE: 07/29/2015
 PROJ. #: 125-145

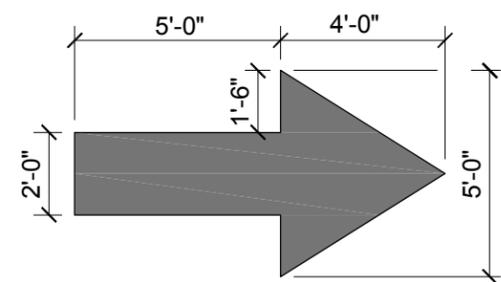
THE KROGER COMPANY
 MIDSOUTH OFFICE
 2620 ELM HILL PIKE
 NASHVILLE, TN 37214
 PH 615-871-2403



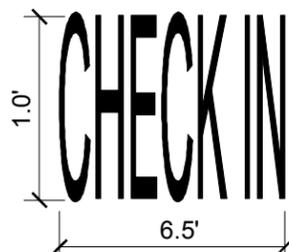
SPERRY ENGINEERING, LLC
 100 NORTH MAIN STREET, SUITE 400
 GOODLETTSVILLE, TENNESSEE 37072
 (615) 855-2251 (V)
 (615) 855-2210 (F)



CONCRETE SIDEWALK SECTION
NOT TO SCALE

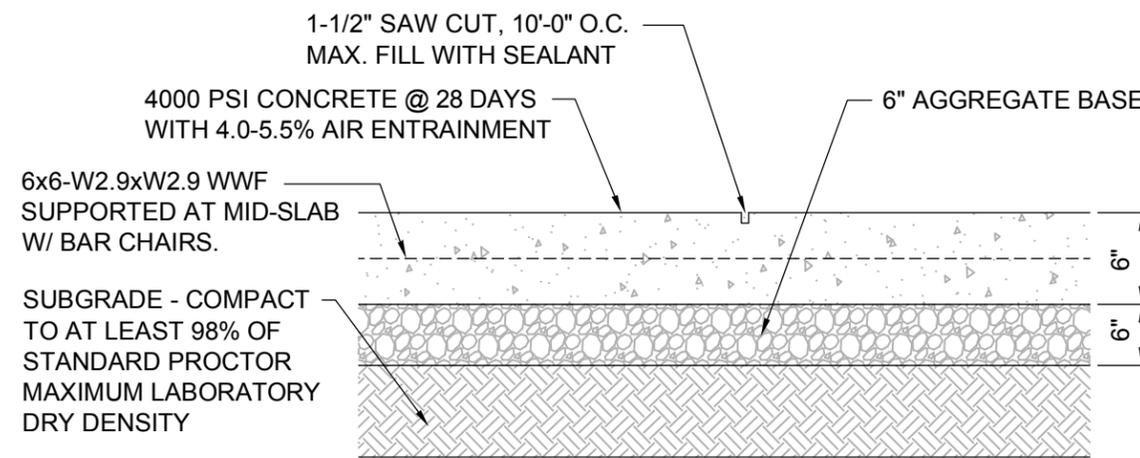


NOTE: PAVEMENT MARKING PAINT - ICI PAINTS, TRAFFIC MARKING PAINT #4800, COLOR - YELLOW OR APPROVED EQUAL.



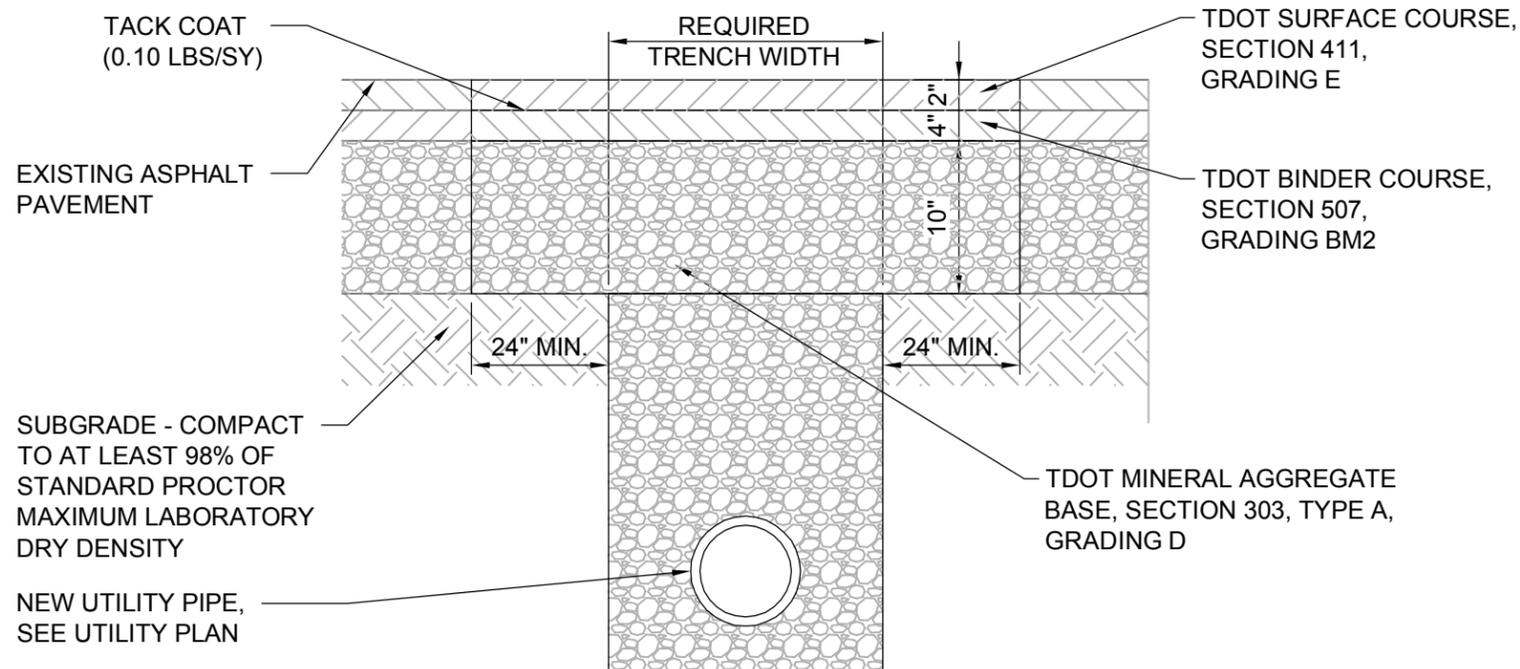
PAVEMENT MARKING DETAIL
NOT TO SCALE

NOTE:
MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH THE TDOT STANDARD SPECIFICATIONS, SECTION 501 FOR CONCRETE, AND SECTION 303 FOR BASE COURSE.



