



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, September 22, 2014
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- **Call to Order**
- **Invocation**
- **Pledge of Allegiance**
- **Roll Call**
- **Approval of Prior Minutes: August 11, 2014 Work Session, August 25, 2014 Regular Meeting and September 8, 2014 Work Session**
- **Public comments on Consent Agenda items**

CONSENT AGENDA

- | | | |
|---|---|------------------|
| 1. | GMRPC Resolution No. 2014-81
SURETY RENEWALS
CITY OF GALLATIN | PC0240-14 |
| <p>APPLICANT REQUESTS APPROVAL OF THE SUBMITTED SURETY RENEWALS FOR 2014.</p> | | |
| 2. | GMRPC Resolution No. 2014-86
FINAL PLAT FOR KENNESAW FARMS, PHASE 5, SECTION 2
CHERRY LAND SURVEYING, INC. | PC0321-14 |
| <p>OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR KENNESAW, PHASE 5, SECTION 2, A MAJOR SUBDIVISION, TO CREATE ONE (1) LOT, AND EXTEND TWO (2) EXISTING PUBLIC RIGHTS-OF-WAY ON 11.027 (+/-) ACRES LOCATED NORTH OF THORNE BOULEVARD.</p> | | |
| 3. | GMRPC Resolution No. 2014-82
MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN
AND APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR KENNESAW FARMS,
PHASE 1, LOT 7 - RETAIL DEVELOPMENT
PERRY ENGINEERING, LLC | PC0324-14 |
| <p>APPLICANT AND OWNER REQUEST APPROVAL OF A MINOR AMENDMENT TO THE KENNESAW FARMS PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR THE KENNESAW FARMS PHASE 1, LOT 7 RETAIL DEVELOPMENT TO CONSTRUCT A 12,060 SQUARE FOOT MULTI-TENANT BUILDING ON 1.415 (+/-) ACRES, LOCATED AT 1650 NASHVILLE PIKE.</p> | | |
| 4. | GMRPC Resolution No. 2014-77
FINAL MASTER DEVELOPMENT PLAN FOR MIRACLE FORD DEALERSHIP
BRUCE RAINEY & ASSOCIATES | PC0328-14 |

OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN (PMDP) FOR THE MIRACLE FORD DEALERSHIP TO CONSTRUCT A 30,900 SQUARE FOOT BUILDING FOR VEHICULAR, CRAFT, AND RELATED EQUIPMENT SALES AND RENTAL ON 10.95 (+/-) ACRES LOCATED AT 1394 NASHVILLE PIKE.

5. **GMRPC Resolution No. 2014-80** **PC0336-14**
REVISED FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND, PHASE 7, SECTIONS 2-4
DEWEY-ESTES ENGINEERING

THE OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE FOXLAND PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVAL OF A REVISED FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND, PHASE 7, SECTIONS 2-4, CONTAINING 39 LOTS AND FOUR (4) OPEN SPACE TRACTS, ON 12.66 (+/-) ACRES, LOCATED ON VININGS BOULEVARD.

6. **GMRPC Resolution No. 2014-79** **PC0337-14**
PRELIMINARY PLAT FOR FOXLAND PHASE 7, SECTION 2
DEWEY-ESTES ENGINEERING

OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR FOXLAND, PHASE 7, SECTION 2, A MAJOR SUBDIVISION, TO CREATE 17 ONE-FAMILY DETACHED DWELLING LOTS, AND TWO (2) OPEN SPACE TRACTS ON 5.59 (+/-) ACRES, LOCATED ON VININGS BLVD.

7. **GMRPC Resolution No. 2014-84** **PC0338-14**
PRELIMINARY PLAT FOR RETREAT AT FAIRVUE - PHASE 1, SECTION 2
DEWEY-ESTES ENGINEERING

OWNER AND APPLICANT REQUESTS APPROVAL OF A PRELIMINARY PLAT FOR THE RETREAT AT FAIRVUE PHASE 1, SECTION 1, A MAJOR SUBDIVISION, TO CREATE 16 MULTI-FAMILY FAMILY LOTS, AND EXTEND THREE (3) EXISTING PUBLIC RIGHTS-OF-WAY, ON 3.80 (+/-) ACRES, LOCATED ON CHLOE DRIVE EAST OF CARNABY DRIVE AND CHESHAM DRIVE.

8. **GMRPC Resolution No. 2014-85** **PC0339-14**
PRELIMINARY PLAT FOR CARELLTON - PHASE 2-A
DEWEY-ESTES ENGINEERING

OWNER AND APPLICANT REQUESTS APPROVAL OF A PRELIMINARY PLAT FOR CARELLTON PHASE 2-A, TO CREATE 40 SINGLE-FAMILY LOTS, TWO (2) PUBLIC RIGHTS-OF-WAY, EXTEND TWO (2) EXISTING PUBLIC RIGHTS-OF-WAY, AND CREATE TWO (2) OPEN SPACE TRACTS ON 10.73 (+/-) ACRES, LOCATED NORTH OF WHITESTONE LANE.

REGULAR AGENDA

9. **GMRPC Resolution No. 2014-83** **PC0335-14**
SITE PLAN FOR GKN HOEGANAES EXECUTIVE OFFICE BUILDING
ROGERS ENGINEERING GROUP

OWNER AND APPLICANT REQUESTS APPROVAL OF A SITE PLAN TO CONSTRUCT A 20,575 SQUARE FOOT EXECUTIVE OFFICE BUILDING FOR GKN HOEGANAES CORPORATION CONTAINING 76.735 (+/-) ACRES, ZONED INDUSTRIAL GENERAL (IG), LOCATED AT 1315 AIRPORT ROAD.

10. **OTHER BUSINESS**

11. **MOVE TO ADJOURN**

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
WORK SESSION

August 11, 2014

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Vice Mayor John D. Alexander
Dr. Rick Orgain
Shirlene Campbell, Mayor's Designee
John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Katherine Schoch, Assistant Director of Planning
Robert Kalisz, Planner II
Kevin Chastine, Planner II
James Fenton, Director EDA
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Josh Cross, *Gallatin News Examiner*

The Gallatin Municipal-Regional Planning Commission met in a regular work session on Monday, August 11, 2014, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

1. Discuss proposed rezoning of portion of Gallatin Industrial Center, Phase 3 (PC0329-14) (Z-2014-xx): Council Committee 8/26/14; 1st Reading 9/2/14; Public Hearing 9/16/14; 2nd Reading 10/7/14.

Mr. Robert Kalisz, Planner II, said the City of Gallatin is requesting to rezone a 9.34 acre, a portion of the Odric Gregory property from Agricultural (A) to Industrial Restrictive (IR). A portion of the property is for the Beretta project in the Gallatin Industrial Center and a smaller portion is for a detention pond.

Mr. James Fenton, Executive Director of EDA said the Odric Gregory property next to Phase 2 of the Gallatin Industrial Center is the likely direction for the Industrial Center to expand. In the future, the City may request rezoning for the entire 170 (+/-) acres. A long term option is being discussed with Mr. Gregory so that the City may market the property without first purchasing the property.

2. Discuss proposed Site Plan for Beretta (PC0326-14) (SP-2014-xx).

Ms. Katherine Schoch, Assistant Director of Planning, said the conceptual site plan for Beretta has been reviewed by the City departments and comments have been sent back to Beretta. Staff has asked for additional information and corrections. The applicant is dividing the project into different construction phases with the first phase being a 160,000 square foot manufacturing area and a 12,000 square foot office building with two parking areas. The parking area in the front will be for visitors

and the other parking area in the back will be for employees. Future phases may be upwards of 450,000 square feet of warehousing and manufacturing facilities with additional parking. The first phase of the project will include a firing range inside a building and the second phase of the project will include an additional outdoor firing range towards the back. Ms. Schoch also discussed the building architecture and indicated that an alternative architectural plan will be presented.

Ms. Schoch said Beretta would probably want to keep some of the existing mature trees in the landscape plan, which would require that a tree survey be submitted. A stormwater management detention pond is also shown and possible greenway alignments on the property.

Vice Mayor Alexander asked if the firing ranges would be safe near the greenway. Ms. Schoch said the applicant has been asked for a conceptual plan for the firing range.

Mr. Fenton said the applicant will construct an internal firing range and the outdoor range will be built on the north side of the property. Mr. Fenton added that Beretta is a Department of Defense supplier and clear guidelines must be followed. Chair Dempsey suggested the opaque fence behind Panera Bread be used at Beretta.

Mr. Ramsey asked if the property behind the site is in the City. Ms. Schoch said the property is not in the City. Mr. Ramsey asked about a buffer between the residential county area and this property and the firing range. Mr. Fenton said the applicant will construct a berm around the firing range. Ms. Schoch said a Type-50 buffer would have to be provided and the applicant would have to follow requirements for the distance of a firing range.

Ms. Schoch said staff has requested a phasing schedule and asked the applicant, if the property is entirely enclosed by a fence, where would the greenway be located?

3. Miracle Ford Dealership – Final Master Development Plan – Revised Architectural (PC0328-14) (SP-2014-xx) (Approved 8/5/14 by City Council.)

Mr. Kalisz said the Planning Commission approved this item and it has already been before the City Council. The City Council questioned the metal panels proposed on the west side of the building and asked the applicant to break up the panels with split face CMU. The item is back before Planning Commission as information only. Mr. Dempsey said that the east façade will now match the west façade.

4. Kennesaw Farms, Phase 5, Section 2 – FMDP – Discuss architectural changes (PC0323-14) (SP-2014-xx).

Mr. Kevin Chastine, Planner II, said this is a Final Master Development Plan that relates back to the Preliminary Master Development Plan, which included the multi-family area and the National Health Care site. The plan matches the Preliminary Master Development Plan. The layout of the site is similar to the originally approved plan and the only change is the architectural design. The original

plan was all brick and stone and the proposed plan is stone along the bottom and Hardie Board for the majority of the elevation. The landscape has changed because it backs up to the residential area.

Dr. Orgain asked if there was discussion about the rear façade. Mr. Chastine said there was no previous discussion about the rear facade. Chair Dempsey asked the applicant to bring back a variation to the rear façade to break up the long wall.

Chair Dempsey addressed the gables on the front façade. Mr. Cal Gentry, with Southeastern Building Corporation, said the look is equestrian and cupolas would be added at the gable points. Chair Dempsey asked the applicant to bring in some sample pictures that influenced the final architectural plan.

Mr. Gentry suggested that Hardie Board could be used to enhance the rear façade.

5. 2040 Regional Transportation Plan Call for Projects.

Mr. Bill McCord, Director of Planning, said the MPO has requested cities to submit projects for the long range transportation planning update. The instructions from the MPO state anything that is not completed in the current plan should be continued and reintroduced. There are two lists, the existing plan and the resubmittal, which is a more extensive list. The resubmittal provides a cost estimate. Some of the new projects listed have a cost range from the *Gallatin on the Move 2020 General Development and Transportation Plan*. Some of the projects are not on the current plan, including Commerce Way and Gateway Drive extensions. Another new project is the City of Gallatin Public Transportation System. Other projects include traffic operation improvements.

Mr. McCord distributed a list of sidewalks and trails projects. Grant requests were submitted to the MPO for some of the sidewalk projects, a copy of which is attached as Exhibit B. The projects will be ranked by the MPO before any funds are granted.

Mr. Ramsey asked staff to rank the projects for the MPO. Mr. McCord said the list could be revised to show which projects are a priority. City Council decided some of the sidewalk projects when the grant application was submitted in the Spring. Mr. Ramsey said he would like to know the priority of the Council.

Dr. Orgain said SR386 will get busier in the future and there is no way to get off SR386 in a hurry. He asked about the Maple Street extension project, extending Tulip Poplar Drive to Red River Road and building a bridge. There are thousands of cars a day going in every direction and it is a problem now and will be a lot worse in the future. Mr. McCord said the Maple Street extension is a bridge or crossing over the railroad tracks.

A discussion was held of possible solutions to this traffic situation.

Mr. McCord said this plan builds our network. Streets would not be built to radiate out but to build a web. There are a lot more projects in the *Gallatin on the Move 2020 General Development and Transportation Plan*, but some would be built by the developer. Most of these projects

would use state and federal funds to build. The City has a limited amount of funds and even the projects on the 2035 plan may not be built. Federal funds are only available with the MPO endorsement.

Mr. Puryear said he believes the most critical congestion point is from Long Hollow Pike to SR 109. He said this is a current problem and will be must worse 25 years from now. This problem will cause this part of the city to be choked off. The road network should be conducive to warehousing and distribution.

Chair Dempsey asked that the list be reduced to the most critical areas and define which projects would be the most efficient and encourage City Council to approved the projects. He suggested that a possible joint meeting of the Planning Commission and City Council be held to discuss the projects. Mr. McCord said the list must be submitted to the MPO by the end of September. The submittal process will take some time because the application requires details on each the project.

Mr. Ramsey reminded the Planning Commission that this will not be the last opportunity to submit request for projects to the MPO.

Chair Dempsey asked that this be put on the next Planning Commission work session so that more discussion may be held including looking at the transportation map. SR386 and SR109 are priorities. Mr. McCord reiterated that there is a limited amount of time for submittal. Chair Dempsey said he could call a special-called meeting if necessary.

6. Other Business

There was no other business to discuss.

7. Adjourn

There being no further business, Chair Dempsey adjourned the meeting at 6:21 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



**Gallatin Municipal-Regional Planning Commission
Work Session Agenda**

Monday, August 11, 2014

**Dr. J. Deotha Malone Council Chambers; 5 p.m.
Gallatin City Hall, 132 West Main Street**

1. Discuss proposed rezoning of portion of Gallatin Industrial Center, Phase 3 (PC0329-14)(Z-2014-xx): Council Committee 8/26/14; 1st Reading 9/2/14; Public Hearing 9/16/14; 2nd Reading 10/7/14.
2. Discuss proposed Site Plan for Berretta (PC0326-14)(SP-2014-xx)
3. Miracle Ford Dealership – Final Master Development Plan – Revised Architecturals (PC0328-14)(SP-2014-xx) (Approved 8/5/2014 by City Council)
4. Kennesaw Farms, Phase 5, Section 2 – FMDP – Discuss architectural changes (PC0323-14)(SP-2014-xx)
5. 2040 Regional Transportation Plan Call for Projects
6. Other Business

EXHIBIT A

ORIGINAL

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
MEETING

August 25, 2014

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Vice Mayor John D. Alexander
Dr. Richard Orgain
Shirlene Campbell, Mayor's Designee
John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Katherine Schoch, Assistant Director of Planning
Kevin Chastine, Planner II
Robert Kalisz, Planner II
Zach Wilkinson, Engineering Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Josh Cross, *Gallatin News Examiner*
Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular meeting on Monday, August 25, 2014, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Vice Mayor Alexander led the opening prayer and Chair Dempsey led the Pledge of Allegiance. Ms. Mudrak called the roll.

Approve Prior Minutes

Mr. Wilson motioned to approve the July 14, 2014 Planning Commission Work Session and the July 28, 2014 Planning Commission Regular Meeting minutes. Vice Mayor Alexander seconded the motion and the motion passed by unanimous vote.

Public Comment on Consent Agenda Items

Chair Dempsey opened public comment on consent agenda items. Chair Dempsey asked if anyone in the audience requested to comment on any item on the consent agenda. No one came forward to speak. Chair Dempsey asked if any owner or applicant requested to remove any item from the consent agenda. No owner or applicant/representative requested to remove any item from the consent agenda. Chair Dempsey asked if any Planning Commission member requested to remove any item from the consent

agenda. No member requested to remove any item from the consent agenda; therefore, Chair Dempsey motioned to approve the consent agenda. Vice Mayor Alexander seconded the motion and the motion passed by unanimous vote.

Consent Agenda

1. GMRPC Resolution No. 2014-74 – PC0240-14 – Surety Renewals – City of Gallatin – Applicant requests approval of the submitted surety renewals for 2014.

This item was approved by consent agenda.

2. GMRPC Resolution No. 2014-72 – PC0309-14 – Final Plat for Hunter Pointe, Phase 1, Roadway & Lots 1-3 – Owner/Applicant requests approval of a Final Plat for Hunter Pointe, Phase 1, a major subdivision on 22.8 (+/-) acres located at the northwest quadrant of the Highway 386 and Long Hollow Pike intersection.

This item was approved by consent agenda with the following conditions:

1. Correct and add owners' names in Certificate of common Areas Dedication and Certificate of Ownership and Dedication.
2. Correct the zoning shown for Tax Map 125 part of Parcel #125//018.01 to Planned Business Park (PBP).
3. Provide sidewalk easements as necessary to construct the six (6) foot wide sidewalks as required by G.Z.O. Section 13.09.030, *Sidewalks*.
4. When warranted, the signal at Long Hollow Pike and Wendling Boulevard shall include pedestrian features including crosswalks and pedestrian signals.
5. A site surety, for \$3,340, shall be submitted to cover the installation of street trees shown along Wendling Boulevard. The site surety shall be submitted to the Planning Department prior to the recoding of the Final Plat for this project.
6. Submit detailed plans and specifications for water and sanitary sewer installation to the Department of Public Utilities for review and approval.
7. Final Plat approval is contingent upon TDOT's approval of the construction plans for improvements shown as part of the agreement recorded in RB 3920, PG 872-875, R.O.S.C.
8. Off-site roadway improvements shall be addressed as shown in the approved TIS.
9. Label distances between the existing concrete monuments and the proposed iron pin designating the corner between Lots 1 and 3 along the northern right-of-way of SR 386.
10. Final plat approval is contingent upon final approval of Construction Plans.
11. An as-built survey, as required by code, shall be provided prior to acceptance of infrastructure.
12. A regulatory signage check, in an amount to be determined by the Engineering Division, shall be submitted prior to the recording of the Final Plat.
13. A subdivisions surety in an amount to be determined by the Engineering Division shall be submitted prior to the recording of the Final Plat.
14. A utility surety, in an amount to be determined by the Department of Public Utilities, shall be submitted prior to the recording of the Final Plat.

15. A copy of the recorded cross access agreement for Lots 1 and 2 shall be submitted prior to the recording of the Final Plat.
16. Submit three (3) corrected, folded copies of the Final Plat to the Planning Department prior to submitting the final Plat for final staff review and approval.
17. Submit recording fee, two (2) mylars, and one (1) vellum copies of the Final Plat, all with original signatures, to the Planning Department for recording.

3. GMRPC Resolution No. 204-71 – PC0316-14 – Amendment to the PMDP for Greensboro Village PUD and Amendment to the FMDP for Retreat at Fairvue – Entry Signage Revision – Goodall Homes Regular Agenda.

This item was approved by consent agenda.

4. GMRPC Resolution NO. 2014-75 – PC0325-15 – Preliminary Plat for Cairo Estates – Richard Graves Land Surveying – Owner/Applicant requests approval of a Preliminary Plat for Cairo Estates, a major subdivision, containing 63 lots on 20.84 (+/-) acres located on Cairo Road East of Airport Road.

This item was approved by consent agenda with the following conditions:

1. Indicate conceptual location of the greenway consistent with the approved FMDP. (See Note 20).
2. Indicate City Limit line on the Preliminary Plat. (Plat title says the plat adjoins the Gallatin City Limits.)
3. Indicate phase lines and label the flood hazard area zone(s) on the preliminary plat.
4. Correct the preliminary plat so that it is to scale.
5. Show and label floodway.
6. Distinguish separately the TDEC required stream buffer and the City required stream buffer. (City required buffer in 25' from top of bank.)
7. Revised yard lines to not extend into stream buffer.
8. Understand that no grading shall be allowed in stream buffer without variance.
9. Revise note 20 to read: Greenway reservation per *Gallatin on the Move 2020 General Development and Transportation Plan* is made in opens space areas shown. Provide greenway reservation per *Gallatin on the Move 2020 General Development and Transportation Plan*.
10. Submit three (3) corrected folded copies of the Preliminary Plat, including one (1) full size and two (2) half size copies, to the Planning Department.
11. The applicant shall show and label the Type 20 Bufferyard in Open Space 'A' to match the approved FMDP for Phase 2A & 2B.
12. Submit three (3) corrected folded copies of the Preliminary Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

5. GMRPC Resolution No. 2014-76 – PC0327-14 – Final Plat for Foxland, Phase 9, Section 4-B – Dewey-Estes Engineering – Owner/Applicant request approval of a Final Plat for Foxland, Phase 9, Section 4-B , a major subdivision on 1.18 +/-) acres located on Reynard Drive and Albatross Way.

This item was approved by consent agenda with the following conditions:

1. Remove the M.B.S.L. from the front, sides, and rear identifications on the site layout and typical lot layout and leave the 20' P.U.D.E., 5' P.U.D.E., and 15' P.U.D.E. as identification.
2. Provide a copy of the Irrevocable Offer of Dedication prior to recording of final plat.
3. Provide a copy of the Restrictive Covenants prior to recording the final plat.
4. Provide additional identification, Public Utility and Drainage Easement (P.U.D.E.), to the west side of the 25' Stream Buffer.
5. Indicate the handicapped ramp for the crosswalk located near the southeast corner of the open space adjacent to Lot 1092.
6. Provide a performance surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to recording of final plat.
7. Provide a street signage check, in the amount to be determined by the Engineering Division, to the Engineering Division prior to recording of final plat.
8. Submit three (3) corrected and folded copies of the final plat to the Planning Department for review and approval prior to submitting the mylars for recording.

Regular Agenda

6. GMRPC Resolution No. 2014-70 – PC0329-14 – Rezoning Request for Gallatin Industrial Center, Phase 3 – City of Gallatin – Public Hearing – Applicant/Owner request approval to rezone 9.34 (+/-) acres from Agricultural (A) to Industrial Restrictive (IR) located along portion of the eastern boundary of the Gallatin Industrial Center, Phase 3 subdivision.

Mr. Robert Kalisz, Planner II, presented the staff report and stated that staff recommends approval of Resolution 2014-70 to the Gallatin City Council.

Chair Dempsey asked Mr. Zach Wilkinson, Engineering Project Manager, if there were any engineering concerns with the request. Mr. Wilkinson said there were no engineering concerns with the request.

Chair Dempsey opened public comment. No one came forward to speak; therefore Chair Dempsey closed public comment.

Mr. Ramsey motioned to recommend approval of Resolution No. 2014-70 to the City Council. Vice Mayor Alexander seconded the motion and the motion passed by unanimous vote.

7. GMRPC Resolution No. 2014-73 – PC0326-14 Site – Site Plan for Beretta USA – BRPH Architects Engineers – Owner/Applicant request approval of a site plan to build a 160,000 square foot building on a 99.88 (+/-) acre lot located at the Gallatin Industrial Center, Phase 3 Subdivision.

Ms. Katherine Schoch, Assistant Director of Planning, presented the staff report and stated this item ties into the last item, rezoning request for Gallatin Industrial Center. The rezoning is scheduled for second reading of the Gallatin City Council and a condition of approval is approval of the site plan.

Ms. Schoch reviewed the architectural renderings. The applicant has agreed to extend the parapet wall to provide drainage. The Planning Commission must determine if the alternative architectural plan is acceptable and approve it.

Ms. Schoch said the *Gallatin on the Move 2020 General Development and Transportation Plan* proposed a bike and pedestrian project and extension of the greenway. Since this property is proposing to be fenced, staff has asked the applicant to show a future layout of the greenway extension. The applicant is under federal mandate to enclose the property with a seven (7) foot high fence, which does not meet City regulations. The applicant will have to apply to the Gallatin Municipal Board of Zoning Appeals for a variance to the regulations. Mr. William McCord, Director of Planning, said the Planning Commission could make a recommendation to the Municipal Board of Zoning Appeals.

Ms. Schoch said a detailed landscape plan must be submitted. Due to the overall size and scope of the project, the applicant will phase the project.

Ms. Schoch said staff recommends approval of Resolution 2014-73, to the Gallatin City Council, with the conditions listed in the staff report, and the additional condition that the applicant apply to the Gallatin Municipal Board of Zoning Appeals for a variance for the alternative fence height.

Chair Dempsey asked Mr. Wilkinson if there were any engineering concerns with the project. Mr. Wilkinson said there were not engineering concerns with the project.

Mr. Mark Yorio, with BRPH Architects, Engineers, Constructors, represented the applicant and said he agreed with all conditions of approval.

Mr. Ramsey said he had concerns about the proposed firing range, since it is adjacent to a residential area. Mr. Yorio said there would be a minimum 25 foot tall earth berm on all four sides with an entry to the shoot house. Firing would take place inside the building and the sound of the rifle would be muffled and would be acoustically treated to contain as much of the sound as possible. Ms. Schoch said a note has been added to the site plan that the applicant must comply with noise level regulations as well as light level regulations.

Chair Dempsey asked for the amount of time the firing range would be used. Mr. Yorio said it would be used approximately once a week at an appropriate time of the day, probably 2:00 in the afternoon.

Mr. Ramsey motioned to approve Resolution 2014-73, with the following conditions:

1. Final Site Plan approval is subject to City Council's approval of rezoning Ordinance No. O1408-47 for the eastern 8.21 (+/-) acres of the project site.
2. The Planning Commission determines that the proposed alternative architectural elevations meet the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance and granted approval with the condition that the parapet will be extended along the rear façade of the building in order to completely screen roof top mechanical equipment in accordance with G.Z.O. Section 13.08.010.F, *Screening*. The Planning Department shall inspect the exterior building facade materials prior to the installation of the exterior building façade materials.
3. Update Site Plan to show alternative location for the future greenway extension on property consistent with the recent *Gallatin on the Move 2020 General Development and Transportation Plan* amendment.

4. Add additional property owner's name and address to Site Data Table on Sheet C-121 (Tax Map and Parcel #111//001.00) and add the Agriculture-Residential (A) zone district to Site data Table on Sheet C-121 (Tax Map and Parcel #111//001.00).
5. Submit a full landscaping and bufferyard plan, including details of the Type 50 Bufferyard and opaque barrier, and all required parking lot plantings. Update Site Plan to Show the location of the Type 50 Bufferyard along the eastern and northern property lines. If trees are to be preserved onsite and counted toward the landscaping requirements, submit a detailed tree survey for all existing mature trees measuring at least 4.5 inches caliper and larger per G.Z.O. Section 13.04.100.A.
6. Submit updated photometric plan that meets G.Z.O., Section 13.02.080, *Performance Standards Regulating Glare and Electromagnetic Interference*. Submit details of the proposed light poles (including shoe box design fixtures) and provide details of the proposed wall mounted accent lighting fixtures for the building.
7. Submit details of all proposed permanent signs to the Planning Department for review and approval in accordance with G.Z.O. Section 13.07.065.F, *Master Signage Plan*. Sign permits shall be obtained prior to the installation of any signage on site.
8. A site surety, in an amount to be determined by the applicant and approved by the Planning Department, shall be submitted to the Planning Department prior to issuance of a building permit.
9. Address all outstanding Engineering division projects review comments as shown on Attachment 7-10 to the satisfaction of the City Engineer.
10. Provide additional drainage easements as necessary to the stormwater management area including outfall areas.
11. Submit final detailed water and sanitary sewer plans and specifications to the Industrial Pre-Treatment Department for review and approval.
12. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.
13. Since the proposed metal fence exceeds the maximum height requirement permitted by the G.Z.O. for the front yard, please submit an application for approval of a variance by the Gallatin Municipal Board of Zoning Appeals. Please also submit nine (9) copies of the fence plan and details, along with the \$50 review fee to the Planning Department by Tuesday, September 2, 2014 in order to be placed on the Thursday, September 25, 2014 Gallatin Municipal Board of Zoning Appeals meeting.

Mr. Wilson seconded the motion and the motion passed by unanimous vote.

8. GMRPC Resolution No. 2014-78 – PC0323-14 – Amendment to the PMDP and Amendment to the FMDP for Kennesaw Farms Office Park – Perry Engineering, LLC – Owner/Applicant request approval of an amended Preliminary Master Development Plan and a Final Master Development Plan for Kennesaw Farms Office Park, on a 9.01 (+/-) acre lot located in the Kennesaw Farms Commercial Subdivision at 1145 South McMahan Drive.

Mr. Kevin Chastine, Planner II, presented the staff report and stated the office park would gain access through the extension of Thorn Boulevard and the extension of McMahan Drive. McMahan Drive would extend to connect to the residential area. The building elevations are an alternative architectural plan keeping the equestrian theme. The applicant changed several items as suggested by the Planning

Commission at the last work session meeting, particularly the rear elevation. The applicant has met or exceeded all landscaping requirements.

Mr. Chastine said staff recommends approval as a minor amendment to the Preliminary Master Development Plan and recommends that the Planning Commission approve Resolution 2014-78 with the conditions listed in the staff report.

Chair Dempsey asked Mr. Wilkinson if there were any engineering concerns with the request. Mr. Wilkinson said there were no engineering concerns with the request.

Mr. Cal Gentry, with Kennesaw Farms, said he agreed with all conditions of approval.

Dr. Orgain said there was discussion at the last Planning Commission work session regarding the rear façade monotony. Mr. Gentry said this building would sit below the residential area and backs up to the rear garages, alleys, and trash container areas of the homes. Mr. Gentry asked the Planning Commission for any suggestions for changing to the rear façade. Dr. Orgain suggested that staff make recommendations.

Mr. Ramsey said Mr. Gentry's suggestion to add a gable with louvers instead of windows would be acceptable.

Mr. Ramsey motioned to approve the change as a minor amendment to the Preliminary Master Development Plan. Mr. Puryear seconded the motion and the motion passed by unanimous vote.

Mr. Ramsey motioned to approve Resolution 2014-78 the concept architectural renderings be brought back to the Planning Commission showing the color panels and the addition of dormers, for review with the following conditions:

1. Planning Commission approves the proposed changes as a minor amendment to the approved Kennesaw Farms Preliminary Master Development Plan – Phase 5.
2. The Planning Commission determines that the proposed alternative architectural plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance but that the architectural renderings.
3. The Planning Commission determines that the alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance.
4. The applicant shall mirror the shed dormers from the front elevation on to the rear elevation of the three (3) buildings (Buildings E, F, and G) located adjacent to Kennesaw Farms Phase 3 Section 2. The shed dormers are to have louvers instead of operational windows.
5. Inspection of the exterior building façade materials by the Planning Department is required prior to the installation of the exterior building façade materials for both buildings.
6. The applicant shall obtain sign permits prior to the installation of any signage on site.
7. Indicate the greenway alignment on the plans consistent with *Gallatin on the Move 2020 General Development and Transportation Plan*.
8. The application shall submit a site surety, in an amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to the issuance of a building permit.

9. The applicant shall submit three (3) corrected and folded copies of the Amended Preliminary Master Development Plan/Final Master Development Plan to the Planning Department.
Mr. Wilson seconded the motion and the motion passed by unanimous vote.

9. MPO 2040 LRTP Call for Projects

Mr. McCord said the MPO has requested that local governments submit projects for inclusion in the 2040 Regional Transportation Plan update. The Planning Commission previously discussed some projects and a list of potential projects was provided to the MPO. The list contains projects shown in the 2035 plan, and a more encompassing plan that includes projects that are currently in the 2035 program and other projects the City would like the MPO to include in their 2040 long range plan. The Planning Commission recommended that the projects be reorganized to correspond more closely with the *Gallatin on the Move 2020 General Development and Transportation Plan* and this is provided in Exhibit C of the Planning Commission packet. Mr. McCord briefly reviewed the project lists with the Planning Commission. Projects that are now in the pipeline are also included in the 2040 LRTP Call for Projects.

Mr. McCord briefly discussed the potential City of Gallatin roadway changes that would occur based on the traffic projections. The City may decide not to proceed with some of the roadway projects because of the potential disruption to the community. The alternatives to these major projects were also discussed. If projects are to be developed using private funds they are not included in the plan.

Mr. McCord discussed some individual projects that, if not improved, could result in roadway failure if the traffic projections come to fruition. A list of sidewalks and trails was included in the Planning Commission packet. A cost feasible plan must also be developed by the MPO. In addition, Forward Sumner has submitted some broader projects for Sumner County, such as the SR386/US31E Corridor Concept.

Mr. Puryear motioned to suspend the rules to allow Mr. Jimmy Johnston, C.E.O. of Forward Sumner and Mr. James Fenton, Director of Economic Development to speak to the Planning Commission. Mr. Wilson seconded the motion and the motion passed by unanimous vote.

Mr. Johnston said this SR 386/US31E Corridor Concept is an economic improvement project, using MPO employee estimates. The Community Development committee spoke to local communities and the number one project to support was the Corridor Project. The Northeast Transportation Corridor is about the cities in Sumner County speaking with one voice. Mr. Johnston briefly explained the Corridor Project.

Mr. James Fenton, Director Economic Development Agency said this project connecting SR386 to SR31 will help those in Westmoreland and the northern area come to Gallatin to work and is helping Gallatin to grow. The long range concept is attracting the work force to Gallatin.

Mr. Ramsey asked if the Corridor Project is on the MPO project priority list for the City of Gallatin. Mr. McCord said that the Forward Sumner Projects are a more aggressive than those suggested by the City of Gallatin.

Mr. Puryear motioned to recommend approval of the MPO 2040 project list recommended by staff and include the Forward Sumner Corridor Project on the list as a six laning of current SR386 and developing an alternative vehicle access route from SR386 to US31E east of Gallatin. Dr. Orgain seconded the motion and the motion passed by unanimous vote.

10. Other Business

1. Bicycle and Pedestrian Improvements

Mr. McCord said Mayor Graves has sent a letter to the Tennessee Department of Transportation asking for bike lane striping, similar what was recently done in the City of Hendersonville.

11. Move to Adjourn

There being no further business to discuss, Chair Dempsey adjourned the meeting at 6:30 P.M.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, August 25, 2014
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- Call to Order
- Invocation
- Pledge of Allegiance
- Roll Call
- Approval of Prior Minutes: July 14, 2014 Work Session and July 28, 2014 Regular Meeting
- Public comments on Consent Agenda items

CONSENT AGENDA

1. **GMRPC Resolution No. 2014-74** **PC0240-14**
SURETY RENEWALS
CITY OF GALLATIN

Applicant requests approval of the submitted surety renewals for 2014.
2. **GMRPC Resolution No. 2014-72** **PC0309-14**
FINAL PLAT FOR HUNTER POINTE, PHASE 1, ROADWAY & LOTS 1-3
RAGAN-SMITH

OWNER/APPLICANT REQUESTS APPROVAL OF A FINAL PLAT FOR HUNTER POINTE, PHASE 1, A MAJOR SUBDIVISION ON 22.8 (+/-) ACRES LOCATED AT THE NORTHWEST QUADRANT OF THE HIGHWAY 386 AND LONG HOLLOW PIKE INTERSECTION.
3. **GMRPC Resolution No. 2014-71** **PC0316-14**
AMENDMENT TO THE PMDP FOR GREENSBORO VILLAGE PUD AND AMENDMENT TO THE FMDP FOR
RETREAT AT FAIRVUE - ENTRY SIGNAGE REVISION
GOODALL INC. BUILDERS

APPLICANT REQUESTS APPROVAL OF A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN (PMDP) FOR GREENSBORO VILLAGE PLANNED UNIT DEVELOPMENT (PUD) AND A MINOR AMENDMENT TO THE FINAL MASTER DEVELOPMENT PLAN REVISION (FMDP) FOR THE RETREAT AT FAIRVUE, TO INSTALL COMMUNITY IDENTIFICATION MARKERS IN THE RIGHT-OF-WAY OF CHLOE DRIVE AT THE RETREAT AT FAIRVUE, PHASE 1, SECTION 1, NEAR THE INTERSECTION OF NOAH LANE.
4. **GMRPC Resolution No. 2014-75** **PC0325-14**
PRELIMINARY PLAT FOR CAIRO ESTATES
RICHARD GRAVES LAND SURVEYING

OWNER/APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR CAIRO ESTATES, A MAJOR SUBDIVISION, CONTAINING 63 LOTS ON 20.84 (+/-) ACRES LOCATED ON CAIRO ROAD EAST OF AIRPORT ROAD.

5. **GMRPC Resolution No. 2014-76** **PC0327-14**
FINAL PLAT FOR FOXLAND, PHASE 9, SECTION 4-B
DEWEY-ESTES ENGINEERING

OWNER/APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR FOXLAND, PHASE 9, SECTION 4-B, A MAJOR SUBDIVISION ON 1.18 (+/-) ACRES LOCATED ON REYNARD DRIVE AND ALBATROSS WAY.

REGULAR AGENDA

6. **GMRPC Resolution No. 2014-70** **PC0329-14**
REZONING REQUEST FOR GALLATIN INDUSTRIAL CENTER, PHASE 3
CITY OF GALLATIN

PUBLIC HEARING

APPLICANT/OWNER REQUEST APPROVAL TO REZONE 9.34 (+/-) ACRES FROM AGRICULTURAL (A) TO INDUSTRIAL RESTRICTIVE (IR) LOCATED ALONG PORTION OF THE EASTERN BOUNDARY OF THE GALLATIN INDUSTRIAL CENTER, PHASE 3 SUBDIVISION.

7. **GMRPC Resolution No. 2014-73** **PC0326-14 SITE**
SITE PLAN FOR BERETTA USA
BRPH ARCHITECTS ENGINEERS

OWNER/APPLICANT REQUEST APPROVAL OF A SITE PLAN TO BUILD A 160,000 SQUARE FOOT BUILDING ON A 99.88 (+/-) LOT LOCATED AT THE GALLATIN INDUSTRIAL CENTER, PHASE 3 SUBDIVISION.

8. **GMRPC Resolution No. 2014-78** **PC0323-14**
AMENDMENT TO THE PMDP AND AMENDMENT TO THE FMDP
FOR KENNESAW FARMS OFFICE PARK
PERRY ENGINEERING, LLC

OWNER/APPLICANT REQUEST APPROVAL OF AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN AND A FINAL MASTER DEVELOPMENT PLAN FOR KENNESAW FARMS OFFICE PARK. ON A 9.01 (+/-) ACRE LOT LOCATED IN THE KENNESAW FARMS COMMERCIAL SUBDIVISION AT 1145 SOUTH McMAHAN DRIVE.

9. **MPO 2040 LRTP CALL FOR PROJECTS**

10. **OTHER BUSINESS**

1. Bicycle and Pedestrian Improvements

11. **MOVE TO ADJOURN**

ORIGINAL

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
WORK SESSION

September 8, 2014

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Vice Mayor John D. Alexander
Dr. Rick Orgain
Shirlene Campbell, Mayor's Designee
John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Robert Kalisz, Planner II
Zach Wilkinson, Engineering Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Josh Cross, *Gallatin News Examiner*
Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular work session on Monday, September 8, 2014, at 5:00 p.m., in the Dr. J. Deoatha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Item 1: Discuss proposed site plan to construct a 20,575 square foot building for GKN Hoeganaes on property containing 76.1 (+/-) acres located at 13115 Airport Road (PC0336-14).

Mr. Andy Leath, with Roger's Engineering Group, representing the applicant, said the new facility would house offices and would connect to the existing office with a hallway. The existing facility will receive a facelift and the entrance will be reconfigured to look like the proposed entrance to the new facility. The new offices will replace the portable offices now on the site.

Chair Dempsey asked if jobs would be created by this facility. Mr. Leath said this addition is just to replace the portable offices.

Mr. Ramsey asked about additional parking. Mr. Leath said there would not be a net loss of parking, but will have a net parking gain. Mr. Kalisz said parking spaces will increase from 280 to 300. Mr. Ramsey asked staff to verify that parking is sufficient for the building. Mr. Leath said there were problems during the shift change; however, the new spaces should eliminate that problem. Mr. Bill McCord, Director of Planning, said staff would look at the parking.

Mr. Kalisz said there is an existing scale on the west side of the existing building and an additional scale and a scale house proposed on the east side. Staff asked that if the driveway to the new scale needs to be surfaced with asphalt or concrete to make it dust free. Engineering is looking at the Airport Road widening project to

make sure the applicants are complying with regulations. Engineering has a few comments on the Airport Road expansion.

Mr. Zach Wilkinson, Engineering Project Manager, said TDOT will be widening Airport Road from two lanes to three lanes which may not require right-of-way. However, the project is not far along and this may be something to monitor in the future.

Item 2: Other Business

1. Mr. McCord said the next Planning Commission regular meeting will be short, mostly dealing with routine matters that would be on the consent agenda.

2. Mr. McCord distributed training material that was offered at the TAPA conference, Cumberland Region Tomorrow session. The Planning Commission was encouraged to read through the information at their leisure.

3. Mr. McCord distributed a reminder of parliamentary procedures, particularly referring to motions.

4. Mr. McCord distributed a list of zoning code items requested by the Planning Commission including such as sound, and noise performance standards.

Mr. Puryear asked about boat noises from the lake. Mr. Ramsey said the County has enforcement power on the lake. Mr. Puryear said the County said this falls under TVA.

Mr. Ramsey said he would like to have a discussion on the noise ordinance added to the list of topics. Mr. Ramsey said the discussions must be placed on the agenda and not discussed under other business.

Chair Dempsey said the issues that may result in shorter discussion should be presented first.

5. Chair Dempsey commented on the new fence behind Panera Bread, saying it looks very nice.

6. Chair Dempsey said Wilda Dodson has rescued donkeys that cause a noise problem early in the morning.

7. Mr. Kalisz asked for more specifics on the request to discuss lighting options. Dr. Orgain said he would like a professional to speak to the Planning Commission regarding the latest technology in lighting. Mr. Ramsey suggested that a representative from the Electric Department also make a presentation on lighting.

Item 3: Move to Adjourn

There being no further business, Chair Dempsey adjourned the meeting at 5:33 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



**Gallatin Municipal-Regional Planning Commission
Work Session Agenda**

Monday, September 8, 2014

Dr. J. Deotha Malone Council Chambers; 5 p.m.
Gallatin City Hall, 132 West Main Street

1. Discuss proposed site plan to construct a 20,575 square foot building for GKN Hoeganaes on property containing 76.1 (+/-) acres located at 1315 Airport Road (PC0336-14).
2. Other Business

EXHIBIT A

ITEM 1

GMRPC Resolution No. 2014-81

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING ITEM 1 – A ONE (1) YEAR RENEWAL AND EXTENSION OF THE PERFORMANCE SURETIES FOR COTTAGES AT LAST PLANTATION; PC FILE #8-7-03 (SITE) – KENNESAW FARMS, PHASE 2; PC FILE #8-63-04 (SITE) – KENNESAW FARMS, PHASES 3 & 4; PC FILE #8-38-05 (SITE) – KENNESAW FARMS CORE COMMERCIAL; PC FILE #8-35-06 (SITE) – FOXLAND CROSSING, PHASES 1 & 2; PC0011-12 (SITE) – GREEN FARMS, PHASE 1, SECTION & PHASE 1, SECTION 2; PC9990-12 (SITE) – RAY ESTATES; PC0180-13 (SITE) – ESTATES OF FAIRWAY HEIGHTS, PHASE 2; PC9764-11 (SUBDIVISION) – FOXLAND, PHASE 9, SECTION 4A; PC0052-12 (SUBDIVISION) – KENNESAW FARMS, PHASE 1 COMMERCIAL; PC FILE #1-11-10C (SUBDIVISION) – KENNESAW FARMS, PHASE 1; PC FILE #1-44-04C (SUBDIVISION) – KENNESAW FARMS, PHASE 2; PC FILE #1-33-05C (SUBDIVISION) – KENNESAW FARMS, PHASE 3, SECTION 1; PC FILE #1-11-06C (SUBDIVISION) – KENNESAW FARMS, PHASE 3, SECTION 2; PC FILE #1-34-06C (SUBDIVISION) – KENNESAW FARMS, PHASE 4, SECTION 1; PC FILE #1-18-06C (SUBDIVISION) – KENNESAW FARMS, PHASE 4, SECTION 2A; PC FILE #1-2-10C (SUBDIVISION) – ALBION DOWNS/ALBION ESTATES; PC FILE #1-13-03C (SUBDIVISION) – FOXLAND CROSSING SUBDIVISION; PC0024-12 (SUBDIVISION) – RAY ESTATES; PC0182-13 (SUBDIVISION) – MARTINS VINEYARD, SECTION 2; PC0169-13 (MAINTENACE) – MARTINS VINEYARD, SECTIONS 3 & 4; PC0170-13 (MAINTENACE) – (PC0240-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the one (1) year renewal and extension of the performance sureties for Cottages at Last Plantation; PC File #8-7-03 (Site) – Kennesaw Farms, Phase 2; PC File #8-63-04 (Site) – Kennesaw Farms, Phases 3 & 4; PC File #8-38-05 (Site) – Kennesaw Farms Core Commercial; PC File #8-35-06 (Site) – Foxland Crossing, Phases 1 & 2; PC0011-12 (Site) – Green Farms, Phase 1, Section & Phase 1, Section 2; PC9990-12 (Site) – Ray Estates; PC0180-13 (Site) – Estates of Fairway Heights, Phase 2; PC9764-11 (Subdivision) – Foxland, Phase 9, Section 4A; PC0052-12 (Subdivision) – Kennesaw Farms, Phase 1 Commercial; PC File #1-11-10C (Subdivision) – Kennesaw Farms, Phase 1; PC File #1-44-04C (Subdivision) – Kennesaw Farms, Phase 2; PC File #1-33-05C (Subdivision) – Kennesaw Farms, Phase 3, Section 1; PC File #1-11-06C (Subdivision) – Kennesaw Farms, Phase 3, Section 2; PC File #1-34-06C (Subdivision) – Kennesaw Farms, Phase 4, Section 1; PC File #1-18-06C (Subdivision) – Kennesaw Farms, Phase 4, Section 2A; PC File #1-2-10C (Subdivision) – Albion Downs/Albion Estates; PC File #1-13-03C (Subdivision) – Foxland Crossing Subdivision; PC0024-12 (Subdivision) – Ray Estates; PC0182-13 (Subdivision) – Martins Vineyard, Section 2; PC0169-13 (Maintenance) – Martins Vineyard, Sections 3 & 4; PC0170-13 (Maintenance) submitted by the applicant, City of Gallatin, at its regular meeting on September 22, 2014; and;

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the information presented by City Staff and evidence and testimony presented during the meeting.

*

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows:

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Gallatin Zoning Ordinance, §15.03.080 and Gallatin Subdivision Regulations, Chapter 3:

1. It has been determined that the renewal and extension of the performance sureties will not create adverse effects upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
2. It has been determined that no one property owner or small group of property owners will benefit materially from the renewal and extension of the performance sureties to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a one (1) year renewal and extension of the performance sureties as follows:

- Cottages at Last Plantation; PC File #8-7-03 site surety one (1) year renewal and extension for \$30,500.
- Kennesaw Farms, Phase 2; PC File #8-63-04 site surety one (1) year renewal and extension for \$37,400.
- Kennesaw Farms, Phases 3 & 4; PC File #8-38-05 site surety one (1) year renewal and extension for \$33,500.
- Kennesaw Farms Core Commercial; PC File #8-35-06 site surety one (1) year renewal and extension for \$212,850.
- Foxland Crossing, Phases 1 & 2; PC0011-12 site surety one (1) year renewal and extension for \$90,000.
- Green Farms, Phase 1, Section & Phase 1, Section 2; PC9990-12 site surety one (1) year renewal and extension for \$12,450.
- Ray Estates; PC0180-13 site surety one (1) year renewal and extension for \$18,000.
- Estates of Fairway Heights, Phase 2; PC9764-11 subdivision surety one (1) year renewal and extension for \$4,320.

- Foxland, Phase 9, Section 4A; PC0052-12 subdivision surety one (1) year renewal and extension for \$51,000.
- Kennesaw Farms, Phase 1 Commercial; PC File #1-11-10C subdivision surety one (1) year renewal and extension for \$33,000.
- Kennesaw Farms, Phase 1; PC File #1-44-04C subdivision surety one (1) year renewal and extension for \$357,000.
- Kennesaw Farms, Phase 2; PC File #1-33-05C subdivision surety one (1) year renewal and extension for \$301,000.
- Kennesaw Farms, Phase 3, Section 1; PC File #1-11-06C subdivision surety one (1) year renewal and extension for \$106,000.
- Kennesaw Farms, Phase 3, Section 2; PC File #1-34-06C subdivision surety one (1) year renewal and extension for \$141,000.
- Kennesaw Farms, Phase 4, Section 1; PC File #1-18-06C subdivision surety one (1) year renewal and extension for \$63,000.
- Kennesaw Farms, Phase 4, Section 2A; PC File #1-2-10C subdivision surety one (1) year renewal and extension for \$104,000.
- Albion Downs/Albion Estates; PC File #1-13-03C subdivision surety one (1) year renewal and extension for \$87,000.
- Foxland Crossing Subdivision; PC0024-12 subdivision surety one (1) year renewal and extension for \$130,000.
- Ray Estates; PC0182-13 subdivision surety one (1) year renewal and extension for \$132,000.
- Martins Vineyard, Section 2; PC0169-13 maintenance surety one (1) year renewal and extension for \$32,000.
- Martins Vineyard, Sections 3 & 4; PC0170-13 maintenance surety one (1) year renewal and extension for \$45,000.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 9/22/14

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney

ITEM 2

GMRPC Resolution No. 2014-86

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL PLAT FOR KENNESAW FARMS PHASE 5, SECTION 2, A MAJOR SUBDIVISION, TO CREATE ONE (1) LOT, AND EXTEND TWO (2) EXISTING PUBLIC RIGHT-OF-WAY ON 11.027 (+/-) ACRES LOCATED NORTH OF THORNE BOULEVARD – (PC0321-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Final Plat submitted by the applicant, Cherry Land Surveying, Inc., at its regular meeting on September 22, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-402, 13-3-404, 13-4-302, and 13-4-304 and the City of Gallatin Subdivision Regulations:

1. The Final Plat is in agreement and consistent with the intent and recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan for the area, and in particular Regional Activity Center Community Character Area.
2. The Final Plat is consistent with the Policy and Procedures of the City of Gallatin Subdivision Regulations as described in Chapter 1, Section 1-104, items 1-11 and Chapter 2, Section 2-105
3. The Final Plat is consistent with the purpose and intent of the Mixed Use (MU) Zoning District and the Amended PMDP for Kennesaw Farms Phase 5 and Revised FMDP for the Kennesaw Farms Office Park.
4. The Final Plat is consistent with T.C.A. Sections 13-3-402, 13-3-404, 13-4-302 and 13-4-304.
5. The legal purposes for which zoning and subdivision regulations exist have not been contravened.
6. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Plat for Kennesaw Farms Phase 5, Section 2, prepared by Cherry Land Surveying, Inc. of Nashville, Tennessee, consisting of a one (1) sheet plat, with project no. 14090PLT, dated July 23, 2014, with a revision date of September 11, 2014, with the following conditions:

1. 41700Extend Public Right-of-Way for Thorne Boulevard to western property line.
2. Proposed Thorne Boulevard and South McMahan intersection does not match approved FMDP submittal. Revise plat to match proposed construction plans.
3. Submit detailed water and sanitary sewer plans for installations for South McMahan Drive.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 09/22/2014

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 2 PLANNING DEPARTMENT STAFF REPORT

Final Plat for Kennesaw Farms Phase 5, Section 2

(PC0321-14)

North of Thorne Boulevard

Date: September 17, 2014

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR KENNESAW, PHASE 5, SECTION 2, A MAJOR SUBDIVISION, TO CREATE ONE (1) LOT, AND EXTEND TWO (2) EXISTING PUBLIC RIGHTS-OF-WAY ON 11.027 (+/-) ACRES LOCATED NORTH OF THORNE BOULEVARD.

OWNER: KF LAND PARTNERS

APPLICANT: CHERRY LAND SURVEYING, INC. (R. SCOT CHERRY R.L.S.)

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2014-86 WITH CONDITIONS

STAFF CONTACT: KEVIN CHASTINE, AICP

PLANNING COMMISSION DATE: SEPTEMBER 22, 2014

PROPERTY OVERVIEW: The owner and applicant request approval of a Final Plat for Kennesaw, Phase 5, Section 2, a major subdivision, to create one (1) lot, and extend two (2) existing public rights-of-way on 11.027 (+/-) acres located north of Thorne Boulevard. The property is currently zoned Mixed Use (MU) and Financial, Consulting, and Administrative, Medical Office/Services, Place of Worship, Business and Communication Services, General Personal Services, and Research Services are permitted uses in the MU zone district. A small portion of Lot 3 is located within a flood zone 'A'.

(Attachment 2-3)

CASE BACKGROUND:

Previous Approvals

On June 23, 2003 the Planning Commission recommended approval of the rezoning and Preliminary Master Development Plan for Kennesaw Farms, a mixed-use development including commercial, office, and a variety types of residential uses on approximately 313 acres. (PC File #3-3-03). On August 5, 2003, the Gallatin City Council passed the rezoning request on Second Reading.

On September 26, 2011, the Planning Commission approved a minor amendment to the Preliminary Master Development Plan for Kennesaw Farms, Phase 5 (PC9871-11) changing the approved uses in Phase 5 of the development as follows:

Approved Uses and Designated Acreage

- 1.67 (+/-) acres General Retail Sales and Services (Area L)
- 13.02 (+/-) acres Multi-family Dwelling (Area M)
- 9.06 (+/-) acres Financial, Consulting and Administrative (Area N)
- 17.71 (+/-) acres Nursing Home/Assisted Living & Medical Office/Service (Area O)

- 7.27 (+/-) acres Food Service (Area P)

On December 12, 2011, the Planning Commission approved a Final Master Development Plan for National HealthCare Corporation (NHC) (PC9910-11), for a 131,964 square foot facility with 92 beds initially and with a total of 120 beds in the future. The Planning Commission also approved the preliminary (PC9911-11) and final (PC9912-11) subdivision plats for Kennesaw Farms, Phase 5, Section 1. The final plat (P.B. 27, PG 206) contains two (2) lots and the right-of-way for Thorne Boulevard. This includes the NHC lot.

On April 22, 2013, the Planning Commission approved an Amended Preliminary Master Development Plan for Kennesaw Farms and a Revised Final Master Development Plan (PC0124-13) for NHC Place Sumner, which increased the total square footage of the building and divided the project into two (2) separate construction phases.

On August 25, 2014, the Planning Commission approved an Amended Preliminary Master Development Plan and Final Master Development Plan (PC0323-14) for the Kennesaw Farms Office Park on Lot 3 of Kennesaw Farms Phase 5, Section 2.

Natural Features

Lot 3 gently slopes from west to east, toward the unnamed stream that flows along the eastern edge of the site. Along the easterly boundary the land drops ten (10) feet in elevation over a length of just 19 feet. The area of steepest slopes relate to the 100 year floodplain, Zone A, which affects this area of the site. All areas slated for development is located outside of the floodplain.

Adjacent or Area Uses

The area surrounding Lot 3 varies in zoning, existing uses, and proposed uses. To the north is Phase 3, Section 2, of Kennesaw Farms (P.B. 26, PG 93) zoned R-08-PRD with existing and proposed attached residential dwelling units. To the south is the NHC Place Sumner (PC0124-13) assisted living and skilled nursing facility, now under construction, zoned Mixed Use (MU). To the east is an area proposed for retail development zoned Planned General Commercial (PGC). To the west is an area proposed for a multi-family residential (apartment) development zoned Residential-8 Planned Residential Development (R8-PRD).

DISCUSSION:

Proposed Development

The owner and applicant are creating Lot 3, Kennesaw Farms Phase 5, Section 2 and dedicating right-of-way to extend Thorne Boulevard and South McMahan Drive. The right-of-way will consist of 2.011 (+/-) acres and Lot 3 will consist of 9.016 (+/-) acres. Lot 3 will be developed as the Kennesaw Farms Office Park, which consist of seven (7) office buildings totaling 60, 158 square feet and up to 39 office suites. (Attachment 2-2)

Access

Lot 3 will obtain access through the extension of Thorne Boulevard and the extension of South McMahan Drive. The portion of Thorne Boulevard extending from Nashville Pike is being constructed as part of the NHC development just south of Lot 3 which will contain an office park. As part of the development of the subdivision and the Kennesaw Office Park,

Thorne Boulevard and South McMahan Drive will be extended. Both of the roadways are expected to become public roadways in the future. The applicant shall extend the right-of-way for Thorne Boulevard to the western property boundary to match the approved FMDP (PC0323-14).

The Gallatin on the Move 2020 General Development and Transportation Plan shows the alignment of a future greenway located along the easterly boundary of Lot 3. The applicant will indicate the greenway alignment on the plans for the office park development on Lot 3 consistent with the Gallatin on the Move 2020 General Development and Transportation Plan or note an area that will be available for the construction of the greenway.

Site Surety

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required of the Gallatin Zoning Ordinance. The applicant shall submit a site surety, in the amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to issuance of any construction permitting of the subdivision.

Engineering Division Comments

The Engineering Division reviewed and commented on the Final Plat. Most of the Engineering Division comments have been satisfied; however the applicant shall be aware of the comments indicated below:

1. Extend Public Right-of-Way for Thorne Boulevard to western property line.
2. Proposed Thorne Boulevard and South McMahan intersection does not match approved FMDP submittal. Revise plat to match proposed construction plans.

Other Departmental Comments

Other City Departments reviewed and commented on the Final Plat. Most of the Other Departments comments have been satisfied; however the applicant shall be aware of the comments listed below:

1. Submit detailed water and sanitary sewer plans for installations for South McMahan Drive.

FINDINGS:

1. The Final Plat is in agreement and consistent with the intent and recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan for the area, and in particular Regional Activity Center Community Character Area.
2. The Final Plat is consistent with the Policy and Procedures of the City of Gallatin Subdivision Regulations as described in Chapter 1, Section 1-104, items 1-11 and Chapter 2, Section 2-105
3. The Final Plat is consistent with the purpose and intent of the Mixed Use (MU) Zoning District and the Amended PMDP for Kennesaw Farms Phase 5 and Revised FMDP for the Kennesaw Farms Office Park.
4. The Final Plat is consistent with T.C.A. Sections 13-3-402, 13-3-404, 13-4-302 and 13-4-304.

Final Plat for Kennesaw Farms Phase 5, Section 2 (PC0321-14)

5. The legal purposes for which zoning and subdivision regulations exist have not been contravened.
6. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-86, Final Plat for Kennesaw Farms Phase 5, Section 2, prepared by Cherry Land Surveying, Inc. of Nashville, Tennessee, consisting of a one (1) sheet plat, with project no. 14090PLT, dated July 23, 2014, with a revision date of September 11, 2014, with the following conditions:

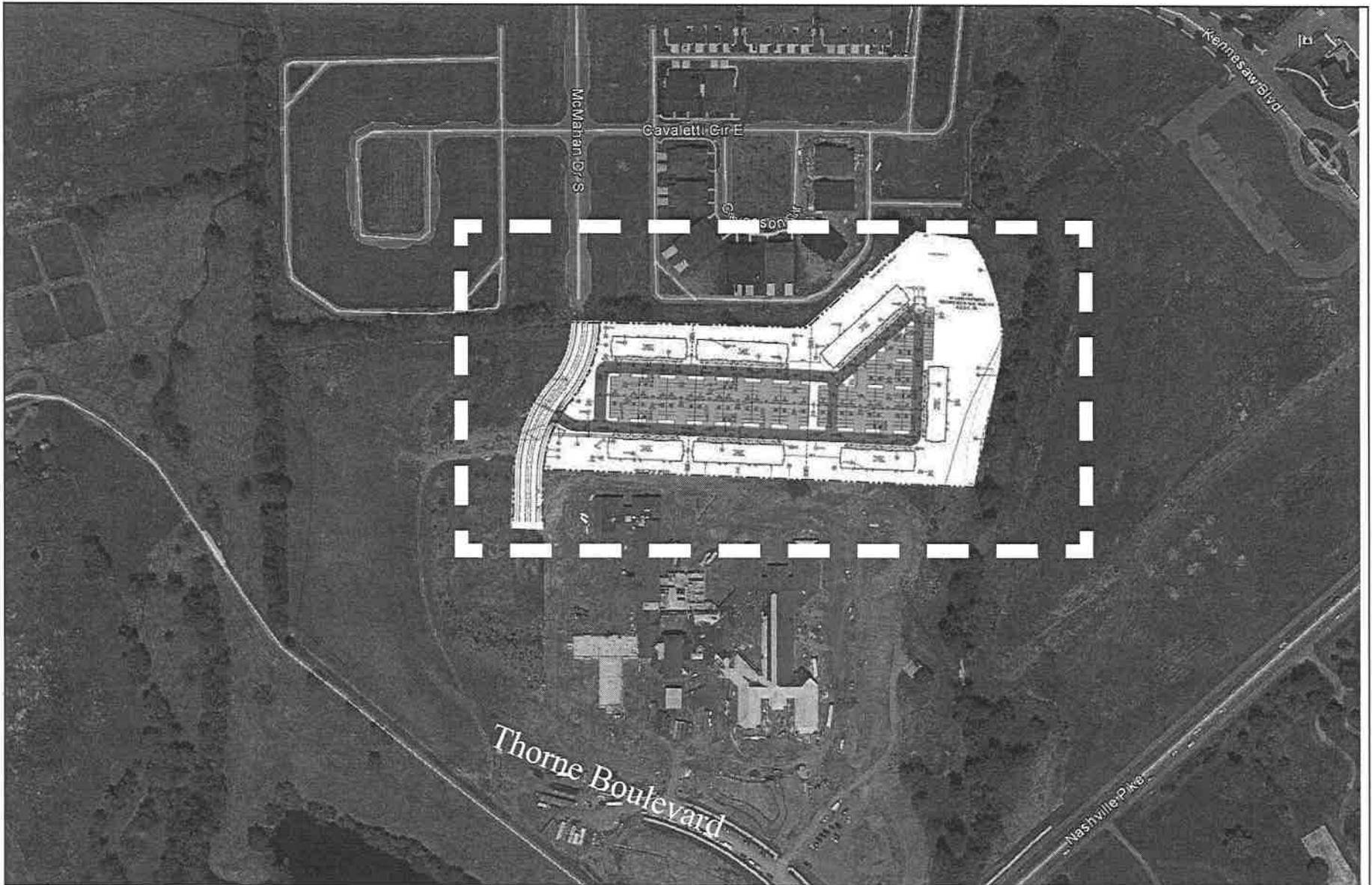
1. Extend Public Right-of-Way for Thorne Boulevard to western property line.
2. Proposed Thorne Boulevard and South McMahan intersection does not match approved FMDP submittal. Revise plat to match proposed construction plans.
3. Submit detailed water and sanitary sewer plans for installations for South McMahan Drive.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS:

- Attachment 2-1 Location Map
- Attachment 2-2 FMDP for Kennesaw Farms Office Park Ph. 5, Sec. 2 (PC0323-14)
- Attachment 2-3 Final Plat for Kennesaw Farms Phase 5, Section 2

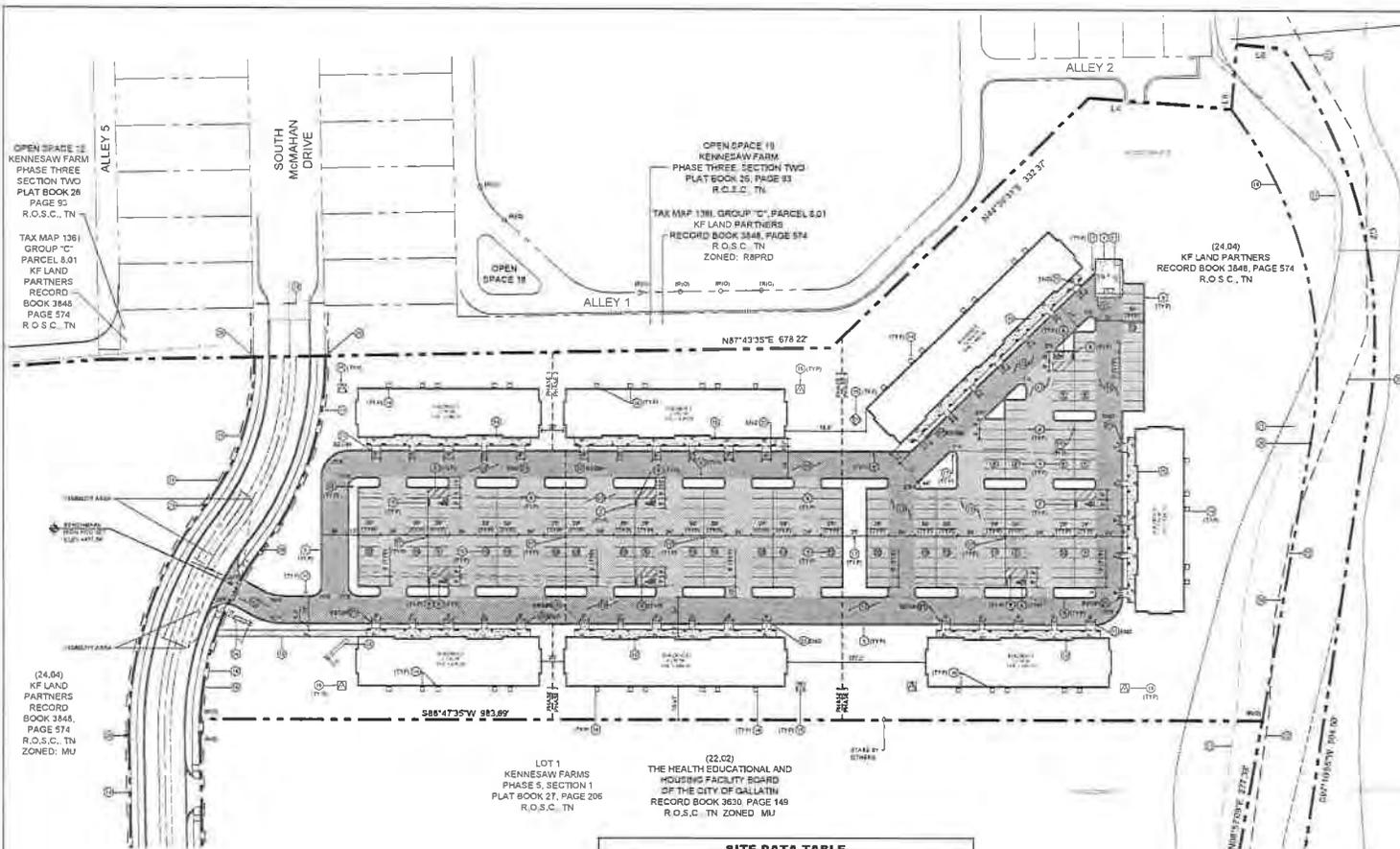
I:\SUBDIVISIONS\MAJOR SUBDIVISIONS\Kennesaw Farms- Ph. 5, Sec. 2 (PC0321-14)(SD-2014-04F-2)\Item 2 Kennesaw Farms Phase 5, Section 2 Final Plat (PC0321-14) (SD-2014-04-F5-2) KC (9-22-14)



Prepared By: Kevin Chastine, AICP
Prepared On: September 18, 2014

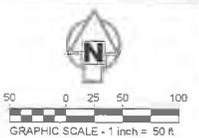
Location Map
Kennesaw Farms Phase 5, Section 2 - Final Plat
PC0321-14





OPEN SPACE 21
KENNESAW FARM
PHASE THREE
SECTION TWO
PLAT BOOK 26
PAGE 53
R.O.S.C. TN

TAX MAP 1361
GROUP "C"
PARCEL 8.01
KF LAND
PARTNERS
RECORD
BOOK 3848
PAGE 574
R.O.S.C. TN



LINE TABLE

LINE NO.	DESCRIPTION	DATE
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6	REVISION	08/14/2014
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100	REVISION	08/14/2014

CURVE TABLE

STATION	CHORD BEARING	CHORD LENGTH	CHORD CURVATURE	CHORD AREA
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1+67.82	S 88° 47' 35" W	353.07	0.0000	0.0000
2+03.14	N 87° 43' 35" E	678.22	0.0000	0.0000
2+70.36	S 88° 47' 35" W	353.07	0.0000	0.0000
3+05.73	N 87° 43' 35" E	678.22	0.0000	0.0000
3+72.95	S 88° 47' 35" W	353.07	0.0000	0.0000
4+08.32	N 87° 43' 35" E	678.22	0.0000	0.0000
4+75.54	S 88° 47' 35" W	353.07	0.0000	0.0000
5+10.91	N 87° 43' 35" E	678.22	0.0000	0.0000
5+78.13	S 88° 47' 35" W	353.07	0.0000	0.0000
6+13.50	N 87° 43' 35" E	678.22	0.0000	0.0000
6+80.72	S 88° 47' 35" W	353.07	0.0000	0.0000
7+16.09	N 87° 43' 35" E	678.22	0.0000	0.0000
7+83.31	S 88° 47' 35" W	353.07	0.0000	0.0000
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9+88.49	S 88° 47' 35" W	353.07	0.0000	0.0000
10+23.86	N 87° 43' 35" E	678.22	0.0000	0.0000
10+91.08	S 88° 47' 35" W	353.07	0.0000	0.0000
11+26.45	N 87° 43' 35" E	678.22	0.0000	0.0000
11+93.67	S 88° 47' 35" W	353.07	0.0000	0.0000
12+29.04	N 87° 43' 35" E	678.22	0.0000	0.0000
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13+98.85	S 88° 47' 35" W	353.07	0.0000	0.0000
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15+36.81	N 87° 43' 35" E	678.22	0.0000	0.0000
16+04.03	S 88° 47' 35" W	353.07	0.0000	0.0000
16+39.40	N 87° 43' 35" E	678.22	0.0000	0.0000
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61+63.17	S 88° 47' 35" W	353.07	0.	

