



**Gallatin Municipal-Regional Planning Commission
Work Session Agenda**

Monday, April 14, 2014

Dr. J. Deotha Malone Council Chambers; 5 p.m.
Gallatin City Hall, 132 West Main Street

1. Discuss Gallatin Zoning Ordinance, Section 13.08, Architectural Character and Compatibility Standards, 13.08.010, Basic Design Criteria, A. Materials.
2. Discuss request for approval of a change to the Community Character Area designation on 20.84 (+/-) acres, located at 1579 Cairo Road from Airport Road Industrial Character Area to Suburban Neighborhood Established Character Area to accommodate a proposed 63 lot subdivision. (PC0262-14)
3. Discuss request for approval of an Amended Preliminary Master Development Plan and Revised Final Master Development Plan for Fairvue Plantation, a major subdivision, in order to install community identification markers, street trees and landscaping in the City owned rights-of-way along Noah Lane, Chloe Drive and Browns Lane. (PC0266-14)
4. Discuss request for approval of an Amended Preliminary Master Development Plan and a Revised Final Master Development Plan for Foxland Crossing, Phase 2, a major subdivision, containing two (2) lots on 21.29 (+/-) acres, located at Nashville Pike and Douglas Bend Road. (PC0267-14)
5. Discuss request for approval of a Final Master Development Plan for Carellton, Phase 2, Sections A and B, a major subdivision containing a total of 85 lots on 33.82 (+/-) acres located at the intersection of Long Hollow Pike and Big Station Camp Boulevard. (PC0268-14)
6. Discuss request for approval of a site plan for Project Buckeye consisting of a 33,079 s.f. building on 11.28 (+/-) acres, located at 1399 Gateway Drive. (PC0269-14)
7. Discuss request for approval to resubdivide four (4) lots by removing the three (3) right-of-way alley access points from Fairvue Plantation, Phase 17 and Phase 18 located along lots 17, 18, and 33 of Green Farms, Phase 1, Section 1 and lot A of Green Farms, Phase 1, Section 2, a major subdivision, containing 34 lots on 6.36 (+/-) acres, located along Noah Lane and Baxter Lane. (PC0270-14)
8. Other Business

13.08 Architectural Character and Compatibility Standards

13.08.010 Basic Design Criteria

- A. Materials – To ensure a consistent and high quality design standard throughout the City, in all districts with the exception of A, R-40, R-20, R-15, R-10, R-8, and IG, stone and/or brick materials shall be used as the predominant (minimum 70%) exterior facade materials in all developments. Concrete block, split face block, other related concrete-masonry block materials, and/or manufactured/pre-cast panels are not considered stone or brick materials, but may be approved as an alternative material under Section 13.08.010.D.

In the A, R-40, R-20, R-15, R-10, R-8, districts, any use and building, other than single family detached residential units, shall use brick and/or stone materials as the predominant (minimum 65%) exterior facade materials. One-family detached dwelling units shall be exempt from this requirement unless otherwise specified in Section 13.08.010.E.

- B. Compatibility with Adjacent Buildings - In most cases, buildings are not viewed in isolation, but rather in the context of other buildings. To this end, the following criteria are required:
1. Building forms shall be tailored to fit within the existing topography and site features as much as possible.
 2. While architectural styles may vary, buildings of a proposed development shall be compatible with surrounding buildings (within the site and with adjacent properties) with regard to massing, scale, proportion of openings, roof types, types of glazed openings, and degree of detail.
 3. The use of materials and colors compatible with buildings adjacent to a site is required.
- C. Adapting Prototypical Designs to Particular Sites: National standard designs shall be adapted to reflect the specific site context within the City by careful siting, use of compatible materials, and landscaping of the site so that it blends with its surroundings.
- D. Alternative Plan Approval: Upon the request of any owner of property to which this Section applies, the Planning Commission may approve an alternative plan which is not in strict compliance with the requirements of this Section, if the Commission finds that such alternative plan meets the purpose and intent of the requirements of this section and the alternative architectural plan and materials are clearly superior to a plan that would be in strict compliance with this Section. In making the determination, the Commission may consider the materials, design, color, and other natural or man-made elements which could impact a proposal's conformance to these standards.

E. Residential Infill Development Design Standards: To ensure the conservation and protection of established housing and residential neighborhoods in the City of Gallatin, the Planning Commission may establish architectural character and compatibility standards as a prerequisite of approval of any sketch, preliminary, or final plat for residential developments containing one-family detached dwelling units that are determined by the Planning Commission to be classified as an infill development. For the purposes of this section, an infill development shall be defined as follows:

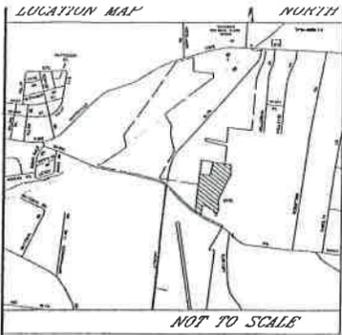
1. Any proposed residential development involving the resubdivision of an existing lot or lots of record, which are also a lot or lots in a subdivision recorded in the office of the County Register of Deeds, into a major subdivision containing five (5) or more lots as defined by the Gallatin Municipal-Regional Planning Commission.
2. Any proposed residential development that is located adjacent to, or across a local or collector street from, existing residential neighborhoods. For the purposes of this section, a residential neighborhood shall be deemed “existing” if it has been platted and recorded for a period of ten years or more and is more than sixty (60) percent built out.

Architectural character and compatibility standards established by the Planning Commission may more restrictive than district and/or supplementary regulations and may include, standards regulating building materials, size, scale, proportion of openings, roof types, and degree of architectural detail to which new buildings or structures shall be constructed in order to ensure that the new construction will be compatible with the established character of existing residential neighborhoods.

The establishment of architectural character and compatibility standards shall be based on a determination by the Planning Commission that a proposed development is classified as an infill development and it has been determined that establishment of such standards is necessary to promote and protect the health, safety, morals, general welfare and character of existing residential neighborhoods in the City of Gallatin. The decision of the Planning Commission to establish architectural character and compatibility standards may be appealed to the City Council upon the request of any owner of property to which this Section applies.

F. Screening - To ensure that roof mounted equipment is not visible from any public right-of-way the following criteria is required:

1. Roofs shall not be visually cluttered. All roof level electrical transformers, heat and air conditioning equipment and similar facilities shall be screened from public view, along all building elevations, with materials compatible with and well integrated into the overall design.
2. If no roof top equipment exists on a flat roof, a parapet may still be required to be installed on all elevations of the building.



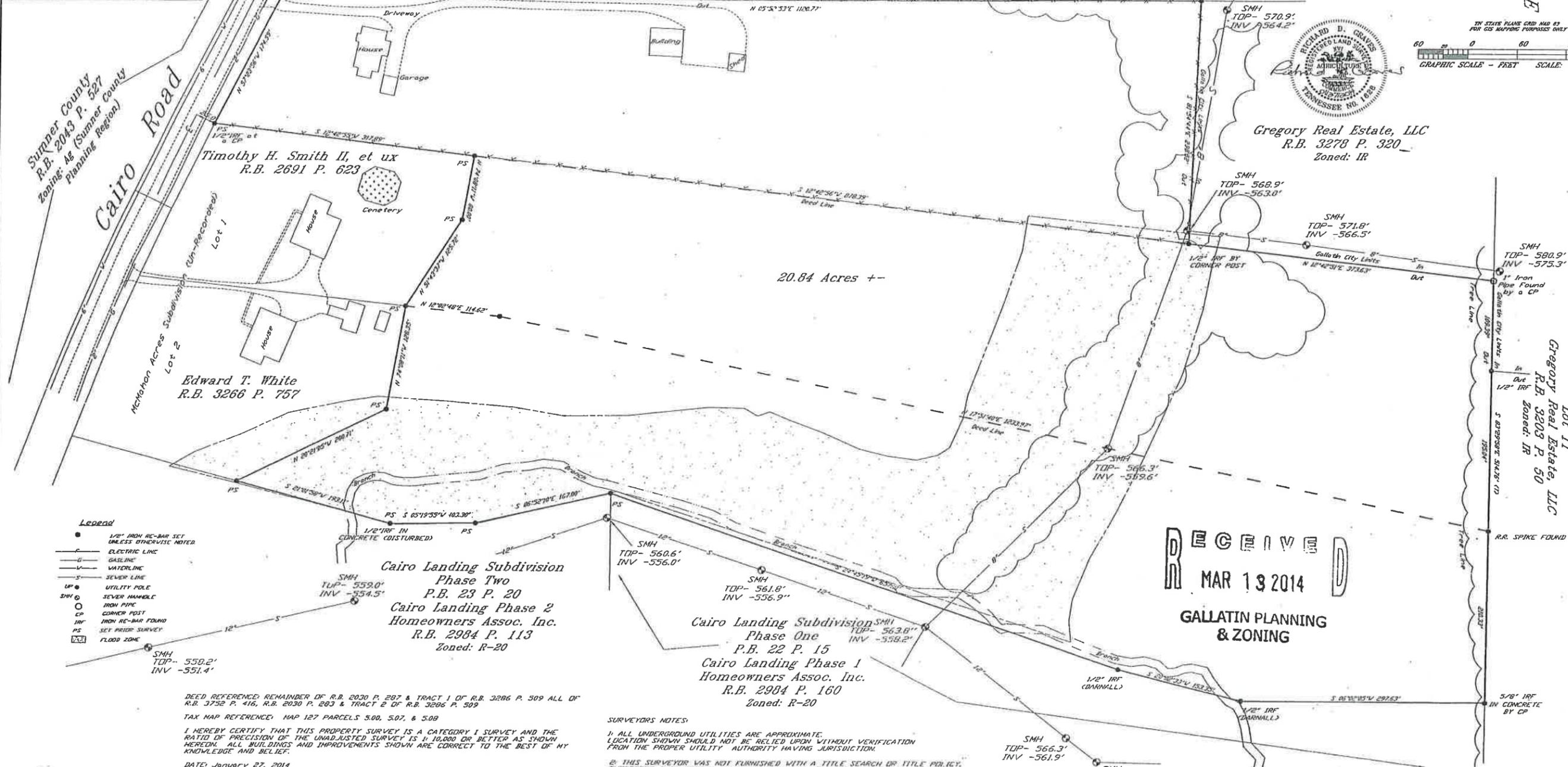
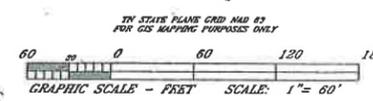
**Boundary and Topographic Survey for
Henry Holleman Property
2nd Civil District
Sumner County Tennessee
(Adjoins Gallatin City Limits)**

SITE BENCHMARK
5/8" IRON ROD
ELEV= 580.02

Ramsay Industrial
Center, Section Two
P.B. 19 P. 53
Lot 1
Joseph C. Merlo
R.B. 1175 P. 268
Zoned: IR

Odrick Gregory Industrial
Park Phase Three
P.B. 26 P. 323
Lot 10
Gary H. Branham, et ux
R.B. 3275 P. 552
Zoned: IR

Sumner County Regional
Airport Authority
R.B. 502 P. 70
Zoned: IR



RECEIVED
FEB 28 2014
GALLATIN PLANNING
& ZONING

RECEIVED
MAR 13 2014
GALLATIN PLANNING
& ZONING

Odrick Gregory Industrial
Park Phase Three
P.B. 26 P. 323
Lot 11
Gregory Real Estate, LLC
R.B. 3203 P. 50
Zoned: IR

- Legend**
- 1/2" IRON RE-BAR SET UNLESS OTHERWISE NOTED
 - ELECTRIC LINE
 - GAS LINE
 - WATER LINE
 - SEWER LINE
 - UP ● UTILITY POLE
 - SEVEN HUBBLE
 - IRON PIPE
 - CORNER POST
 - IRON RE-BAR FOUND
 - PS SET PRIOR SURVEY
 - ☒ FLOOD ZONE

Cairo Landing Subdivision Phase Two
P.B. 23 P. 20
Cairo Landing Phase 2 Homeowners Assoc. Inc.
R.B. 2904 P. 113
Zoned: R-20

Cairo Landing Subdivision Phase One
P.B. 22 P. 15
Cairo Landing Phase 1 Homeowners Assoc. Inc.
R.B. 2904 P. 160
Zoned: R-20

DEED REFERENCE: REMAINDER OF R.B. 2030 P. 287 & TRACT 1 OF R.B. 3286 P. 309 ALL OF R.B. 3752 P. 416, R.B. 2030 P. 283 & TRACT 2 OF R.B. 3286 P. 309

TAX MAP REFERENCE: MAP 127 PARCELS 5.00, 5.07, & 5.08

I HEREBY CERTIFY THAT THIS PROPERTY SURVEY IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR BETTER AS SHOWN HEREIN. ALL BUILDINGS AND IMPROVEMENTS SHOWN ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: January 27, 2014
RICHARD D. GRAVES, Tenn. R.L.S. No. 1628

ZONING: R-40
TOTAL AREA BEING SURVEYED: 20.84 Acres +-

OWNERS
Henry Holleman
P.O. Box 574
Gallatin, TN 37066

- SURVEYOR'S NOTES:**
- 1: ALL UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATION SHOWN SHOULD NOT BE RELIED UPON WITHOUT VERIFICATION FROM THE PROPER UTILITY AUTHORITY HAVING JURISDICTION.
 - 2: THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE POLICY. THEREFORE THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONLY THE DOCUMENTS NOTED HEREIN WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH. THE SURVEYOR RESERVES THE RIGHT TO REVISION ANY EASEMENTS NOT PROVIDED FOR OR KNOWN OF PER THE DATE OF THIS SURVEY.
 - 3: ONLY PAPER COPIES OF THIS SURVEY WITH THE SURVEYOR'S ORIGINAL STAMP AND SIGNATURE WILL CONSTITUTE AN ORIGINAL COPY OF THIS SURVEY.
 - 4: SUBJECT TO ANY DRAINAGE THAT MAY CROSS THE PROPERTY DUE TO NATURAL CAUSES.
 - 5: SUBJECT TO ANY LEASES, RIGHT-OF-WAYS, ENCROACHMENTS, EASEMENTS, LIENS, ETC. THAT MAY EXIST AND/OR APPLY TO THE SUBJECT PROPERTY.

Prepared by:
Richard D. Graves
Land Surveying
1768 New Highway 52
Westmoreland, TN 37186
Phone: (615) 644-2077
Fax: (615) 644-3200

Job # 13031TSB
PC 0262-14

ITEM 2

AIRPORT ROAD INDUSTRIAL

General Description of Existing Development Patterns

The Airport Road Industrial special area is characterized by large lots with large-scale industrial and warehousing buildings deeply set back on the lot and surrounded by surface parking lots. Building types range from large metal buildings with limited brick and stone façade treatments to two-story office buildings with residential character. Landscaping is required by the Zoning Ordinance.

The area includes employment uses, but has few other commercial and services uses to serve workers and patrons of these businesses. Airport Road Industrial also includes the Sumner County Regional Airport.

The land here is used in low and high intensity manufacturing, wholesale trade, distribution, assembly, processing. These uses may in some cases generate nuisance characteristics. As a result, residential uses are not appropriate in this character area, but should be located in adjacent and nearby areas in order to provide housing near employment centers.

Location

Areas within this character area include the following:

- Developed and developing portions of Airport Road from north of Coles Ferry Road to US-31E/East Broadway, including the Gallatin Industrial Park and surrounding area

Intent

- Provide diverse industry

Development Strategies

The development pattern should seek to:

- Protect air and water quality
- Prevent adverse impacts to natural resources and surrounding population
- Address traffic impacts and circulation in site design
- Provide adequate buffers and limit visibility of industrial operations/parking from the public right of way
- Preserve existing residential areas on the fringe of the character area, but discourage expansion of residential uses in the character area

Implementation Measures

- Adopt updated requirements for PBP Zoning District

AIRPORT ROAD INDUSTRIAL

Anticipated level of change:

- Medium

Transportation

- High level of service
- Medium level of connectivity
- Properties accessed by public roads, railroad
- Regular-shaped, long blocks
- Roads characterized by curb, gutter

Infrastructure

- Public water and sewer available
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood and pocket parks

Primary Land Uses

- Light Industry
- Business Parks
- Warehouses
- Commercial
- Transportation/Communication/Utilities
- Commercial/Office/Retail
- Public/Institutional

Appropriate Intensity

- 0.5 FAR

Applicable Zoning Districts

Existing Zoning Districts

- IR, PBP, IG

Proposed Zoning Districts

- PBP (proposed updates)

ITEM 2

GALLATIN
On the Move
2020

PC0262-14

SUBURBAN NEIGHBORHOOD ESTABLISHED

General Description of Existing Development Patterns

The Suburban Neighborhood character area describes areas where typical types of suburban residential subdivision development have occurred in the post World War II era. Neighborhoods are characterized by low pedestrian orientation, medium-to-larger lot sizes, high to moderate degree of building separation, and are predominantly residential with scattered civic buildings and varied street patterns (often curvilinear) that include cul-de-sacs. Neighborhoods included in this character area are generally stable. Improved pedestrian and bicycle networks, especially near school and other civic uses would provide safer routes and encourage walking and bicycling as a transportation option.

Location

Areas within this character area include the following:

- South Gallatin neighborhoods of Halewood and Woodvale
- West Gallatin neighborhoods in the Lock 4 Road/Peninsula Drive area
- Newly-developed portions of the West Gallatin neighborhoods in the Fairvue/Baypoint (Browns Lane) area
- Newly-developed and established portions of the Douglass Bend area
- East Gallatin neighborhoods in the Grandview subdivision and surrounding area

Intent

The development pattern should seek to:

- Maintain residential uses
- Preserve existing tree cover
- Provide safe facilities for pedestrians, school buses, and bicyclists using the road right-of-way
- Accommodate in-fill development that compliments the scale, setback and style of existing adjacent homes
- Accommodate senior housing opportunities, which can be integrated into neighborhoods that benefit from close proximity to goods and services
- Maintain predominant development pattern of detached one-family homes

SUBURBAN NEIGHBORHOOD ESTABLISHED

Anticipated level of change:

- Low

Transportation

- Low level of service
- Medium level of connectivity
- Properties accessed by public roads
- Regular-shaped, long blocks
- Older subdivision roads characterized by grassy swales and newer with curb, gutter and sidewalk
- Sidewalks and pedestrian infrastructure limited to newer subdivisions

Infrastructure

- Public water and sewer available
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood parks
- Community gardens

Primary Land Uses

- Single-family residential
- Small and large-scale apartments and townhomes

Appropriate Residential Net Density

- 2-5 units per acre

Applicable Zoning Districts

Existing Zoning Districts

- R-10, R-15, R-20, R-40, MRO

Proposed Zoning Districts

- No proposed new districts

ITEM 2

GALLATIN
On the Move
2020

PC 0262-14

Development Strategies

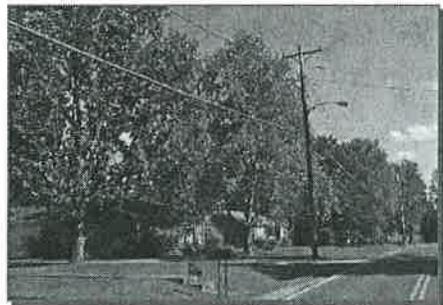
- Focus on reinforcing stability of more mature Suburban Neighborhood Established areas by encouraging more home ownership and maintenance or upgrade of existing properties
- Locate schools, community centers, or well-designed small commercial activity centers at suitable locations within walking distance of residences
- Enhance the pedestrian-friendly environment by adding sidewalks and creating other pedestrian-friendly multi-use trail/bike routes linking neighboring communities and major destinations such as libraries, neighborhood centers, health facilities, commercial clusters, parks, schools, etc.
- Add traffic calming improvements, sidewalks and increased street interconnections to improve walkability within existing neighborhoods
- Limit driveway spacing along the highway frontage and align driveways where needed to improve traffic flow
- Protect older subdivisions that lack detailed design-related covenants and restrictions

Implementation Measures

- ☞ *Develop residential infill guidelines applicable in Suburban Neighborhood Established areas in order to ensure that the scale and character of new development on vacant lots is compatible with existing development*



Typical suburban street in Halewood subdivision



Typical suburban street in Woodvale subdivision

ITEM 2



ITEM 2

PC0262-14

SITE DATA TABLE:

Applicant:

Fairvue Plantation H.O.A.
James Corbett
1167 Chloe Drive
Gallatin, TN 37066
615.230.0386

Property Addresses/Owner Information:

Location #1

Entrance Feature and Street Trees on Noah Lane

Property: Lot 507 and City ROW
1249 Potter Lane, Gallatin, TN 37066
James W. Brassell Sr
Parcel ID 136N C 018.00

Location #2

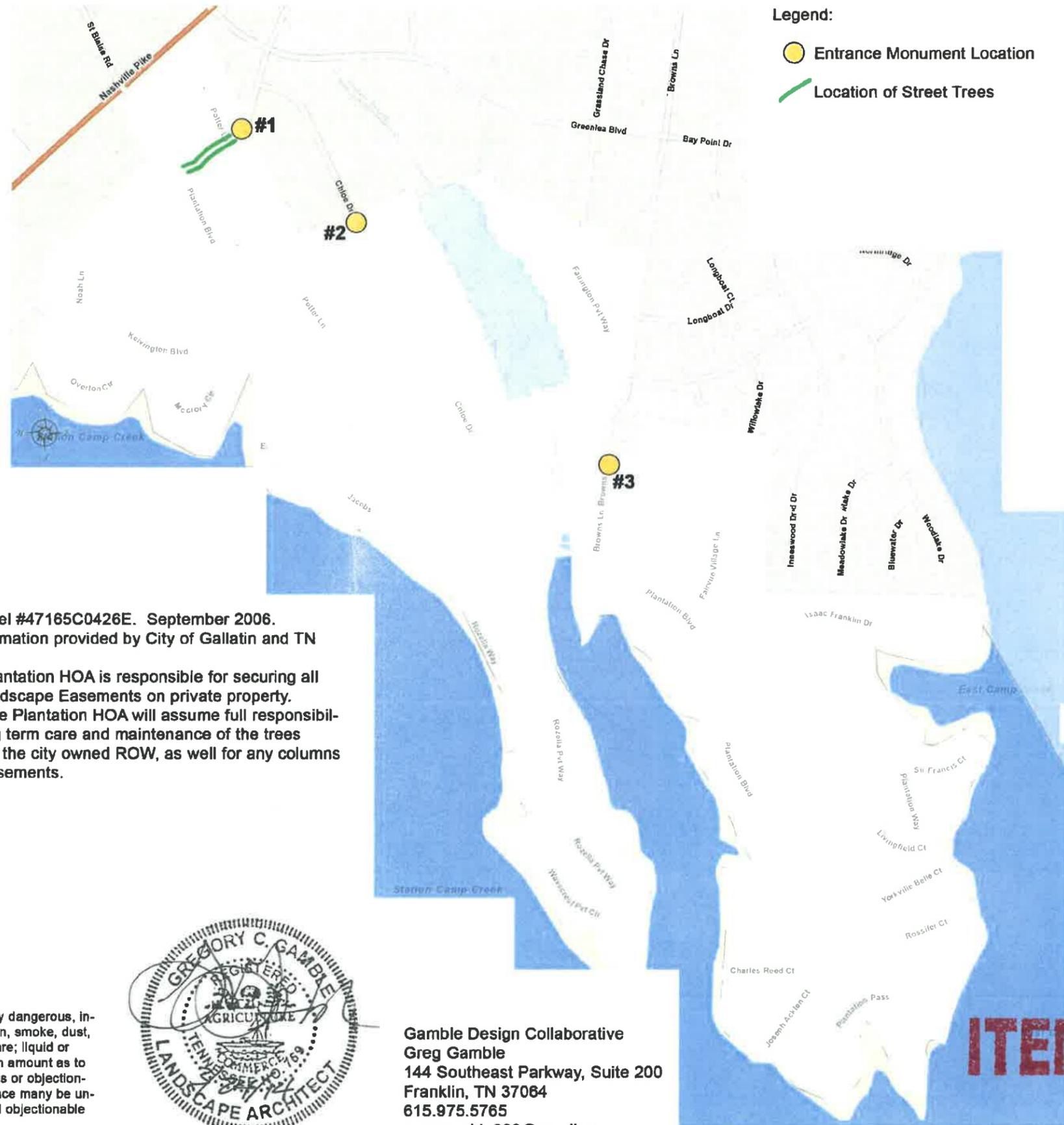
Entrance Feature on Chloe Drive

Property: Open Space Lots and City ROW
Fairvue Plantation HOA Inc, Timmons Prop Inc.
Parcel ID 136N B047.00

Location #3

Entrance Feature on Browns Lane

Property: Gallatin Golf LLC and City ROW
Gallatin Golf LLC
Parcel ID 147 C B 047.00



Legend:

- Entrance Monument Location
- Location of Street Trees

NOTES:

1. FEMA Panel #47165C0426E. September 2006.
2. Utility information provided by City of Gallatin and TN One Call.
3. Fairvue Plantation HOA is responsible for securing all additional Landscape Easements on private property.
4. The Fairvue Plantation HOA will assume full responsibility for the long term care and maintenance of the trees planted within the city owned ROW, as well for any columns in ROW or easements.