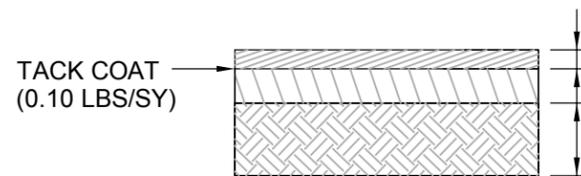
HEAVY-DUTY CONCRETE PAVEMENT DETAIL
NOT TO SCALE

NOTE:
MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH THE TDOT STANDARD SPECIFICATIONS, SECTION 903.05 FOR AGGREGATE BASE COURSE MATERIAL; SECTION 903.06 FOR HOT MIX ASPHALT BASE COURSE; AND SECTION 903.11 FOR SURFACE COURSE.



UTILITY TRENCH PAVEMENT REPAIR DETAIL
NOT TO SCALE

NOTE:
MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH THE TDOT STANDARD SPECIFICATIONS, SECTION 903.05 FOR AGGREGATE BASE COURSE MATERIAL; SECTION 903.06 FOR HOT MIX ASPHALT BASE COURSE; AND SECTION 903.11 FOR SURFACE COURSE.

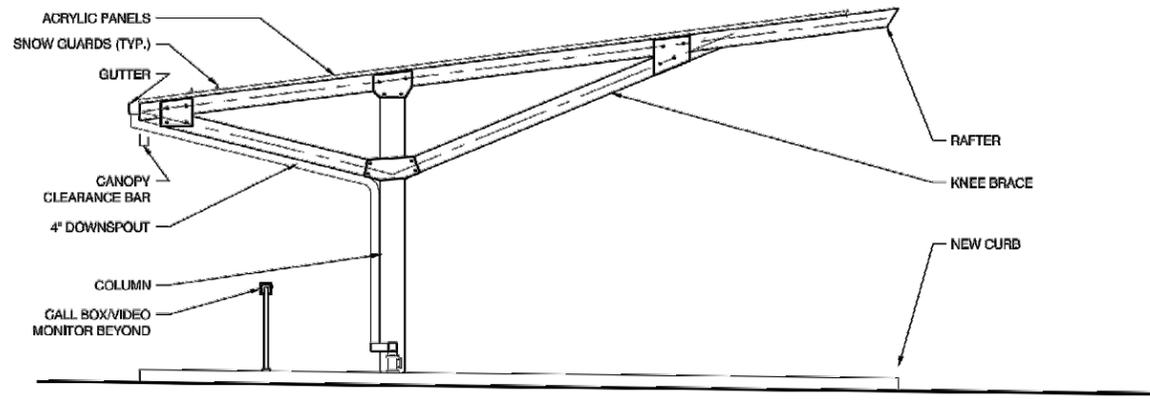


FLEXIBLE PAVEMENT RECOMMENDATIONS		
MATERIALS	ASPH. PAVEMENT SECTION THICKNESS (INCHES)	TENNESSEE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS
ASPHALTIC CONCRETE SURFACE COURSE	X=2"	SECTION 411, GRADING E
ASPHALTIC CONCRETE BINDER COURSE	Y=2"	SECTION 307, GRADING BM2
AGGREGATE BASE COURSE	Z=10"	SECTION 303, TYPE A, CLASS A, GRADING D