ITEM 3

GMRPC Resolution No. 2014-82

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR KENNESAW FARMS AND APPROVING A FINAL MASTER DEVELOPMENT PLAN FOR THE KENNESAW FARMS PHASE 1, LOT 7 RETAIL DEVELOPMENT TO CONSTRUCT A 12,060 SQUARE FOOT MULTI-TENANT BUILDING ON 1.415 (+/-) ACRES, LOCATED AT 11650 NASHVILLE PIKE (PC0324-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Amended Preliminary and Final Master Development Plan submitted by the applicant, Perry Engineering, LLC, at its regular meeting on September 22, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-310, § 13-4-310, §13-7-201 and §13-7-202:

1. The Amended PMDP/FMDP is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Regional Activity Center Community Character Area.
2. The proposed Amended Preliminary Master Development Plan/Final Master Development Plan is consistent with the purpose and intent of the Planned General Commercial (PGC) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district.
3. The proposed changes shown in the Amended Preliminary Master Development Plan/Final Master Development Plan do not constitute a major amendment to the approved PMDP as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity. As designed, the proposed General Retail Sales and Service use will not change the essential character of this area on Nashville Pike. The project has also been designed to reflect the recommendations of the

ITEM 3

Gallatin on the Move 2020 General Development and Transportation Plan, meet the Kennesaw Farms' Design Guidelines, and be consistent with the intent and purpose of the Gallatin Zoning Ordinance.

5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended PMDP/FMDP will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended PMDP/FMDP has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the minor amendment to the Kennesaw Farms Preliminary Master Development Plan and approves the Final Master Development Plan for the Kennesaw Farms Phase 1, Lot 7 Retail Development consisting of 16 sheets, prepared by Perry Engineering, LLC, of Goodlettsville, Tennessee, dated September 11, 2014 and architectural elevations consisting of 1 sheet, prepared by J.W. Purkey Architecture, LLC, of Nashville, Tennessee, with project number 14-010, dated September 9, 2014, with the following conditions:

1. Inspection of the exterior building facade materials by the Planning Department is required prior to the installation of the exterior building facade materials.
2. The alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance, Section 13.04.100.C.
3. Label the location of the landscape earth berm along Nashville Pike on the Amended PMDP/FMDP.
4. Correct the city limits in vicinity maps.
5. List the height of the proposed building (27 feet, 11 inches) in the site data table on Sheet C-0.1.
6. Correct the zoning label on sheet C-1.0 from “MW” to “MU”.
7. Correct the Type 15 Bufferyard to Alternative Type 15 Bufferyard on sheet C-2.1 for the east and west sides of the property (shared driveways).
8. Correct the Type 15 Bufferyard to Alternative Type 15 Bufferyard on sheet L-1.1 for the north and west sides of the property.
9. Revise the photometric plan in order to comply with the Gallatin G.Z.O., Section 13.02.080, Performance Standards Regulating Glare and Electromagnetic Interference.
10. Provide the required cross access easements and the two (2) shared driveway connections for Lot 7.

ITEM 3

11. Relocate the sidewalk along Nashville Pike to a minimum of ten (10) feet from edge of pavement or extend the curb and gutter along Nashville Pike.
12. Remove the proposed stormwater infrastructure from access easement and relocate within property boundary.
13. Provide a separate stormwater drainage calculations (detailing pre-construction and post-construction), and design details and performance specifications for all water quality features to be installed, signed and sealed by a professional engineer.
14. Provide a copy of a recorded Stormwater Maintenance Agreement for this site.
15. The owner/developer of the multi-tenant building shall submit a Master Signage Package, including details on the monument multi-tenant sign for the property, which shall comply with the sample renderings of the Kennesaw Farms' Design Guidelines and well as G.Z.O., Section 13.07, Sign Regulations and obtain sign permits prior to the installation of any signage on site.
16. The final tenants of the building shall submit a Master Signage Package, including details on all the permanent signs on the property, which shall comply with the sample renderings of the Kennesaw Farms Design Guidelines and well as G.Z.O., Section 13.07, Sign Regulations and obtain sign permits prior to the installation of any signage on site.
17. Submit water and sanitary sewer service plans to the Gallatin Department of Public Utilities for review and approval.
18. Submit a site surety, in an amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to the issuance of a building permit.
19. Submit three (3) corrected and folded copies, one (1) full size and two (2) half-size, of the Amended Preliminary Master Development Plan/Final Master Development Plan to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 09/22/2014

Dick Dempsey, Chairman

ITEM 3

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 3

PLANNING DEPARTMENT STAFF REPORT

Kennesaw Farms Phase 1, Lot 7 Amended PMDP/FMDP

(PC0324-14)

1650 Nashville Pike

Date: September 17, 2014

REQUEST: APPLICANT AND OWNER REQUEST APPROVAL OF A MINOR AMENDMENT TO THE KENNESAW FARMS PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR THE KENNESAW FARMS PHASE 1, LOT 7 RETAIL DEVELOPMENT TO CONSTRUCT A 12,060 SQUARE FOOT MULTI-TENANT BUILDING ON 1.415 (+/-) ACRES, LOCATED AT 1650 NASHVILLE PIKE.

OWNER: KENNESAW FARMS INVESTMENT PARTNERS

APPLICANT: PERRY ENGINEERING, LLC.

STAFF RECOMMENDATION: MINOR AMENDMENT & APPROVAL OF GMRPC RESOLUTION 2014-82 WITH CONDITIONS

STAFF CONTACT: ROBERT J. KALISZ

PC MEETING DATE: SEPTEMBER 22, 2014

PROPERTY OVERVIEW:

The applicant and owner are requesting approval of a minor amendment to the Kennesaw Farms Preliminary Master Development Plan and approval of a Final Master Development Plan for the Kennesaw Farms Phase 1, Lot 7 Retail Development to construct a 12,060 square foot multi-tenant building on 1.415 (+/-) acres, located at 1650 Nashville Pike. The property is currently zoned Planned General Commercial (PGC). Although the final tenants of the building are unknown at this time, the proposed use for the building has been identified as General Retail Sales and Services, which is a permitted commercial use in the PGC zone district. This lot is currently vacant and no portion of this property is located within a special flood hazard area. (Attachment 3-1)

CASE BACKGROUND:

Previous Approvals and Property History

The Planning Commission recommended approval of the rezoning and Preliminary Master Development Plan for Kennesaw Farms, a mixed-use development including commercial, office, and a variety types of residential uses on approximately 313 acres, at the June 23, 2003 meeting (PC File #3-3-03). The rezoning request passed Second Reading at the August 5, 2003 Gallatin

City Council meeting. Final Master Development Plans have been approved for various phases and sections of Kennesaw Farms and construction is currently underway on Attached Dwelling units and One-family Detached Dwelling units.

At the September 26, 2011 meeting, the Planning Commission approved a minor amendment to the Preliminary Master Development Plan for Kennesaw Farms, Phase 5 (PC9871-11) changing the approved uses in that area as follows:

Approved Uses and Designated Acreage

- 1.67 (+/-) acres General Retail Sales and Services (Area L)
- 13.02 (+/-) acres Multi-family Dwelling (Area M)
- 9.06 (+/-) acres Financial, Consulting and Administrative (Area N)
- 17.71 (+/-) acres Nursing Home/Assisted Living & Medical Office/Service (Area O)
- 7.27 (+/-) acres Food Service (Area P)

The Planning Commission approved a Final Master Development Plan for a 13,225 square foot CVS Pharmacy on Lot 1 on April 14, 2008; however, a building permit has not been obtained (PC File # 8-11-08). The Kennesaw Farms, Lot 1, Outparcel H plat for the CVS Pharmacy was plated separately as an in house minor subdivision plat and was recorded on May 20, 2008; Plat Book 25, Page 355 (PC File #2-3-08S). This lot is adjacent to the subject property.

The Preliminary and Final Plats for Kennesaw Farms, Phase 1, Commercial were approved with conditions by the Planning Commission at the October 25, 2010 meeting (PC Files #1-12-10B and #1-11-10C respectively).

A Final Master Development Plan for Kennesaw Farms, Phase 5, Section 1, was approved by Planning Commission at the December 12, 2011 meeting allowing for the construction of the National HealthCare Facility on Thorne Boulevard off Nashville Pike (PC9910-11). That facility is currently under construction.

On February 13, 2013 an application was submitted to the Planning Department requesting approval of an in house minor subdivision to re-plat for Kennesaw Farms, Phase 1, Commercial in order to change the lot lines for Lots 7 and 8. The applicant withdrew that application prior to Staff approval (PC0087-13). Since Final Plats do not expire, a revision to the Preliminary Plat was not required.

On January 27, 2014 the Planning Commission approved a Final Plat for Kennesaw Farms, Phase 1 Commercial (PC0228-13) and recorded on February 27, 2014 (P.B. 28, Pgs. 109-111).

Please note that this Final Plat does not include Lot 1(CVS Pharmacy Lot); the property located on the corner of Nashville Pike and Kennesaw Boulevard at the main entrance into the Kennesaw Farms Development. That lot was platted separately in 2008. The Kennesaw Farms, Lot 1, Outparcel H plat was recorded on May 20, 2008 (Plat Book 25, Page 355).

On January 27, 2014 the Planning Commission approved an Amended PMDP/FMDP for Kennesaw Farms Medical Plaza (PC0231-14) in order to construct a 12,000 square foot multi-tenant building on 1.50 (+/-) acres located at 1720 Nashville Pike.

DISCUSSION:

Gallatin on the Move 2020 General Development and Transportation Plan

The Kennesaw Farms property, and particularly the outparcels that front Nashville Pike, is located on a main gateway into the City of Gallatin. Staff understands the importance of maintaining the open green space along Nashville Pike, which helps to distinguish this area from other entrances into the community. Although the study area for the *Nashville Pike Corridor General Development and Transportation Plan Amendment*, approved by the Planning Commission on November 5, 2001 (PC File #7-9-01), did not extend all the way to the Kennesaw Farms property, staff thinks many of the recommendations of that plan amendment should be applied to this area to encourage the use of high quality construction materials and design in order to maintain the unique character of the property in the same way parcels further east on Nashville Pike have development. Please refer to the information about the *Key Issues/Goals* of the Nashville Pike Corridor and the *Architectural Standards* described in the *Nashville Pike Corridor General Development and Transportation Plan Amendment* included as Attachment 3-2 (Page 6) and Attachment 3-3 (Page 13).

The *Nashville Pike Corridor General Development and Transportation Plan Amendment* is also referenced as a supporting document in the award winning *Gallatin on the Move 2020 General Development and Transportation Plan* adopted by the Planning Commission in 2009. This property is shown as part of the Regional Activity Center on the Community Character Area Map in the *2020 Plan*. One of the intentions of the Regional Activity Center is to provide for a pedestrian-friendly area that offers mixed-use services such as shopping, offices, restaurants, entertainment, as well as different types of residential uses (Attachment 3-4, page 3-48).

The design of the Kennesaw Farms Phase 1, Lot 7 Retail Development project reflects the overall development strategies outlined in the *2020 Plan* for the Regional Activity Center Community Character Area, which encourages pedestrian-scaled buildings and the installation of adequate buffers to ensure compatibility with adjacent uses. Please refer to description of the Regional Activity Center Community Character Area included with this staff report as Attachment 3-4. The setback for the Retail Development building is now more similar to what was approved for the adjacent CVS Pharmacy building proposed on Lot 1 at the corner of Nashville Pike and Kennesaw Boulevard.

Access

The applicant has provided the required access management improvements contained in *Gallatin on the Move 2020 General Development and Transportation Plan* for this area. There is no direct access to this lot from Nashville Pike. Traffic will access this property from Kennesaw Boulevard and through the 45-foot access easement (backage road) along the northern side of Lot 7 and two (2) shared access 24-foot wide driveways along the east and west side of the Lot 7 perpendicular to Nashville Pike. The backpage road and driveways will remain private and will not be accepted or maintained by the City of Gallatin. The applicant shall also provide the

required access easements including for the two (2) shared driveway connections for Lot 7. The shared driveways are shown on the plan which also serves as a side access to Lot 1, Outparcel H and Lot 8.

The applicant has provided a connecting sidewalk from the Retail Development to the sidewalk located along Nashville Pike. The connecting sidewalk and internal sidewalks shall comply with all American Disability Act (ADA) regulations. The connecting sidewalk will help the site function as a pedestrian friendly development as encouraged by the *2020 Plan* for Regional Activity Centers.

Architectural Elevations

Sample architectural renderings for commercial buildings were included as part of the Design Guidelines for the Kennesaw Farms PMDP (Attachment 3-5). The sample rendering for the out parcels feature a brick building with a metal canopy and a metal gable roof with copulas on each end. This rendering was included in the Design Guidelines to give future developers an idea of what type architecture would be most appropriate for the out parcels along Nashville Pike. The architect has incorporated design elements from the historic Baber house and other existing buildings in Kennesaw Farms into the final design of the Retail Development building. Please refer to Attachment 3-1, Sheet A1.0.

The front facade of the 12,060 square foot multi-tenant building faces south, fronting Nashville Pike, and is a mixture of two (2) different color brick, (Brick #1-Field Pebble and Brick #2-Soldier Saddle), synthetic stone base (Buck County), with Spectrem Brown colored E.I.F.S. details at the top of the building. The majority of the roof is shown to be a gable roof running parallel with the building with three (3) gable ends facing Nashville Pike, which give the building more interesting dimensions. Two (2) small portions of the roof facing Nashville Pike will be a flat roof with a four (4) foot high parapet wall. Extending approximately 18 feet from the rear portion of the building along the entire length of the building will be a flat roof with a four (4) foot high parapet wall. Metal canopies and fabric awnings will be installed along the front, sides, and rear of the building over the entrances and storefront glass to the individual tenant spaces. A horizontal synthetic stone base band runs along the bottom of three (3) façades with a small wraparound to the rear of the building to complement the brick colors.

The building has also been designed so no roof top mechanical equipment can be seen from any direction in accordance with G.Z.O., Section 13.08.010.F.A. Screening. The height of the building (front gable ends) is shown at 27 feet, 11 inches on the architectural elevations, which complies with the bulk regulations of the PGC zone district. The height of the front parapet wall is 18 feet, 6 inches with the top of the rear parapet wall is 16 feet, 8 inches. The applicant shall list the height of the proposed building (27 feet, 11 inches) in the site data table on Sheet C-0.1.

The side elevations, facing east and west, are mirror images and feature the same mixture of brick, E.I.F.S. and stone details. The large glass windows with the fabric awnings will help to break up the large areas of brick on the side elevations. The rear elevation of the building, facing north, is also comprised of 100 percent brick.

All four (4) facades of the proposed building exceed the 70 percent brick or stone requirement of Section 13.08 of the Gallatin Zoning Ordinance. According to the calculations provided by the architect, the masonry (a mixture of brick and stone) on the front of the building is 84.4 percent with the remaining 15.6 percent being E.I.F.S. The overall masonry (a mixture of brick and stone) is 91.5 percent with the remaining 8.5 percent being E.I.F.S. The applicant has used the earth tone colors recommended for the PGC zone district and the proposed color scheme is similar to the existing buildings already constructed or approved in Kennesaw Farms. The applicant has submitted a sample material and color board with colored architectural elevations, which will be presented at the Planning Commission meeting. The proposed building materials also meet the Building Standards as outlined in the Kennesaw Farms' Design Guidelines (Page 27); Attachment 3-5 and Attachment 3-6.

The final architectural elevations for the multi-tenant building appear to reflect the overall intent of the design concept featured in the Kennesaw Farms' Design Guidelines.

In keeping with the *2020 Plan*, the proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity. As designed, the proposed General Retail Sales and Service use will not change the essential character of this area on Nashville Pike. The project has also been designed to reflect the recommendations of the *2020 Plan*, meet the Kennesaw Farms Design Guidelines, and be consistent with the intent and purpose of the Gallatin Zoning Ordinance.

The applicant shall be aware that inspection of the exterior building façade materials by the Planning Department is required prior to the installation of the exterior building facade materials.

Parking

The parking requirements for the site were based on the General Retail Sales and Service use, which requires one (1) parking space for every 250 square feet of building area. Based on this ratio, the site is required to provide a total of 48 parking spaces, two (2) of which must be handicap accessible. The applicant has shown a total of 68 parking spaces, including three (3) van accessible handicap spaces at the front side of the building, near the middle of the multi-tenant building.

Landscaping and Bufferyards

Bufferyards are required to be shown as part of the FMDP and are intended to minimize the potential impacts of the proposed development on the adjacent properties as outlined in the *2020 Plan*. The applicant has submitted a detailed landscaping and bufferyard plan, which includes some alternatives to the requirements of the Gallatin Zoning Ordinance. (Sheet L-1.1)

The applicant has shown the required Type 20 Bufferyard along Nashville Pike, originally approved as part of the Kennesaw Farms PMDP, which depicts landscape earth berms along Nashville Pike to further screen the commercial developments. The bufferyard has been designed to be consistent along all the out parcels fronting Nashville Pike, including Lot 1 where the CVS Pharmacy was previously approved. Details of the proposed bufferyard and required planting materials were included with the original PMDP (Sheet 6). Please refer to the bufferyard detail from the Kennesaw Farms PMDP included in this staff report as Attachment 3-7. The applicant

shall label the location of the landscape earth berm along Nashville Pike on the Amended PMDP/FMDP.

The applicant is also requesting approval of an Alternative Type 15 Bufferyard along the northern, eastern and western property lines. Planting areas are limited in this area due to the location of the backage road and shared driveways for Lot 1, Outparcel H, and Lot 8. A landscaping strip is not shown; however, the applicant is still proposing trees and shrubs along the eastern and western side of the building. A similar alternative plan was recently approved by Planning Commission for the Medical Plaza on the Nashville Pike where an alternative bufferyard was shown along the backage road and a shared driveway (PC0231-14). These bufferyards, and the proposed alternatives, are also similar to those also approved for the CVS Pharmacy site.

In addition to the standard bufferyards, the PGC zone district also has additional landscaping requirements, which are outlined in Section 08.04.050.B of the Gallatin Zoning Ordinance. The landscaping plan includes the additional plantings as required by the G.Z.O. for the PGC zone district. The applicant has shown the perimeter landscaping along parking areas adjacent to public right-of-way and the interior parking areas, which meet the requirements of the Gallatin Zoning Ordinance.

The Planning Commission should determine if the alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval.

Dumpster Enclosures

The dumpster pad and dumpster enclosure have been shown at the back of the building adjacent to the backage road. The dumpster enclosure will be a minimum of eight (8) foot high masonry to match the exterior masonry and color of the proposed building. The applicant has shown additional landscape screening surrounding the three (3) sides of the dumpster enclosure facing the backage road.

Signs

The *Nashville Pike Corridor General Development and Transportation Plan Amendment* describes the important role signs plays in the visual appearance and character of the Nashville Pike Corridor and notes that signage should not detract from the continuity or identity of the streetscape. That plan recommended that freestanding signs on Nashville Pike be limited to monument style signs with a maximum height of six (6) feet. The commercial outparcels further east on Nashville Pike have complied with this regulation. Similarly, the *2020 Plan* notes the importance of limiting large signs on Gateway Corridors.

The Kennesaw Farms' Design Guidelines approved as part of the original PMDP describes specific Signage Standards and the PMDP included sample renderings of freestanding monument signs limited to five (5) feet in height for single tenant and 10 feet, 5 inches in height for multi-tenant signs. Please refer to the Signage Standards from page 29 of the Kennesaw Farms' Design Standards a sample monument sign rendering included with this staff report as Attachment 3-8 and Attachment 3-9 respectively. Please note that the single tenant monument sign for CVS

Pharmacy on Lot 1 was also limited to five (5) feet high as required by the Kennesaw Farms' Design Guidelines.

A Master Signage Plan was not submitted as required by Section 13.07.065.E, Master Signage Plan. The applicant has submitted a monument multi-tenant sign detail with the Amended PMDP/FMDP for the proposed monument multi-tenant sign located along Nashville Pike (Sheet C-6.1). It shows the proposed monument multi-tenant sign to be five (5) foot, six (6) inches tall positioned on a one (1) foot high base pedestal, which shall comply with the Kennesaw Farms' Design Guidelines. The owner/developer of the multi-tenant building shall submit a Master Signage Package, including details on the monument multi-tenant sign for the property, which shall comply with the sample renderings of the Kennesaw Farms' Design Guidelines and well as G.Z.O., Section 13.07, Sign Regulations.

Wall mounted signs are shown on the architectural elevations above the entrance to each individual tenant space. Since the final tenants are unknown at this time, only sample wall mounted signs are shown on the architectural elevations. The final tenants of the building shall submit a Master Signage Package, including details on all the permanent signs on the property, which complies with the sample renderings of the Kennesaw Farms' Design Guidelines and well as G.Z.O., Section 13.07, Sign Regulations.

Photometric Plan

The applicant has submitted details of the proposed lighting fixtures as well as a photometric plan showing the location of the pole and wall mounted lighting fixtures; however, many of the light levels along the property lines are still too high to comply with the requirements of G.Z.O., Section 13.02.080, Performance Standards Regulating Glare and Electromagnetic Interference. The applicant shall revise the photometric plan in order to comply with the Gallatin G.Z.O., Section 13.02.080, Performance Standards Regulating Glare and Electromagnetic Interference.

Site Surety

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required of the Gallatin Zoning Ordinance. The applicant shall submit a site surety, in the amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

Minor Amendment

G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan, lists specific items that would constitute a major amendment to an approved PMDP including an increase in density, substantial changes to access or site circulation, or substantial changes to approved architecture. Staff reviewed the approved PMDP in detail and found no changes that would constitute a major amendment. Planning Commission should determine if the proposed improvements to Lot 7 for the construction of the Kennesaw Farms Retail Development building should be considered as a minor amendment to the approved Preliminary Master Development Plan for Kennesaw Farms.

Engineering Division Comments

The Engineering Division reviewed and commented on the Amended PMDP/FMDP. Most of the Engineering Division comments have been satisfied however, the applicant shall correct the Amended PMDP/FMDP and provide documents as indicated below:

1. Relocate sidewalk along Nashville Pike to a minimum of ten (10) feet from edge of pavement or extend the curb and gutter along Nashville Pike.
2. Remove proposed stormwater infrastructure from access easement and relocate within property boundary.
3. Provide separate stormwater drainage calculations (detailing pre-construction and post-construction), and design details and performance specifications for all water quality features to be installed, signed and sealed by a professional engineer.
4. Provide a copy of a recorded Stormwater Maintenance Agreement for this site.

Gallatin Public Utilities Department Comments

This development is serviced by the Gallatin Public Utilities Department. The applicant shall coordinate all development with Gallatin Public Utilities Department to ensure all future utility infrastructures are installed to the satisfaction of the Gallatin Public Utilities Department standards. The Gallatin Public Utilities Department reviewed the Amended PMDP/FMDP and commented that the facility shall comply with all applicable cross-connections control regulations.

Other Departmental Comments

The Other City Departments reviewed the Amended PMDP/FMDP and commented that applicant shall be aware that if any Electrical Facilities must be relocated, it will be the responsibility and of the expense of the owner/developer.

FINDINGS:

1. The Amended PMDP/FMDP is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Regional Activity Center Community Character Area.
2. The proposed Amended Preliminary Master Development Plan/Final Master Development Plan is consistent with the purpose and intent of the Planned General Commercial (PGC) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district.
3. The proposed changes shown in the Amended Preliminary Master Development Plan/Final Master Development Plan do not constitute a major amendment to the approved PMDP as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the

general vicinity. As designed, the proposed General Retail Sales and Service use will not change the essential character of this area on Nashville Pike. The project has also been designed to reflect the recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan*, meet the Kennesaw Farms' Design Guidelines, and be consistent with the intent and purpose of the Gallatin Zoning Ordinance.

5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended PMDP/FMDP will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended PMDP/FMDP has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

RECOMMENDATION:

Based on the findings presented in the staff report, Staff recommends that the Planning Commission approve GMRPC Resolution 2014-82, a minor amendment to the Kennesaw Farms Preliminary Master Development Plan and the Final Master Development Plan for the Kennesaw Farms Phase 1, Lot 7 Retail Development consisting of 16 sheets, prepared by Perry Engineering, LLC, of Goodlettsville, Tennessee, dated September 11, 2014 and architectural elevations consisting of 1 sheet, prepared by J.W. Purkey Architecture, LLC, of Nashville, Tennessee, with project number 14-010, dated September 9, 2014, with the following conditions:

1. Planning Commission approve the proposed changes as a minor amendment to the approved Kennesaw Farms Preliminary Master Development Plan.
2. Planning Commission approve the final architectural elevations as submitted. The applicant shall be aware that inspection of the exterior building façade materials by the Planning Department is required prior to the installation of the exterior building façade materials.
3. The Planning Commission should determine if the alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance, Section 13.04.100.C.
4. Label the location of the landscape earth berm along Nashville Pike on the Amended PMDP/FMDP.
5. Correct the city limits in vicinity maps.
6. List the height of the proposed building (27 feet, 11 inches) in the site data table on Sheet C-0.1.
7. Correct the zoning label on sheet C-1.0 from "MW" to "MU".
8. Correct the Type 15 Bufferyard to Alternative Type 15 Bufferyard on sheet C-2.1 for the east and west sides of the property (shared driveways).
9. Correct the Type 15 Bufferyard to Alternative Type 15 Bufferyard on sheet L-1.1 for the north and west sides of the property.

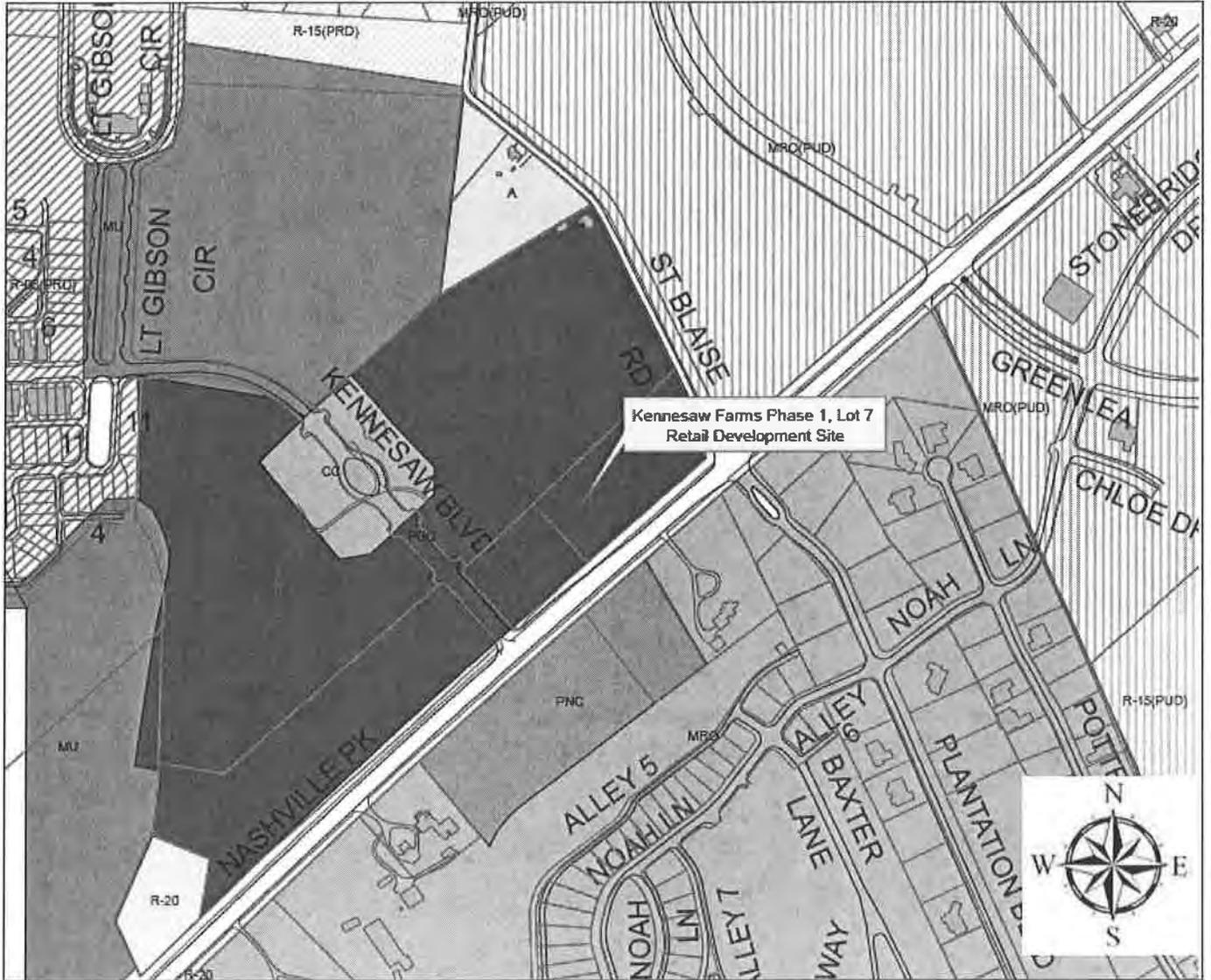
10. Revise the photometric plan in order to comply with the Gallatin G.Z.O., Section 13.02.080, Performance Standards Regulating Glare and Electromagnetic Interference.
11. Provide the required cross access easements and the two (2) shared driveway connections for Lot 7.
12. Relocate the sidewalk along Nashville Pike to a minimum of ten (10) feet from edge of pavement or extend the curb and gutter along Nashville Pike.
13. Remove the proposed stormwater infrastructure from access easement and relocate within property boundary.
14. Provide a separate stormwater drainage calculations (detailing pre-construction and post-construction), and design details and performance specifications for all water quality features to be installed, signed and sealed by a professional engineer.
15. Provide a copy of a recorded Stormwater Maintenance Agreement for this site.
16. The owner/developer of the multi-tenant building shall submit a Master Signage Package, including details on the monument multi-tenant sign for the property, which shall comply with the sample renderings of the Kennesaw Farms' Design Guidelines and well as G.Z.O., Section 13.07, Sign Regulations and obtain sign permits prior to the installation of any signage on site.
17. The final tenants of the building shall submit a Master Signage Package, including details on all the permanent signs on the property, which shall comply with the sample renderings of the Kennesaw Farms Design Guidelines and well as G.Z.O., Section 13.07, Sign Regulations and obtain sign permits prior to the installation of any signage on site.
18. Submit water and sanitary sewer service plans to the Gallatin Department of Public Utilities for review and approval.
19. Submit a site surety, in an amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to the issuance of a building permit.
20. Submit three (3) corrected and folded copies, one (1) full size and two (2) half-size, of the Amended Preliminary Master Development Plan/Final Master Development Plan to the Planning Department.

(The Amended Preliminary Master Development Plan/Final Master Development Plan shall be corrected to comply with the conditions of approval prior to the final Staff approval by the Planning Department.)

ATTACHMENTS:

Attachment 3-1	Location Map and Kennesaw Farms Phase 1, Lot 7 Retail Development Amended PMDP/FMDP and Architectural Elevations
Attachment 3-2	Key Issues/Goals Nashville Pike Corridor GDP Amendment; page 6
Attachment 3-3	Arch. Standards Nashville Pike Corridor GDP Amendment; page 13
Attachment 3-4	Regional Activity Center Community Character Area information
Attachment 3-5	Sample outparcel building rendering from KF PMDP
Attachment 3-6	Building Standards KF Design Guidelines page 27
Attachment 3-7	Type 20 Bufferyard Rendering KF PMDP
Attachment 3-8	Sample signage from KF PMDP
Attachment 3-9	Signage Standards from KF Design Guidelines

KENNESAW FARMS PHASE 1, LOT 7
RETAIL DEVELOPMENT
LOCATION MAP



1650 NASHVILLE PIKE
TAX MAP AND PARCEL #136//046.00
ZONED PGC
PC0324-14

ATTACHMENT 3-1

ATTACHMENT 3-2

areas have been designated to provide land area for new services in convenient, accessible locations. The Plan discourages the widespread commercialization of City roadways due to its negative effect on the character of surrounding residences.

- A principle aspect of the commercial concept for the planning area is the strong support for “nodal” commercial development patterns centered on major street intersections and freeway interchange areas. Limiting commercial development where it already exists is strongly encouraged. The principle implementation tool to carry out “nodal” development is a set of design guidelines for commercial development. These guidelines are proposed to permit the commercialization of existing and emerging arterial roadways, but with effective access control and design standards to shape this growth.

Land Use Map Notes

The City of Gallatin General Development Plan, Future Land Use Map, stipulates the following policy statements that are applicable to the study area:

- Mixed Use areas along Nashville Pike provide for non-residential office development or higher density residential. Preserves gateway effect but also provides for reasonable use of property. Commercial uses are not permitted.
- Commercial development at this location to be designed to buffer existing residential areas with limited highway access, landscaping, screening, architectural compatibility and other bulk/density and site development measures.

KEY ISSUES/GOALS

The majority of the existing land use goals are still applicable to the Nashville Pike General Development Plan Amendment study area. In addition, the Planning Commission identified the following key issues/goals that the Nashville Pike Corridor General Development Plan Amendment should address:

1. The City should take a proactive approach to responding to development requests in the Nashville Pike Corridor.
2. The City should promote the orderly growth and development of the Nashville Pike Corridor by providing development standards and regulations that reflect the importance of this area as a gateway into Gallatin.
3. The City should develop a comprehensive access management plan in the Nashville Pike Corridor in order to minimize negative impacts on the existing transportation network.
4. New development should be sensitive to the surrounding neighborhoods and reflect the importance of this area as a major gateway into Gallatin.
5. New development should be required to provide a high quality of site design through effective architectural design, landscaping, screening and buffering, signage standards, and lighting standards.
6. Existing trees should be preserved whenever possible.

EXHIBIT A

ATTACHMENT 3-3

Recommended Changes to the Zoning Ordinance

The Planning Commission discussed various changes to the Planned Neighborhood Commercial (PNC) and Planned General Commercial (PGC) zoning districts during the review of this amendment to the General Development Plan. It is recommended that both districts be revised to provide planned commercial zoning districts that are more flexible and user friendly than the existing planned commercial districts. The proposed revisions will make the planned commercial districts more attractive to potential developers and provide the City with additional land use and design control than conventional commercial zoning districts.

Architectural Standards

The existing residential character of the Nashville Pike Corridor is one of the greatest assets of this area. This corridor serves as an impressive gateway into the heart of Gallatin. New development should be compatible in form with this character as well as with the character of the surrounding residential neighborhoods.

Peninsula Drive to East Camp Creek

- The Plan envisions that the area from Peninsula Drive to East Camp Creek will develop through the adaptive reuse of the existing residential structures. The Plan supports the conversion of the existing residences into non-residential uses. This will permit the development of the property while maintaining the unique character of this area. The Plan does not support the demolition of the existing structures. However, any new construction in this area should be designed to match the established residential character.

State Route 109 to Peninsula Drive

- The Plan envisions that the area from State Route 109 to Peninsula Drive will redevelop through both the adaptive reuse of existing residential structures and new construction. New construction should be designed to be compatible with the surrounding residential areas.

General Architectural Policies and Standards

- Building forms should be tailored to be compatible with surrounding residential buildings with regard to massing, scale, proportion of openings, roof types and degree of detail.
- The use of bright colors is discouraged. In addition, it is recommended that the Architectural Character and Compatibility Standards in the Zoning Ordinance be strictly followed. The use of alternative materials should be closely scrutinized for compatibility with surrounding buildings.
- Prototypical designs should be adapted to reflect the character of Nashville Pike by the use of compatible materials and designs so that they blend in with the surrounding area.
- Facades should be treated in a manner that enhances interests. Particular attention should be paid to facades that face streets and adjoining residential properties.
- Building service areas or loading areas shall not be visible from public streets or from adjacent residential areas; they should be located away from streets and/or adequately screened.

EXHIBIT A

*Revised
Plan*

CENTER CHARACTER CATEGORY

Centers are gathering places situated within neighborhoods or at the edges of adjoining neighborhoods or communities. Centers can include retail and services, civic and public/institutional uses such as schools, churches and post offices; employment; and, in some cases, residential land uses as well. Centers vary in form, character and intensity. The Center Character Category includes the following character areas:

- **Downtown** – Mixed-use, walkable, urban and historic center of the City built around the Public Square that surrounds the Sumner County Courthouse
- **Medical Center** – Medical district surrounding Sumner Regional Medical Center
- **Regional Activity Centers** – Regional-scale mixed-use centers that include retail, office and residential uses
- **Neighborhood Centers** – Neighborhood scale mixed-use centers that serve the surrounding neighborhood
- **College** – College campus sites that include a variety of related uses
- **Broadway/Tobacco Warehouse District** – Mixed-use district that includes a mix of large historic warehouses, modern industrial buildings, commercial and residential uses where revitalization is recommended (opportunity exists to connect this area to Downtown)



North Water Avenue in Downtown Gallatin



Aerial view of Downtown Gallatin and surrounding neighborhoods

EXHIBIT A

REGIONAL ACTIVITY CENTER

General Description

These suburban centers are emerging mixed-use centers developed or planned with large-scale master plans. While unique mixtures of uses and styles are developed for each suburban center based on the market trends, these centers require sustainable designs that provide for flexibility as the market evolves. These centers include a variety of housing types and densities, employment centers, retail/office and other services that serve a regional scale.

Location

Areas within this character area include the following:

- Commercial and residential portions of the Village Green Planned Unit Development (south of the railroad)
- Big Station Camp emerging center
- Kennesaw Farms/Thoroughbred Park
- Foxland
- Area near the intersection of SR-174/Long Hollow Pike and SR-386/Vietnam Veterans Boulevard

Intent

- Provide for open-air shopping centers and mixed-use centers that offer a wide variety of services, shopping, office, restaurants, entertainment and residences
- Refocus strip or corridor commercial development into master planned villages and nodal development with a “main street feel”
- Provide for pedestrian-friendly areas with public spaces, relatively high intensity mix of businesses, retail and offices, employment, education, hospitality and entertainment facilities
- Provide opportunities for new centers that complement existing centers within the City



Landscaped parking lot located in front of a strip mall located within the Village Green planned unit development

REGIONAL ACTIVITY CENTER

Anticipated level of change:

- High

Transportation

- Medium level of service
- High level of connectivity
- Properties accessed by public roads
- Regular-shaped, medium-length blocks
- Roads characterized by curb, gutter with sidewalks containing a medium level of pedestrian orientation

Infrastructure

- Full urban facilities and services
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood and pocket parks
- Reliant on common-owned squares within new or existing development

Primary Land Uses

- Large-scale apartments and townhomes
- Horizontal and Vertical Mixed-Use
- Commercial/Office/Retail/Big Box Retail
- Hospitality
- Public/Institutional
- Entertainment and Cultural Facilities

Appropriate Intensity

- 0.75

Applicable Zoning Districts

Existing Zoning Districts

- PGC, MU, MRO

Proposed Zoning Districts

- No proposed new districts

Development Strategies

- Connect residential and non-residential areas to other areas with wide, pedestrian-friendly sidewalks and paths
- Address design factors, including the size of commercial buildings (facades of large buildings can be broken down into more pedestrian-scaled units), incorporation of outdoor seating and gathering areas, design parameters for parking and internal circulation, architectural treatments, building setbacks, siting and orientation, and adequate buffers to ensure compatibility with adjacent uses
- Include civic and cultural uses
- Locate buildings in close proximity to each other and on both sides of the street to make walking convenient
- Provide interconnectivity between parcels
- Construct wide sidewalks with street trees, landscaping and traditional lighting
- Accommodate bikes with lanes and bike racks located throughout the center
- Locate taller buildings to the interior of a development, allowing for height step down toward the edge near adjacent development
- Serve a regional population of 60,000 to 80,000 people within a 20-mile radius (and typically a minimum of five miles spacing between Regional Activity Centers)
- With ordinances, address building /site design and establish requirements for future reuse of "Big Box" stores



Example of Regional Activity Center development in the Green Hills area of Nashville



Example of Regional Activity Center development in Murfreesboro

Implementation Measures

- ☞ Prepare and adopt a Big Box Ordinance



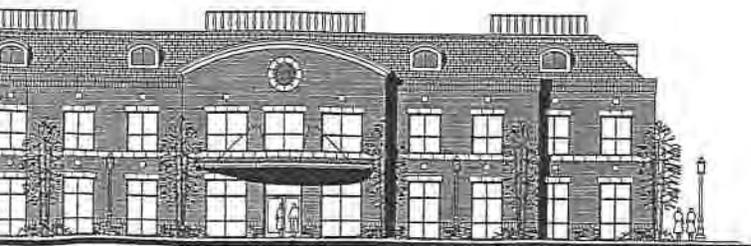
Townhome



Multi-Family



Retail



Office



Amenity



Outparcel

G 03/27/03 0949

EXHIBIT A

KENNESAW FARMS
PMDP PL FILE #3-3-03

ATTACHMENT

3-5

ATTACHMENT 3-6



Building Standards

General

The highest quality building materials will be used in this development. The developer seeks to allow for individual architectural expression however some controls have been created to ensure continuity of all structures in the development.

Materials

Primary building materials may include brick, glass, stone, EIFS and others as approved. Exposed, unpainted concrete block, aluminum or vinyl siding will not be permitted in the development.

Roof Appurtenances

Rooftop HVAC units and other required equipment will be screened from public view. All screening will be as high as the highest equipment to be screened. Ground mounted units are allowed and will also be screened from view.

Additional Requirements

Each elevation plan will be studied for its effect on the overall development. Paint colors and primary building materials will be submitted on a sample board for review by both the review committee and the City of Gallatin Planning Commission.

Street Standards

All streets in the development will be as per the recommendations of the civil engineer and the City of Gallatin. All permanent pavement markings will be of thermoplastic material. All signage shall be placed per the recommendations of the civil engineer and the City of Gallatin.

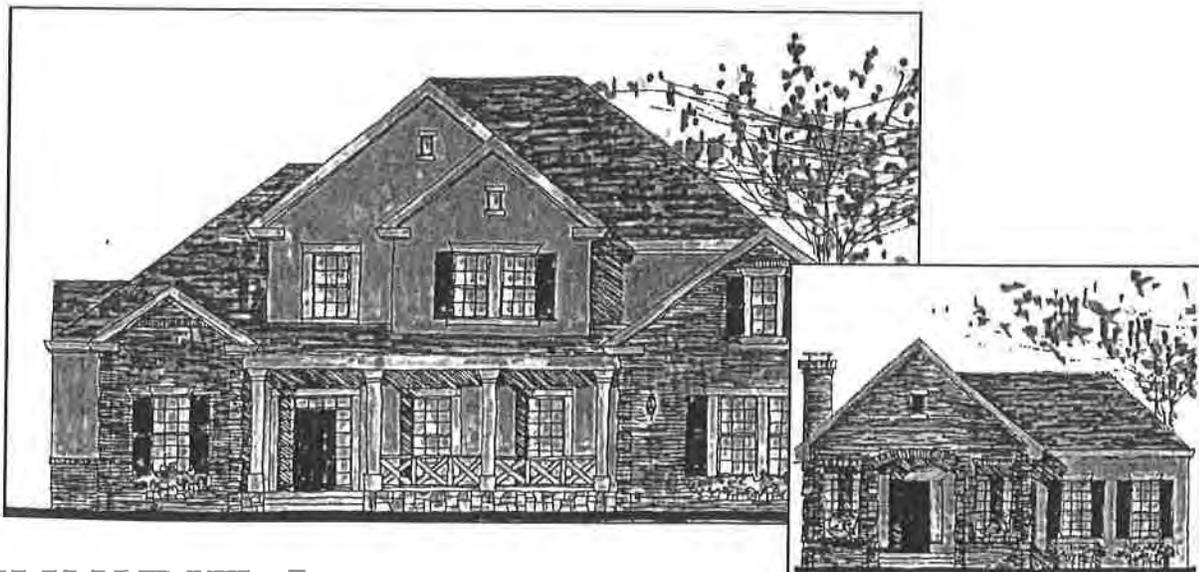
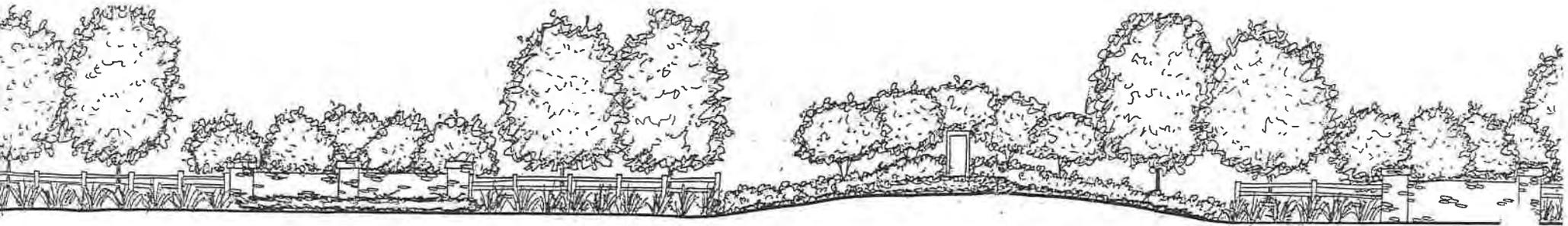
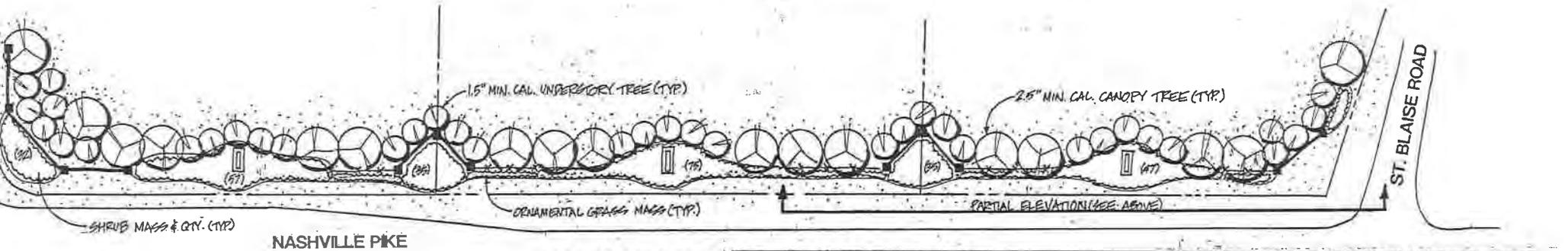


EXHIBIT A



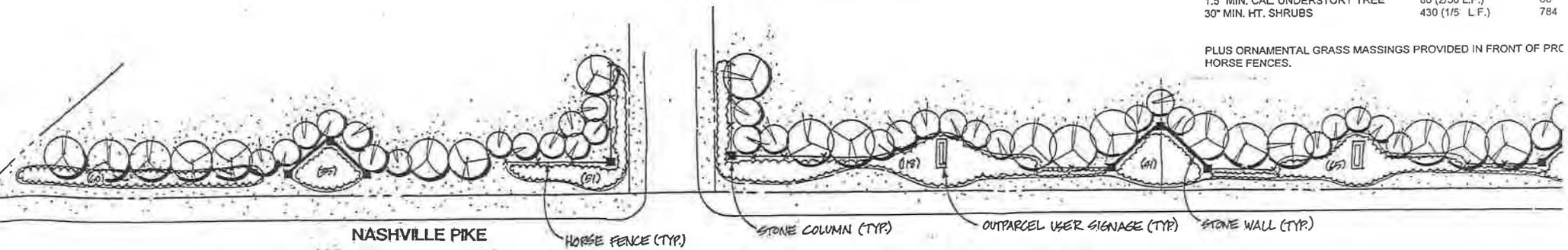
NASHVILLE PIKE FRONTAGE PARTIAL ELEVATION

SCALE 1"=30'



NASHVILLE PIKE FRONTAGE PLAN

SCALE 1"=30'



NASHVILLE PIKE FRONTAGE (2,150 L.F.)
TYPE 20 BUFFER

PLANT TYPE	QTY. REQ'D	_SHC
2.5" MIN. CAL. CANOPY TREE	43 (1/50 L.F.)	43
1.5" MIN. CAL. UNDERSTORY TREE	86 (2/50 L.F.)	86
30" MIN. HT. SHRUBS	430 (1/5 L.F.)	784

PLUS ORNAMENTAL GRASS MASSINGS PROVIDED IN FRONT OF PRC HORSE FENCES.

NASHVILLE PIKE FRONTAGE PLAN (CONT.)

SCALE 1"=30'



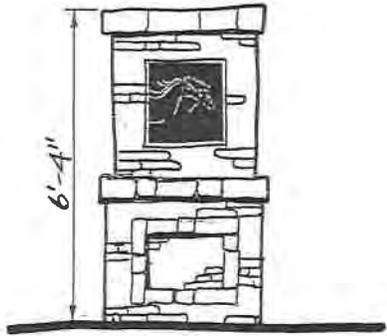
111 SPACE PARK NORTH
GOODLETTSVILLE, TENNESSEE 37072

CONTACT: ANTHONY ZECCO (615) 851-9179

ENTRANCE WALL ELEVATION

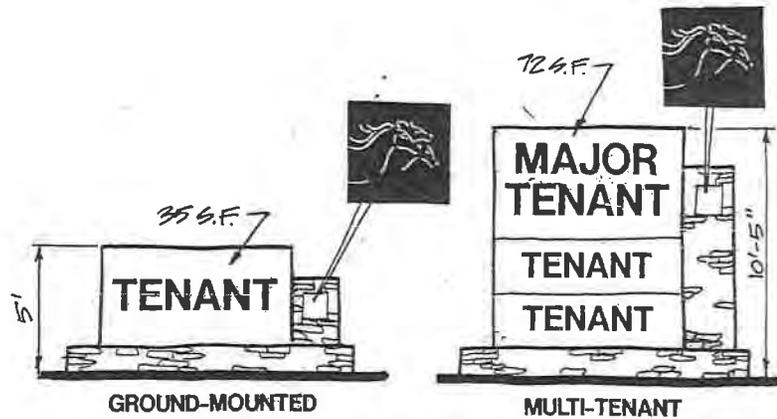
3/16"=1'-0"

EXHIBIT A



FREESTANDING STONE COLUMN ELEVATION

1/2"=1'-0"



SIGNAGE ELEVATIONS

1/4"=1'-0"

NOTE: ALL SIGNAGE SHALL COMPLY WITH GALLATIN SIGN. REGULATIONS.
ALL SIGNS SHALL BE GROUND-MOUNTED. NO PYLON SIGNS SHALL
BE PERMITTED.

ATTACHMENT 3-8

Signage Standards

General

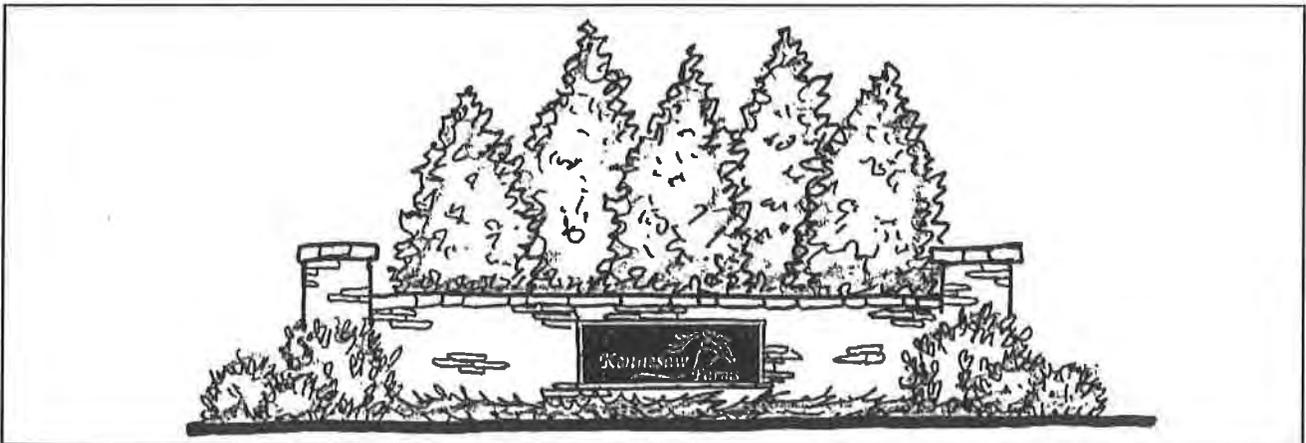
The intent of the signage standards is to develop criteria to ensure continuity of all signs for the development. The review committee will grant final approval of any sign by the standard review process.

Monument Signs

Only one sign will be permitted per zoned lot regardless of street frontage. Signs must have at least a five foot front setback and ten foot side setback from the property line and conform to the City of Gallatin sign ordinance. All sight distances must be considered. The review committee on a case by case basis will handle illumination.

Building Mounted Signs

Signs will contain only raised letters attached to the building per the City of Gallatin sign ordinance. Sign letters will be internally illuminated where the front sign surface is transparent and sign sides are opaque material or spot light applications where source of light is not visible. Retail signs will be reviewed by the committee on a case by case basis.

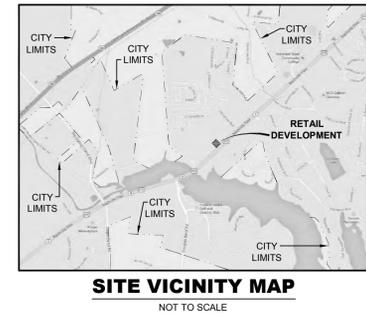
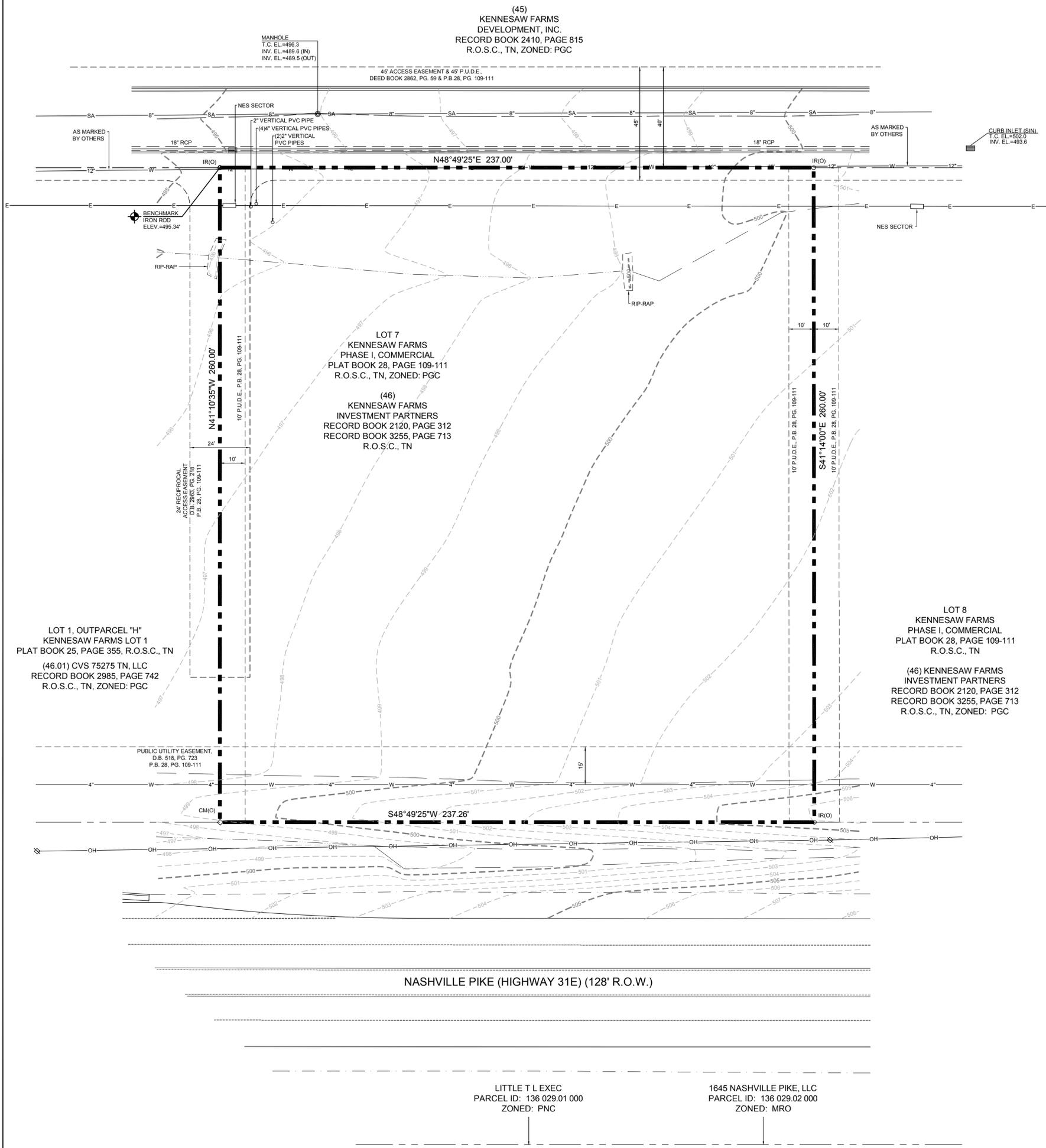
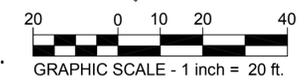


Directional and Informational Signage

These signs will be allowed to direct vehicular movement and provide additional site information. Signs will be two and one-half feet high and three feet in length maximum. The signs will be included in the calculations for the total overall allowable signage area.

Non-Permitted Signs

Roof mounted signs, signs projecting from the wall more than six inches, side or rear yard ground identification signs, trailer signs, changeable, flashing, or moving signs, Posters, flags or window signs will not be allowed. Lease and for sale signs require committee approval prior to display. Plastic faced or boxed signage attached to building will also not be permitted in this development.



CHERRY LAND SURVEYING, INC.
 622 WEST IRIS DRIVE
 NASHVILLE, TENNESSEE 37204
 (615)269-3972 FAX:(615)269-9345
 E-MAIL: cherryls@comcast.net

LEGEND

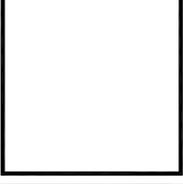
- CONCRETE MONUMENT OLD → □ CM(O)
- IRON ROD OLD → ○ IR(O)
- SIGN POST → ⊕
- BENCHMARK → ⊕
- MANHOLE → ⊙
- UTILITY POLE → ⊕
- PROPERTY LINE → ———
- EDGE OF PAVEMENT → - - - - -
- EASEMENT LINE → - · - · -
- EDGE OF RIP-RAP → - - - - -
- EDGE OF CONC. → - - - - -
- WALL → ———
- CURB → ———
- OVERHEAD → — OH — OH —
- WATER LINE → — W — W —
- SEWER LINE → — SA — SA —
- CULVERT → — 18\"/>

NOTES

- 1) THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER THE UNDERGROUND UTILITY DAMAGE PREVENT ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNER, NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 1-800-351-1111 OR TENNESSEE REGULATORY AUTHORITY (TRA) AT 811.
- 2) ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
- 3) THE SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER AND THOSE PERSONS LISTED IN THE SURVEYOR'S CERTIFICATE AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITIES WITHOUT AN EXPRESSED RE-CERTIFICATION BY THE SURVEYOR WHOSE SIGNATURE APPEARS UPON THIS SURVEY.
- 4) THE LOCATION AND/OR EXISTENCE OF UTILITY SERVICE LINES TO THE PROPERTY SURVEYED ARE UNKNOWN AND ARE NOT SHOWN.
- 5) THIS PROPERTY SHALL HAVE NO ACCESS TO NASHVILLE PIKE, AS PER PENDING PLAT.
- 6) THIS PROPERTY IS TO BE SUBJECT TO A SHARED/CROSS ACCESS EASEMENT, AS PER PENDING PLAT.
- 7) PARCEL NUMBERS SHOWN AS THUS (46) REFERS TO SUMNER COUNTY TAX MAP 136.
- 8) THIS PROPERTY IS CURRENTLY ZONED "PGC".
- 9) THIS PARCEL DESCRIBED HEREIN DOES NOT LIE WITHIN FLOOD HAZARD AREAS IN ACCORDANCE WITH "INSURANCE RATE MAP PANEL NUMBER 47169C0407 G", DATED: APRIL 17, 2012. FLOOD ZONE "X".
- 10) SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 11) THIS PROPERTY IS SUBJECT TO RESTRICTIONS, AS OF RECORD IN DEED BOOK 2862, PAGE 59-101, AND AMENDED IN DEED BOOK 2985, PAGE 733 AND DEED BOOK 2865, PAGE 737, AT THE REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE.
- 12) THIS PROPERTY IS SUBJECT TO RESTRICTIONS, AS OF RECORD IN RECORD BOOK 2862, PAGE 35, AT THE REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE.
- 13) THIS PROPERTY IS SUBJECT TO RESTRICTIONS, AS OF RECORD IN DEED BOOK 3630, PAGE 115 AND DEED BOOK 3630, PAGE 132, AT THE REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE.

TOTAL AREA: 61,654 SQUARE FEET
 (1.415 ACRES ±)

BOUNDARY & TOPOGRAPHIC SURVEY
 OF
LOT 7
KENNESAW FARMS
PHASE I, COMMERCIAL
 PLAT BOOK 28, PAGE 109-111
 TAX MAP 136,
 PART OF PARCEL 46
 RECORD BOOK 3255, PAGE 713
 1650 NASHVILLE PIKE
 GALLATIN, SUMNER COUNTY, TENNESSEE
 SCALE: 1"=20' DATED: APRIL 09, 2014



FINAL MASTER DEVELOPMENT & CONSTRUCTION PLANS:
RETAIL DEVELOPMENT
KENNESAW FARMS, PHASE 1, COMMERCIAL
 GALLATIN, TENNESSEE 37066

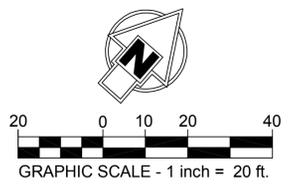
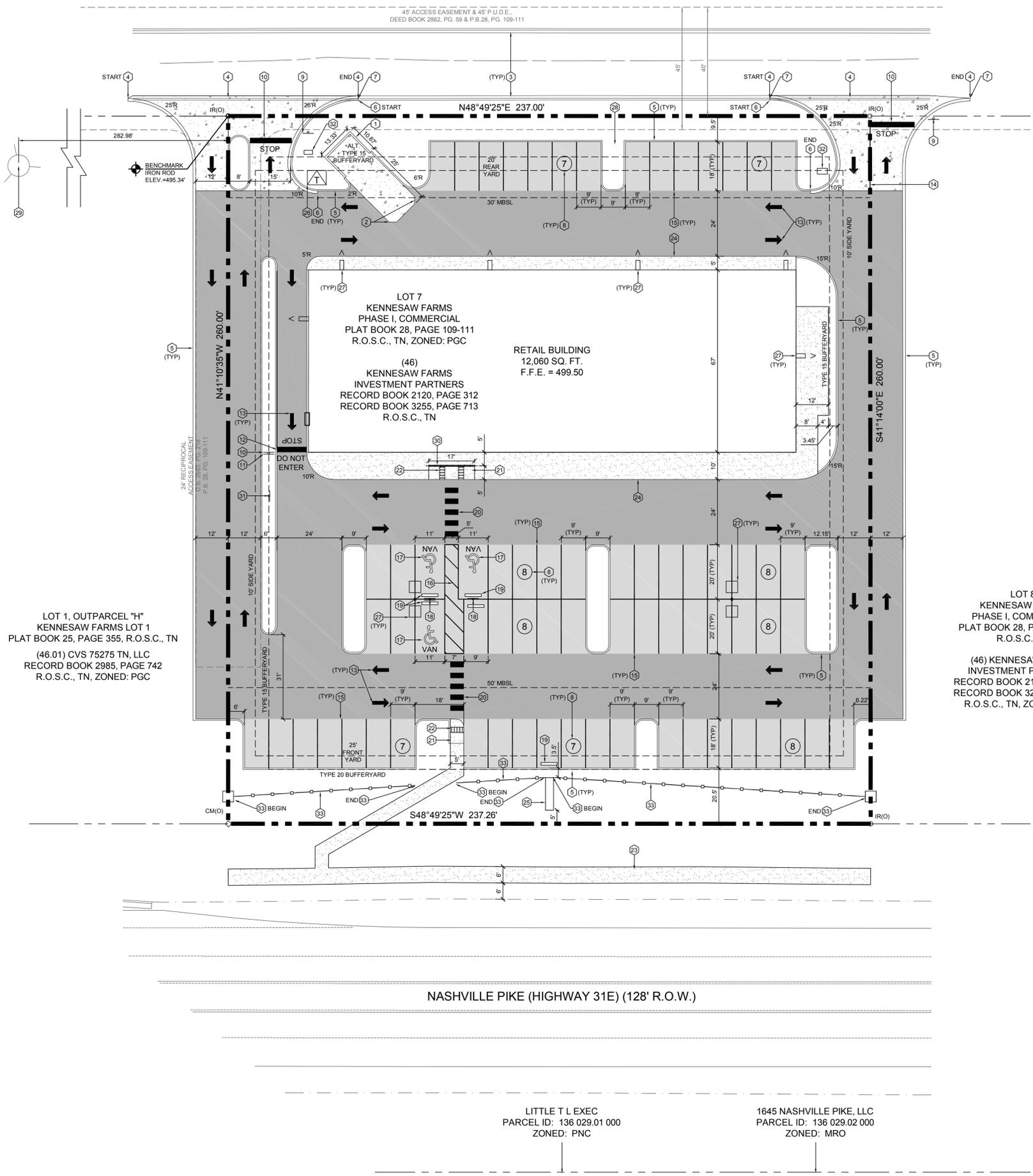
REV.	DATE	COMMENT

PROJ. NO.: 110-029
 EXISTING CONDITIONS

C-1.1
 DATE: SEPT. 11, 2014
 SUBM: FMPD RESUBM.