This example of similar column and landscape previously approved in the ROW is typical of our request.

Performance Standards Note - GZO Sec. 13.02:

No land or building in any district shall be used or occupied in a manner so as to create any dangerous, injurious, noxious, or otherwise objectionable fire, explosive, or other hazard; noise or vibration, smoke, dust, odor, or other form of air pollution; heat, cold, dampness, electrical, or other disturbance; glare; liquid or solid refuse or wastes; or other substance, condition, or element in such a manner or in such amount as to adversely effect the surrounding area of adjoining premises (referred to herein as "dangerous or objectionable elements"); provided, that any use permitted or not expressly prohibited by this Ordinance may be undertaken and maintained if it conforms to the regulation of this Article limiting dangerous and objectionable elements at the point of the determination of their existence.



Gamble Design Collaborative
Greg Gamble
144 Southeast Parkway, Suite 200
Franklin, TN 37064
615.975.5765
greggamble209@gmail.com

ITEM 3

Revisions:

Drawing Notes:

GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
Date: 3.25.2014

Fairvue Plantation
Final Master Development Plan Revision

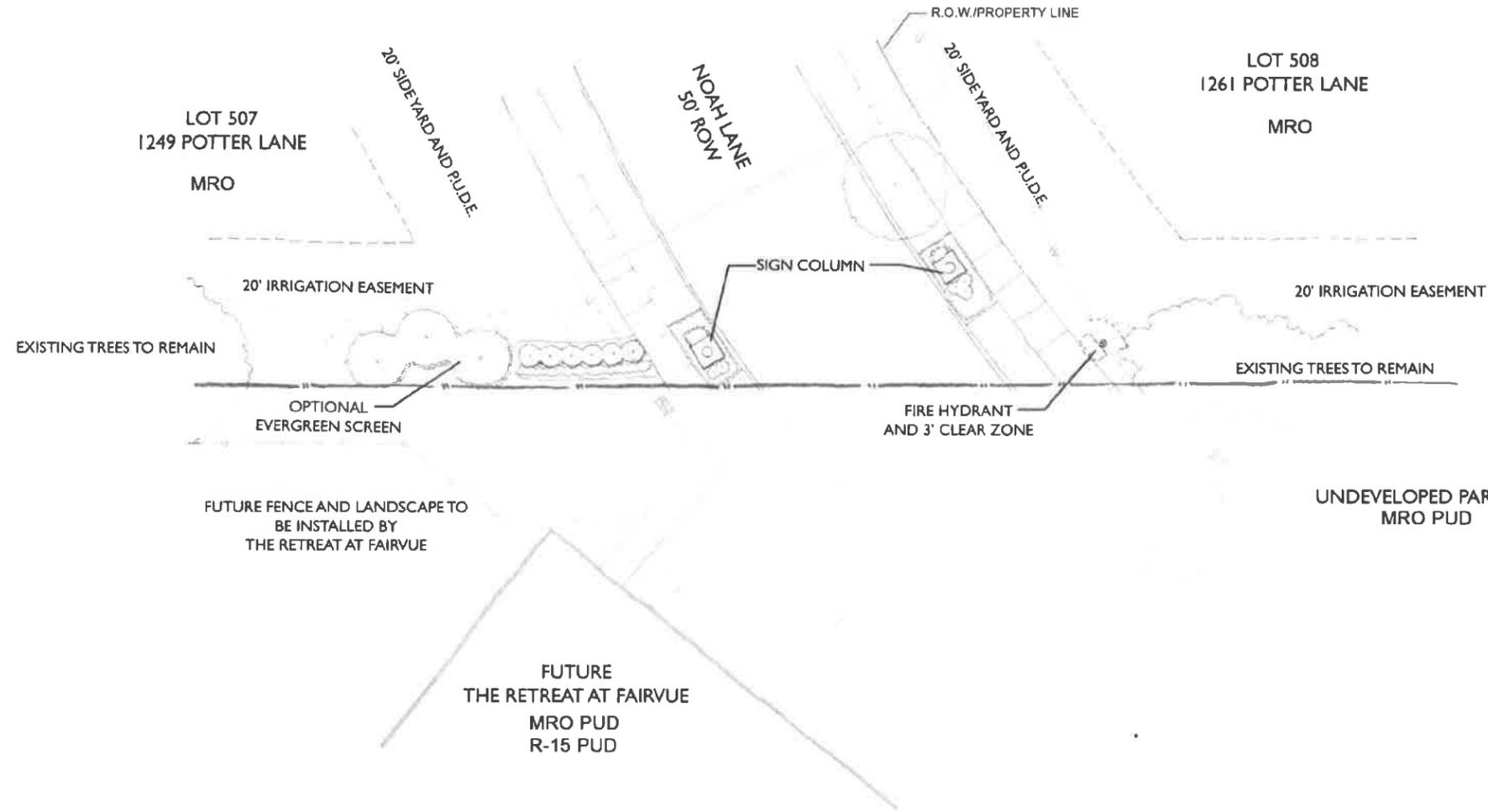
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MAR 24 2014
GALLATIN PLANNING
& ZONING

GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
greggamble209@gmail.com
615.975.5765

Cover &
Location Map

L1.0

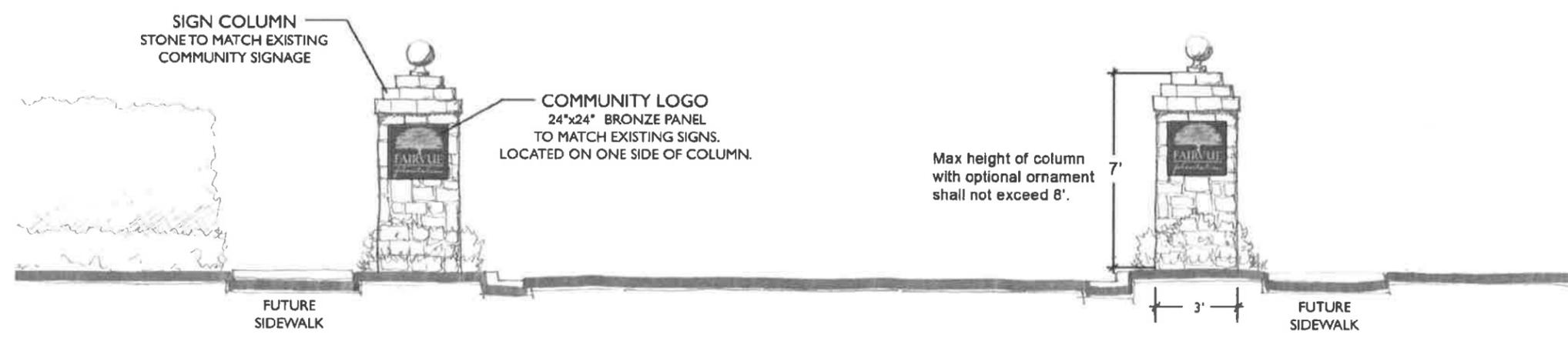
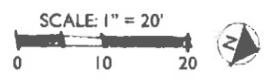
PC0266-14



NOTES:
 COLUMNS AND PLANTING LOCATED IN NOAH LANE R.O.W. AND IN THE 20' IRRIGATION/ 20' SIDEYARD - P.U.D.E. EASEMENT.

COLUMNS ARE NOT DIRECTLY ACROSS THE ROAD FROM EACH OTHER ; HOWEVER, THE OFFSET IS MINIMAL

PLEASE SEE SHEET L2.1 FOR LANDSCAPE PLAN



Revisions:

Drawing Notes:

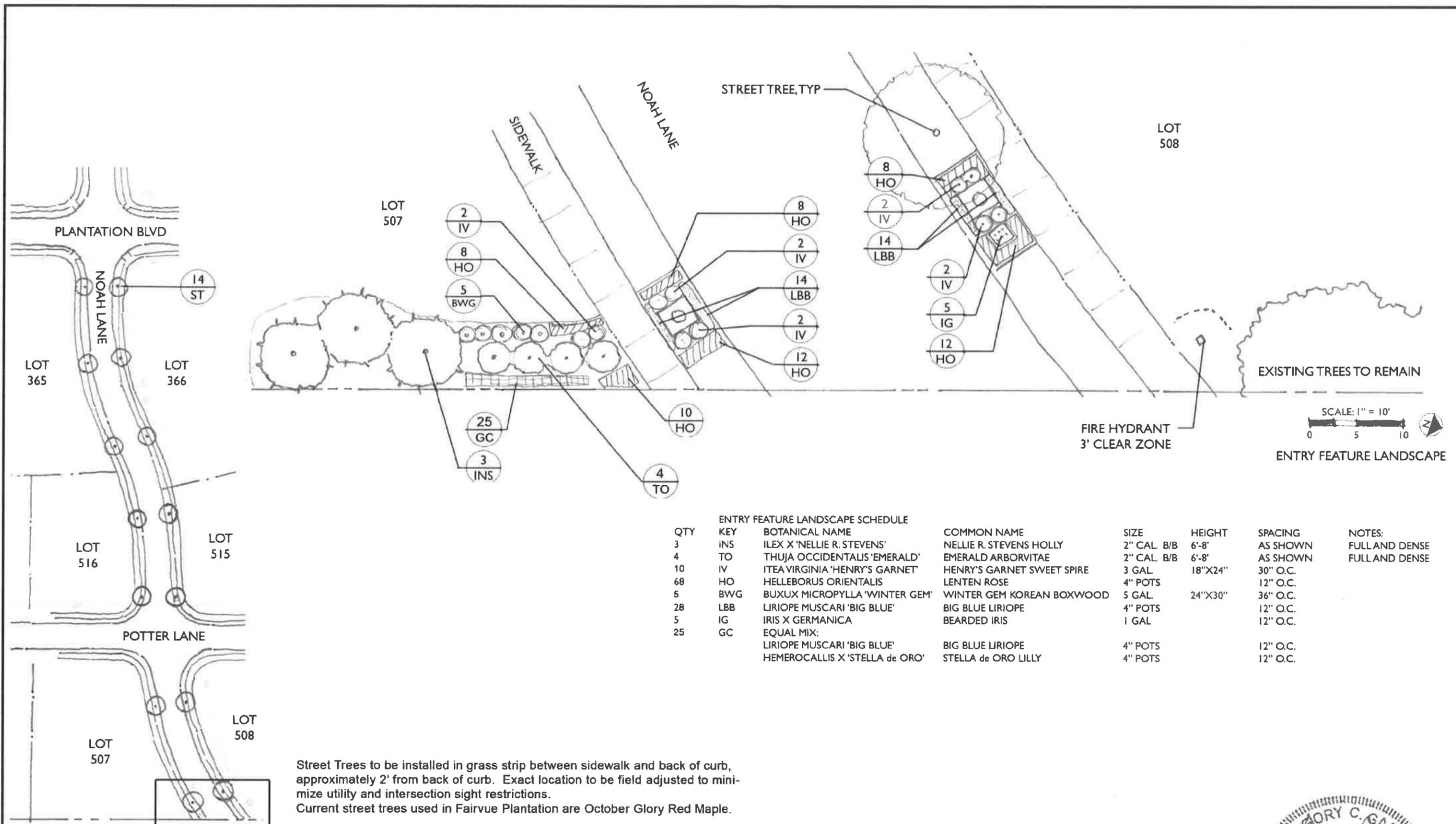
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 GAMBLE
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE
 Date: 3.26.2014

Fairvue Plantation
 Final Master Development Plan Revision

GAMBLE DESIGN COLLABORATIVE
 140 BOUTWELL BLVD. SUITE 200
 MEMPHIS, TENNESSEE 38104
 GREG GAMBLE
 greg@gdcd.com
 901.575.5161

Location #1
 Noah Lane

L2.0

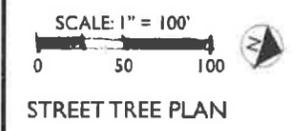


QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	NOTES:
3	INS	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	2" CAL B/B	6'-8"	AS SHOWN	FULL AND DENSE
4	TO	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	2" CAL B/B	6'-8"	AS SHOWN	FULL AND DENSE
10	IV	ITEA VIRGINIA 'HENRY'S GARNET'	HENRY'S GARNET SWEET SPIRE	3 GAL	18"X24"	30" O.C.	
68	HO	HELLEBORUS ORIENTALIS	LENTEN ROSE	4" POTS		12" O.C.	
5	BWG	BUXUX MICROPYLLA 'WINTER GEM'	WINTER GEM KOREAN BOXWOOD	5 GAL	24"X30"	36" O.C.	
28	LBB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	4" POTS		12" O.C.	
5	IG	IRIS X GERMANICA	BEARDED IRIS	1 GAL		12" O.C.	
25	GC	EQUAL MIX:					
		LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	4" POTS		12" O.C.	
		HEMEROCALLIS X 'STELLA de ORO'	STELLA de ORO LILLY	4" POTS		12" O.C.	

Street Trees to be installed in grass strip between sidewalk and back of curb, approximately 2' from back of curb. Exact location to be field adjusted to minimize utility and intersection sight restrictions. Current street trees used in Fairvue Plantation are October Glory Red Maple.

ENTRY FEATURE LANDSCAPE PLAN

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	NOTES:
14	ST	TO BE SELECTED BY OWNER		3" CAL B/B	10'-12'	AS SHOWN	CENTRAL LEADER, 6' CLEAR TRUNK



STREET TREE PLAN

Revisions:

Drawing Notes:

GDC
 GAMBLE
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE
 Date: 3.25.2014

Fairvue Plantation
 Final Master Development Plan Revision



Location #1
Noah Lane

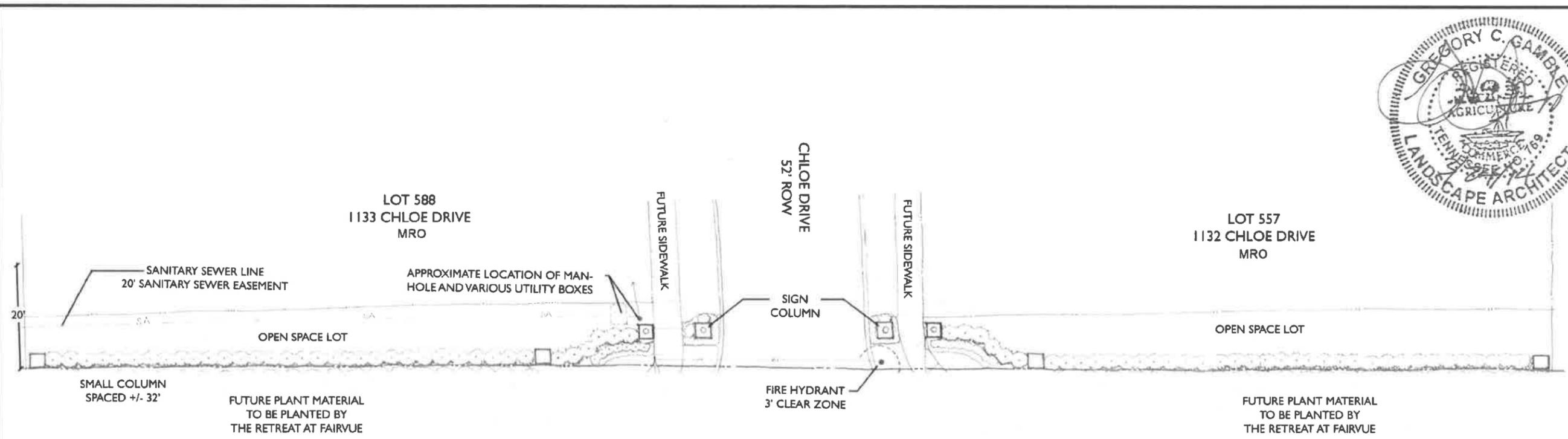
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Revisions:

Drawing Notes:

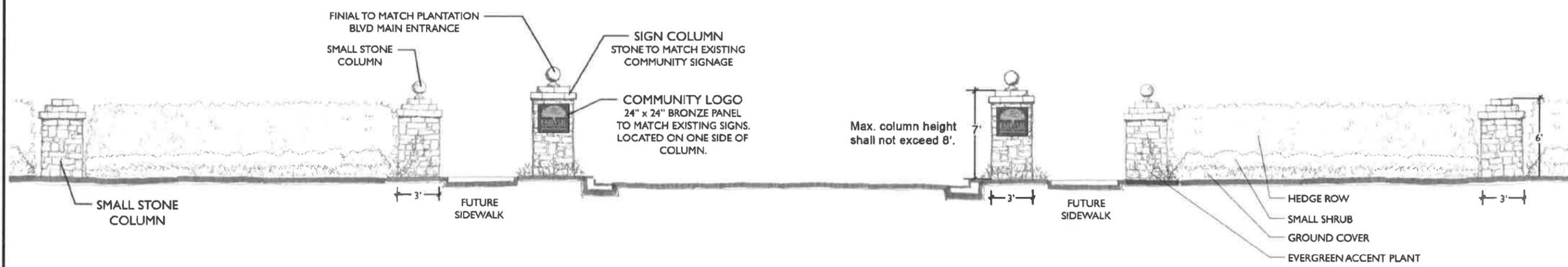
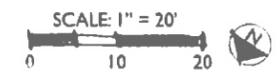
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 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE
 Date: 2.26.2014



NOTES:
 COLUMNS AND PLANTING LOCATED IN CHLOE LANE R.O.W. AND ON TWO OPEN SPACE LOTS.

THE OPEN SPACE LOT ADJACENT TO LOT 588 HAS SEVERAL UTILITY LINES LOCATED IN IT. ADDITIONALLY, THIS OPEN SPACE IS OVERLAID WITH HALF OF A 20' SANITARY SEWER EASEMENT. CONSTRUCTION OF COLUMNS/ INSTALLATION OF LANDSCAPE WILL NEED TO BE COORDINATED WITH THE UTILITIES TO AVOID CONFLICTS.