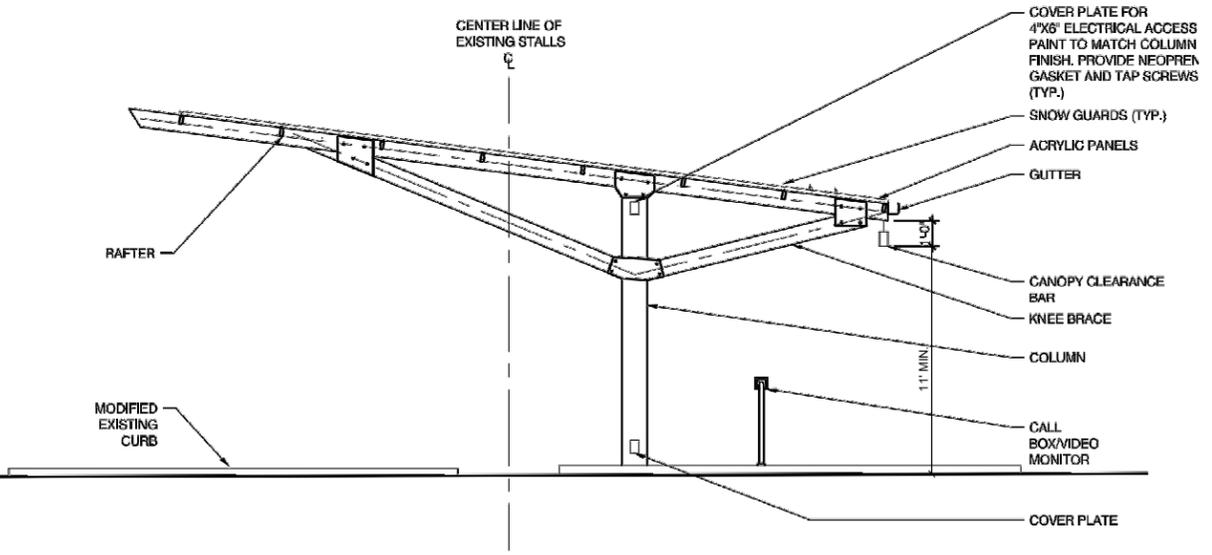
(a) COMPACTION DENSITY REQUIREMENTS BY MARSHALL METHOD SECTION 407

ASPHALT PAVING DETAIL
NOT TO SCALE

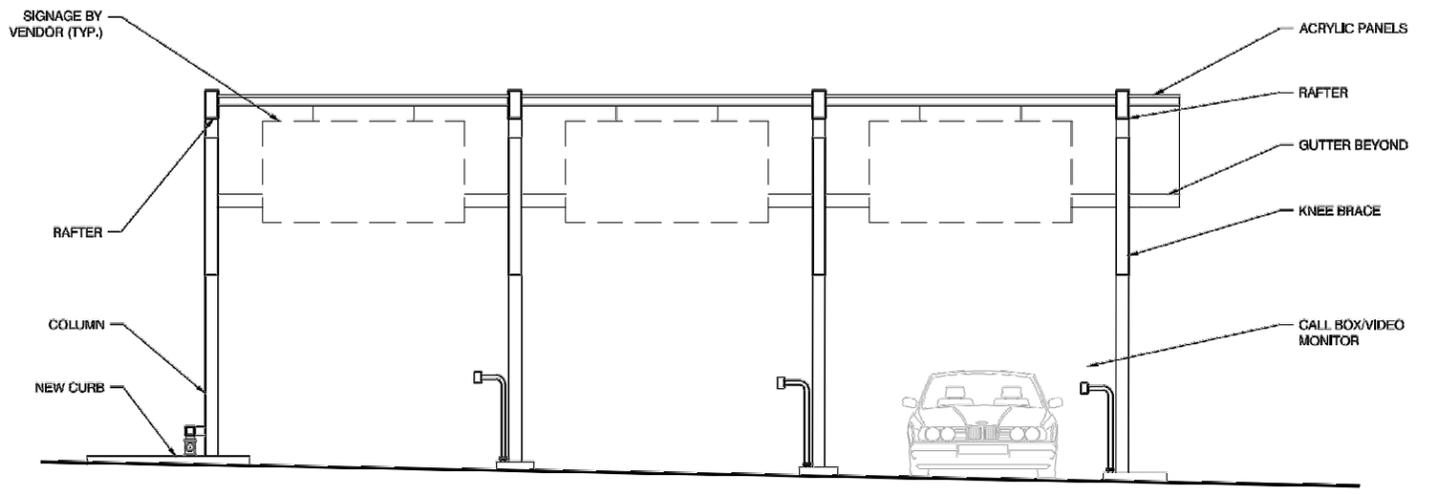




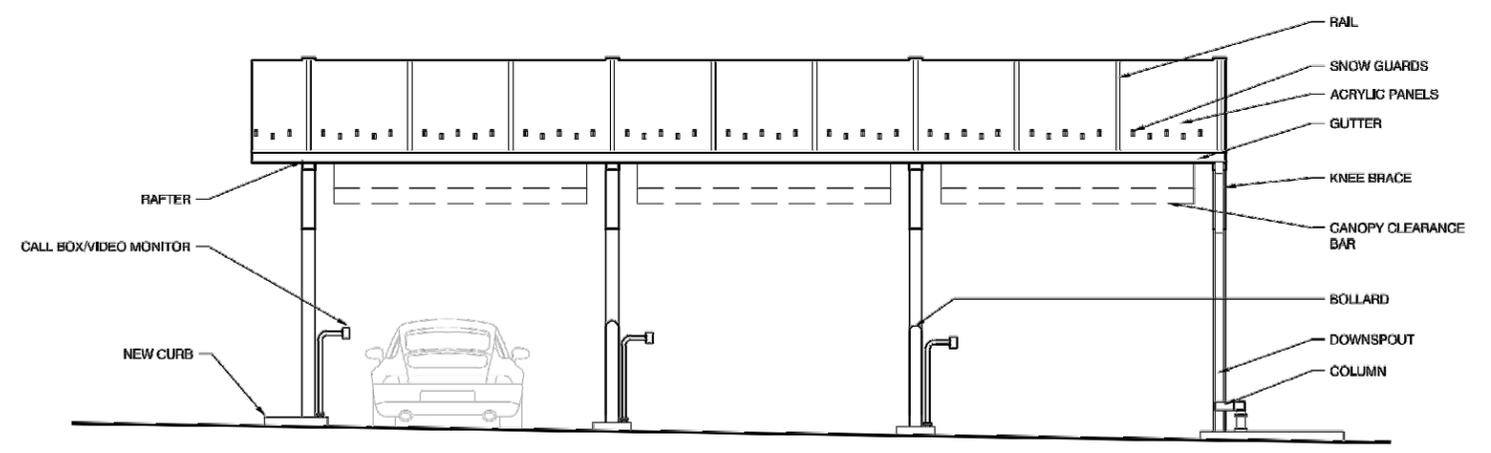
6 CLICKLIST SIDE ELEVATION
A1.1 SCALE: NOT TO SCALE



5 CLICKLIST SIDE ELEVATION
A1.1 SCALE: NOT TO SCALE

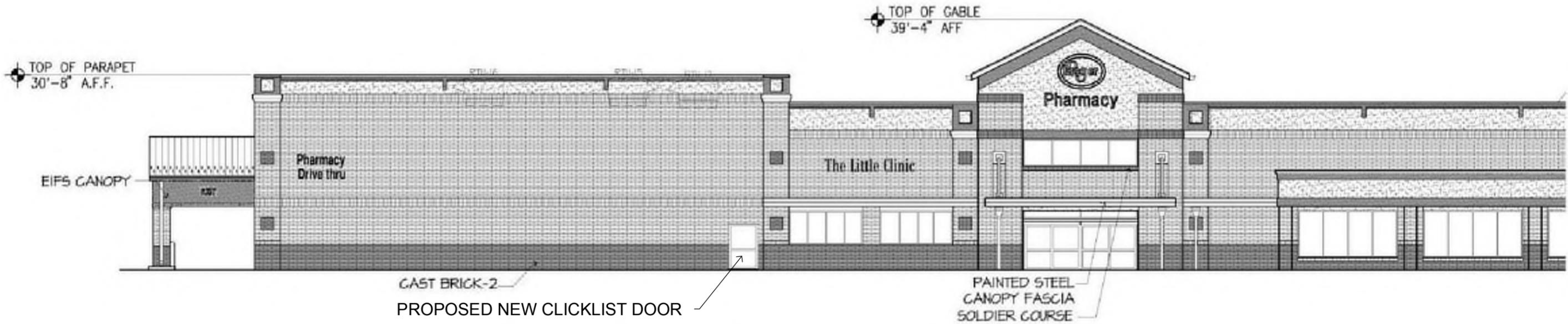


4 CLICKLIST FRONT ELEVATION
A1.1 SCALE: NOT TO SCALE



3 CLICKLIST REAR ELEVATION
A1.1 SCALE: NOT TO SCALE





I
 A1.1

FRONT ELEVATION

SHEET NUMBER
A-1.2

BUILDING ELEVATION
KROGER MARKETPLACE - CLICKLIST - STORE # U-569
 SAVANNAH MARKETPLACE (U.S. HWY. 31E)
 GALLATIN, SUMNER COUNTY, TENNESSEE 37066

SCALE: 1"=30'
 DATE: 07/29/2015
 PROJ. #: 125-145

THE KROGER COMPANY
 MIDSOUTH OFFICE
 2620 ELM HILL PIKE
 NASHVILLE, TN 37214
 PH 615-871-2403



SPERRY
ENGINEERING, LLC
100 NORTH MAIN STREET, SUITE 100
 GOODLETTSVILLE, TENNESSEE 37072
 (615) 855-2250 (F)
 (615) 855-2251 (F)



DESIGN
ENGINEERING
MANUFACTURING
CONSTRUCTION



SHEET
NUMBER
A-1.3

RENDERING
KROGER MARKETPLACE - CLICKLIST - STORE # U-569
SAVANNAH MARKETPLACE (U.S. HWY. 31E)
GALLATIN, SUMNER COUNTY, TENNESSEE 37066

SCALE: 1"=30'
DATE: 07/29/2015
PROJ. #: 125-145

THE KROGER COMPANY
MID-SOUTH OFFICE
2620 ELM HILL PIKE
NASHVILLE, TN 37214
PH 615-871-2403



PERRY
ENGINEERING, LLC
100 NORTH MAIN STREET, SUITE 200
GOODLETTSVILLE, TENNESSEE 37072
(615) 855-2250 (F)
(615) 855-2251 (O)



TENNESSEE ONE CALL
1 (800) 351-1111
CALL BEFORE DIGGING
IN THIS AREA



Know what's below.
Call before you dig.
NATIONAL ONE CALL
811
CALL BEFORE DIGGING
IN THIS AREA



60 0 30 60 120
GRAPHIC SCALE - 1 inch = 60 ft.