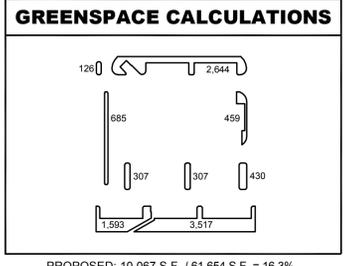
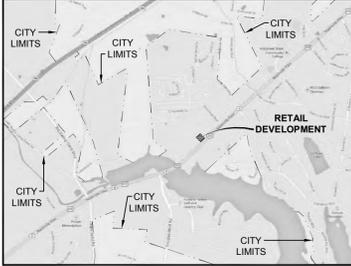
(45)
KENNESAW FARMS
DEVELOPMENT, INC.
RECORD BOOK 2410, PAGE 815
R.O.S.C., TN, ZONED: PGC

45' ACCESS EASEMENT & 45' P.U.D.E.
DEED BOOK 2862, PG. 59 & P.B.28, PG. 109-111



PERRY ENGINEERING, LLC
100 NORTH MAIN STREET, SUITE F
GOODLETTSVILLE, TENNESSEE 37078
PH: (615) 854-2200
FAX: (615) 854-2201

Southeastern BUILDING CORPORATION



SITE VICINITY MAP
NOT TO SCALE

FLOODPLAIN NOTE:
THIS PARCEL DESCRIBED HEREIN DOES NOT LIE WITHIN FLOOD HAZARD AREAS IN ACCORDANCE WITH "INSURANCE RATE MAP PANEL NUMBER 47165C0407 G", DATED: APRIL 17, 2012. FLOOD ZONE "X".

TRAFFIC CONTROL NOTES:

- WHENEVER CONSTRUCTION OPERATIONS ENCR OACH ON THE RIGHT OF WAY OF ADJACENT ROADWAYS, TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS.
- NO MATERIALS OR EQUIPMENT SHALL BE STORED OR STOCKPILED WITHIN THE PUBLIC RIGHT-OF-WAY OF ADJACENT ROADWAYS.
- ALL TRAFFIC CONTROL, INCLUDING MARKINGS, SIGNS, ETC. SHALL FOLLOW THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- EXCAVATION AND LANE CLOSURE PERMITS ARE REQUIRED FOR ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY.

- SITE KEY NOTES:**
- PROPOSED TRASH ENCLOSURE & GATES (8' MIN. & 2' TALLER THAN DUMPSTER) (REF. C-6.1)
 - 2' CHAMFER
 - EXISTING CONCRETE CURB & GUTTER TO REMAIN
 - EXISTING CONCRETE CURB & GUTTER TO BE REMOVED
 - PROPOSED 12" MOUNTABLE CURB (TYP)
 - PROPOSED 18" CURB & GUTTER
 - TIE PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER
 - INDICATES PARKING COUNT PER BAY (TYP)
 - R-1 "STOP" SIGN
 - 24" WHITE STOP BAR & "STOP"
 - R5-1 "DO NOT ENTER" SIGN
 - 24" WHITE STOP BAR & "DO NOT ENTER"
 - WHITE PAINTED DIRECTIONAL ARROW (TYP)
 - 4" PAINTED SINGLE SOLID YELLOW LINE
 - 4" PAINTED SINGLE SOLID WHITE LINE (TYP)
 - 4" PAINTED SINGLE SOLID WHITE LINE, 5' O.C. @ 45'
 - WHITE PAINTED ACCESSIBLE SYMBOL (REF. C-6.1)
 - ACCESSIBLE SIGN (REF. C-6.1)
 - CONCRETE WHEELSTOP (TYP) (REF. C-6.1)
 - 5' PAINTED CROSSWALK (2' WIDE STRIPE, 2' GAP)
 - PARALLEL ADA RAMP (REF. C-6.2)
 - ARMOR TILE CAST-IN-PLACE DETECTABLE WARNINGS (2 @ 24"x60"), BRICK RED (FEDERAL COLOR #22144) INSTALLED PER MANUFACTURER'S INSTRUCTIONS
 - PROPOSED TDDT STANDARD CONCRETE SIDEWALK (REF. C-6.3) (TYP)
 - INTEGRAL CONCRETE CURB AND SIDEWALK
 - PROPOSED MONUMENT SIGN
 - PROPOSED TRANSFORMER PAD
 - PROPOSED SITE LIGHTING FIXTURE (REF. PHOTOMETRIC PLAN & SITE ELECTRICAL PLAN)
 - 2' WIDE CONCRETE FLUME
 - EXISTING FIRE HYDRANT
 - PROPOSED HANDRAIL (REF. C-6.4)
 - R6-2(L) "ONE WAY" SIGN
 - PROPOSED DIRECTIONAL SIGN
 - INSTALL "HORSE" STYLE FENCE MATCH EXISTING FENCING THROUGHOUT SUBDIVISION

GENERAL SITE NOTES:

- THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, AND ALL RADII ARE 3', UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
- IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AOC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- ALL HANDICAP PARKING SPACES ARE TO RECEIVE A HANDICAP SIGN AND HANDICAP SYMBOL PAINTED ON THE PAVEMENT. STALLS ADJACENT TO 8' WIDE STRIPED AISLES ARE TO RECEIVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE ABOVE.
- ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR GALLATIN BUILDING CODE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- THE ENGINEER AS REPRESENTATIVE OF THE OWNER, SHALL NOT GUARANTEE THE WORK OF ANY CONTRACTOR OR SUB-CONTRACTOR. SHALL HAVE NO AUTHORITY TO STOP WORK. SHALL NOT HAVE CHARGE OF THE WORK. SHALL NOT BE RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE JOB SITE, OR HAVE ANY CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENT, SCAFFOLDING, SUPPORTS, FORMS OR OTHER WORK AIDS.
- ALL SIDEWALKS, EXISTING AND PROPOSED, ARE TO BE CONSTRUCTED AND/OR LEFT IN A CONDITION THAT MEETS OR EXCEEDS THE CITY OF GALLATIN PUBLIC WORKS STANDARDS.
- ALL WORK IN THE RIGHT OF WAY MUST COMPLY WITH T.D.O.T. AND CITY OF GALLATIN PUBLIC WORKS STANDARDS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING WORK.
- ALL CONSTRUCTION AND USE OF PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.

SITE DATA TABLE

GENERAL DATA:	
SUBDIVISION / DEVELOPMENT:	KENNESAW FARMS, PHASE 1, COMMERCIAL
LOT:	7
ADDRESS:	1650 NASHVILLE PIKE
TAX MAP / PARCEL:	TAX MAP 136, PARCEL 46
EXISTING ZONING:	PGC
EXISTING USE:	VACANT
PROPOSED ZONING:	PGC
PROPOSED USE:	GENERAL RETAIL SALES AND SERVICE
AREA OF SITE:	1.42 ACRES (61,654 S.F.)
BUILDING S.F.:	12,060 S.F. (RETAIL)
MAXIMUM BUILDING HEIGHT:	40'
PROPOSED BUILDING HEIGHT:	22'-8"
MAXIMUM FLOOR AREA RATIO ALLOWED:	1.0
PROPOSED FLOOR AREA RATIO:	0.2
PARKING REQUIRED:	
RETAIL (1 SPA/250 S.F.):	48 SPACES (68 SPACES PROVIDED)
MINIMUM LOT WIDTH:	100'
PROVIDED LOT WIDTH:	237.3 L.F.
M.B.S.L. - FRONT:	50' (ARTERIAL - NASHVILLE PIKE)
M.B.S.L. - REAR:	30'
YARDS (FRONT):	25' (50% OF REQ'D M.B.S.L. - NASHVILLE PIKE)
YARDS (SIDE):	10'
YARDS (REAR):	20'
BUFFERYARDS:	20' (NASHVILLE PK.), TYPE 15 (PGC TO PGC)
REQUIRED SITE LANDSCAPING AREA:	4,624 S.F. OR 0.11 ACRES (7.5%)
PROPOSED SITE LANDSCAPING AREA:	10,067 S.F. OR 0.23 ACRES (16.3%)
APPLICANT:	DEVELOPER: MR. CAL GENTRY SOUTHEASTERN BUILDING CORPORATION 1000 KENNESAW BLVD. GALLATIN, TENNESSEE 37066 PHONE: (615) 854-2500 EXT. 16 FAX: (615) 854-2201
STATEMENT OF FINANCIAL RESPONSIBILITY:	SOUTHEASTERN BUILDING CORPORATION WILL BE FINANCIALLY RESPONSIBLE FOR THE PROJECT
TIME SCHEDULE FOR COMPLETION:	BEGIN CONSTRUCTION: OCTOBER 2014 END CONSTRUCTION: OCTOBER 2015
PROPERTY OWNER:	HVAC NOTE: HVAC UNITS TO BE ON ROOF, COMPLETELY SCREENED FROM VIEW WITH PARAPET (REF. G.Z.O. SEC. 13.08.010.F)
1000 KENNESAW BLVD. GALLATIN, TENNESSEE 37066	

FINAL MASTER DEVELOPMENT & CONSTRUCTION PLANS:
**RETAIL DEVELOPMENT
KENNESAW FARMS, PHASE 1, COMMERCIAL**
GALLATIN, TENNESSEE 37066

REV.	DATE	COMMENT

PROJ. NO.: 110-029

SITE PLAN

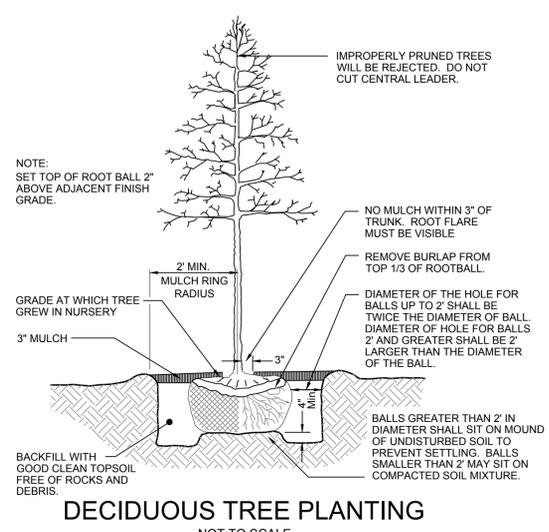
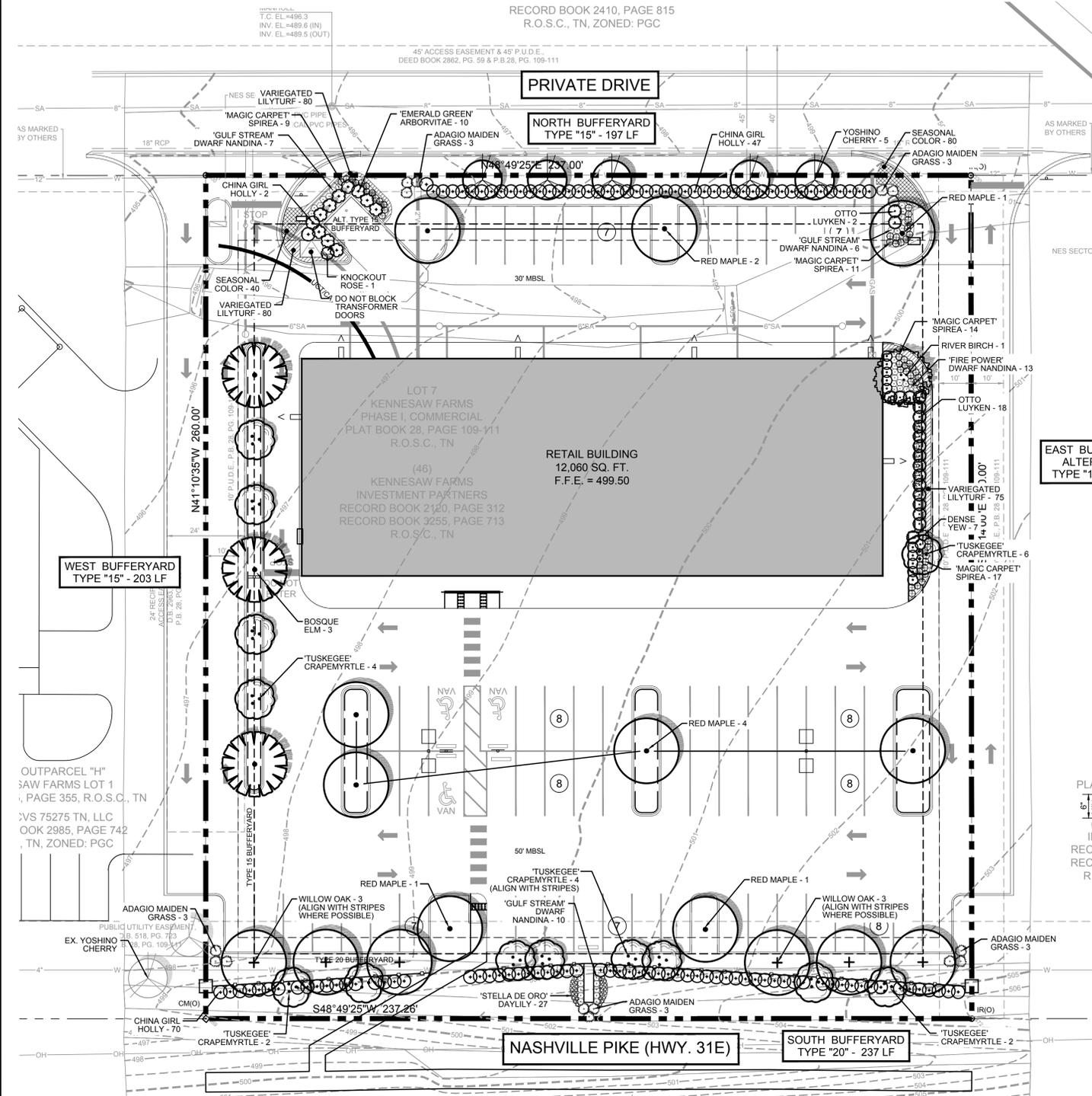
C-2.1

DATE: SEPT. 11, 2014
SUBM: FMDP RESUBM.

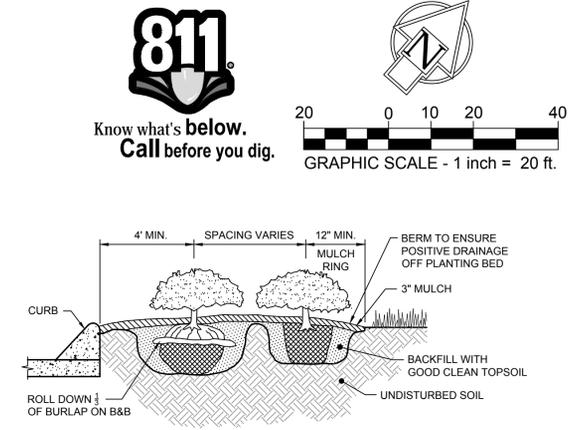
NASHVILLE PIKE (HIGHWAY 31E) (128' R.O.W.)

LITTLE T L EXEC
PARCEL ID: 136 029.01 000
ZONED: PNC

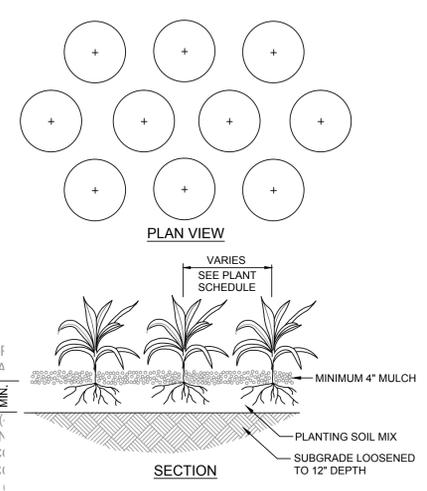
1645 NASHVILLE PIKE, LLC
PARCEL ID: 136 029.02 000
ZONED: MRO



DECIDUOUS TREE PLANTING
NOT TO SCALE



SHRUB / GROUND COVER PLANTING
NOT TO SCALE



GROUND COVER and PERENNIAL PLANTING
NOT TO SCALE

LANDSCAPE NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
2. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES AND SHALL BE RESPONSIBLE FOR ALL DAMAGE TO UTILITIES.
3. ALL PLANTING BEDS OR MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP OR HAND WEDED (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS. INSURE POSITIVE DRAINAGE OFF LANDSCAPE BERMS.
5. ALL PLANTING AREAS SHALL BE FERTILIZED WITH 10 lbs./1000 S.F. OF 12-24-12 FERTILIZER.
6. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF MULCH. NO MULCH WITH 3" OF TREE TRUNK.
7. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE CONTRACTOR SHOULD IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
8. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
9. SOD ALL DISTURBED AREAS. USE EROSION CONTROL MATTING ON SLOPES EXCEEDING 3:1.
10. ANY SHRUBS PLANTED WITHIN THE SIGHT TRIANGLE MUST BE MAINTAINED AT A MAXIMUM HEIGHT OF 24".
11. ALL TREES AND SHRUBS TO BE GRADE "A" QUALITY, HEALTHY, VIGOROUS, FREE OF PESTS AND DISEASE. INFERIOR PLANTS WILL BE REJECTED. ALL PLANTS MUST MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN ANSIZ60.1-2004 OR LATEST REVISION.
12. ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR, OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST. OTHER DEFECTIVE PLANT MATERIAL SHALL BE REPLACED OR REPAIRED WITHIN THREE (3) MONTHS.
13. CONTRACTOR TO PROVIDE FULLY AUTOMATIC LANDSCAPE SPRINKLER SYSTEM TO ALL LANDSCAPE AREAS. IRRIGATION CONTROLLER TO BE LOCATED INSIDE BUILDING.
14. ALL FIELD SET, ABOVEGROUND UTILITY BOXES MUST BE SCREENED FROM PUBLIC R.O.W. ON THREE SIDES (LEAVING DOOR ACCESS OPEN). SCREENING MUST BE EVERGREEN PLANT MATERIAL THAT EXCEEDS THE HEIGHT OF THE STRUCTURE TO BE SCREENED BY 6 INCHES MIN.
15. ANY PRESERVED TREES DAMAGED OR REMOVED DURING CONSTRUCTION MAY HAVE TO BE REPLANTED PRIOR TO CERTIFICATE OF OCCUPANCY TO FULFILL PERIMETER PLANTING REQUIREMENTS.

LANDSCAPE CALCULATIONS

SITE AREA:	(61,654 SF)	1.42 AC ZONED:	PGC
SITE LANDSCAPING AREA: (EXCLUDING BUFFERYARDS) (SQ. FT.)	REQUIRED 7.5% (4,624 SF)	PROVIDED 15.0% (9,219 SF)	
SITE TREES: (1/500 SF)	9.2	11	
SITE SHRUBS: (50/AC) (Buffer/Perimeter Shrubs)	92.5 (as required)	130 (as required)	YES
LOADING AREA SCREENING MECH. EQUIP. SCREENING	YES	YES	YES

INTERIOR PLANTING

1 TREE/10 SPACES:			
INTERIOR PARKING SPACES:	REQUIRED 70	PROVIDED 70	
CANOPY TREES:	7	7	
INTERIOR PARKING AREA: 36,872 x 0.06 = 2,212 S.F.		36,872 S.F.	
INTERIOR PLANTING AREA:	REQUIRED 2,212 SF	PROVIDED 3,655 SF	

BUFFERYARD CALCULATIONS

NORTH BUFFERYARD - TYPE *15* - (PRIVATE DRIVE)			
FRONTAGE = 237' - 40" (DRIVES) = 197'	REQUIRED TREES:	3.3	PROVIDED 3
	1 - LRG. CANOPY/60 LF	3.3	3
	2 - SML. UNDERSTORY/60 LF	6.6	6
SOUTH BUFFERYARD - TYPE *20* - (NASHVILLE PIKE)			
FRONTAGE = 237'	REQUIRED TREES:	4.7	PROVIDED 6
	1 - LRG. CANOPY/50'	4.7	6
	2 - SML. UNDERSTORY/50'	9.5	8
WEST BUFFERYARD - TYPE *15* - (PRIVATE DRIVE)			
FRONTAGE = 260' - 57" (DRIVES) = 203'	REQUIRED TREES:	3.4	PROVIDED 3
	1 - LRG. CANOPY/60 LF	3.4	3
	2 - SML. UNDERSTORY/60 LF	6.8	4
EAST BUFFERYARD - TYPE *15* - (PRIVATE DRIVE)			
FRONTAGE = 260' - 57" (DRIVES) = 203'	REQUIRED TREES:	3.4	PROVIDED 3.4
	1 - LRG. CANOPY/60 LF	3.4	N/A
	2 - SML. UNDERSTORY/60 LF	6.8	N/A

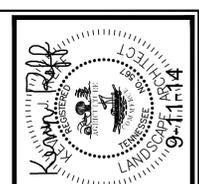
TREE PLANTING SPECIFICATIONS

1. The depth of the hole dug should be about 10% than the distance from the top-most root (measured where it joins the trunk) to the bottom of the rootball. The width of the hole shall be at least 1.5 times the width of the rootball.
2. Cut away burlap and wiring so that at least 1/4 of the rootball is exposed. Synthetic burlap shall be removed entirely. All twine and rope shall be removed from the base of the tree and from any branches.
3. After planting, the topmost root shall be no more than 2 inches below the soil surface. Additional soil should be removed. The surrounding grade should be even with or slightly lower than the top root. Please note: some trees will arrive from the nursery with too much soil covering the first major root flare. This soil should be removed. The resulting soil line should be even with or above the surrounding grade.
4. 2 - 3 inches of mulch should be applied to cover the sides of the rootball to a point even with the dripline. Do not add any soil to the top of the rootball. Do not add more than 1 inch of mulch to the top of the rootball.
5. In poorly drained soil, position the top of the rootball 10% or more above the surrounding grade. No more than 20% of the rootball should be above the surrounding grade.
6. If trees are staked, stakes shall not come into contact with the rootball. Guy wires shall not be drawn taught, but should supply just enough tension to prevent the tree from swaying a great deal. All stakes, wiring and harnesses shall be removed within one year unless otherwise specified.

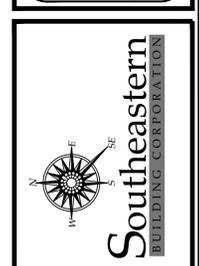
TREE SELECTION SPECIFICATIONS

1. There shall be no circling or girdling roots. Circling roots should be cut in at least one place.
2. Trees should be rooted into the rootball so that soil or media remains intact and trunk and rootball move as one when lifted, but not root bound. The trunk should bend when gently pushed and should not be loose so it pivots at or below soil line.
3. The point where the top-most root in the rootball emerges from the trunk shall be within two inches of the soil surface. It can be exposed and visible at the soil surface. If it is not within the top two inches of soil, gently remove the top layer of soil from the rootball until the first major root flare is visible.
4. The relationship between caliper, height and rootball size shall meet the ANSI Z60.1 standard, latest edition.
5. There should be one dominant leader to the top of the tree with the largest branches spaced at least 6 inches apart. There can be two leaders in the top 25% of the tree if it is otherwise of good quality.
6. The tree canopy should be mostly symmetrical and free of large voids. Clear trunk should be no more than 40% of tree height unless otherwise specified in the planting specifications.
7. Open trunk and branch wounds shall be less than 10% of the circumference at the wound and no more than 2 inches tall. Properly made pruning cuts are not considered open trunk wounds. There should be no conks or bleeding, and there should be no signs of insects or disease on more than 5% of the tree.
8. If any of the above conditions are not met, trees may be rejected.

PLANT SCHEDULE					
QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	TRUNK	COMMENTS
CANOPY TREES					
3	Bosque Elm	Ulmus parvifolia	12' - 14'	2.5" Cal.	Well formed
9	Red Maple	Acer rubrum	14' - 16'	2.5" Cal.	Strong Central Leader
1	River Birch	Betula nigra	12' - 14'	2.5" Cal.	Multi-trunk - (3) 1" canes min.
6	Willow Oak	Quercus phellos	14' - 16'	3" Cal.	Strong Central Leader
19	TOTAL - CANOPY TREES				
UNDERSTORY TREES					
13	'Tuskegee' Crapemyrtle	Lagerstroemia indica 'Tuskegee'	7' - 8'	2" Cal.	Multi-trunk, (3) 1/2" canes min.
10	'Emerald Green' Arborvitae	Thuja occidentalis 'Emerald Green'	6' Min.	2" Cal.	Full to ground, well formed
3	Nellie R. Stevens Holly	Ilex x Nellie R. Stevens Holly	6' Min.	2" Cal.	Full to ground, well formed
5	Yoshino Cherry	Prunus yedoensis	8' - 10'	2" Cal.	Well formed, MATCHED
31	TOTAL - UNDERSTORY TREES				
50	TOTAL - ALL TREES				
SHRUBS					
12	Dense Yew	Taxus densiformis	18" Min.	3 Gal.	Full and Heavy - Hardy variety
115	China Girl Holly	Ilex x meserveae 'China Girl'	18" Min.	3 Gal.	One male per 5 - 7 female plants
20	Otto Luyken	Prunus laurocerasus 'Otto Luyken'	18" Min.	3 Gal.	Plant 9" o.c.
2	Skip Laurel	Prunus laurocerasus 'Schipkaensis'	30" Min.	5 Gal.	
37	'Gulf Stream' Dwarf Nandina	Nandina domestica 'Gulf Stream'	12"	3 Gal.	Well formed/Full
1	Knockout Rose	Rosa x RadRAZZ	18" Min.	3 Gal.	Well formed/Full
56	'Magic Carpet' Spirea	Spirea japonica 'Magic Carpet'	18" Min.	3 Gal.	
243	TOTAL - SHRUBS				
ORNAMENTAL GRASSES					
15	'Adagio' Maiden Grass	Miscanthus sinensis 'Adagio'	30" Min.	5 Gal.	Full and Heavy
GROUND COVER/PERENNIAL FLOWERS					
235	Variegated Lilyturf	Liriope muscari 'Variegata'	8"	4" Pots	Plant 12" o.c.
27	'Stella De Oro' Daylily	Hemocallis x 'Stella De Oro'	8"	1 Gal.	Plant 18" o.c.
120 sf	Seasonal Color	Various annual flowers	8"	4" Pots	Change flowers each season
TURF					
SOD	Hybrid Fescue	Festuca x hybrid 'Falcon IV, Hound Dog V, Jaguar 3, Ultimate Inferno'	Hogan's Blend 888-224-6426		



KITA
Landscape Design
2101 Masters Drive, Springfield, TN 37172
Ph: (615) 469-1222 Fax: (615) 469-1223
Email: kref@kitadesign.biz



FINAL MASTER DEVELOPMENT PLANS:
RETAIL DEVELOPMENT
KENNESAW FARMS, PHASE 1, COMMERCIAL
GALLATIN, TENNESSEE 37066

REV.	DATE	COMMENT

PROJ. NO.: 110-029

LANDSCAPE PLAN

L-1.1

DATE: AUGUST 14, 2014
SUBM.: FMPD RESUBM.



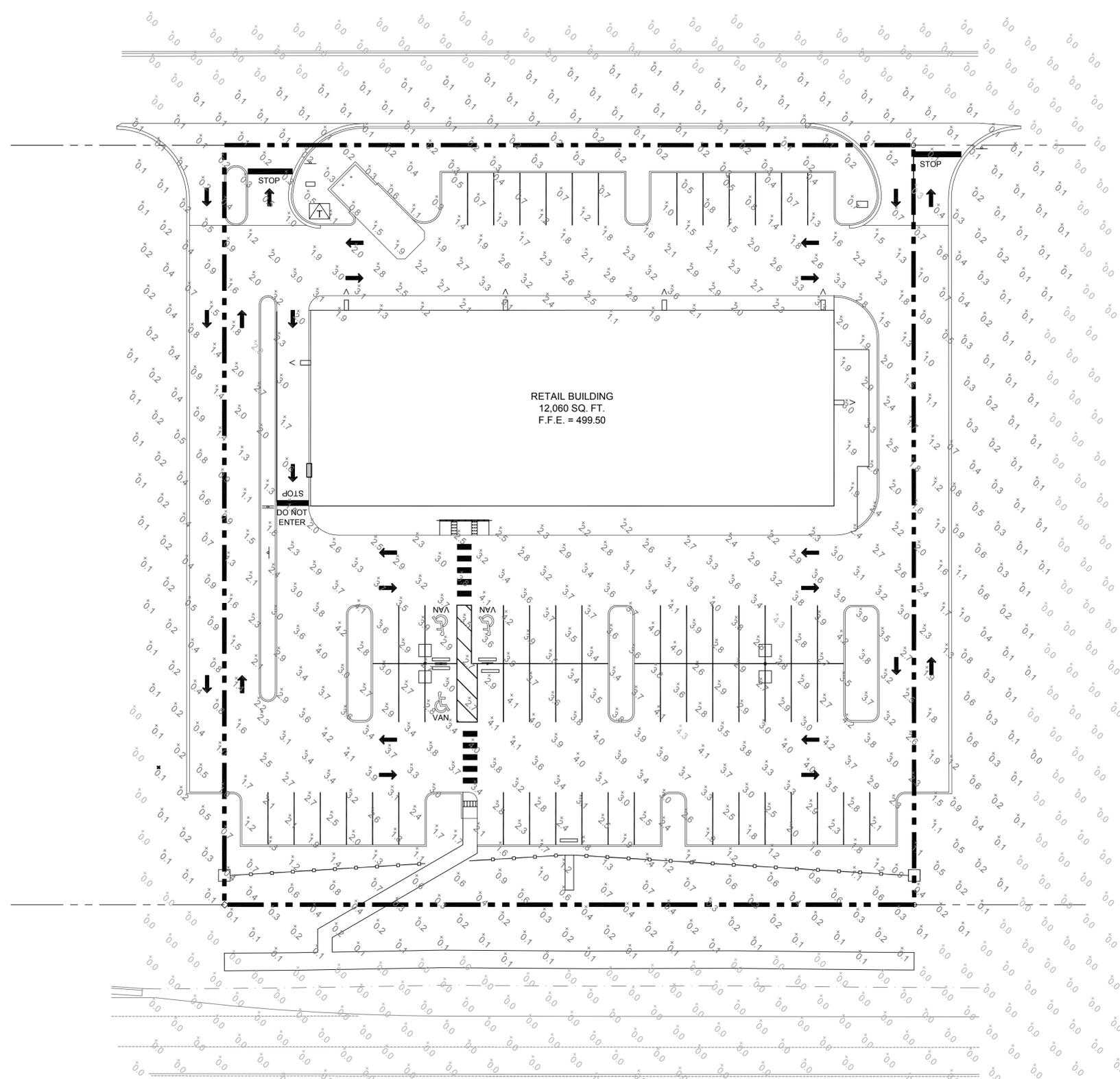
Know what's below.
Call before you dig.



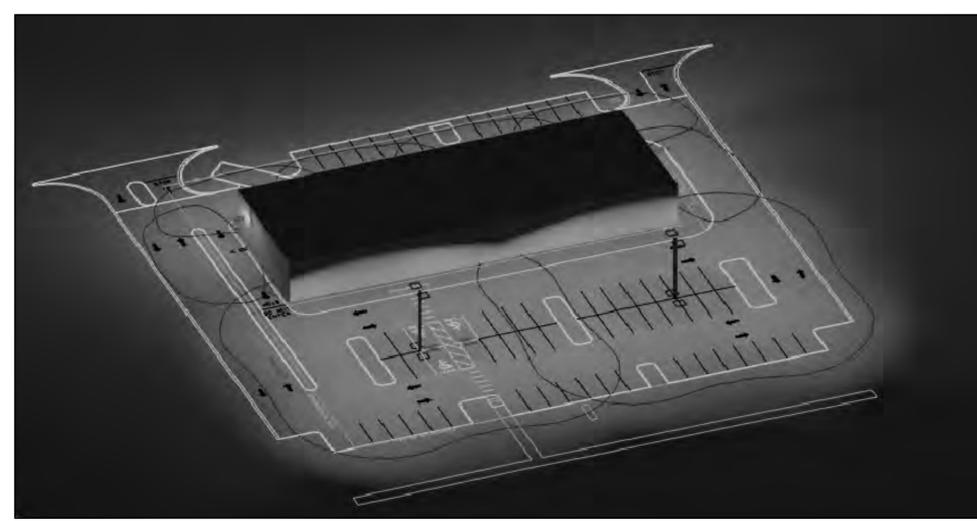
20 0 10 20 40
GRAPHIC SCALE - 1 inch = 20 ft.



1800 KAYLEE MEADOW LANE
HERMITAGE, TENNESSEE 37076
OFFICE PHONE: 615-885-2831
CELL PHONE: 615-202-5765
FAX: 866-616-5195
CONTACT: MR. SEAN CLARE, LC



NASHVILLE PIKE (HIGHWAY 31E) (128' R.O.W.)



Statistics						
Description	Symbol	Avg	Max	Max/Min	Avg/Min	Avg/Max
Parking Lot	+	2.6 fc	4.3 fc	14.3:1	8.7:1	0.6:1
Property Line	+	0.2 fc	2.8 fc	N/A	N/A	0.1:1

Luminaire Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□ • □	A2	2	Holophane	MGL6 6 SK AS A L A K SSS3055G D2 R3 BK	Mongoose LED (MGL6); MGL6, 6 Modules, 5000K CCT, Auto-Sensing (120-277V), Area (Type V), Low, 1 to 18 Degrees, Architectural Arm, Vitracote Super Durable Black (SSS3055G) Square Straight Steel Pole 30FT, 5.0 Square x 7 Gauge Wall; SSS3055G 5.0 Square, Drilling for 2 Units at 180 degrees, 3 hole drill pattern, 3.00 from top, Black, Anchor Bolts	LED	1	MGL6_6_SK_A X_A_L_X_Xies	25224.22	0.95	490
^ □	W	6	Holophane	W4G LED 30C 1000 50K T3M	W4G LED, 30 LEDs, 1 AMP DRIVER (1000mA), 5000K CCT, TYPE 3 OPTIC, AND REFLECTOR.	LED	1	W4G_LED_30C_1000_50K_T3M1 es	6727.356	0.95	104.29

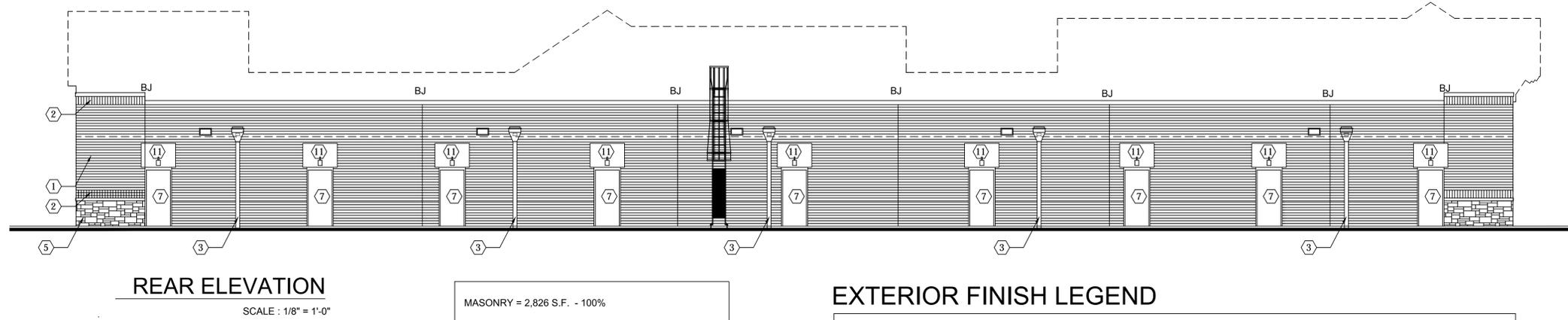
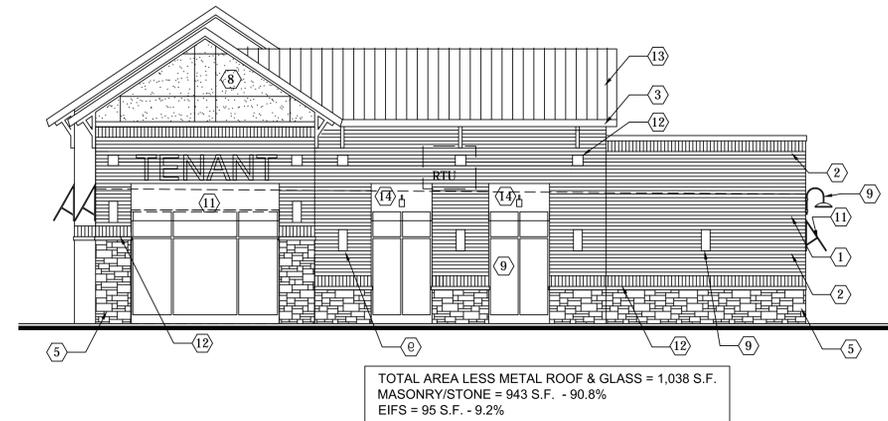
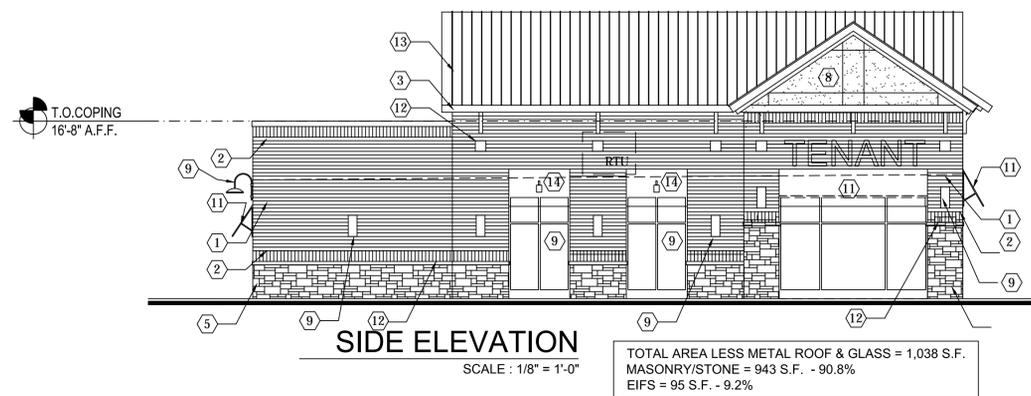
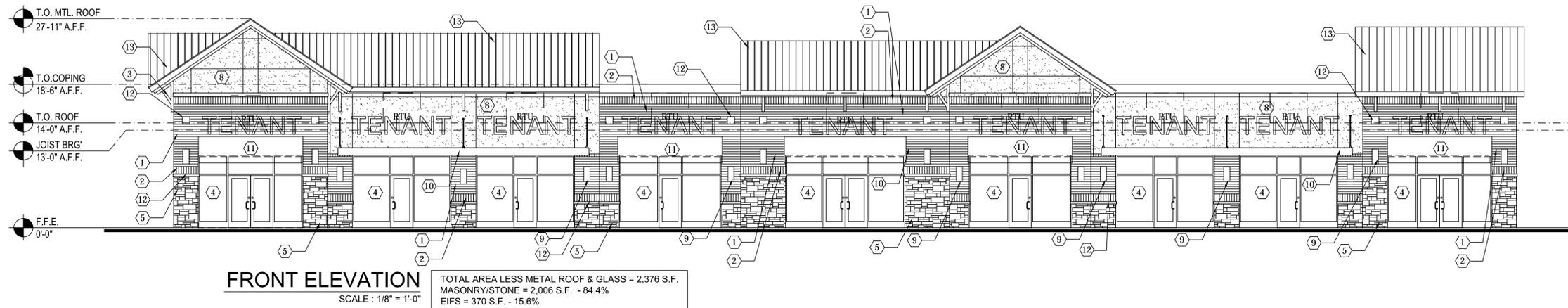
FINAL MASTER DEVELOPMENT & CONSTRUCTION PLANS:
RETAIL DEVELOPMENT
KENNESAW FARMS, PHASE 1, COMMERCIAL
GALLATIN, TENNESSEE 37066

REV.	DATE	COMMENT

PROJ. NO.: 110-029

PHOTOMETRIC PLAN

P-1
DATE: SEPT. 11, 2014
SUBM: FMDP RESUBM.



- NOTES:**
1. LOCATION & NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
 2. LOCATION AND NUMBERS OF REAR LEASE DOORS AND WINDOWS ARE SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
 3. TENANT SIGNS WILL BE SUBMITTED FOR APPROVAL AS TENANT REQUIREMENTS ARE DETERMINED. SIGNS SHOWN ARE FOR LOCATION ONLY, NOT SIGN AREA.
 4. SPECIFIED MATERIALS MAY CHANGE SUBJECT TO AVAILABILITY AT TIME OF CONSTRUCTION AND SUBJECT TO APPROVAL OF THE CODES DIRECTOR OR PLANNING COMMISSION.
 5. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDINGS AND ARE SCREENED FROM PUBLIC VIEW BY PARAPET WALLS.
 6. ROOF ACCESS LADDER SHALL BE PAINTED TO MATCH BRICK

EXTERIOR FINISH LEGEND

KEY	MATERIAL	MANUFACTURER	COLOR / TYPE
1	BRICK		
1	FACE BRICK -1 (FIELD)	BOREL BRICK	PEBBLE
2	FACE BRICK -2 (SOLDIER)	BOREL BRICK	SADDLE
3	PREFINISHED METAL		
3	6X6 MTL. GUTTER & DOWNSPOUT AND COPING	BEDRIDGE	COPPER BROWN
4	ALUMINUM & GLASS STOREFRONT		
4	STOREFRONT & BRACKETS	KAWNEER OR EQUAL	KYNAR 500 "ANTIQUE BRONZE"
5	STONE		
5	SYNTHETIC STONE BASE	BOREL	BUCKS COUNTY
6	ROOF TOP HVAC UNIT	TBD	
7	HOLLOW METAL EXTERIOR DOOR		PAINT TO MATCH BRICK
8	EXTERIOR INSULATION FINISH SYSTEM	DRYVIT	SPECTREM BROWN
9	LIGHT FIXTURE	TBD	MATCH METAL COLOR
10	STEEL CANOPY	TB D	BLACK
11	FABRIC AWNING ON ALUM. FRAME	TB D	TBD
12	PRE CAST CONC. WATER TABLE AND MADALLION	TBD	BUFF
13	PRE-FINISHED STANDING SEAM METAL ROOF	BEDRIDGE OR PAC-CLAD	COPPER BROWN

PROPOSED NEW BUILDING FOR
KENNESAW RETAIL
OUTPARCEL - 7
GALLATIN, Tennessee

Seal

Job Number
14-010

Date
09/09/2014

Drawing Title
ELEVATIONS

A1.0

ITEM 4

GMRPC Resolution No. 2014-77

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL MASTER DEVELOPMENT PLAN FOR MIRACLE FORD DEALERSHIP TO CONSTRUCT A 30,900 SQUARE FOOT BUILDING FOR VEHICULAR, CRAFT, AND RELATED EQUIPMENT SALES AND RENTAL ON 10.95 (+/-) ACRES LOCATED AT 1394 NASHVILLE PIKE. (PC0328-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Final Master Development Plan submitted by the Bruce Rainey & Associates, at its regular meeting on September 22, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, in the Final Master Development, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. §13-3-104; §13-4-103; §13-4-104; & §13-7-201 and G.Z.O. Article 12, §12.02.020 and §12.02.030:

1. The Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Commercial Corridor Character Area Category.
2. The proposed Final Master Development Plan is consistent with the purpose and intent of the Planned General Commercial (PGC) zone district, the approved PMDP, and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in said zone district with conditions.
3. The Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
4. The legal purposes for which zoning regulations exists have not been contravened.
5. The Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

ITEM 4

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Master Development Plan for the Miracle Ford Dealership, consisting of a six (6) sheet plan, prepared by Bruce Rainey & Associates of Hendersonville TN, with project no. 980216-T and dated March 28, 2000, with a final revision date of September 10, 2014, including Architectural Elevations for Miracle Ford, consisting of a one (1) sheet plan, prepared by Rose Construction of Murfreesboro TN, sheet number R4.0 and dated July 29, 2014, and including Photometric Plan for Miracle Ford, consisting of one (1) sheet plan, prepared by Rose Construction of Murfreesboro TN, plan view sheet and dated August 14, 2014 with the following conditions:

1. Planning Commission determines that the proposed alternative architectural elevations meet the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.
2. Planning Commission determines that the proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance.
3. Provide a detailed tree survey for the existing mature trees located along the north (GAP Warehouse side) property line.
4. Provide details of the screening for the mechanical units.
5. Provide details on the proposed type of lighting fixtures to be installed in the parking/display area and on building.
6. Provide a copy of recorded Stormwater Inspection and Maintenance Agreement prior to issuance of Land Disturbance Permit.
7. Provide sidewalk along southern access to property boundary and Nashville Pike (Highway 31E) right-of-way to allow future connection.
8. Provide signing and markings to control traffic flow at intersection. Allow vehicles inbound from Nashville Pike (Highway 31E) to proceed without stopping.
9. Provide Drainage Calculations.
10. Provide Erosion Prevention and Sediment Control Plan.
11. Provide details and specify rip-rap apron at outlets A1 and F1 per TDOT EC-STR-21 “Permanent Rip-Rap Basin Energy Dissipater”.
12. Provide details and specify energy dissipating headwalls at outlets A1 and F1.
13. Relocate interior pond outlet structure(s) to provide adequate detention and prevent pool bypass.
14. Provide slope stabilization at termination of frontage road on northern property line.
15. During construction, access to the site shall be provided for all emergency vehicles per Section 1410 of the International Fire Code: Access for Fire Fighting.
16. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval.
17. Provide a detailed sign package illustrating wall mounted signs, freestanding ground signs, directional, etc. for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.
18. Provide a site surety for site improvements per Article 15.00 Administration and Enforcement, Section 15.03.080 Surety Required of the Gallatin Zoning Ordinance,

ITEM 4

in the amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

19. Submit three (3) corrected and folded copies, one (1) full size and two (2) half-size, of the Final Master Development Plan to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 09/22/2014

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 4

PLANNING DEPARTMENT STAFF REPORT

Final Master Development Plan for Miracle Ford Dealership

(PC0328-14)

1394 Nashville Pike

Date: September 17, 2014

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN (PMDP) FOR THE MIRACLE FORD DEALERSHIP TO CONSTRUCT A 30,900 SQUARE FOOT BUILDING FOR VEHICULAR, CRAFT, AND RELATED EQUIPMENT SALES AND RENTAL ON 10.95 (+/-) ACRES LOCATED AT 1394 NASHVILLE PIKE.

OWNER: GALVIN PROPERTIES, LLC
APPLICANT: BRUCE RAINEY & ASSOCIATES
STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS
STAFF CONTACT: ROBERT J. KALISZ
PLANNING COMMISSION DATE: SEPTEMBER 22, 2014

PROPERTY OVERVIEW: The owner and applicant are requesting approval of a Final Master Development Plan (FMDP) for the Miracle Ford Dealership, on 10.95 (+/-) acres, located at 1394 Nashville Pike. The FMDP illustrates the site layout, parking and landscaping, grading, and architectural elevations. The FMDP is consistent with the approved Preliminary Master Development Plan (PMDP) for the Miracle Ford Dealership (PC0285-14). The project will include an automotive sales and service facility with an attached showroom. Vehicular, Craft, and Related Equipment Sales and Rental are a permitted use in the PGC zone district. (Attachment 4-1)

The architectural elevations for the building do not meet the Basic Design Criteria of the Gallatin Zoning Ordinance, Section 13.08.010.A, *Materials*, since the building is shown to be constructed with metal panels and will not contain the required 70 percent brick or stone on each building facade (Attachment 4-2). The owner and applicant are requesting approval of an alternative architectural plan consistent with the approved PMDP. City Council approved the PMDP with the alternative architectural plan on August 5, 2014. The Planning Commission shall determine whether the proposed plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.

The owner and applicant are also requesting approval of an alternative bufferyard plan, per G.Z.O. Section 13.04.100.C, *Alternative Plan Approval*, to utilize many of the existing mature trees on site towards the Type 15 Bufferyard requirement. The alternative bufferyard plan is consistent with the approved PMDP. City Council approved the PMDP with the alternative bufferyard plan on August 5, 2014. The Planning Commission shall determine if the alternative landscaping plan meets the requirements of the Gallatin Zoning Ordinance.

CASE BACKGROUND:

Previous Approvals and Project History

The Miracle Ford Dealership project was originally submitted in 1999 as a request for rezoning with a Preliminary Master Development Plan. The PMDP included a request for 0.37 (+/-) acres zoned Agriculture (A); 2.81 (+/-) acres zoned Multiple Residential and Office (MRO); and 7.77 (+/-) acres zoned Residential-20 (R20) to be rezoned to Planned General Commercial (PGC) for construction of a new car dealership and showroom on 10.95 (+/-) acres (PC File #3-27-99).

At the January 24, 2000 meeting, Planning Commission recommended approval of the PMDP and rezoning request to the Gallatin City Council with conditions. The project was discussed at the February 8, 2000 City Council Committee meeting and the body voted to send the project on to First Reading. The PMDP and rezoning Ordinance #O0002-007 passed First Reading at the February 15, 2000 City Council meeting. A Public Hearing was held on March 7, 2000 and the PMDP and rezoning request passed Second Reading March 7, 2000. The Notice of Enactment was advertised in the *News Examiner* on March 10, 2000 and the Official Zoning Map was updated to reflect the new zoning district for the property.

No further action was taken on the project until 2008, when the applicant submitted a Final Master Development Plan for the Miracle Ford Dealership (PC File #8-9-08). During the initial review, Staff found that the PMDP had expired since the FMDP was not submitted within the required timeframe pursuant to G.Z.O. Section 12.02.040.A, *Preliminary Master Development Plan*, which states that a Preliminary Master Development Plan shall become void two (2) years after the date of Planning Commission approval unless a Final Master Development Plan (previously referred to as a Final Site Development Plan) for the subject property, or portion thereof, has been approved by the Planning Commission in accordance with Section 12.02.030.

The Gallatin Zoning Ordinance also states that if a Final Master Development Plan has not been approved by the end of this two (2) year period, the owner may not apply for approval of a Final Master Development Plan until the owner requests the Planning Commission review the previously approved Preliminary Master Development Plan and provide the Mayor and Alderman with a recommendation to either: (1) extend the approval of the Preliminary Master Development Plan of the subject property for a period not to exceed two (2) years; (2) revise the Preliminary Master Development Plan in regards to the use, bulk, and/or design standards required of the previous approval; or (3) cancel the approval and impose a new base zoning district on the subject project.

Staff notified the applicant about the expiration of the PMDP and asked the applicant to resubmit the PMDP for a new recommendation by the Planning Commission and reapproval by the City Council to affirm the PGC zoning on the property. The applicant resubmitted the PMDP as requested and the project was reviewed by the City Departments; however, the project was withdrawn by the applicant prior to consideration at the February 25, 2008 Planning Commission meeting (PC File #3-4-08).

In April of 2014, the PMDP was resubmitted by the applicant and placed on the May 19, 2014 Planning Commission meeting agenda for a new recommendation to City Council. The owner and applicant requested that the Planning Commission recommend approval of the new PMDP, including changes to the site layout, buildings, and architectural elevations and materials, and recommend that City Council reaffirm the PGC zoning originally placed on the property in 2000.

On May 19, 2014, the Planning Commission recommended that City Council reaffirm the PGC zoning originally placed on the property in 2000, approve with conditions the Preliminary Master Development Plan (PC0285-14), including changes to the site layout, buildings, and architectural elevations and materials.

On August 5, 2014, the City Council passed on second reading Ordinance No. O1405-35 reaffirming the Planned General Commercial (PGC) District Zoning on 10.95 (+/-) acres and approving the Preliminary Master Development Plan for the Miracle Ford Dealership (PC0285-14) with a minor revision to the architectural building materials by adding split-face CMU block to the west elevation of the building.

DISCUSSION:

Natural Features of the Site

The natural topography for the existing vacant land slopes from the highest point of elevation (526') located along the north boundary (GAP warehouse), with a steady and even decline, towards the lowest point of elevation (484') located in the southeast corner approximately 75 feet from Nashville Pike right-of-way. From that point, there is a steady and rapid increase in elevation along the southern boundary to Nashville Pike (502'), which creates a significant decline entering from Nashville Pike.

There are existing mature trees located along the perimeter of the northern and western property lines along with existing vegetation. The applicant indicated that the existing mature trees will remain along the northern property line. There are several small areas of existing trees and vegetation scattered throughout the property. No portion of this development for the Miracle Ford Dealership is located within a flood hazard area.

Adjacent Development and Zoning

The adjacent area to the north of the proposed development is an established warehousing company (GAP) zoned Commercial General (CG). The Wood Commons commercial development, zoned Planned General Commercial (PGC), is located across Nashville Pike to the south of the proposed development, which is not fully developed. The adjacent area to the west, zoned Residential R-6 (R6), contains offices for the Volunteer State Community College, and the adjacent area to the east, zoned Planned General Commercial (PGC), is vacant. The Nissan and Toyota Automobile dealerships are located in close proximity to the west along Nashville Pike.

Comprehensive Land Use Plan and Policies

The *Gallatin on the Move 2020 Plan* shows this property as part of the Commercial Corridor Character Category. The intent of commercial corridors is to discourage continuous ribbons of automobile-oriented commercial development, provide sidewalks and more pedestrian-

friendly environment, encourage mixed use development, and reflect quality materials and design. The development strategies for commercial corridors is to establish pedestrian-oriented building setbacks, guide building and site designs, including parking lot configuration and streetscape features, and to find an appropriate balance between residential and commercial uses within mixed use developments. The primary land uses for the commercial corridor are small and large-scale apartments, office, and commercial retail uses.

The Planned General Commercial (PGC) zoning and the Final Master Development Plan for the Miracle Ford Dealership is consistent with the intent, strategies, and land uses as outlined in the *Gallatin on the Move 2020 Plan*.

Access and Traffic Generation

There are two (2) proposed access points to this development located off of Nashville Pike. These access points will connect to a proposed frontage road (25 foot ingress/egress easement) to run parallel to Nashville Pike, which will then provide two (2) access points to the development.

The Engineering Division has not required a Traffic Impact Study for this development at this time. The owner and applicant shall be aware that a Traffic Impact Study may be requested in the future.

Buildings and Architectural Elevations

The proposed architectural elevations show a one-story asymmetrical building facing Nashville Pike. The front elevation (South – Nashville Pike) is characterized by a modern design with large amounts of glass set within a concave wall sheathed with brushed aluminum finish rectangular metal panels. The elevation is comprised of 62 percent storefront and 38 percent metal panels. (Attachment 4-2, sheet R-4.0)

The primary building entrance is offset left of center and is accentuated by an icon tower, which is sheathed with the large brushed aluminum metal panels set in a vertical pattern. There is a large blue oval Ford logo centered at the top of the tower. The icon tower is architecturally connected to the front elevation of the building. (Attachment 4-2, sheet R-4.0)

The icon tower, although not centered within the entire front elevation, is centered within the steel and glass showroom area that projects outwardly from the concave wall. Each window pane is similar in size to the metal panels on the wall, thereby maintaining the paneled appearance throughout the front elevation.

The wall, from which the showroom projects outwardly, is approximately 173 feet wide and is completely sheathed with the brushed aluminum rectangular metal panels, which are oriented in a horizontal pattern. The wall is also slightly concave, which adds visual contrast to the flat front of the glass showroom. A blue oval Ford logo is placed in the upper left corner of the wall and 'MIRACLE' is placed in the upper right corner of the wall. To the left of the showroom there is a large void within the wall, which provides access to two (2) service bay doors, which are set behind the front elevation by approximately 15 feet. The service door elevation is sheathed with a darker gray metal panel, which is made up of thin

horizontal lines, contrasting with the large rectangular brushed aluminum panels of the front wall.

The west elevation (Volunteer State Community College side) is comprised of 61 percent metal panels, 30 percent split-face CMU block, and nine (9) percent storefront. The right side of this elevation shows the edge of the brushed aluminum panels of the front elevation and a small glass storefront. The left side of this elevation has four (4) roll-up service doors with a double glass door adjacent to the service doors. The metal panels of this elevation have thin vertically oriented lines.

The north elevation (GAP Warehouse side) is comprised of 100 percent metal panels like the west elevation. To the left of this elevation are four (4) roll-up service doors, one (1) single access door and an 18 light fixed-pane window, which is as large as the roll-up doors and located in the middle of the four (4) roll-up doors.

The east elevation (vacant property side) is comprised of 63 percent metal panels and 37 percent split-face CMU block. To the left of this elevation is the side of the service area visible from the front elevation. This portion of the elevation is sheathed in the darker gray metal panels with horizontal lines. There are three (3) roll-up service doors within this portion of the elevation. The remainder of the east elevation is comprised of split-face CMU block on the bottom third of the elevation with the split-face CMU block extending to the roofline in six (6) evenly distributed engaged piers. The areas between the engaged piers are sheathed with the vertically oriented metal panels found on the north and west elevations.

The architectural elevations for the building do not meet the Basic Design Criteria of the Gallatin Zoning Ordinance, Section 13.08.010.A, *Materials*, since the building is shown to be constructed with metal panels and will not contain the required 70 percent brick or stone on each building facade (Attachment 4-2, sheet R-4.0). However, the City Council approved the alternative architecture with the recently approved PMDP. The owner and applicant are requesting approval of an alternative architectural plan consistent with the PMDP. The Planning Commission shall determine whether the proposed plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.

On August 5, 2014, the City Council approved the alternative architectural plan with the PMDP with a minor revision to the architectural building materials by adding split-face CMU block to the west elevation of the building.

Open Space and Landscaping

The Final Master Development Plan for the Miracle Ford Dealership includes a detention area and approximately four (4) acres of existing vacant land located in the rear of the property to remain undeveloped.

The FMDP includes a landscaping plan that shows landscaping throughout the proposed development. Bufferyards are required to be shown as part of the Final Master Development Plan. These are intended to minimize the potential impacts of the proposed development on the adjacent properties as outlined in the *Gallatin on the Move 2020 Plan* and Article 13 of the Gallatin Zoning Ordinance. The applicant has submitted a landscaping

and bufferyard plan, which includes some alternatives to the requirements of the Gallatin Zoning Ordinance (Attachment 4-2, sheet 3). The landscaping plan shows the required bufferyards. The owner and applicant are requesting an alternative bufferyard, consistent with the approved PMDP, with the FMDP per Section 13.04.100.C of the Gallatin Zoning Ordinance, located along the north (GAP Warehouse side) property line using the existing mature trees. The landscaping plan shows details of the bufferyard types. If the owner and applicant wish to incorporate the existing mature trees into the landscaping plan, a detailed tree survey needs to be submitted. Detailed landscaping plans have been submitted with the Final Master Development Plan illustrating bufferyards, parking area screening, interior planting areas, and any other required landscaping for the proposed development consistent with the approved PMDP.

The Planning Commission shall make a decision on whether the proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance.

On August 5, 2014, the City Council approved the alternative bufferyard plan with the PMDP.

Parking

Parking requirements are based on the use of the property. The office or administrative use requires one (1) space per 300 square feet of gross area and the indoor sales display or service area use requires one (1) space per 500 square feet of gross area. Based on these ratios, the proposed development is required to provide 67 parking spaces with three (3) handicap accessible space.

The FMDP indicates 67 parking spaces to be provided with 28 of the 67 parking spaces to be located in the service area. The remaining 39 parking spaces are located on the east side and in front of the proposed building with the three (3) required handicap accessible parking space located directly in front of the proposed building for easy access. The FMDP indicates 260 storage/display parking spaces located in the front, side and rear of the proposed building.

These total parking spaces meets the minimum number of required regular parking spaces, including handicap accessible parking requirements, for the use per G.Z.O., Section 11.03, *Schedule of Off-Street Parking Requirements* and Section 11.07, *Handicapped Parking*.

Drainage and Retention

The plans indicate the stormwater infrastructure and a detention pond on the FMDP. The site layout channels stormwater runoff from the northwest side of the property into catch basins, located in the parking areas, into the detention pond. Off-site stormwater runoff is channeled into a 36 inch pipe at the southwest side of the property which then continues into the existing stormwater drainage ditch along Nashville Pike.

Mechanical Equipment Screening

The mechanical equipment will be located on the roof of the proposed building and will be properly screened. The owner and applicant shall provide details of the screening for the

mechanical units. The only parapet wall is located along the front elevation facing Nashville Pike will not provide the proper screening along the sides and rear of the building.

Dumpster Enclosure

The dumpster enclosure is proposed to be located in rear of the proposed building next to the display spaces. The owner and applicant has provided details of the dumpster enclosure which indicates an ash grey split-face CMU block to match the color scheme of the building. The dumpster enclosure shall satisfy Section 14-14, Nonresidential Establishment Containers, Storage, and Requirements of the Gallatin Municipal Code.

Photometric Plan and Lighting Fixtures

The owner and applicant have submitted a photometric plan for this project that complies with the Performance Standards of the Gallatin Zoning Ordinance. The photometric plan meets the requirements of the Gallatin Zoning Ordinance Article 13.00 Performance and Design Standards, Section 13.02.080.B Limitation of Glare.

The applicant has not indicated what type of lighting fixtures will be installed on site. The owner and applicant shall provide details on the proposed type of lighting fixtures to be installed in the parking/display area and on building.

Signage

The owner and applicant have provided a preliminary design with the FMDP illustrating the proposed wall mounted signs located on the front facade and the icon tower. It was illustrated in the building and architectural elevation sections that the icon tower is architecturally attached to the main structure. The proposed wall mounted sign located on the icon tower will be permitted.

The owner and applicant shall submit a detailed sign package illustrating wall mounted signs, freestanding ground signs, directional, etc. for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.

Site Surety

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement, Section 15.03.080 Surety Required of the Gallatin Zoning Ordinance, in the amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

Planning Department Comments

The Planning Department reviewed and commented on the Final Master Development Plan. The applicant satisfactorily addressed the Planning Department comments; however the applicant shall amend the FMDP and provide documents as indicated below:

1. Provide a detailed tree survey for the existing mature trees located along the north (GAP Warehouse side) property line.
2. Provide details of the screening for the mechanical units.
3. Provide details on the proposed type of lighting fixtures to be installed in the parking/display area and on building.

4. Provide a detailed sign package illustrating wall mounted signs, freestanding ground signs, directional, etc. for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.
5. Provide a site surety for site improvements per Article 15.00 Administration and Enforcement, Section 15.03.080 Surety Required of the Gallatin Zoning Ordinance, in the amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

Engineering Division Comments

The Engineering Division reviewed and commented on the Final Master Development Plan. Most of the Engineering Division comments have been satisfied however, the applicant shall amend the FMDP and provide documents as indicated below:

1. Provide a copy of recorded Stormwater Inspection and Maintenance Agreement prior to issuance of Land Disturbance Permit.
2. Provide sidewalk along southern access to property boundary and Nashville Pike (Highway 31E) right-of-way to allow future connection.
3. Provide signing and markings to control traffic flow at intersection. Allow vehicles inbound from Nashville Pike (Highway 31E) to proceed without stopping.
4. Provide Drainage Calculations.
5. Provide Erosion Prevention and Sediment Control Plan.
6. Provide details and specify rip-rap apron at outlets A1 and F1 per TDOT EC-STR-21 "Permanent Rip-Rap Basin Energy Dissipater".
7. Provide details and specify energy dissipating headwalls at outlets A1 and F1.
8. Relocate interior pond outlet structure(s) to provide adequate detention and prevent pool bypass.
9. Provide slope stabilization at termination of frontage road on northern property line.

Gallatin Public Utilities Department Comments

This development is serviced by the Gallatin Public Utilities Department. The applicant shall coordinate all development with Gallatin Public Utilities Department to ensure all future utility infrastructures are installed to the satisfaction of the Gallatin Public Utilities Department standards. The Gallatin Public Utilities Department reviewed the Final Master Development Plan and made the following comments indicated below:

1. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval.

Other Departmental Comments

The other City Departments reviewed the Final Master Development Plan and only one (1) comment was provided.

1. Provide access to the site during construction shall be provided for all emergency vehicles per Section 1410 of the International Fire Code: Access for Fire Fighting.

FINDINGS:

1. The Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and*

Transportation Plan for the area, and in particular, the Commercial Corridor Character Area Category.

2. The proposed Final Master Development Plan is consistent with the purpose and intent of the Planned General Commercial (PGC) zone district, the approved PMDP, and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in said zone district with conditions.
3. The Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
4. The legal purposes for which zoning regulations exists have not been contravened.
5. The Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-77, approval of a Final Master Development Plan for the Miracle Ford Dealership, consisting of a six (6) sheet plan, prepared by Bruce Rainey & Associates of Hendersonville TN, with project no. 980216-T and dated March 28, 2000, with a final revision date of September 10, 2014, including Architectural Elevations for Miracle Ford, consisting of a one (1) sheet plan, prepared by Rose Construction of Murfreesboro TN, sheet number R4.0 and dated July 29, 2014, and including Photometric Plan for Miracle Ford, consisting of one (1) sheet plan, prepared by Rose Construction of Murfreesboro TN, plan view sheet and dated August 14, 2014 with the following conditions:

1. Planning Commission determines that the proposed alternative architectural elevations meet the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.
2. Planning Commission determines that the proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance.
3. Provide a detailed tree survey for the existing mature trees located along the north (GAP Warehouse side) property line.
4. Provide details of the screening for the mechanical units.
5. Provide details on the proposed type of lighting fixtures to be installed in the parking/display area and on building.
6. Provide a copy of recorded Stormwater Inspection and Maintenance Agreement prior to issuance of Land Disturbance Permit.
7. Provide sidewalk along southern access to property boundary and Nashville Pike (Highway 31E) right-of-way to allow future connection.
8. Provide signing and markings to control traffic flow at intersection. Allow vehicles inbound from Nashville Pike (Highway 31E) to proceed without stopping.
9. Provide Drainage Calculations.
10. Provide Erosion Prevention and Sediment Control Plan.
11. Provide details and specify rip-rap apron at outlets A1 and F1 per TDOT EC-STR-21 "Permanent Rip-Rap Basin Energy Dissipater".
12. Provide details and specify energy dissipating headwalls at outlets A1 and F1.