FUTURE
 THE RETREAT AT FAIRVUE
 MRO PUD
 R-15 PUD



Fairvue Plantation
 Final Master Development Plan Revision

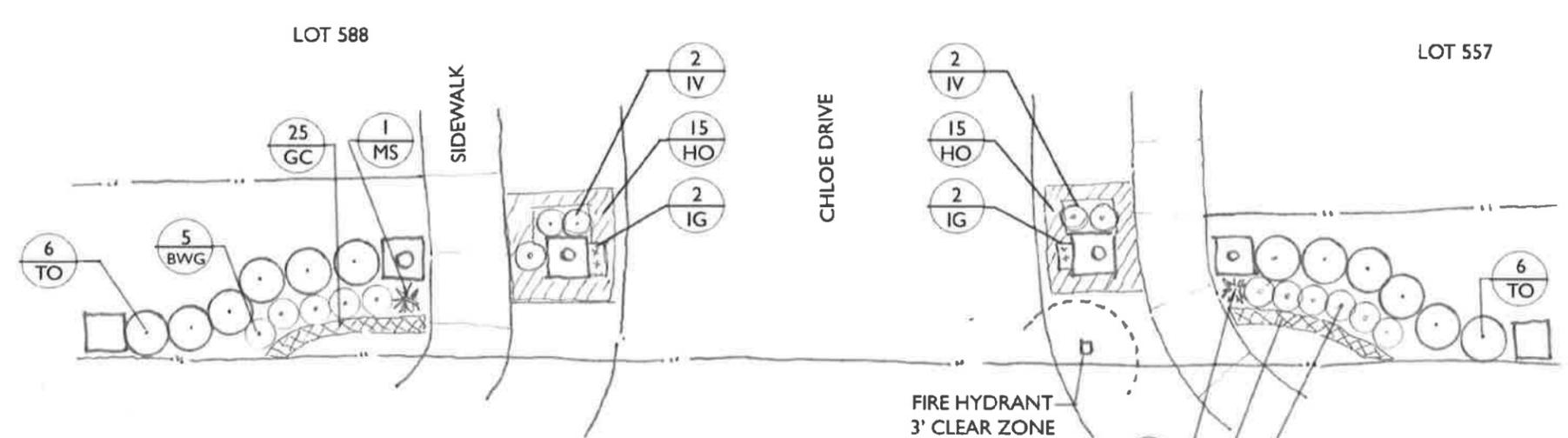
GAMBLE DESIGN COLLABORATIVE
 1415 SOUTHERN BELT EASTWAY
 SUITE 200
 PLAINFIELD, TENNESSEE 37064
 GREG GAMBLE
 greg@retreatatfairvue.com
 615.975.5745

Location #2
 Chloe Lane

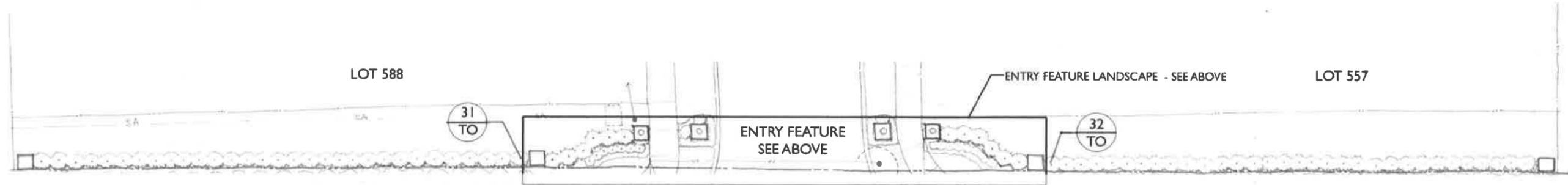
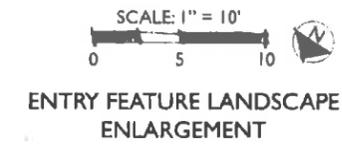
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Revisions:
 Drawing Notes:
GDC
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 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE
 Date: 2.26.2014

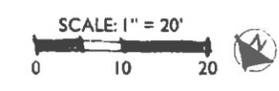


QTY	KEY	ENTRY FEATURE LANDSCAPE SCHEDULE	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	NOTES:
75	TO		THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	2" CAL B/B	6'-8'	AS SHOWN	FULL AND DENSE
11	BWG		BUXUX MICROPYLLA 'WINTER GEM'	WINTER GEM KOREAN BOXWOOD	5 GAL	24"X30"	36" O.C.	
2	MS		MISCANTHUS SINESIS 'ADAGIO'	ADAGIO MADIANGRASS	3 GAL		AS SHOWN	
4	IV		ITEA VIRGINIA 'HENRY'S GARNET'	HENRY'S GARNET SWEET SPIRE	3 GAL	18"X24"	30" O.C.	
30	HO		HELLEBORUS ORIENTALIS	LENTEN ROSE	4" POTS		12" O.C.	
4	IG		IRIS X GERMANICA	BEARDED IRIS	1 GAL		12" O.C.	
50	GC		EQUAL MIX: LIRIOPE MUSCARI 'BIG BLUE' HEMEROCALLIS X 'STELLA de ORO'	BIG BLUE LIRIOPE STELLA de ORO LILLY	4" POTS 4" POTS		12" O.C. 12" O.C.	



FUTURE PLANT MATERIAL
 TO BE PLANTED BY THE
 RETREAT AT FAIRVUE

FUTURE PLANT MATERIAL
 TO BE PLANTED BY THE
 RETREAT AT FAIRVUE



Fairvue Plantation
 Final Master Development Plan Revision

GAMBLE DESIGN COLLABORATIVE
 144 SOUTH HAZEL PARKWAY
 SUITE 200
 MEMPHIS, TENNESSEE 38104
 GREG GAMBLE
 greg@gdcdesign.com
 901.571.5145

Location #2
 Chloe Lane

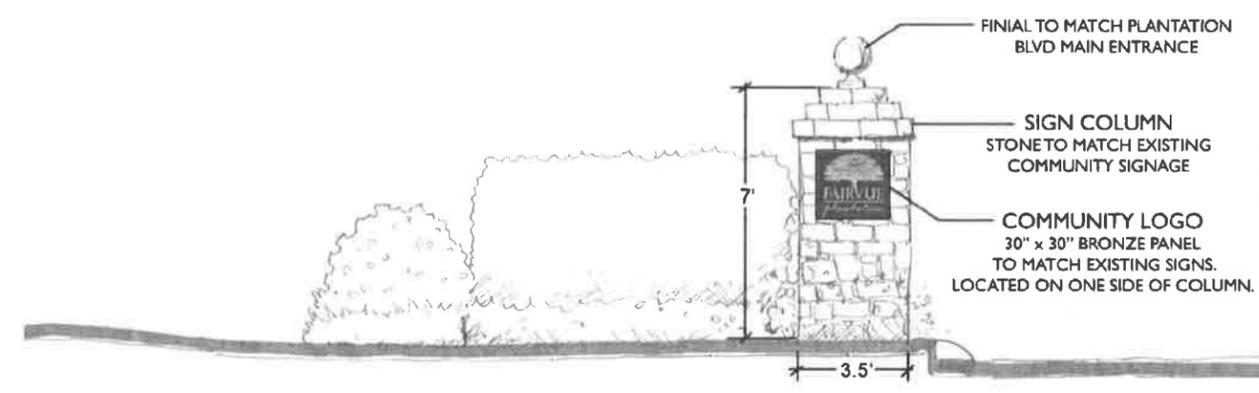
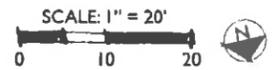
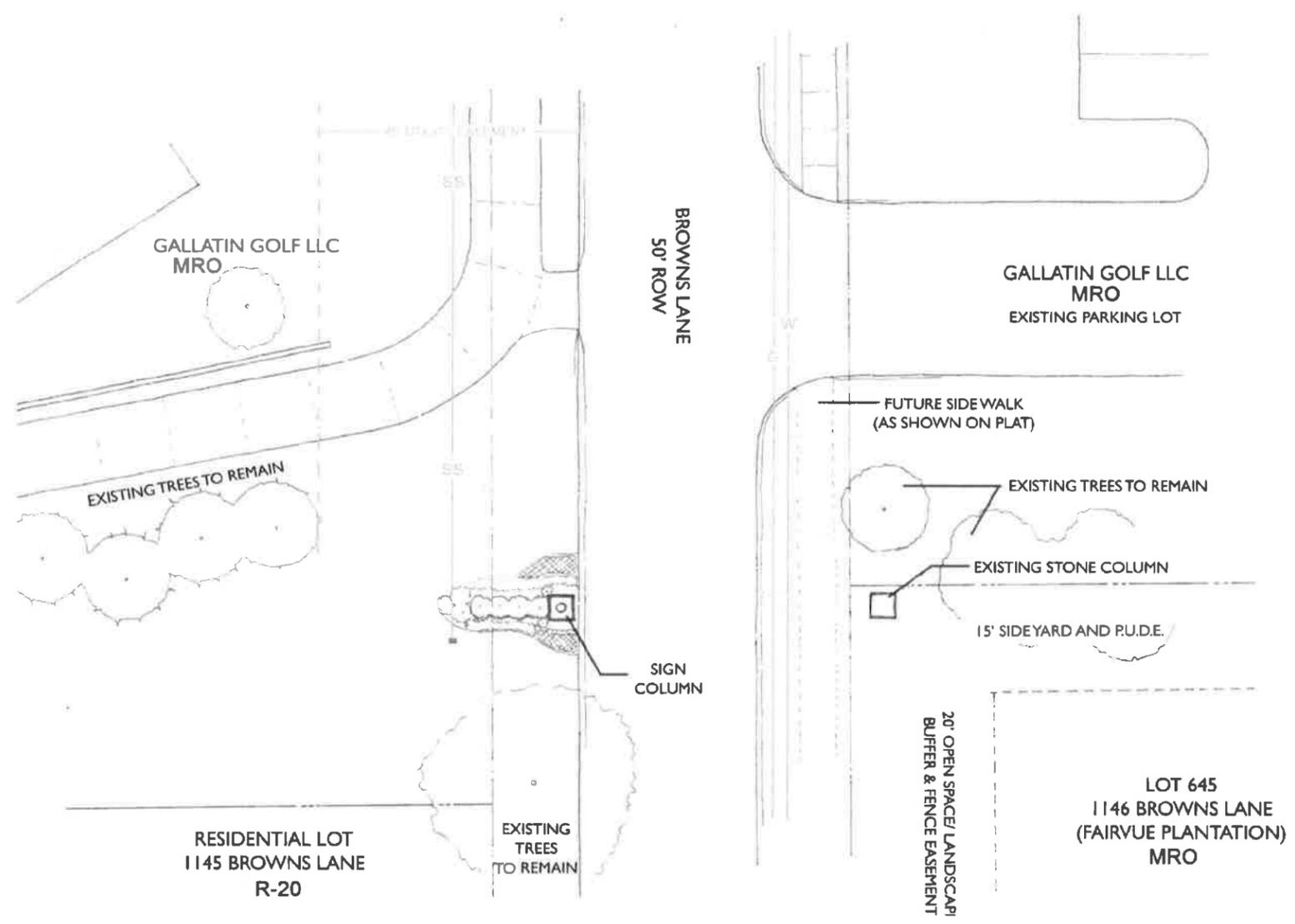
L3.1

Revisions:

Drawing Notes:



Fairvue Plantation
 Final Master Development Plan Revision



GAMBLE DESIGN COLLABORATIVE
 114 SOUTH HEART PARKWAY
 SUITE 230
 FRANKLIN, TENNESSEE 37064
 GREG.GAMBLE@GDCGAMBLE.COM
 615.975.5765

Location #3 Browns Lane

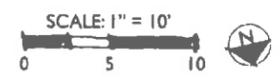
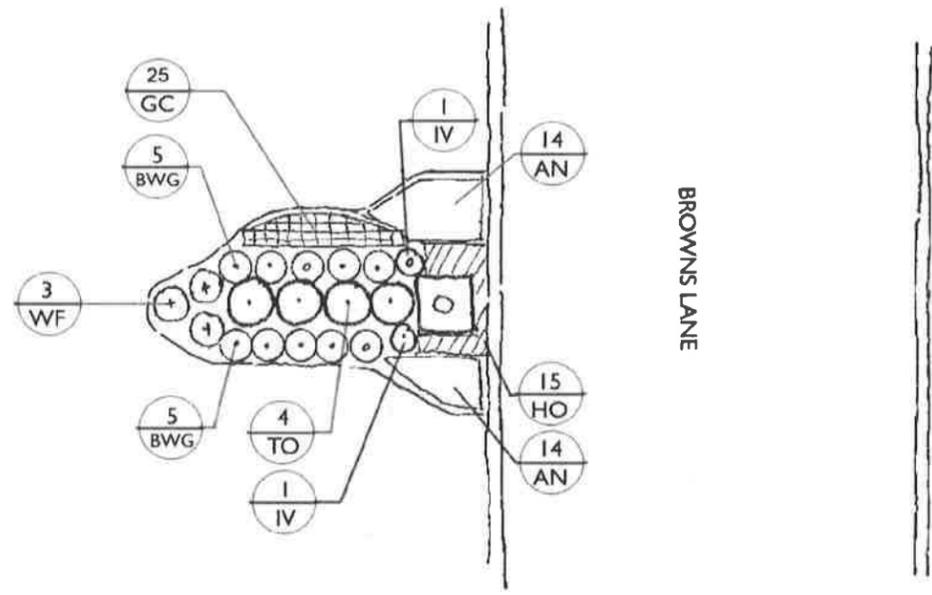
L4.0

Revisions:

Drawing Notes:



Fairvue Plantation
Final Master Development Plan Revision



QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	NOTES:
1	LIN	LAGERSTROEMIA X 'TUSKEGEE'	TUSKEGEE Crape Myrtle	2" CAL	6'-8"	AS SHOWN	MULTI-STEM, BALANCED FULL AND DENSE
8	TO	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	2" CAL. B/B	6'-8"	AS SHOWN	
5	IV	ITEA VIRGINIA 'HENRY'S GARNET'	HENRY'S GARNET SWEET SPIRE	3 GAL	18"X24"	30" O.C.	
45	HO	HELLEBORUS ORIENTALIS	LENTE ROSE	4" POTS		12" O.C.	
20	BWG	BUXUX MICROPYLLA 'WINTER GEM'	WINTER GEM KOREAN BOXWOOD	5 GAL	24"X30"	36" O.C.	
3	PL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	5 GAL	24"X30"	36" O.C.	
5	WF	WEIGELA FLORIDA 'JAVA RED'	JAVA RED WEIGELA	5 GAL	24"X30"	AS SHOWN	
3	MS	MISCANTHUS SINESIS 'ADAGIO'	ADAGIO MADIANGRASS	3 GAL		AS SHOWN	
6	IG	IRIS X GERMANICA	BEARDED IRIS	1 GAL		12" O.C.	
9	IVN	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	3 GAL	18"X18"	AS SHOWN	
132	AN	ANNUALS	ANNUALS	4" POTS		12" O.C.	
66	GC	EQUAL MIX: LIRIOPE MUSCARI 'BIG BLUE' HEMEROCALLIS X 'STELLA de ORO'	BIG BLUE LIRIOPE STELLA de ORO LILLY	4" POTS 4" POTS		12" O.C. 12" O.C.	



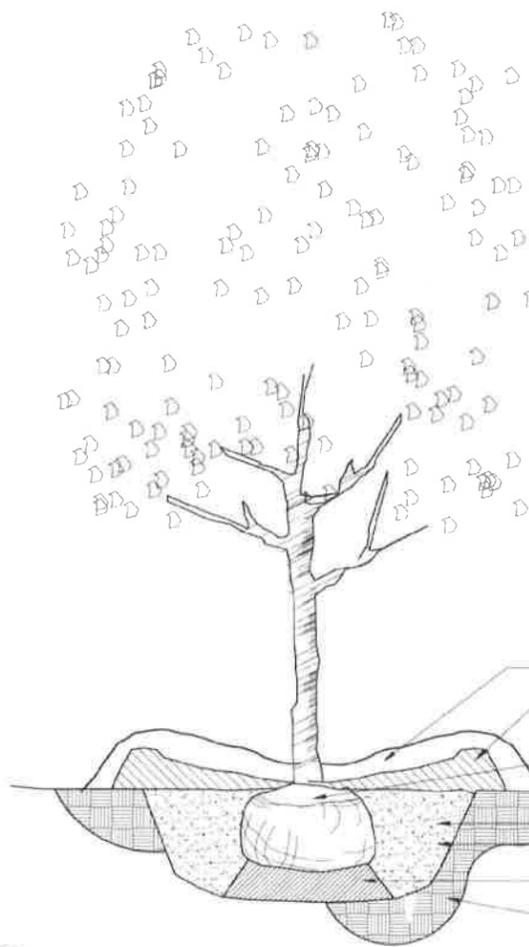
GAMBLE DESIGN COLLABORATIVE
148 SOUTH HEART PARKWAY
SUITE 230
MEMPHIS, TENNESSEE 38144
GREGORY C. GAMBLE
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
TENN. COMM. NO. 769
415.975.1341

Location #3
Browns Lane

L4.1

LANDSCAPE PLANTING GENERAL NOTES

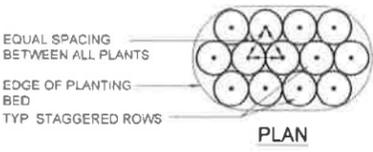
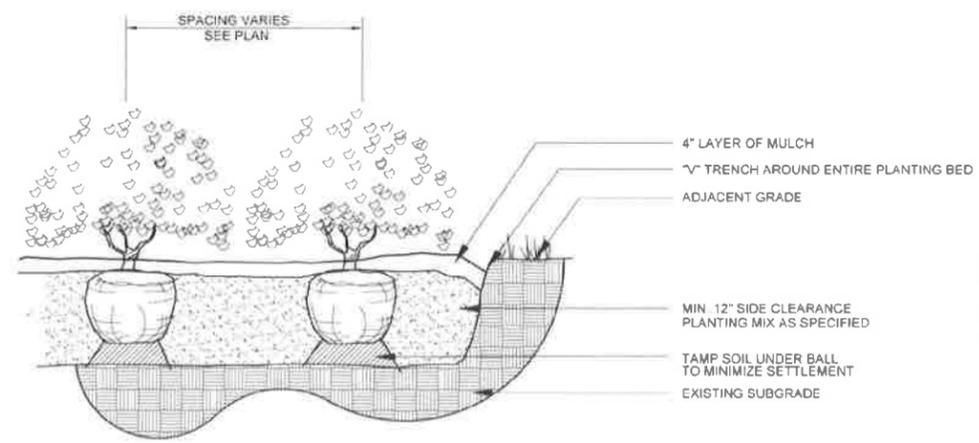
1. THE LANDSCAPE CONTACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF ALL MATERIALS. THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT, AND MAY RESULT IN THE RESUBMITTAL OF LANDSCAPE PLANS TO THE CITY OF FRANKLIN FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.
4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.
5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLOUDS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.
6. ALL LARGE DIRT CLOUDS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.
7. PRE-EMERGENT HERBICIDE SHALL BE APPLIED AFTER INSTALLATION AND IMMEDIATELY PRIOR TO MULCHING.
8. ALL PLANT BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES OF SHREDDED PINE BARK. ALL ANNUAL BEDS SHALL BE MULCHED WITH A MINIMUM OF 2 INCHES OF SOIL CONDITIONER, PINE BARK FINES.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
10. ALL SOD AREAS SHALL BE TILLED AND RAKED SMOOTH, WITH LARGE DIRT CLOUDS AND ROCKS REMOVED, PRIOR TO SOD INSTALLATION.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.
13. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.



GENERAL NOTES:

1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
2. Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
3. Install top of plant ball even with or 1" above existing grade.
4. Set tree in vertical position prior to staking.
5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree, 3' diameter minimum.

1 SINGLE TRUNK DECIDUOUS TREE
 L5.0 SECTION
 DETAIL # NTS



GENERAL NOTES:

1. Install top of plant ball 2" above adjacent gr.
2. Tamp planting mix firmly as pit is filled arou.
3. Soak each plant ball and pit immediately aft

2 SHRUB PLANTING
 L5.0 PLAN/ SECTION
 DETAIL # NTS



Gamble Design Collaborative
 Greg Gamble
 144 Southeast Parkway, Suite 200
 Franklin, TN 37064
 615.975.5765
 greggamble209@gmail.com

PHASE II FINAL MASTER DEVELOPMENT PLAN

FOR
PHASE II AT FOXLAND CROSSINGS
TDK CONSTRUCTION COMPANY

FOXLAND
CROSSING

CONTACTS

OWNER

GARY WHITAKER
WILSON BANK AND TRUST
623 WEST MAIN STREET
SUITE C
LEBANON, TN. 37086
(615) 444-2265

DEVELOPER

ROSS BRADLEY
TDK CONSTRUCTION COMPANY, INC.
1610 SOUTH CHURCH STREET
SUITE C
MURFREESBORO, TN. 37130
(615) 895-8743

CIVIL

BRAD SLAYDEN
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
BSLAYDEN@RAGANSMITH.COM

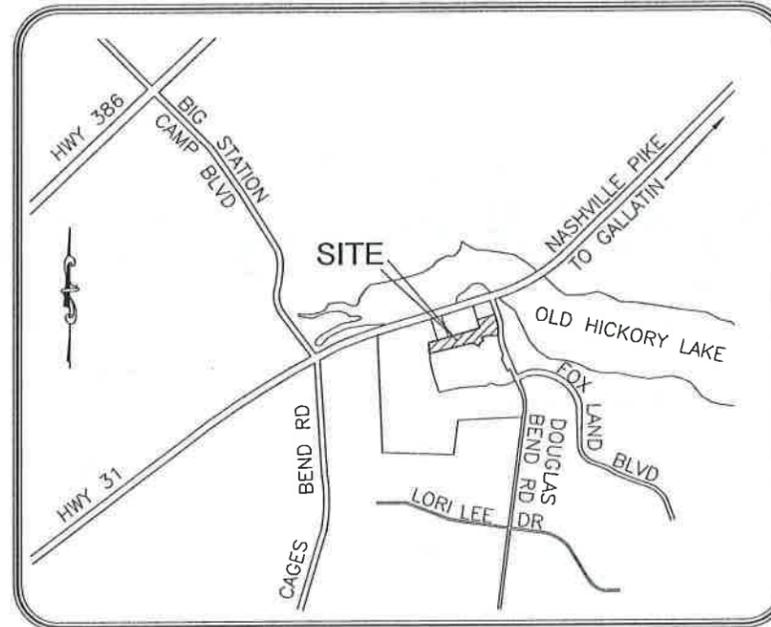
LANDSCAPE ARCHITECTURE

BRYAN DILLINGHAM
2202 E. 49TH STREET, SUITE 500
TULSA, OK 74105
(918) 742-1463
BRYAN_DILLINGHAM@ALABACKDESIGN.COM

ARCHITECTURE

JIM PARKER
PARKER ASSOCIATES
2202 E. 49TH STREET, SUITE 500
(918) 742-2485
JPARKER@PARKERTULSA.COM

TAX MAP: 136, PARCEL NO.: 27.01



LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS

SHEET DESCRIPTION

C0.0 COVER SHEET

CIVIL PLANS

C0.1 CIVIL NOTES
C0.2 AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
C0.3 OVERALL EXISTING CONDITIONS PLAN
C1.0 OVERALL LAYOUT PLAN
C1.1 ENLARGED LAYOUT PLAN
C2.1 INITIAL EROSION CONTROL PLAN
C3.0 OVERALL GRADING PLAN
C3.1 ENLARGED GRADING, DRAINAGE AND EROSION CONTROL PLAN
C4.0 OVERALL UTILITY PLAN
C4.1 ENLARGED UTILITY PLAN
C5.1 CONSTRUCTION DETAILS