SITE DATA TABLE

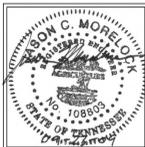
GENERAL DATA:	
SUBDIVISION / DEVELOPMENT:	SAVANNAH MARKETPLACE
PHASE:	PHASE 1
TAX MAP / PARCEL:	TAX MAP 146, PARCEL 37.01
EXISTING ZONING:	PGC - PLANNED GENERAL COMMERCIAL
EXISTING USE:	AGRICULTURAL
PROPOSED USE:	GENERAL RETAIL SALES AND SERVICES / CONVENIENCE SALES AND SERVICES
AREA OF SITE (OVERALL):	65.1 ACRES (2,835,756 S.F.)
PHASE I BULK REGULATIONS:	
AREA OF SITE:	18,222 ACRES (793,763 S.F.)
BUILDING S.F.:	123,426 S.F. (MARKETPLACE) + 171 S.F. (KIOSK)
MAXIMUM FLOOR AREA RATIO ALLOWED:	1.00
PROPOSED FLOOR AREA RATIO:	0.155
MINIMUM PARKING REQUIREMENT (4 SPA/1000 S.F.):	494 SPACES
PARKING PROVIDED:	573 SPACES
PARKING EXCESS:	79 SPACES
LOT WIDTH MINIMUM:	100'
LOT WIDTH PROVIDED:	1,052 L.F.

SITE DATA TABLE (CONT'D)

GENERAL DATA:	
PHASE I BULK REGULATIONS (CONT'D):	
M.B.S.L. (FRONT):	50' (ARTERIAL - NASHVILLE PIKE)
M.B.S.L. (EAST SIDE):	40' (COLLECTOR - CAGES BEND ROAD)
YARDS (FRONT):	25' (50% OF REQ'D M.B.S.L. - NASHVILLE PIKE)
YARDS (EAST SIDE):	20' (50% OF REQ'D M.B.S.L. - CAGES BEND ROAD)
YARDS (REAR):	40' (ABUTTING R-40 ZONING, CITY OF HVILLE)*
* 10' OF YARD WIDTH TO BE IN THE CITY OF GALLATIN	
* 30' OF YARD WIDTH TO BE IN THE CITY OF HENDERSONVILLE	
BUFFERYARDS (FRONT):	20' (ALONG NASHVILLE PIKE)
BUFFERYARDS (EAST SIDE):	12' (ALONG CAGES BEND ROAD)
BUFFERYARDS (REAR):	40' (ABUTTING R-40 ZONING, CITY OF HVILLE)*
* 10' OF YARD WIDTH TO BE IN THE CITY OF GALLATIN	
* 30' OF YARD WIDTH TO BE IN THE CITY OF HENDERSONVILLE	
BUILDING HEIGHT MAXIMUM:	40' + 1.5' FOR EACH FT. FROM BLDG. SETBACK
BUILDING HEIGHT PROPOSED:	25' (PARAPET) 41'-7" (GABLE)
GREENSPACE (REQUIRED):	59,532 S.F. OR 1.37 ACRES (7.5%)
GREENSPACE (PROPOSED):	297,395 S.F. OR 6.83 ACRES (37.5%)

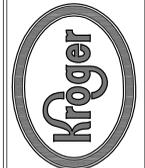
SITE DATA TABLE (CONT'D)

GENERAL DATA:	
APPLICANT:	JASON MORELOCK P.E. PERRY ENGINEERING, LLC 100 NORTH MAIN STREET, SUITE F GOODLETTSVILLE, TENNESSEE 37072 PHONE: (615) 855-2220 FAX: (615) 855-2221
OWNER / DEVELOPER:	MR. GRANT SKETO KROGER MIDSOUTH 2620 ELM HILL PIKE NASHVILLE, TN 37214 PHONE: (615) 871-2492 FAX: (615) 871-2406
	MR. DAN DOWNS SAVANNAH, LLC 2041 NASHVILLE PIKE GALLATIN, TN 37066 PHONE: (615) 206-0334
CONSTRUCTION SCHEDULE (PHASE I):	ESTIMATED START OF SITEMARK: JANUARY 2009 ESTIMATED START OF FOUNDATION: MARCH 2009 ESTIMATED START OF MASONRY: MARCH 2009 ESTIMATED START OF STRUCTURAL STEEL: MAY 2009 GRAND OPENING: NOVEMBER 2009
STATEMENT OF FINANCIAL RESPONSIBILITY:	KROGER MIDSOUTH AND SAVANNAH, LLC WILL BE FINANCIALLY RESPONSIBLE FOR THE PROJECT.