13. Relocate interior pond outlet structure(s) to provide adequate detention and prevent pool bypass.
14. Provide slope stabilization at termination of frontage road on northern property line.
15. During construction, access to the site shall be provided for all emergency vehicles per Section 1410 of the International Fire Code: Access for Fire Fighting.
16. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval.
17. Provide a detailed sign package illustrating wall mounted signs, freestanding ground signs, directional, etc. for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.
18. Provide a site surety for site improvements per Article 15.00 Administration and Enforcement, Section 15.03.080 Surety Required of the Gallatin Zoning Ordinance, in the amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.
19. Submit three (3) corrected and folded copies, one (1) full size and two (2) half-size, of the Final Master Development Plan to the Planning Department.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS:

Attachment 4-1 Location Map

Attachment 4-2 Miracle Ford Dealership FMDP with Architectural Elevations

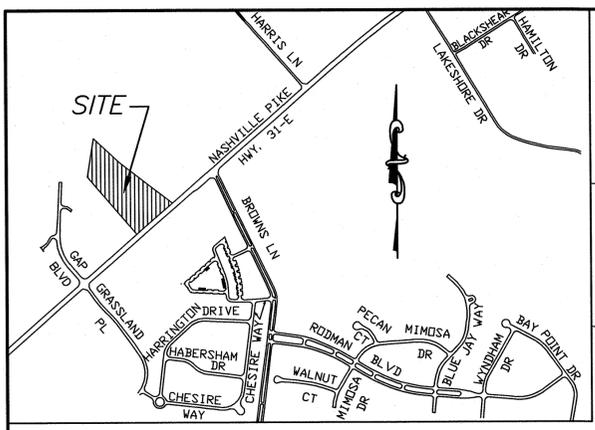
MIRACLE FORD DEALERSHIP
LOCATION MAP



1394 NASHVILLE PIKE
TAX MAP #136//007.01 AND 008.01
ZONED PGC

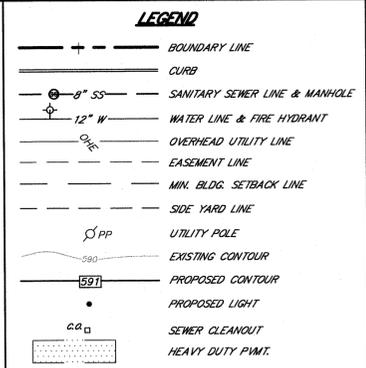
PC0328-14

ATTACHMENT 4-1

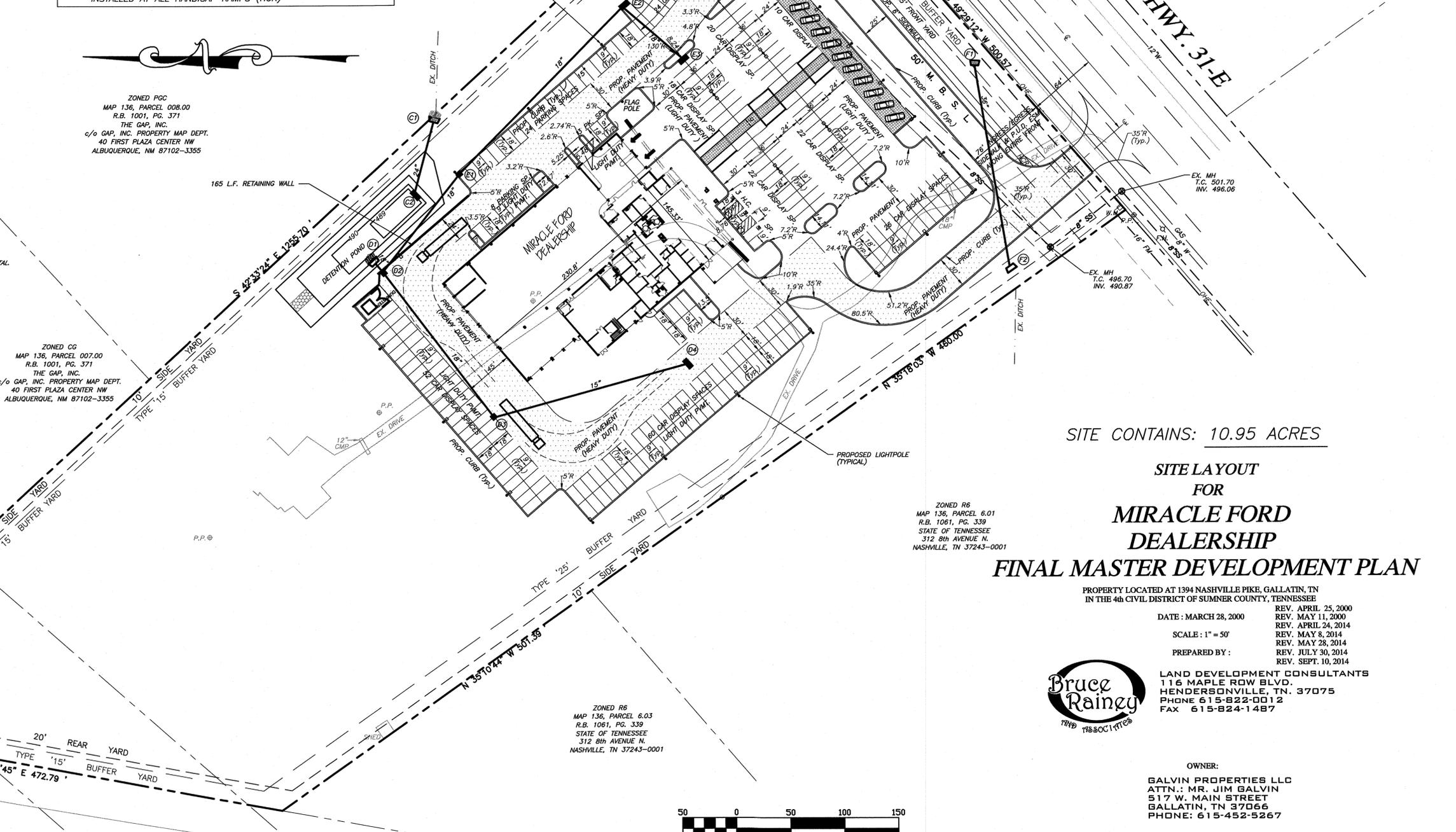


CURRENT OWNER & DEVELOPER GALVIN PROPERTIES, LLC ATTN: MR. JIM GALVIN 517 W. MAIN STREET GALLATIN, TN 37066	SITE ZONING PGC	TAX MAP AND PARCEL MAP 136 PARCEL 7.01 & PARCEL 8.01	SITE ADDRESS 1394 NASHVILLE PIKE GALLATIN, TN 37066	EXISTING & PROPOSED USE EX.: VACANT PROP.: VEHICULAR, CRAFT & RELATED EQUIPMENT SALES & RENTAL	BUILDING HEIGHT 30,929 S.F. 21.5' @ EAVE 40' MAX. HGT.	F.A.R. HEIGHT 1.0 MAX. 0.085 PROP.
TOTAL SITE CONTAINS - 476,982 S.F.± (10.95± AC.)						
PRE-DEVELOPMENT VACANT			POST-DEVELOPMENT 30,929 S.F. ROOF: PVTM, CONC. & WALKS: 184,610 S.F.			
TOTAL IMPERVIOUS: 52,560 S.F.=11.02%			TOTAL IMPERVIOUS: 185,541 S.F.=38.9%			
SETBACKS & YARD REQUIREMENTS						
YARDS PER GALLATIN ZONING ORD. :						
FRONT : 25'						
SIDE : 10'						
REAR : 20'						
50' M.B.S.L. FROM STREETS						
PARKING SPACES						
TYPE		BLDG. S.F.	PARKING SP. REQUIRED			
ADMINISTRATIVE SERVICES		3,915	3915/300=13			
INDOOR SALES DISPLAY OR SERVICE AREA		26,985	26985/500=54			
REQUIRED PARKING 67 SPACES PROVIDED 64 REO+ 3 HC = 67 (28 IN SERVICE AREAS)						

NOTE: ARMORCAST CAST-IN-PLACE DETECTABLE WARNING DEVICES TO BE INSTALLED AT ALL HANDICAP RAMP(S) (HCR)



- SURVEYOR'S NOTES:**
- THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE POLICY. THEREFORE THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH.
 - PROPERTY SHOWN AS PARCELS 007.01 AND 008.01 ON SUMNER COUNTY PROPERTY MAP 136.
 - BEING THE SAME PROPERTY CONVEYED TO GALVIN PROPERTIES, L.L.C. BY DEED OF RECORD IN R.B. 1000, PG. 785, R.O.S.C., TN.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM SURFACE IMPROVEMENTS, UTILITY COMPANY RECORDS, AND/OR PLANS BY OTHERS. ACTUAL FIELD LOCATIONS AND SIZES OF THESE LINES SHOULD BE OBTAINED PRIOR TO ANY CONSTRUCTION ON THIS SITE. ADDITIONAL BURIED UTILITIES AND/OR STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES AND/OR STRUCTURES. BEFORE ANY EXCAVATION HAS BEGUN ON THIS SITE CALL DARE DIG FOR UNDERGROUND UTILITY LOCATIONS.
 - SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED FOR THIS SURVEY.
 - THIS PROPERTY IS ZONED PGC.
 - ROADWAY WILL BE REPAIRED WHERE DAMAGE IS CAUSED BY CONSTRUCTION OF THIS SITE.
 - CONTOURS DERIVED FROM A FIELD RUN RADIAL TOPOGRAPHICAL SURVEY USING U.S.G.S. DATUM BY BRUCE RAINEY & ASSOCIATES.
 - FOR LANDSCAPING SEE LANDSCAPE PLAN.
 - SETBACKS & YARD REQUIREMENTS: FRONT YARD: 25' FT
SIDE YARD: 10' FT
REAR YARD: 20' FT
50' M.B.S.L. NASHVILLE PIKE
 - EXISTING USE: VACANT
PROPOSED USE OF THE BUILDING IS FOR A VEHICULAR, CRAFT AND RELATED EQUIPMENT SALES AND RENTAL. BUILDING CASE REPORT IS 21'-6".
 - SIGN PACKAGE SHALL BE SUBMITTED SEPARATELY BY THE OWNER FOR APPROVAL. SIGN PERMIT IS REQUIRED PRIOR TO THE INSTALLATION OF ALL SIGNAGE. SIGNAGE TO BE MONUMENT TYPE - NOT TO EXCEED 6' IN HEIGHT. SIGN MUST BE 15' OFF R.O.W.
 - LIGHTING TO BE GROUND MOUNTED SECURITY LIGHTING ONLY.
 - THERE IS NO COMMON OPEN SPACE. THE GROUNDS WILL BE MAINTAINED BY THE PROPERTY OWNER.
 - ESTIMATED PROJECT COMPLETION DATE IS TWELVE MONTHS FROM DATE OF ISSUANCE OF BUILDING PERMIT.
 - ALL CONSTRUCTION AND USE OF PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.
 - INSPECTION AND MAINTENANCE OF EROSION CONTROL DEVICES WILL BE PERFORMED AT LEAST TWICE PER WEEK AT LEAST 72 HOURS APART. EROSION CONTROL MUST BE IN PLACE AND INSPECTED BY THE ENGINEERING DIVISION PRIOR TO GRADING.
 - ACCORDING TO F.E.M.A. COMMUNITY PANEL NO. 4716SC0428, DATED 04/17/12, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AND IT LIES IN ZONE X.
 - PROPOSED FACILITY SHALL COMPLY WITH ALL CROSS-CONNECTION CONTROL AND SEWER USE REGULATIONS.
 - GALVIN PROPERTIES, LLC IS RESPONSIBLE FOR ALL FINANCIAL MATTERS AND IS TO PROVIDE AN ADEQUATE SURETY, IN THE FORM OF A PERFORMANCE BOND AS SPECIFIED IN SECTION 15.03.080, TO ENSURE CONSTRUCTION OF THE PLANNED DEVELOPMENT WITHIN THE PROPOSED PHASING/TIME PERIOD.



SITE CONTAINS: 10.95 ACRES

SITE LAYOUT FOR MIRACLE FORD DEALERSHIP FINAL MASTER DEVELOPMENT PLAN

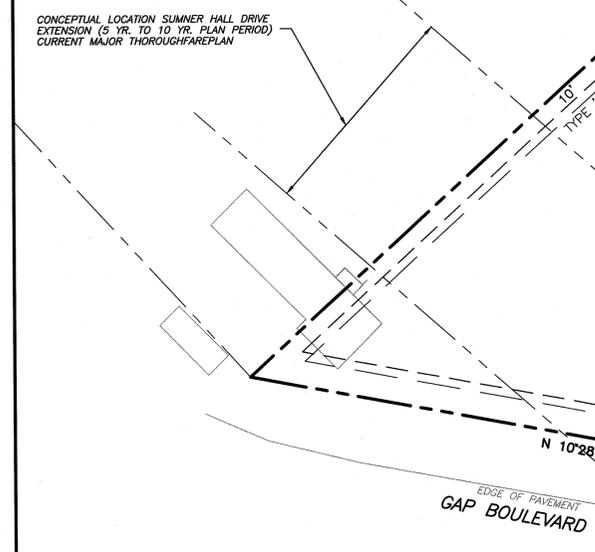
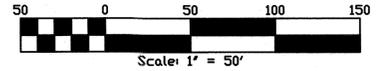
PROPERTY LOCATED AT 1394 NASHVILLE PIKE, GALLATIN, TN IN THE 4th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE: MARCH 28, 2000
SCALE: 1" = 50'
PREPARED BY:



LAND DEVELOPMENT CONSULTANTS
116 MAPLE ROW BLVD.
HENDERSONVILLE, TN. 37075
PHONE 615-822-0012
FAX 615-824-1487

OWNER:
GALVIN PROPERTIES L.L.C.
ATTN: MR. JIM GALVIN
517 W. MAIN STREET
GALLATIN, TN 37066
PHONE: 615-452-5267



- CONSTRUCTION NOTES:**
- OWNER RESERVES RIGHT TO ADJUST FINISHED GRADES AS MAY BE NECESSARY TO BALANCE EXCAVATION AND EMBANKMENT QUANTITIES ON SITE.
 - ALL CURB AROUND PAVEMENT EDGE TO BE 6" MOUNTABLE CURB UNLESS OTHERWISE NOTED.

ZONED CG
MAP 125, PARCEL 039.00
R.B. 515, PG. 707
THE GAP, INC.
c/o GAP, INC. PROPERTY MAP DEPT.
40 FIRST PLAZA CENTER NW
ALBUQUERQUE, NM 87102-3355

LANDSCAPE NOTES :

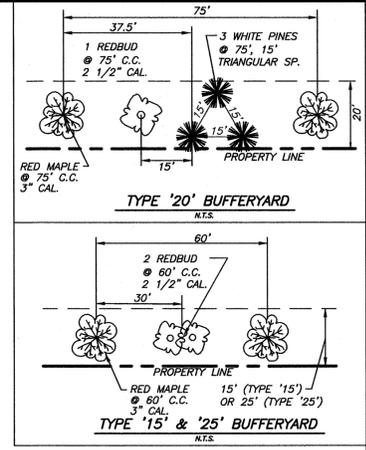
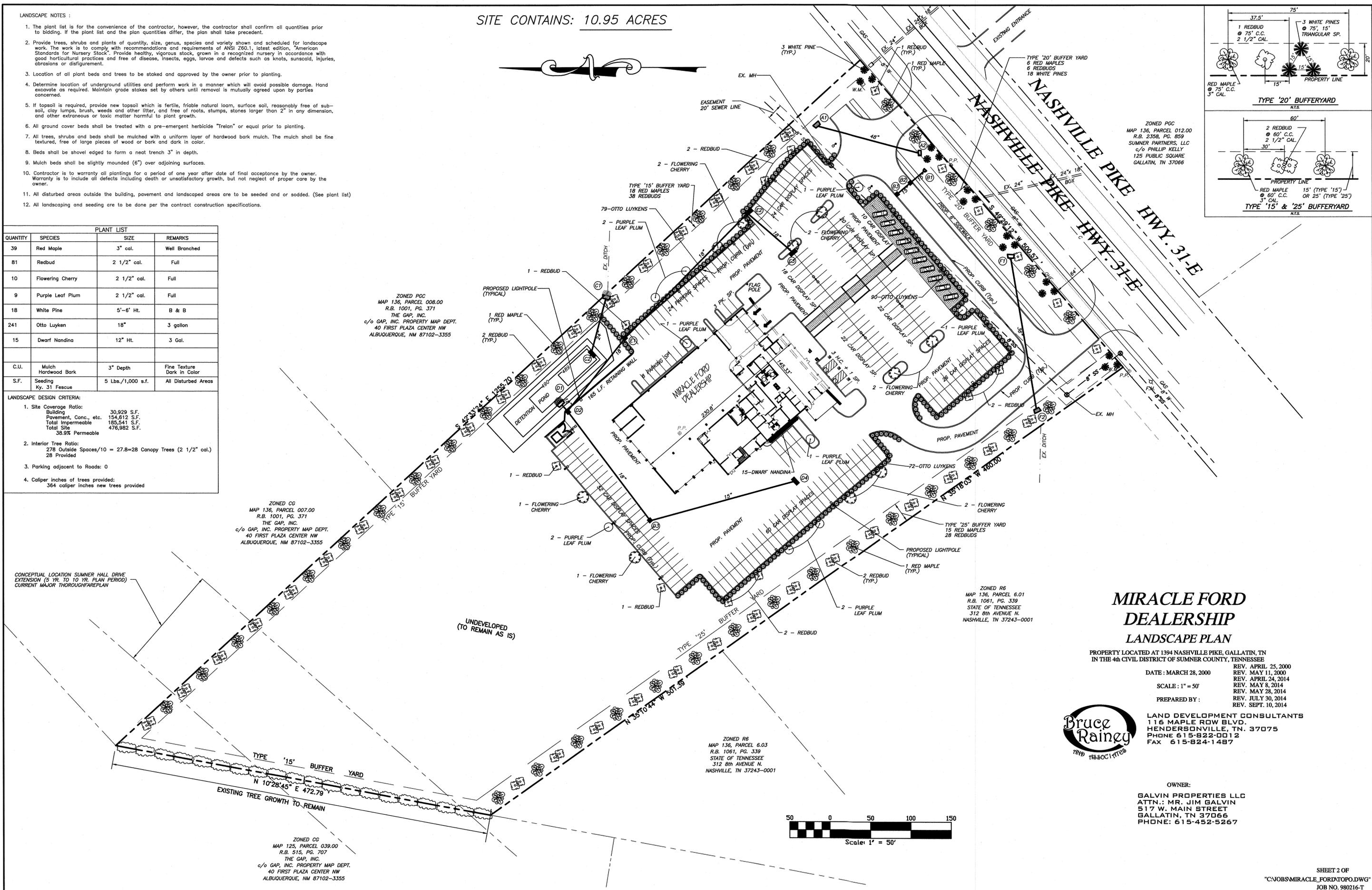
- The plant list is for the convenience of the contractor, however, the contractor shall confirm all quantities prior to bidding. If the plant list and the plan quantities differ, the plan shall take precedent.
- Provide trees, shrubs and plants of quantity, size, genus, species and variety shown and scheduled for landscape work. The work is to comply with recommendations and requirements of ANSI Z60.1, latest edition, "American Standards for Nursery Stock". Provide healthy, vigorous stock, grown in a recognized nursery in accordance with good horticultural practices and free of disease, insects, eggs, larvae and defects such as knots, sunscald, injuries, abrasions or disfigurement.
- Location of all plant beds and trees to be staked and approved by the owner prior to planting.
- Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate as required. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned.
- If topsoil is required, provide new topsoil which is fertile, friable natural loam, surface soil, reasonably free of sub-soil, clay lumps, brush, weeds and other litter, and free of roots, stumps, stones larger than 2" in any dimension, and other extraneous or toxic matter harmful to plant growth.
- All ground cover beds shall be treated with a pre-emergent herbicide "Trelon" or equal prior to planting.
- All trees, shrubs and beds shall be mulched with a uniform layer of hardwood bark mulch. The mulch shall be fine textured, free of large pieces of wood or bark and dark in color.
- Beds shall be shovel edged to form a neat trench 3" in depth.
- Mulch beds shall be slightly mounded (6") over adjoining surfaces.
- Contractor is to warranty all plantings for a period of one year after date of final acceptance by the owner. Warranty is to include all defects including death or unsatisfactory growth, but not neglect of proper care by the owner.
- All disturbed areas outside the building, pavement and landscaped areas are to be seeded and or sodded. (See plant list)
- All landscaping and seeding are to be done per the contract construction specifications.

SITE CONTAINS: 10.95 ACRES

PLANT LIST			
QUANTITY	SPECIES	SIZE	REMARKS
39	Red Maple	3" cal.	Well Branched
81	Redbud	2 1/2" cal.	Full
10	Flowering Cherry	2 1/2" cal.	Full
9	Purple Leaf Plum	2 1/2" cal.	Full
18	White Pine	5'-6' HT.	B & B
241	Otto Luyken	18"	3 gallon
15	Dwarf Nandina	12" HT.	3 Gal.
C.U.	Mulch Hardwood Bark	3" Depth	Fine Texture Dark in Color
S.F.	Seeding Ky. 31 Fescue	5 Lbs./1,000 s.f.	All Disturbed Areas

LANDSCAPE DESIGN CRITERIA:	
1. Site Coverage Ratio:	30,929 S.F. Building Pavement, Conc., etc. 154,612 S.F. Total Impermeable 185,541 S.F. Total Site 476,982 S.F. 38.9% Permeable
2. Interior Tree Ratio:	278 Outside Spaces/10 = 27.8=28 Canopy Trees (2 1/2" cal.) 28 Provided
3. Parking adjacent to Roads:	0
4. Caliper inches of trees provided:	364 caliper inches new trees provided

CONCEPTUAL LOCATION SUMNER HALL DRIVE EXTENSION (5 YR. TO 10 YR. PLAN PERIOD) CURRENT MAJOR THOROUGHFARE PLAN



ZONED PGC
MAP 136, PARCEL 012.00
R.B. 2358, PG. 859
SUMNER PARTNERS, LLC
c/o PHILLIP KELLY
125 PUBLIC SQUARE
GALLATIN, TN 37066

ZONED CG
MAP 136, PARCEL 007.00
R.B. 1001, PG. 371
THE GAP, INC.
c/o GAP, INC. PROPERTY MAP DEPT.
40 FIRST PLAZA CENTER NW
ALBUQUERQUE, NM 87102-3355

ZONED R6
MAP 136, PARCEL 6.01
R.B. 1061, PG. 339
STATE OF TENNESSEE
312 8th AVENUE N.
NASHVILLE, TN 37243-0001

ZONED R6
MAP 136, PARCEL 6.03
R.B. 1061, PG. 339
STATE OF TENNESSEE
312 8th AVENUE N.
NASHVILLE, TN 37243-0001

ZONED CG
MAP 125, PARCEL 039.00
R.B. 515, PG. 707
THE GAP, INC.
c/o GAP, INC. PROPERTY MAP DEPT.
40 FIRST PLAZA CENTER NW
ALBUQUERQUE, NM 87102-3355

MIRACLE FORD DEALERSHIP LANDSCAPE PLAN

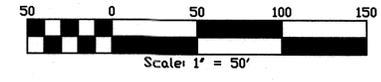
PROPERTY LOCATED AT 1394 NASHVILLE PIKE, GALLATIN, TN IN THE 4th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE: MARCH 28, 2000
SCALE: 1" = 50'
PREPARED BY:



LAND DEVELOPMENT CONSULTANTS
116 MAPLE ROW BLVD.
HENDERSONVILLE, TN. 37075
PHONE 615-822-0012
FAX 615-824-1487

OWNER:
GALVIN PROPERTIES LLC
ATTN.: MR. JIM GALVIN
517 W. MAIN STREET
GALLATIN, TN 37066
PHONE: 615-452-5267



LANDSCAPE NOTES :

- The plant list is for the convenience of the contractor, however, the contractor shall confirm all quantities prior to bidding. If the plant list and the plan quantities differ, the plan shall take precedent.
- Provide trees, shrubs and plants of quantity, size, genus, species and variety shown and scheduled for landscape work. The work is to comply with recommendations and requirements of ANSI Z60.1, latest edition, "American Standards for Nursery Stock". Provide healthy, vigorous stock, grown in a recognized nursery in accordance with good horticultural practices and free of disease, insects, eggs, larvae and defects such as knots, sunscald, injuries, abrasions or disfigurement.
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- Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate as required. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned.
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- All disturbed areas outside the building, pavement and landscaped areas are to be seeded and or sodded. (See plant list)
- All landscaping and seeding are to be done per the contract construction specifications.

SITE CONTAINS: 10.95 ACRES

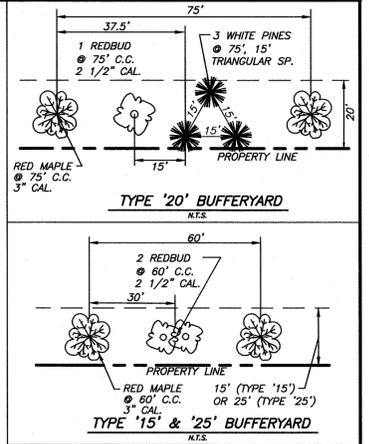
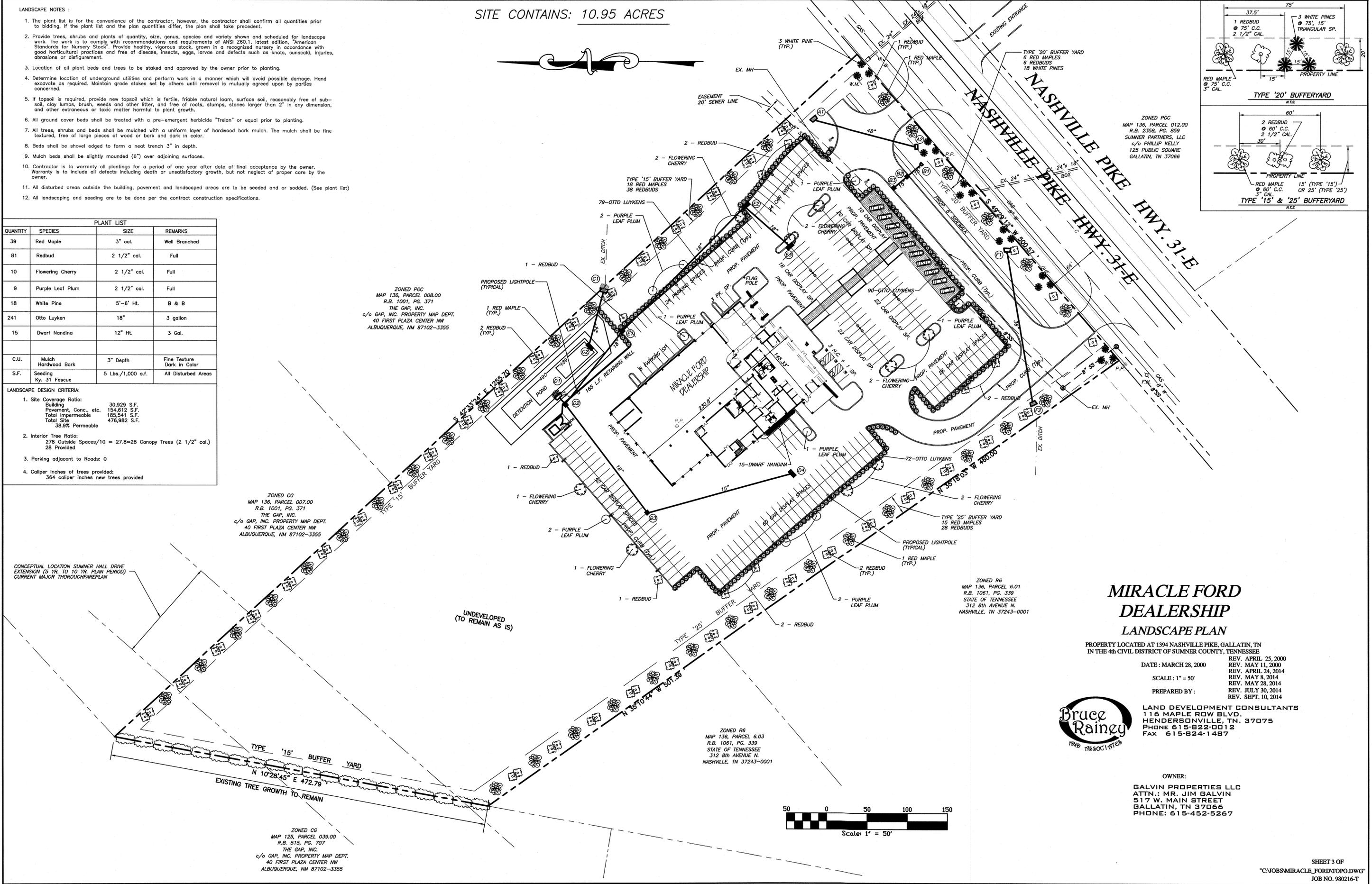


PLANT LIST			
QUANTITY	SPECIES	SIZE	REMARKS
39	Red Maple	3" cal.	Well Branched
81	Redbud	2 1/2" cal.	Full
10	Flowering Cherry	2 1/2" cal.	Full
9	Purple Leaf Plum	2 1/2" cal.	Full
18	White Pine	5'-6' HT.	B & B
241	Otto Luyken	18"	3 gallon
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C.U.	Mulch Hardwood Bark	3" Depth	Fine Texture Dark in Color
S.F.	Seeding Ky. 31 Fescue	5 Lbs./1,000 s.f.	All Disturbed Areas

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 Pavement, Conc., etc. 154,612 S.F.
 Total Imperviable 185,541 S.F.
 Total Site 476,982 S.F.
 38.9% Permeable
- Interior Tree Ratio:
 278 Outside Spaces/10 = 27.8=28 Canopy Trees (2 1/2" cal.)
 28 Provided
- Parking adjacent to Roads: 0
- Caliper inches of trees provided:
 364 caliper inches new trees provided

CONCEPTUAL LOCATION SUMNER HALL DRIVE
EXTENSION (5 YR. TO 10 YR. PLAN PERIOD)
CURRENT MAJOR THOROUGHFARE PLAN



ZONED PGC
MAP 136, PARCEL 012.00
R.B. 2358, PG. 859
SUMNER PARTNERS, LLC
c/o PHILLIP KELLY
125 PUBLIC SQUARE
GALLATIN, TN 37066

ZONED PGC
MAP 136, PARCEL 008.00
R.B. 1001, PG. 371
THE GAP, INC.
c/o GAP, INC. PROPERTY MAP DEPT.
40 FIRST PLAZA CENTER NW
ALBUQUERQUE, NM 87102-3355

ZONED CG
MAP 136, PARCEL 007.00
R.B. 1001, PG. 371
THE GAP, INC.
c/o GAP, INC. PROPERTY MAP DEPT.
40 FIRST PLAZA CENTER NW
ALBUQUERQUE, NM 87102-3355

ZONED R6
MAP 136, PARCEL 6.01
R.B. 1061, PG. 339
STATE OF TENNESSEE
312 8th AVENUE N.
NASHVILLE, TN 37243-0001

ZONED R6
MAP 136, PARCEL 6.03
R.B. 1061, PG. 339
STATE OF TENNESSEE
312 8th AVENUE N.
NASHVILLE, TN 37243-0001

ZONED CG
MAP 125, PARCEL 039.00
R.B. 515, PG. 707
THE GAP, INC.
c/o GAP, INC. PROPERTY MAP DEPT.
40 FIRST PLAZA CENTER NW
ALBUQUERQUE, NM 87102-3355

MIRACLE FORD DEALERSHIP LANDSCAPE PLAN

PROPERTY LOCATED AT 1394 NASHVILLE PIKE, GALLATIN, TN
IN THE 4th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

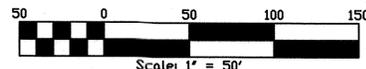
DATE: MARCH 28, 2000
SCALE: 1" = 50'
PREPARED BY:



REV. APRIL 25, 2000
REV. MAY 11, 2000
REV. APRIL 24, 2014
REV. MAY 8, 2014
REV. MAY 28, 2014
REV. JULY 30, 2014
REV. SEPT. 10, 2014

LAND DEVELOPMENT CONSULTANTS
116 MAPLE ROW BLVD.
HENDERSONVILLE, TN. 37075
PHONE 615-822-0012
FAX 615-824-1487

OWNER:
GALVIN PROPERTIES LLC
ATTN.: MR. JIM GALVIN
517 W. MAIN STREET
GALLATIN, TN 37066
PHONE: 615-452-5267



SITE CONTAINS: 10.95 ACRES



LEGEND

---+---	BOUNDARY LINE
---	CURB
○	8" SS
○	12" W
○	OVERHEAD UTILITY LINE
---	EASEMENT LINE
---	MIN. BLDG. SETBACK LINE
---	SIDE YARD LINE
○	UTILITY POLE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
○	PROPOSED LIGHT
○	SEWER CLEANOUT

ZONED PGC
MAP 136, PARCEL 012.00
R.B. 2336, PG. 653
SUMNER PARTNERS, LLC
c/o PHILIP KELLY
125 PUBLIC SQUARE
GALLATIN, TN 37066

ZONED PGC
MAP 136, PARCEL 008.00
R.B. 1001, PG. 371
THE GAP, INC.
c/o GAP, INC. PROPERTY MAP DEPT.
40 FIRST PLAZA CENTER NW
ALBUQUERQUE, NM 87102-3355

ZONED CG
MAP 136, PARCEL 007.00
R.B. 1001, PG. 371
THE GAP, INC.
c/o GAP, INC. PROPERTY MAP DEPT.
40 FIRST PLAZA CENTER NW
ALBUQUERQUE, NM 87102-3355

ZONED R6
MAP 136, PARCEL 6.01
R.B. 1061, PG. 339
STATE OF TENNESSEE
312 8th AVENUE N.
NASHVILLE, TN 37243-0001

ZONED R6
MAP 136, PARCEL 6.03
R.B. 1061, PG. 339
STATE OF TENNESSEE
312 8th AVENUE N.
NASHVILLE, TN 37243-0001

**UTILITY PLAN
FOR
MIRACLE FORD
DEALERSHIP
FINAL MASTER DEVELOPMENT PLAN**

PROPERTY LOCATED AT 1394 NASHVILLE PIKE, GALLATIN, TN
IN THE 4th CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE: SEPTEMBER 10, 2014

SCALE: 1" = 50'

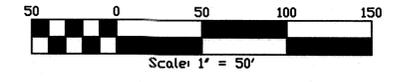
PREPARED BY:



LAND DEVELOPMENT CONSULTANTS
1600 MAPLE ROW BLVD.
HENDERSONVILLE, TN, 37075
PHONE 615-822-0012
FAX 615-824-1487

OWNER:

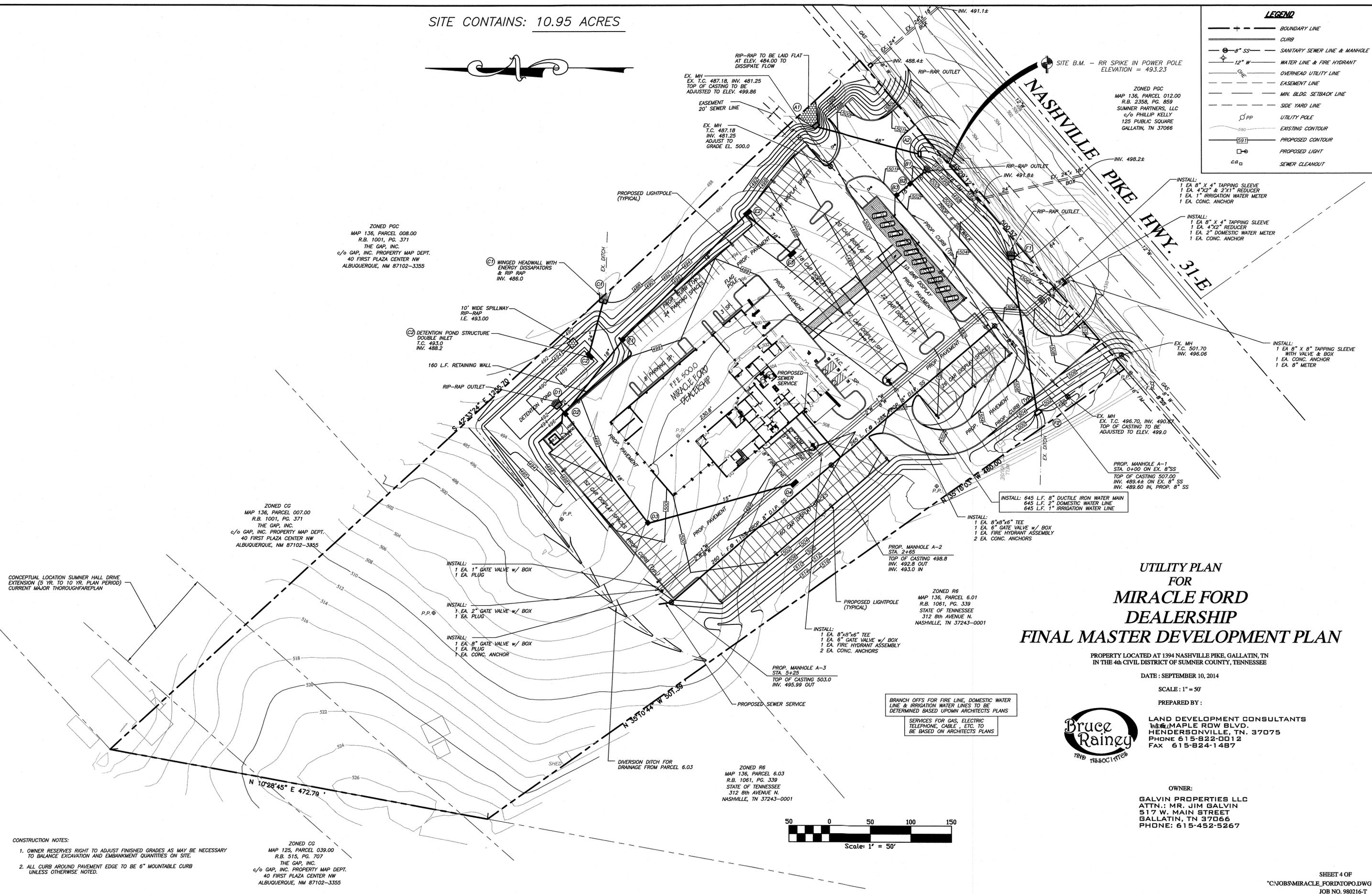
GALVIN PROPERTIES LLC
ATTN.: MR. JIM GALVIN
517 W. MAIN STREET
GALLATIN, TN 37066
PHONE: 615-452-5267

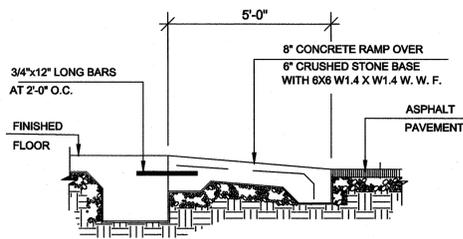


CONSTRUCTION NOTES:
1. OWNER RESERVES RIGHT TO ADJUST FINISHED GRADES AS MAY BE NECESSARY TO BALANCE EXCAVATION AND EMBANKMENT QUANTITIES ON SITE.
2. ALL CURB AROUND PAVEMENT EDGE TO BE 6" MOUNTABLE CURB UNLESS OTHERWISE NOTED.

ZONED CG
MAP 125, PARCEL 039.00
R.B. 515, PG. 707
THE GAP, INC.
c/o GAP, INC. PROPERTY MAP DEPT.
40 FIRST PLAZA CENTER NW
ALBUQUERQUE, NM 87102-3355

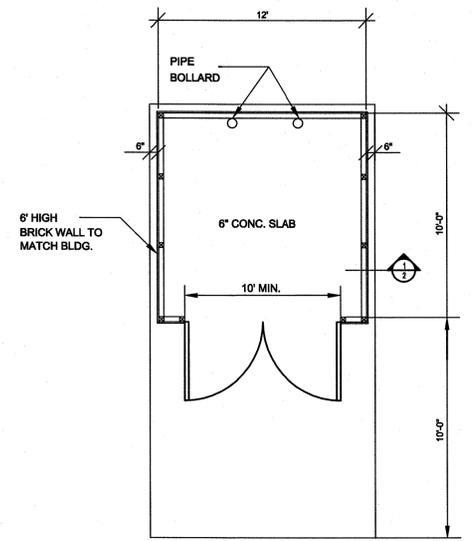
CONCEPTUAL LOCATION SUMNER HALL DRIVE
EXTENSION (5 YR. TO 10 YR. PLAN PERIOD)
CURRENT MAJOR THOROUGHFARE PLAN



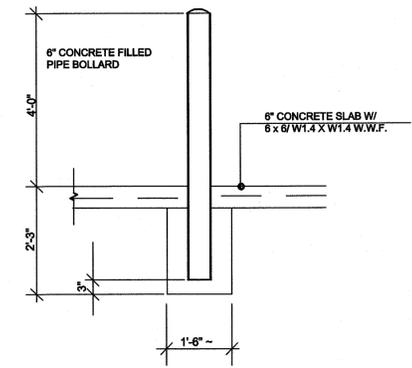


3500 PSI CONCRETE RAMP
BROOM TEXTURED FINISH.
SEE SITE LAYOUT FOR LOCATION AND SIZE

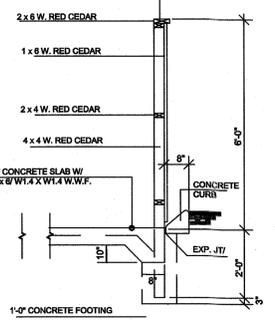
1 TYPICAL CONCRETE RAMP
N.T.S.



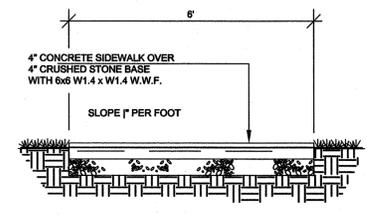
2 DUMPSTER ENCLOSURE PLAN
N.T.S.



3 BOLLARD DETAIL & CONC. SLAB
N.T.S.

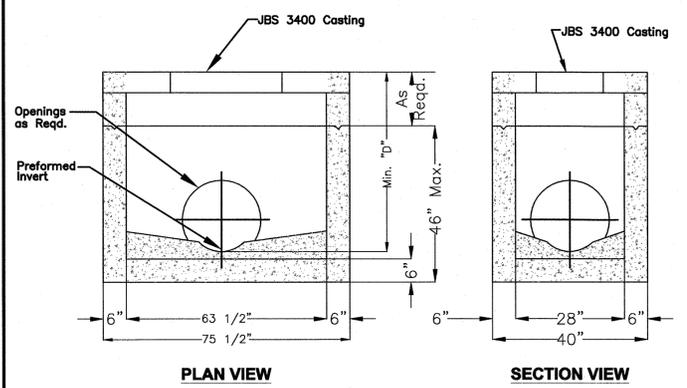


4 FENCE SECTION
N.T.S.



3500 PSI CONCRETE WALK
BROOM TEXTURED FINISH
FINISH WITH 1" BIT EXP. JOINT AT
25' O.C. SCORED JOINTS AT 5' O.C.
x" DEEP.

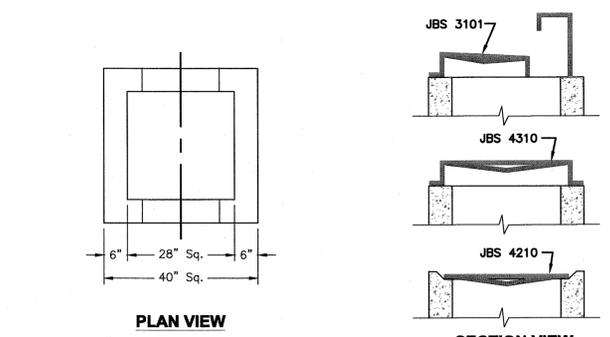
5 CONCRETE WALK
N.T.S.



Min. Depth for RCP	Pipe	"D"
12"	2.08'	
15"	2.40'	
18"	2.70'	
24"	3.16'	

- Notes:
1. Concrete: 4500 psi @ 28 Days
 2. Reinforced with #4 Bar - Gr. 60
 3. Max. Size Pipe in Short Side: 24" RCP
 4. 46" Base Wt: 5,664 Lbs.
 5. Riser Wt: 1,293 Lbs per Foot

SCALE: N.T.S.



Min. Depth for RCP	Pipe	"D"
12"	2.08'	
15"	2.40'	
18"	2.70'	
24"	3.16'	

- Notes:
1. Concrete: 4500 psi @ 28 Days
 2. Reinforced with #4 Bar - GR. 60
 3. Base Wt: 3,470 Lbs.
 4. Riser Wt: 850 Lbs. per Foot

SCALE: N.T.S.

STANDARD DETAILS - 1

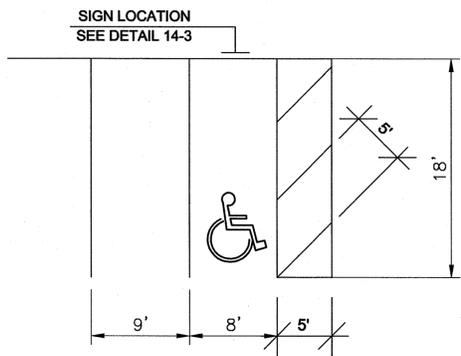
MIRACLE FORD DEALERSHIP
HIGHWAY 31-E
GALLATIN, TENNESSEE

DATE: 3-28-00
REV.: 1-31-08
SCALE: N.T.S.
DRAWN BY: W.E.C.

Bruce Rainey
LAND DEVELOPMENT CONSULTANTS
115 MAPLE ROW BLVD.
HENDERSONVILLE, TN. 37075
PHONE 615-822-0012
FAX 615-824-1487

SHEET
5
OF 5 SHEETS
JOB NO. 980216

FILE: MAPCAD\9789-D1.DWG

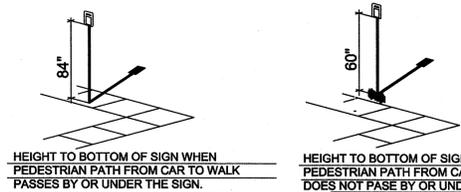


HANDICAP PARKING LAYOUT

ADA NOTES:

ALL WORK PERFORMED BY THE CONTRACTOR SHALL COMPLY WITH THE PERTINENT PROVISION OF THE ADA-ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, ISSUED BY THE U.S. ARCHITECTURAL AND TRANSPORTATION BARRIER COMPLIANCE BOARD.

DETECTABLE WARNING SHALL COMPLY WITH THE NEW ADA REGULATIONS-SECTION 4.29. DETECTABLE WARNING COLOR SHALL BE YELLOW.

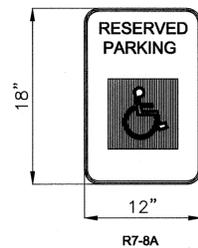


HEIGHT TO BOTTOM OF SIGN WHEN PEDESTRIAN PATH FROM CAR TO WALK PASSES BY OR UNDER THE SIGN.

HEIGHT TO BOTTOM OF SIGN WHEN PEDESTRIAN PATH FROM CAR TO WALK DOES NOT PASS BY OR UNDER THE SIGN.

FOR THIS APPLICATION THE SIGN MAYBE MOUNTED ON A POST, THE BUILDING FACE, A COLUMN OR ANY OTHER FIXED MOUNTING SURFACE.

SIGN MOUNTING HEIGHTS



R7-8A

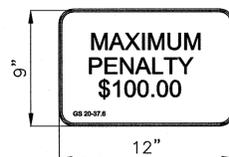
TYPE R7-8 OR R7-8A SIGN APPROVED FOR USE UNDER G.S.20-37.6

LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

BEGINNING JANUARY 1, 1979 ALL ACCESSIBLE PARKING SPACES (INCLUDING THOSE SPACES EXISTING PRIOR TO JULY 1, 1979)

SHALL BE REQUIRED BY GENERAL STATUTE TO BE IDENTIFIED BY AN R7- OR R7-8A SIGN.

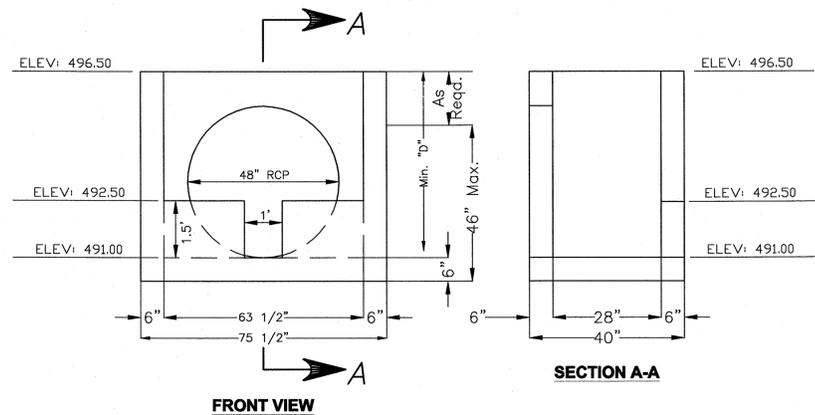
R7-8D PENALTY SIGNS ARE REQUIRED TO ACCOMPANY ALL RT-8 OR R7-8A PARKING SIGNS ERECTED AFTER DECEMBER 31, 1990.



R7-8D

SITE HANDICAP DETAILS

N.T.S.



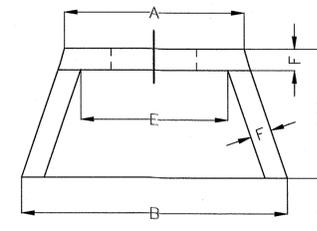
INLET STRUCTURE A2

Notes:

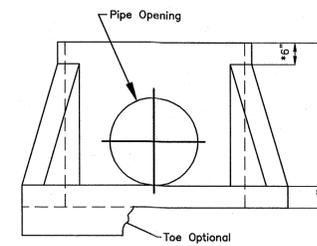
1. Concrete: 4500 psi @ 28 Days
2. Reinforced with #4 Bar - Gr. 60

Notes:

1. Concrete: 4500 psi @ 28 Days
2. Reinforced with #4 Bar - GR. 60
3. Available with Standard Openings or CMP Pipe Cast in
4. Special Shapes & Openings Available on Request



PLAN VIEW



ELEVATION VIEW

Size	4'	5'	6'	8'	10'
A	32"	36"	48"	72"	96"
B	48"	60"	72"	96"	120"
C	30"	38"	44"	50"	56"
D	25"	33"	36"	52"	66"
E	24"	28"	36"	59"	83"
F	5"	5"	8"	8"	8"
Max. CMP	18"	18"	30"	42"	54"
Max. RCP	15"	15"	24"	36"	48"
WT./#	1090	1320	3130	5625	8575

- 0" on 4' & 5' Winged Headwall
- 10" WW Has Max. D Dimension = 84" (Max. RCP = 60")

SCALE: N.T.S.



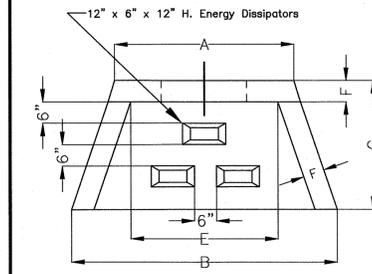
WINGWALL
FILE NAME: 382DPEWINGWALL_DET.DWG
ISSUE DATE: January 2002
www.oldcastleprecast.com

Winged Headwall SW-300

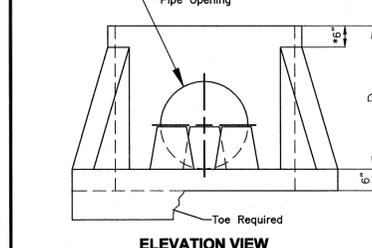
Copyright © 2002 Oldcastle Precast, Inc.

Notes:

1. Concrete: 4500 psi @ 28 Days
2. Reinforced with #4 Bar - GR. 60
3. Available with Standard Openings or CMP Pipe Cast in
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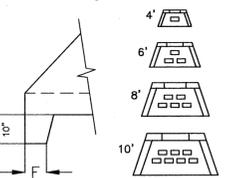
PLAN VIEW



ELEVATION VIEW

Size	4'	6'	8'	10'
A	32"	48"	72"	96"
B	48"	72"	96"	120"
C	30"	44"	50"	56"
D	25"	36"	52"	66"
E	24"	36"	59"	83"
F	NA	8"	8"	8"
Max. CMP	18"	30"	42"	54"
Max. RCP	15"	24"	36"	48"
WT./#	1090	3130	5625	8575

- 0" on 4' Winged Headwall



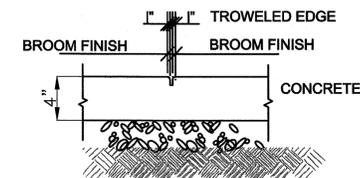
SCALE: N.T.S.



ENERGYWW
FILE NAME: 382DPEWENGDIS_DET.DWG
ISSUE DATE: January 2002
www.oldcastleprecast.com

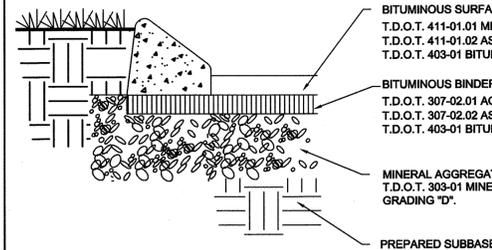
Winged Headwall with Energy Dissipators SW-301

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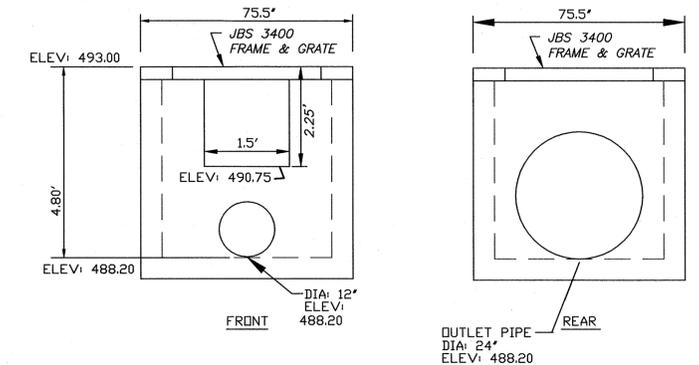
SCORE JOINT FOR WALKS

N.T.S.



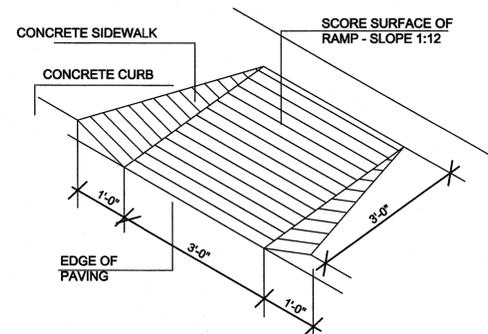
TYP. PAVING HEAVY DUTY PAVING

N.T.S.



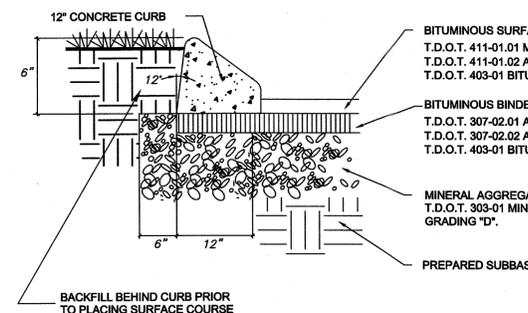
OUTLET STRUCTURE FOR POND

N.T.S.



ENTRANCE RAMP DETAIL

N.T.S.



TYP. PAVING & MOUNTABLE CURB DETAIL LIGHT DUTY PAVING

N.T.S.

STANDARD DETAILS - 2

MIRACLE FORD DEALERSHIP

HIGHWAY 31-E
GALLATIN, TENNESSEE

DATE: 3-28-00
REV.: 1-31-08
SCALE: N.T.S.
DRAWN BY: W.E.C.

Bruce Rainey
LAND DEVELOPMENT CONSULTANTS
1115 MAPLE ROW BLVD.
HENDERSONVILLE, TN, 37075
PHONE 615-822-0012
FAX 615-824-1487

SHEET
6
OF SHEETS
JOB NO. 980216

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE FOXLAND PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVE THE REVISED FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND, PHASE 7, SECTIONS 2-4, CONTAINING 39 LOTS AND FOUR (4) OPEN SPACE TRACTS, ON 12.66 (+/-) ACRES, LOCATED ON VININGS BOULEVARD (PC0336-14).

WHEREAS, the applicant has submitted an application for a minor amendment to the previously approved Foxland Preliminary Master Development Plan and a Revised Final Master Development Plan consistent with Section 12.02 of the City of Gallatin Zoning Ordinance, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Amended Preliminary Master Development Plan and the Revised Final Master Development Plan submitted by the applicant, Dewey-Estes Engineering, at its regular meeting on September 22, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the Amended Preliminary Master Development Plan/Revised Final Master Development Plan, application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations make the following findings pursuant to T.C.A. §13-3-310, §13-4-310, §13-7-201, and §13-7-202:

1. The proposed Amended Preliminary Master Development Plan/Revised Final Master Development Plan is consistent with the purpose and intent of the Multiple Residential and Office (MRO) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district, with the approval of a five (5) foot side yard exception.
2. The proposed changes shown in the Amended Preliminary Master Development Plan/Revised Final Master Development Plan do not constitute a major amendment to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
3. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and*

Transportation Plan for the area, and in particular, the Suburban Neighborhood Established Community Character Area.

4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed modifications will not change the essential character of the Foxland Subdivision since Sections 2-4 will match previously constructed homes in Phase 7, Section 1.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves GMRPC Resolution No. 2014-80 as a minor amendment to the Foxland Preliminary Master Development Plan and approve the Revised Final Master Development Plan for Foxland, Phase 7, Sections 2-4, consisting of a four (4) sheet plan, prepared by Dewey-Estes Engineering of Nashville, Tennessee, with job number 12010, dated August 24, 2014, with a revision date of September 2014, and separate architectural elevations submitted by Goodall Inc. Builders, with the following conditions:

1. The proposed changes are considered as a minor amendment to the approved Preliminary Master Development Plan.
2. The alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval, and is approved as submitted.
3. The side yard exception is approved at five (5) feet as shown.
4. A site surety for the entry feature landscaping, in an amount to be determined by the applicant and approved by the Planning Department, shall be submitted prior the recoding of the Final Plat for Foxland, Phase 7, Section 4.
5. The applicant shall work with the Engineering Division to determine the appropriate number of chicanes and their optimal locations on Vinings Boulevard to the satisfaction of the City Engineer.

6. Submit three (3) corrected folded copies of the Amended Preliminary Master Development Plan and Revised Final Master Development Plan to the Planning Department if required by the Engineering Division to show new locations of chicanes on Vinings Boulevard.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.
PRESENT AND VOTING

AYE:

NAY:

DATED: 9/22/14

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney



ITEM 5
PLANNING DEPARTMENT STAFF REPORT
Foxland, Phase 7, Sections 2-4 Amended PMDP & Revised FMDP
(PC0336-14)
Vinings Boulevard
Date: September 17, 2014

REQUEST: THE OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE FOXLAND PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVAL OF A REVISED FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND, PHASE 7, SECTIONS 2-4, CONTAINING 39 LOTS AND FOUR (4) OPEN SPACE TRACTS, ON 12.66 (+/-) ACRES, LOCATED ON VININGS BOULEVARD (PC0336-14).

OWNER: OAK REALTY INVESTMENTS, LLC II C/O ROYCE REALTY AND GREEN TRAILS, LLC

APPLICANT: DEWEY-ESTES ENGINEERING

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION NO. 2014-80

STAFF CONTACT: KATHERINE SCHOCH, AICP

PC MEETING DATE: SEPTEMBER 22, 2014

PROPERTY OVERVIEW:

The owner and applicant are requesting approval of a minor amendment to the Foxland Preliminary Master Development Plan and approval of a Revised Final Master Development Plan for Foxland, Phase 7, Sections 2-4, containing 39 lots and four (4) open space tracts, on 12.66 (+/-) acres, located on Vinings Boulevard (Attachment 5-1 & Attachment 5-2).

The Preliminary Master Development Plan is being amended and the Final Master Development Plan is being revised to increase the width of lots 1269-1272 and 1488-1491 from approximately 62 feet to 84 feet or greater and to reduce the total number of lots in Phase 2 from 20 to 17. Foxland, Phase 7, Sections 1-4 was originally approved for a total of 63 single-family lots and the applicant is proposing a new total of 60 lots. There are no significant architectural changes proposed with this amendment; however, the applicant has indicated that the developer would like the flexibility to install house plans with side-entry garages on some lots instead of the approved front-entry design. The property is currently zoned Multiple Residential and Office (MRO). One-family Detached Dwelling is a permitted uses in the MRO zone district.

Staff recommends that the Planning Commission approve the proposed changes as a minor amendment to the approved Preliminary Master Development Plan and recommends approval of the Revised Final Master Development Plan with the conditions listed on pages 7 and 8 of the staff report and in GMRPC Resolution No. 2014-80.

CASE BACKGROUND:

Previous Approvals and Property History

At the November 28, 2005 meeting, the Planning Commission recommended approval of a Preliminary Master Development Plan to rezone 416.87 (+/-) acres, known as the Foxland property, from Residential-15 Planned Unit Development (R15 PUD) and Multiple Residential and Office Planned Unit Development (MRO PUD) to Mixed Use (MU) and Multiple Residential and Office (MRO) (PC File #3-16-05). The plan called for 81.37 (+/-) acres to be rezoned to MU and 335.50 (+/-) acres to be rezoned to MRO. At that time the applicant labeled the proposed MU portion of the property as future development and did not submitted any details or plans for that property. The Preliminary Master Development Plan and rezoning request passed Second Reading at the February 7, 2006 City Council meeting.

At the May 23, 2011 meeting, the Planning Commission recommended that the proposed changes to the Foxland, Phase 3, Section 1, Phase 7, and Phase 9 Preliminary Master Development Plan be considered as a major amendment. The amended Preliminary Master Development Plan for Foxland, Phase 3, Section 1, Phase 7, and Phase 9 was approved by City Council at the August 16, 2011 meeting.

At the February 27, 2012 Planning Commission meeting, the applicant received approval of a minor amendment to the Preliminary Master Development Plan for Foxland, Phase 3, Section 1, Phase 7 and Phase 9 and received approval of a Final Master Development Plan for Foxland, Phase 9, Sections 2-5 (PC9933-11) to designate section lines and remove existing alley stubs along Foxland Boulevard. Preliminary plats for Foxland, Phase 9, Section 2 (PC9940-12) and Foxland, Phase 9, Section 5 (PC9941-12) were also approved by the Planning Commission at the February 27, 2012 meeting.

At the March 26, 2012 meeting, Planning Commission approved a minor amendment to the Foxland, Phase 3, Section 1, Phase 7 and Phase 9 Preliminary Master Development Plan (PC9814-11) and a Final Master Development Plan for Foxland, Phase 7, Sections 1-4 (PC9959-12) to designate section lines for the development.

Subdivision Plats

A Preliminary Plat for Foxland, Phase 7, Section 1 (PC9979-12) was approved by Planning Commission at the April 23, 2012 meeting and the Final Plat was approved at the August 27, 2012 Planning Commission meeting (PC0029-12). The Final Plat for Foxland, Phase 7, Section 1 was recorded on December 26, 2012 and the lots in that section are currently being developed by Goodall Inc. Builders. A Preliminary Plat for Foxland, Phase 7, Section 2 was approved by Planning Commission at the August 23, 2013 meeting (PC0151-13). Since the Final Plat was not approved within the year timeframe, the Preliminary Plat expired and must be re-approved by the Planning Commission. Re-approval of the Preliminary Plat for Foxland, Phase 7, Section 2 is the next item on the Consent Agenda (PC0337-14). The Preliminary Plat matches the Amended Preliminary Master Development Plan and Revised Final Master Development Plan as required. The Foxland, Phase 7, Section 2 Final Plat shall be recorded prior to the issuance of any building permits.

Gallatin on the Move 2020 General Development and Transportation Plan

The entire Foxland Subdivision, including the subject property, is located in the Suburban Neighborhood Established Community Character Area as shown on the Community Character Area Map of the *Gallatin on the Move 2020 General Development and Transportation Plan*. The main goals

of the Suburban Neighborhood Established Community Character Area are to provide safe areas for pedestrians, school buses, and bicyclists while preserving mature tree cover, and maintaining existing residential uses, including One-family Detached Dwellings (Attachment 5-4 and Attachment 5-5; page 3-16). In accordance with the Gallatin Zoning Ordinance and the 2020 Plan, the applicant shall install five (5) foot sidewalks along both sides of Vinings Boulevard as shown on Attachment 5-1; sheet C1.0.

Natural Features

The Phase 7, Sections 2-4 property is currently unimproved and vacant. A small stream bisects Section 2, in the open space between lots 1487 and 1488, which will run under Vinings Boulevard to the open space tracts between lots 1268 and 1269. A 25-foot stream buffer is shown on both sides of the stream and a note has been added to the plan that no building is permitted within the required stream buffer (Attachment 5-1; sheet C2.0). The building envelope on Lot 1487 is small due to the required stream buffer. At Staff's request, the applicant added a note that a variance would not be supported for Lot 1487 since the building constraints are self-created.

No portion of the subject property is located within a special flood hazard area according to FEMA FIRM map panel #471165C0409G; zone X (Attachment 5-1; sheet C0.0). This site contains many mature trees along the rear (southern) property line, many of which will be preserved and counted toward the bufferyard requirement. Trees being preserved along the south side of lots 1265-1287 have been property identified on the tree survey (Attachment 5-1; sheet C3.0).

Surrounding Zoning

The entire Foxland development property lies within the Gallatin City limits and is zoned Multiple Residential and Office (MRO). Properties to the north, east, and west of Foxland, Phase 7, Sections 2-4 are zoned MRO. The rear property line and southern subdivision boundary also represents the Gallatin City limits line. The property to the south is zoned Sumner County RA (Low Density Residential) and contains existing single-family homes.

Access

Vinings Boulevard, located off Douglas Bend Road, bisects Foxland, Phase 7, Sections 1-4 and intersects with Foxland Boulevard to the east of Section 1. A portion of Vinings Boulevard has already been constructed in Section 1, on the eastern portion of Phase 7, and currently contains ten (10) single-family homes being developed by Goodall Inc. Builders. Vinings Boulevard will become a public street once the roadway infrastructure is installed and accepted by the Gallatin City Council. Three (3) sets of chicanes will be installed along both sides of Vinings Boulevard as traffic calming devices. Two (2) landscaping medians are also shown at the entrance on Vinings Boulevard off Douglas Bend Road, which will also help reduce traffic speed.

Architectural Elevations

The applicant submitted renderings of the proposed One-family Detached Dwellings proposed for construction in Phase 7, Sections 1-4 (Attachment 5-3). The homes feature a mixture of brick, stucco accents, and Hardie Board siding, with architectural dimensional shingles for the roofs. The proposed homes range in size from approximately 2,247 square feet to approximately 3,396 square feet. Previously, all home designs for Phase 7, Sections 1-4 featured front-loading garages slightly setback from the main façade of each residence; however, the applicant would like the flexibility to provide

side-entry garages on some of the lots in Sections 2-4. Homes in Sections 2-4 will match the homes already being constructed in Section 1 on both sides Vinings Boulevard.

Side Yard Exception

According to G.Z.O. Section 12.02.020.F, Master Development Plan - Granting of Exceptions to Bulk Regulations and Waiver of Board of Zoning Appeal Approval of Conditional Use Permit, applicants may request exceptions to certain bulk regulations such as yard lines and minimum lot widths as part of Preliminary or Final Master Development Plans.

With this plan, the applicant is requesting approval of an exception to the 10-foot side yard requirement for the MRO zone district to allow five (5) foot side yards. This same request was previously approved by the Planning Commission as part of the Preliminary Master Development Plan and is consistent with the homes already constructed in Phase 7, Section 1. Staff is comfortable with the side yard exception as shown on the Amended Preliminary Master Development Plan/Revised Final Master Development Plan.