LANDSCAPE ARCHITECTURAL PLANS

L1 LANDSCAPE PLAN
L2 LANDSCAPE PLAN

ARCHITECTURAL PLANS

AB2 BUILDINGS 10, 11 & 12 ELEVATIONS



FINAL MASTER DEVELOPMENT PLAN
FOR
PHASE II AT FOXLAND CROSSING

HUD PROJECT #086-35358

CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

JOB NO.	11035	DESIGNED:	B. SLAYDEN	DATE:	MARCH 26, 2014
WK. ORDER	9870	DRAWN:	R. HIRSCH	SCALE:	N.T.S.
REVISIONS					
COVER SHEET					
C0.0					

ITEM 4

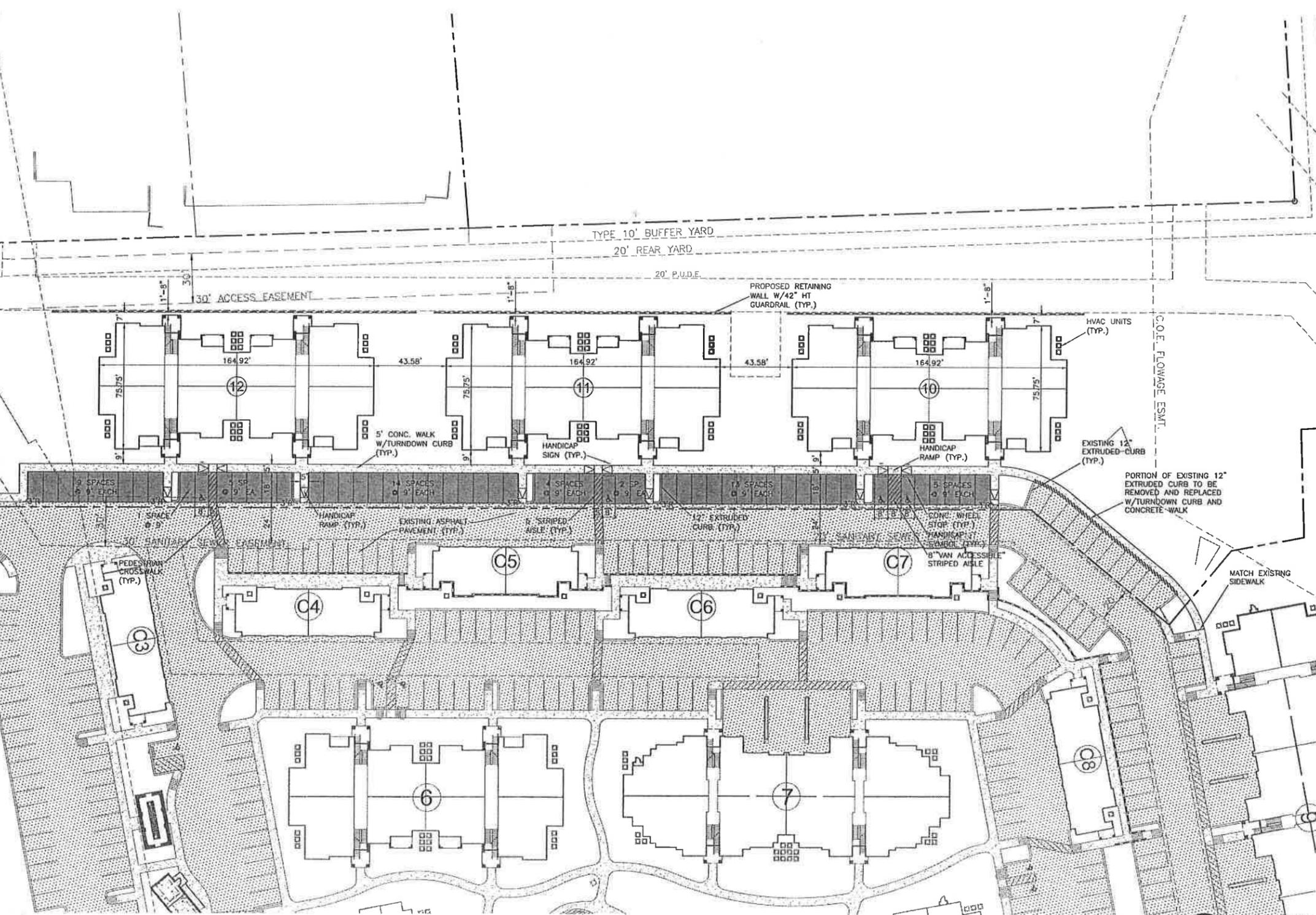
R-0267-14

CITY OF GALLATIN,
SUMNER COUNTY,
TENNESSEE

1/4" EASEMENT

MAHOGANY BOULEVARD (FUTURE)
(R.O.W. WIDTH VARIES)

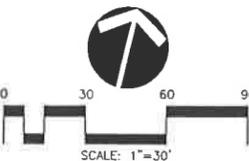
EXISTING BUFFER YARD
SIDE YARD



PAVEMENT LEGEND

-  LIGHT DUTY ASPHALT PAVEMENT
-  CONCRETE PAVEMENT
-  CONCRETE WALK
-  EXISTING ASPHALT PAVEMENT

IF YOU DIG TENNESSEE...
CALL US FIRST!
1-800-351-1111
1-615-366-1987
TENNESSEE ONE CALL
IT'S THE LAW



HUD PROJECT #086-35358

FINAL MASTER DEVELOPMENT PLAN
FOR
PHASE II AT FOXLAND CROSSING

CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
NASHVILLE
215 WOODLAND STREET
NASHVILLE, TN 37208
615-259-0000
www.ragan-smith.com



JOB NO.	11035
WK ORDER	9870
DESIGNED:	B. SLAYDEN
DRAWN:	R. HIRSCH
SCALE:	1"=30'
DATE:	MARCH 26, 2014
REVISIONS:	

ENLARGED LAYOUT PLAN
C1.1

Final Master Development Plan for

Carellton

Phase 2, Sections A & B

Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124
Gallatin, Sumner County, Tennessee

Revisions:

Drawing Notes:

Date: March 26, 2014

Carellton
 Phase 2, Sections A & B FMDP
 Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124
 Gallatin, Sumner County, Tennessee



Cover Sheet

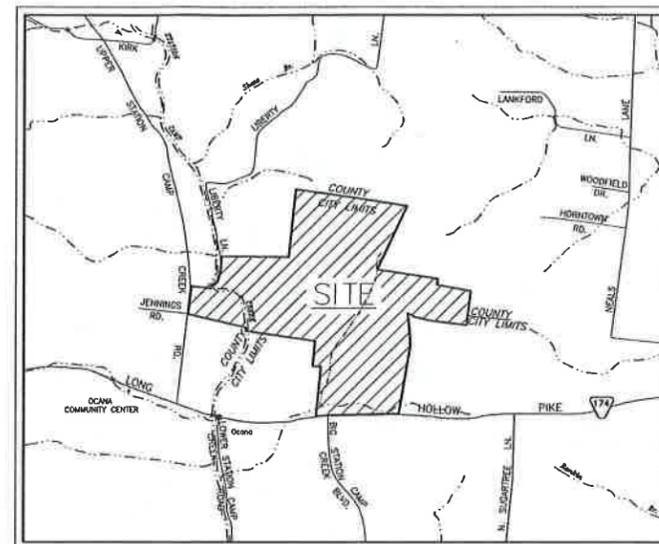
Job No. 12017

C0.0

1 of 4



Overall Site Map
Scale 1"=600'



Vicinity Map
NTS

Project Notes

- The purpose of this submittal is to provide a Final Master Development Plan for Carellton Phase 2, Sections A-B, a residential development consisting of 85 Residential Dwellings, 39 Single-Family Lots & 26 Multi-Family Lots.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of the City of Gallatin Department of Public Works.
- A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47165C0293G, Dated April 17, 2012. All pad elevations shall be filled, if necessary, at least 1 foot above the base flood elevation. Floodplain Development Permits and Elevation Certificates are Required for Construction in the 100 Year Floodplain.
- All public streets, curbs, and sidewalks are to be constructed in conformance with the City of Gallatin Engineering Division design standards.
- Wheelchair accessible curb ramps, complying with applicable Engineering Division standards, shall be constructed at all street crossings.
- Individual water and/or sanitary sewer service lines are required for each lot.
- All areas designated as Open Space will be owned and maintained by the Homeowner's Association including the Guest Parking Stalls and Private Sidewalks.
- All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02.
- The owner/developer of this property is responsible for all financial matters.
- A Site Surety for Landscaping shall be submitted prior to the issuance of any building permits.
- Trash Removal for this property shall be handled by individual rollaway city totes.
- Estimated Completion for this project is 12 months.
- Improvements called for in the Traffic Study previously completed for Carellton shall be completed as outlined therein.
- All Dual Road Frontage Lots Shall be Accessed from the Minor Street.
- All Street Intersections Shall Comply with Subdivision Regulations for Vertical and Horizontal Alignment.

Project Summary

Site Data

Councilmanic District #4
Council Person Craig Hayes

Property Location/Address:
Located at the Intersection of Long Hollow
Pike and Big Station Camp Creek Blvd
Gallatin, TN 37066

Applicant: Green Trails, LLC
Contact: Rick Decker
Address: 2925 Berry Hill Drive, Ste A
Nashville, TN 37204
Phone: (615) 397-4513

Developer: Green Trails, LLC
Contact: Rick Decker
Address: 2925 Berry Hill Drive, Ste A
Nashville, TN 37204
Phone: (615) 397-4513

Engineer: Dewey-Estes Engineering
Contact: Kevin Estes, PE
Address: 2925 Berry Hill Drive, Ste B
Nashville, TN 37204
Phone: (615) 401-9956

Site Information

Tax Map 124, Parcels 7.00, 7.01 & 7.02

Zoning - R8(PRD)

Current Use: Vacant
Proposed Use: Residential (Single Family &
Multi-Family Dwelling)

Plan Preparation Date: March 26, 2014

Site Breakdown:
Total Lots - 85
Phase 2-A - 40 Lots
Phase 2-B - 45 Lots

Lot Breakdown:
60' Wide Lots - 19 (2-B)
50' Wide Lots - 40 (2-A)
30' Wide Townhomes - 26 (2-B)

Open Space Area - 6.91 Acres
RCOV Area - 5.38 Acres
Lor Area - 21.53 Acres

Minimum Front Yard: 20 Ft
Minimum Rear Yard: 20 Ft
Minimum Side Yard: 5 Ft
Minimum Side Yard (Corner Lot): 15 Ft
Maximum Height: 2 Stories

Sheet Schedule

1	C0.0	Cover Sheet
2	C1.0	Overall Layout Plan
3	C2.0	Overall Grading & Utilities Plan
4	C3.0	Overall Layout Plan

Flood Note:

A Portion of this property is located within a
Zone 'A' Flood Hazard Area, as indicated on
FEMA Map Number 47165C0293G, dated
April 17, 2012.

Site Benchmark:
Located at the NE Corner of Phase 1-B.
Iron Rod Found, No Cap In Fence.
NGVD 29 Elevation = 583.65'

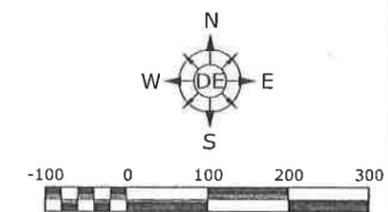


ITEM 5

DI-0268-14

LOT TABLE

139	11839.72	0.27	166	8710.04	0.20	177	7656.12	0.17	213	7896.28	0.17	271	5280.00	0.12	282	5279.88	0.12	450	7560.00	0.17	461	9187.97	0.21
140	9136.26	0.21	167	6760.00	0.16	178	11253.75	0.26	214	6973.85	0.16	272	6418.22	0.15	283	5907.93	0.14	451	7560.00	0.17	462	8190.00	0.19
141	11028.70	0.25	168	8053.65	0.18	179	8974.36	0.20	215	6325.42	0.16	273	6482.24	0.15	284	6001.50	0.14	452	7560.00	0.17	463	8190.00	0.19
142	11078.53	0.25	169	11307.72	0.27	180	7889.05	0.18	216	6240.14	0.14	274	5528.60	0.13	285	6001.50	0.14	453	7560.00	0.17	464	8190.00	0.19
159	8575.87	0.20	170	10705.91	0.25	181	8423.58	0.18	217	6742.89	0.16	275	5891.30	0.14	286	6001.50	0.14	454	7560.00	0.17	517	12727.51	0.29
160	9221.82	0.21	171	8640.00	0.18	182	6477.19	0.16	218	7556.87	0.17	276	7864.94	0.22	287	5692.12	0.13	455	7560.00	0.17	518	14985.60	0.34
161	7433.68	0.17	172	6759.84	0.16	183	6502.20	0.16	219	13152.16	0.30	277	7797.19	0.18	288	5280.00	0.12	456	7560.00	0.17	540	10091.99	0.23
162	6760.00	0.16	173	6759.82	0.16	184	6454.95	0.16	267	5280.00	0.12	278	7798.84	0.18	289	5280.00	0.12	457	7560.00	0.17	541	10005.87	0.23
163	14759.11	0.34	174	9225.59	0.21	185	6301.68	0.16	268	5280.00	0.12	279	7730.48	0.18	290	5280.00	0.12	458	7609.73	0.17			
164	15032.74	0.35	175	8575.80	0.18	186	6240.04	0.16	269	5280.00	0.12	280	7075.83	0.16	291	5280.00	0.12	459	7591.41	0.17			
165	13894.01	0.32	176	7141.53	0.16	187	6240.04	0.16	270	5280.00	0.12	281	6579.02	0.15	292	5280.00	0.12	460	10390.87	0.24			



Scale 1" = 100'
Phase 2 Area = 33.82 Acres

Developer
Green Trails, LLC
Contact: Rick Deckbar
2925 Berry Hill Dr, Ste A
Nashville, TN 37204
Phone: (615) 395-4513

Engineer
Dewey-Estes Engineering
Contact: Michael Dewey, PE
2925 Berry Hill Drive, Ste B
Nashville, TN 37204
Phone: (615) 401-9956
E-mail: mdewey@dewey-estes.com

Flood Note
A Portion of this property is located within a Zone "A" Flood Hazard Area, as indicated on FEMA Map Number 47165C02936, dated April 17, 2012.

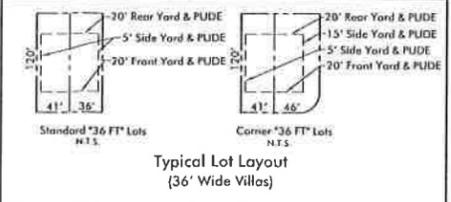
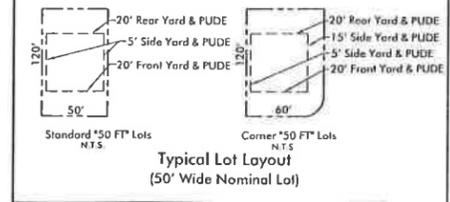
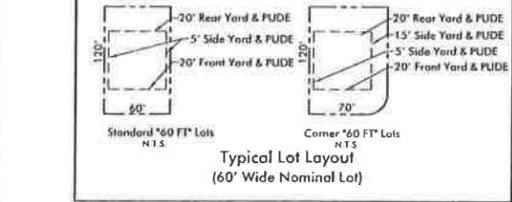
Benchmark
Located at the NE Corner of Phase 1-B. Iron Rod Found, No Cap In Fence. NGVD 29 Elevation = 583.65'

Revisions:
Drawing Notes:
Date: March 26, 2014



CURVE TABLE

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	111°32'20"	400.00	40.41	80.56	N 31°29'55" E	80.42
C2	18°45'09"	100.00	17.43	34.50	N 37°33'03" E	34.33
C3	155°54'43"	400.00	55.98	111.20	N 37°33'03" E	110.84
C4	02°31'23"	425.00	9.36	18.72	N 31°30'41" E	18.71
C5	112°33'32"	425.00	48.14	91.42	S 39°18'08" W	91.74
C6	144°16'44"	175.00	57.58	428.08	S 72°16'38" W	333.81
C7	02°00'00"	25.00	25.00	39.27	S 14°58'34" W	122.20
C8	34°08'18"	125.00	53.73	104.22	N 84°54'18" W	102.73
C9	86°39'58"	25.00	23.59	37.82	S 88°48'52" W	38.31
C10	41°02'41"	125.00	46.79	89.55	S 24°58'34" W	87.64
C11	80°00'00"	25.00	25.00	39.27	S 39°11'46" W	35.38
C12	13°09'46"	425.00	49.53	97.44	N 86°33'21" E	97.42
C13	80°00'00"	25.00	25.00	39.27	N 38°50'38" W	35.38
C14	13°09'46"	212.50	24.52	48.82	N 61°26'35" E	48.21
C15	144°16'44"	52.50	18.83	132.20	N 77°16'38" W	88.84
C16	21°31'50"	212.50	40.40	79.85	S 19°49'04" W	78.38
C17	88°58'23"	25.00	24.58	38.82	S 53°32'20" W	35.04
C18	54°08'18"	125.00	53.73	104.22	N 64°54'18" W	73.38
C19	84°15'59"	25.00	22.61	36.77	N 69°45'20" W	33.54
C20	05°30'31"	475.00	24.24	48.43	N 33°30'14" E	48.41
C21	91°31'55"	25.00	25.00	39.27	N 38°12'01" W	35.83
C22	21°30'33"	182.50	33.84	66.82	N 38°04'43" E	66.54
C23	144°16'44"	22.50	69.83	58.66	S 77°16'38" E	42.83
C24	13°09'46"	182.50	21.86	41.63	S 01°28'30" W	41.63
C25	50°00'00"	25.00	25.00	39.27	S 53°01'33" W	35.38
C26	80°00'00"	25.00	25.00	39.27	N 32°01'33" E	35.38
C27	13°09'46"	475.00	54.80	109.12	S 88°33'21" E	108.88
C28	80°00'00"	25.00	25.00	39.27	S 50°08'14" E	35.38
C29	04°17'48"	675.00	24.83	49.63	S 07°14'37" E	48.82
C30	09°59'31"	425.00	37.15	74.12	S 02°21'15" E	74.02
C31	09°59'31"	475.00	41.52	82.84	N 04°21'15" W	82.73
C32	04°17'48"	625.00	22.99	45.95	N 07°14'37" W	45.94
C33	31°18'28"	225.00	71.82	143.68	N 89°52'25" E	143.53
C34	19°08'28"	225.00	38.14	75.27	S 87°39'41" E	75.22
C35	80°00'00"	25.00	25.00	39.27	N 84°10'54" E	35.38
C36	19°45'12"	275.00	47.88	94.81	N 87°28'04" W	94.34
C37	97°27'20"	25.00	28.48	42.32	S 77°10'52" W	35.88
C38	185°25'11"	275.00	45.23	90.62	S 33°53'20" W	90.21
C39	37°29'50"	225.00	77.47	149.22	S 24°20'08" W	148.50
C40	48°11'28"	25.00	11.18	21.03	S 18°45'20" E	21.03
C41	27°22'46"	50.00	44.72	24.19	N 84°39'47" W	65.87
C42	48°11'28"	25.00	11.18	21.03	N 27°25'55" E	21.03
C43	175°55'00"	225.00	64.66	129.27	N 24°20'08" E	129.05
C44	185°25'11"	225.00	37.41	74.15	N 32°53'38" E	73.81
C45	104°28'39"	25.00	32.27	45.38	N 27°47'07" W	39.53
C46	28°45'18"	225.00	53.51	105.07	S 86°35'55" W	104.11
C47	24°59'31"	225.00	60.95	119.36	S 85°43'04" W	118.01
C48	24°59'31"	225.00	49.87	88.15	S 89°43'04" W	97.57
C49	80°00'00"	25.00	25.00	39.27	N 36°47'09" W	35.38
C50	02°58'01"	1475.00	21.45	24.89	N 06°41'53" E	24.89
C51	02°58'01"	25.00	25.43	38.69	S 36°18'09" E	35.65
C52	02°58'01"	1525.00	12.87	25.74	S 06°41'53" W	25.74
C53	80°00'00"	25.00	25.00	39.27	S 53°12'52" W	35.38
C54	80°00'00"	25.00	25.00	39.27	S 35°49'08" W	35.38
C55	80°01'50"	25.00	24.58	38.85	S 53°41'53" W	35.06



Development Schedule

Phase 1-A	Final Plat Recorded
Phase 1-B	Under Construction
Phase 2	July 2014-June 2015
Phase 3	July 2015-June 2016
Phase 4	July 2016-June 2017
Phase 5	July 2017-June 2018
Phase 6	July 2018-June 2019
Phase 7	July 2019-June 2020
Phase 8	July 2020-June 2021



Carellton
Phase 2, Sections A & B FMDP
Being Parcels 7.00, 7.01, and 7.02 on Tax Map 124
Gallatin, Sumner County, Tennessee