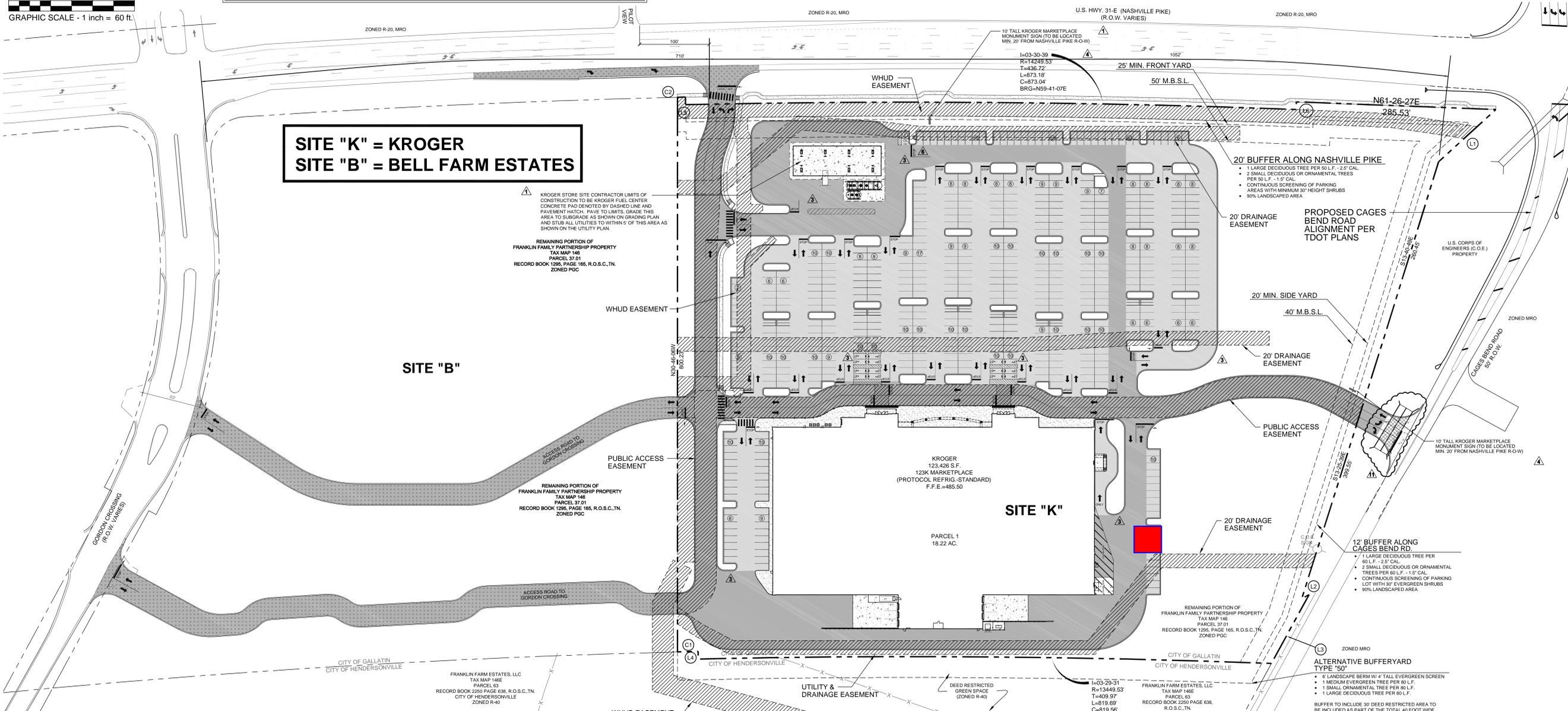


THE KROGER COMPANY
MIDSOUTH OFFICE
2620 ELM HILL PIKE
NASHVILLE, TN 37214
PH 615-871-2400

SITE IMPROVEMENTS FOR:
KROGER MARKETPLACE - STORE # L-569
SAVANNAH MARKETPLACE (U.S. HWY. 31E)
GALLATIN, SUMNER COUNTY, TENNESSEE



SITE "K" = KROGER
SITE "B" = BELL FARM ESTATES



GENERAL NOTES:

- THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
- CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE CLASS "A" (4,000 P.S.I.), UNLESS OTHERWISE NOTED. PREFORMED FIBER EXPANSION JOINTS (1/2") SHALL BE PROVIDED WHERE SIDEWALKS OR PADS CONTACT EXTERIOR BUILDING WALLS OR CONCRETE CURBS. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT A MAXIMUM SPACING OF 25' TO MATCH TRANSVERSE JOINT MARKINGS. TRANSVERSE JOINT MARKINGS SHALL BE MADE TO FORM BLOCKS AS NEARLY SQUARE AS POSSIBLE.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- ALL RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.

GENERAL NOTES (CONTINUED):

- IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AOC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- ALL HANDICAP PARKING SPACES ARE TO RECEIVE A HANDICAP SIGN AND HANDICAP SYMBOL PAINTED ON THE PAVEMENT. STALLS ADJACENT TO 8' WIDE STRIPED AISLES ARE TO RECEIVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE ABOVE.
- ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR GALLATIN BUILDING CODE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
- PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND T.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, AND GEOTECHNICAL ENGINEERING REPORT.
- THE ENGINEER AS REPRESENTATIVE OF THE OWNER, SHALL NOT GUARANTEE THE WORK OF ANY CONTRACTOR OR SUB-CONTRACTOR, SHALL HAVE NO AUTHORITY TO STOP WORK, SHALL NOT HAVE CHARGE OF THE WORK, SHALL NOT BE RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE JOB SITE, OR HAVE ANY CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENT, SCAFFOLDING, SUPPORTS, FORMS OR OTHER WORK AIDS.
- RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO THE VENDOR'S PLANS FOR RETAINING WALL AND RAILING DETAILS. RAILING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT ARE GREATER THAN OR EQUAL TO 30 INCHES.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- ALL PARKING SPACE STRIPING TO BE PAINTED YELLOW.

TRAFFIC CONTROL NOTES:

- WHENEVER CONSTRUCTION OPERATIONS ENCRUACH ON THE RIGHT-OF-WAY OF ADJACENT ROADWAYS, TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS.
- NO MATERIALS OR EQUIPMENT SHALL BE STORED OR STOCKPILED WITHIN THE RIGHT-OF-WAY OF ADJACENT ROADWAYS.
- ALL TRAFFIC CONTROL, INCLUDING MARKINGS, SIGNS, ETC. SHALL FOLLOW THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

FLOODPLAIN NOTE

THIS PROPERTY LIES WITHIN ZONE "X", AS DELINEATED ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA, COMMUNITY PANEL NOS. "47165 0040 E & 47165 0040 E", DATED: SEPTEMBER 20, 2006. ZONE "X" IS DEFINED UNDER "OTHER AREAS" AS BEING "AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOODPLAIN."

LINE TABLE

NO.	BEARING	DIST.
1	S16-34-47W	111.46'
2	N29-47-42E	12.09'
3	S02-14-33E	113.02'
4	N32-04-13W	11.00'
5	S32-04-13E	11.00'
6	N29-33-33W	11.00'

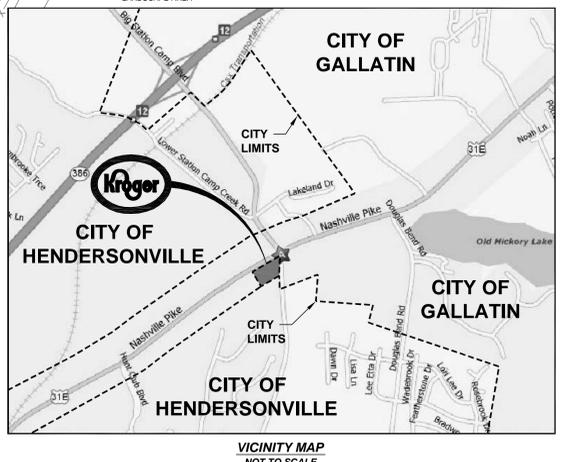
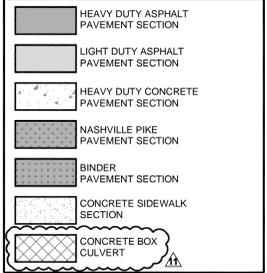
CURVE DATA

NO.	DELTA	RADIUS	TANGENT	LENGTH	CHORD	BEARING
C1	00-07-32	13460.53	14.76'	29.52'	29.52'	S57-52-01W
C2	00-02-44	14260.53	5.67'	11.34'	11.34'	N57-54-25E

PERFORMANCE STANDARDS NOTE:

THIS SITE PLAN WILL MEET ALL APPROPRIATE PERFORMANCE DESIGN STANDARDS PER ARTICLE 13.00 OF THE GALLATIN ZONING ORDINANCE.