Construction Schedule

Sections 2-3 are being developed by Green Trails, LLC; however, Section 4, containing five (5) lots and one (1) open space tract at the entrance of Vinings Boulevard will be developed by a different group. Construction of homes in Section 1 has already commenced. Construction in Phase 7, Section 2 is expected to begin this month and is scheduled for completion by June 2015.

Landscaping and Bufferyards

Bufferyards are required to be shown as part of the Amended Preliminary Master Development Plan/Revised Final Master Development Plan and are intended to minimize the potential impacts of the proposed development on the adjacent properties as outlined in the Gallatin Zoning Ordinance and the *2020 Plan*. The applicant has submitted a detailed landscaping and bufferyard plan, which includes an alternative to the requirements of the Gallatin Zoning Ordinance.

A Type 10 Bufferyard is required along the back of lots 1254-1288. The applicant is requesting approval of an Alternative Type 10 Bufferyard in this location to match the landscaping approved as part of the original Preliminary and Final Master Development Plans for this area. Existing trees in this location will be counted towards the bufferyard requirement. The applicant has noted on the plan that additional trees may be added to supplement the existing screening if needed in the future; however, the developer has no plans to install additional landscaping at this time. The applicant submitted a detailed tree survey as required by the Gallatin Zoning Ordinance. The Planning Commission should determine if the alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval, and if so, approve the landscaping plan as submitted.

The applicant is also proposing landscaping to be installed in the open space along Douglas Bend Road, adjacent to lot 1288, and in the two (2) medians at the main entrance to Vinings Boulevard. A material list and planting schedule have been included as part of this Amended Preliminary Master Development Plan/Revised Final Master Development Plan. A site surety for the entry feature landscaping, in an amount to be determined by the applicant and approved by the Planning Department, shall be submitted prior the recording of the Final Plat for Foxland, Phase 7, Section 4.

Site Surety

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department. Since the applicant is utilizing existing trees for the rear bufferyard, a site surety is only required for the entry feature landscaping proposed along Douglas Bend Road and in the two (2) medians at the entrance of Vinings Boulevard. The site surety shall be submitted prior the recoding of the Final Plat for Foxland, Phase 7, Section 4.

Drainage and Detentioning

All stormwater runoff will drain to the small stream located in Section 2 between lots 1487 and 1488 on the north side of Vinings Boulevard and lots 1268 and 1269 on the south side of Vinings Boulevard. The water will be piped under the adjacent golf course and will ultimately drain to Old Hickory Lake. All lots will also be constructed with Public Utility Drainage Easements (P.U.D.E.) on all four (4) sides. A 30-foot P.U.D.E. has also been shown between lots 1488 and 1489 to accommodate a sanitary sewer line. No construction is allowed in any easements.

Minor Amendment

G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan, lists specific items that would constitute a major amendment to an approved Preliminary Master Development Plan including an increase in density, substantial changes to access or site circulation, or substantial changes to approved architecture. Staff reviewed the approved Foxland Preliminary Master Development Plan in detail and found no changes in the current plan that would constitute a major amendment. Planning Commission should determine if the proposed changes to the lot widths, lot count, and addition of the side-entry building design, should be considered as a minor amendment to the approved Preliminary Master Development Plan for Foxland.

Departmental Comments

- ***Engineering Division***

The Engineering Division asked the applicant to relocate the traffic calming devices to the approved locations shown on the Construction Plans. Since there are only two (2) sets of chicanes on the Preliminary Plat and Construction Plans, the Engineering Division requests that the applicant revise the Amended Preliminary Master Development Plan/Revised Final Master Development Plan to match the other documents. According to the applicant, the chicane near Lot 1490 was relocated to avoid conflicts with future driveways (Attachment 5-1; sheet C1.0). The applicant shall work with the Engineering Division to determine the appropriate number of chicanes and their optimal locations on Vinings Boulevard to the satisfaction of the City Engineer. The applicant shall also submit three (3) corrected folded copies of the Amended Preliminary Master Development Plan/Revised Final Master Development Plan to the Planning Department if required by the Engineering Division to show new locations of chicanes on Vinings Boulevard.

- ***Police Department***

The Police Department provided no comments on the plan.

- **Department of Public Utilities**
This development is primarily served by the White House Utility District. The Gallatin Department of Public Utilities only provides gas service in this area.
- **White House Utility District**
Since this area is primarily serviced by the White House Utility District, the owner and applicant shall coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. The applicant shall submit a copy of the utility surety to the Planning Department, if required by White House Utility District, prior to the recording of any plats for Foxland, Phase 7, Sections 2-4.
- **Industrial Pre-treatment Department**
Since this property is primarily served by White House Utility District, the Industrial Pre-treatment Department provided no comments.
- **Fire Department**
The Fire Department provided no comments on the plan.
- **Sumner County E-911**
The Sumner County E-911 Office did not review the Amended Preliminary Master Development Plan/Revised Final Master Development Plan, but will review the Final Plats for this property as part of the departmental review process.
- **Codes Department**
The Codes Department provided no review comments on the plan.
- **Department of Electricity**
The Department of Electricity indicated that they were “okay” with the plan, but provided no additional comments.

Departmental comments not addressed by the resubmittal have been added as conditions of approval.

Findings

In keeping with the *2020 Plan*, the proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity. As designed, the proposed uses will not change the essential character of the Foxland Subdivision. The project has also been designed to reflect the recommendations of the *2020 Plan* and be consistent with the intent and purpose of the Gallatin Zoning Ordinance. Staff, therefore, makes the following findings:

1. The proposed Amended Preliminary Master Development Plan/Revised Final Master Development Plan is consistent with the purpose and intent of the Multiple Residential and Office (MRO) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district, with the approval of a five (5) foot side yard exception.

2. The proposed changes shown in the Amended Preliminary Master Development Plan/Revised Final Master Development Plan do not constitute a major amendment to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
3. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed modifications will not change the essential character of the Foxland Subdivision since Sections 2-4 will match previously constructed homes in Phase 7, Section 1.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

RECOMMENDATION:

Based on the findings presented in the staff report, Staff recommends that the Planning Commission approve GMRPC Resolution No. 2014-80 as a minor amendment to the Foxland Preliminary Master Development Plan and approve the Revised Final Master Development Plan for Foxland, Phase 7, Sections 2-4, consisting of a four (4) sheet plan, prepared by Dewey-Estes Engineering of Nashville, Tennessee, with job number 12010, dated August 24, 2014, with a revision date of September 2014, and separate architectural elevations submitted by Goodall Inc. Builders, with the following conditions:

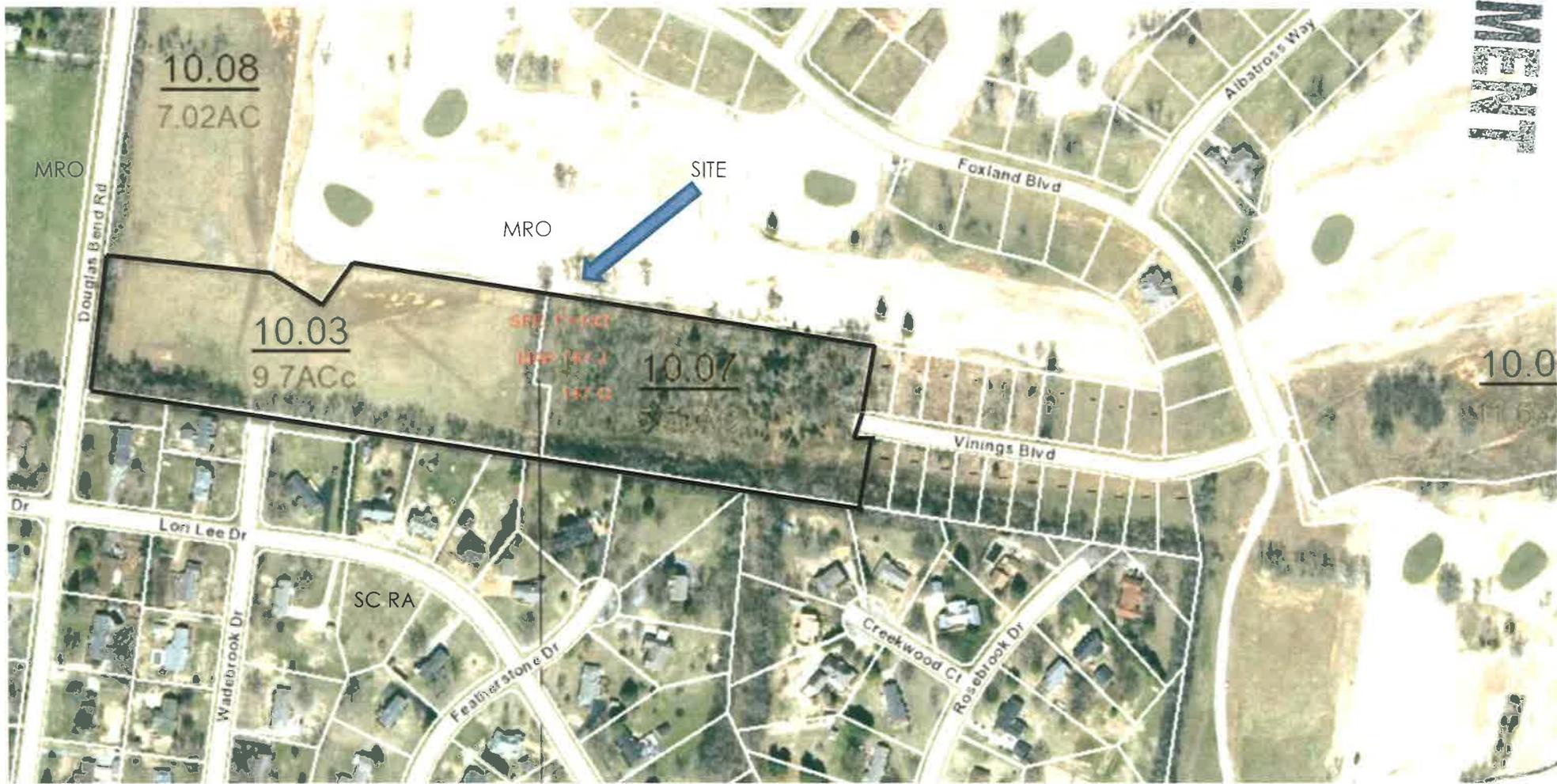
1. The proposed changes are considered as a minor amendment to the approved Preliminary Master Development Plan.
2. The alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval, and is approved as submitted.
3. The side yard exception is approved at five (5) feet as shown.
4. A site surety for the entry feature landscaping, in an amount to be determined by the applicant and approved by the Planning Department, shall be submitted prior the recoding of the Final Plat for Foxland, Phase 7, Section 4.

5. The applicant shall work with the Engineering Division to determine the appropriate number of chicanes and their optimal locations on Vinings Boulevard to the satisfaction of the City Engineer.
6. Submit three (3) corrected folded copies of the Amended Preliminary Master Development Plan and Revised Final Master Development Plan to the Planning Department if required by the Engineering Division to show new locations of chicanes on Vinings Boulevard.

ATTACHMENTS:

Attachment	5-1	Foxland, Ph. 7, Sec. 2-4 Amended PMDP/Revised FMDP
Attachment	5-2	Foxland, Ph. 7, Sec. 2-4 Location Map
Attachment	5-3	Approved Architectural Elevations
Attachment	5-4	2020 Plan Community Character Area Map – West Gallatin
Attachment	5-5	2020 Plan Suburban Neighborhood Established Description

FOXLAND, PHASE 7, SECTIONS 2-4; PC0336-14
AMENDED PMDP/REVISED FMDP
LOCATION MAP



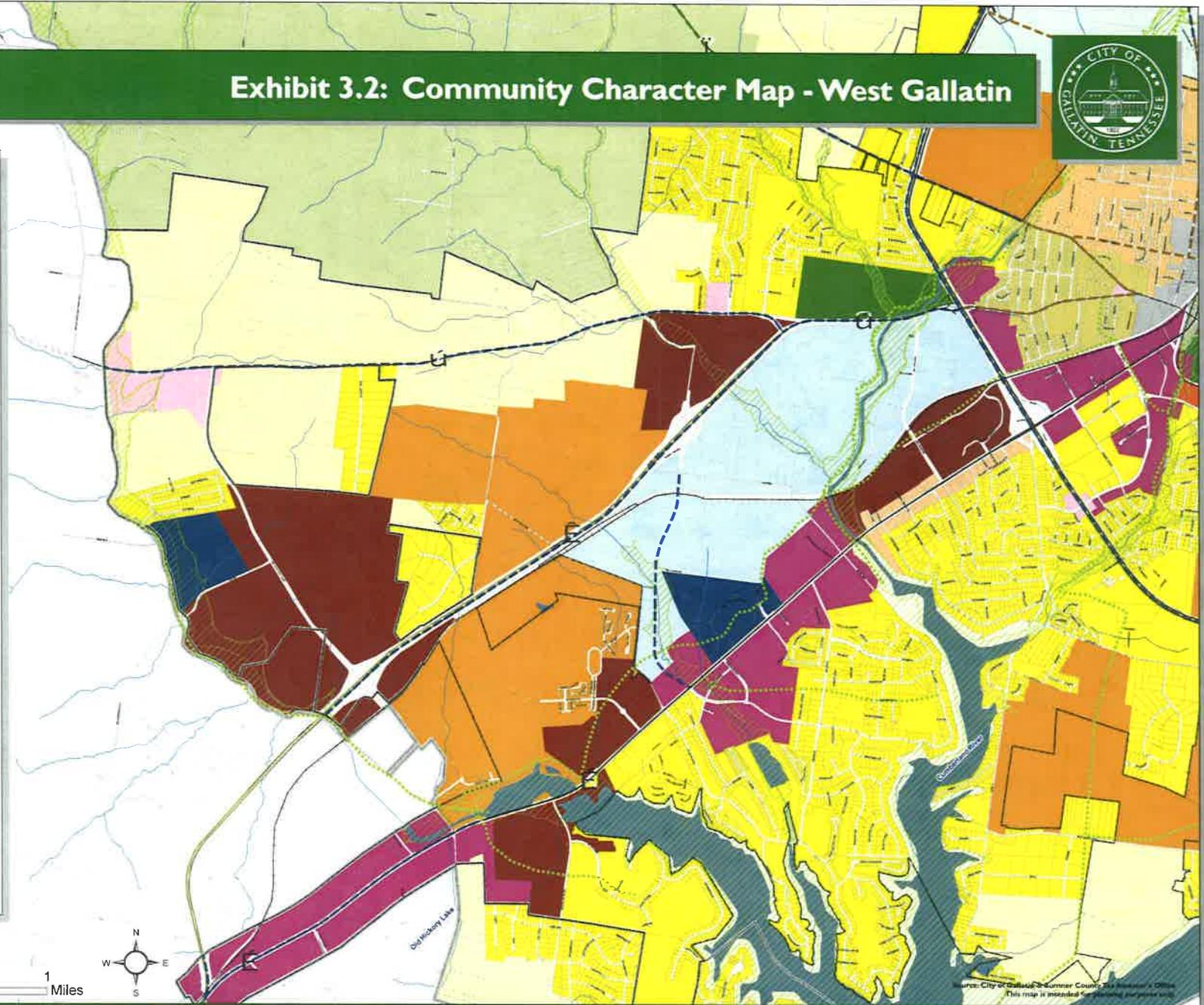
TAX MAP #147//010.03 & 010.07
ZONED MRO



Exhibit 3.2: Community Character Map - West Gallatin



- Legend**
- Rural Corridor
 - Gateway Corridor
 - Neighborhood Transition Corridor
 - Greenway
 - Parcel Selection
 - City Limits
 - Roadway
 - Urban Growth Boundary
 - Planning Region
 - Major Road
 - Stream
 - Pond
 - Lake
 - Severn
 - Community Character Area
 - Preserve
 - Roadway
 - Parks and Open Space
 - Corridor
 - Commercial Corridor
 - Commercial Corridor - Reutilization
 - East Main Street Corridor
 - Historic Post Office Corridor
 - Center
 - Brookside/Talbot Walkways
 - College
 - Downtown
 - Medical Center
 - Neighborhood Center
 - Regional Activity Center
 - Neighborhood
 - Suburban Neighborhood Emerging
 - Suburban Neighborhood Established
 - Suburban Neighborhood Reestablishment
 - Urban Neighborhood Reestablishment
 - Urban Neighborhood Stabilization
 - Urban Neighborhood Preservation
 - Emerging Walkable Community
 - Rural Community
 - Special District
 - Airport Road Industrial
 - Greenlee Business Center
 - North Gallatin Emerging Business Park
 - Steam Plant



0 0.5 1 Miles



Prepared by
MACTEC

Gallatin On The Move 2020
General Development & Transportation Plan

5-4

ATTACHMENT

Source: City of Gallatin & Summit County, and elsewhere. Other
This map is intended for planning purposes only.

NEIGHBORHOOD CHARACTER CATEGORY

Neighborhoods are the building blocks of all communities. Gallatin, like most cities its size, includes a diverse collection of neighborhoods ranging from in-town urban neighborhoods to large-lot suburban. Neighborhoods of the City are currently in a variety of conditions. The condition of each neighborhood impacts the needs defined for this plan.

Gallatin neighborhoods are categorized for Community Character Areas as follows:

- **Rural Community** – Sparsely developed areas surrounding the City where agricultural use and character is common and expansion of urban services is not anticipated
- **Town Neighborhood Established** – Stable neighborhoods developed with narrow, smaller lots generally prior to 1950
- **Town Neighborhood Preservation** – Stable neighborhoods developed with narrow, smaller lots generally prior to 1950 and protected by a historic zoning overlay
- **Town Neighborhood Revitalization** – Neighborhoods developed with narrow, smaller lots generally prior to 1950 with a need for new investment and revitalization
- **Suburban Neighborhood Established** – Stable, suburban neighborhoods developed with wide, larger lots generally after 1950 with a need for new investment and revitalization
- **Suburban Neighborhood Revitalization** – Suburban neighborhoods developed with wide, larger lots generally after 1950 with a need for new investment and revitalization
- **Suburban Neighborhood Emerging** – Developable areas where conventional suburban neighborhood development is appropriate
- **Emerging Walkable Community** – Developable areas where walkable neighborhoods, Traditional Neighborhood Development (TND), is appropriate and a variety of housing types



Woodvale subdivision in south central Gallatin



Fairvue development in West Gallatin



Rural Reserve character along Dobbins Pike

ATTACHMENT

5-5

SUBURBAN NEIGHBORHOOD ESTABLISHED

General Description of Existing Development Patterns

The Suburban Neighborhood character area describes areas where typical types of suburban residential subdivision development have occurred in the post World War II era. Neighborhoods are characterized by low pedestrian orientation, medium-to-larger lot sizes, high to moderate degree of building separation, and are predominantly residential with scattered civic buildings and varied street patterns (often curvilinear) that include cul-de-sacs. Neighborhoods included in this character area are generally stable. Improved pedestrian and bicycle networks, especially near school and other civic uses would provide safer routes and encourage walking and bicycling as a transportation option.

Location

Areas within this character area include the following:

- South Gallatin neighborhoods of Halewood and Woodvale
- West Gallatin neighborhoods in the Lock 4 Road/Peninsula Drive area
- Newly-developed portions of the West Gallatin neighborhoods in the Fairvue/Baypoint (Browns Lane) area
- Newly-developed and established portions of the Douglass Bend area
- East Gallatin neighborhoods in the Grandview subdivision and surrounding area

Intent

The development pattern should seek to:

- Maintain residential uses
- Preserve existing tree cover
- Provide safe facilities for pedestrians, school buses, and bicyclists using the road right-of-way
- Accommodate in-fill development that compliments the scale, setback and style of existing adjacent homes
- Accommodate senior housing opportunities, which can be integrated into neighborhoods that benefit from close proximity to goods and services
- Maintain predominant development pattern of detached one-family homes

SUBURBAN NEIGHBORHOOD ESTABLISHED

Anticipated level of change:

- Low

Transportation

- Low level of service
- Medium level of connectivity
- Properties accessed by public roads
- Regular-shaped, long blocks
- Older subdivision roads characterized by grassy swales and newer with curb, gutter and sidewalk
- Sidewalks and pedestrian infrastructure limited to newer subdivisions

Infrastructure

- Public water and sewer available
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood parks
- Community gardens

Primary Land Uses

- Single-family residential
- Small and large-scale apartments and townhomes

Appropriate Residential Net Density

- 2-5 units per acre

Applicable Zoning Districts

Existing Zoning Districts

- R-10, R-15, R-20, R-40, MRO

Proposed Zoning Districts

- No proposed new districts

ATTACHMENT

5-5

3-16

Development Strategies

- Focus on reinforcing stability of more mature Suburban Neighborhood Established areas by encouraging more home ownership and maintenance or upgrade of existing properties
- Locate schools, community centers, or well-designed small commercial activity centers at suitable locations within walking distance of residences
- Enhance the pedestrian-friendly environment by adding sidewalks and creating other pedestrian-friendly multi-use trail/bike routes linking neighboring communities and major destinations such as libraries, neighborhood centers, health facilities, commercial clusters, parks, schools, etc.
- Add traffic calming improvements, sidewalks and increased street interconnections to improve walkability within existing neighborhoods
- Limit driveway spacing along the highway frontage and align driveways where needed to improve traffic flow
- Protect older subdivisions that lack detailed design-related covenants and restrictions

Implementation Measures

- ☞ *Develop residential infill guidelines applicable in Suburban Neighborhood Established areas in order to ensure that the scale and character of new development on vacant lots is compatible with existing development*



Typical suburban street in Halewood subdivision



Typical suburban street in Woodvale subdivision

ATTACHMENT

5-5

GALLATIN
On the Move
2020

An Amended Preliminary & Revised Final Master Development Plan

for

Foxland

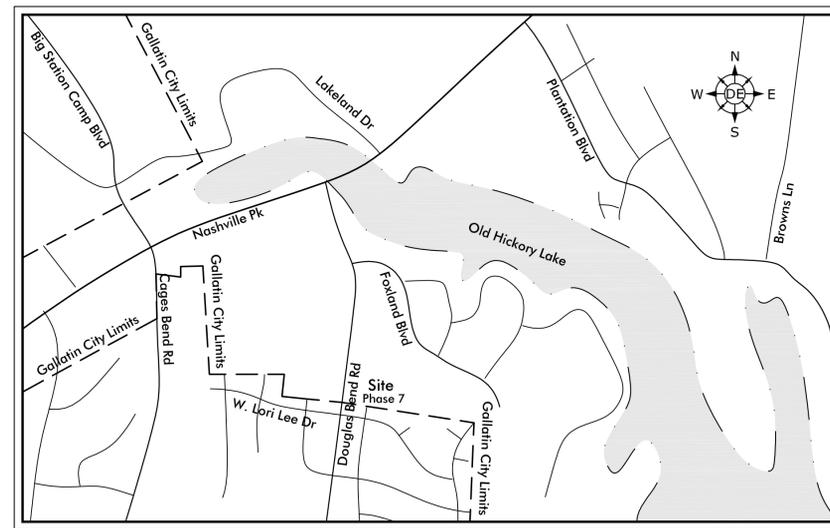
Phase 7, Sections 2-4

Being Parcel 10.07 and Portion of Parcel 10.03 on Tax Map 147
Gallatin, Sumner County, Tennessee
Vinings Boulevard

Revisions:
Drawing Notes:
Date: September 2014

Project Notes

- The purpose of this submittal is to amend the previously approved Preliminary Master Development Plan and revise the previously approved Final Master Development Plan for Phase 7, Sections 2-4 of this development, consisting of 60 single-family lots and open space. The revision includes increasing the lot width for lots 1269-1272 and 1488-1491 from approximately 62 feet to 84 feet or greater. The total number of lots in Phase 7 has been reduced to 60 lots from the previously approved 63 lots.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of the City of Gallatin.
- This Property is Not Located Within a Flood Hazard Area as Indicated by Zone "X" on FEMA Map Number 47165C0409G. Dated: April 17, 2012. Floodplain Development Permits and Elevation Certificates are Required if Property is Located within 100 Year Floodplain.
- All public streets, curbs, and sidewalks are to be constructed in conformance with the City of Gallatin design standards.
- Wheelchair accessible curbs ramps, complying with applicable City of Gallatin standards, shall be constructed at all street crossings.
- Individual water and/or sanitary sewer service lines are required for each lot.
- The final Construction Documents shall indicate the proposed method to deal with stormwater runoff for this project.
- Homeowners' Association shall be responsible for maintaining all landscaping located within open space as well as landscaping within medians near the intersection of Douglas Bend Rd.
- All areas designated as Open Space will be owned and maintained by the Homeowners' Association.
- All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02.
- The owner/developer of this property is responsible for all financial matters.



Vicinity Map
NTS

Project Summary

Site Data

Councilmatic District #4
Council Person Craig Hayes

Property Location/Address:
Located on the East Side of Foxland Blvd
Approx. 500 ft North of Lori Lee Dr
Address (GIS): 0 Douglas Bend Rd
Gallatin, TN 37066

Property Owner (Parcel 10.03):
Oakbrook Realty & Investments, LLC
and Royce Realty
Address: 1000 Royce Blvd
Oakbrook Terrace, IL 60181
Phone: (630) 268-4000

Property Owner (Parcel 10.07):
Green Trails, LLC
Contact: Rick Deckbar
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 397-4513

Engineer: Dewey-Estes Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956
Fax: (615) 401-9956
Email: mdewey@dewey-estes.com

Site Information

Tax Map 147, 10.07 and 10.03 (Portion of)

Zoning - MRO

Phase 7, Sections 1-4 Area - 18.05 Acres

Current Use: Vacant
Proposed Use: One-Family Detached Dwelling

Plan Preparation Date: August 27, 2014

Lot Breakdown:

Total Lots - 60
Phase 7, Section 1 - 21 Lots
Phase 7, Section 2 - 17 Lots
Phase 7, Section 3 - 17 Lots
Phase 7, Section 4 - 5 Lots

Open Space Area - 0.77 Acres
Open Space Area "A" - 0.20 Acres
Open Space Area "B" - 0.26 Acres
Open Space Area "C" - 0.10 Acres
Open Space Area "D" - 0.21 Acres
ROW Area - 2.95 Acres
Lot Area - 14.33 Acres

Minimum Front Yard: 20 Ft
Minimum Rear Yard: 15 Ft
Minimum Side Yard: 5 Ft

Maximum Height: 3 Stories (35 Feet Building Height)

Sheet Schedule

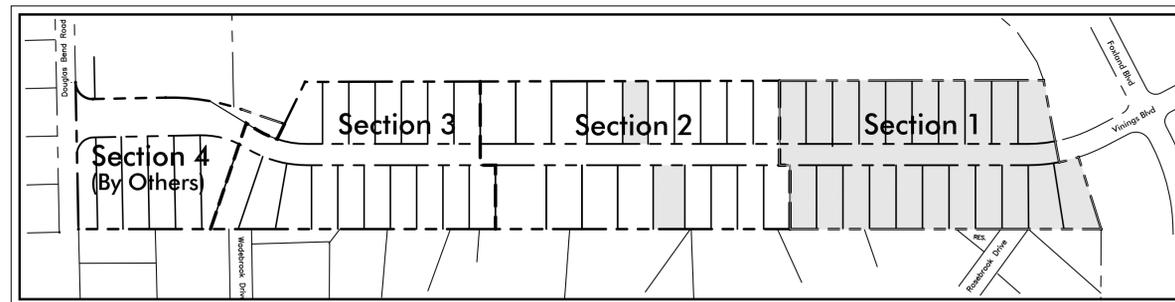
- C0.0** Cover Sheet
- C1.0** Overall Layout Plan
- C2.0** Overall Grading & Utilities Plan
- C3.0** Overall Landscape Plan

SITE BENCHMARK

Fire Hydrant Tag Bolt Located on the
Northerly Margin of Vinings Blvd Approx.
200 ft West of Foxland Blvd
NAVD 88 Elevation = 517.36

FLOOD NOTE

This Property is Not Located Within a
Flood Hazard Area as Indicated by Zone "X"
on FEMA Map Number 47165C0409G.
Dated: April 17, 2012.



Phase 7 Section Map
Scale: 1"=200'



Foxland
Phase 7, Sections 2-4
 Being Parcel 10.07 and Portion of Parcel 10.03 on Tax Map 147
 Gallatin, Sumner County, Tennessee

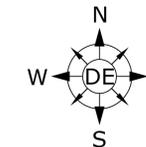
DE
 DEWEY/ESTES
 ENGINEERING

Cover Sheet

Job No. 12010

C0.0

1 of 4



Scale 1" = 100'

Phase 7 Area = 18.05 Acres

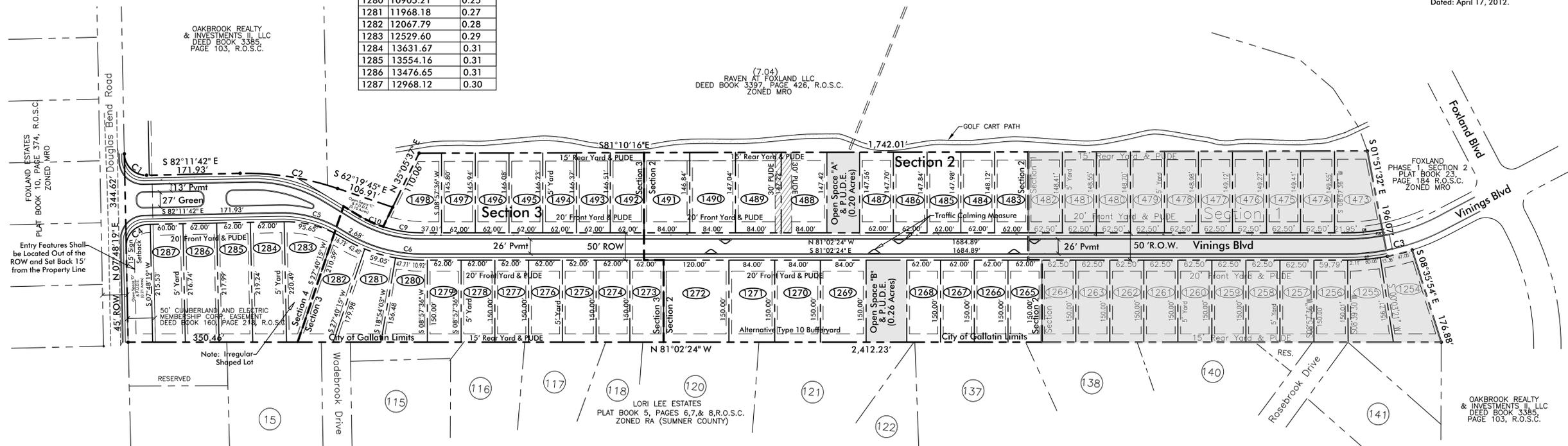
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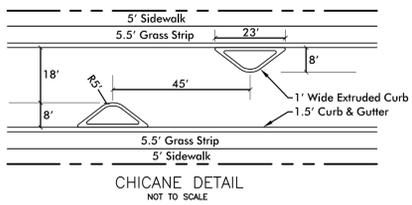
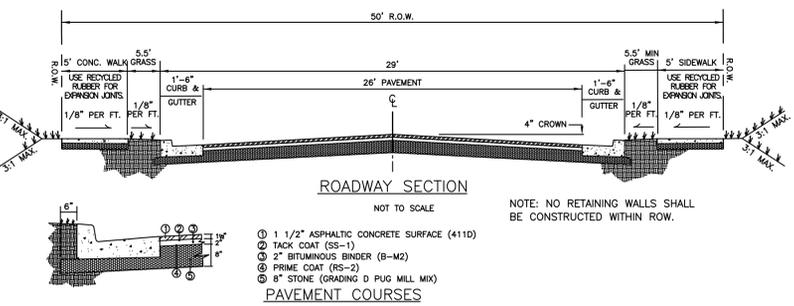
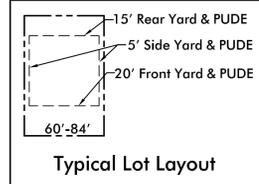
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 Dated: April 17, 2012.

LOT TABLE			LOT TABLE		
NAME	SQUARE FEET	ACRES	NAME	SQUARE FEET	ACRES
1254	12077.82	0.28	1473	11012.79	0.25
1255	10888.61	0.25	1474	9342.59	0.21
1256	9343.44	0.21	1475	9333.66	0.21
1257	9375.00	0.22	1476	9324.72	0.21
1258	9375.00	0.22	1477	9315.79	0.21
1259	9375.00	0.22	1478	9306.86	0.21
1260	9375.00	0.22	1479	9297.92	0.21
1261	9375.00	0.22	1480	9288.99	0.21
1262	9375.00	0.22	1481	9280.06	0.21
1263	9375.00	0.22	1482	9271.12	0.21
1264	9375.00	0.22	1483	9188.13	0.21
1265	9300.00	0.21	1484	9179.34	0.21
1266	9300.00	0.21	1485	9170.55	0.21
1267	9300.00	0.21	1486	9161.76	0.21
1268	9300.00	0.21	1487	9152.96	0.21
1269	12600.00	0.29	1488	12375.21	0.28
1270	12600.00	0.29	1489	12359.10	0.28
1271	12600.00	0.29	1490	12342.97	0.28
1272	17992.00	0.41	1491	12326.83	0.28
1273	9300.00	0.21	1492	9088.02	0.21
1274	9300.00	0.21	1493	9079.23	0.21
1275	9300.00	0.21	1494	9070.44	0.21
1276	9300.00	0.21	1495	9061.65	0.21
1277	9300.00	0.21	1496	9052.86	0.21
1278	9300.00	0.21	1497	9044.07	0.21
1279	9300.00	0.21	1498	10933.27	0.25
1280	10905.21	0.25			
1281	11968.18	0.27			
1282	12067.79	0.28			
1283	12529.60	0.29			
1284	13631.67	0.31			
1285	13554.16	0.31			
1286	13476.65	0.31			
1287	12968.12	0.30			



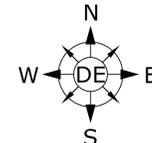
NUMBER	DELTA	RADIUS	TANGENT	ARC	CHORD BEARING	CHORD LENGTH
C1	90°00'00"	40.00	40.00	62.83	N 37°11'41" W	56.57
C2	19°51'55"	525.00	91.94	182.03	S 72°15'43" E	181.12
C3	06°44'22"	400.00	23.55	47.05	S 84°46'17" W	47.02
C4	89°59'58"	40.00	40.00	62.83	S 52°48'19" W	56.57
C5	19°51'55"	200.00	76.18	103.93	S 67°25'29" E	103.88
C6	18°42'38"	275.00	61.78	150.17	N 65°23'46" W	148.31
C7	10°49'06"	400.00	37.88	75.53	N 86°26'57" W	75.41
C8	10°49'06"	350.00	33.14	66.08	N 86°26'57" W	65.99
C9	15°07'32"	225.00	43.15	71.43	S 71°56'43" E	71.13
C10	03°35'06"	225.00	10.17	51.44	S 56°18'04" E	51.32



Project Schedule

- 1) Phase 7, Section 1 (21 Lots) July 2012-June 2013
- 2) Phase 7, Section 2 (17 Lots) Sept 2014-June 2015
- 3) Phase 7, Section 3 (17 Lots) July 2015-June 2016
- 4) Phase 7, Section 4 (5 Lots) TBD (By Others)





Scale 1" = 100'

Phase 7 Area = 18.05 Acres

ENGINEER Dewey-Estes Engineering Contact: Michael Dewey, PE 2925 Berry Hill Drive Nashville, TN 37204 Ph: (615) 401-9956 Fax: (615) 401-9956 Email: mdewey@dewey-estes.com	DEVELOPER Green Trails, LLC Contact: Rick Deckbar 2925 Berry Hill Drive Nashville, TN 37204 Ph: (615) 397-4513
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NAVD 88 Elevation = 517.36

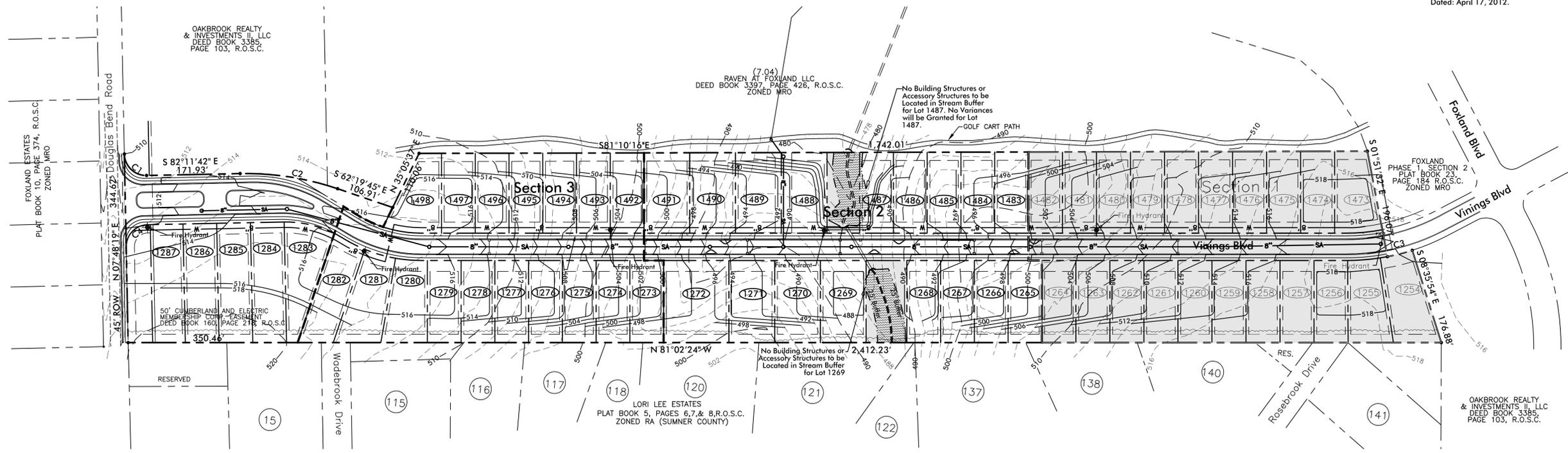
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Revisions:

Drawing Notes:

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Foxland
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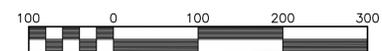
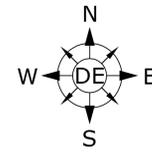
Overall Grading & Utilities Plan

Job No. 12010

C2.0

3 of 4





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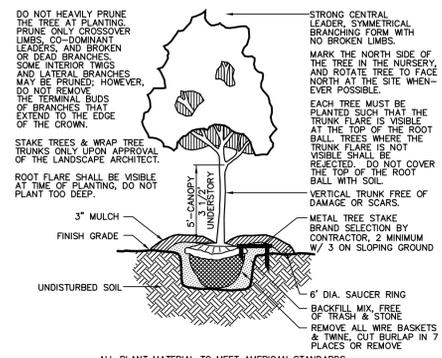
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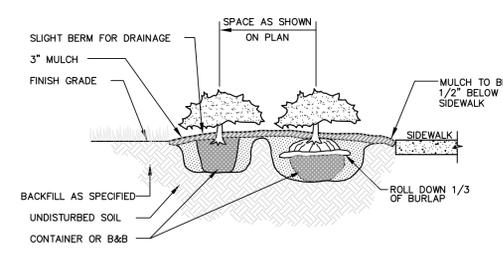
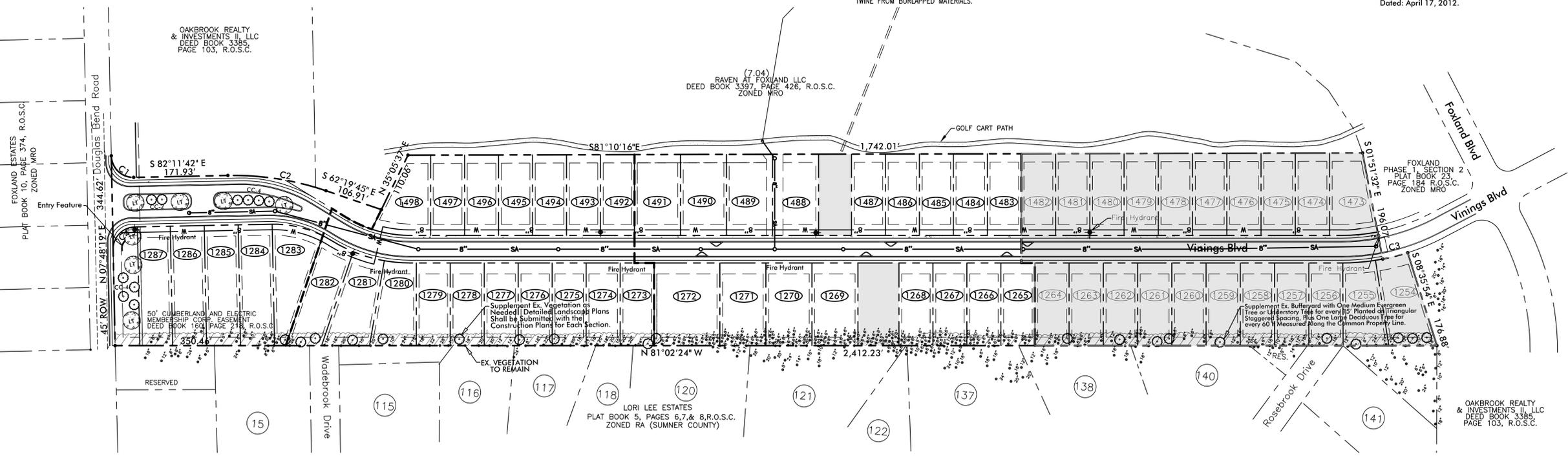
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LANDSCAPE NOTES

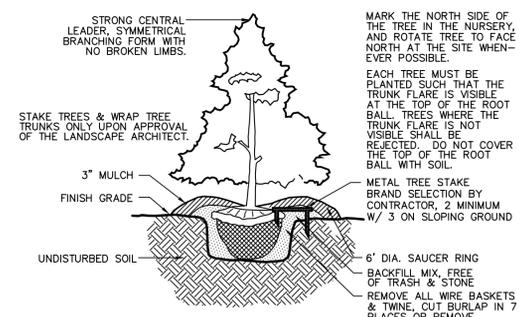
1. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
2. ALL PLANTING AND MULCH BEDS SHALL BE HAND WEEDED OR SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
3. PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
5. ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12#/1000 S.F. OF 10-10-10 FERTILIZER.
6. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
7. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
8. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
9. ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
10. ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4' MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
11. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.
12. NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY THE DESIGN PROFESSIONAL. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
13. ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF. BURLAP SHOULD BE REMOVED OR PUNCTURED IN AT LEAST 5 PLACES. REMOVE ALL TWINE FROM BURLAPPED MATERIALS.



DECIDUOUS TREE PLANTING DETAIL



SHRUB / GROUND COVER PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL

MATERIALS SCHEDULE

KEY	QTY	SCIENTIFIC NAME/ COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
TREES						
CC	13	Cercis canadensis 'Forest Pansy' / Forest Pansy Redbud	8'-10'	4'-5'	2"	4' Clear Trunk
LT	5	Liriodendron tulipifera / Tulip Poplar	12'-14'	6'-7'	2-1/2"	5' Clear Trunk
ZS	3	Acer rubrum 'Bowhall' / Bowhall Red Maple	12'-14'	3'-4'	2"	3' Clear Trunk
SHRUBS						
RR	12	Rosa x 'Radtko' / Red Knockout Rose	18"-24"	18"-24"	F.T.B.	Matched
TURF						
SEED		Turf Mixture				REMARKS 80% Rebel Supreme, 20% Merion Bluegrass. Seed all disturbed areas @ 5#/1,000 sf.
MISCELLANEOUS						
MULCH		Shredded Hardwood Bark Mulch				Minimum 3" depth throughout. Min. 4" deep on slopes greater than 3:1.
NOTES						
F.T.B. = Full To Bottom Site Surety Required for Required Landscaping.						

NOTE: HOSE BIBBS SHALL BE PROVIDED TO WITHIN 100 FT OF ALL PLANTED MATERIAL OR INSTALL IRRIGATION SYSTEM TO ALL PLANTED MATERIAL. IRRIGATION SYSTEM TO BE DESIGNED BY QUALIFIED INSTALLER (DESIGN/BUILD), AND BE INSTALLED AND OPERATIONAL BEFORE COMPLIANCE INSPECTION.
 PLANT MATERIAL SHALL NOT BE SUBSTITUTED WITHOUT COORDINATION WITH THE DESIGN PROFESSIONAL. MATERIAL AND QUANTITIES SHOWN ARE REQUIRED BY THE CODES DEPARTMENT.
 IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO IDENTIFY ALL UTILITIES AND EASEMENTS & TO NOTIFY DESIGN PROFESSIONAL OF DISCREPANCIES AND CONFLICTS.
 ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARDS FOR NURSERY STOCK MINIMUM PLANT MATERIAL REQUIREMENTS. MATERIALS NOT MEETING THESE STANDARDS WILL BE REJECTED.



ITEM 6

GMRPC Resolution No. 2014-79

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A PRELIMINARY PLAT FOR FOXLAND, PHASE 7, SECTION 2, A MAJOR SUBDIVISION, TO CREATE 17 LOTS AND 2 OPEN SPACE TRACTS ON 5.59 (+/-) ACRES, LOCATED ON VININGS BOULEVARD. – (PC0337-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Preliminary Plat submitted by the applicant, Dewey-Estes Engineering, at its regular meeting on September 22, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-403(b) and §13-4-303(b):

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the General Development and Transportation Plan for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The proposed Preliminary Plat is consistent with the purpose and intent of the Multiple, Residential and Office (MRO) Zoning District and the PMDP and FMDP for Foxland, Ph. 2, Sec. 2-4.
3. The proposed preliminary plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.
4. The proposed Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City as described in Chapter 1, Section 1-104, items 1-11.
5. The preliminary plat complies with the requirements of the subdivision regulations as described in Section 2-103, Gallatin Subdivision Regulations.
6. It has been determined that the legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. It has been determined that the subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. It has been determined that no one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Preliminary Plat per Section 1-110 and Section 2-103.5 with the following conditions of approval:

1. Preliminary Plat is subject to approval of the minor amendment to Foxland PMDP/FMDP, Ph. 7, Sec. 2-4
2. Correct tax map and parcel numbers for adjoining property owners in Lori Lee Estates by adding the “group” letter.
3. Correct spelling of adjoining property owner(s) names on lots 117 and 118 of Lori Lee Estates.
4. Correct tax map and parcel number of Foxland, Ph. 7, Sec. 3 by removing the “J” from the tax map number.
5. Revise setback note in Project Summary to state, Foxland, Ph. 7, Sec. 2-4.
6. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit copy of utility surety to the Planning Department, if required by White House Utility District, prior to the issuance of any building permits for Phase 7, Section 2.
7. The applicant shall provide fire separation/protection design for buildings which meet the adopted building code to the Gallatin Building Dept.
8. The Foxland, Phase 7, Section 2 Final Plat shall be recorded prior to the issuance of any building permits in Section 2.
9. Submit three (3) corrected and folded copies of the Preliminary Plat to the Planning Department for review and approval.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 09/22/2014

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-McAULEY
CITY ATTORNEY



ITEM - 6

PLANNING DEPARTMENT STAFF REPORT

Preliminary Plat for Foxland, Phase 7, Section 2
(PC0337-14)

Located on Vinings Blvd.

Date: September 8, 2014

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR FOXLAND, PHASE 7, SECTION 2, A MAJOR SUBDIVISION, TO CREATE 17 ONE-FAMILY DETACHED DWELLING LOTS, AND 2 OPEN SPACE TRACTS ON 5.59 (+/-) ACRES, LOCATED ON VININGS BLVD.

OWNER: GREEN TRAILS, LLC

APPLICANT: DEWEY-ESTES ENGINEERING

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS

STAFF CONTACT: DENISE BROWN

PLANNING COMMISSION DATE: SEPTEMBER 22, 2014

PROPERTY OVERVIEW: The owner and applicant is requesting approval of a Preliminary Plat for Foxland, Phase 7, Section 2, a major subdivision, to create 17 One-Family Detached Dwelling lots and 2 open space tracts on 5.59 (+/-) acres, located on Vinings Boulevard. The property is currently zoned Multiple, Residential and Office (MRO). One-Family Detached Dwellings are a permitted use in the MRO zoning district. (Attachment 6-1)

CASE BACKGROUND:

Previous Approvals

On November 28, 2005, the Planning Commission recommended approval of a Preliminary Master Development Plan to rezone 416.87 (+/-) acres, known as the Foxland property, from Residential-15 Planned Unit Development (R15 PUD) and Multiple Residential and Office Planned Unit Development (MRO PUD) to Mixed Use (MU) and Multiple Residential and Office (MRO) (PC File #3-16-05). The Preliminary Master Development Plan and rezoning request passed Second Reading at the February 7, 2006 City Council meeting.

On May 23, 2011, the Planning Commission recommended approval of a major amendment to the Foxland, Phase 3, Section 1, Phase 7, and Phase 9 Preliminary Master Development Plan. The amended Preliminary Master Development Plan for Foxland, Phase 3, Section 1, Phase 7, and Phase 9 was approved by City Council at the August 16, 2011 meeting. (PC9814-11)

On February 27, 2012, the Planning Commission approved a minor amendment to the Preliminary Master Development Plan for Foxland, Phase 3, Section 1, Phase 7 and Phase 9 and a Final Master Development Plan for Foxland, Phase 9, Sections 2-5 (PC9933-11)

On March 26, 2012, the Planning Commission approved a minor amendment to the Preliminary Master Development Plan and a Final Master Development Plan for Foxland, Phase 7, Sections 1-4 (PC9959-12)

An amended Preliminary Master Development Plan and Final Master Development Plan for Foxland, Phase 7, Sections 2-4 is being considered as Item 5 on this agenda, September 22, 2014. (PC0336-14)

DISCUSSION:

Proposed Development

The Amended Preliminary Master Development Plan and Final Master Development Plan for Foxland, Phase 7, Sections 2-4 proposes 60 lots for single family detached dwelling units. The applicant is proposing 17 lots for the Preliminary Plat for Phase 7, Section 2 on 5.59 (+/-) acres. (PC0337-14)

Natural Features

The natural topography for the site, slopes from the highest point of elevation at the east and west side of the plat towards the open space tracts. The open space tracts contain a swale which drains to the north through a 42" stormwater drainage pipe on the adjacent golf course. The most drastic area of slope is located on lot 1487. The slope extends the entire depth of the lot in the center of the building envelope which could present difficulties when constructing a house on the lot. No portion of Foxland, Phase 7, Section 2 is located within a flood hazard area.

Adjacent or Area Uses

Foxland golf course is located on the north of the proposed plat. Additional sections of Foxland, Phase 7, consisting of single-family dwellings, are located to the east and additional lots are proposed for the west. The city limit line is located on the south side of lots 1265 through 1272. Lori Lee Estates is located to the south.

Lot Layout

The (MRO) zoning requires a minimum lot size of 6,000 square feet. The lots meet or exceed the required minimum lot size, with the smallest lot #1487 being 9,152.96 square feet. Lot 1487 could present challenges when building a home since the lot slopes from the east to the west and a portion of the lot is encumbered by a stream buffer. The preliminary plat is consistent with lot sizes and layouts in the amended Preliminary Master Development Plan and Final Master Development Plan for Foxland, Phase 7, Sections 2-4 (PC0336-14).

The lots and open space tracts are designed to accommodate and align with the natural topography of the land to reduce impact of stormwater runoff to each adjoining lots within this phase and lots adjacent to this phase. There is a drainage structure in the rear of lots 1269 through 1272 with a 20' public utility and drainage easement (PUDE) in the rear of lots 1265 through 1272.

Rights-of-Way/Streets/Roads

There will be approximately 705 linear feet of 50 feet wide public right-of-way for the extension of Vinings Blvd. Five (5) foot wide sidewalks will be constructed on both sides of the public streets.

The pavement width is 26 feet wide with three (3) areas of traffic calming measures on both sides of the road. Public Works has requested a temporary cul-de-sac with at least a 40' radius turnaround for refuse trucks. A 90' diameter temporary turnaround will be provided on the adjacent parcel at the end of the Vinings Blvd. extension.

Easements (P.U.D.E's)

All lots include 20 foot wide P.U.D.E's along the front property lines and 5 foot wide P.U.D.E.'s along the side property lines with the exception of lots 1488 and 1489. These lots have a 30 foot wide existing sewer easement along the common lot lines. All lots have 15 foot wide P.U.D.E's along the rear property lines. There is a drainage structure located in the rear of lots 1269 through 1272 and lots 1265 through 1272 have an additional existing 20 foot wide drainage easement.

A 25' stream buffer encompasses most of the open space tracts. The stream buffer includes a portion of lot 1487 and reduces the building envelope width. Due to the encroachment of the stream buffer and slope of the lot, staff suggested eliminating it and combining the lot as part of open space tract A and lot 1486. Building the lot as shown is considered a self-created hardship and a variance would not be granted.

The proposed P.U.D.E widths require a variance from the Subdivision Regulations, but they are consistent with the Foxland, Phase 7, Sections 2-4 preliminary master development plan (PC0336-14) and coincide with the setbacks approved as part of that plan.

Open Space and Bufferyard

The Preliminary Plat shows two (2) open space tracts. The two (2) open space tracts total 0.46 (+/-) acres. Open Space A contains 0.20 (±) acres and Open Space B contains 0.26 (±) acres. There is a 25' stream buffer that encompasses most of the open space tracts.

A Type 10 bufferyard is required along the adjoining residential property line to the south. At the March 26, 2012 meeting, Planning Commission approved an alternative Type 10 bufferyard in this location to match the landscaping of the original Preliminary Master Development Plan. Existing trees in this location will be counted toward the bufferyard requirement and additional trees will be added to supplement the existing screening. The applicant submitted a detailed tree survey as required by the Gallatin Zoning Ordinance at the time of the FMDP approval.

Stormwater

Stormwater is conveyed into a blue line stream which runs through the middle of Foxland, Ph. 7, Sec. 2. The blue line stream then runs through the Foxland development in a storm drainage pipe, and enters into Old Hickory Lake.

White House Public Utilities District Comments

The White House Public Utilities reviewed and commented on the preliminary plat. The applicant satisfactorily addressed the WHPUD comments; however, the applicant shall provide plans and specifications for water and sanitary sewer installations approval.

Public Works Comments

The Gallatin Public Works reviewed and commented on the preliminary plat. The applicant satisfactorily addressed the Public Works comments:

Public Works indicated that all dead ends, alleys or cul-de-sacs must have at least a 40' radius turnaround for refuse trucks. A 90° diameter temporary turnaround will be provided on the adjacent parcel at the end of the Vinings Blvd. extension.

Building Codes Comments

The Gallatin Building Codes reviewed and commented on the preliminary plat. The applicant satisfactorily addressed the Building Codes comments; however, the applicant shall provide fire separation/protection design for buildings which meet the adopted building code.

Engineering Division Comments

The Engineering Division reviewed and commented on the preliminary plat. The applicant has satisfactorily addressed the Engineering comments.

Planning Department Comments

The Planning Department reviewed and commented on the preliminary plat. The applicant satisfactorily addressed the Planning Department comments; however the applicant shall be aware of the comments indicated below:

1. Preliminary Plat is subject to approval of the minor amendment to Foxland PMDP/FMDP, Ph. 7, Sec. 2-4
2. Correct tax map and parcel numbers for adjoining property owners in Lori Lee Estates by adding the "group" letter.
3. Correct spelling of adjoining property owner(s) names on lots 117 and 118 of Lori Lee Estates.
4. Correct tax map and parcel number of Foxland, Ph. 7, Sec. 3 by removing the "J" from the tax map number.
5. Revise setback note in Project Summary to state, Foxland, Ph. 7, Sec. 2-4.
6. The Foxland, Phase 7, Section 2 Final Plat shall be recorded prior to the issuance of any building permits in Section 2.
7. Submit three (3) corrected and folded copies of the Preliminary Plat to the Planning Department for review and approval.

Other Departmental Comments

Other City Departments reviewed and had no additional comments.

Findings

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the General Development and Transportation Plan for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The proposed Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City as described in Chapter 1, Section 1-104, items 1-11 and Sec. 2-103, Gallatin Subdivision Regulations.
3. The proposed Preliminary Plat is consistent with the purpose and intent of the Multiple, Residential and Office (MRO) Zoning District(s) and the Final Master Development Plan for Foxland, Ph. 7, Sec. 2-4.
4. The proposed preliminary plat is consistent with T.C.A. Section 13-3-402 and Section 13-4-302.
5. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
6. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-79, Preliminary Plat for Foxland, Ph. 7, Sec. 2, consisting of a 2 sheet plat, prepared by Dewey-Estes of Nashville, Tennessee, with job No. 12010, dated September 2014, with the following conditions:

1. Preliminary Plat is subject to approval of the minor amendment to Foxland PMDP/FMDP, Ph. 7, Sec. 2-4
2. Correct tax map and parcel numbers for adjoining property owners in Lori Lee Estates by adding the "group" letter.
3. Correct spelling of adjoining property owner(s) names on lots 117 and 118 of Lori Lee Estates.
4. Correct tax map and parcel number of Foxland, Ph. 7, Sec. 3 by removing the "J" from the tax map number.
5. Revise setback note in Project Summary to state, Foxland, Ph. 7, Sec. 2-4.
6. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit copy of utility surety to the Planning Department, if required by White House Utility District, prior to the issuance of any building permits for Phase 7, Section 2.
7. The applicant shall provide fire separation/protection design for buildings which meet the adopted building code to the Gallatin Building Dept.
8. The Foxland, Phase 7, Section 2 Final Plat shall be recorded prior to the issuance of any building permits in Section 2.
9. Submit three (3) corrected and folded copies of the Preliminary Plat to the Planning Department for review and approval.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

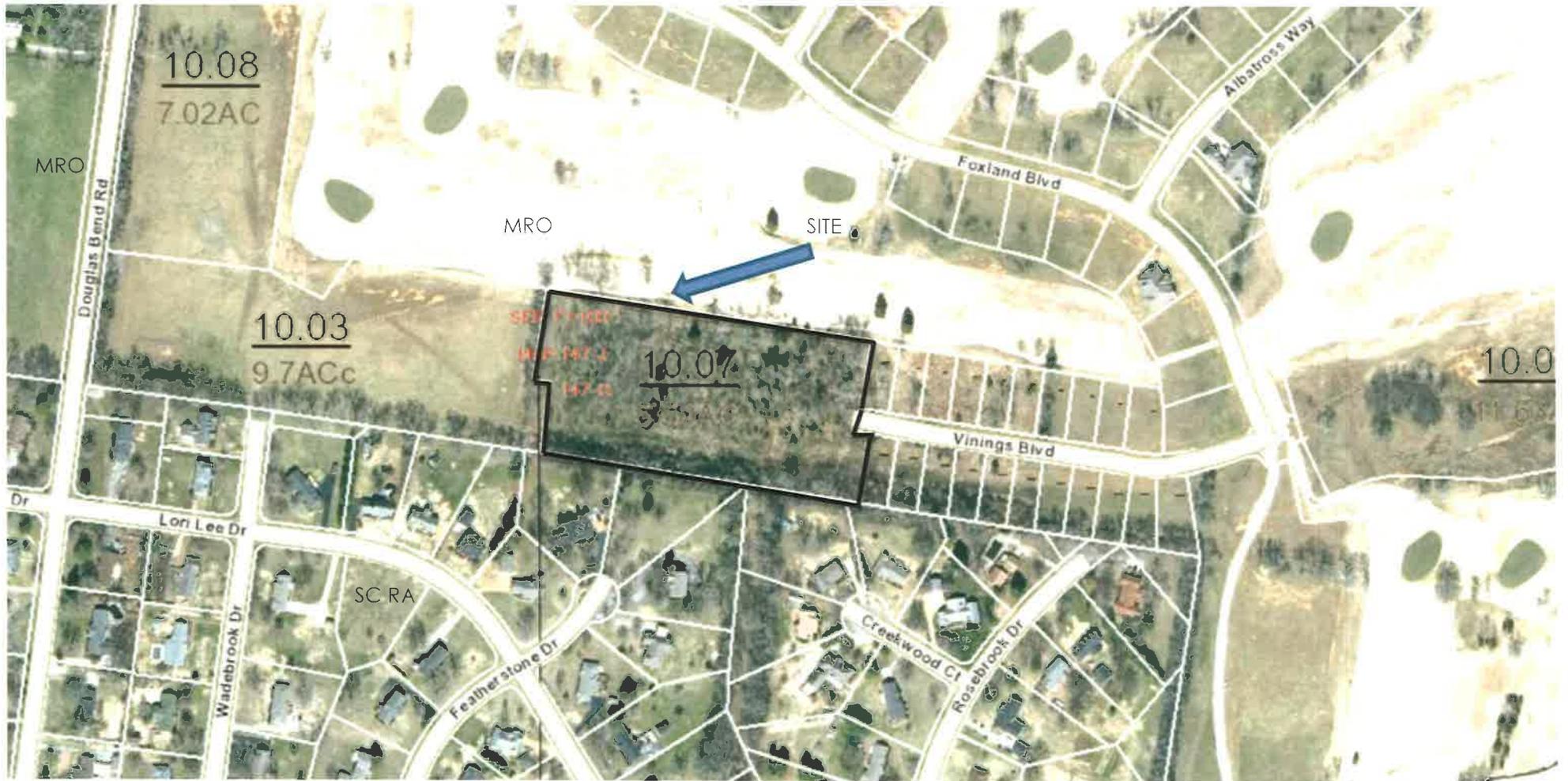
Attachment 6-1 Location Map

Attachment 6-2 Preliminary Plat, Foxland, Ph. 7, Sec. 2

I:\Subdivisions\Major Subdivisions\Foxland, Ph. 7, Sec. 2 (PC0337-14)

FOXLAND, PHASE 7, SECTION 2; PC0337-14
PRELIMINARY PLAT
LOCATION MAP

ATTACHMENT 6-1



TAX MAP #147//010.07

ZONED MRO



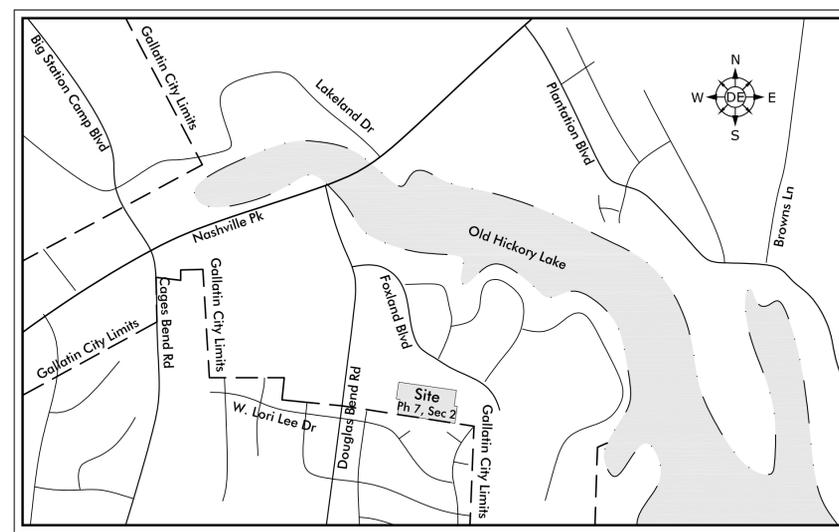
PC0337-14

A Preliminary Plat for Foxland Phase 7, Section 2

Being Portion of Parcel 10.07 on Tax Map 147
Gallatin, Sumner County, Tennessee
Vinings Boulevard

Revisions:
Drawing Notes:
Date: September 2014

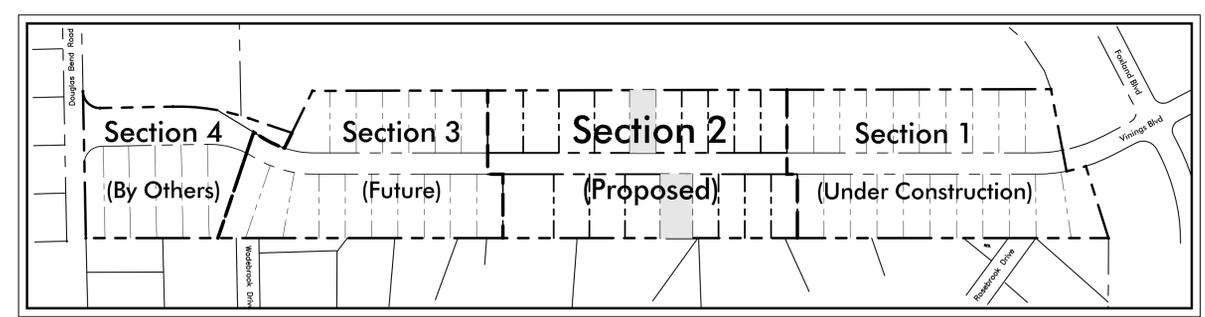
- ### Project Notes
- The purpose of this submittal is to obtain approval of a Preliminary Plat for Phase 7, Section 2 of this development, consisting of 17 single-family lots.
 - Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of the City of Gallatin.
 - This Property is Not Located Within a Flood Hazard Area as Indicated by Zone 'X' on FEMA Map Number 47165C0409G. Dated: April 17, 2012. Floodplain Development Permits and Elevation Certificates are Required if Property is Located within 100 Year Floodplain.
 - All public streets, curbs, and sidewalks are to be constructed in conformance with the City of Gallatin design standards.
 - Wheelchair accessible curbs ramps, complying with applicable City of Gallatin standards, shall be constructed at all street crossings.
 - Individual water and/or sanitary sewer service lines are required for each lot.
 - The final Construction Documents shall indicate the proposed method to deal with stormwater runoff for this project.
 - All areas designated as Open Space will be owned and maintained by the Homeowners' Association.
 - All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02.
 - The owner/developer of this property is responsible for all financial matters.



Vicinity Map
NTS

Project Summary

Site Data	Site Information
Councilmatic District #4 Council Person Craig Hayes	Tax Map 147, Portion of Parcel 10.07
Property Location/Address: Located on the East Side of Foxland Blvd Approx: 500 ft North of Lori Lee Dr Address (GIS): 0 Douglas Bend Rd Gallatin, TN 37066	Zoning - MRO Foxland Phase 7, Section 2 Area - 5.59 Acres
Property Owner: Green Trails, LLC Contact: Rick Deckbar Address: 2925 Berry Hill Drive Nashville, TN 37204 Phone: (615) 397-4513	Current Use: Vacant Proposed Use: One-Family Detached Dwelling
Developer: Green Trails, LLC Contact: Rick Deckbar Address: 2925 Berry Hill Drive Nashville, TN 37204 Phone: (615) 397-4513	Plan Preparation Date: August 27, 2014 Total Lots - 17
Engineer: Dewey-Estes Engineering Contact: Michael Dewey, PE Address: 2925 Berry Hill Drive Nashville, TN 37204 Phone: (615) 401-9956 Fax: (615) 401-9956 Email: mdewey@dewey-estes.com	Total Open Space Area - 0.46 Acres Open Space "A" - 0.20 Acres Open Space "B" - 0.26 Acres ROW Area - 0.81 Acres Lot Area - 4.32 Acres
	Setbacks Shall Comply with the Foxland Phase 7, Sec. 1-4 Master Plan, PC0336-14
	Maximum Height: 3 Stories (35 Feet Building Height)



Phase 7 Section Map
Scale: 1"=200'

Sheet Schedule

C0.0	Cover Sheet
C1.0	Overall Layout & Utilities Plan

SITE BENCHMARK
Fire Hydrant Tag Bolt Located on the Northerly Margin of Vinings Blvd Approx. 200 ft West of Foxland Blvd
NAVD 88 Elevation = 517.36

FLOOD NOTE
This Property is Not Located Within a Flood Hazard Area as Indicated by Zone 'X' on FEMA Map Number 47165C0409G.
Dated: April 17, 2012.