Overall
Layout Plan

Job No. 12017

C1.0

SITE PLANS

PROJECT BUCKEYE

LOT 9, GALLATIN INDUSTRIAL PARK

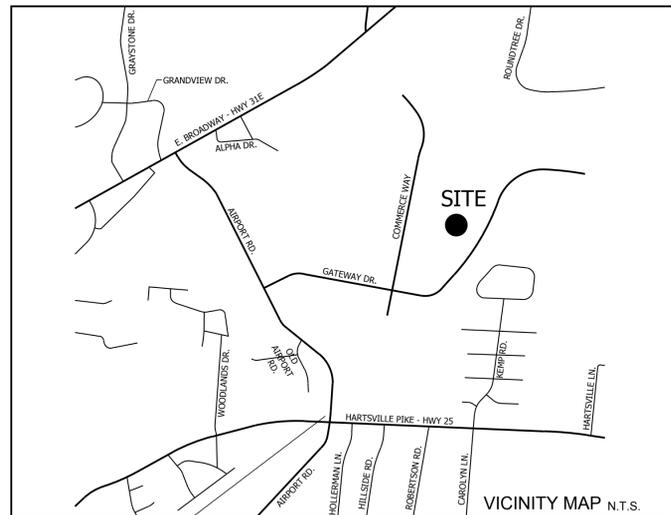
GATEWAY DRIVE

GALLATIN, SUMNER COUNTY, TENNESSEE

Item 6

SHEET INDEX

- C1.00 COVER
- C2.00 SITE LAYOUT AND UTILITY PLAN
- C2.01 GRADING AND DRAINAGE PLAN
- C2.02 STORMWATER POLLUTION PREVENTION PLAN
- C3.00 STORMWATER POLLUTION PREVENTION NOTES & DETAILS
- C3.01 CIVIL NOTES & DETAILS
- L1.00 MINIMUM LANDSCAPE PLAN
- A4.00 ARCHITECTURAL ELEVATIONS



OWNER / DEVELOPER

JIM WIBLE
P.O. BOX 397
SANDUSKEY, OH 44780

ENGINEER

CIVIL SITE DESIGN GROUP
630 SOUTHGATE AVE, SUITE A
NASHVILLE, TN 37203
PH: (615) 248-9999
CONTACT: JIM HARRISON



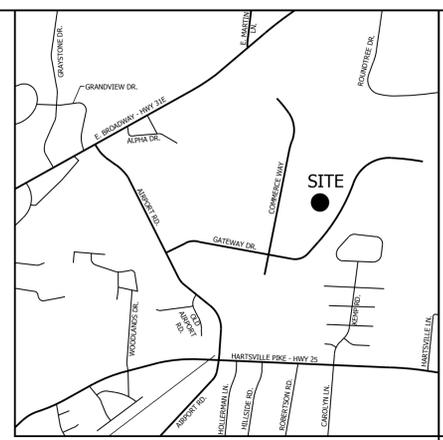
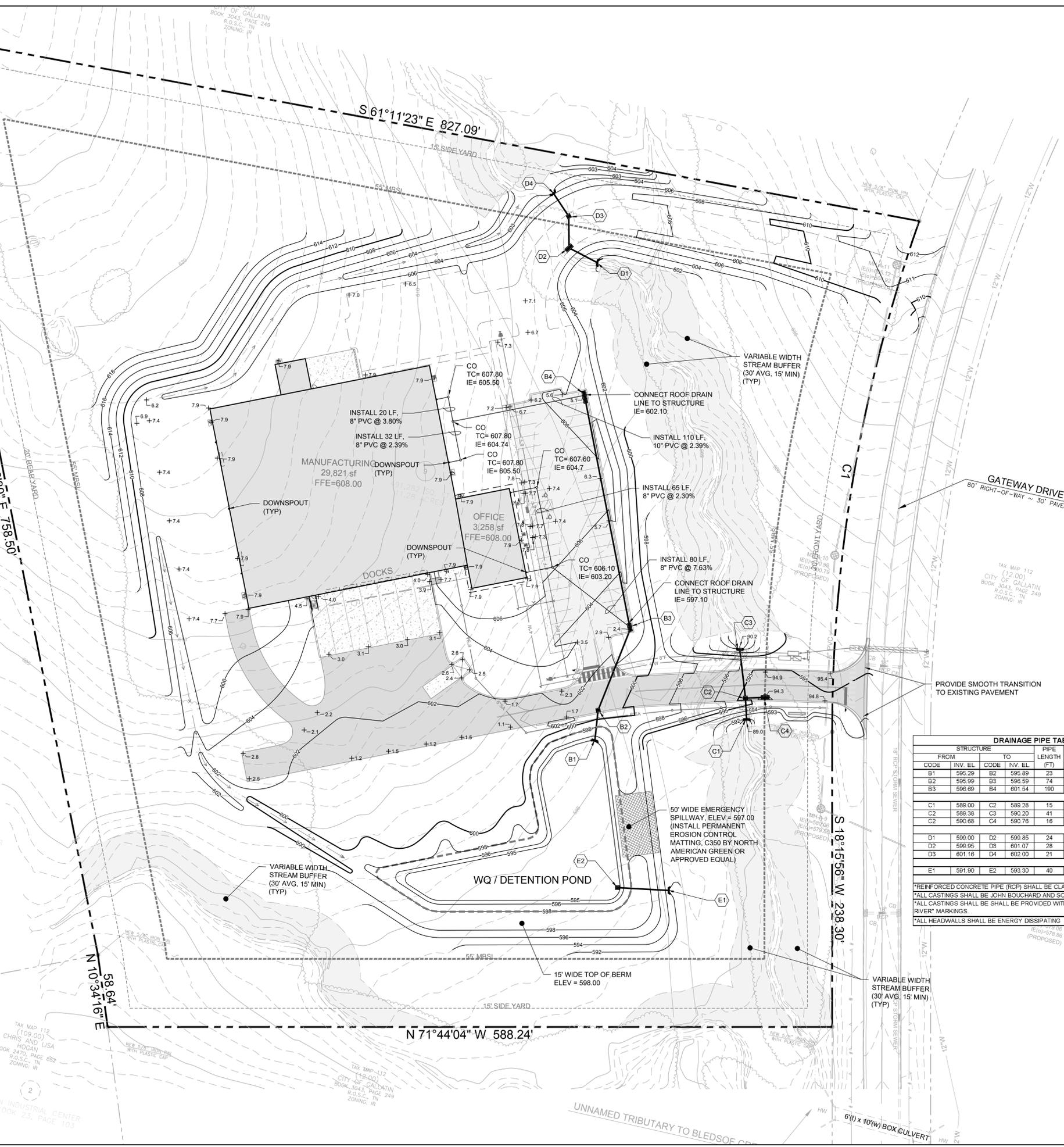
CIVIL SITE
DESIGN GROUP
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
630 SOUTHGATE AVENUE, SUITE A - NASHVILLE, TN 37203
615.248.9999 www.civil-site.com

DATE	COMMENT
03-26-14	INITIAL PLANNING SUBMITTAL
DATE: MARCH 26, 2014 JOB NO.: 13-127-01	

TAX MAP 112
(109.00)
PK USA, INC.
BOOK 1760, PAGE 145
R.O.S.C., TN
ZONING: IR



- NOTES:**
- THIS PROPERTY IS NOT IN AN AREA DESIGNATED AS A SPECIAL FLOOD AREA AS SHOWN ON COMMUNITY NFIP MAP NOS. 47165C0317G & 47165C0319G, EFFECTIVE DATE APRIL 17, 2012.
 - SEE SWPPP SHEETS FOR EROSION CONTROL MEASURES. NO ALTERATION OF THE STREAMS SHOWN SHALL OCCUR PRIOR TO WRITTEN APPROVAL FROM TDEC AND THE CITY OF GALLATIN.
 - An Erosion Prevention Siltation Control Plan (EP&SC) and Land Disturbance Permit (if required) shall be in place prior to any grading, clearing and/or any other construction activity. Erosion control devices shall be maintained throughout the construction period; generally considered to be through the completion of restoration. A copy of the EP&SC plan along with an inspection checklist and Stormwater Permit must be at the project site at all times. The inspection checklist shall have a record of dates EP&SC devices are inspected and any correction action taken or major observations. BMPs must be inspected by a qualified person who has taken an approved erosion and sedimentation course.
 - All EP&SC devices are to remain in place until the site has been stabilized and a good stand of grass has been established. Erosion prevention and sediment controls must be inspected at least twice every calendar week at least 72 hours apart. Inspections are to be documented and kept with the SWPPP (inspection reports to be furnished to the City of Gallatin Public Works Department weekly).
 - Silt fence or other sediment barriers are to be installed properly along topographical contours down slope of the area to be disturbed prior to any grading, clearing and/or any other construction activity.
 - Excavated topsoil to be reused must be stockpiled and encircled with silt fencing.
 - This site shall contain a temporary stone construction entrance that conforms to the City of Gallatin's Stormwater Ordinance and Best Management Practice Manual within 24 hours of grading commencement or the Land Disturbance Permit will be revoked. The stone shall be 2 - 3 inch in diameter and shall be kept clean by adding stone as needed. It shall be at least 6 inches deep underlain with filter fabric and 20 feet wide.
 - Approved inlet protections for nearby storm sewer curb and drop inlets must be installed within 24 hours of grading commencement.
 - Vegetative buffers or other protection must be provided along streams, rivers, and ponds to avoid erosion of banks.
 - Stabilization measures must be performed within seven (7) days in portions of the site where construction activities have temporarily or permanently ceased, and within fourteen (14) days after final grading.
 - All trees designated to remain, must be protected. Heavy equipment should not be operated or stored, nor materials handled or stored, within the drip line of trees.
 - Sediment must be removed from sediment barriers, ponds and other sediment controls when design capacity has been reduced by 33%. Sediment that has escaped the construction site and has collected in the street or drainage structures must immediately be physically removed.
 - Building and waste materials, and non-storm water discharges, such as concrete, paint wash water, or machinery leakage or spillage must be managed to prevent them from entering the storm water system, ground water or nearby water body.
 - The project is subject to inspection by the City of Gallatin at any time and items found deficient shall be immediately corrected. The City may stop construction on properties, or administer other enforcement actions as defined by City of Gallatin Stormwater Management Ordinance including Civil Penalties of \$50 to \$5,000 per day of violation.



CIVIL SITE
DESIGN GROUP
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
819 SOUTH MAIN STREET, SUITE 411, GALLATIN, TN 37068
PH: 615.241.1988 FAX: 615.241.1989



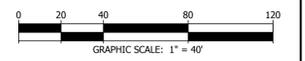
GRADING AND DRAINAGE PLAN
SITE PLANS
PROJECT BUCKEYE
LOT 9, GALLATIN INDUSTRIAL PARK
GATEWAY DRIVE
GALLATIN, SUMNER COUNTY, TENNESSEE

DRAINAGE PIPE TABLE							
STRUCTURE		PIPE		PIPE	PIPE	PIPE	
FROM	TO	LENGTH	SLOPE	DIAM. (IN)	TYPE		
CODE	INV. EL.	CODE	(PERCENT)				
B1	595.29	B2	595.89	23	2.61	18	RCP
B2	595.99	B3	595.59	74	0.81	18	RCP
B3	596.89	B4	601.54	190	2.55	18	RCP
C1	589.00	C2	589.28	15	1.87	36	RCP
C2	589.38	C3	590.20	41	2.00	36	RCP
C2	590.68	C4	590.76	16	0.50	16	RCP
D1	599.00	D2	598.85	24	3.54	36	RCP
D2	598.95	D3	601.07	28	4.00	36	RCP
D3	601.16	D4	602.00	21	4.00	36	RCP
E1	591.90	E2	593.30	40	3.50	15	RCP

REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III
ALL CASTINGS SHALL BE JOHN BOUCHARD AND SONS OR APPROVED EQUAL
ALL CASTINGS SHALL BE PROVIDED WITH "NO DUMPING, DRAINS TO RIVER" MARKINGS
ALL HEADWALLS SHALL BE ENERGY DISSIPATING

DRAINAGE STRUCTURE TABLE		
CODE	TYPE	CASTING ELEV.
B1	HEADWALL	N/A
B2	SINGLE CURB INLET	601.50
B3	DOUBLE CURB INLET	602.40
B4	TRIPLE CURB INLET	605.10
C1	HEADWALL	N/A
C2	SINGLE CURB INLET	594.80
C3	HEADWALL	N/A
C4	DOUBLE CURB INLET	594.30
D1	HEADWALL	N/A
D2	DOUBLE CURB INLET	607.50
D3	SINGLE CURB INLET	607.60
D4	HEADWALL	N/A
E1	HEADWALL	N/A
E2	POND OUTLET (SEE DETAIL)	

MAP 112 P/O PARCEL 12.00



REV.	COMMENTS	DATE
	INITIAL PLANNING SUBMITTAL	03/26/14

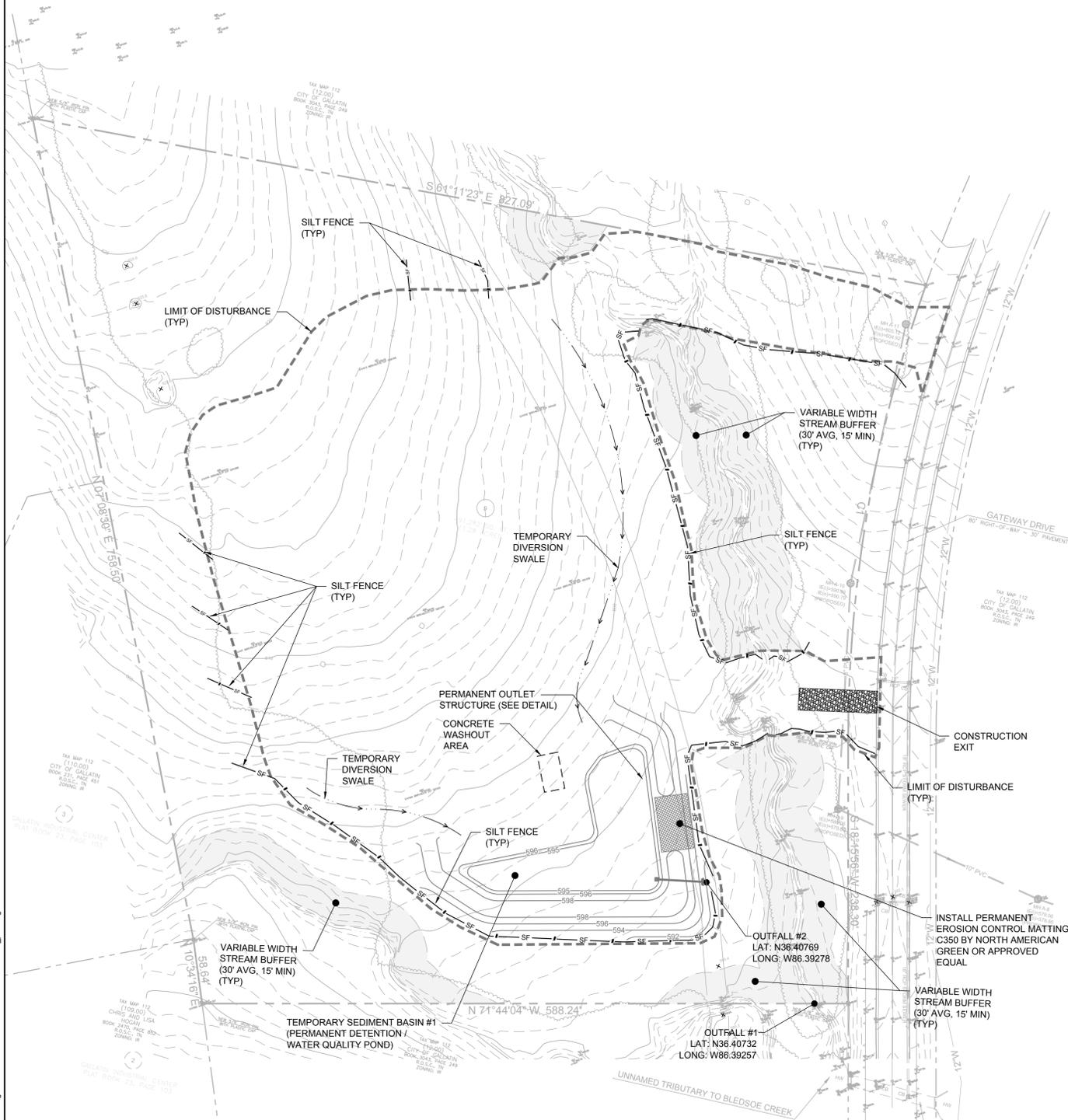
DRWN BY: TWG
CHKD BY: JPH

C2.00

JOB NO.: 13-127-01

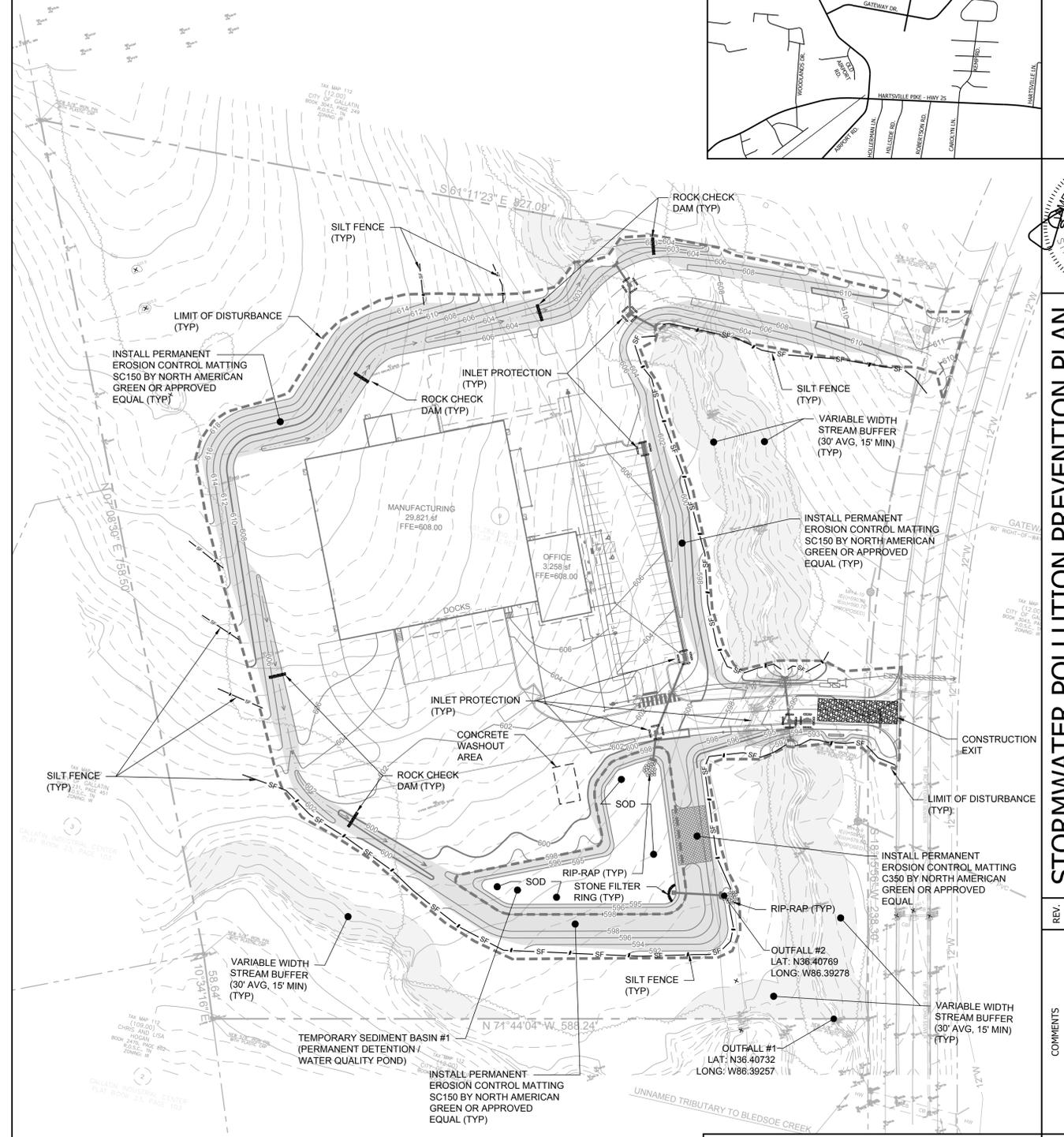
Mar 26, 2014 1:40pm T:\CAD\2013\13-127-01\CAD\Civil\Site and Grading\Plan\Phase 1\Plans\13-127-01_C200_Grading_Plan_p01.dwg

- NOTES:**
- 1) CONSTRUCTION EXIT, SILT FENCE AND TEMPORARY SEDIMENT BASIN SHALL BE INSTALLED AS THE FIRST ORDER OF WORK.
 - 2) NO ENCROACHMENT INTO SITE BUFFERS SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AUTHORITIES.
 - 3) ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE CITY OF GALLATIN AS NEEDED DURING CONSTRUCTION.