PAVING LEGEND:



REVISIONS:	
▲	12/15/08 ADDENDUM 1
▲	03/25/09 CHANGE ORDER 1
▲	05/08/09 CHANGE ORDER 2
▲	06/22/09 CHANGE ORDER 4
▲	08/23/09 CHANGE ORDER 6

PROJ. NO.: 125-003

Overall Site Plan

C-4.0

DATE: 12-01-08
SUBM: BID SET

RBI
STRUCTURES

DESIGN
ENGINEERING
MANUFACTURING
CONSTRUCTION

RECEIVED
JUL 29 2015
GALLATIN PLANNING
& ZONING



ITEM 2

8-946-15

SHEET
NUMBER
A-1.3

RENDERING
KROGER MARKETPLACE - CLICKLIST - STORE # U-569
SAVANNAH MARKETPLACE (U.S. HWY. 31E)
GALLATIN, SUMNER COUNTY, TENNESSEE 37066

SCALE: 1"=30'
DATE: 07/29/2015
PROJ. #: 125-145

THE KROGER COMPANY
MID-SOUTH OFFICE
2620 ELM HILL PIKE
NASHVILLE, TN 37214
PH 615-871-2403



PERRY
ENGINEERING, LLC
1000 BIRCHWOOD DRIVE
COLUMBIA, TN 38401
PH 615-871-2403

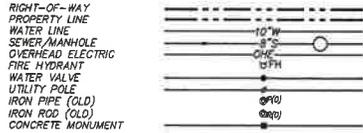
UTILITY NOTE:

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE IT IS A REQUIREMENT, PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE OR MORE THAN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 1-815-355-1987 OR 1-800-351-1111.

WARNING

THIS SURVEY WAS PREPARED FOR THE BENEFIT OF THE PARTY OR PARTIES NAMED HEREON AND IS INTENDED FOR THEIR SOLE USE. OTHER PARTIES ARE ADVISED NOT TO RELY UPON THIS USE OF THIS DRAWING BY PARTIES OTHER THAN THOSE LISTED HEREON IS UNAUTHORIZED AND CONSTITUTES A VIOLATION OF FEDERAL COPYRIGHT LAWS.

LEGEND

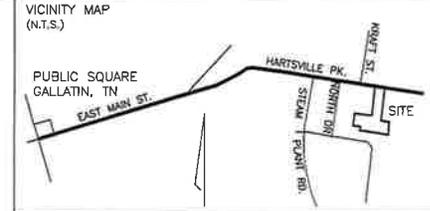
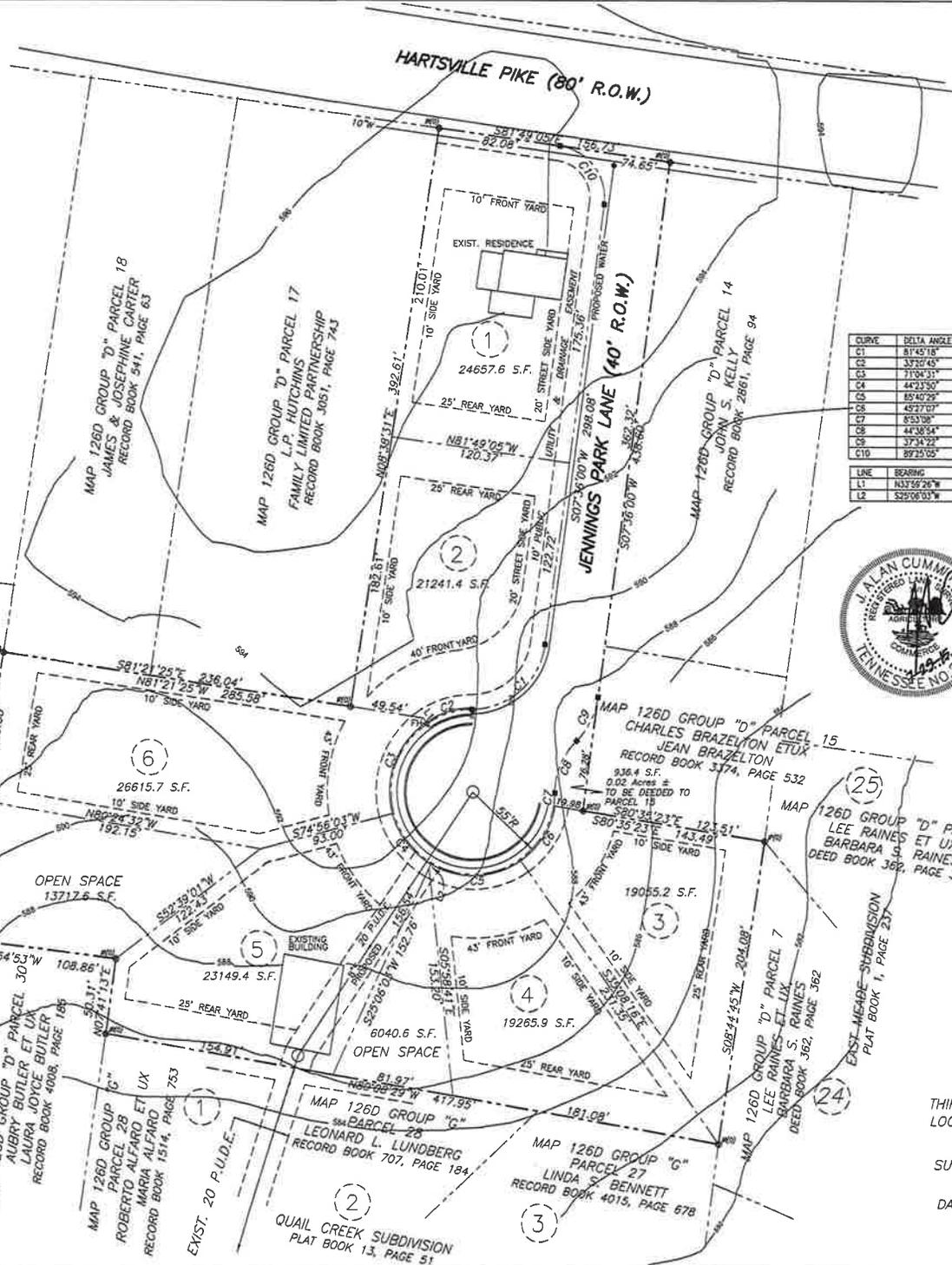


CUL DE SAC SECTION

R.O.W. RADIUS: 55'
PAVEMENT RADIUS: 45'
1' CURB
5" GRASS STRIP
5' SIDEWALK



GRID NORTH (N. SPC NAD 83)



- NOTES:**
- The purpose of this plat is to create 6 residential lots.
 - This survey was done without the benefit of a title commitment.
 - Base of bearings: Tennessee State Plane Coordinate System, Zone 4100, NAD 83 (1995), derived using the TDOT GNSS Network on 7/24/15.
 - Subject property does not lie in a DHS/TDMA Special or 500-year Flood Hazard Area per Community Panel No. 4716SC031502 dated April 17, 2012.
 - This is a Category 1 survey and the ratio of precision of the unadjusted survey is at least 1:10,000 as shown hereon.
 - The two foot interval contours shown hereon were taken from Parcel 126 of the City of Gallatin aerial topo and does not represent a field run survey.