Foxland
Phase 7, Section 2
Being Portion of Parcel 10.07 on Tax Map 147
Gallatin, Sumner County, Tennessee

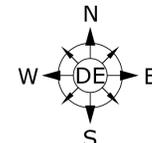
DE
DEWEY/ESTES
ENGINEERING

Cover Sheet

Job No. 12010

C0.0

1 of 2



Scale 1" = 50'

Phase 7, Section 2 = 5.59 ac

ENGINEER
Dewey-Estes Engineering
Contact: Michael Dewey, PE
2925 Berry Hill Drive
Nashville, TN 37204
Ph: (615) 401-9956
Fax: (615) 401-9956
Email: mdewey@dewey-estes.com

DEVELOPER
Green Trails, LLC
Contact: Rick Deckbar
2925 Berry Hill Drive
Nashville, TN 37204
Ph: (615) 397-4513

SITE BENCHMARK
Fire Hydrant Tag Bolt Located on the Northernly Margin of Vinings Blvd Approx. 200' W of West of Foxland Blvd
NAVD 88 Elevation = 517.36

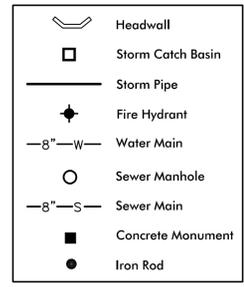
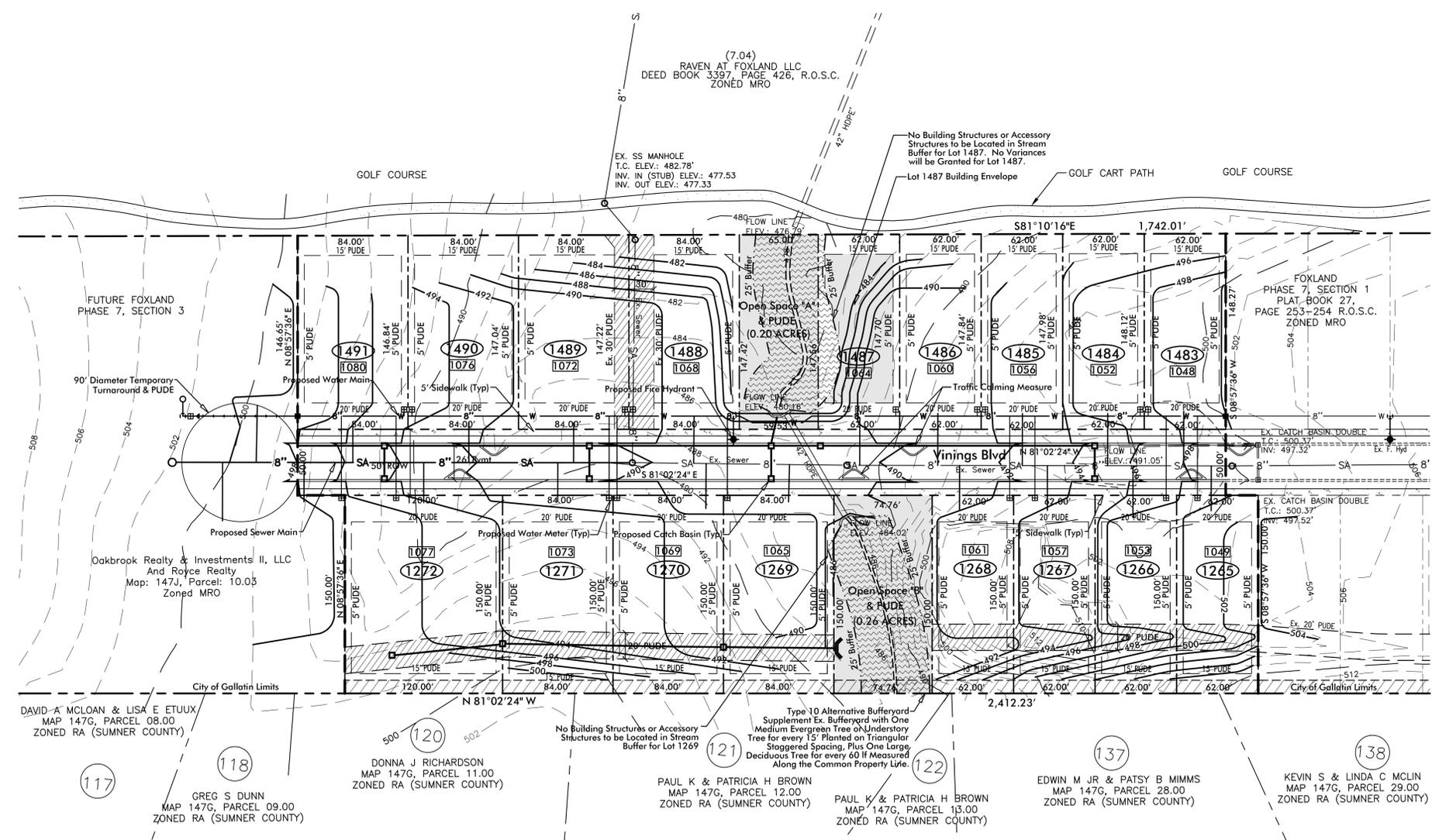
FLOOD NOTE
This Property is Not Located Within a Flood Hazard Area as Indicated by Zone 'X' on FEMA Map Number 47165C0409G.
Dated: April 17, 2012.

Revisions:

Drawing Notes:

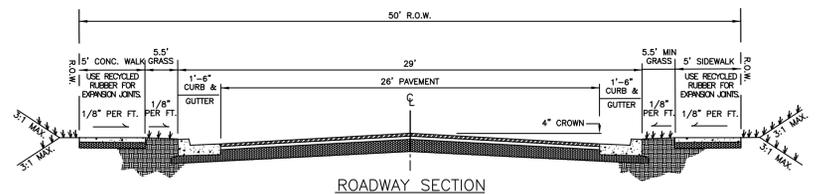
Date: September 2014

Foxland Phase 7, Section 2
Being Portion of Parcel 10.07 on Tax Map 147
Gallatin, Sumner County, Tennessee



LOT TABLE

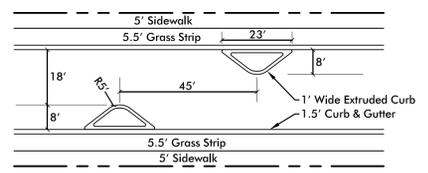
LOT	SQUARE FEET	ACRES
1265	9300.00	0.21
1266	9300.00	0.21
1267	9300.00	0.21
1268	9300.00	0.21
1269	12600.00	0.29
1270	12600.00	0.29
1271	12600.00	0.29
1272	17992.00	0.41
1483	9188.13	0.21
1484	9179.34	0.21
1485	9170.55	0.21
1486	9161.76	0.21
1487	9152.96	0.21
1488	12375.21	0.28
1489	12359.10	0.28
1490	12342.97	0.28
1491	12342.97	0.28



NOTE: NO RETAINING WALLS SHALL BE CONSTRUCTED WITHIN ROW.

PAVEMENT COURSES

- 1 1/2" ASPHALTIC CONCRETE SURFACE (4110)
- 1 TACK COAT (SS-1)
- 2" BITUMINOUS BINDER (B-M2)
- PRIME COAT (RS-2)
- 8" STONE (GRADING D PLUS MILL MIX)



CHICANE DETAIL
NOT TO SCALE

Certificate of Planning Commission Preliminary Approval Note:
After the Planning Commission has reviewed the Preliminary Plat, exhibits, and the results of administrative reviews, the City Planner shall provide the applicant with an Action Form stating any required changes or additions. The Planning Commission shall approve, conditionally approve, or disapprove the Preliminary Plat within thirty (30) days after the date of the regular meeting of the Planning Commission at which the hearing on preliminary approval, including adjourned date thereof, is closed. The failure of the Planning Commission to act upon a Preliminary Plat within the prescribed time shall be deemed preliminary approval of the plat and, in such event, a Certificate of Preliminary Approval shall be issued by the Chairman and Secretary of the Planning Commission upon demand, and the applicant may proceed to apply for Final Plat approval in the manner prescribed by Section 2-105 of these Regulations.

Project Schedule

1. Phase 7, Section 1 (21 Lots)	Under Construction
2. Phase 7, Section 2 (17 Lots)	Sept 2014-June 2015
3. Phase 7, Section 3 (17 Lots)	July 2015-June 2015



Overall Layout & Utilities Plan

Job No. 12010

C1.0

ITEM 7

GMRPC Resolution No. 2014-84

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A PRELIMINARY PLAT FOR THE RETREAT AT FAIRVUE PHASE 1, SECTION 2, CONTAINING 16 MULTI-FAMILY LOTS, AND EXTENDING THREE (3) PUBLIC RIGHTS-OF-WAY ON 3.80 (+/-) ACRES, LOCATED ON CHLOE DRIVE EAST OF CARNABY DRIVE AND CHESHAM DRIVE – (PC0338-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Preliminary Plat submitted by Dewey Estes Engineering at its regular meeting on September 22, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, and the Preliminary Plat, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-403 and §13-4-303 and Gallatin Subdivision Regulations, Chapter 1, Section 1-104, items 1-11 and Chapter 2, Section 2-103:

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Commercial Corridor Community Character Area.
2. The proposed Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
3. The proposed Preliminary Plat is consistent with the purpose and intent of the Multiple Residential and Office Planned Unit Development and Residential 15 Planned Unit Development Zoning Districts and the Preliminary Master Development Plan and Final Master Development Plan for The Retreat at Fairvue.
4. The proposed Preliminary Plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.

5. The Preliminary Plat complies with the requirements of the subdivision regulations as described in Chapter 2, Section 2-103, and the layout and design requirements of Chapter 4 of the Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission approves the Preliminary Plat for The Retreat at Fairvue Phase 1, Section 2, located along Chloe Drive, east of Carnaby Drive and Chesham Drive, consisting of a two (2) sheet plat, dated August 27, 2014 with a revision date of September 11, 2014, prepared by Dewey Estes Engineering from Nashville TN. The applicant shall amend the Preliminary Plat and provide documents that address the following conditions:

1. Label Commons Area Tracts and identify use, size, and maintenance responsibility. (i.e. parking along Winslow Court and Glennister Court).
2. Detailed plans and specifications for water & sanitary sewer installations must be submitted for approval.
3. Provide to Codes Department fire separation/protection design for buildings that meets currently adopted building code.
4. Submit three (3) corrected folded copies of the Preliminary Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 9/22/14

ITEM 7



PLANNING DEPARTMENT STAFF REPORT

Preliminary Plat for The Retreat at Fairvue Phase 1 Section 2
(PC0338-14) (SD-2014-09P1-2)

Located Along Chloe Dr., East of Carnaby Dr. and Chesham Dr.

Date: September 15, 2014

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A PRELIMINARY PLAT FOR THE RETREAT AT FAIRVUE PHASE 1, SECTION 1, A MAJOR SUBDIVISION, TO CREATE 16 MULTI-FAMILY FAMILY LOTS, AND EXTEND THREE (3) EXISTING PUBLIC RIGHTS-OF-WAY, ON 3.80 (+/-) ACRES, LOCATED ON CHLOE DRIVE EAST OF CARNABY DRIVE AND CHESHAM DRIVE.

OWNER: GOODALL INC., BUILDERS
APPLICANT: DEWEY & ESTES ENGINEERING (MICHAEL DEWEY)
STAFF RECOMMENDATION: APPROVAL (WITH CONDITIONS)
STAFF CONTACT: KEVIN CHASTINE, AICP
PLANNING COMMISSION DATE: SEPTEMBER 22, 2014

PROPERTY OVERVIEW: The owner and applicant requests approval of a preliminary plat for The Retreat at Fairvue Phase 1, Section 1, A major subdivision, to create 16 multi-family family lots, and extend three (3) existing public rights-of-way, on 3.80 (+/-) acres, located on Chloe Drive, East of Carnaby Drive and Chesham Drive. The property is currently split-zoned Multiple Residential and Office Planned Unit Development (MRO-PUD) and Residential 15 Planned Unit Development (R15-PUD). Multi-Family Dwellings is a permitted use in the MRO-PUD and R15-PUD zone districts. (Attachment 7-2)

CASE BACKGROUND:

Previous Approvals

The Retreat at Fairvue Preliminary Master Development Plan/Final Master Development Plan (PC043-12) was first discussed at the October 8, 2012 Planning Commission Work Session. At that meeting, the Planning Commission reviewed the layout and proposed architecture for the development. The Planning Commission also discussed the proposed sidewalk design and asked the applicant to provide an alternative pedestrian plan that would allow for better connectivity throughout the development. The Planning Commission also suggested the installation of a roundabout at Chloe Drive, south of this proposed plat, as a traffic calming device. The revised plan was discussed at the November 12, 2012 Special-Called Joint City Council and Planning Commission meeting. The applicant presented the changes to the plan that were made as a result of input from the Commission at the October Work Session.

On November 26, 2012 the Planning Commission voted to consider the proposed changes to the Greensboro Village Planned Unit Development (PUD) Preliminary Master Development Plan as a major amendment. Public Comment was held on the item and

several residents of Fairvue Plantation spoke against the proposed plan for The Retreat at Fairvue citing concerns about density, property values, and safety based on increased traffic. The Planning Commission voted to defer any further action on the item to the December 10, 2012 meeting where they again voted to defer action on the item until a special called meeting of the Planning Commission on January 7th, 2013.

At the January 7th, 2013 Planning Commission special called meeting, the Preliminary Master Development Plan and Final Master Development Plan was recommended for approval with conditions and was determined to be a major amendment requiring consideration by the Gallatin City Council. The project was approved by City Council on second reading at the February 19th, 2013 City Council meeting.

An Amended Preliminary and Revised Final Master Development Plan (PC0134-13) was approved, as a minor amendment, at the May 20th, 2013 Planning Commission meeting. The purpose of the amendment was to create two (2) sections within Phase 1. The Preliminary Plat (PC0135-13) for Phase 1 – Section 1 of the Retreat at Fairvue was approved at the May 20th, 2013 Planning Commission meeting. The Final Plat (PC0196-13) for Phase 1 – Section 1 of the Retreat at Fairvue was approved at the November 25, 2013 Planning Commission meeting.

DISCUSSION:

Proposed Development

The Retreat at Fairvue will include a total of 130 lots (units) contained within 34 buildings, with each building containing either three (3) or four (4) units. The development is divided into four (4) phases, with Phase 1 being divided into two (2) sections.

This Preliminary Plat, for Phase 1, Section 2, will contain 16 lots (16 units) and the extension of three (3) existing public rights-of-way. Each building will contain four (4) units. for a total of 16 units.

Natural Features

The natural topography for the existing vacant property begins at the highest point of elevation (490'), which is located along the west boundary, with a steady decent, towards the lowest point of elevation (472') located along the eastern boundaries. The decline in elevation relates to the presence of a stream (Rankin Branch) that runs along the eastern property boundary.

Adjacent or Area Uses

The adjacent surrounding area to the north is Phase 1 Section 1 of the Retreat at Fairvue has, to the south is proposed Phase 2 and 4 of the Retreat at Fairvue, to the east is a proposed open space and public utility and drainage easement which includes floodway and floodplain of Rankin Branch, and to the west is the proposed Phase 4 of the Retreat at Fairvue. The project site is surrounded by Multiple Residential and Office Planned Unit Development (MRO-PUD) zoning to the north and west, and Residential 15 Planned Unit Development (R15-PUD) to the south and east.

Lot Sizes and Layout

The lot sizes and layout shown on the Preliminary Plat are consistent with lot sizes and layouts approved in the Revised Final Master Development Plan (PC0134-13) and generally consist of lots between 28 feet and 38 feet in width by 112 feet in depth (3,136 to 4,256 square feet.).

Floodplain and Floodway

Based on FEMA FIRM Map 471650407G and 471650426G, the northeastern portion of Phase 1, Section 2, is located within the Floodway and Zone A of Rankin Branch. No development is proposed in any special flood hazard area.

Rights-of-Way/Streets/Roads

The Preliminary Plat will extend three (3) rights-of-way including Chloe Drive (50 foot right-of-way) for approximately 273 feet, extends the alley rights-of-ways for Glennister Court (22 foot right-of-way) for approximately 298 feet and Winslow Court (22 foot right-of-way) for approximately 255 feet.

Buildings and Architectural Elevations

No change is requested to the architectural elevations approved as part of the Final Master Development Plan.

Parking

In addition to the 32 parking spaces provided in the driveways and garages, the Preliminary Plat shows 33 additional parking spaces, with 18 located along Winslow Court and 15 located along Glennister Court.

Signing

This Preliminary Plat shows no signage proposed for Phase 1, Section 2 of the Retreat at Fairvue.

Open Space and Bufferyard

The Preliminary Plat shows a proposed open space tract and public utility and drainage easement in the northeast portion for Phase 1, Section 2 and along the west side of Glennister Court to be used for parking. Open Space tracts will need to be labeled and the size of the tracts needs to be indentified on the plan.

There are no required bufferyards located within Phase 1, Section 2.

Site Surety

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080. Surety Required of the Gallatin Zoning Ordinance. At the time of construction plan and final plat approval the applicant shall submit a site surety, in the amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

Engineering Division Comments

The Engineering Division reviewed and commented on the Preliminary Plat. All of the Engineering Division comments have been satisfied.

Other Departmental Comments

Other City Departments reviewed and commented on the Preliminary Plat. Most of the Other Departmental Comments have been satisfied; however the applicant shall amend the Preliminary Plat and provide documents as indicated below:

1. Detailed plans and specifications for water & sanitary sewer installations must be submitted for approval.
2. Provide to Codes Department fire separation/protection design for buildings that meets currently adopted building code.

FINDINGS:

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The proposed Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
3. The proposed Preliminary Plat is consistent with the purpose and intent of the Multiple Residential and Office Planned Unit Development and Residential 15 Planned Unit Development Zoning Districts and the Preliminary Master Development Plan and Final Master Development Plan for The Retreat at Fairvue.
4. The proposed Preliminary Plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.
5. The Preliminary Plat complies with the requirements of the subdivision regulations as described in Chapter 2, Section 2-103, and the layout and design requirements of Chapter 4 of the Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-84, a Preliminary Plat for The Retreat at Fairvue Phase 1, Section 2, located along Chloe Drive, east of Carnaby Drive and Chesham Drive, consisting of a two (2) sheet plat, dated August 27, 2014 with a revision date of September 11, 2014, prepared by Dewey Estes Engineering from Nashville TN. The applicant shall amend the Preliminary Plat and provide documents that address the following conditions:

1. Label Commons Area Tracts and identify use, size, and maintenance responsibility. (i.e. parking along Winslow Court and Glennister Court).
2. Detailed plans and specifications for water & sanitary sewer installations must be submitted for approval.
3. Provide to Codes Department fire separation/protection design for buildings that meets currently adopted building code.
4. Submit three (3) corrected folded copies of the Preliminary Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

Attachment 7-1 Location Map for The Retreat at Fairvue Phase 1, Section 2

Attachment 7-2 Preliminary Plat for The Retreat at Fairvue Phase 1, Section 2 (PC0338-14)



Prepared By: Kevin Chastine, AICP
Prepared On: September 18, 2014

Location Map

The Retreat at Fairvue Phase 1, Section 2 - Preliminary Plat
PC0338-14



Preliminary Plat

for

The Retreat at Fairvue

Phase 1, Section 2

Being Parcel 18.03 on Tax Map 136
Gallatin, Sumner County, Tennessee

Revisions:

Drawing Notes:

Date: September 11, 2014

Project Summary

Site Data

Councilmatic District #4
Council Person Craig Hayes

Property Location/Address:
Located at the Southeast Corner of the
Intersection of Noah Lane & Chloe Drive.
Address (GIS): 31E Highway
Gallatin, TN 37066

Property Owner: Goodall Inc. Builders
Address: 393 Maple Street Ste #100
Gallatin, TN 37066
Phone: (615) 451-5029

Developer: Goodall Inc. Builders
Contact: Mike Stanton
Address: 393 Maple Street Ste #100
Gallatin, TN 37066
Phone: (615) 451-5029

Engineer: Dewey-Estes Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 979-9071

Site Information

Tax Map 136, Parcel 18.03

Zoning - MRO (PUD) & R-15 (PUD)
MRO (PUD) Area - 8.24 Acres
R-15 (PUD) Area - 20.20 Acres

Total Site Area - 28.44 Acres
Residential Site Area - 26.84 Acres (4.9 Units/Acre)
Commercial Site Area - 1.60 Acres (By Others)

Current Use: Commercial/Vacant
Proposed Use: Residential (Multi-Family Dwelling)

Plan Preparation Date: August 27, 2014

Unit Breakdown:
Total Lots - 130
Phase 1, Section 1 - 20 Lots (Under Construction)
Phase 1, Section 2 - 16 Lots (Proposed)
Phase 2 - 36 Lots
Phase 3 - 26 Lots
Phase 4 - 32 Lots

Phase 1, Section 2 Total Area - 3.80 Acres
Phase 1, Section 2 Open Space Area - 1.85 Acres
Phase 1, Section 2 ROW Area - 0.59 Acres
Phase 1, Section 2 Lot Area - 1.36 Acres
Phase 1, Section 2 Building Area - 0.84 Acres
Phase 1, Section 2 Driveway & Parking Area - 0.26 Acres

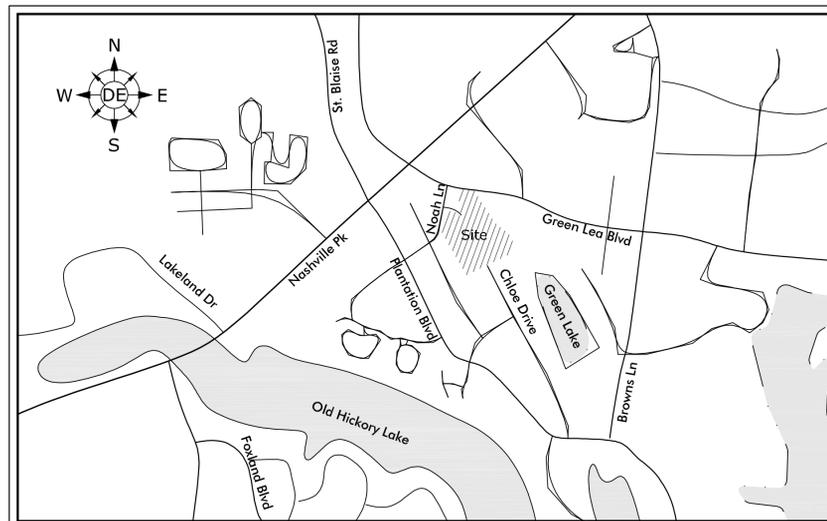
Phase 1, Section 2 Parking:
32 Garage Stalls (2-Car Garage/Unit)
33 Guest Parking Stalls
*Note: Driveways Shall be 16' Wide x 20' Deep (Typ)

Minimum Front Yard: 10 Ft
Minimum Rear Yard: 20 Ft
Minimum Side Yard: 5 Ft (0 Ft Interior, 10 Ft Corner)

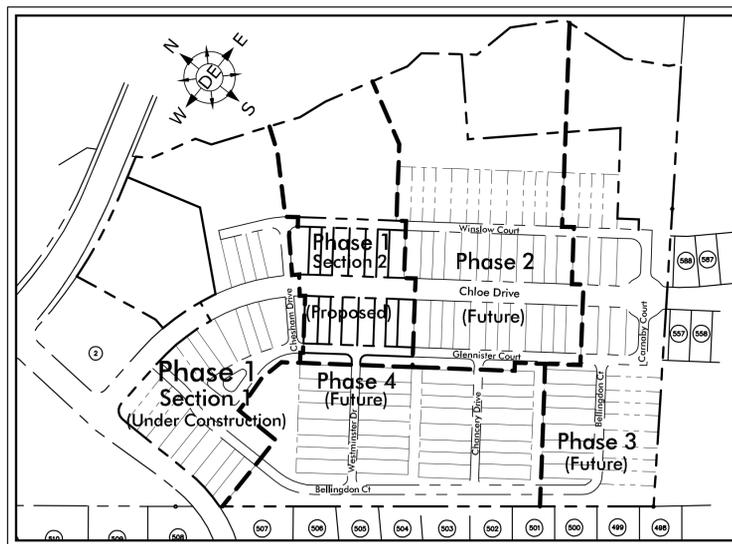
Maximum Height: 2 Stories

Sheet Schedule

C0.0	Cover Sheet
C1.0	Preliminary Plat



Vicinity Map
NTS



Overall Phase Map
Scale: 1"=200'

Project Notes

- The purpose of this submittal is to obtain approval of a Preliminary Plat for Phase 1, Section 2 of this development, consisting of 16 Multi-Family Dwellings.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of the City of Gallatin Department of Public Works.
- A Portion of this property is located within a Zone 'AE' Flood Hazard Area, as indicated on FEMA Map Number 47165C0407G and 47165C0426G. Dated April 17, 2012. 100 Yr Elevation Varies from 474.5-479.5. All pad elevations shall be filled, if necessary, at least 1 foot above the base flood elevation. Floodplain Development Permits and Elevation Certificates are Required for Construction in the 100 Year Floodplain.
- Sidewalks shall be Decorative and Maintained per the License for Decorative Sidewalk Agreement between the City of Gallatin and the Retreat at Fairvue Homeowners Association, Inc.
- Individual water and/or sanitary sewer service lines are required for each lot.
- The final Construction Documents shall indicate the proposed method to deal with stormwater runoff for this project.
- All areas designated as Open Space will be owned and maintained by the Homeowners' Association including the Guest Parking Stalls and Private Sidewalks along the alleys. Sidewalks not shown in Public ROW shall be maintained by the HOA.
- All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02.
- The owner/developer of this property is responsible for all financial matters.
- A Site Surety for Landscaping shall be submitted prior to the issuance of any building permits for Phase 1, Section 2.
- Trash Removal for this property shall be handled by individual roll-away city totes.
- The Plat Voids, Vacates, and Supercedes the Final Plat for Greensboro Village, Phase 8 (PC 162-13).
- All Proposed Public ROW Corners Shall be Marked with Concrete Monuments.

Certificate of Planning Commission Preliminary Approval Note:
Approved by the Gallatin Municipal-Regional Planning Commission, with such exceptions or conditions as are indicated in the minutes of the Commission are _____.

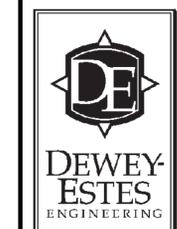
This preliminary plat approval does not constitute approval of this subdivision in the final form and does not constitute approval for recording of the plat.

BENCHMARK
Chiseled Square in Corner of Ramp
Located at NE Corner of Intersection
of Chloe Drive and Noah Lane.
NAVD 88 Elevation = 494.40

FLOOD NOTE
A Portion of this property is located within
a Zone 'AE' Flood Hazard Area, as
indicated on FEMA Map Numbers
47165C0407G and 471650426G.
100 Yr Elevation Varies from 474.5-479.5
Dated April 17, 2012. All pad elevations
shall be filled, if necessary, at least 1 foot
above the base flood elevation.



The Retreat at Fairvue
Phase 1, Section 2
Being Parcel 18.03 on Tax Map 136
Gallatin, Sumner County, Tennessee



Cover Sheet

C0.0

1 of 2

EX. BOUNDARY CURVE TABLE

CURVE	ARC	RADIUS	DELTA	CHORD	
C1	206.90'	1050.00'	111°17'24"	S85°45'22"E	206.57'
C2	112.69'	350.01'	18°26'51"	N22°59'14"E	112.21'
C3	39.45'	25.00'	90°25'11"	N62°41'02"E	35.48'
C4	164.20'	500.00'	18°48'56"	S62°41'56"E	163.46'
C5	107.05'	550.00'	11°09'07"	N58°52'01"W	106.88'
C6	56.83'	300.01'	10°51'15"	S20°07'59"W	56.75'
C7	39.38'	25.00'	90°15'05"	S86°08'05"E	35.43'
C8	457.65'	1050.00'	24°58'22"	N53°29'43"W	454.04'
C9	36.87'	25.00'	84°29'41"	S23°44'04"E	33.62'

EX. LINE TABLE

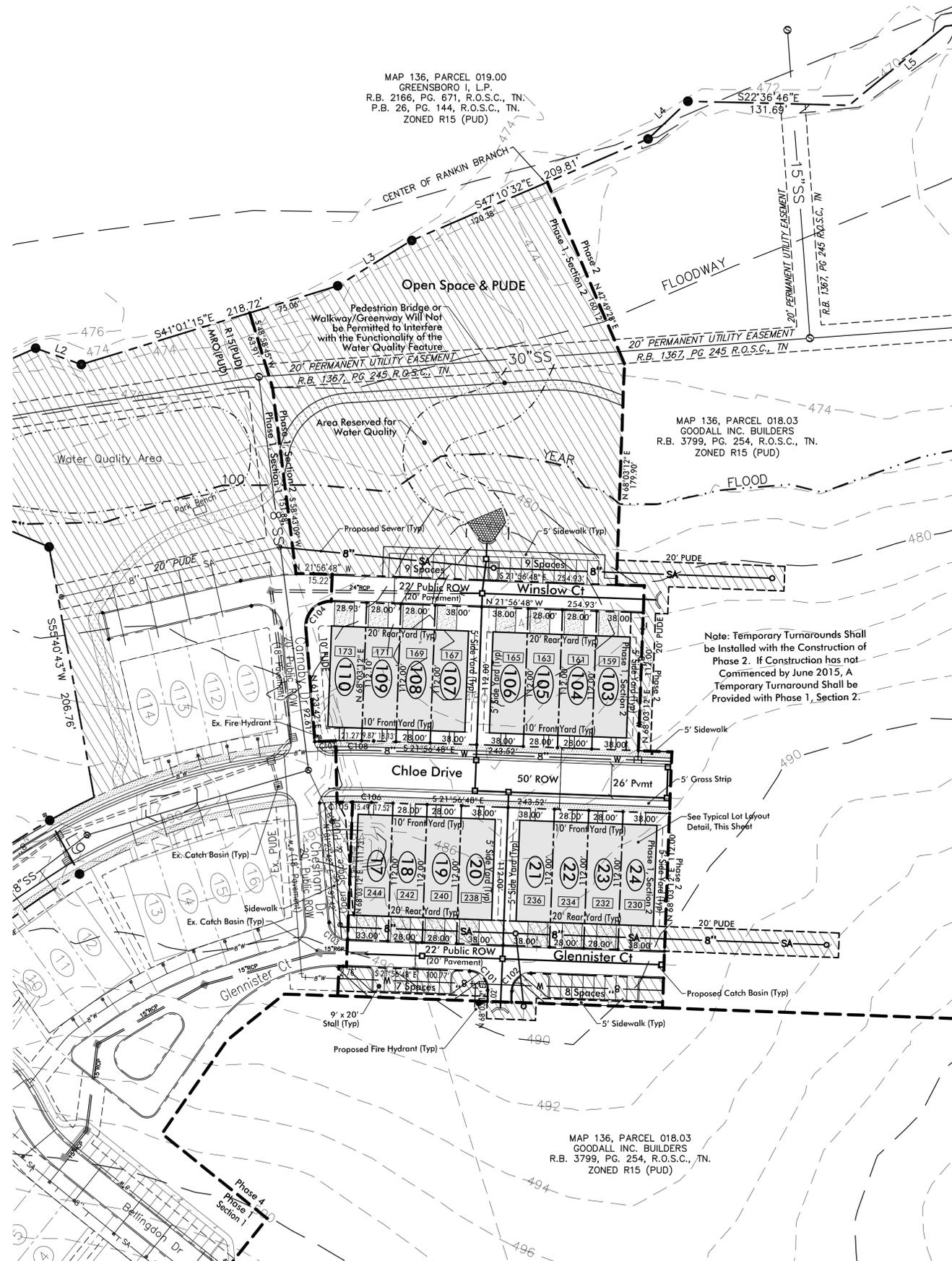
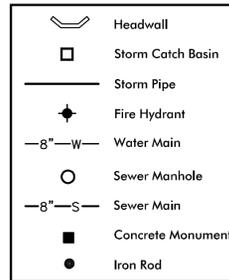
LINE	BEARING	DISTANCE
L1	S19°09'43"E	37.63'
L2	S04°33'31"E	39.60'
L3	S55°25'58"E	70.86'
L4	S67°20'38"E	44.67'
L5	S63°23'08"E	101.19'
L6	S14°38'15"E	105.29'
L7	S33°29'54"E	29.91'
L8	S72°06'22"E	124.32'
L9	N36°42'33"E	50.00'
L10	N25°33'31"E	26.50'
L11	N88°35'56"E	107.58'
L12	S19°21'52"W	39.99'
L13	S14°42'20"W	43.32'
L14	N24°02'50"W	41.34'
L15	N48°44'23"E	89.55'
L16	N17°28'27"E	12.93'

PROPOSED BOUNDARY CURVE TABLE

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C101	90°00'00"	15.00	15.00	23.56	S 23°03'12" W	21.21
C102	90°00'00"	15.00	15.00	23.56	N 66°56'48" W	21.21
C103	83°20'30"	15.00	13.35	21.82	N 19°43'27" E	19.95
C104	96°39'30"	20.00	22.47	33.74	N 70°16'33" W	29.88
C105	03°24'03"	450.00	13.36	26.71	N 25°37'08" W	26.71
C106	01°58'19"	450.00	7.74	15.49	S 22°55'57" E	15.49
C107	01°55'58"	500.00	8.43	16.87	N 26°28'54" W	16.87
C108	03°34'07"	500.00	15.58	31.14	S 23°43'51" E	31.14

LOT TABLE

NAME	SQUARE FEET	ACRES	NAME	SQUARE FEET	ACRES
1	4107.3672	0.0943	66	3416.0000	0.0784
2	3298.8093	0.0757	67	4636.0000	0.1064
3	4310.5259	0.0990	68	4636.0000	0.1064
4	4255.8221	0.0977	69	3416.0000	0.0784
5	3135.8941	0.0720	70	3416.0000	0.0784
6	4255.8571	0.0977	71	4026.0000	0.0924
7	4255.8581	0.0977	72	4026.0000	0.0924
8	3138.2746	0.0720	73	3416.0000	0.0784
9	3741.2986	0.0859	74	3416.0000	0.0784
10	3741.0655	0.0859	75	4331.0000	0.0994
11	3193.5766	0.0733	76	4331.0000	0.0994
12	4841.9483	0.1112	77	3416.0000	0.0784
13	5087.9499	0.1168	78	3416.0000	0.0784
14	3237.3556	0.0743	79	4026.0000	0.0924
15	3228.8924	0.0741	80	4026.0000	0.0924
16	5825.8897	0.1337	81	3416.0000	0.0784
17	3694.6248	0.0848	82	3416.0000	0.0784
18	3136.0000	0.0720	83	4636.0000	0.1064
19	3136.0000	0.0720	84	4636.0000	0.1064
20	4256.0000	0.0977	85	3416.0000	0.0784
21	4256.0000	0.0977	86	3416.0000	0.0784
22	3136.0000	0.0720	87	4026.0000	0.0924
23	3136.0000	0.0720	88	4256.0004	0.0977
24	4256.0000	0.0977	89	3136.0002	0.0720
25	4256.0000	0.0977	90	4257.4730	0.0977
26	3136.0000	0.0720	91	4254.5266	0.0977
27	3136.0000	0.0720	92	3136.0002	0.0720
28	4256.0000	0.0977	93	3136.0001	0.0720
29	4256.0000	0.0977	94	4257.4729	0.0977
30	3136.0000	0.0720	95	4254.5264	0.0977
31	3136.0000	0.0720	96	3136.0001	0.0720
32	4256.0000	0.0977	97	3136.0001	0.0720
33	4256.0000	0.0977	98	4257.4727	0.0977
34	3136.0000	0.0720	99	4254.5263	0.0977
35	3136.0000	0.0720	100	3136.0000	0.0720
36	4256.0000	0.0977	101	3136.0000	0.0720
37	4256.0000	0.0977	102	4257.4726	0.0977
38	3136.0000	0.0720	103	4256.0000	0.0977
39	4245.0419	0.0975	104	3136.0000	0.0720
40	4327.6110	0.0993	105	3136.0000	0.0720
41	3649.3851	0.0838	106	4256.0000	0.0977
42	3628.7044	0.0833	107	4254.5261	0.0977
43	4891.5916	0.1123	108	3136.0000	0.0720
44	4853.5010	0.1114	109	3136.3204	0.0720
45	3551.8902	0.0815	110	4949.8642	0.1136
46	3531.2094	0.0811	111	5049.0493	0.1159
47	4166.4262	0.0956	112	3142.2582	0.0721
48	4018.2080	0.0922	113	3142.9669	0.0722
49	3416.0000	0.0784	114	3765.0072	0.0864
50	3416.0000	0.0784	115	4192.9259	0.0963
51	4636.0000	0.1064	116	3556.0005	0.0816
52	4636.0000	0.1064	117	3556.0005	0.0816
53	3416.0000	0.0784	118	4824.0744	0.1107
54	3416.0000	0.0784	119	4827.9257	0.1108
55	4026.0000	0.0924	120	3556.0004	0.0816
56	4026.0000	0.0924	121	3556.0004	0.0816
57	3416.0000	0.0784	122	4824.0743	0.1107
58	3416.0000	0.0784	123	4827.9255	0.1108
59	4636.0000	0.1064	124	3556.0003	0.0816
60	4636.0000	0.1064	125	3556.0003	0.0816
61	3416.0000	0.0784	126	4824.0742	0.1107
62	3416.0000	0.0784	127	4827.9254	0.1108
63	4026.0000	0.0924	128	3556.0002	0.0816
64	4025.9999	0.0924	129	3556.0002	0.0816
65	3416.0000	0.0784	130	4506.5739	0.1035

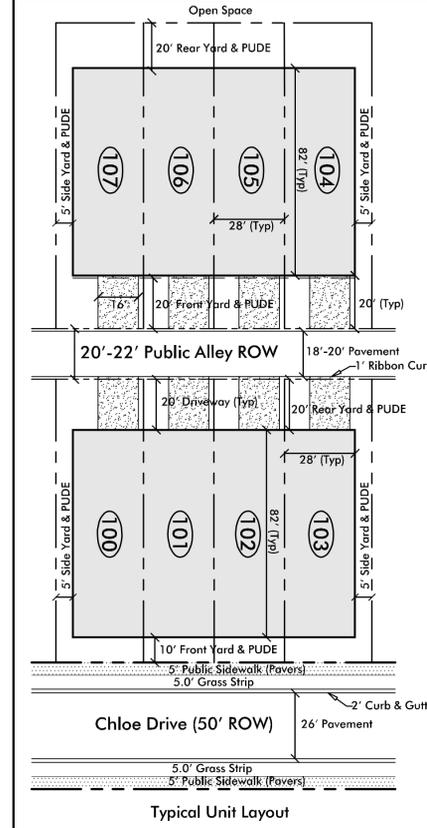


APPLICANT
Goodall Inc. Builders
Contact: Mike Stanton
393 Maple Street #100
Gallatin, TN 37066
Ph: (615) 451-5029
Fax: (615) 451-4029

ENGINEER
Contact: Michael Dewey, PE
2925 Berry Hill Drive
Nashville, TN 37204
Ph: (615) 979-9071

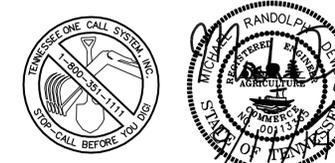
FLOOD NOTE
A Portion of this property is located within a Zone 'AE' Flood Hazard Area, as indicated on FEMA Map Numbers 47165C0407G and 471650426G. 100 Yr Elevation Varies from 474.5-479.5 Dated April 17, 2012. All pad elevations shall be filled, if necessary, at least 1 foot above the base flood elevation.

BENCHMARK
Chiseled Square in Corner of Ramp Located at NE Corner of Intersection of Chloe Drive and Noah Lane. NAVD 88 Elevation = 494.40



Project Schedule

1) Phase 1, Section 1 (20 Units)	Under Construction
2) Phase 1, Section 2 (16 Units)	Sep 2014-Mar 2015
3) Phase 2 (36 Units)	Apr 2015-Mar 2016
4) Phase 3 (26 Units)	Apr 2016-Mar 2017
5) Phase 4 (32 Units)	Apr 2017-Mar 2018

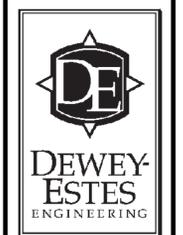


Revisions:

Drawing Notes:

Date: September 11, 2014

The Retreat at Fairvue
Phase 1, Section 2
Being Parcel 18.03 on Tax Map 136
Gallatin, Sumner County, Tennessee



Preliminary Plat

C1.0
2 of 2

ITEM 8

GMRPC Resolution No. 2014-85

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A PRELIMINARY PLAT FOR CARELLTON PHASE 2A, CONTAINING 40 SINGLE FAMILY LOTS, TWO (2) NEW PUBLIC RIGHTS-OF-WAY, TWO (2) EXTENSIONS OF EXISTING RIGHTS-OF-WAY, AND ONE (1) OPEN SPACE TRACT ON 10.73 (+/-) ACRES, LOCATED NORTH OF WHITESTONE LANE – (PC0339-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Preliminary Plat submitted by Dewey-Estes Engineering at its regular meeting on September 22, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, and the Preliminary Plat, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-403 and §13-4-303 and Gallatin Subdivision Regulations, Chapter 1, Section 1-104, items 1-11 and Chapter 2, Section 2-103:

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Emerging Suburban Neighborhood Community Character Area.
2. The proposed Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
3. The proposed Preliminary Plat is consistent with the purpose and intent of the Residential 8 Planned Residential Development (R8-PRD) Zoning District and the Amended Preliminary Master Development Plan and Final Master Development Plan for Carellton Phase 2, Sections A and B.
4. The proposed Preliminary Plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.
5. The Preliminary Plat complies with the requirements of the subdivision regulations as described in Chapter 2, Section 2-103, Gallatin Subdivision Regulations.

6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission approves the Preliminary Plat for Carellton Phase 2A, consisting of a 2 sheet plat, prepared by Dewey-Estes Engineering, of Nashville, Tennessee, with job number 12017, dated September 11, 2014, with the following conditions:

1. All stormwater facilities shall comply with current stormwater ordinance standards.
2. Public Utility and Drainage Easements shown are variance from the Gallatin Subdivision Regulations.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 9/22/14

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY

ITEM 8



PLANNING DEPARTMENT STAFF REPORT

Preliminary Plat for Carellton Phase 2A

(PC0339-14) (SD-2014-10P2-A)

Located North of Whitestone Lane

Date: September 16, 2014

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A PRELIMINARY PLAT FOR CARELLTON PHASE 2-A, TO CREATE 40 SINGLE-FAMILY LOTS, TWO (2) PUBLIC RIGHTS-OF-WAY, EXTEND TWO (2) EXISTING PUBLIC RIGHTS-OF-WAY, AND CREATE TWO (2) OPEN SPACE TRACTS ON 10.73 (+/-) ACRES, LOCATED NORTH OF WHITESTONE LANE.

OWNER: GREEN TRAILS, LLC (RICK DECKBAR)

APPLICANT: DEWEY ESTES ENGINEERING (MICHAEL DEWEY, P.E.)

STAFF RECOMMENDATION: APPROVAL (WITH CONDITIONS)

STAFF CONTACT: KEVIN CHASTINE, AICP

PLANNING COMMISSION DATE: SEPTEMBER 22, 2014

PROPERTY OVERVIEW: The owner and applicant requests approval of a preliminary plat for Carellton Phase 2-A, to create 40 single-family lots, two (2) public rights-of-way, extend two (2) existing public rights-of-way, and create two (2) open space tracts on 10.73 (+/-) acres, located north of Whitestone Lane. The property is currently zoned Residential-8 Planned Residential Development (R8-PRD). One-Family Detached Dwellings and Multi-Family Dwellings are permitted uses in the R8-PRD zone district. (Attachment 8-2)

CASE BACKGROUND:

Previous Approvals

Prior to annexation the Sumner County Planning Commission approved an Amended Preliminary Master Development Plan for The Paddock on December 19, 2006. The Final Master Development Plan for The Paddock was approved, with conditions, by the Sumner County Planning Commission on January 23, 2007.

The City of Gallatin established the Residential-8-Planned Residential Development (R8-PRD) zoning with the Preliminary Master Development Plan for The Paddock on April 15, 2008, effective upon annexation on May 2, 2008. The Final Plat for Phase 1-A (PC File #1-15-08C) of The Paddock was approved, with conditions, at the June 23, 2008 Gallatin Planning Commission meeting. One-family attached and detached dwellings are permitted uses in the R8-PRD zone district.

The Gallatin Planning Commission approved, with conditions, an extension of the the Paddock Final Master Development Plan (PC9803-11) at the May 23, 2011 commission meeting. The Final Plat for Phase 1-A was recorded on July 25, 2013. The Preliminary Plat

Preliminary Plat for Carellton Ph. 2A (PC0339-14)

for Carellton Phase 1-B was approved, with conditions, at the August 26, 2013 Planning Commission meeting. The Final Plat for Phase 1-B was approved by the Planning Commission on December 9, 2013 and recorded on April 2, 2014.

The Planning Commission recommended approval of an Amended Preliminary Master Development Plan for the Carellton subdivision, Phases 2 through 8, as a major amendment, on January 27, 2014. The Amended Preliminary Master Development Plan was approved on second reading at the March 18, 2014 City Council meeting.

The Planning Commission approved the Final Master Development Plan for Phase 2 Sections A and B on April 18, 2014 (PC0268-14).

DISCUSSION:

Proposed Development

The Preliminary Plat for Carellton Phase 2-A (PC0339-14) proposes a total of 40 single family detached dwelling lots on 8.00 (+/-) acres. Phase 2-A includes two (2) new public rights-of-way, two (2) extensions of existing public rights-of-way and two (2) open space tracts. There is approximately 2.22 (+/-) acres of public right-of-way and .51 (+/-) acres of open space (Open Space 'C' and 'V').

Natural Features

The natural topography for the existing vacant farmland slopes from the highest points of elevation (608) located along the northeastern property boundary with a steady descent to the lowest elevation point (542) at the western property boundary. The property is scraped bare of any mature trees or other vegetation due to the adjacent construction of Carellton Phase 1-B. No portion of Carellton Phase 2A is located within a flood hazard area.

Floodplain and Floodway

Based on FEMA FIRM Map 471650293G no portion of the site is located within a Floodway or Floodplain area.

Adjacent or Area Uses

The area surrounding Phase 2-A to the north and west of is vacant agricultural farm land to be parts of a future phase of the subdivision. Located to the south of Phase 2-A is Phase 1-B which is also zoned Residential-8 Planned Residential Development (R8-PRD) and currently under construction. Located to the east of Phase 2-A is an existing residence that is zoned agricultural.

Lot Sizes and Layout

The Amended Preliminary Master Development Plan for Carellton consists of eight (8) different lot types that vary in size and shape to accommodate the proposed housing type. Phase 2-A contains 40 single family detached dwelling lots. Engineering noted that the Public Utility and Drainage Easements located on all side property lines of the lots effectively constitutes a variance from subdivision regulations, which was approved as part of the Preliminary Master Development Plan.

Rights-of-Way/Streets/Roads

The Preliminary Plat for Phase 2A will create two (2) new public rights-of-way and extend two (2) existing public rights-of-way. The new roads are Preston Lane and Hempstead Court and Black Thorn Lane and Seattle Slew Drive be extended into Phase 2-A.

Preston Lane, Seattle Slew Drive, and Black Thorn Lane will be 50 foot wide rights-of-way with 22 feet pavement width and with five (5) feet wide sidewalks on both sides of the street. Hempstead Court is a 30 foot wide right-of-way with a pavement width of 14 feet and with five (5) feet wide sidewalks on both sides of the street. All total there will be 2.22 acres of new public rights-of-way within Phase 2-A.

As discussed with the FMDP for Phase 2-A and 2-B, the City of Gallatin is conducting a traffic study that encompasses the entire corridor of Big Station Camp Boulevard and adjacent roadways. This study is focusing on traffic generation from the currently approved developments, extant development, and potential build-out under the current zoning of undeveloped property. The results of this study will identify the need for transportation infrastructure improvements throughout the Station Camp corridor, the costs of the improvements, and how the improvements can be financed by developments within the Station Camp Corridor.

Carellton will be one of many properties to contribute to the future transportation needs in the area. The Final Master Development Plan for Phase 2-A and 2-B, addresses future transportation improvements as follows:

Developers of the Carellton are responsible for the installation of a traffic signal at the intersection of Big Station Camp Boulevard/Long Hollow Pike/Carellton Drive per conditions of previous approval outlined in 6-28-2005 Sumner County Planning Commission minutes. A signal warrant study shall be performed by the developer(s) upon request by the City of Gallatin Engineering Division. Upon meeting signal warrants, the developer(s) shall install a signal to City standards. To ensure completion of the signal, a pro-rata surety shall be posted prior to recording of each plat in the Carellton development. The surety amount will be based upon the amount of traffic generated by the Carellton development to warrant a traffic signal as indicated in the approved traffic impact study.

A pro-rata amount will be required prior to final plat approval/recording.

Buildings and Architectural Elevations

No change is requested to the architectural elevations approved as part of the Final Master Development Plan.

Parking

The parking ratio for any residential use is two (2) parking spaces per unit. With 40 lots shown on the Preliminary Plat for Phase 2A, the Carellton Subdivision is required 80 total parking spaces, by the Gallatin Zoning Ordinance. The Preliminary Plat indicates 80 parking spaces will be provided.

Open Space and Bufferyard

The Preliminary Plat shows two (2) proposed open space tracts – ‘C’ and ‘V’, which totals .51 acres. The open space tract ‘V’ is triangular in space with Hempstead Court encircling three sides of the area with Preston Lane adjoining the open space tract to the south. A pedestrian access easement and P.U.D.E. will encompass this open space tract. Open space tract ‘C’ is located along the eastern property boundary, at the back of (east side of) lots 182 through 187 and a P.U.D.E. will encompass this open space tract. There are no required bufferyards located within Phase 2-A.

Engineering Division Comments

The Engineering Division reviewed and commented on the Preliminary Plat. Most of the Engineering Division comments have been satisfied; however the applicant shall correct the Preliminary Plat and provide documents as indicated below:

1. All stormwater facilities shall comply with current stormwater ordinance standards.
2. Public Utility and Drainage Easements shown are variance from the Gallatin Subdivision Regulations.

Other Departmental Comments

Other City Departments reviewed and commented on the Preliminary Plat. All of the Other Departmental Comments have been satisfied.

FINDINGS:

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Emerging Suburban Neighborhood Community Character Area.
2. The proposed Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
3. The proposed Preliminary Plat is consistent with the purpose and intent of the Residential 8 Planned Residential Development (R8-PRD) Zoning District and the Amended Preliminary Master Development Plan and Final Master Development Plan for Carellton Phase 2, Sections A and B.
4. The proposed Preliminary Plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.
5. The Preliminary Plat complies with the requirements of the subdivision regulations as described in Chapter 2, Section 2-103, Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.

Preliminary Plat for Carellton Ph. 2A (PC0339-14)

7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

The Planning Department recommends that the Gallatin Municipal-Regional Planning Commission approve GMRPC Resolution 2014-85, Preliminary Plat for Carellton Phase 2A, consisting of a 2 sheet plat, prepared by Dewey-Estes Engineering, of Nashville, Tennessee, with job number 12017, dated September 11, 2014, with the following conditions:

1. All stormwater facilities shall comply with current stormwater ordinance standards.
2. Public Utility and Drainage Easements shown are variance from the Gallatin Subdivision Regulations.

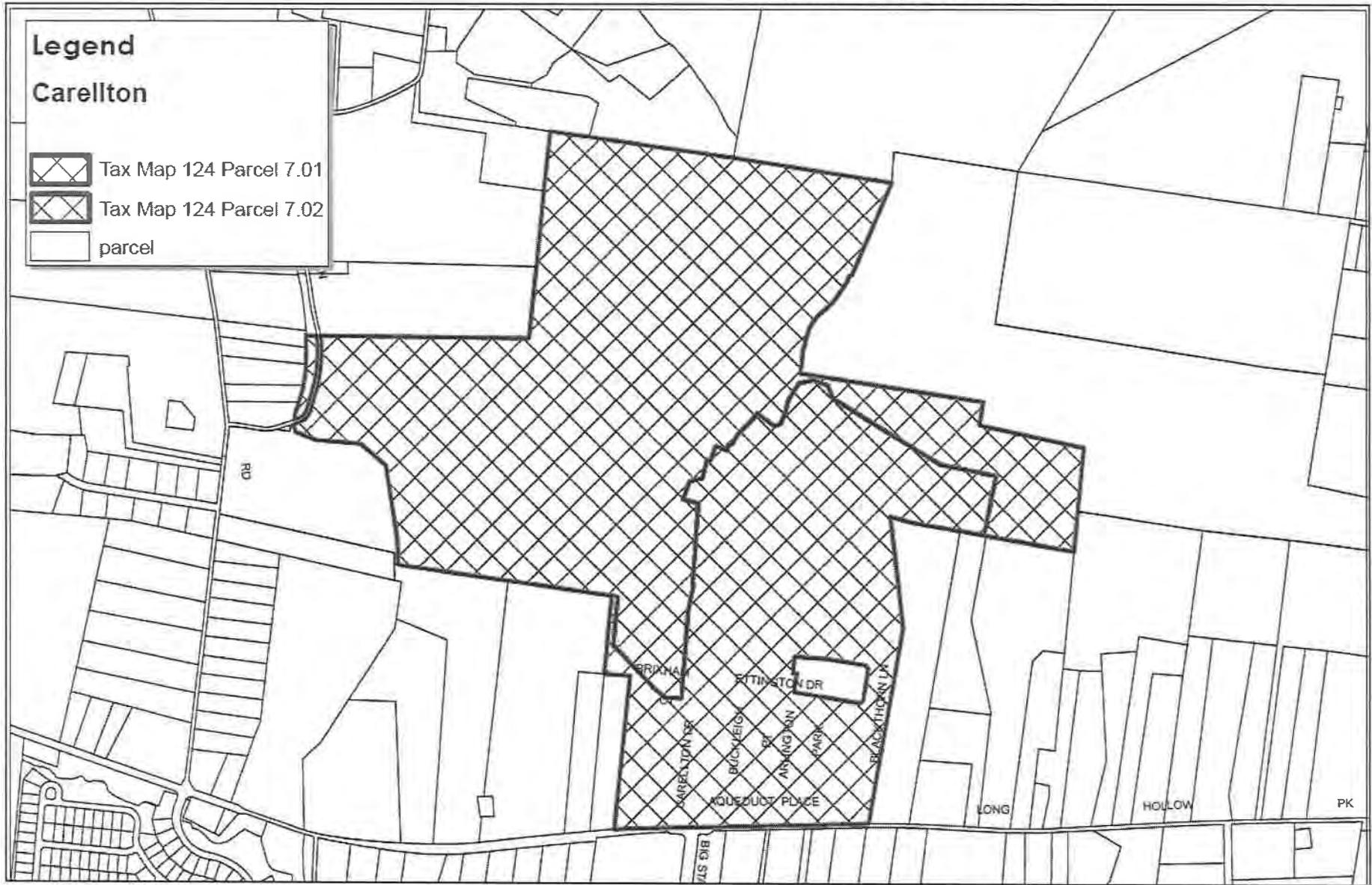
(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

Attachment 8-1 Location Map for Carellton Phase 2A

Attachment 8-2 Preliminary Plat for Carellton Phase 2A (PC0339-14)

I:\SUBDIVISIONS\Major Subdivisions\Carrellton\Carellton Ph. 2-1-Prel. Plat(PC0339-14)(SD-2014-10P2-A)\Item 8 Carellton Ph. 2-A-Prel. Plat (PC0339-14) (SD-2014-10P-2-A) KC (9-22-14)



Prepared By: Kevin Chastine, AICP
Prepared On: September 18, 2014

Location Map

Carellton Phase 2-A - Preliminary Plat
PC0339-14

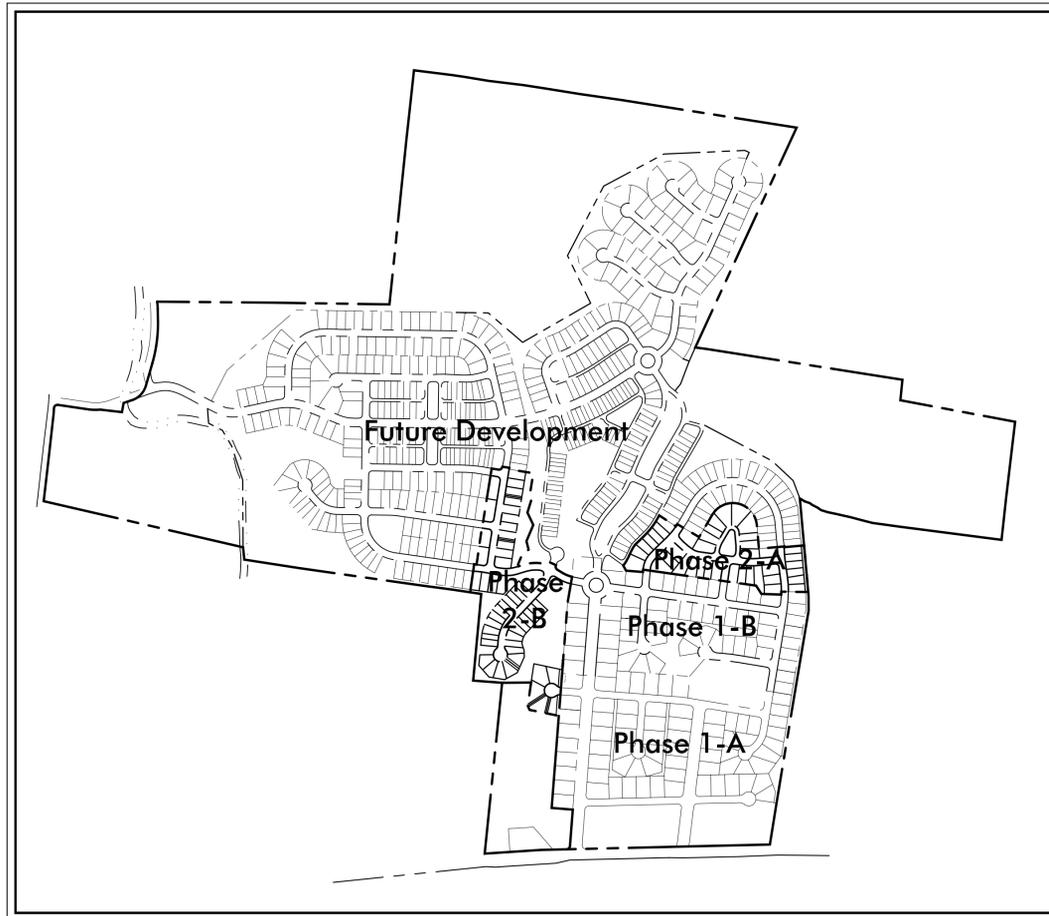


Preliminary Plat for Carelton Phase 2-A

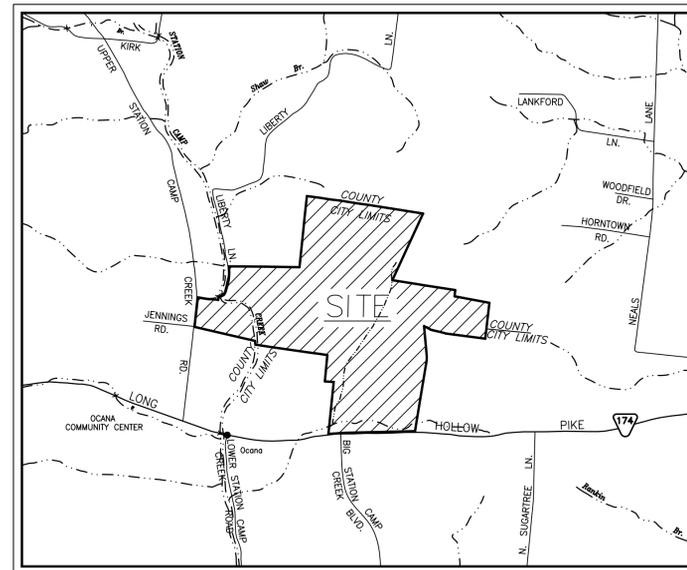
Being Parcels 7.01 and 7.02 on Tax Map 124
Gallatin, Sumner County, Tennessee

Project Notes

- The purpose of this submittal is to obtain approval of a Preliminary Plat for Phase 2-A of this development, consisting of 40 Single-Family Dwellings on 40 Lots.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of the City of Gallatin Department of Public Works.
- This property does NOT lie in a Flood Hazard Area as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012. Base Flood Elevations have not been determined by FEMA.
- All public streets, curbs, and sidewalks are to be constructed in conformance with the City of Gallatin Engineering Division design standards.
- Wheelchair accessible curbs ramps, complying with applicable Engineering Division standards, shall be constructed at all street crossings.
- Individual water and/or sanitary sewer service lines are required for each lot.
- The final Construction Documents shall indicate the proposed method to deal with stormwater runoff for this project.
- All areas designated as Open Space will be owned and maintained by the Homeowners' Association.
- All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02.
- The owner/developer of this property is responsible for all financial matters.
- Developers of the Carelton are responsible for the installation of a traffic signal at the intersection of Big Station Camp Boulevard/Long Hollow Pike/Carelton Drive per conditions of previous approval outlined in 6-28-2005 Sumner County Planning Commission minutes. A signal warrant study shall be performed by the developer(s) upon request by the City of Gallatin Engineering Division. Upon meeting signal warrants, the developer(s) shall install a signal to City standards. To ensure completion of the signal, a surety shall be posted prior to recording of each plat in the Carelton development. A pro-rata surety amount will be based upon the amount of traffic generated by the Carelton development to warrant a traffic signal.
- Approval is conditioned with the understanding that upon completion of the Station Camp Corridor Traffic Study by the City of Gallatin, Final Master Development Plans, including final plats and site plans, will be subject to the findings and recommendations of said study. Pro-rata contributions toward traffic infrastructure improvements, as recommended in the study or subsequent traffic studies submitted for development review and approval, may be required of development impacting select needed infrastructure improvements.



Overall Site Map
Scale 1"=600'



Vicinity Map
NTS

Sheet Schedule

- | | |
|------|------------------|
| C0.0 | Preliminary Plat |
| C1.0 | Preliminary Plat |

Project Summary

Site Data	Site Information
Councilmatic District #4 Council Person Craig Hayes	Tax Map 124, Parcels 7.01 & 7.02
Property Location/Address: Located at the Intersection of Long Hollow Pike and Big Station Camp Creek Blvd Gallatin, TN 37066	Zoning - R8(PRD) Current Use: Vacant Proposed Use: Residential - Single Family
Applicant: Green Trails, LLC Contact: Rick Deckbar Address: 2925 Berry Hill Drive, Ste A Nashville, TN 37204 Phone: (615) 397-4513	Plan Preparation Date: August 27, 2014 Plan Revision Date: September 11, 2014
Developer: Green Trails, LLC Contact: Rick Deckbar Address: 2925 Berry Hill Drive, Ste A Nashville, TN 37204 Phone: (615) 397-4513	Site Breakdown: Total Lots - 40 Lot Breakdown: 50' Wide Lots - 40 (Single Family)
Engineer: Dewey-Estes Engineering Contact: Kevin Estes, PE Address: 2925 Berry Hill Drive, Ste B Nashville, TN 37204 Phone: (615) 401-9956	Open Space Area - 0.51 Acres ROW Area - 2.22 Acres Lot Area - 8.00 Acres Minimum Front Yard: 20 Ft Minimum Rear Yard: 20 Ft Minimum Side Yard: 5 Ft Minimum Side Yard (Corner Lot): 15 Ft
	Maximum Height: 2 Stories
	Parking Required: 80 Total Parking Stalls (2 Stalls/Unit)
	Parking Provided: 80 Garage Stalls (2-Car Garage/Unit)

Certificate of Planning Commission Preliminary Approval Note:
Approved by the Gallatin Municipal-Regional Planning Commission, with such exceptions or conditions as are indicated in the minutes of the Commission are _____.

This preliminary plat approval does not constitute approval of this subdivision in the final form and does not constitute approval for recording of the plat.

Flood Note:
This property does NOT lie in a Flood Hazard Area as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.

Site Benchmark:
Located at the NE Corner of Phase 1-B.
Iron Rod Found, No Cap In Fence.
NGVD 29 Elevation = 583.65'



Revisions:

Drawing Notes:

Date: September 11, 2014

Carelton
Phase 2-A
Being Parcels 7.01 and 7.02 on Tax Map 124
Gallatin, Sumner County, Tennessee



Preliminary
Plat

Job No. 12017

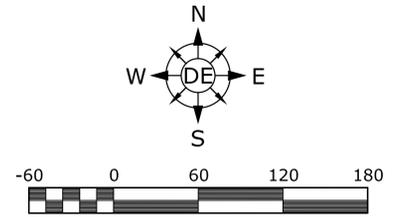
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1 of 2

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	11°32'20"	400.00	40.41	80.56	N 31°29'55" E	80.42
C2	19°46'09"	100.00	17.43	34.50	N 35°36'50" E	34.33
C3	15°55'42"	400.00	55.96	111.20	N 37°32'03" E	110.84
C4	02°31'23"	425.00	9.36	18.72	N 31°50'41" E	18.71
C5	12°23'32"	425.00	46.14	91.92	S 39°18'08" W	91.74
C6	144°16'47"	170.00	527.58	428.09	S 77°16'38" E	323.61
C7	41°02'41"	175.00	65.51	125.36	S 24°58'34" W	122.70
C8	90°00'00"	25.00	25.00	39.27	N 36°58'28" W	35.36
C9	34°08'19"	175.00	53.73	104.27	N 64°54'19" W	102.73
C10	86°39'56"	25.00	23.59	37.82	S 88°49'52" W	34.31
C11	41°02'41"	125.00	46.79	89.55	S 24°58'34" W	87.64
C12	90°00'00"	25.00	25.00	39.27	S 39°51'46" W	35.36
C13	13°09'46"	425.00	49.03	97.64	N 88°33'21" W	97.42
C14	90°00'00"	25.00	25.00	39.27	N 36°58'28" W	35.36
C15	13°09'46"	212.50	24.52	48.82	N 01°26'39" E	48.71
C16	144°16'47"	52.50	162.93	132.20	N 77°16'38" W	99.94
C17	21°31'50"	212.50	40.40	79.85	S 19°49'04" W	79.38
C18	88°58'23"	25.00	24.56	38.82	S 53°32'20" W	35.04
C19	34°08'19"	125.00	38.38	74.48	N 64°54'19" W	73.38
C20	84°15'39"	25.00	22.61	36.77	N 05°42'20" W	33.54
C21	05°50'31"	475.00	24.24	48.43	N 33°30'14" E	48.41
C22	91°32'55"	25.00	25.69	39.95	N 36°12'01" W	35.83
C23	21°00'32"	182.50	33.84	66.92	N 20°04'43" E	66.54
C24	144°16'47"	22.50	69.83	56.66	S 77°16'38" E	42.83
C25	13°09'46"	182.50	21.06	41.93	S 01°26'39" W	41.83
C26	90°00'00"	25.00	25.00	39.27	S 53°01'32" W	35.36
C27	90°00'00"	25.00	25.00	39.27	N 53°01'32" E	35.36
C28	13°09'46"	475.00	54.80	109.12	S 88°33'21" E	108.88
C29	90°00'00"	25.00	25.00	39.27	S 50°08'14" E	35.36
C30	04°12'46"	675.00	24.83	49.63	S 07°14'37" E	49.62
C31	09°59'31"	425.00	37.15	74.12	S 04°21'15" E	74.02
C32	09°59'31"	475.00	41.52	82.84	N 04°21'15" W	82.73
C32	04°12'46"	625.00	22.99	45.95	N 07°14'37" W	45.94

LOT TABLE

NAME	SQUARE FEET	ACRES									
139	11839.72	0.27	166	8710.04	0.20	177	7656.12	0.17	213	7896.28	0.17
140	9136.26	0.21	167	6760.00	0.16	178	11253.75	0.26	214	6973.85	0.16
141	11028.70	0.25	168	8053.65	0.18	179	8974.36	0.20	215	6325.42	0.16
142	11078.53	0.25	169	11307.72	0.27	180	7889.05	0.18	216	6240.14	0.14
143	8575.87	0.20	170	10705.91	0.25	181	8423.58	0.18	217	6742.89	0.16
144	9221.82	0.21	171	8640.00	0.18	182	6477.19	0.16	218	7556.87	0.17
145	7433.68	0.17	172	6759.84	0.16	183	6502.20	0.16	219	13152.16	0.30
146	6760.00	0.16	173	6759.82	0.16	184	6454.95	0.16			
147	14759.11	0.34	174	9225.59	0.21	185	6301.68	0.16			
148	15032.74	0.35	175	8575.80	0.18	186	6240.04	0.16			
149	13894.01	0.32	176	7141.53	0.16	187	6240.04	0.16			



Scale 1" = 60'
Phase 2-A Area = 10.73 Acres

Developer

Green Trails, LLC
Contact: Rick Deckbar
2925 Berry Hill Dr, Ste A
Nashville, TN 37204
Phone: (615) 395-4513

Engineer

Dewey-Estes Engineering
Contact: Kevin Estes, PE
2925 Berry Hill Drive, Ste B
Nashville, TN 37204
Phone: (615) 401-9956
E-mail: kestes@dewey-estes.com

Flood Note

This property does NOT lie in a Flood Hazard Area as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.