TOTAL SITE AREA = 11.28 AC±
TOTAL DISTURBED AREA = 6.0 AC±

STAGE 1 - INITIAL



MAP 112 P/O PARCEL 12.00

DATE	03/26/14
DRWN BY:	TWG
CHKD BY:	JPH
DATE	03/26/14
REV.	INITIAL PLANNING SUBMITTAL
COMMENTS	

C2.01
 JOB NO.: 13-127-01



CIVIL SITE
 DESIGN GROUP
 ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
 819 SOUTH GUYTON AVENUE SUITE 411 GALLATIN, TN 37083
 615.241.9988



STORMWATER POLLUTION PREVENTION PLAN
 SITE PLANS
PROJECT BUCKEYE
 LOT 9, GALLATIN INDUSTRIAL PARK
 GATEWAY DRIVE
 GALLATIN, SUMNER COUNTY, TENNESSEE

Mar 26, 2014 - 1:32pm T:\CAD\2013\13-127-01\CAD\Site and Grading Plan\Phase 1 Plans\13-127-01 C201 SWPPP_011.dwg
 Chris and Lisa
 8000 N. Main
 Gallatin, TN 37083

Stormwater Pollution Prevention Plan Notes:

- The contractor is responsible for making sure that a copy of the SWPPP is retained on-site at or near the construction entrance. If a construction trailer is not available, the contractor shall provide a waterproof enclosure near the construction entrance to place the SWPPP. In addition to the SWPPP, the contractor shall make certain that the following information must also be posted at the construction site (in a construction trailer or in the waterproof enclosure):
 - A copy of the notice of coverage (NOC) with the NPDES permit tracking number for the construction project number
 - name, company name, email address, telephone number and address of the project site owner or a local contact person
 - a brief description of the project
 - the location of the SWPPP if an on-site location for storing the plan is not available.
- The owner of this project site will provide erosion control measures as shown on this SWPPP. Once the owner sells this property, the new property owner will be required to obtain coverage under this permit from the governing federal, state and local agencies and the new property owner shall assume operational control and responsibility for the portion of the site that he/she purchases.
- Prior to the commencement of any clearing or grubbing, the contractor shall erect "construction fencing", tree protection fencing, caution tape, etc. along the limits of disturbance to protect trees, stream bank buffers, etc. that are not to be disturbed.
- Prior to any type of construction activity, the contractor shall install the stone based construction exit, the silt fence and the sediment traps/basins when indicated on the SWPPP. Additional erosion control measures such as rock check dams, diversion swales, temporary creek crossings, temporary mulching of disturbed areas, final seed and straw application and general erosion control maintenance shall be provided as construction progresses and these measures become necessary. The contractor shall be responsible for implementing all of the erosion control measures.
- All erosion control measures shall be installed and maintained in accordance with the manufacturer's specifications and recommendations. It is the purpose of all control measures to slow runoff so that fill and gully formation is prevented. The contractor shall inspect the control measures periodically and replace and/or modify the controls for relevant site situations.
- Where the application of temporary or permanent grass seed is specified as part of the SWPPP, the contractor shall use an appropriate grass seed mixture for the time of year that the seed is sowed. Use fescue during the spring and summer months and a mixture of fescue and winter rye during the fall and winter months. Sow at a rate of 6 lbs. per 1000 sq.ft. of area. Provide adequate amounts of water to establish a healthy stand of grass.
- If sediment escapes the construction site, it is the contractor's responsibility to remove the sediment that has escaped the site. The contractor shall obtain the permission of the landowner where the sediment has accumulated before removal can begin. If sediment enters a stream, the contractor must also gain the written permission of the State before remediation/restoration can begin.
- The contractor shall remove sediment from sediment traps, silt fences, sedimentation ponds, and other sediment controls as necessary and must be removed when capacity has been reduced by 50%.
- Litter, construction debris and construction chemicals exposed to storm water shall be picked up and removed from the site to prevent them from becoming a pollutant source for storm water discharges. After use, materials used for erosion prevention and sediment control should be removed from the site.
- There are no other construction activities or industrial activities associated with this project site that are covered under a separate permit.
- There are no streams or wetlands on or near this project site, therefore no additional permits associated with these features are required.
- All earth stockpiles, whether on the project site or off-site shall include erosion control measures to prevent the material from being washed from the site by storm water runoff.
- Clearing and grubbing must be held to the minimum necessary for grading and equipment operation.
- Construction must be phased for projects in which over 50 acres of soil will be disturbed. Areas of the completed phase must be stabilized within 15 days. No more than 50 acres of active soil disturbance is allowed at any time during the construction project.
- For projects that have a disturbed area of greater than 50 acres, the contractor shall provide a phasing plan to only disturb 50 acres or less at one time. Submit the phasing plan to the state and local agencies for their review.
- Erosion prevention and sediment control measures must be in place and functional before earth moving operations begin and must be constructed and maintained throughout the construction period. Temporary measures may be removed at the beginning of the workday, but must be replaced at the end of the workday.
- The contractor shall maintain a rain gauge and daily rainfall records at the site.
- The contractor shall initiate stabilization measures in portions of the site where construction activities have temporarily or permanently ceased. Temporary or permanent soil stabilization at the construction site must be completed no later than 15 days after the construction activity on that portion of the site has temporarily or permanently ceased.
- The contractor shall construct temporary diversion swales to divert off-site runoff from crossing the disturbed areas. These diversion swales, when necessary, shall be field located to avoid existing trees wherever possible.
- No work shall be allowed in or around streams or wetlands without the proper permits. Prior to the commencement of any construction activities in these areas, the contractor shall obtain a copy of the permits from the property owner, which allows this work. He shall not begin work without obtaining a copy of these permits or stiff fines from the federal and state agencies may be levied.
- Muddy water to be pumped from excavation and work areas must be held in settling basins or filtered prior to its discharge into surface waters. Water must be discharged through a pipe, well-grassed or lined channel or other equivalent means so the discharge does not cause erosion and sedimentation. Discharged water must not cause an objectionable color contrast with the receiving stream.
- After construction in complete, all disturbed areas, which are not covered with impermeable surface (i.e. asphalt, concrete, buildings, etc.), shall be covered with topsoil (4-inch thick minimum), grass seed and straw. The contractor shall maintain the seed and straw until a solid, healthy stand of permanent grass covers the disturbed areas.

23. Silt fence shall be used along the lower edge of disturbed areas that have sheet flow runoff. Where runoff is concentrated (such as swales and ditches), bumpus fences or rock check dams shall be used to slow the velocity and allow settling of sediment.

24. All construction and waste material shall be collected and removed from the site on a periodic basis. All construction and waste material shall be located outside of any existing or proposed drainage ways and shall be covered and protected from the rain until they are removed from the site. Any liquid materials or chemicals stored on-site shall be located away from any existing or proposed drainage ways and a berm of sufficient height to contain the entire volume of the liquid shall be constructed to completely encompass and impound the stored materials to prevent a spill from flowing off of the site.

25. All soil, plants, trees and other vegetation in protected streams and wetlands and along the banks of same are protected by State law and therefore a prohibited from being removed. The contractor shall ensure that these areas remain undisturbed during construction. Contractor shall erect construction barriers or take other means necessary to insure that the areas remain protected.

26. The contractor shall employ a person to inspect the erosion control measures as required by the State and local agencies. The inspector must have successfully completed the "Fundamentals of Erosion Prevention and Sediment Control" course provided by the State. A copy of the certification or training record for inspector certification should be kept on site.

27. Inspections described in the Tennessee General Permit shall be performed at least twice every calendar week and shall be performed at least 72 hours apart. Inspect all erosion control measures, disturbed areas, storage of material areas, outfall points, construction access points, etc.

28. Inspections shall also be performed before anticipated storm events (or series of storm events such as intermittent showers over one or more days), and within 24 hours after the end of a storm event of 0.5 inches or greater.

29. Any inadequate control measures or control measures in disrepair shall be replaced or modified or repaired as necessary before the next rain event if possible, but in no case more than 7 days after the need is identified. The contractor shall provide additional erosion control measures where necessary to insure adequate control so that no silt exits the project site.

30. Inspections shall be documented and include: the scope of the inspection, name and title of personnel making the inspection, the date of the inspection, major observations relating to the implementation of the storm water pollution prevention plan (including the location of discharges of sediment or other pollutants from the site and of any control device that failed to operate as designed or proved inadequate from a particular location), and actions taken in accordance with the General Permit. Inspections documentation will be maintained on site and made available upon request. Inspection reports must be submitted to the State (TDEC) within 10 days of the request. Use the inspection report form provided in Appendix C of the General Permit and complete on a weekly basis.

31. Sediment removed from sediment control structures is to be placed at a site that has been permitted by local and state agencies. The contractor is responsible for obtaining the site to "waste" the sediment material. The sediment shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the storm water run-off. Cost of this treatment is to be included in the price for the earthwork.

32. The contractor shall seed and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. The contractor shall take whatever means necessary to establish permanent soil stabilization. Any areas that do not include construction activity for more than 14 days shall be temporarily covered with straw to help prevent erosion.

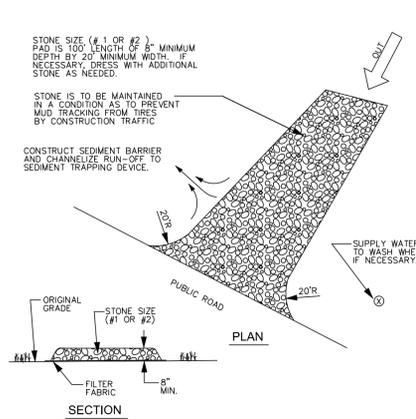
33. Remove sediment from all drainage structures, pipes and swales before acceptance by the developer or the local governing agency.

34. Remove the temporary erosion and water pollution control devices only when in the opinion of the owner's representative, they are no longer needed.

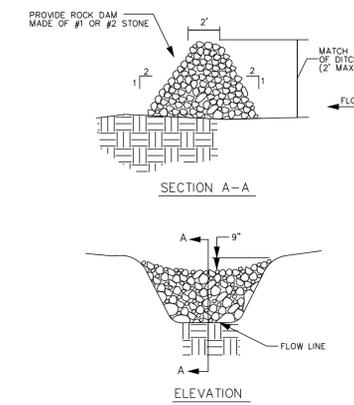
35. During the period between the end of the construction and the establishment of the permanent vegetation, erosion control measures shall remain in place and maintained. Once permanent vegetation is established, then the erosion control measures may be removed.

36. This SWPPP is developed in accordance with the Tennessee General NPDES Permit (TNR100000) for storm water discharges associated with construction activity (TNCGP), and is prepared using sound engineering practices. Civil Site Design Group P.L.L.C. personnel involved with the development of this plan have completed the design of vegetative and structural measures for erosion and sediment control course available from the State of Tennessee.

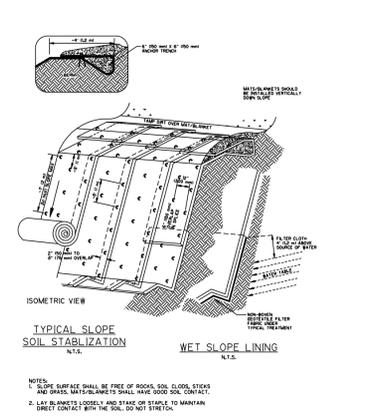
As instructed by Part III.F of the TNCGP, this plan and all attachments are hereby submitted to the local Environmental Assistance Center (EAC), along with the complete, correctly signed Notice of Intent (NOI). Construction will not be initiated prior to receipt of a Notice of Coverage (NOC) from the Tennessee Department of Environment and Conservation (TDEC).



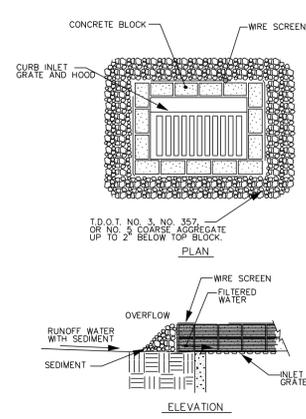
TEMPORARY CONSTRUCTION ENTRANCE
N.T.S. TCP-20/Volume 4 Nashville Storm Management Manual



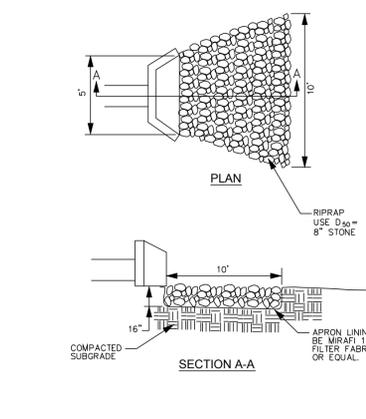
ROCK CHECK DAM
N.T.S. TCP-20/Volume 4 Nashville Storm Management Manual



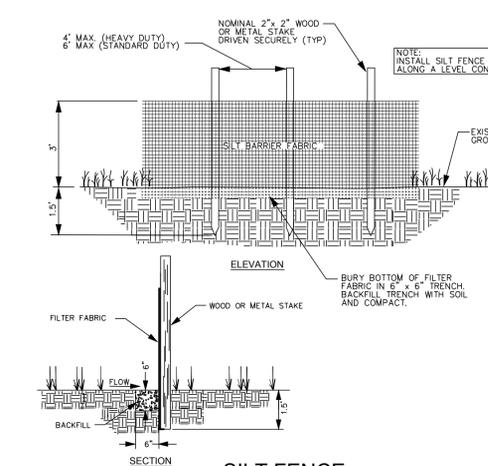
EROSION CONTROL MATTING ON SLOPE
N.T.S.



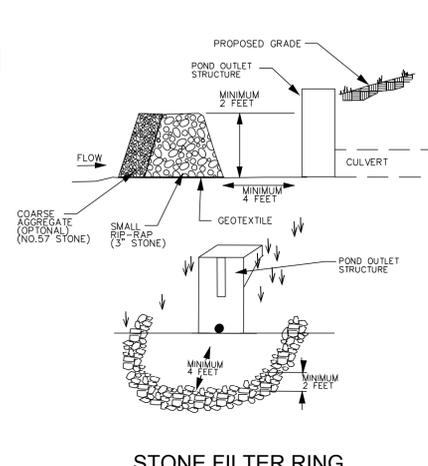
INLET PROTECTION
N.T.S.



RIPRAP AT HEADWALL
N.T.S. TCP-20/Volume 4 Nashville Storm Management Manual



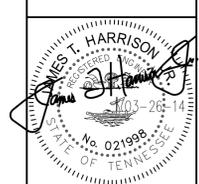
SILT FENCE
N.T.S. TCP-13/Volume 4 Nashville Storm Management Manual



STONE FILTER RING
N.T.S.

Mar 26, 2014 - 1:32pm T:\CAD\2013\13-127-01\CAD\Civil\Site and Grading\Plan\Phase 1\Plan\13-127-01_C2.02_SWPPP_Notes & Details_pht.dwg

CIVIL SITE DESIGN GROUP
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
610 SOUTH GULF AVENUE SUITE 4100 MEMPHIS, TN 37503



SOTRMWATER POLLUTION PREVENTION NOTES & DETAILS
SITE PLANS
PROJECT BUCKEYE
LOT 9, GALLATIN INDUSTRIAL PARK
GATEWAY DRIVE
GALLATIN, SUMNER COUNTY, TENNESSEE

REV.	DATE	COMMENTS
	03/26/14	INITIAL PLANNING SUBMITTAL

DRAWN BY: TWG
 CHECKED BY: JPH
 DATE: 03/26/14

C2.02

JOB NO.: 13-127-01

General Notes:

- Base Information was taken from a survey prepared by Blue Ridge Surveying, Inc. Dated December 30, 2013. Civil Site Design Group, P.L.L.C. and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information shown herein or any errors or omissions resulting from such.
- Provide a smooth transition between existing pavement and new pavement. Slight field adjustment of final grades may be necessary.
- All roadway, driveway, sidewalk, and curb construction shall conform to the requirements and specifications of the local municipality codes and requirements.
- Concrete for curbs and sidewalks shall be 3500 PSI concrete unless required otherwise by local codes.
- The site layout is based on control points as noted.
- The contractor shall conform to all local codes and receive approval where necessary before commencement of any construction.
- All site related construction materials and installation shall conform to local governing agency regulations and specifications.
- Handicap ramps shall have a maximum slope of 1:12.
- All pavement materials and construction shall conform to the local governing agency and state D.O.T. standards and specifications.
- The contractor shall check all existing conditions, (i.e. inverts, utility routings, utility crossings, and dimensions) in the field prior to commencement of any utility work. Report any discrepancies to the owner's representative. The contractor shall repair any damage caused during construction to existing features (i.e. pavement, sidewalks, curbs, utilities, etc.), at his own expense, to the standards of the preconstruction condition or better.
- Dimensions are to face of curb and/or exterior face of building unless otherwise noted.
- Curbs shall be parallel to the centerline of drives. The curb shall be placed only after having all break points (PC & PT of curves) located at the face of curb or at a consistent offset by a land surveyor.
- Any work unacceptable to the owner's representative or to the local governing authority shall be repaired or replaced by the contractor at no additional expense to the owner.
- Existing pavement of private or public roadways/drives shall be patched in accordance with the local governing authority's standards wherever utility installation requires removal of the existing pavement. Coordinate pavement trenching locations with site civil, plumbing and electrical plans.
- The contractor shall comply with all pertinent provisions of the "manual of accident prevention in construction" issued by AGC of America, Inc. and the "Safety and Health Regulations for Construction" issued by the U.S. Department of Public Works.
- Contractor shall give all necessary notices and obtain all permits prior to commencement of any construction.
- In the event of any discrepancies and/or errors found in these site drawings, or if problems are encountered during construction, the contractor shall be required to notify the engineer before proceeding with the work.
- The general contractor is particularly cautioned that the location and/or elevation of the existing utilities shown hereon is based on utility company records, and where possible, field measurements. The contractor shall not rely on this information as being exact or complete. The contractor shall call the appropriate utility company at least 72 hours prior to any excavation and request field verification of utility locations. It shall be the contractor's responsibility to relocate existing utilities conflicting with improvements shown hereon in accordance with all local, state, and federal regulations governing such operations.
- Contractor shall exercise extreme caution in the use of equipment in and around overhead and underground electrical wires and services. If at any time in the pursuit of this work the contractor must work in the close proximity of the above-noted wires, the electric company shall be contacted prior to such work and the proper safety measures taken. A thorough examination of the overhead and underground wires in the project area should be made by the contractor prior to the initiation of construction.
- The owner and engineer do not assume responsibility for the possibility that, during construction, utilities other than those shown may be encountered or that actual locations of those shown may be different from locations designated on the contract drawings. In areas where it is necessary that exact locations be known of underground utilities, the contractor shall, at his own expense, furnish all labor and tools necessary to either verify and substantiate or definitely establish the position of underground utility lines.
- Do not scale this drawing as it is a reproduction and subject to distortion.
- These plans, prepared by Civil Site Design Group, do not extend to or include systems pertaining to the safety of the construction contractor or its employees, agents or representatives in the performance of the work. The seal of the engineering services registered professional engineer hereon does not extend to any such safety systems that may now or hereafter be incorporated into these plans. The construction contractor shall prepare or obtain the appropriate safety systems which may be required by U.S. Occupational Safety and Health Administration (OSHA) and/or local regulations.
- In the case of conflict between this drawing and any other drawing and/or the specifications, the engineer shall be immediately notified for clarification.

Site Utility Notes:

- The sanitary sewer line shall be PVC-SDR 35. The domestic water line shall be Type K copper. The public water line and the fire service line shall be class 52 ductile iron pipe. The private domestic line shall be Class 200 PVC. The private fire protection line shall be AWWA C900 DR14. (Contractor shall coordinate w/ local Fire Marshal)
- Water meters shall be no deeper than 24" from the top of meter to proposed finished grade unless otherwise required by the local water department.
- Prior to submitting his bid, the contractor will be solely responsible for contacting owners of all affected utilities in order to determine the extent to which utility relocations and/or adjustments will have upon the schedule of work for the project. While some work may be required around utility facilities that will remain in place, other utility facilities may need to be adjusted concurrently with the contractor's operations.
- The contractor shall comply with all pertinent provisions of the manual of Accident Prevention and Construction issued by AGC of America.
- Provide a minimum 36" of cover over all water lines unless required otherwise by the local water department.
- All water lines, sewer lines, and appurtenances shall be of materials and construction that conform to the local water department/district's requirements and specifications.
- Coordinate the exact location of all utilities entering the building with the plumbing plans.
- Safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment at no additional cost to the owner.
- Reduced Pressure Backflow Preventer (RPBP) or dual check valves will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the local water department/district.
- All connections to existing manholes shall be by the coring and resilient seal method.
- Before connections are made into existing utilities, the new lines are to be flushed and tested by the contractor in accordance with the local water department/district specifications.
- The contractor shall adjust the alignment of the water lines (horizontally and/or vertically) to allow the required bracing at bends and tees.
- The contractor shall provide all horizontal and vertical bends to attain the alignment indicated on the plans. Provide vertical bends where necessary to allow water lines to pass under or over other utility lines. (All bends and braces needed may not be actually shown). Provide bracing and/or rodding at all bends and tees as required by local utility department/district.
- Contractor shall mark the location of all new PVC lines with #8 wire.
- The location of existing utilities shown on these plans are approximate only. The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities. Prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground in the area of private utility lines. The contractor shall have an underground locator mark the location of the existing lines. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
- Fire hydrant assemblies include the appropriate sized tee (with kicker), 6" line to hydrant, 6" gate valve (with valve box), and fire hydrant (with kicker). Hydrants shall be installed at locations within 7 feet of the curb, (minimum of 2 feet behind curb).
- Where drainage or utility lines occur in proposed fill areas, the fill material shall be placed and compacted in accordance with the specifications and the Geotechnical Engineer recommendations prior to installation of drainage or utility lines. Fill is to be inspected by a professional Geotechnical Engineer testing firm employed by the owner. Results of the test shall be furnished to the owner's representative. Contractor shall pay for any retesting.
- The contractor shall field verify the exact horizontal and vertical location of existing manholes, sanitary sewer lines, and water lines at the point of connection prior to the commencement of construction or ordering materials, report any discrepancies to the engineer immediately.
- Repair existing pavement, curbs, walks, landscaping, etc. that are damaged by construction activities to a like new condition at no additional cost to the owner.
- Sanitary sewer services shall be 6" diameter PVC (SDR 35) at a minimum slope of 1.0% unless shown otherwise on the drawings. Lines shall start 5' beyond the buildings. Coordinate connection points with the building plumbing drawings. Provide a minimum 30" of cover over all sewer services in grass areas and 48" of cover in paved areas.
- Some utilities can be located by call the "Tennessee One Call" System, Inc. The contractor shall call "Tennessee One Call" (1-800-351-1111) 72 hours prior to proceeding with any excavation.
- The concrete caps and encasements on water and sewer lines shall be a minimum of 6" thick. Use 3000 PSI concrete.
- The contractor shall be responsible for coordinating the sequencing of construction for all utility lines so that water lines do not conflict with sanitary sewers, sanitary sewer services, storm sewers, or any other utility or structure, existing or proposed.
- All trenches cut in existing roads or drives shall utilize a clean saw cut and shall be backfilled (100%) to final sub grade with #57 stone. Repair pavement in accordance with the local governing agency requirements.
- Existing manholes located in fill/cut areas shall be adjusted to ensure that the top of casting is flush with the finished grade.
- The contractor shall maintain 10 feet horizontal separation between sanitary sewer lines and water lines. Where these criteria cannot be met, the contractor shall maintain 18" vertical separation between water and sewer lines.
- The fire line shall be installed by a sprinkler contractor licensed in the State of Tennessee. The fire line shall be flushed and tested in accordance with NFPA requirements.
- The proposed gas line construction and installation shall be coordinated with the local gas by the contractor.
- The proposed electric line construction and installation shall be coordinated with the local electric company by the contractor.
- The proposed telephone line construction and installation shall be coordinated with the local telephone company by the contractor.
- Siamese stand pipe to be galvanized steel.