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	81°45'18"	50.00	71.34	S48°28'59"W	85.44	43.26
C2	33°20'45"	50.00	32.01	S72°40'58"W	31.58	16.47
C3	71°04'31"	50.00	68.23	S22°28'18"W	63.94	33.29
C4	44°23'32"	50.00	42.62	S37°15'32"E	41.56	22.44
C5	85°40'22"	50.00	63.04	N87°18'58"E	59.63	38.50
C6	45°27'07"	50.00	43.63	N33°08'07"E	42.50	23.04
C7	83°30'08"	50.00	8.53	N04°58'02"E	8.52	4.27
C8	44°38'54"	50.00	38.98	N22°50'59"E	37.98	20.53
C9	37°34'22"	50.00	32.78	N26°33'11"E	32.20	17.01
C10	89°25'05"	50.00	34.62	S37°08'32"E	49.25	34.85

LINE	BEARING	DISTANCE
L1	N33°59'26"W	4.34
L2	S25°06'03"W	3.78

SITE DATA TABLE

OWNER: SHERRILL HILL
1057 CRAIGFORD ESTATES, GALLATIN, TN 37066
RECORD BOOK 3111, PAGE 685 R.O.S.C.T.
DEVELOPER: PROGRESS LAND COMPANY, LLC
509 INDIAN MOUND, GOODLETTSVILLE, TN 37072
(615) 533-5233

LOTS: 6 ONE-FAMILY DETACHED RESIDENTIAL LOTS
ZONING: R15(PUD)
AREA: 4.16 ACRES
MAP 126D "D" PARCEL 16
ADDRESS: 703 HARTSVILLE PIKE
YARD REQUIREMENTS:
FRONT: 40'
SIDE: 10'
REAR: 25'

TOTAL ROW AREA: 0.61 ACRES
TOTAL OPEN SPACE: 0.45 ACRES
TO BE OWNED AND MAINTAINED BY THE ELK ACRES HOMEOWNER'S ASSOCIATION
MAX. FLOOR AREA: 31 x 2000 = 1.42 ACRES
BUILDING HEIGHT: 1 & 2 STORY (MAXIMUM HEIGHT: 35')
MINIMUM LOT WIDTH AT BUILDING SETBACK: 75'
EXISTING USE: 5 LOTS VACANT, 1 LOT EXISTING RESIDENCE
PROPOSED USE: ONE-FAMILY DETACHED
OVERALL DENSITY: 1.4 UNITS/ACRE
GROUND COVERAGE: GRASS
PLAT PREPARED BY:
CRAWFORD & CUMMINGS, PC
1929 21ST AVENUE SOUTH
NASHVILLE, TN 37212
DATE OF PREPARATION: JULY 29, 2015

ENDORSEMENT OF PLANNING COMMISSION APPROVAL
APPROVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION WITH SUCH EXCEPTIONS OR CONDITIONS AS ARE INDICATED IN THE MINUTES OF THE PLANNING COMMISSION ARE:



THIS PRELIMINARY PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THIS SUBMISSION IN FINAL FORM AND DOES NOT CONSTITUTE APPROVAL FOR RECORDING OF THE PLAT.

**PRELIMINARY PLAT
JENNINGS PARK**

CITY OF GALLATIN
THIRD CIVIL DISTRICT - SUMNER COUNTY, TENNESSEE
LOCATED NEAR THE INTERSECTION OF U.S. HWY. 31-E AND NORTH DRIVE
SUMNER COUNTY MAP 126D GROUP "D" PARCEL 16
CONTAINING 4.16 ACRES ±
DATE: 7-29-2015 CCPC JOB NO. 15-



1-958-158

ITEM 4

ARTICLE 8.00 PROVISIONS FOR COMMERCIAL DISTRICTS

08.00 General Purpose and Intent of Commercial Districts

The commercial districts established by this Ordinance are designed to promote and protect the health, safety, morals, convenience, order, prosperity, and other aspects of the general welfare. They are further designed to provide space for the many and diverse types of commercial activity needed to serve people and industry and maintain the economic base of the City of Gallatin, preserve and enhance property values and promote the constructive improvement and orderly growth of the existing well-located commercial centers and districts, prevent indiscriminate mixture of commercial activity within commercial areas and the scattering of commercial uses in the residential and agricultural districts, protect adjacent residential areas from offensive and detrimental influences, and promote the most efficient and desirable use of land. Within each commercial district, all uses are subject to the performance standards established in Article 13.00 of this Ordinance and shall not make an adverse impact at the zone lot line which would exceed such performance standards.

B. Permitted Accessory Uses and Structures

1. Signs as permitted in Section 13.07.
2. Accessory off-street parking facilities as required in Article 11.00.
3. Facilities and buildings customarily incidental and appurtenant to a permitted use.

C. Conditional Use

1. Dwelling, Upper Story Residential
2. Limited Child and Adult Care

D. Prohibited Uses and Structures - Any uses or structures not of a nature specifically permitted herein, and any use not conforming to the performance standards set forth in Article 13.00 of this Ordinance are prohibited.

08.01.020 Bulk Regulations

A. Maximum Lot Coverage - 75 percent

B. Height Control - The maximum height of all buildings located within the CC District shall be established as set forth below:

1. The maximum height of a front wall or other portion of a building or other structure at the street line shall be 35 feet above the curb level.
2. For each foot the building is set back from the street line the height of the building may be increased by 1.5 feet.

C. Maximum Floor Area Ratio - 5.0

08.01.030 Area Regulations

A. Minimum Lot Size - Within the CC District, there is no minimum lot size except for residential activities which shall have a minimum lot size of 10,000 square feet. Dwelling, upper story residential, is excluded from this requirement.

B. Required Yards - Within the CC Districts, no yards, as such, are required. However, if an open area extending along a side lot line is provided, it shall be at least ten (10) feet wide, and it shall be unobstructed from the ground to the sky.