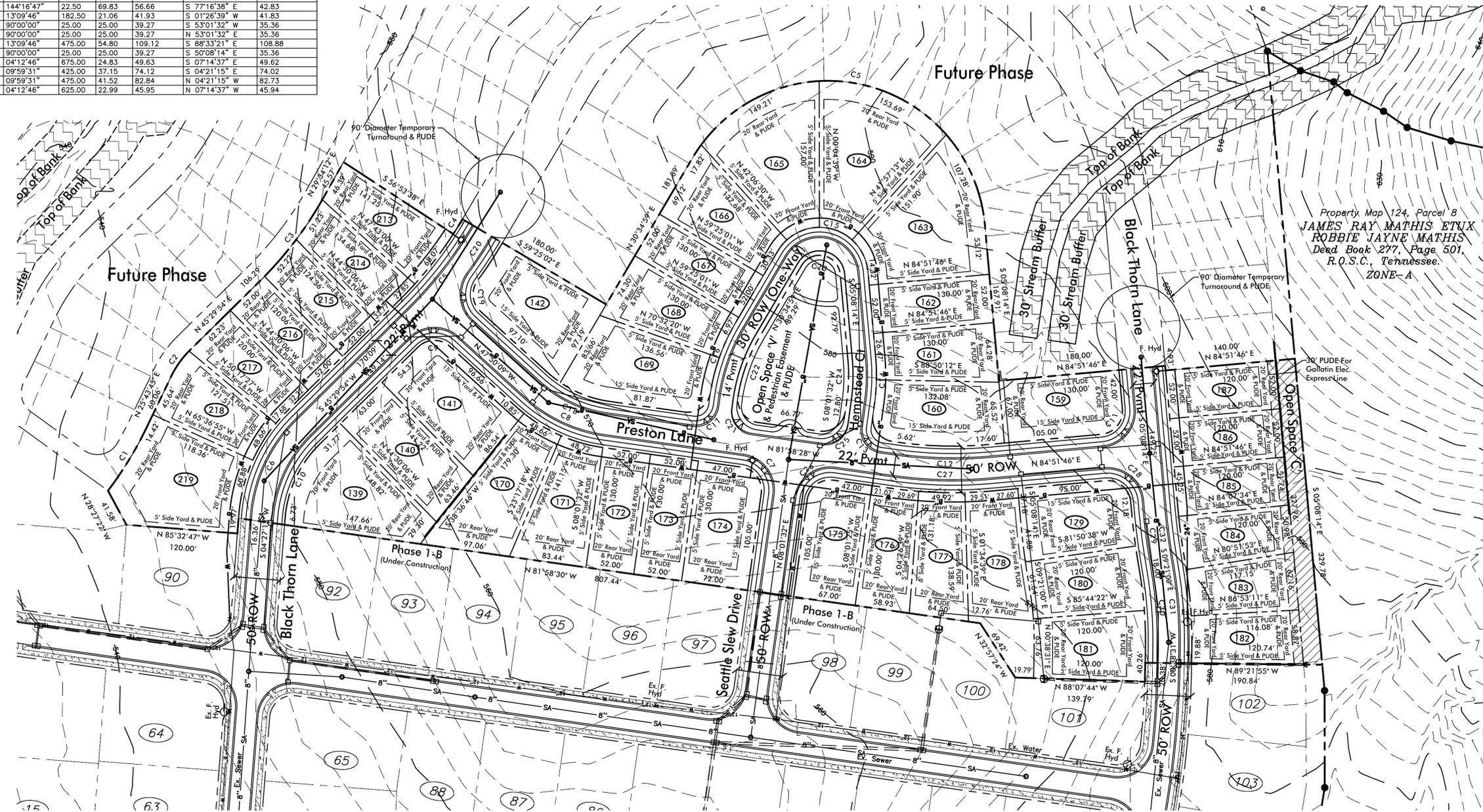
Benchmark

Located at the NE Corner of Phase 1-B.
Iron Rod Found, No Cap in Fence.
NGVD 29 Elevation = 583.65'

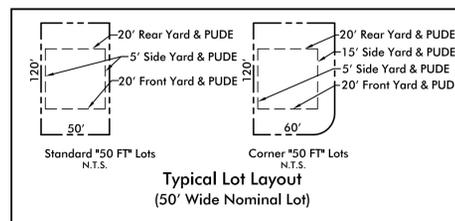
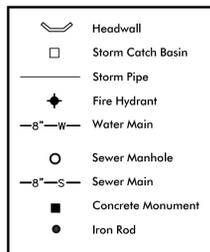
Revisions:

Drawing Notes:

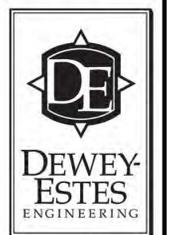
Date: September 11, 2014



Property Map 124, Parcel 8
JAMES RAY MATHIS ETUX
ROBBIE JAYNE MATHIS
Dead Book 277, Page 501,
R.O.S.C., Tennessee.
ZONE-A



Carelton
Phase 2-A
Being Parcels 7.01 and 7.02 on Tax Map 124
Gallatin, Sumner County, Tennessee



Preliminary Plat

Job No. 12017

C1.0

ITEM 9

GMRPC Resolution No. 2014-83

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A SITE PLAN TO CONSTRUCT A 20,575 SQUARE FOOT EXECUTIVE OFFICE BUILDING FOR GKN HOEGANAES CORPORATION CONTAINING 76.735 (+/-) ACRES, ZONED INDUSTRIAL GENERAL (IG), LOCATED AT 1315 AIRPORT ROAD. (PC0335-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Site Plan submitted by the applicant, Rogers Engineering Group, at its regular meeting on September 22, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-7-201(a), 13-4-310, and G.Z.O., § 15.03.020:

1. The proposed Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance.
2. The proposed Site Plan is consistent with the purpose and intent of the Industrial General (IG) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning District.
3. Once completed, the proposed Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Pedestrian and Bicycle Standards (G.Z.O., Section 13.10), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), Flood Prevention and Protection Regulations (G.Z.O., Section 10.03) and the Landscaping Requirements (Section 13.05).

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approve the Site Plan for GKN Hoeganaes Executive Office Building, consisting of eleven (11) sheets, prepared by Rogers Engineering Group of Gallatin, TN with Project No.14-025 dated August 27, 2014 with a final revision date of September 11, 2014, with the following conditions:

ITEM 9

1. Provide plan and/or details describing construction measures to be taken for handling water generated during well drilling for the Geothermal Field to prevent erosion and control sedimentation.
2. Submit a detailed sign package for the wall mounted signs for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.
3. Submit a site surety for site improvements per Article 15.00 *Administration and Enforcement*, Section 15.03.080, *Surety Required*, of the Gallatin Zoning Ordinance in an amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.
4. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 09/22/2014

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 9

PLANNING DEPARTMENT STAFF REPORT

Site Plan for GKN Hoeganaes Executive Office Building

(PC0335-14)

1315 Airport Road

Date: September 17, 2014

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A SITE PLAN TO CONSTRUCT A 20,575 SQUARE FOOT EXECUTIVE OFFICE BUILDING FOR GKN HOEGANAES CORPORATION CONTAINING 76.735 (+/-) ACRES, ZONED INDUSTRIAL GENERAL (IG), LOCATED AT 1315 AIRPORT ROAD.

OWNER: GKN HOEGANAES CORPORATION

APPLICANT: ROGERS ENGINEERING GROUP

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS

STAFF CONTACT: ROBERT J. KALISZ

PLANNING COMMISSION DATE: SEPTEMBER 22, 2014

PROPERTY OVERVIEW: The owner and applicant is requesting approval of a Site Plan to construct a 20,575 square foot executive office building for GKN Hoeganaes Corporation containing 76.735 (+/-) acres, zoned Industrial General (IG), and located at 1315 Airport Road. Extensive Manufacturing and offices are a permitted use in the IG zone district. (Attachment 9-1)

CASE BACKGROUND:

Previous Approvals

The Hoeganaes Facility was established in the City of Gallatin as a powdered metal manufacturer in 1980. Since then the facility has been renovated and expanded many times over the years. Listed below are the most recent additions to the facility and site.

On November 28, 2011, the Planning Commission approved a Site Plan for GKN Hoeganaes Corporation (PC9896-11) to add a 5,997 (+/-) square foot refractory storage facility and a 1,291 square foot locker room to the existing facility.

On May 30, 2013 Planning Staff approved an In-House Site Plan for GKN Hoeganaes Corporation (PC0138-13) to construct an additional 70 parking spaces to the existing parking area located along Airport Road.

DISCUSSION:

Proposed Development

The owner and applicant is requesting approval of a Site Plan to construct a 20,575 square foot executive office building on the front of the property (approximately 2.5 acres of the 76.735 acre parcel) located along Airport Road. With the Site Plan, the owner and applicant is removing the existing parking area located in front of the existing office building and connecting the proposed office building to the existing office building via a hallway. In addition a new parking area will be installed with additional parking spaces in front of the proposed office building and add a weight scale to be located on the east side of the proposed office building on an existing paved driveway connecting to Airport Road. (Attachment 9-2)

Floodplain and Floodway

No portion of this property is located in a special flood hazard area.

Buildings and Architectural Elevations

Section 13.08.010.A of the Gallatin Zoning Ordinance does not require brick or stone for exterior building materials in an Industrial General (IG) zoned district. The building design and exterior facade building materials presents a vibrant and contemporary aesthetic appearance to the proposed executive office building.

Although not required by code, the applicant submitted architectural elevations and building materials for the proposed office building. The proposed architectural elevation shows a one-story rectangular design facing Airport Road. The three (3) main components of building facade materials on the overall structure is Brick Masonry (utility size, running bond), Stone Masonry (“Arriscraft” type stone veneer), and Aluminum Composite Panels (“Alucabond” type metal panels).

The proposed office building roof is a flat roof approximately 16 feet high with additional four (4) foot high parapet walls on all four (4) sides. The existing office building will not have parapet walls installed. The existing office building facades will be re-faced with the same building materials to match the proposed office building facades.

The front elevation (North – Airport Road) is characterized by a modern design with large amount of glass with a “Rotunda” as the main entrance to enhance the company sign and logo set above in aluminum composite panels. A raised brick patio entrance with hand railings will be installed for the existing office building to compliment the “Rotunda” entrance. The elevation consists of large windows set in aluminum frames with the remaining elevation consisting mainly of brick and stone with aluminum composite panels atop the two (2) entrances. The existing office building will be modified to match the architectural style of the proposed building.

The remaining elevations compliment the modern design by following with same equilibrium of windows and brick and stone combination as to the front elevation with additional covered side and rear entrances to the proposed office building.

The overall percentage of brick and stone for the proposed and existing office buildings is approximately 93 percent with approximately seven (7) percent of aluminum composite panels excluding the storefront glass set in aluminum frames.

The Planning Department shall inspect the exterior building facade materials prior to the installation of the exterior building facade materials.

Dumpster Enclosure

There is currently no proposed dumpster enclosure submitted with the site plan. The owner and applicant have indicated that the proposed office building will use the existing waste collection facility. The owner and applicant shall be aware, that if a dumpster enclosure is constructed in the future, the dumpster enclosure shall match the color scheme of the building required by G.Z.O. Section 13.08 and satisfy Section 14-14, Nonresidential Establishment Containers, Storage, and Requirements of the Gallatin Municipal Code.

Bufferyard and Landscaping

The proposed office building and new parking area is located along the northern property line adjacent to Airport Road. The adjoining property across Airport Road is zoned Industrial General (IG). No bufferyard is required in the IG zoned district. The landscaping plan indicates the required landscaping for the parking area and indicates additional landscaping located around the proposed and existing office buildings.

The owner and applicant indicate that the submitted landscaping plan meet requirements of the City of Gallatin and it is the intention of the owner to have a professional landscape plan prepared for this project. The owner and applicant indicated that the professional landscape plan complying with the minimum standards and concept of the submitted landscaping plan shall be submitted to the City of Gallatin Planning Department for review and approval.

Drainage and Retention

The owner and applicant have shown the stormwater infrastructure and drainage areas on the site plan. The site layout channels the majority of the stormwater runoff from the parking area to the north into an existing and modified stormwater drainage area which drains east to an existing storm sewer. A small portion of stormwater runoff from the parking area will be channeled to the east into an existing drainage area. The site plan shows additional stormwater runoff from the east side of the proposed office building into an existing drainage area located to the southeast and into an existing storm sewer. The remaining stormwater runoff from the proposed office building is graded to continue to the southwest into the existing stormwater manhole drop inlet.

Mechanical Equipment Screening

The mechanical equipment units will be located on top of the building. All mechanical equipment units located on top of buildings shall be screened from view. The applicant has noted that the architectural elevations show a four (4) foot parapet wall around the perimeter of the buildings to be used as screening for the mechanical equipment.

Parking

Parking requirements are based on the use of the property. The Extensive Manufacturing use refers to Schedule 'A' which requires one (1) space per 300 square feet of office area and one (1) space per 1,000 square feet of manufacturing area. The site plan and previous approved site plans based the parking capacity on total employees on the largest shift of operation, one (1) space per employee on largest shift. The site plan indicates 190 day shift employees, including office employees, and 70 night shift employees for a total of 240

employees. The site plan indicates 300 estimated total employees for future growth. Based on this calculation, 190 regular parking spaces are required. The site plan indicates 302 total parking spaces, including nine (9) disabled permit parking spaces, minimum of two (2) being designated as van accessible, and thirteen (13) motorcycle only parking spaces.

The site plan indicates an additional 21 parking spaces to GKN Hoeganaes manufacturing site from the previous approved parking lot addition site plan (PC0138-14). The parking area will remain and be provided to the employees while the site is under construction.

Access

The GKN Hoeganaes property has five (5) existing entrances to the site from Airport Road. Three (3) of the entrances are gated and access the manufacturing plant. The remaining two (2) entrances are to the existing parking area located on the northwest corner of the property. No additional entrances are proposed to access the site. The revised parking area located in front of the proposed office building will enter from the main entrance at the existing location.

Photometric Plan and Lighting Fixtures

The owner and applicant has submitted a detailed photometric plan (plan sheet C 7.0). This plan illustrates two (2) light pole fixtures (with two (2) soft square lighting attached to each light pole fixture) for the proposed parking area. The photometric plan submitted by the owner and applicant complies with the City of Gallatin Zoning Ordinance, Section 13.02.08.

Signage

The owner and applicant submitted a preliminary design with the architectural elevations illustrating the proposed wall mounted signs located on the front facade of the proposed building and existing building. The owner and applicant describes the proposed wall mounted signs to be brushed aluminum with colored acrylic logo and letters to match the existing logo colors. The logo "GKN" on the main entrance of the proposed building will be 30" x 144" (30 square feet) and the word "Hoeganaes" will be 20" x 144" (20 square feet). The existing logo "GKN", 19" x 90" (11.88 square feet), will be removed to allow the existing building to be re-faced with the new proposed building materials and will be re-installed on the existing building. In addition to the existing logo the word "Hoeganaes", 9" x 63" (3.94 square feet), will be installed next to the logo on the existing building.

The preliminary design for the wall mounted signs submitted by the owner and applicant complies with the City of Gallatin Zoning Ordinance, Section 13.07 Sign Regulations.

The owner and applicant shall submit a detailed sign package illustrating the wall mounted signs for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.

Site Surety

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement, Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance in an amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

Planning Department Comments

The Planning Department reviewed and commented on the Site Plan. The applicant satisfactorily addressed the Planning Department comments; however the applicant shall amend the Site Plan and provide documents as indicated below:

1. Submit a detailed sign package for the wall mounted signs for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.
2. Submit a site surety for site improvements per Article 15.00 Administration and Enforcement, Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance in an amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

Engineering Division Comments

The Engineering Division reviewed and commented on the Site Plan. Most of the Engineering Division comments have been satisfied however, the applicant shall amend the Site Plan and provide documents as indicated below:

1. Provide plan and/or details describing construction measures to be taken for handling water generated during well drilling for the Geothermal Field to prevent erosion and control sedimentation.
2. TDOT is currently working on a State Industrial Access project to widen Airport Road in the vicinity of the proposed site plan. Additional right-of-way widths may be required.

Gallatin Public Utilities Comments

This development is located in the Gallatin Public Utilities District area. The Gallatin Public Utilities Department reviewed and commented on the Site Plan. The public utilities services will be connected from the existing public utilities services.

Other Departmental Comments

Other City Departments reviewed and commented on the Site Plan. The Other Departmental Comments have been satisfied.

Findings:

1. The proposed Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance.
2. The proposed Site Plan is consistent with the purpose and intent of the Industrial General (IG) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning District.
3. Once completed, the proposed Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Pedestrian and Bicycle Standards (G.Z.O., Section

13.10), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), Flood Prevention and Protection Regulations (G.Z.O., Section 10.03) and the Landscaping Requirements (Section 13.05).

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-83, Site Plan for GKN Hoeganaes Executive Office Building, consisting of eleven (11) sheets, prepared by Rogers Engineering Group of Gallatin, TN with Project No.14-025 dated August 27, 2014 with a final revision date of September 11, 2014, and Architectural Elevations and Building Materials, consisting of two (2) sheets, prepared by Exoterra Architects of Joelton, TN dated September 11, 2014 with the following conditions:

1. Provide plan and/or details describing construction measures to be taken for handling water generated during well drilling to prevent erosion and control sedimentation.
2. Submit a detailed sign package for the wall mounted signs for review and approval by the Planning Department. A sign permit shall be required prior to the construction of any signage on site.
3. Submit a site surety for site improvements per Article 15.00 Administration and Enforcement, Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance in an amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.
4. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

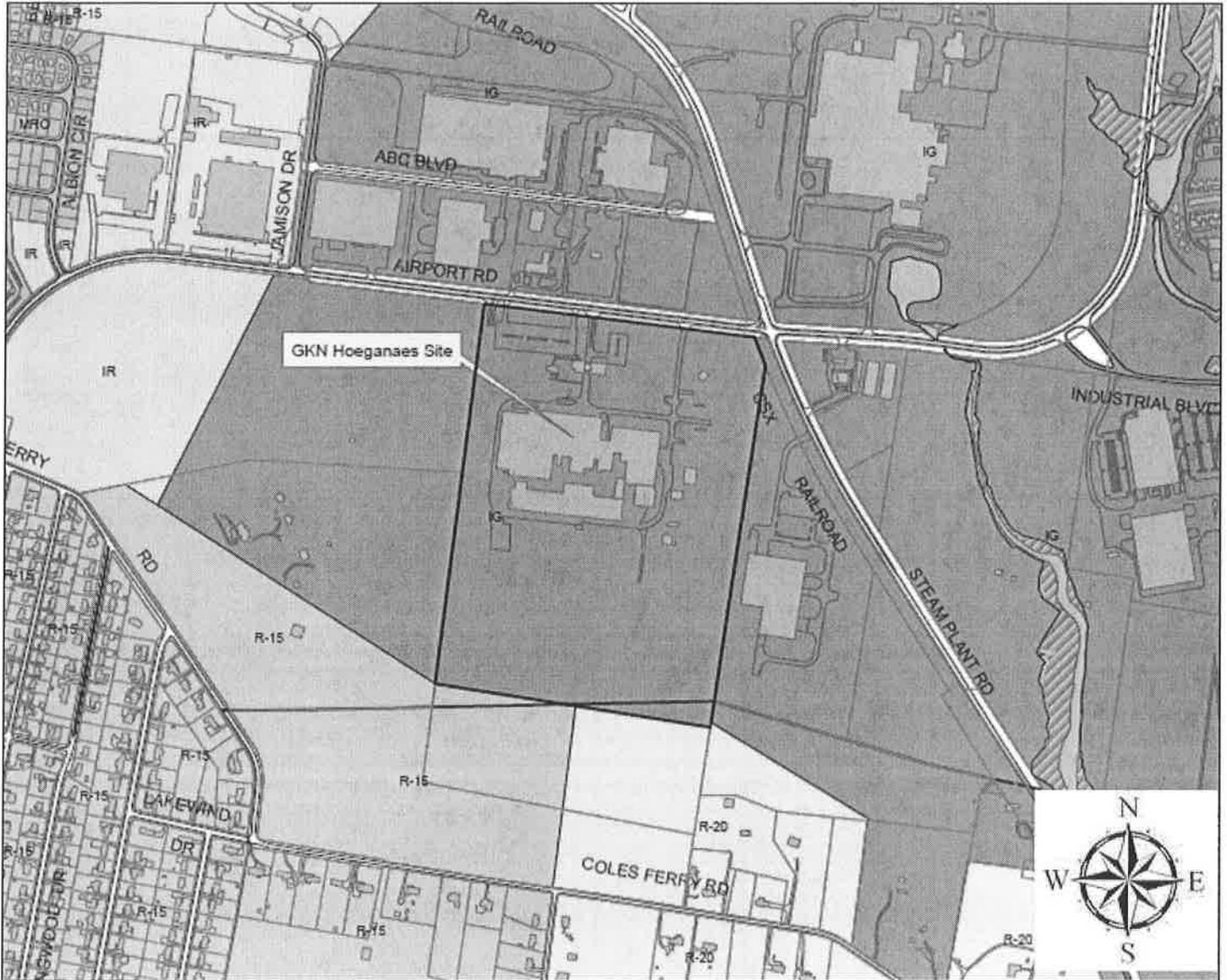
ATTACHMENTS

Attachment 9-1 Location Map

Attachment 9-2 GKN Hoeganaes Executive Office Building Site Plan

Attachment 9-3 Architectural Elevations

GKN HOEGANAES EXECUTIVE OFFICE BUILDING
LOCATION MAP



1315 AIRPORT ROAD
TAX MAP #127//061.00
ZONED IG
PC0335-14

ATTACHMENT 9-1

GENERAL NOTES:

- THIS CONSTRUCTION PROJECT SHALL AT ALL TIMES AND IN ALL SITUATIONS PROCEED IN A MANNER CONSISTENT WITH THE CITY OF GALLATIN SUBDIVISION REGULATIONS, AND ALL OTHER APPLICABLE RULES, REGULATIONS AND LAWS OF ANY OTHER AUTHORITY WITH JURISDICTION TO GOVERN SUCH CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR UNDERTAKING SUCH CONSTRUCTION ACTIVITIES TO INSURE FULL COMPLIANCE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP A COPY OF THE CURRENT CITY OF GALLATIN SUBDIVISION REGULATIONS (INCLUDING SPECIFICATIONS FOR PUBLIC WORKS PROJECTS) ON THE CONSTRUCTION PROJECT AT ALL TIMES, AND REFERENCE SHALL BE MADE TO THEM FOR PROPER MATERIALS, METHODS, ETC. REGARDING CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL ELEVATIONS, DISTANCES AND DIRECTIONS BEFORE STARTING WORK ON ANY SEGMENT OF THE PROJECT. IF THE CONTRACTOR HAS ANY QUESTIONS OR SUSPECTS THERE IS AN ERROR OR OMISSION WITHIN THE PLANS OR CONSTRUCTION STAKES, HE SHALL NOT PROCEED UNTIL THE ENGINEER OR HIS REPRESENTATIVE HAS BEEN FULLY NOTIFIED, HAS RESPONDED, AND HAS SPECIFICALLY STATED THE CONTRACTOR MAY PROCEED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SURVEYING REFERENCE POINTS, HUBS, AND LOT CORNERS DURING THE CONSTRUCTION PROCESS AND SHALL BEAR THE EXPENSE FOR REPLACING ANY SUCH OBJECTS DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY NOTICES, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES ASSOCIATED WITH SUCCESSFULLY COMPLETING THE CONSTRUCTION PROCESS, INCLUDING ALL PUBLIC INSPECTION FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THIS OR ADJACENT PROPERTY, AND FOR INJURY TO ANY PERSON OCCURRING DURING OR AS A RESULT OF THE CONSTRUCTION PROCESS, WHETHER SUCH DAMAGE OR INJURY RESULTS FROM ANY ACTION OR LACK OF ACTION BY THE CONTRACTOR OR ANY OF THE COMPANY'S EMPLOYEES, SUBCONTRACTORS, OR SUPPLIERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY SAFETY DEVICES AND FOLLOW ALL ADVISABLE SAFETY PRACTICES NECESSARY TO INSURE THE SAFETY OF ALL PERSONS DURING THE CONSTRUCTION PROCESS. NEITHER THE OWNER NOR THE ENGINEER ASSUME ANY LIABILITY FOR MATTERS RELATING TO SAFETY AT THE CONSTRUCTION SITE.
- ANY DAMAGE TO IMPROVEMENTS PRIOR TO FINAL PROJECT ACCEPTANCE BY THE CITY OF GALLATIN OR THE OWNER SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MEET CURRENT SPECIFICATIONS. ALL EXPENSES ASSOCIATED WITH SUCH REPAIR OR REPLACEMENT SHALL BE PAID BY THE APPROPRIATE CONTRACTOR.
- LOCATION OF EXISTING UTILITIES INDICATED ON THESE PLANS MUST BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY SUCH UTILITIES. THE CONTRACTOR IS FURTHER RESPONSIBLE FOR LOCATING ALL UTILITIES THAT MAY BE IN EXISTENCE ON THE PROJECT SITE BUT WHICH ARE UNKNOWN TO THE ENGINEER. ALL UTILITY LOCATION ACTIVITIES SHALL BE AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT (AS DIRECTED) TO ANY UTILITIES DAMAGED DURING CONSTRUCTION. BEFORE ANY EXCAVATION HAS BEGUN ON THIS SITE CALL 1-800-351-1111 FOR UNDERGROUND UTILITY LOCATIONS.
- EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN ACCORDANCE WITH THE TENNESSEE GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES STORM WATER DISCHARGE. INSPECTION AND MAINTENANCE SHALL BE PERFORMED BY THE CONTRACTOR ON A REGULAR BASIS IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN.
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY BLUE RIDGE SURVEYING, DRAWING DATED 7-31-2014.
- A TITLE SEARCH NOR TITLE POLICY WAS PROVIDED. THEREFORE, THIS SURVEY IS SUBJECTED TO THE FINDINGS OF THE TITLE SEARCH. ONLY DOCUMENTS NOTED HEREON WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH.
- ELEVATIONS AND CONTOURS WERE DERIVED USING DIGITAL TERRAIN MODELING.
- BEARINGS SHOWN ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 1983).
- A REVIEW OF THE F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANELS NO. 471650A031G EFFECTIVE DATE APRIL 17, 2012, SHOWS THIS PROPERTY TO BE IN ZONE X AND NOT A SPECIAL FLOOD HAZARD AREA.
- SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SITE PLAN.
- ALL BUILDINGS, SURFACE IMPROVEMENTS, AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THIS SITE ARE NOT NECESSARILY SHOWN HEREON.
- NO GEOTECHNICAL ENGINEERING REPORT WAS PROVIDED FOR THE PREPARATION OF THIS SITE PLAN.
- PERFORMANCE STANDARD COMPLIANCE
ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
- INDUSTRIAL PRETREATMENT
THE PROPOSED PROJECT SHALL COMPLY WITH ALL APPLICABLE CROSS-CONNECTION CONTROL AND SEWER USE REGULATIONS.
- SIGNAGE
NO SIGNAGE IS BEING PROPOSED AT THIS TIME. ANY FUTURE SIGNAGE MUST BE SUBMITTED, REVIEWED, AND APPROVED PRIOR TO INSTALLATION.
- PHOTOMETRIC PLAN
OUTDOOR LIGHTING SHALL COMPLY WITH THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.80.
- TRASH COLLECTION
PROPOSED ADDITIONS WILL UTILIZE THE EXISTING WASTE COLLECTION FACILITIES.
- HVAC UNITS
THIS FACILITY WILL UTILIZE GEOTHERMAL HEATING AND AIR. ANY AIR HANDLING UNITS NEEDED WILL BE INSTALLED ON THE ROOF OR THE REAR OF THE FACILITY. PROPOSED PARAPET WALL TO SCREEN ROOF UNITS. ANY UNITS ON THE GROUND TO BE SCREENED IN ACCORDANCE WITH THE CITY OF GALLATIN ZONING ORDINANCE.

BUFFER YARD REQUIREMENTS

- 10 TO 16 NONE REQUIRED
 10 TO R-15 TYPE 50' BUFFER (REQUEST TO LEAVE AS IS)
 10 TO R-20 TYPE 50' BUFFER (REQUEST TO LEAVE AS IS)

PARKING:

EXISTING	
REGULAR SPACES	280 SPACES
MOTORCYCLE ONLY	13 SPACES
HANDICAP ACCESSIBLE SPACES	8 SPACES
TOTAL EXISTING SPACES	281 SPACES
EXISTING SPACES TO BE REMOVED	
REGULAR SPACES	33 SPACES
HANDICAP ACCESSIBLE SPACE	2 SPACES
PROPOSED SPACES TO BE ADDED	
REGULAR SPACES	53 SPACES
HANDICAP ACCESSIBLE SPACES	3 SPACES (2 VAN ACCESSIBLE)
TOTAL PROPOSED SPACES INCLUDING EXISTING	
REGULAR SPACES	280 SPACES
MOTORCYCLE ONLY	13 SPACES
HANDICAP ACCESSIBLE SPACES	8 SPACES
TOTAL SPACES	302 SPACES

PARKING NEEDS:

300 ESTIMATED TOTAL EMPLOYEES
 (150 DAY SHIFT INCLUDING APPROXIMATELY 40 OFFICE EMPLOYEES, 70 NIGHT SHIFT EMPLOYEES). ADDITIONAL PARKING IS NEEDED FOR SHIFT CHANGE AND EXPECTED FUTURE GROWTH.

BENCHMARK:

PROJECT BENCHMARK AT THE NORTHWESTERLY CORNER OF THE PROPERTY.
 ELEVATION 585.90 (NAVD 88)

TEMPORARY BENCHMARK:

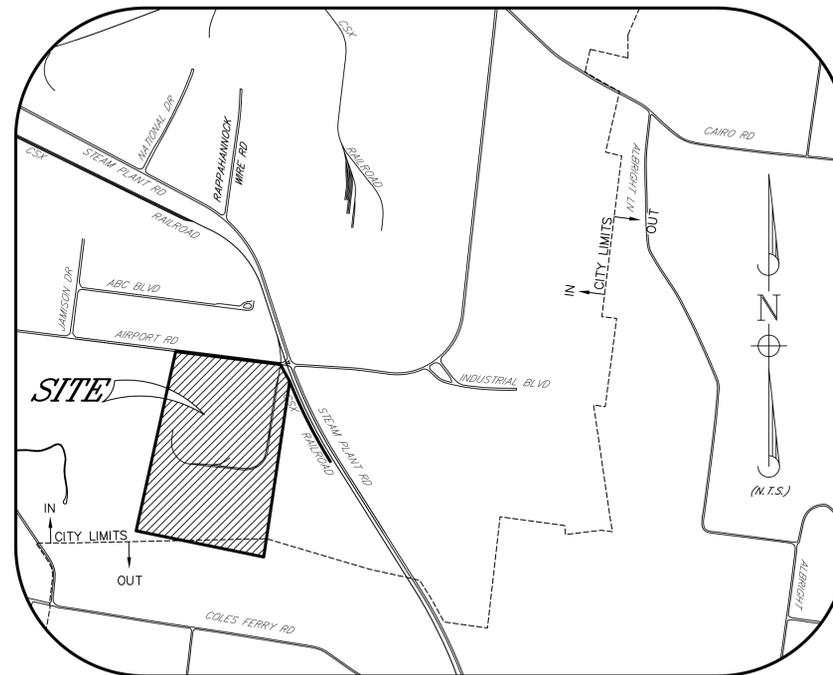
HUB AND TACK SET IN THE SOUTHWESTERLY CORNER OF THE PARKING LOT
 ELEVATION 565.33 (NAVD 88)

ESTIMATED CONSTRUCTION SCHEDULE:

BEGIN OCTOBER 2014
 END JULY 2015

PLAN SHEET INDEX:

DESCRIPTION	SHEET
COVER SHEET	C 1.0
OVERALL SITE	C 2.0
DEMOLITION PLAN	C 3.0
SITE PLAN	C 4.0
GRADING PLAN	C 5.0
LANDSCAPE PLAN	C 6.0
LIGHTING PLAN	C 7.0
DETAILS	C 8.0
EROSION CONTROL PLAN A	C 9.0
EROSION CONTROL PLAN B	C 10.0
EROSION DETAILS	C 11.0



STATEMENT OF FINANCIAL RESPONSIBILITY:

THE OWNER / DEVELOPER, HOEGANAES CORPORATION (SEE ADDRESS THIS SHEET), WILL BE FINANCIALLY RESPONSIBLE FOR THE DEVELOPMENT OF THIS PROJECT.

PROJECT DESCRIPTION:

THIS PROJECT IS TO CONSTRUCT AN APPROXIMATE 20,575 SF EXECUTIVE OFFICE BUILDING WITH REQUIRED PARKING AND OTHER APPURTENANCES AT THE EXISTING MANUFACTURING SITE.

PAVING AND DRAINAGE NOTES:

- DRAINAGE SYSTEM RIP-RAP SHALL BE PLACED IN SUCH A MANNER AS TO ACHIEVE MAXIMUM INTERLOCKING TIGHTNESS.
- DURING CONSTRUCTION EXPOSE THE MINIMUM AREA OF SOIL FOR THE MINIMUM TIME POSSIBLE. CONTROL DUST BY WATERING OR OTHER METHOD APPROVED BY THE CITY OF GALLATIN.
- EROSION SHALL BE CONTROLLED IN ACCORDANCE WITH THE GENERAL ADOPTED PERMIT FOR DISCHARGES OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (PERMIT NO. TN1010000). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTROL EROSION FROM STORM WATER RUNOFF.
- ALL STUMPS, LARGE ROCK, CONCRETE, SCRAP MATERIALS, TRASH AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- COMPACTION REQUIREMENTS FOR ROADWAYS AND PAVEMENT - ALL FILL MATERIAL TO BE PLACED EVENLY AND IN A UNIFORM MANNER AT A MAXIMUM OF 8" LIFTS AND COMPACTED TO 98% STD PROCTOR ON ALL LIFTS. MOISTURE TO BE WITHIN 2% OF OPTIMUM DURING COMPACTION. COMPACTION REQUIREMENTS FOR BUILDING PADS - ALL FILL MATERIAL TO BE PLACED EVENLY AND IN A UNIFORM MANNER AT A MAXIMUM OF 8" LIFTS AND COMPACTED WITH SHEEPSFOOT VIBRATORY COMPACTOR TO 98% STD PROCTOR ON ALL LIFTS. MOISTURE TO BE WITHIN 2% OF OPTIMUM DURING COMPACTION.
- PROJECT BENCHMARK, AS SHOWN ON PLANS
- ALL DRAINAGE PIPE BELOW ROADWAYS TO BE CLASS II RCP (REINFORCED CONCRETE PIPE) WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG.
 DRAINAGE PIPE BELOW PAVED AREAS TO BE:
 (1) CLASS III RCP (REINFORCED CONCRETE PIPE) WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG.
 (2) CMP (CORRUGATED METAL PIPE) WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG.
 DRAINAGE PIPE OUTSIDE OF ROADWAY TO BE:
 (1) CLASS I OR CLASS III RCP WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE NATIVE SOIL COMPACTED.
 (2) OR HDPE (SMOOTH INSIDE BORE) WITH 6" STONE BEDDING AND BACKFILLED TO THE SPRINGLINE WITH PUG IN 4" LIFTS COMPACTED TO 95% STD PROCTOR. PUG THEN TO BE PLACED IN 6" LAYERS AND LIGHTLY TAMPED TO 12" ABOVE THE TOP OF THE PIPE CORRUGATION. REMAINDER OF BACKFILL TO BE NATIVE SOIL COMPACTED.
 (3) CMP WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG TO ONE FOOT ABOVE PIPE THE REMAINDER TO BE NATIVE SOIL COMPACTED.
- ALL DITCHES TO RECEIVE COVER TREATMENT AS SHOWN ON PLANS.
- THE PAVING TRANSITION AT EXISTING STREETS SHALL BE SMOOTH IN BOTH HORIZONTAL AND VERTICAL ALIGNMENT, FIELD ADJUST AS NECESSARY.
- CONTRACTOR SHALL SUBMIT A IDEC NOC AND OBTAIN A LAND DISTURBANCE PERMIT FROM THE CITY OF GALLATIN ENGINEERING DIVISION PRIOR TO GRADING.

PLAN APPROVAL

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY ME AND ARE APPROVED WITH THE EXCEPTION OF SUCH MODIFICATIONS INDICATED BY ME ON THE PLANS.

ENGINEERING DEPARTMENT	DATE
CITY ENGINEER	DATE

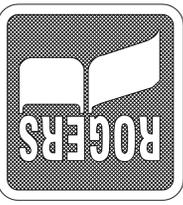
IG BULK AND AREA REGULATIONS		
	ORDINANCE	PROVIDED
MINIMUM LOT AREA	40,000 SF	76,735 ± AC
MINIMUM LOT COVERAGE	50%	11%
MINIMUM BUILDING SETBACK	60 FEET	60 FEET
FRONT YARD	30 FEET	30 FEET
SIDE YARD	15 FEET	15 FEET
REAR YARD	20 FEET	20 FEET
MAXIMUM BUILDING HEIGHT	80 FEET	30 FEET

SITE DATA TABLE	
OWNER / DEVELOPER	HOEGANAES CORPORATION 1315 AIRPORT ROAD GALLATIN, TN 37066
SITE LOCATION	1315 AIRPORT ROAD
TAX MAP	127
PARCELS	061.00; DB 398; PG 41 R.O.S.C.TN
ACREAGE	76.735 ±
CURRENT ZONE	IG
EXISTING USE	EXTENSIVE MANUFACTURING
PROPOSED USE	EXTENSIVE MANUFACTURING

UTILITY OWNERS			
WATER	GALLATIN PUBLIC UTILITIES 239 HANCOCK STREET GALLATIN, TN 37066 CONTACT: DAVID GREGORY (615) 451-5922	TELEPHONE	AT&T 2501 PARK PLACE NASHVILLE, TN 37203 CONTACT: (615) 344-5288
SEWER			
GAS			
ELECTRIC	GALLATIN DEPARTMENT OF ELECTRICITY 135 JONES STREET GALLATIN, TN 37066 CONTACT: MIKE TAYLOR (615) 452-5152	CABLE	COMCAST 840 SOUTH WESTLAND AVENUE GALLATIN, TN 37066 CONTACT: (615) 244-5900

**GKN HOEGANAES
 EXECUTIVE OFFICE BUILDING
 SITE PLAN
 1315 AIRPORT ROAD
 CITY OF GALLATIN, 3RD CIVIL DISTRICT,
 SUMNER COUNTY, TENNESSEE**

ROGERS ENGINEERING GROUP
 11418 WEST MAIN STREET
 Gallatin, Tennessee 37066
 TEL: 615-230-7269 FAX: 615-230-7271
 richard.jones@rogersengr.com



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 TENNESSEE ONE CALL
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**GKN HOEGANAES
 EXECUTIVE OFFICE BUILDING
 SITE PLAN
 1315 AIRPORT ROAD
 CITY OF GALLATIN, 3RD CIVIL DISTRICT
 SUMNER COUNTY, TENNESSEE**



SHEET NO.
C 1.0

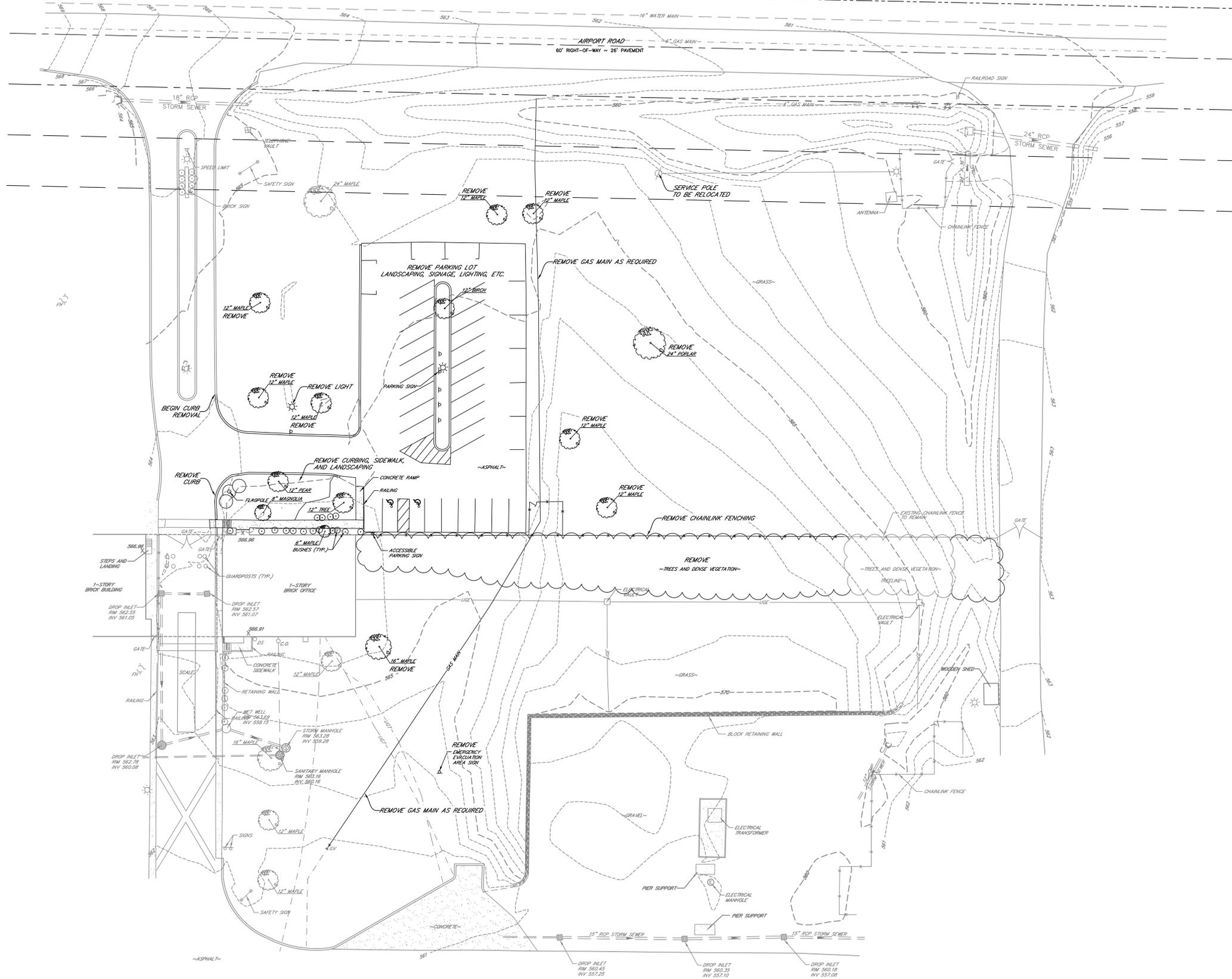
REVISIONS	
REVISION 1: 11 SEPTEMBER 2014 PER	
PROJECT COMMENTS DATED 9-5-2014	
PROJECT #	14-025
DATE	27 AUGUST 2014

LEGEND

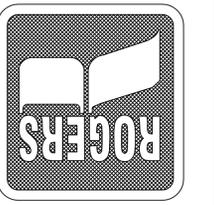
- CONCRETE MONUMENT (OLD)
- CONCRETE MONUMENT (NEW)
- IRON ROD (OLD)
- IRON ROD (NEW)
- ⊕ BENCHMARK
- BOUNDARY LINE
- BUFFER
- SETBACK / YARD
- PLIDE
- EXTRUDED CURB
- SS SANITARY SEWER LINE
- W WATER LINE
- STORM SEWER
- G GAS LINE
- OHE OVERHEAD UTILITY LINE
- UGT UNDERGROUND UTILITY LINE
- X X X FENCE
- TREE LINE
- UTILITY POLE
- UTILITY POLE W/ LIGHT
- GUY ANCHOR
- ⊕ TELEPHONE MANHOLE
- ELECTRIC JUNCTION BOX
- ⊕ CABLE PEDESTAL
- ⊕ SANITARY SEWER MANHOLE
- ⊕ WATER METER
- WATER VALVE
- BLOW OFF VALVE
- ⊕ AIR RELEASE ASSEMBLY
- ⊕ FIRE HYDRANT
- ⊕ GAS METER
- ⊕ GAS VALVE
- ⊕ A/C PAD

TAX MAP 127
(06.3.04)
METRO READY MIX
D.B. 955, PAGE 810 R.O.S.C., TN
ZONED IG

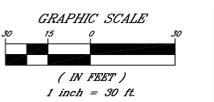
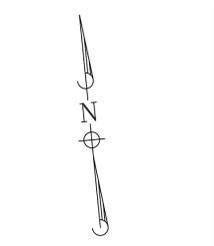
TAX MAP 127
(06.3.00)
ABC GROUP PROPERTIES, INC
R.B. 3840, PAGE 446 R.O.S.C., TN
ZONED IG



ROGERS ENGINEERING GROUP
1148 WEST MAIN STREET
Gallatin, Tennessee 37066
TEL: 615-230-7269 FAX: 615-230-7271
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GKN HOEGANAES
EXECUTIVE OFFICE BUILDING
DEMOLITION PLAN
1315 AIRPORT ROAD
CITY OF GALLATIN, 3RD CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE



SHEET NO.
C 3.0

REVISIONS
REVISION 1: 11 SEPTEMBER 2014 PER
PROJECT COMMENTS DATED 9-5-2014

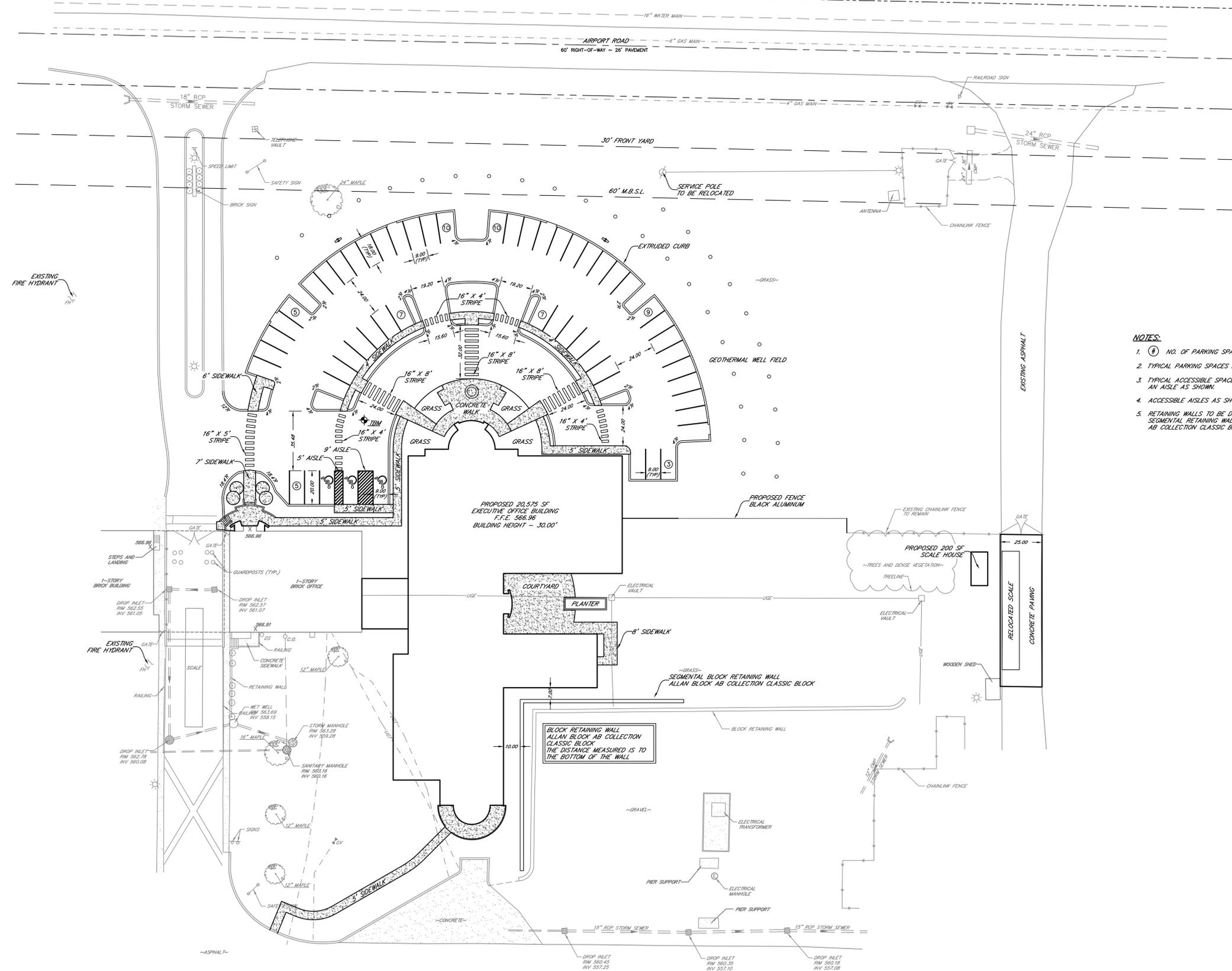
PROJECT #	14-025
DATE	27 AUGUST 2014

LEGEND

- CONCRETE MONUMENT (OLD)
- CONCRETE MONUMENT (NEW)
- IRON ROD (OLD)
- IRON ROD (NEW)
- ⊕ BENCHMARK
- - - BOUNDARY LINE
- - - BUFFER
- - - SETBACK / YARD
- - - PLIDE
- - - EXTRUDED CURB
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- - - STORM SEWER
- - - G GAS LINE
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- FIRE HYDRANT
- GAS METER
- GAS VALVE
- ⊗ A/C PAD

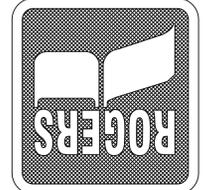
TAX MAP 127
(06.3.04)
METRO READY MIX
D.B. 955, PAGE 810 R.O.S.C., TN
ZONED 1G

TAX MAP 127
(06.3.00)
ABC GROUP PROPERTIES, INC
R.B. 3840, PAGE 446 R.O.S.C., TN
ZONED 1G

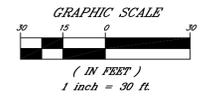


NOTES:

1. ① NO. OF PARKING SPACES
2. TYPICAL PARKING SPACES ARE 9' X 18'
3. TYPICAL ACCESSIBLE SPACES ARE 9' X 20' WITH AN AISLE AS SHOWN.
4. ACCESSIBLE AISLES AS SHOWN.
5. RETAINING WALLS TO BE DESIGNED BY OTHERS. SEGMENTAL RETAINING WALL TO BE ALLAN BLOCK AB COLLECTION CLASSIC BLOCK OR EQUAL.



ROGERS ENGINEERING GROUP
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Gallatin, Tennessee 37066
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GKN HOEGANAES
EXECUTIVE OFFICE BUILDING
SITE PLAN
1315 AIRPORT ROAD
CITY OF GALLATIN, 3RD CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE



SHEET NO.
C 4.0

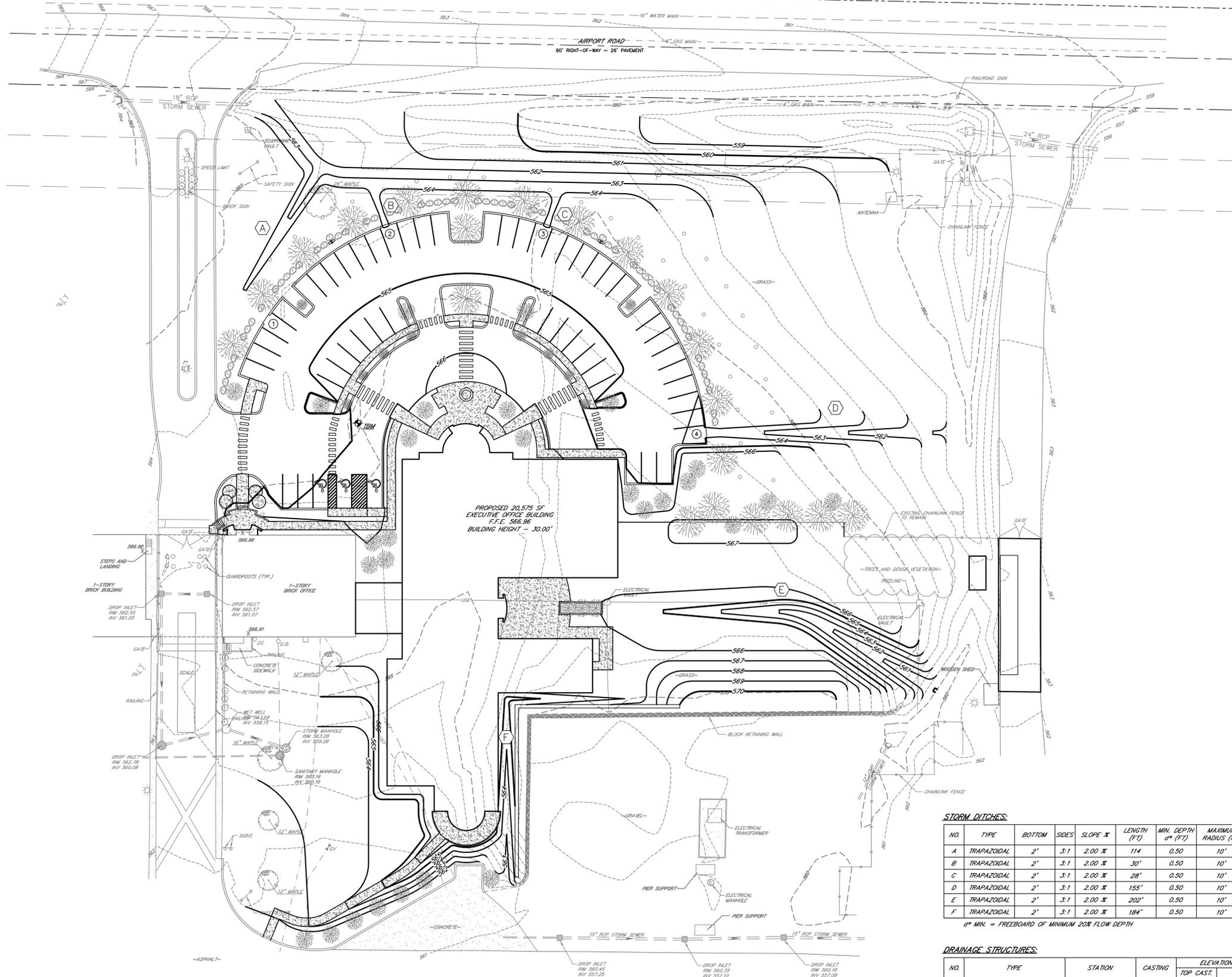
REVISIONS	
REVISION 1: 11 SEPTEMBER 2014 PER	
PROJECT COMMENTS DATED 9-5-2014	
PROJECT #	14-025
DATE	27 AUGUST 2014

LEGEND

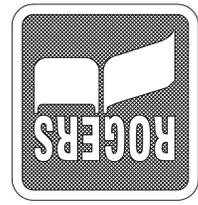
□	CONCRETE MONUMENT (OLD)
□	CONCRETE MONUMENT (NEW)
○	IRON ROD (OLD)
●	IRON ROD (NEW)
+	BENCHMARK
---	BOUNDARY LINE
---	BUFFER
---	SETBACK / YARD
---	PLUDE
---	EXTRUDED CURB
SS	SANITARY SEWER LINE
W	WATER LINE
---	STORM SEWER
G	GAS LINE
OHE	OVERHEAD UTILITY LINE
UGT	UNDERGROUND UTILITY LINE
X X X	FENCE
~	TREE LINE
○	UTILITY POLE
○	UTILITY POLE W/ LIGHT
→	GUY ANCHOR
⊕	TELEPHONE MANHOLE
⊕	ELECTRIC JUNCTION BOX
⊕	CABLE PEDESTAL
⊕	SANITARY SEWER MANHOLE
⊕	WATER METER
⊕	WATER VALVE
⊕	BLOW OFF VALVE
⊕	AIR RELEASE ASSEMBLY
⊕	FIRE HYDRANT
⊕	GAS METER
⊕	GAS VALVE
⊕	A/C PAD

TAX MAP 127
(06.3.04)
METRO READY MIX
D.B. 955, PAGE 810 R.O.S.C., TN
ZONED IG

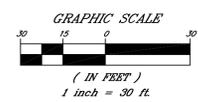
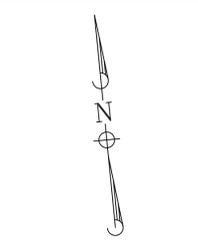
TAX MAP 127
(06.3.00)
ABC GROUP PROPERTIES, INC
R.B. 3840, PAGE 446 R.O.S.C., TN
ZONED IG



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GKN HOEGANAËS
EXECUTIVE OFFICE BUILDING
GRADING PLAN
1315 AIRPORT ROAD
CITY OF GALLATIN, 3RD CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE



SHEET NO.
C 5.0

REVISIONS

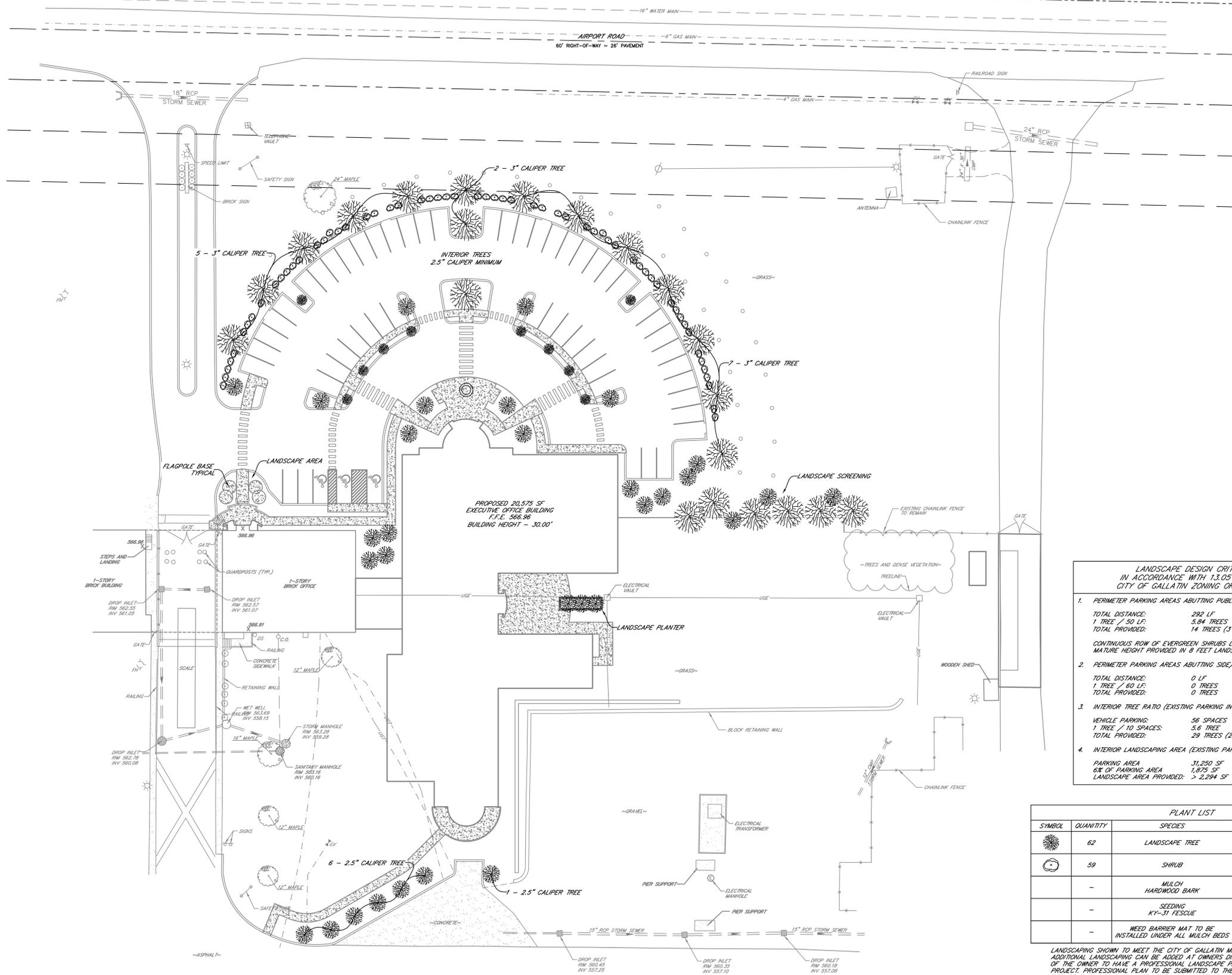
REVISION 1: 11 SEPTEMBER 2014 PER PROJECT COMMENTS DATED 9-5-2014
PROJECT # 14-025
DATE 27 AUGUST 2014

LEGEND

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- CONCRETE MONUMENT (NEW)
- IRON ROD (OLD)
- IRON ROD (NEW)
- ⊕ BENCHMARK
- - - BOUNDARY LINE
- - - BUFFER
- - - SETBACK / YARD
- - - PLIDE
- - - EXTRUDED CURB
- - - SS SANITARY SEWER LINE
- - - W WATER LINE
- - - STORM SEWER
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TAX MAP 127
(06.3.04)
METRO READY MIX
D.B. 955, PAGE 810 R.O.S.C., TN
ZONED IG

TAX MAP 127
(06.3.00)
ABC GROUP PROPERTIES, INC
R.B. 3840, PAGE 446 R.O.S.C., TN
ZONED IG



**LANDSCAPE DESIGN CRITERIA
IN ACCORDANCE WITH 13.05 OF THE
CITY OF GALLATIN ZONING ORDINANCE**

- PERIMETER PARKING AREAS ABUTTING PUBLIC RIGHTS OF WAY:

TOTAL DISTANCE:	292 LF
1 TREE / 50 LF:	5.84 TREES
TOTAL PROVIDED:	14 TREES (3" CALIPER)

CONTINUOUS ROW OF EVERGREEN SHRUBS LESS THAN 30" MATURE HEIGHT PROVIDED IN 8 FEET LANDSCAPE STRIP.
- PERIMETER PARKING AREAS ABUTTING SIDE/REAR PROPERTY LINES:

TOTAL DISTANCE:	0 LF
1 TREE / 60 LF:	0 TREES
TOTAL PROVIDED:	0 TREES
- INTERIOR TREE RATIO (EXISTING PARKING INCLUDED):

VEHICLE PARKING:	56 SPACES
1 TREE / 10 SPACES:	5.6 TREE
TOTAL PROVIDED:	29 TREES (2.5" CALIPER)
- INTERIOR LANDSCAPING AREA (EXISTING PARKING INCLUDED):

PARKING AREA:	31,250 SF
6% OF PARKING AREA:	1,875 SF
LANDSCAPE AREA PROVIDED:	> 2,294 SF

PLANT LIST

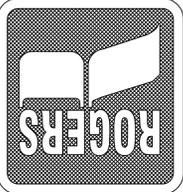
SYMBOL	QUANTITY	SPECIES	SIZE	REMARKS
🌳	62	LANDSCAPE TREE	2.5" - 3" CAL.	B & B
🌿	59	SHRUB	18" HEIGHT	B & B
-	-	MULCH HARDWOOD BARK	3" DEPTH	ALL TREES & SHRUBS
-	-	SEEDING KY-31 FESCUE	8 LBS / 1,000 SF	ALL DISTRIBUTED AREAS
-	-	WEED BARRIER MAT TO BE INSTALLED UNDER ALL MULCH BEDS	-	-

LANDSCAPING SHOWN TO MEET THE CITY OF GALLATIN MINIMUM REQUIREMENTS. ADDITIONAL LANDSCAPING CAN BE ADDED AT OWNERS DISCRETION. IT IS THE INTENTION OF THE OWNER TO HAVE A PROFESSIONAL LANDSCAPE PLAN PREPARED FOR THIS PROJECT. PROFESSIONAL PLAN TO BE SUBMITTED TO THE CITY OF GALLATIN PLANNING DEPARTMENT AND COMPLY WITH THE MINIMUM STANDARDS AND CONCEPT OF THIS PLAN.

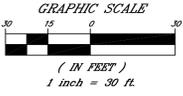
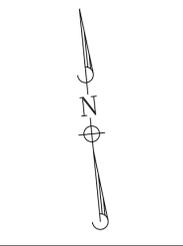
TIME OF COMPLETION OF LANDSCAPING PER SECTION 13.04.110 AND MAINTENANCE OF REQUIRED LANDSCAPING IMPROVEMENTS PER SECTION 13.04.120 OF THE GALLATIN ZONING ORDINANCE.

LANDSCAPING SHOWN ON THIS PLAN WAS NOT PREPARED UNDER THE SUPERVISION OF A LICENSED LANDSCAPE ARCHITECT.