Site Grading, Drainage & Erosion Control Notes:

- The disturbed area for this project is approximately 6.0 acres.
- The contractor shall comply with all pertinent provisions of the manual of accident prevention and construction issued by AGC of America, Inc. and the safety and health regulations of construction issued by the U.S. Department of Labor.
- The contractor shall call "Tennessee One Call" (811) 72 hours prior to proceeding with any excavation.
- If any springs or underground streams are exposed during construction, permanent French drains may be required. The drains shall be specified and located during construction as required by the conditions which are encountered, and shall be approved by the engineer.
- Stockpiled topsoil or fill material shall be treated so no sediment run-off will contaminate surrounding areas or enter nearby streams.
- Clean silt barriers when they are approximately 50% filled with sediment or as directed by the owner's representative. Silt barriers shall be replaced as effectiveness is significantly reduced, or as directed by the owner's representative.
- All new pipes under existing paved areas shall be backfilled to the top of subgrade with # 57 crushed stone.
- Sediment removed from sediment control structures is to be placed at a site approved by the local governing authority. It shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the run-off. Cost for this treatment is to be included in the bid price for earthwork. The contractor shall obtain the disposal site as part of his work.
- Reinforced concrete storm drainage pipe shall be Class III. Corrugated metal pipe shall be 14 gauge unless otherwise noted.
- Minimum grade on asphalt or concrete paving shall be 1.0%.
- Construct silt barriers before beginning any grading operations.
- This grading & drainage plan is not a determination or guarantee of the suitability of the subsurface conditions for the work indicated. Determination of the subsurface conditions for the work indicated is solely the responsibility of the contractor.
- Do not disturb vegetation or remove trees except when necessary for grading purposes.
- Top of grate elevations and location of coordinates for drainage structures shall be installed as shown on the plan unless otherwise noted. The grates shall slope longitudinally with the pavement grades. Coordinates provided are for the center of the grate (at the face of curb where applicable).
- Any site used for disposal and/or stockpile of any material shall be properly permitted for such activity. It is the responsibility of the contractor to see that all required permits are secured for each property utilized. A copy of the approved permit must be provided to the inspector prior to commencement of work on any property. Failure to do so may result in the contractor removing any illegally placed material at his own expense.
- Respread topsoil (6 inch minimum thickness), seed, and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. Contractor shall take whatever means necessary to establish permanent soil stabilization.
- Proposed contour lines and spot elevations are the result of an engineered grading design and reflect a planned intent with regard to drainage and movement of materials. Should the contractor have any question of the intent or any problem with the continuity of grades, the engineer shall be contacted immediately.
- All cut and fill slopes shall be 3 horizontal to 1 vertical or flatter unless otherwise indicated on plans.
- Positive drainage shall be established as the first order of work and shall be maintained at all times during and after construction. Soil softened by perched water in foundation and pavement areas must be undercut and replaced with suitable fill materials.
- Remove sediment from all drainage structures before acceptance by local governing agency, or as directed by the owner's representative.
- Contractor shall conform to all applicable codes and obtain approval as necessary before beginning construction.
- Remove the temporary erosion and water pollution control devices only after a solid stand of grass has been established on graded areas and when in the opinion of the owner's representative, they are no longer needed.
- Provide temporary construction access(es) at the point(s) where construction vehicles exit the construction area. Maintain public roadways free of tracked mud and dirt.
- All earthwork, including the excavated subgrade and each layer of fill, shall be monitored and approved by a qualified geotechnical engineer, or his representative.
- All fill material on this project shall be approved by the geotechnical engineer prior to placement. This material shall be placed in lifts and compacted as directed by the geotechnical engineer. The contractor shall be responsible for employing a geotechnical engineer if one is not provided by the owner.
- All drainage construction materials and installation shall conform to the requirements and specifications of the local governing agency.
- It shall be the contractor's responsibility to waste excess earth material off site at no additional cost to the owner. The contractor shall first offer the excess material to the owner. If not accepted by the owner, the contractor shall dispose of earth material off site. It shall also be the contractor's responsibility to import sufficient material (at no additional cost to the owner) for earthwork operations if suitable amounts of earth material are not available on site.
- The contractor shall check all existing grades and dimensions in the field prior to beginning work and report any discrepancies to the engineer. Commencement of any grading work constitutes the contractor's acceptance of the existing grade as matching those shown on the plans.
- Strip topsoil from all cut and fill areas and stockpile. Upon completion of general grading respread the topsoil over all disturbed areas, to a minimum depth of 6". Contractor shall supply additional topsoil if insufficient quantities exist on site. Remove any excess topsoil from site.
- The contractor shall take special care to compact fill sufficiently around and over all pipes, structures, valve stems, etc., inside the proposed paved areas to avoid settlement. Any settlement during the warranty period shall be restored by the contractor at no additional cost to the owner.

- In no case shall slope height, slope inclination, or excavation depth, including trench construction, exceed those specified in local, state and federal regulations, specifically the current OSHA Health and Safety Standards for Excavations (29 CFR Part 1926) shall be followed.
- All fill slopes and cut slopes on this project shall be reviewed by the owner's geotechnical engineer during construction to confirm that the slopes are (will be) stable. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- All fill on this project shall be installed and compacted in accordance with the owner's geotechnical engineer's recommendation. The owner's geotechnical engineer shall review all filling operations to confirm the earthwork is properly installed and compacted. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on site.
- All horizontal and vertical information of proposed culverts shown hereon which accept/discharge flows to/from existing channels are approximate utilizing topographic drawings. The final horizontal and vertical alignments shall be field located by the contractor prior to the ordering of materials or commencement of construction and shall notify the engineer of any discrepancies to what was designed.
- The contractor shall coordinate the exact location of the storm drain connections at the building with the plumbing plans.
- The location of all diversion swales and ditches shall be field adjusted to avoid trees as possible. The contractor shall walk the alignment of these swales and ditches in the field to verify avoidance of trees.

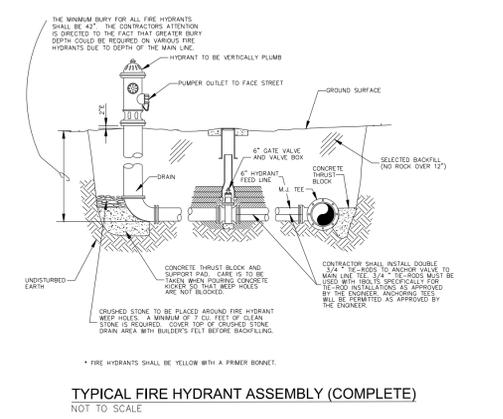
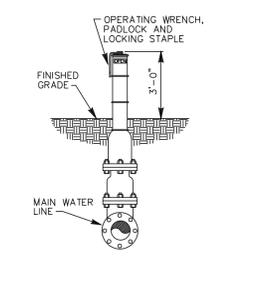
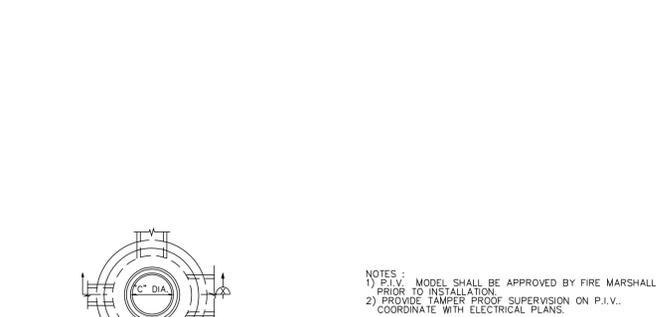
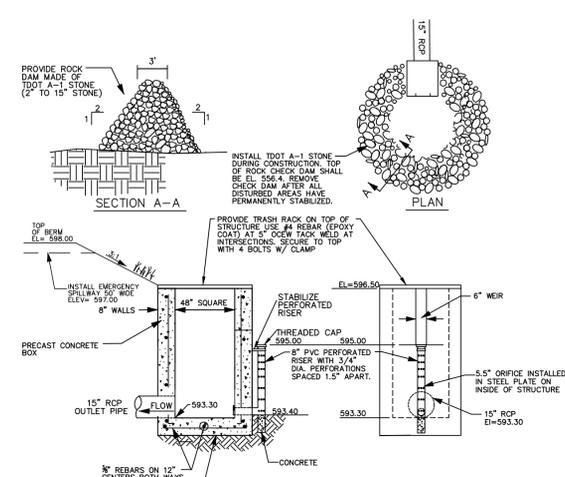
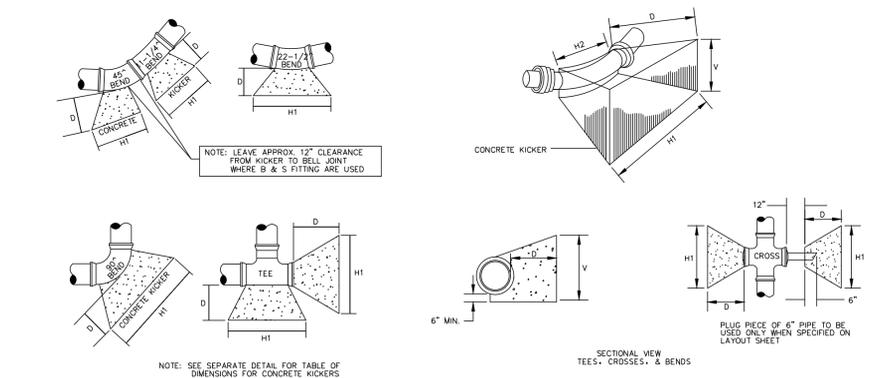


TABLE OF DIMENSIONS FOR CONCRETE KICKERS

PIPE SIZE (I.D.)	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"
H1	18"	24"	24"	36"	48"	54"	66"	72"	84"	96"
H2	10"	12"	16"	18"	24"	30"	34"	36"	42"	58"
V	12"	12"	16"	18"	24"	24"	24"	24"	24"	24"
D	18"	18"	18"	18"	24"	24"	24"	24"	24"	24"
W	1.90	2.25	3.50	5.05	7.15	13.40	22.50			
H1	18"	24"	30"	36"	48"	54"	66"	72"	84"	96"
H2	10"	12"	16"	18"	24"	30"	34"	36"	42"	58"
V	12"	12"	16"	18"	24"	24"	24"	24"	24"	24"
D	18"	18"	18"	18"	24"	24"	24"	24"	24"	24"
W	1.50	1.60	3.20	3.95	4.60	9.60	17.00			
H1	18"	18"	24"	24"	24"	36"				
H2	6"	8"	10"	11"	18"	18"	30"	36"	42"	48"
V	12"	12"	16"	18"	21"	24"	27"			
D	18"	18"	18"	18"	24"	24"	24"	24"	24"	24"
W	1.50	1.60	3.20	3.40	4.60	6.80	11.80			
H1	18"	18"	24"	24"	24"	27"				
H2	6"	8"	10"	11"	18"	18"	24"	30"	40"	48"
V	12"	12"	16"	18"	21"	21"	27"			
D	18"	18"	18"	18"	24"	24"	24"	24"	24"	24"
W	1.50	1.60	3.20	3.40	4.60	6.10	9.10			



CONCRETE KICKER TABLE
N.T.S.

CONCRETE KICKERS
N.T.S.

CONCRETE KICKERS
N.T.S.

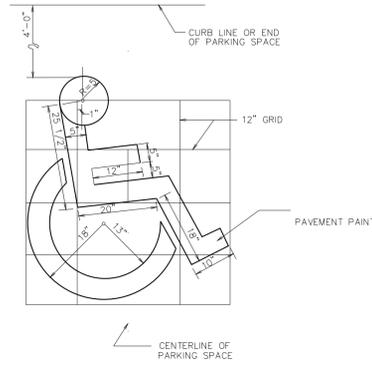
CIVIL SITE DESIGN GROUP
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
619 SOUTH MAIN STREET, SUITE 201, MEMPHIS, TN 37503
901.526.1111

HARRISON
STATE OF TENNESSEE
021998

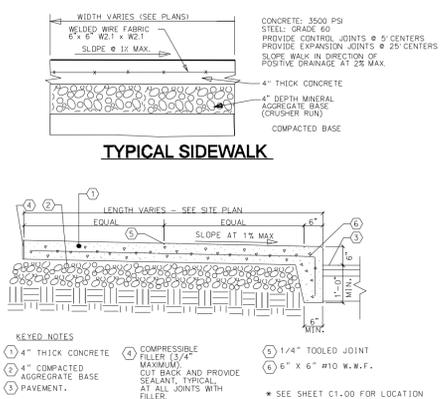
CIVIL NOTES & DETAILS
SITE PLANS
PROJECT BUCKEYE
LOT 9, GALLATIN INDUSTRIAL PARK
GATEWAY DRIVE
GALLATIN, SUMNER COUNTY, TENNESSEE

REV.	DATE	COMMENTS

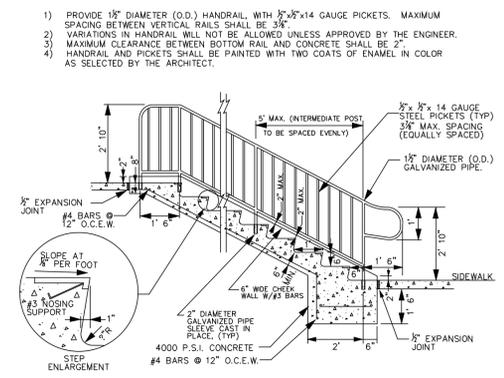
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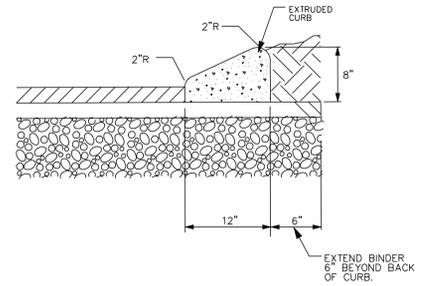
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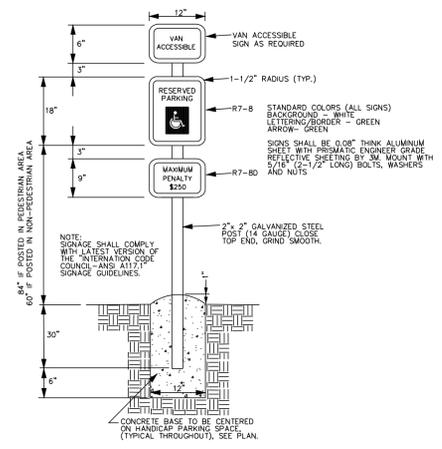
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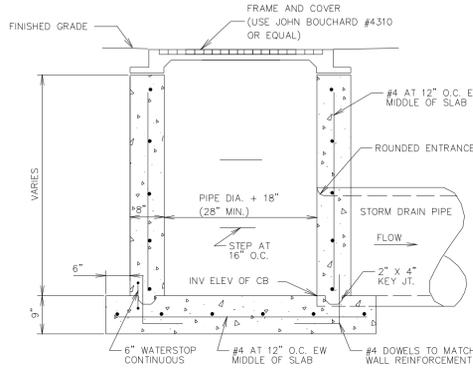
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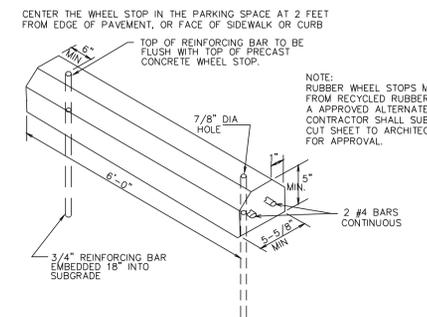
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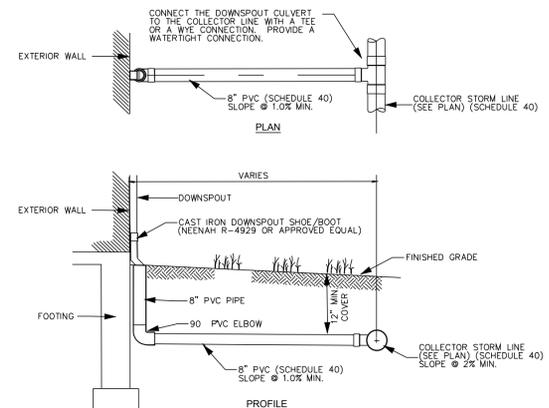
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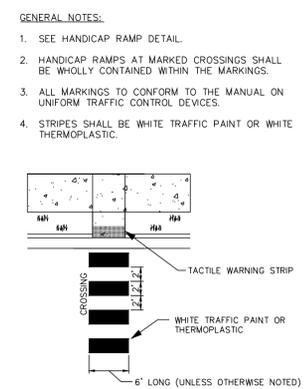
AREA DRAIN
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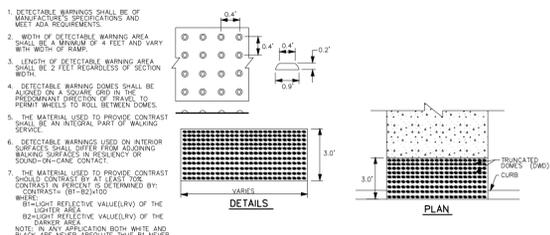
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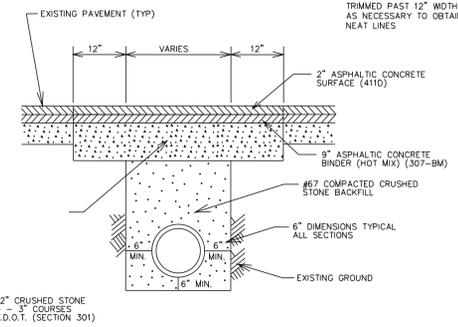
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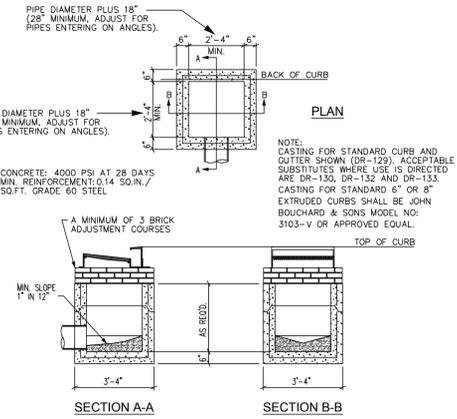
CROSSWALK
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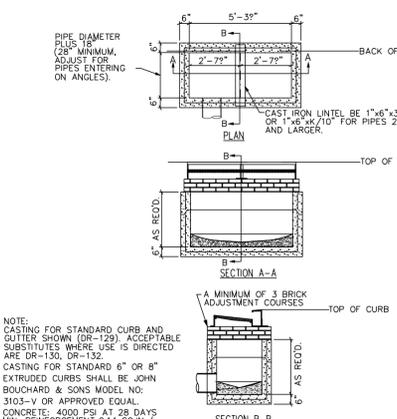
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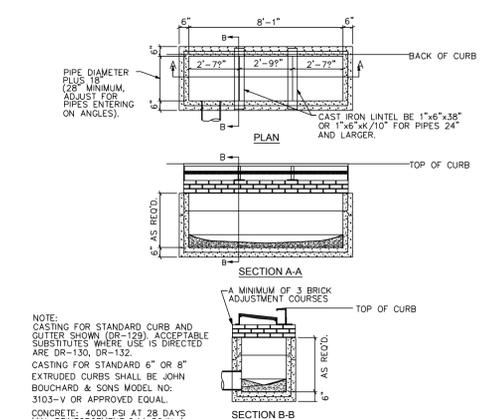
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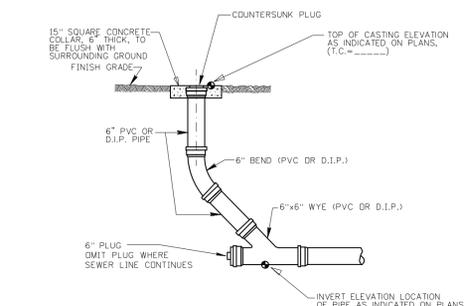
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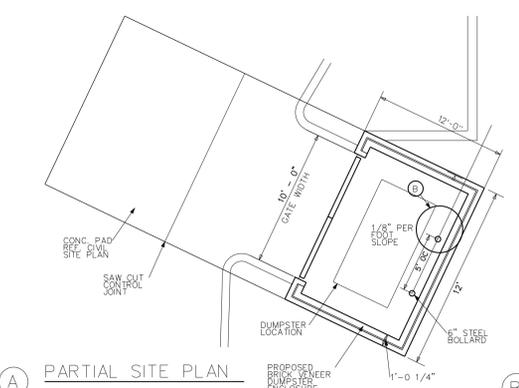
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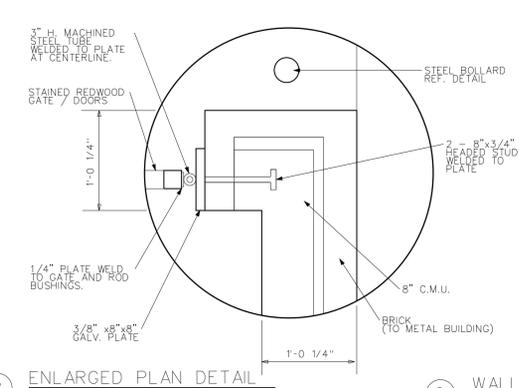
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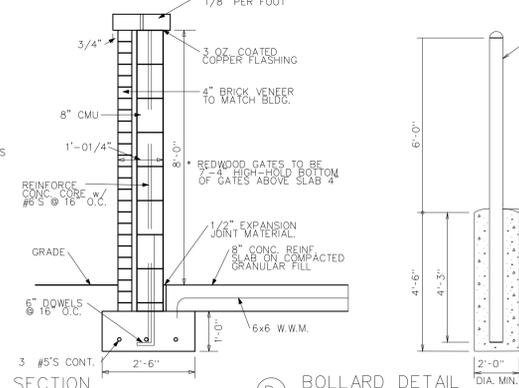
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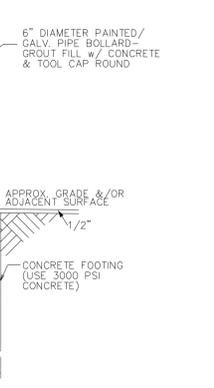
PARTIAL SITE PLAN
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ENLARGED PLAN DETAIL
N.T.S.