C. Minimum Development Area Per Dwelling Unit - Within the CC District, no dwelling unit shall be permitted on a zone lot with a total development area of less than two thousand (2,000) square feet per dwelling unit, with the exception of upper story residential development proposals. However, each upper story residential dwelling unit shall have a minimum floor area of 500 square feet.

08.02 Intent and Purpose of the CS - Commercial Services District

This class of district is designed to provide for a wide range of commercial uses concerned with retail trade and consumer services; amusement and entertainment establishments; automotive and vehicular service establishments; transient sleeping accommodations; drive-in stores, eating and drinking places; financial institutions; and offices. The uses in this district service a wide market area and, therefore, ease of automotive access is a requirement. However, it is not intended that this district permit uses which generate large volumes of truck traffic. Appropriate open space between commercial and residential areas is required.

08.02.010 Uses and Structures

- A. Principal Permitted Uses and Structures - Within the Commercial Service Districts as shown on the Gallatin Municipal and Regional Zoning Maps, the following activities, as described in Section 03.07 are permitted:

Community Facility Activities

- Essential Service
- Non-assembly Cultural
- Administrative

Commercial Activities

- Convenience Sales and Service
- Automotive Parking
- Automotive Servicing
- Transient Habitation
- Food Service
- Medical Service
- Financial, Consulting, and Administrative
- Undertaking Service
- General Retail Sales and Service
- Food Service - Drive-in
- Consumer Laundry and Repair
- Retail Business Supply
- Group Assembly-Limited
- Automotive Repair and Cleaning
- Animal Care
- Vehicular, Craft, and Related Equipment Sales,
Retail and Delivery
- Limited Newspaper and Periodical Printing
- General Personal Services

USE CLASSIFICATION TABLE / GALLATIN, TN
 (TABLE TO BE USED AS A REFERENCE **ONLY**)
 REFER TO THE CITY OF GALLATIN, TN ZONING ORD. 7/7/98, FOR OFFICIAL USE CLASSIFICATIONS

Section	LAND USE	ZONING DISTRICTS																							
		Residential							Commercial					Mixed Use					Industrial						
		A	R40	R20	R15	R10	R8	R6	PRD*	CC	CG	CS	CSL#	PGC	PNC	GO	OR*	MRO	MPO	MUG#	MUL#	MU	IR	IG	PBP*
3.05	Residential																								
10	Dwelling, One-Family Detached	P	P	P	P	P	P	P		P					C		P	P			C	C	P		
20	Dwelling, Attached					P	P	P		P						C	P	P			P	P	P		
30	Dwelling, Two Family Detached					C		P									C	P			C	C	P		
40	Dwelling, Mobile Home																								
50	Dwelling, Upper Story									C															
	* Bed & Breakfast Home	C	C	C	C	C	C	C																	
	* Dwelling, Multifamily				C	C	C	P		P							C	P			P	P	P		
	* Mobile Home Park							C													C				
3.06	Community Facilities																								
10	Administrative Services									P	P	P		P	P	P		P			P	P	P		
20*	Community Assembly	C	C			C	C	C		P				P	P	P		P			P	P	P		
30*	Community Education	C	C	C	C	C	C	C									P		P		C	C	P		
40*	Essential Services	P	P	P	P	P	P	P		P	P	P	P	P	P	P	P	P	P		P	P	P	P	P
50*	Extensive Impact										C									C				C	C
60*	Health Care	C												P	P	P				P					
70*	Intermediate Impact	C	C	C	C	C	C	C			C			C		P		C			C	C	C	C	C
80	Limited Child Care	C	C			C	C	C		C	C	C		P	P	P		C	C		P	P	P	C	C
90*	Non-assembly Cultural	C	C							P	P	P		P	P	P		P			P	P	P		
100	Nursing Home / Incl. Asst Living	C	C											P	P	P		P	P		C	C	P		
110	Place of Worship	C	C	C	C	C	C	C		P	C	C		P	P	P		P			P	P	P		
120*	Utility and Vehicular	C	C	C	C	C	C	C		P	P			C				C			C	C	P	P	P
3.07	Commercial Activities																								
10	Animal Care										P	P									P			P	P
20	Automotive Parking									P	P	P		P	P										
30	Automotive Repair & Cleaning										P	P		C											
	* Adult Entertainment																								P
	Vehicular, Craft & Related																								
40	Equipment Sales										P	P		P							P				
50	Automotive Servicing										P	P		P							P				
60	Business & Communication Service									P	P			P	P	P		P			P	P	P		
70	Construction Sales & Service																							P	P
80	Consumer Laundry & Repair									P	P	P									P	P			
90*	Convenience Sales & Services									P	P	P	P	P	P		C	C			P	P	C	P	P
	Financial, Consultive &																								
100	Administrative									P	P	P		P	P	P	P	P	P		P	P	P		
110	Food Service									P	P	P	P	P	P	P		P			P	P	P		
	Food Service Drive-In										P	P		P	P						P	P	P		P

Additional Use
 Zoning Ordinance for Additional Info.
 Districts after 7/7/98.

USE CLASSIFICATION TABLE / GALLATIN, TN
 (TABLE TO BE USED AS A REFERENCE **ONLY**)
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130	General Personal Services									P	P	P		P	P	P	P	P			P	P			
140 *	General Retail Sales & Services									P	P	P		P	P						P	P	P		
150	Group Assembly Extensive	C									C	C		C					C		P				C
160	Group Assembly Limited	C								P	P	P		P	P				C		P	P			C
170 *	Medical Office/Service									P	P	P		P	P	P	P	P	P	P	P	P	P	P	P
180	Research Service										P					P					P	P	P	P	P
190	Retail Business Supply									P	P	P		P							P	P			C
200	Scrap Operation																								
210	Transient Habitation									P	P	P		P		C			C		P	P	P		
220	Transport & Warehousing										P										C			P	P
230	Undertaking Services										P	P		C			C	C			P	P	P		
240	Wholesale Sales										P			P										P	P
250	Limited Newspaper & Periodical Printing										P	P													
260	Limited Retail Sales													P	P	P	P	C	P				P		
270	Limited Warehousing										P	C		C							P	C		P	P
	* Auto Disassembly, Parts Recycling & Material Recovery Operation										C														
3.08	Manufacturing Activities																								
10	Limited Manufacturing										P										P			P	P
20	Intermediate Manufacturing																							P	
30	Extensive Manufacturing																								
3.09	Agriculture & Extractive Activities																								
10	Crop & Animal Raising	P	P																						
20	Plant Nursery	P	C																		P				
30	Mining & Quarrying	C																							

P- Permitted Use / C - Conditional Use
 " * " and "Z" Refer to City of Gallatin Zoning Ordinance for Additional Info.
 # No rezoning shall be approved in these districts after 7/7/98.