ROGERS ENGINEERING GROUP
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**GKN HOEGANAES
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LANDSCAPE PLAN**
1315 AIRPORT ROAD
CITY OF GALLATIN, 3RD CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE

**SHEET NO.
C 6.0**

REVISIONS

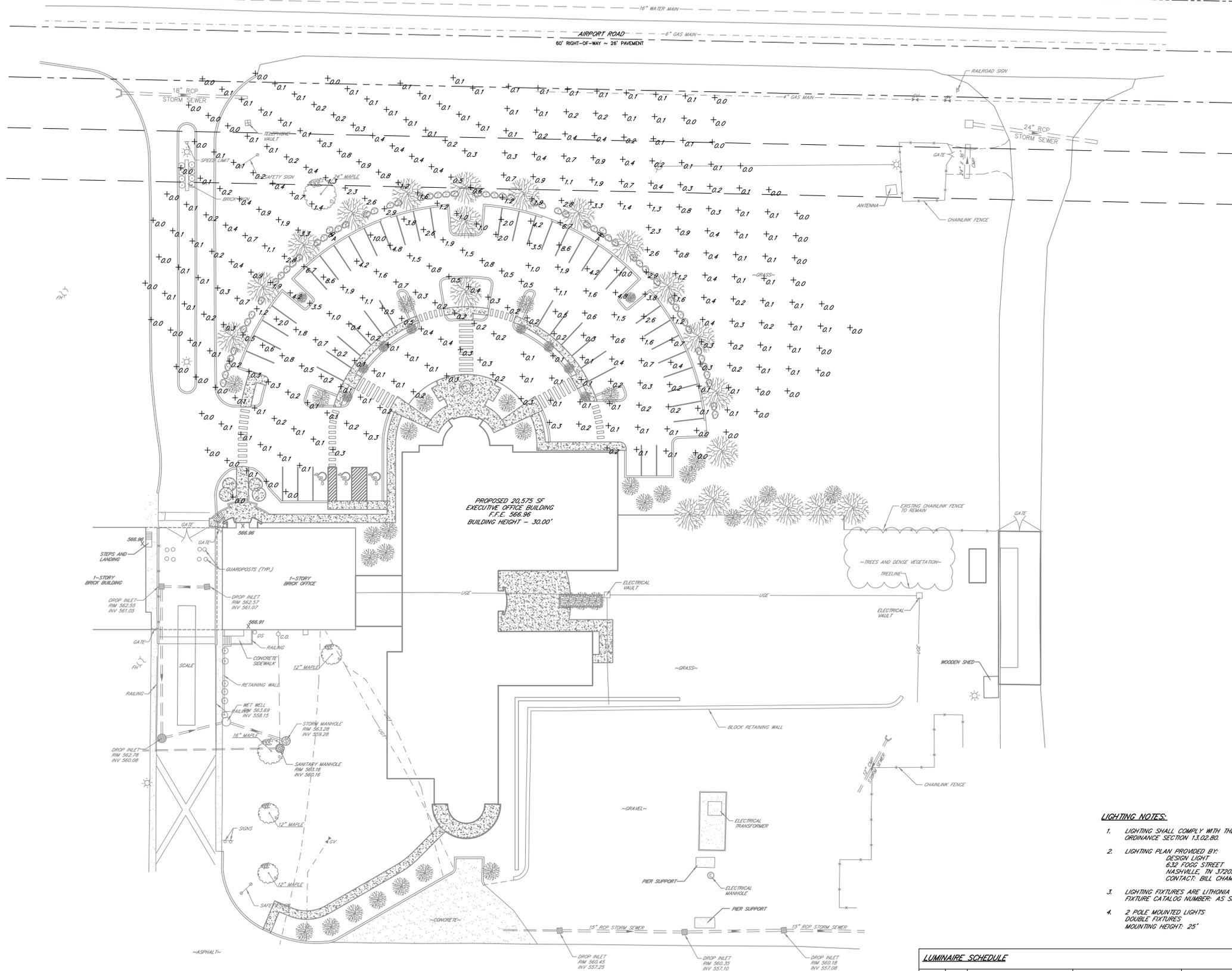
REVISION 1: 11 SEPTEMBER 2014 PER PROJECT COMMENTS DATED 9-5-2014
PROJECT # 14-025
DATE 27 AUGUST 2014

LEGEND

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TAX MAP 127
(06.3.04)
METRO READY MIX
D.B. 955, PAGE 810 R.O.S.C., TN
ZONED 1G

TAX MAP 127
(06.3.00)
ABC GROUP PROPERTIES, INC
R.B. 3840, PAGE 446 R.O.S.C., TN
ZONED 1G

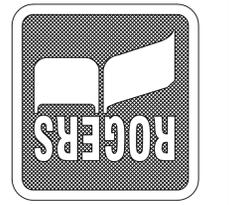


PROPOSED 20,575 SF
EXECUTIVE OFFICE BUILDING
F.L.C. 368.98
BUILDING HEIGHT - 30.00'

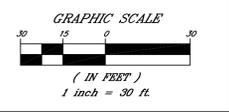
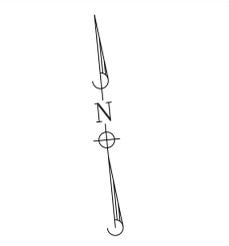
- LIGHTING NOTES:**
1. LIGHTING SHALL COMPLY WITH THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.BD.
 2. LIGHTING PLAN PROVIDED BY:
DESIGN LIGHT
632 FOOD STREET
NASHVILLE, TN 37203
CONTACT: BILL CHAMBERLAIN
 3. LIGHTING FIXTURES ARE LITHONIA
FIXTURE CATALOG NUMBER: AS SHOWN
 4. 2 POLE MOUNTED LIGHTS
DOUBLE FIXTURES
MOUNTING HEIGHT: 25'

LUMINAIRE SCHEDULE						
Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF Watts
A	4	KAD 400M SR3	AREA LUMINAIRE, 400MW HIGH PERFORMANCE SR3 REFLECTOR	ONE 4000 WATT CLEAR LED8 PULSE START, METAL HALIDE IN HORIZONTAL POSITION	38000	0.72 912

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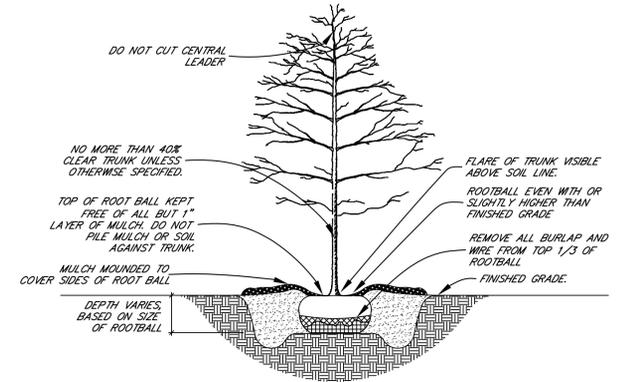
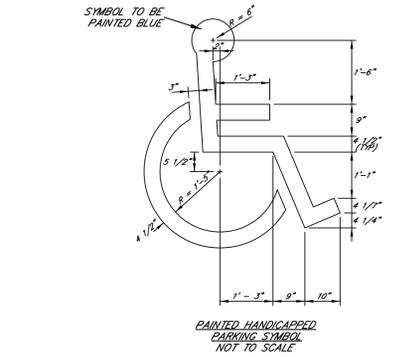
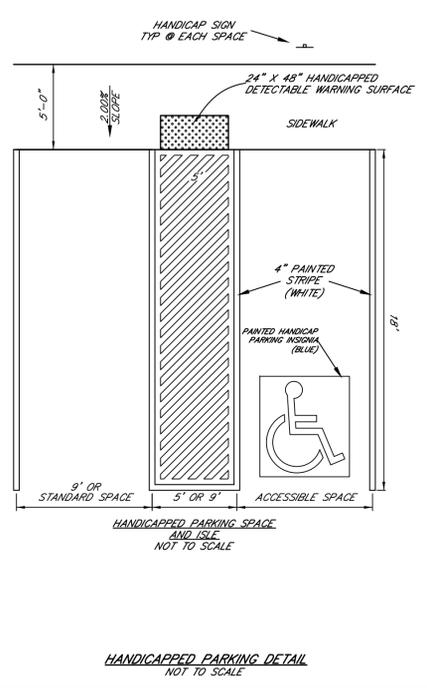
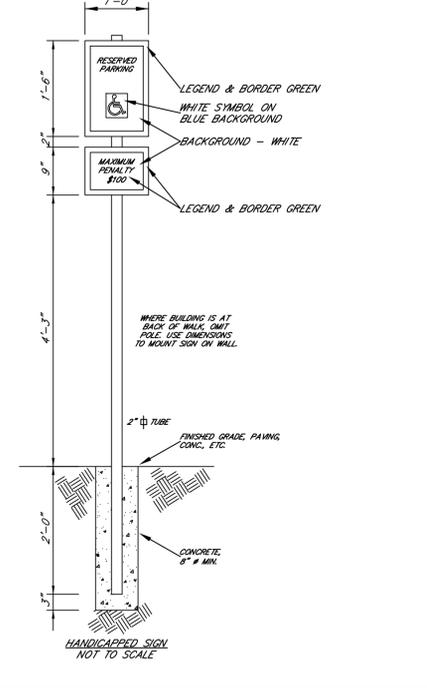
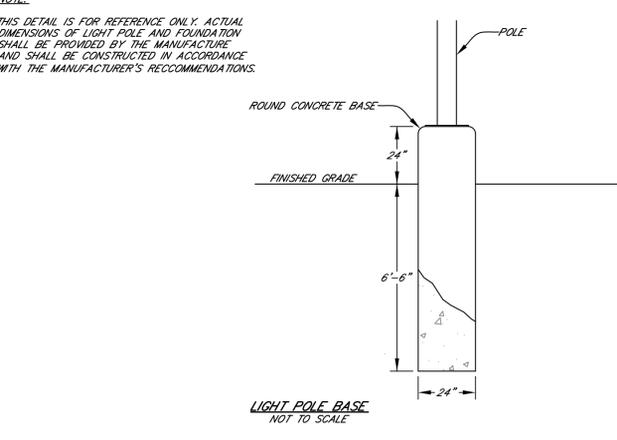
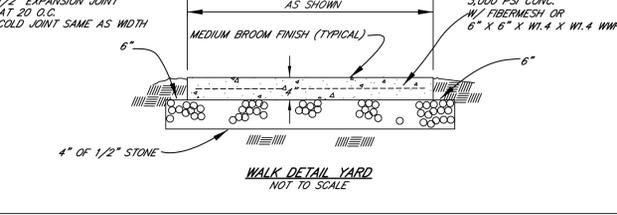
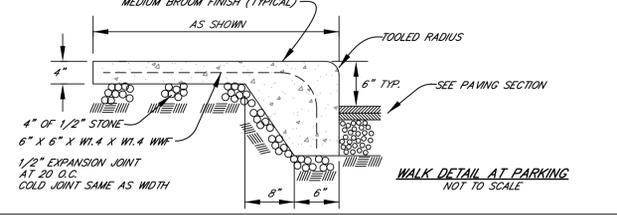
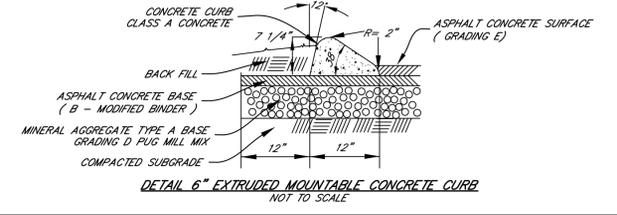
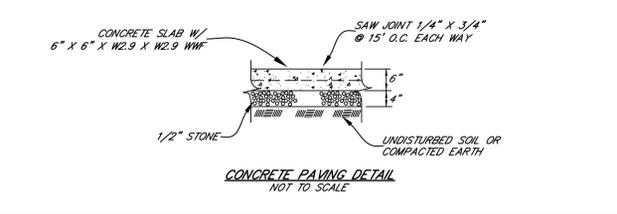
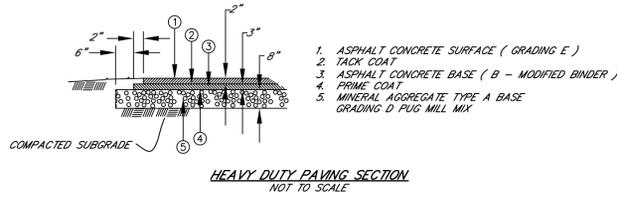
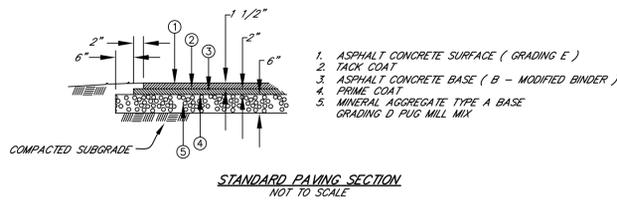
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**GKN HOEGANAES
EXECUTIVE OFFICE BUILDING
LIGHTING PLAN**
1315 AIRPORT ROAD
CITY OF GALLATIN, 3RD CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE

SHEET NO.
C 7.0

REVISIONS	
REVISION 1: 11 SEPTEMBER 2014 PER	
PROJECT COMMENTS DATED 9-5-2014	
PROJECT #	14-025
DATE	27 AUGUST 2014



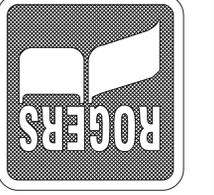
TREE SELECTION SPECIFICATIONS:

1. THERE SHALL BE NO CIRCLING OR GIRDLING ROOTS. CIRCLING ROOTS SHOULD BE CUT IN AT LEAST ONE PLACE.
2. TREES SHOULD BE ROOTED INTO THE ROOT BALL SO THAT SOIL OR MEDIA REMAINS INTACT AND TRUNK AND ROOT BALL MOVE AS ONE WHEN LIFTED BUT NOT ROOT BOUND. THE TRUNK SHOULD BEND WHEN GENTLY PUSHED AND SHOULD NOT BE LOOSE SO IT PIVOTS AT OR BELOW SOIL LINE.
3. THE POINT WHERE THE TOPMOST ROOT IN THE ROOT BALL EMERGES FROM THE TRUNK SHALL BE WITHIN TWO INCHES OF THE SOIL SURFACE. IF IT IS NOT WITHIN THE TOP TWO INCHES OF SOIL, GENTLY REMOVE THE TOP LAYER OF SOIL FROM THE ROOT BALL UNTIL THE FIRST MAJOR ROOT FLARE IS VISIBLE.
4. THE RELATIONSHIP BETWEEN CALIPER, HEIGHT AND ROOT BALL SIZE SHALL MEET THE ANSI Z50.1 STANDARD, LATEST EDITION.
5. THERE SHOULD BE ONE DOMINANT LEADER TO THE TOP OF THE TREE WITH THE LARGEST BRANCHES SPACED AT LEAST 6 INCHES APART. THERE CAN BE TWO LEADERS IN THE TOP 25% OF THE TREE IF IT IS OTHERWISE OF GOOD QUALITY.
6. THE TREE CANOPY SHOULD BE MOSTLY SYMMETRICAL AND FREE FROM LARGE VOIDS. CLEAR TRUNK SHOULD BE NO MORE THAN 40% OF TREE HEIGHT UNLESS OTHERWISE SPECIFIED IN THE PLANTING SPECIFICATIONS.
7. OPEN TRUNK AND BRANCH WOUNDS SHALL BE LESS THAN 10% OF THE CIRCUMFERENCE AT THE WOUND AND NO MORE THAN 2 INCHES TALL. PROPERLY MADE PRUNING CUTS ARE NOT CONSIDERED OPEN TRUNK WOUNDS. THERE SHOULD BE NO CONKS OR BLEEDING AND THERE SHOULD BE NO SIGNS OF INSECTS OR DISEASE ON MORE THAN 5% OF THE TREE.
8. IF ANY OF THE ABOVE CONDITIONS ARE NOT MET, TREES MAY BE REJECTED.

TREE PLANTING SPECIFICATIONS:

1. THE DEPTH OF THE HOLE DUG SHOULD BE ABOUT 10% LESS THAN THE DISTANCE FROM THE TOPMOST ROOT (MEASURED WHERE IT JOINS THE TRUNK) TO THE BOTTOM OF THE ROOT BALL. THE WIDTH OF THE HOLE SHALL BE AT LEAST 1.5 TIMES THE WIDTH OF THE ROOT BALL.
2. CUT AWAY BURLAP AND WIRING SO THAT AT LEAST 2/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY. ALL TWINE AND ROPE SHALL BE REMOVED FROM THE BASE OF THE TREE AND FROM ANY BRANCHES.
3. AFTER PLANTING, THE TOPMOST ROOT SHALL BE NO MORE THAN 2 INCHES BELOW THE SOIL SURFACE. ADDITIONAL SOIL SHOULD BE REMOVED. THE SURROUNDING GRADE SHOULD BE EVEN WITH OR SLIGHTLY LOWER THAN THE TOP ROOT. PLEASE NOTE: SOME TREES WILL ARRIVE FROM THE NURSERY WITH TOO MUCH SOIL COVERING THE FIRST MAJOR ROOT FLARE. THIS SOIL SHOULD BE REMOVED. THE RESULTING SOIL LINE SHOULD BE EVEN WITH OR ABOVE THE SURROUNDING GRADE.
4. 2-3 INCHES OF MULCH SHOULD BE APPLIED TO COVER THE SIDES OF THE ROOT BALL TO A POINT EVEN WITH THE DRIP LINE. DO NOT ADD ANY SOIL AT THE TOP OF THE ROOT BALL. DO NOT ADD MORE THAN 1 INCH OF MULCH TO THE TOP OF THE ROOT BALL.
5. IN POORLY DRAINED SOIL, POSITION THE TOP OF THE ROOT BALL 10% OR MORE ABOVE THE SURROUNDING GRADE. NO MORE THAN 20% OF THE ROOT BALL SHOULD BE ABOVE THE SURROUNDING GRADE.
6. IF TREES ARE STAKED, STAKES SHALL NOT COME INTO CONTACT WITH THE ROOT BALL. GUY WIRES SHALL NOT BE DRAWN TIGHT, BUT SHOULD SUPPLY JUST ENOUGH TENSION TO PREVENT TREE FROM SWAYING A GREAT DEAL. ALL STAKES, WIRING AND HARNESSES SHALL BE REMOVED WITHIN ONE YEAR UNLESS OTHERWISE SPECIFIED.

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GKN HOEGAEAES
EXECUTIVE OFFICE BUILDING
DETAILS
1315 AIRPORT ROAD
CITY OF GALLATIN 3RD CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE



SHEET NO. C 8.0

REVISIONS

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PROJECT COMMENTS DATED 9-5-2014	
PROJECT #	14-025
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- ⊕ GAS VALVE
- ⊕ A/C PAD

EROSION CONTROL LEGEND:

- IP - INLET PROTECTION
- SF - SILT FENCE
- RC - ROCK CHECK
- CD - CHECK DAM
- CE - CONSTRUCTION ENTRANCE
- CD - CHECK DAM
- FR - FILTER RING
- NAG - NORTH AMERICAN GREEN OR EQUAL
- RR - RIP RAP

OUTFALL CHARACTERISTICS:

OUTFALL	ACREAGE	DIVERTED ACREAGE	SLOPE %
1	5.73	2.63	5%
2	1.00		4%
3	0.20		16%

TEMPORARY SEEDING NOTES

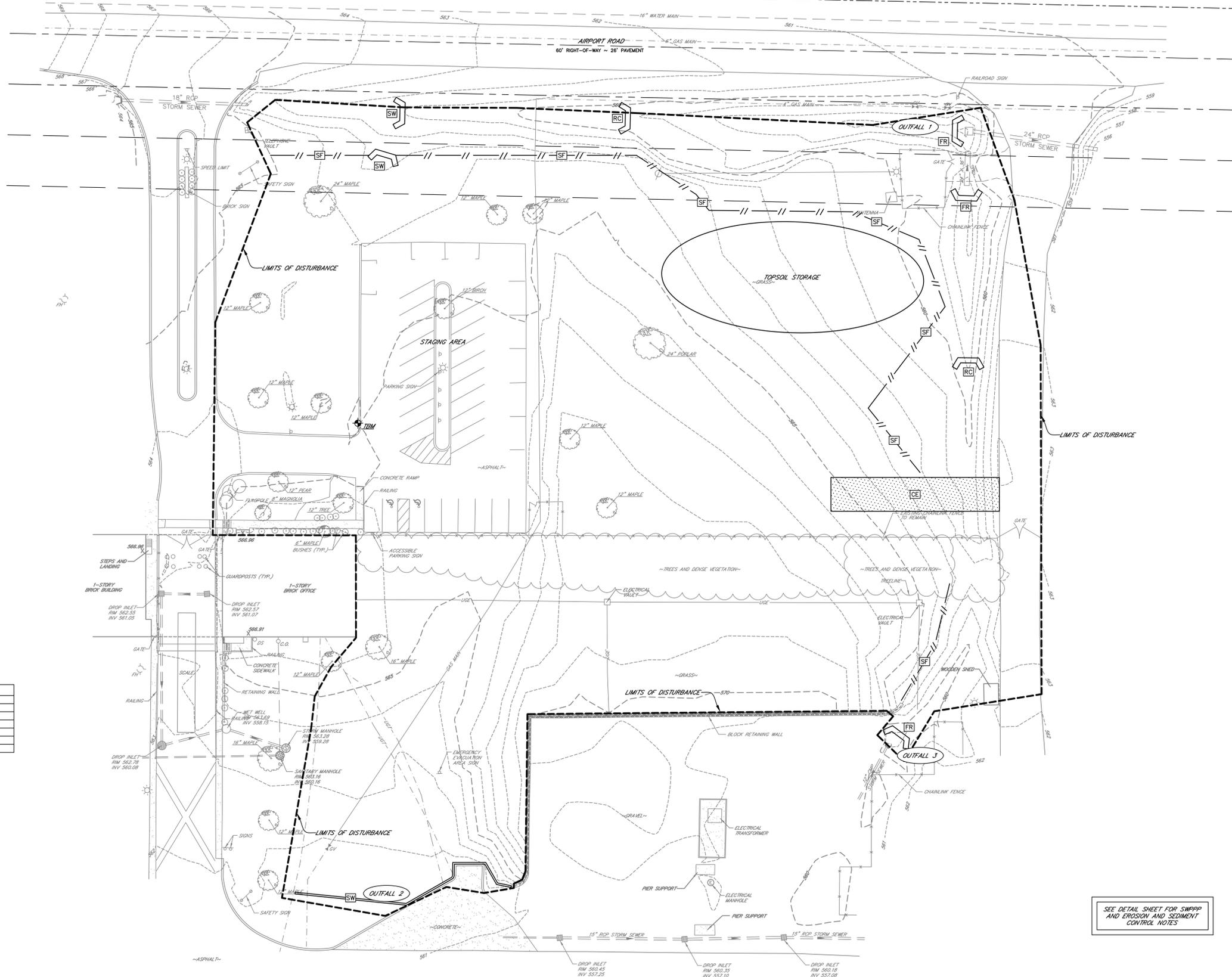
- SEED AND STRAW REQUIRED AS FOLLOWS:
 STRAW: 75 LBS PER 1,000 SQ. FT.
 10-10-10 FERTILIZER: 200 LBS PER ACRE
 SEED: 100 LBS PER ACRE
 AGR. LIME: 75 LBS PER 1,000 SQ. FT.

TEMPORARY COVER SEEDING MIXTURES

SEEDING DATE	GRASS SEED
JANUARY 1 TO MAY 1	ITALIAN RYE KOREAN LESPEDEZA SUMMER OATS
MAY 1 TO JULY 15	SUDAN - SORGHUM
MAY 1 TO JULY 15	STARBU MILLET
JULY 15 TO JANUARY 1	BALDOA RYE ITALIAN RYE

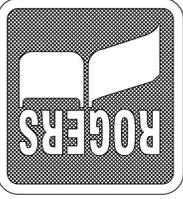
TAX MAP 127 (06.3.04)
 METRO READY MIX
 D.B. 955, PAGE 810 R.O.S.C., TN
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TAX MAP 127 (06.3.00)
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 R.B. 3840, PAGE 446 R.O.S.C., TN
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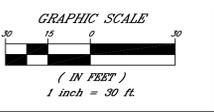
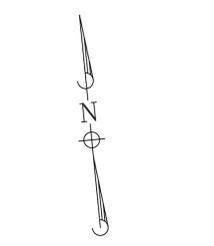


SEE DETAIL SHEET FOR SWPPP AND EROSION AND SEDIMENT CONTROL NOTES

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 EROSION PREVENTION & SEDIMENT CONTROL
 PLAN 4
 1315 AIRPORT ROAD
 CITY OF GALLATIN, 3RD CIVIL DISTRICT
 SUMNER COUNTY, TENNESSEE



SHEET NO.
C 9.0

REVISIONS

REVISION	DATE	DESCRIPTION
1	11 SEPTEMBER 2014	PER PROJECT COMMENTS DATED 9-5-2014

PROJECT # 14-025
 DATE 27 AUGUST 2014

LEGEND

- CONCRETE MONUMENT (OLD)
- CONCRETE MONUMENT (NEW)
- IRON ROD (OLD)
- IRON ROD (NEW)
- ⊕ BENCHMARK
- BOUNDARY LINE
- BUFFER
- SETBACK / YARD
- PUDE
- EXTRUDED CURB
- SS SANITARY SEWER LINE
- W WATER LINE
- STORM SEWER
- G GAS LINE
- OHE OVERHEAD UTILITY LINE
- UGT UNDERGROUND UTILITY LINE
- X X X FENCE
- ~ TREE LINE
- UTILITY POLE
- UTILITY POLE W/ LIGHT
- GUY ANCHOR
- ⊕ TELEPHONE MANHOLE
- ELECTRIC JUNCTION BOX
- ⊗ CABLE PEDESTAL
- ⊗ SANITARY SEWER MANHOLE
- ⊗ WATER METER
- WATER VALVE
- BLOW OFF VALVE
- ⊕ AIR RELEASE ASSEMBLY
- FIRE HYDRANT
- ⊗ GAS METER
- ⊗ GAS VALVE
- ⊗ A/C PAD

EROSION CONTROL LEGEND:

- IP - INLET PROTECTION
- SF - SILT FENCE
- RC - ROCK CHECK
- CD - CHECK DAM
- CE - CONSTRUCTION ENTRANCE
- CD - CHECK DAM
- FR - FILTER RING
- NAG - NORTH AMERICAN GREEN OR EQUAL
- RR - RIP RAP

OUTFALL CHARACTERISTICS:

OUTFALL	ACREAGE	DIVERTED ACREAGE	SLOPE %
1	5.07	2.63	5%
2	1.02		4%
3	0.71		16%

PERMANENT SEEDING NOTES:

- SEED AND STRAW REQUIRED AS FOLLOWS:
STRAW: 75 LBS PER 1,000 SQ. FT.
10-10-10 FERTILIZER: 200 LBS PER ACRE
SEED: 100 LBS PER ACRE
AGR. LIME: 75 LBS PER 1,000 SQ. FT.
- PERMANENT SEED ALL AREAS WITHIN 15 DAYS OF FINISH OF TOPSOIL AREAS.
- SOD TO BE KENTUCKY 31 TURF TYPE FESCUE.
- NORTH AMERICAN GREEN OR EQUAL ABBREVIATED NAG.

PERMANENT COVER SEEDING MIXTURES:

SEEDING DATE	GRASS SEED
FEBRUARY 1 TO JULY 1	KENTUCKY 31 KOREAN LESPEDEZA ENGLISH RYE
JUNE 1 TO AUGUST 15	KENTUCKY 31 ENGLISH RYE KOREAN LESPEDEZA GERMAN MILLET
APRIL 15 TO AUGUST 15	BERMUDAGRASS (HULLED) ANNUAL LESPEDEZA
AUGUST 1 TO DECEMBER 1	KENTUCKY 31 ENGLISH RYE
FEBRUARY 1 TO DECEMBER 1	KENTUCKY 31 CROWN VETCH ENGLISH RYE

NAG DESIGNATIONS:

NAG A AS SHOWN
STAPLE "B"

ALL DITCHES TO BE LINED WITH NAG S150
TEMPORARY MATTING IMMEDIATELY UPON FINAL
GRADING UNLESS OTHERWISE NOTED.

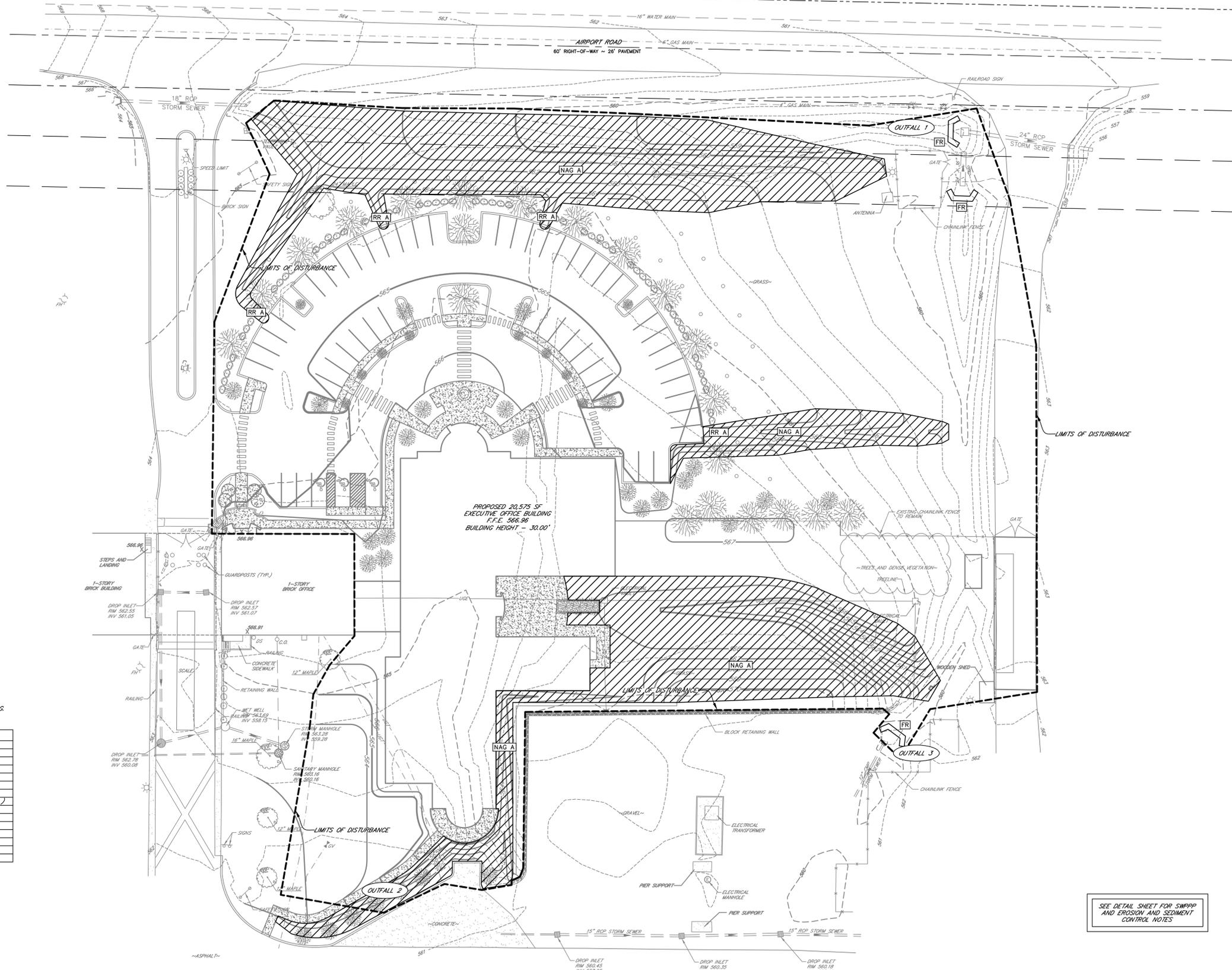
ALL 3:1 SLOPES TO BE STABILIZED WITH NAG
S150 TEMPORARY MATTING.

RIP RAP DESIGNATIONS:

RR A 10' x 4" W x 12" D
DSD = 6"
OVER GEOTEXTILE III

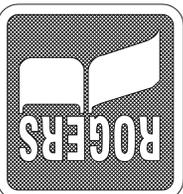
TAX MAP 127
(06.3.04)
METRO READY MIX
D.B. 955, PAGE 810 R.O.S.C., TN
ZONED IG

TAX MAP 127
(06.3.00)
ABC GROUP PROPERTIES, INC
R.B. 3840, PAGE 446 R.O.S.C., TN
ZONED IG

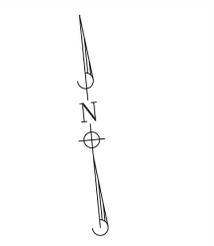


SEE DETAIL SHEET FOR SWPPP
AND EROSION AND SEDIMENT
CONTROL NOTES

**ROGERS
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1148 WEST MAIN STREET
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1-615-366-1987
TENNESSEE ONE CALL
IT'S THE LAW



GRAPHIC SCALE
1 inch = 30 ft.

**GKN HOEGANAES
EXECUTIVE OFFICE BUILDING**
EROSION PREVENTION & SEDIMENT CONTROL
PLAN B
1315 AIRPORT ROAD DISTRICT
CITY OF GALLATIN, 3RD CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE

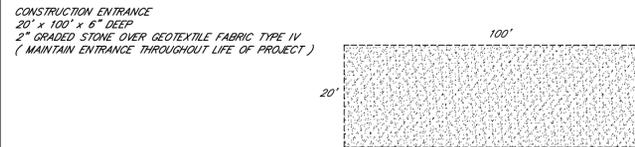


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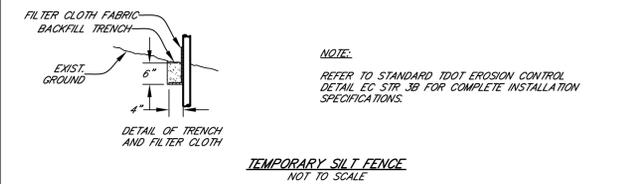
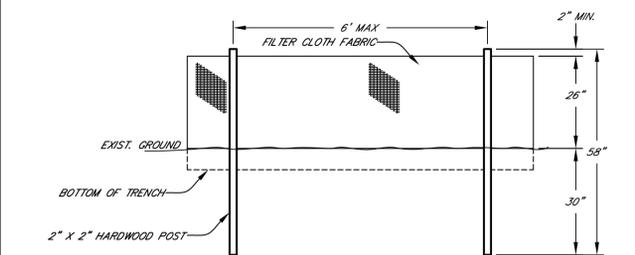
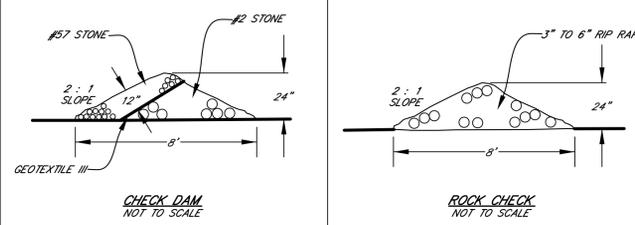
REVISIONS

REVISION	DATE	DESCRIPTION
1	11 SEPTEMBER 2014	PER PROJECT COMMENTS DATED 9-5-2014

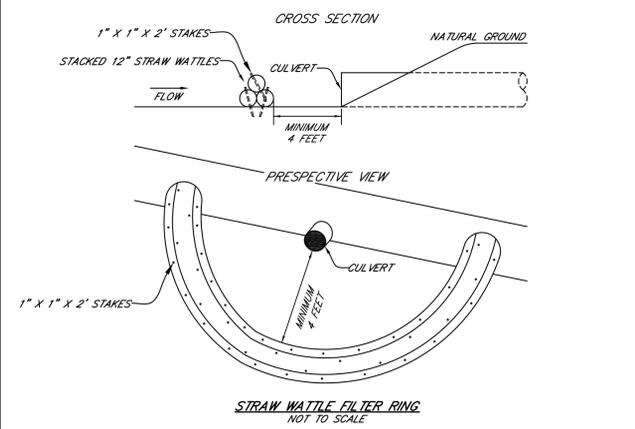
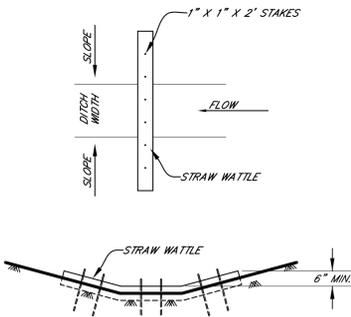
PROJECT # 14-025
DATE 27 AUGUST 2014



CONSTRUCTION EXIT
NOT TO SCALE



- NOTES:
- ELEVATION TO BE MINIMUM OF 6 INCHES ABOVE TOP OF WATTLE IN CENTER OF DITCH.
 - WATTLES SHALL ONLY BE USED IN LOW FLOW SWALES OR DITCHES WITH FLAT SLOPES. THEY SHALL BE UTILIZED TO DECREASE FLOW VELOCITY AND TO RETAIN SMALL AMOUNTS OF SEDIMENT.
 - ALL WATTLES SHALL BE BURIED A MINIMUM OF 4 INCHES.
 - WATTLES SHALL BE A MINIMUM OF 6" DIAMETER.



EROSION AND SEDIMENT CONTROL NOTES:

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

THIS PROJECT WILL DISTURB MORE THAN 1 ACRE. A SWPPP IS REQUIRED FOR THIS PROJECT.

EXISTING SITE CONDITIONS

THIS PROPERTY IS 78.74 ± ACRE EXISTING MANUFACTURING FACILITY. ALL STORM WATER RUNOFF FROM THIS PROJECT WILL DRAIN TO THE INTERSECTION OF AIRPORT ROAD AND STEAM PLANT ROAD. THE RUNOFF THEN CONTINUES SOUTHEAST WITH STEAM PLANT ROAD APPROXIMATELY 1,075 LF WHERE IT ENTERS A CULVERT UNDER STEAM PLANT ROAD. THE STORM WATER RUNOFF CONTINUES SOUTHEAST TO SINKHOLE CREEK APPROXIMATELY 1,800 LF FROM STEAM PLANT ROAD.

PROPOSED SITE CONDITIONS (NPDES PERMIT SECTION 3.5.1.a)

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF AN ADDITIONAL 20,575 SF EXECUTIVE OFFICE FACILITY.

303(d) SPECIAL REQUIREMENTS

THE RECEIVING WATERS ARE NOT ON THE 303d LISTING AS AN IMPAIRED STREAM.

SPILLS AND NON-STORMWATER CONTINGENCIES

- ALL FUELING OF EQUIPMENT AND VEHICLES ON SITE WILL BE CONDUCTED NEAR THE STAGING AREA. ANY SPILLS WILL BE REMOVED IMMEDIATELY. CONTAMINATED SOILS WILL BE PLACED ON HEAVY PLASTIC AND COVERED OR PLACED IN APPROVED CONTAINERS TO PREVENT CONTACT WITH STORM WATER.
- ALL FUEL TANKS WILL BE IN THE CONTAINMENT AREA.
- OILS, OTHER VEHICLE FLUIDS, PAINTS, AND SOLVENTS WILL BE STORED IN THE CONSTRUCTION TRAILER.
- EQUIPMENT FUEL OR MAINTENANCE SPILLS OF 2 GALLONS OR MORE WILL BE REPORTED IMMEDIATELY TO A REPRESENTATIVE OF THE PRIMARY CONTRACTOR.
- IF A RELEASE CONTAINING A HAZARDOUS SUBSTANCE IN AN AMOUNT EQUAL TO OR IN EXCESS OF A REPORTING QUANTITY ESTABLISHED UNDER EITHER 40 CFR 117 OR 40 CFR 302 OCCURS DURING A 24-HOUR PERIOD, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE PERMITEE WHO SHALL THEN DO THE FOLLOWING: NOTIFY THE NATIONAL RESPONSE CENTER (NRC) (800-424-8802) AND THE TENNESSEE EMERGENCY MANAGEMENT AGENCY (TEMA) (EMERGENCIES: 800-262-3300, NON-EMERGENCIES: 800-262-3400), AS WELL AS THE LOCAL ENVIRONMENTAL ASSISTANCE CENTER. ALSO, ROGERS ENGINEERING GROUP WILL PREPARE A REVISION OF THIS DOCUMENT TO IDENTIFY MEASURES TO PREVENT THE REOCCURRENCE OF SUCH RELEASES.
- CONCRETE TRUCKS WILL WASH OUT AT THE DESIGNATED AREA NEAR THE STAGING AREA.
- EACH CONTRACTOR IS RESPONSIBLE TO PROVIDE LITTER CONTROL FOR TRASH GENERATED BY HIS CREW. A DUMPSTER FOR GARBAGE WILL BE LOCATED NEAR THE CONSTRUCTION TRAILER AND IS LIMITED TO GARBAGE AND PAPER TRASH ONLY.
- PAINT CANS, OIL CANS, USED OIL, AND FILTERS WILL BE CONTAINED AND DISPOSED OF BY THE CONTRACTOR BY TAKING THEM TO THE SUMNER COUNTY RESOURCE AUTHORITY AT 625 RAFFAHANNOCK WIRE ROAD, GALLATIN, TN 37066.

DEVELOPMENT CONDITIONS

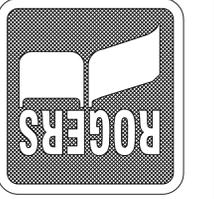
POST-DEVELOPED DRAINAGE WILL CONTINUE TO FOLLOW THE PRE-DEVELOPED DRAINAGE PATH. SEDIMENT CONTROL WILL BE BY BEST MANAGEMENT PRACTICES SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS.

IF THE CONTROLS ARE INSTALLED AND MAINTAINED CORRECTLY BUT ARE FOUND TO PROVIDE AN INADEQUATE LEVEL OF PROTECTION, ROGERS ENGINEERING GROUP WILL MAKE REVISIONS TO THIS PLAN AND THESE REVISIONS WILL BE IMPLEMENTED BY THE CONTRACTOR.

- SWPPP NOTES**
- ALL BEST MANAGEMENT PRACTICES ARE TO BE ADHERED TO THROUGHOUT THE LIFE OF THE PROJECT.
 - QUALITY ASSURANCE OF EPSC MEASURES IS NOT REQUIRED FOR THIS PROJECT PER NPDES PERMIT SECTION 3.1.2.
 - A COPY OF THE SWPPP IS TO BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH RECORDS OF EROSION CONTROL INSPECTIONS PER NPDES PERMIT SECTION 3.3.3.
 - EXISTING SITE SOILS (NPDES PERMIT SECTION 3.5.1.a)
HRB-HARRETH URBAN LAND COMPLEX, 2 TO 8 PERCENT SLOPES.
HYDROLOGIC GROUP B
THIS SOIL CONSIST OF VERY DEEP AND WELL DRAINED HARRETH SOIL AND AREAS OF URBAN LAND IN THE TOWNS OF HENDERSONVILLE AND GALLATIN. THIS COMPLEX CONSISTS OF ABOUT 60 PERCENT HARRETH SOIL, 30 PERCENT URBAN LAND, AND 10 PERCENT INCLUDED SOILS. THESE URBAN AREAS PRESUMABLY CONSISTED OF AREAS OF THE HARRETH SOIL BEFORE THEY WERE ALTERED.
 - LIMITS OF DISTURBANCE = 4.06 ± AC (NPDES PERMIT SECTION 3.5.1.n)
 - SEDIMENT IS TO BE REMOVED AS REQUIRED OR WHEN MEASURES ARE AT 50% CAPACITY PER NPDES PERMIT SECTION 3.5.3.1.e.
 - A STABILIZED CONSTRUCTION ACCESS SHALL BE IMPLEMENTED TO REDUCE THE TRACKING OF MUD AND DIRT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES PER NPDES PERMIT SECTION 3.5.3.1.n.
 - TEMPORARY OR PERMANENT STABILIZATION SHALL BE WITHIN 14 DAYS (7 DAYS FOR > 30% SLOPES) ON PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED PER NPDES PERMIT SECTION 3.5.3.2.
 - EPSC MEASURES HAVE BEEN DESIGNED TO CONTROL THE RAINFALL AND RUNOFF FROM A 2-YEAR, 24-HOUR STORM EVENT PER NPDES PERMIT SECTION 3.5.3.3.
 - EPSC MEASURES PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL ARE INTENDED TO DISSIPATE ENERGY AND SLOW THE VELOCITY OF RUNOFF FLOW FROM THE SITE PER NPDES PERMIT SECTION 3.5.4.
 - INADEQUATE OR DAMAGED EROSION CONTROL MEASURES WILL BE REPLACED, MODIFIED, OR REPAIRED WITHIN 7 DAYS OF THE INSPECTOR'S REPORTING.
 - ALL SEDIMENT CONTROL TO BE INSPECTED AT LEAST TWICE PER WEEK AND INSPECTIONS ARE TO BE PERFORMED AT LEAST 72 HOURS APART PER NPDES PERMIT SECTION 3.5.8.2. A RAINFALL GAUGE IS TO BE MAINTAINED ON SITE AND CHECKED AT EVERY INSPECTION. THE RAINFALL AND DURATION FOR EACH RAIN EVENT IS TO BE RECORDED BY THE INSPECTOR AND MADE AVAILABLE WITH SWPPP INSPECTION RECORDS.
 - EROSION PREVENTION AND SEDIMENT CONTROL MUST BE IN PLACE AND INSPECTED BY THE CITY OF GALLATIN ENGINEERING DIVISION PRIOR TO GRADING AS SHOWN ON THESE PLANS AND CONTAINED IN THIS SWPPP.
 - LAND DISTURBANCE PERMIT IS TO BE OBTAINED FROM THE CITY OF GALLATIN PRIOR TO GRADING.
 - TOPSOIL IS TO BE STRIPPED AND STORED. COMPACT SITE TOPSOIL PILES BY WALKING DOZIER (0-6 OR GREATER) UNTIL TOTAL TOPSOIL STOCKPILE IS IN PLACE. TEMPORARY SEED TOPSOIL STOCKPILE WITHIN 14 DAYS AFTER STOCKPILE IS COMPLETE.

- SWPPP CONSTRUCTION SEQUENCING OF WORK (NPDES PERMIT SECTION 3.5.1.b)**
- (ALTERNATE SEQUENCING MAY BE PROPOSED IF APPROVED BY THE CITY OF GALLATIN STORM WATER INSPECTOR.)
- LIMITATION OF CONSTRUCTION DISTURBED AREA**
- FIELD STAKE CONSTRUCTION LIMITS BEFORE COMMENCING WORK IN ORDER TO VERIFY THE DISTURBED AREA LIMITS FOR THE CONTRACTOR
- INSTALL INITIAL EPSC MEASURES INCLUDING CONSTRUCTION EXIT, TEMPORARY SILT FENCE, AND CHECK DAMS.
 - CLEAR & GRUB AS REQUIRED, DEMOLISH EXISTING FEATURES TO BE REMOVED.
 - STRIP TOPSOIL FROM BUILDING PAD, PARKING AREA, AND AREAS TO RECEIVE CUT AND FILL. COMPACT DAILY BY WALKING DOZIER (0-6 OR GREATER) UNTIL TOTAL TOPSOIL STOCKPILE IS IN PLACE. TEMPORARY SEED TOPSOIL STOCKPILE WITHIN 14 DAYS AFTER STOCKPILE IS COMPLETE. INSTALL SILT FENCE AT BASES OF TOPSOIL PILES AFTER STRIPPING PROCESS OR BEFORE A 50% CHANCE OF RAIN.
 - MASS GRADE SITE AND TEMPORARY SEED & MULCH WITHIN 14 DAYS. WHEN INDIVIDUAL AREAS OF MASS GRADING ARE COMPLETED, TEMPORARY SEED & MULCH WITHIN 14 DAYS. ADD 4" OF BASE STONE TO FUTURE PAVED AREAS AS ALTERNATE TO TEMPORARY SEEDING THESE AREAS.
 - CONSTRUCT OFFICE FACILITY.
 - INSTALL REMAINING BASE STONE AND BINDER WITH CURBING AND INSTALL SIDEWALKS.
 - FINISH GRADE BEHIND CURBS.
 - INSTALL REMAINDER OF PERMANENT EROSION CONTROL MEASURES (EROSION MAT AND PERMANENT SEED).
 - REMOVE TEMPORARY MEASURES ONCE A GOOD STAND OF GRASS IS ESTABLISHED (75% OR ABOVE OF SURFACES COVERED WITH GRASS). SEED AND MATT ALL AREAS AND ANY REMAINING DISTURBED AREAS.

ROGERS ENGINEERING GROUP
114B WEST MAIN STREET
Gallatin, Tennessee 37066
TEL: 615-235-7269 FAX: 615-230-7271
richard.jones@rogersengr.com



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GKN HOEGAEAES
EXECUTIVE OFFICE BUILDING
DETAILS
1315 AIRPORT ROAD
CITY OF GALLATIN, 3RD CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE



SHEET NO.
C 11.0

REVISIONS

REVISION 1: 11 SEPTEMBER 2014 PER
PROJECT COMMENTS DATED 9-5-2014
PROJECT # 14-025
DATE 27 AUGUST 2014



allanblock.com

The Allan Block Collections offer a variety of sizes, weights, setbacks, and finishes to meet differing aesthetic and performance needs. Refer to the chart below or to our website - allanblock.com to help make the right choice for your project.

Table 1.1

Style & Performance		Name	Setback	Coverage	Weight	Approximate Dimensions
	AB Stones <i>Best Single Block Choice</i>	12°	1 sq ft. approx. 11 blk per m ²	75 lbs 34 kg	8 in. H x 12 in. D x 18 in. L 200mm H x 300mm D x 460mm L	
	AB Rocks	6°	1 sq ft. approx. 11 blk per m ²	75 lbs 34 kg	8 in. H x 12 in. D x 18 in. L 200mm H x 300mm D x 460mm L	
	AB Vertical	3°	1 sq ft. approx. 11 blk per m ²	75 lbs 34 kg	8 in. H x 12 in. D x 18 in. L 200mm H x 300mm D x 460mm L	
	AB Classic	6°	1 sq ft. approx. 11 blk per m ²	75 lbs 34 kg	8 in. H x 12 in. D x 18 in. L 200mm H x 300mm D x 460mm L	
	AB Jumbo Jr	6°	0.5 sq ft. approx. 22 blk per m ²	35 lbs 16 kg	8 in. H x 9.5 in. D x 9 in. L 200mm H x 240mm D x 230mm L	
	AB Lite Stone	6°	0.5 sq ft. approx. 22 blk per m ²	35 lbs 16 kg	4 in. H x 12 in. D x 18 in. L 100mm H x 300mm D x 460mm L	
	AB Junior Lite	6°	0.25 sq ft. approx. 44 blk per m ²	18 lbs 8 kg	4 in. H x 12 in. D x 9 in. L 100mm H x 300mm D x 230mm	
	AB Dover	6°	1 sq ft. approx. 12 blk per m ²	80 lbs 36 kg	8 in. H x 10.5 in. D x 18 in. L 200mm H x 265mm D x 460mm L	
	AB Palermo	6°	0.5 sq ft. approx. 22 blk per m ²	35 lbs 16 kg	8 in. H x 9.5 in. D x 9 in. L 200mm H x 240mm D x 230mm L	
	AB Barcelona	6°	0.5 sq ft. approx. 22 blk per m ²	40 lbs 18 kg	4 in. H x 10.5 in. D x 18 in. L 100mm H x 265mm D x 460mm L	
	AB Bordeaux	6°	0.25 sq ft. approx. 44 blk per m ²	20 lbs 9 kg	4 in. H x 10.5 in. D x 9 in. L 100mm H x 265mm D x 230mm L	
	812 facing unit with SAU	6°	0.7 sq ft. approx. 16 blk per m ²	60 lbs 30 kg	8 in. H x 13 in. D x 12 in. L 200mm H x 330mm D x 300mm L	
	812 facing unit with LAU	6°	0.7 sq ft. approx. 16 blk per m ²	90 lbs 40 kg	8 in. H x 23 in. D x 12 in. L 200mm H x 585mm D x 300mm L	
	824 facing unit with SAU	6°	1.3 sq ft. approx. 8 blk per m ²	125 lbs 55 kg	8 in. H x 13 in. D x 24 in. L 200mm H x 330mm D x 600mm L	
	824 facing unit with LAU	6°	1.3 sq ft. approx. 8 blk per m ²	185 lbs 85 kg	8 in. H x 23 in. D x 24 in. L 200mm H x 585mm D x 600mm L	

SAU - short anchoring unit
LAU - long anchoring unit

Actual dimensions, weights and setbacks will vary by manufacturer. Check with your local Allan Block manufacturer for exact specifications and color availability. Caps and corner blocks are also available for each of the collections.

Patterned Walls

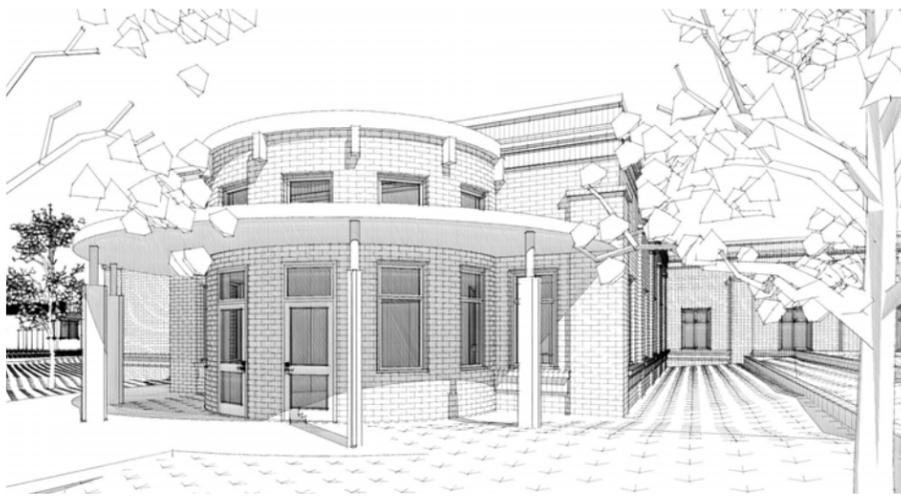
The design possibilities are endless. Use the blocks from the AB or AB Europa Collections individually or blend them together to create AB Ashlar or AB Abbey Blend patterned walls. The interlocking blocks easily fit together without any materials or tools.

AB Ashlar Blend™
from the AB Collection



AB Abbey Blend™
from the AB Europa Collection

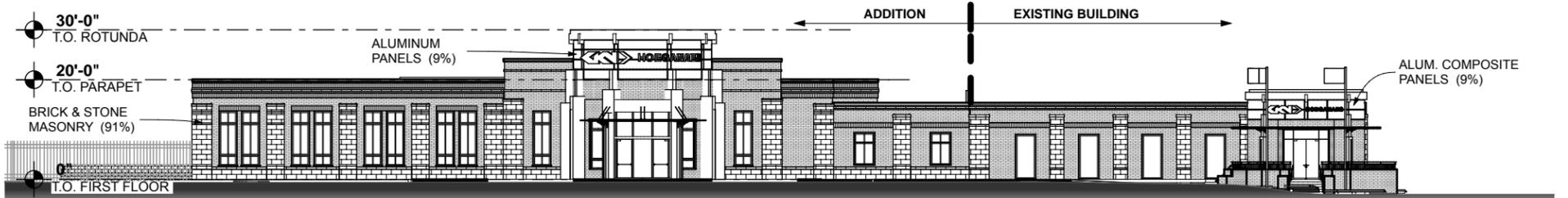




SOUTHEAST VIEW



EXISTING PLANT ENTRY



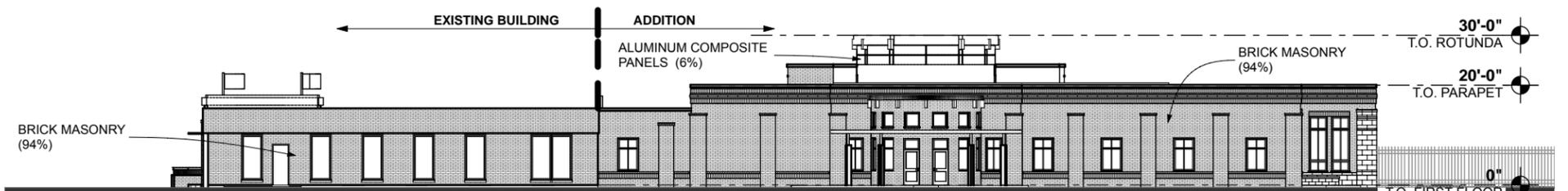
NORTH ELEVATION

SCALE: 1" = 30'



EAST ELEVATION

SCALE: 1" = 30'



SOUTH ELEVATION

SCALE: 1" = 30'

GKN HOEGANAES EXECUTIVE OFFICE BUILDING CONCEPT DESIGN

1315 AIRPORT ROAD GALLATIN TN 37066



9/11/2014

FEATURES & SPECIFICATIONS

INTENDED USE – Ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION – Rugged, die-cast, soft corner aluminum housing with 0.12" nominal wall thickness. Die-cast door frame has impact-resistant, tempered, glass lens that is fully gasketed with one-piece tubular silicone. Finish: Standard finish is dark bronze (DDB) polyester powder finish, with other architectural colors available.

OPTICS – Anodized, aluminum reflectors: IES full cutoff distributions R2 (asymmetric), R3 (asymmetric), R4 (forward throw) and R5S (square) are interchangeable. High-performance anodized, segmented aluminum reflectors IES full cutoff distributions SR2 (asymmetric), SR3 (asymmetric) and SR4SC (forward throw, sharp cutoff). High-performance reflectors attach with tool-less fasteners and are rotatable and interchangeable.

ELECTRICAL – Ballast: High pressure sodium: 70-150W is high reactance, high power factor. Constant wattage autotransformer for 200-400W. Metal halide: 70-150W is high reactance, high power factor and is standard with pulse-start ignitor technology. "SCWA" not required. Constant wattage autotransformer for 175-400W. Super CWA (pulse start ballast), 88% efficient and EISA legislation compliant, is required for metal halide 151-400W (SCWA option) for US shipments only. CSA, NOM or INTL required for probe start shipments outside of the US. Pulse-start ballast (SCWA) required for 200W, 320W, or 350W. Ballast is 100% factory-tested.

Socket: Porcelain, horizontally oriented medium base socket for 70-150M. Mogul base socket for 175M and above, and 70-400S, with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W, 600V.

LISTINGS – UL Listed (standard). CSA Certified (see Options). UL listed for 25°C ambient and wet locations. IP65 rated in accordance with standard IEC 529.

WARRANTY – 1-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Specifications subject to change without notice.



Catalog Number
Notes
Type

CONTOUR
SERIES

Soft Square Lighting

KAD



Specifications

EPA: 1.2 ft.²

*Weight: 35.9 lbs (16.28 kg)

Length: 17-1/2" (44.5)

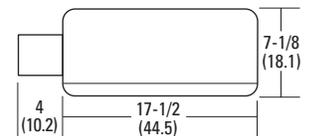
Width: 17-1/2" (44.5)

Depth: 7-1/8" (18.1)

All dimensions are inches (centimeters) unless otherwise specified.

*Weight as configured in example below.

METAL HALIDE: 70-400W
HIGH PRESSURE SODIUM: 70-400W
20' TO 35' MOUNTING



ORDERING INFORMATION For shortest lead times, configure product using **bolded options**.

Example: KAD 400M R3 TB SCWA SPD04 LPI

KAD	Wattage			Distribution		Voltage	Ballast	Mounting ¹²	
KAD	Metal halide	High pressure sodium¹	Ceramic metal halide	Standard reflectors	High performance reflectors⁸	120 208 ⁹ 240 ⁹ 277 347 480⁹ TB¹⁰ 23050HZ ¹¹	(blank) Magnetic ballast CWI Contant wattage isolated ¹¹ Pulse Start SCWA Super CWA pulse-start ballast NOTE: For shipments to U.S. territories, SCWA must be specified to comply with EISA.	Ships in fixture carton SPD___ Square pole RPD___ Round pole WBD___ Wall bracket WWD___ Wood or pole wall Ships separately^{13,14} DAD12P Degree arm (pole) DAD12WB Degree arm (wall) WBA Decorative wall bracket ¹⁵ KMA Mast arm external fitter KTMB Twin mounting bar	Arm length 04 4" arm 06 6" arm 09 9" arm 12 12" arm

Options	Finish ²⁰			Lamp ²¹
Shipped installed in fixture SF Single fuse (120, 277, 347V) ¹⁶ DF Double fuse (208, 240, 480V) ¹⁶ PD Power tray ¹⁷ PER NEMA twist-lock receptacle only (no photocontrol) QRS Quartz restrrike system ¹⁸ QRSTD QRS time delay ¹⁸ WTB Terminal wiring block ¹⁷	CSA CSA Certified INTL Available MH for probe start shipping outside the U.S. REGC1 California Title 20, effective 1/1/2010 Shipped separately¹³ HS House side shield PE1 NEMA twist-lock PE (120, 208, 240V)	PE3 NEMA twist-lock PE (347V) PE4 NEMA twist-lock PE (480V) PE7 NEMA twist-lock PE (277V) SC Shorting cap for PER option VG Vandal guard ¹⁹ WG Wire guard ¹⁹	(blank) Dark bronze DWH White DBL Black DMB Medium bronze DNA Natural aluminum Super Durable Finishes DDBXD Dark bronze DBLXD Black	DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white LPI Lamp included L/LP Less lamp

Accessories: Tenon Mounting Slipfitter (RPxx required.) Order as separate catalog number. Must be used with pole mounting.						
Number of fixtures						
Tenon O.D.	One	Two@180°	Two@90°	Three@120°	Three@90°	Four@90°
2-3/8"	T20-190	T20-280	T20-290 ²²	T20-320 ²²	T20-390 ²²	T20-490 ²²
2-7/8"	T25-190	T25-280	T25-290 ²²	T25-320	T25-390 ²²	T25-490 ²²
4	T35-190	T35-280	T35-290 ²²	T35-320	T35-390 ²²	T35-490 ²²

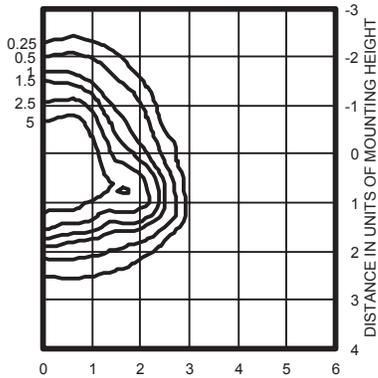
Notes

- Not available with SCWA.
- Not available with 480V.
- These wattages do not comply with California Title 20 regulations.
- Must be ordered with SCWA.
- These wattages require the REGC1 option to be chosen for shipments into California for Title 20 compliance. 250M REGC1 is not available in 347 or 480V.
- Reduced jacket ED28 required for SR2, SR3 and SR4SC optics.
- House-side shield available.
- High performance reflectors not available with QRSTD.
- Must specify CWI for use in Canada.
- Optional multi-tap ballast (120, 208, 240, 277V; in Canada: 120, 277, 347V).
- Consult factory for available wattages.
- 9" arm is required when two or more luminaires are oriented on a 90° drilling pattern.
- May be ordered as an accessory.
- Must specify finish when ordered as an accessory.
- Available with SPD04 and SPD09.
- Must specify voltage. N/A with TB.
- Only available with SR2, SR3 and SR4SC optics.
- Max allowable wattage lamp included.
- Prefix with KAD when ordered as an accessory.
- See www.lithonia.com/archcolors for additional color options.
- Must be specified. L/LP not available with MHC.
- Must use RPD09.

KAD Metal Halide, Arm-mounted Soft Square Cutoff

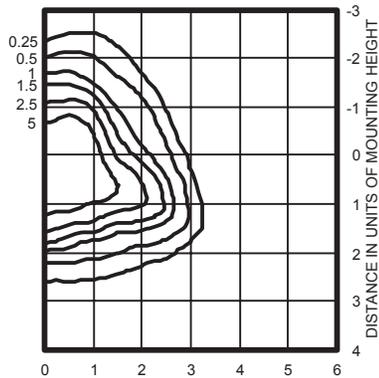
Coefficient of Utilization _____
 Initial Footcandles _____

KAD 400M R2 Test no. 1193083101P
ISOILLUMINANCE PLOT (Footcandle)



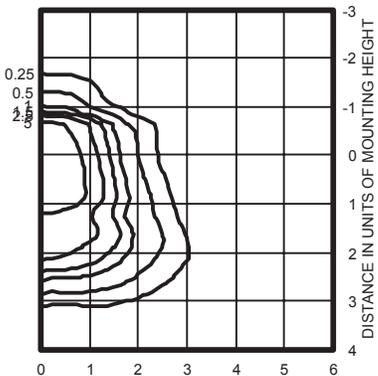
400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
 Classification: Type II, Short, Full Cutoff

KAD 400M R3 Test no. 1192040902P
ISOILLUMINANCE PLOT (Footcandle)



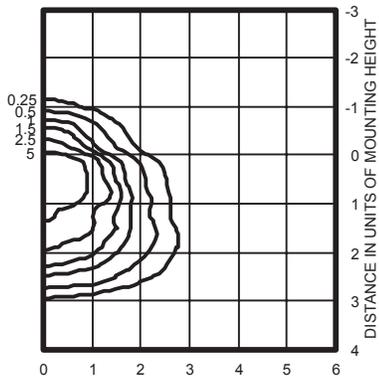
400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
 Classification: Type II, Short, Full Cutoff

KAD 400M R4 Test no. 1191110101P
ISOILLUMINANCE PLOT (Footcandle)



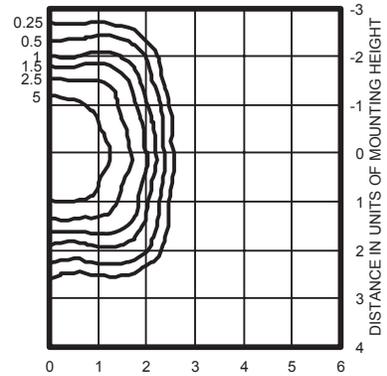
400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
 Classification: Unclassified (Type III, Very Short), Full Cutoff

KAD 400M R4HS Test no. 1192061101P
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
 Classification: Unclassified (Type III, Very Short), Full

KAD 400M R5S Test no. 1194040801P
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
 Classification: Unclassified (Type NC, Very Short), Full Cutoff

Notes

- 1 Photometric data for other distributions can be accessed at www.lithonia.com.
- 2 Tested to current IES and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory data and actual field measurements. Dimensions and specifications on this sheet are based on the most current available data and are subject to change without notice.
- 3 For electrical characteristics, consult outdoor technical data specification sheets on www.lithonia.com.

Mounting Height Correction Factor

(Multiply the fc level by the correction factor)

25 ft. = 0.64

35 ft. = 0.32

40 ft. = 0.25

$$\left(\frac{\text{Existing Mounting Height}}{\text{New Mounting Height}} \right)^2 = \text{Correction Factor}$$



BRICK MASONRY
UTILITY SIZE, RUNNING BOND



STONE MASONRY
"ARRISCRAFT" TYPE STONE VENEER



ALUMINUM COMPOSITE PANELS
"ALUCABOND" TYPE METAL PANELS
(COLOR TO BE DETERMINED)

GKN HOEGANAES
EXECUTIVE OFFICE BUILDING CONCEPT DESIGN

1315 AIRPORT ROAD GALLATIN TN 37066

9/11/2014