WALL SECTION
N.T.S.



BOLLARD DETAIL
N.T.S.

REV.	COMMENTS	DATE	DRWN	CHKD	BY:	DATE
1	INITIAL PLANNING SUBMITTAL	03/26/14	TWG	JPH		

Apr 28, 2014 - 1:39pm T:\CAD\2013\13-127-01\CAD\CivilSite and Grading\PlanPhase 1\Plan13-127-01 C301 Civil Notes & Details_rpt.dwg

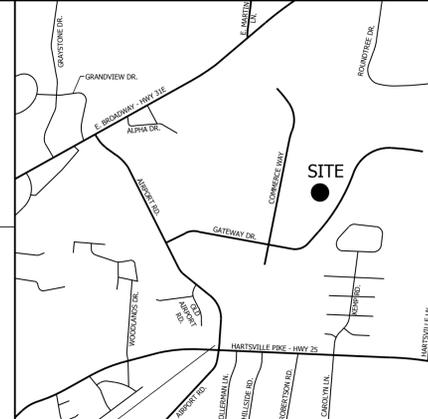
TREES TO BE PRESERVED		
Tree #	Caliper	Species
2	12"	HACKBERRY
3	15"	HACKBERRY
4	30"	CEDAR
5	16"	CEDAR
6	12"	HACKBERRY
7	18"	HACKBERRY
8	6"	MAPLE
9	27"	CEDAR
10	6"	CEDAR
11	15"	HACKBERRY
12	12"	HACKBERRY
13	24"	HACKBERRY
14	33"	HACKBERRY
15	8"	HACKBERRY
16	18"	MAPLE
17	36"	MAPLE
18	30"	CEDAR
19	18"	CEDAR
20	8"	MAPLE
21	8"	HACKBERRY
22	24"	HACKBERRY
23	8"	HACKBERRY
24	14"	HACKBERRY
25	12"	HACKBERRY
26	18"	HACKBERRY
27	18"	HACKBERRY
28	12"	HACKBERRY
29	6"	HACKBERRY
30	8"	MAPLE
31	8"	MAPLE
32	8"	MAPLE
33	18"	HACKBERRY
38	8"	CEDAR
39	12"	HACKBERRY
40	12"	HACKBERRY
41	8"	MAPLE
42	8"	CEDAR
43	18"	HACKBERRY
44	8"	MAPLE
45	15"	HACKBERRY
46	8"	HACKBERRY
47	6" (DOUBLE)	HACKBERRY
48	14"	HACKBERRY
49	14"	MAPLE
50	12"	HACKBERRY
51	8"	CEDAR
52	8"	HACKBERRY
53	15"	HACKBERRY
54	12"	HACKBERRY
55	8"	HACKBERRY
56	18"	HACKBERRY
57	12"	HACKBERRY
58	18"	HACKBERRY
59	8"	HACKBERRY
60	12"	HACKBERRY
61	12" (DOUBLE)	HACKBERRY
62	15"	HACKBERRY
63	15"	HACKBERRY
64	8"	HACKBERRY
65	8"	HACKBERRY
70	8"	HACKBERRY
71	18"	HACKBERRY
72	12"	HACKBERRY
73	10"	HACKBERRY

Total = 892"

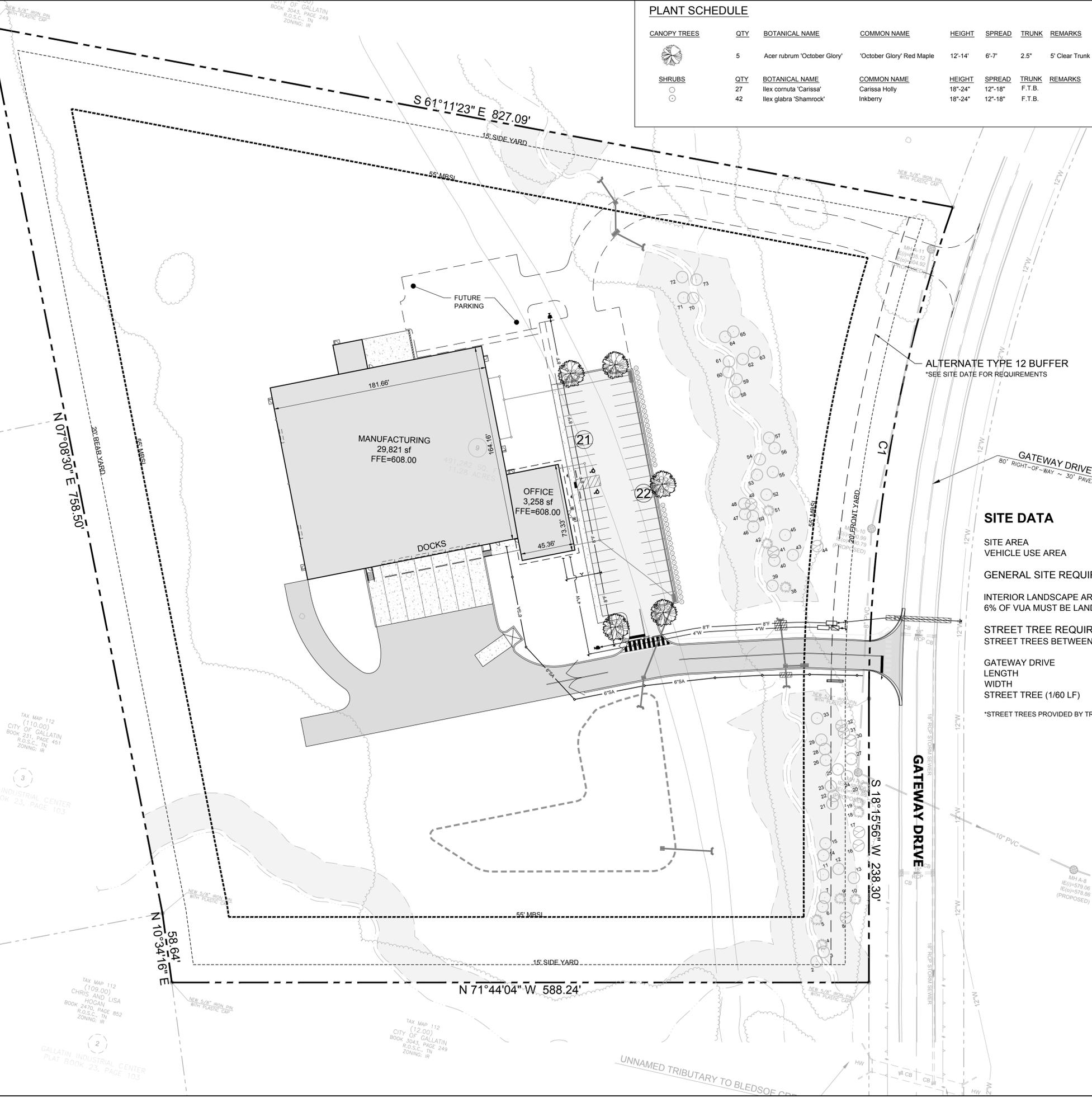
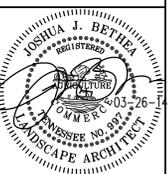
PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
	5	Acer rubrum 'October Glory'	'October Glory' Red Maple	12'-14'	6'-7'	2.5"	5' Clear Trunk

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
	27	Ilex cornuta 'Carissa'	Carissa Holly	18"-24"	12"-18"		F.T.B.
	42	Ilex glabra 'Shamrock'	Inkberry	18"-24"	12"-18"		F.T.B.



CIVIL SITE
DESIGN GROUP
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
819 SOUTH GALLATIN AVENUE SUITE 410 GALLATIN, TN 37068
615.241.9888



ALTERNATE TYPE 12 BUFFER
*SEE SITE DATE FOR REQUIREMENTS

SITE DATA

	REQUIRED	PROVIDED
SITE AREA		11.28 ACRES
VEHICLE USE AREA		41,544 SF
GENERAL SITE REQUIREMENTS		
INTERIOR LANDSCAPE AREA		
6% OF VUA MUST BE LANDSCAPED	2,493 SF	2,500 SF
STREET TREE REQUIREMENTS		
STREET TREES BETWEEN STREET AND SIDEWALKS		
GATEWAY DRIVE		
LENGTH		634.72 FT
WIDTH	10 FT	10 FT
STREET TREE (1/60 LF)	11 TREES	0 TREES*

*STREET TREES PROVIDED BY TREES PRESERVED IN STREAM BUFFER. SEE TREE TABLE FOR DETAILS

MINIMUM LANDSCAPE PLAN

SITE PLANS
PROJECT BUCKEYE
LOT 9, GALLATIN INDUSTRIAL PARK
GATEWAY DRIVE
GALLATIN, SUMNER COUNTY, TENNESSEE

MAP 112 P/O PARCEL 12.00

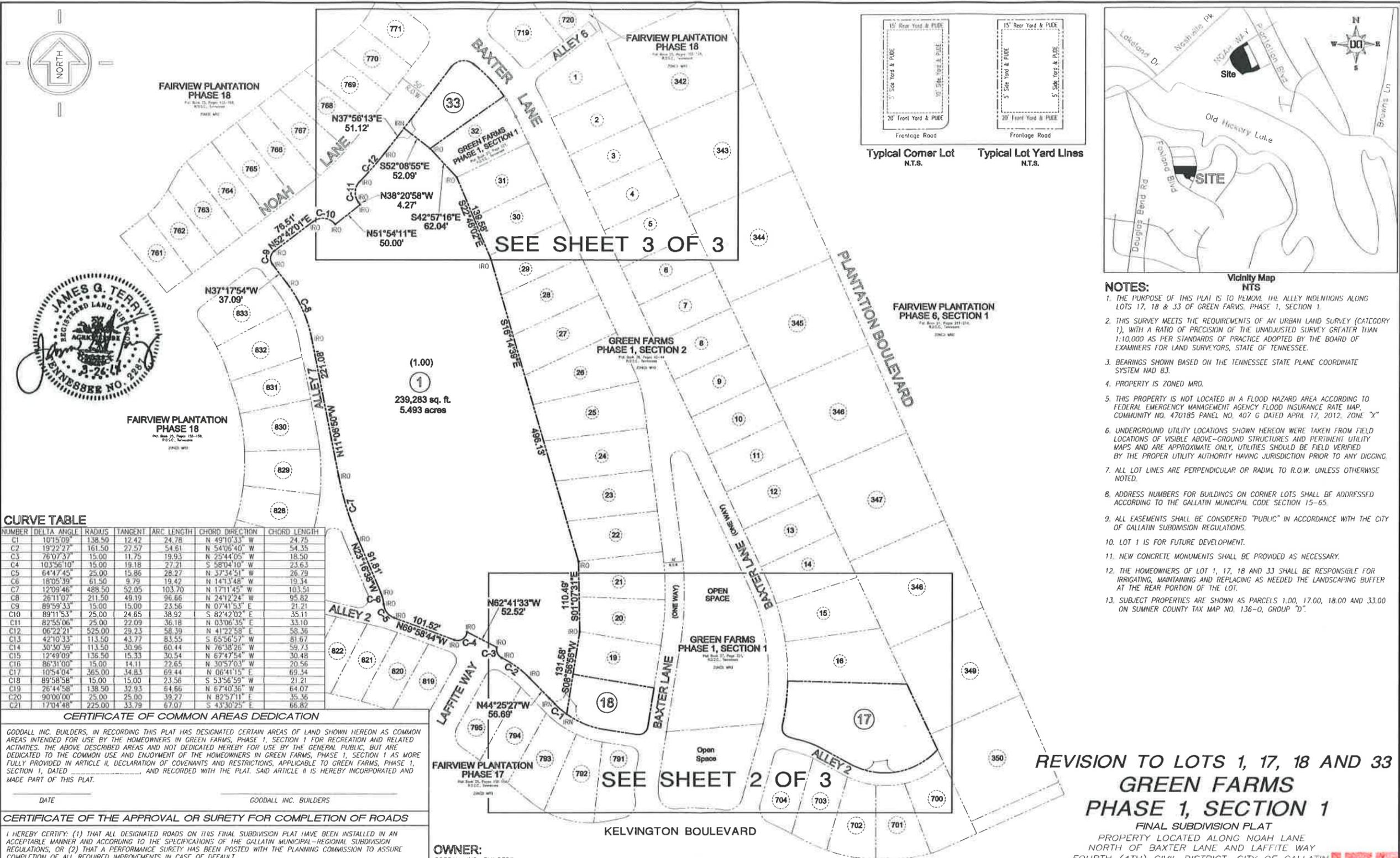
DATE	03/26/14
DRWN BY:	TWG
CHKD BY:	JPH
COMMENTS	INITIAL PLANNING SUBMITTAL

L1.00

JOBS NO.: 13-127-01



Apr 28, 2014 - 1:41pm T:\CAD\2013\13-127-01\CAD\Site and Grading\PlanPhase 1\Plans\13-127-01 L100_Landscape_Plan_gh1.dwg



CURVE TABLE

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	10°15'08"	138.50	12.42	24.78	N 49°10'33" W	24.75
C2	19°22'27"	161.50	27.57	54.61	N 54°06'40" W	54.35
C3	76°07'37"	15.00	11.75	19.93	N 25°44'05" W	18.50
C4	103°56'10"	15.00	19.18	27.21	S 58°04'10" W	23.63
C5	64°47'45"	25.00	15.86	28.27	N 37°34'51" W	26.79
C6	18°05'39"	61.50	9.79	19.42	N 14°13'48" W	19.34
C7	12°09'46"	488.50	52.05	103.70	N 17°11'45" W	103.51
C8	26°11'07"	211.50	49.19	96.66	N 24°12'24" W	95.82
C9	89°59'33"	15.00	15.00	23.56	N 07°41'53" E	21.21
C10	89°11'53"	25.00	24.65	38.92	S 82°42'02" E	35.11
C11	82°55'06"	25.00	22.09	36.18	N 03°06'35" E	33.10
C12	06°22'21"	525.00	29.23	58.39	N 41°22'58" E	58.36
C13	42°10'33"	113.50	43.77	83.55	S 65°56'57" W	81.67
C14	30°30'39"	113.50	30.96	60.44	N 76°38'26" W	59.73
C15	12°49'09"	136.50	15.33	30.54	N 67°47'54" W	30.48
C16	86°31'00"	15.00	14.11	22.65	N 30°57'03" W	20.56
C17	10°54'04"	365.00	34.83	69.44	N 06°41'15" E	69.34
C18	89°58'58"	15.00	15.00	23.56	S 53°56'59" W	21.21
C19	26°44'58"	138.50	32.93	64.66	N 67°40'36" W	64.07
C20	90°00'00"	25.00	25.00	39.27	N 82°57'11" E	35.36
C21	17°04'48"	225.00	33.79	67.07	S 43°30'25" E	66.82

CERTIFICATE OF COMMON AREAS DEDICATION

GODDALL INC. BUILDERS, IN RECORDING THIS PLAT HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS IN GREEN FARMS, PHASE 1, SECTION 1 FOR RECREATION AND RELATED ACTIVITIES. THE ABOVE DESCRIBED AREAS AND NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN GREEN FARMS, PHASE 1, SECTION 1 AS MORE FULLY PROVIDED IN ARTICLE II, DECLARATION OF COVENANTS AND RESTRICTIONS, APPLICABLE TO GREEN FARMS, PHASE 1, SECTION 1, DATED _____, AND RECORDED WITH THE PLAT. SAID ARTICLE II IS HEREBY INCORPORATED AND MADE PART OF THIS PLAT.

DATE _____ GODDALL INC. BUILDERS

CERTIFICATE OF THE APPROVAL OR SURETY FOR COMPLETION OF ROADS

I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS; OR (2) THAT A PERFORMANCE SURETY HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE _____ CITY ENGINEER

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "GREEN FARMS, PHASE 1, SECTION 1, REVISION TO LOTS 1, 17, 18 AND 33" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT SURTY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE _____ SUPERINTENDENT OF PUBLIC UTILITIES CITY OF GALLATIN

CERTIFICATE OF OWNERSHIP

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK NUMBER 3602, PAGES 209-216, R.O.S.C., TN, AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

DATE _____

OWNER:
 GODDALL INC. BUILDERS
 CONTACT: MIKE STANTON
 ADDRESS: 393 MAPLE STREET, SUITE 100
 GALLATIN, TENNESSEE 37066
 PHONE: (615) 451-5029

TOTAL AREA: 285,767 SQUARE FEET OR 6.560 ACRES

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED, AS SHOWN HEREON TO THE SPECIFICATIONS IN THESE REGULATIONS.

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY & THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000.

DATE _____

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT THE UTILITY SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "GREEN FARMS, PHASE 1, SECTION 1, REVISION TO LOTS 1, 17, 18 AND 33" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE _____ SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL FOR RECORDING

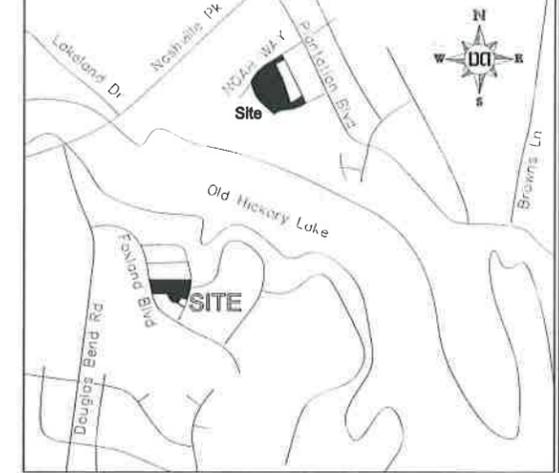
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE _____ SECRETARY, PLANNING COMMISSION

RECORD

RECORDED _____, 2014
 IN BOOK _____, PAGE _____
 OF THE REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE

JAMES TERRY & ASSOCIATES
 198 JACKSONIAN DRIVE



- NOTES:**
- THE PURPOSE OF THIS PLAT IS TO REMOVE THE ALLEY INDENTIONS ALONG LOTS 17, 18 & 33 OF GREEN FARMS, PHASE 1, SECTION 1.
 - THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
 - BEARINGS SHOWN BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 83.
 - PROPERTY IS ZONED MRO.
 - THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY NO. 470185 PANEL NO. 407 G DATED APRIL 17, 2012, ZONE "X"
 - UNDERGROUND UTILITY LOCATIONS SHOWN HEREON WERE TAKEN FROM FIELD LOCATIONS OF VISIBLE ABOVE-GROUND STRUCTURES AND PERTINENT UTILITY MAPS AND ARE APPROXIMATE ONLY. UTILITIES SHOULD BE FIELD VERIFIED BY THE PROPER UTILITY AUTHORITY HAVING JURISDICTION PRIOR TO ANY DIGGING.
 - ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO R.O.W. UNLESS OTHERWISE NOTED.
 - ADDRESS NUMBERS FOR BUILDINGS ON CORNER LOTS SHALL BE ADDRESSED ACCORDING TO THE GALLATIN MUNICIPAL CODE SECTION 15-65.
 - ALL EASEMENTS SHALL BE CONSIDERED "PUBLIC" IN ACCORDANCE WITH THE CITY OF GALLATIN SUBDIVISION REGULATIONS.
 - LOT 1 IS FOR FUTURE DEVELOPMENT.
 - NEW CONCRETE MONUMENTS SHALL BE PROVIDED AS NECESSARY.
 - THE HOMEOWNERS OF LOT 1, 17, 18 AND 33 SHALL BE RESPONSIBLE FOR IRRIGATING, MAINTAINING AND REPLACING AS NEEDED THE LANDSCAPING BUFFER AT THE REAR PORTION OF THE LOT.
 - SUBJECT PROPERTIES ARE SHOWN AS PARCELS 1.00, 17.00, 18.00 AND 33.00 ON SUMNER COUNTY TAX MAP NO. 136-0, GROUP "D".

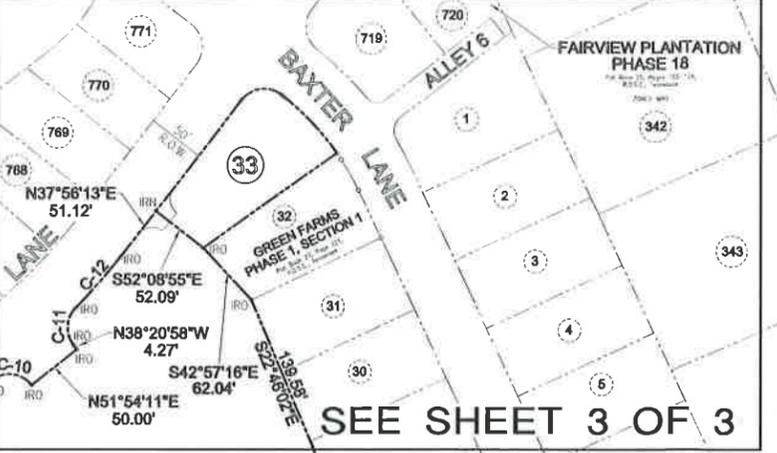


ITEM 7



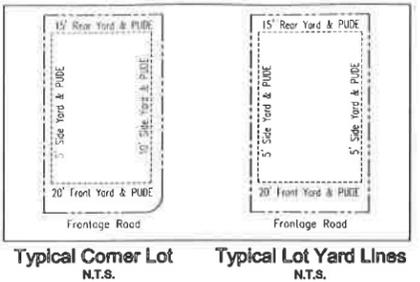
FAIRVIEW PLANTATION PHASE 18
 Plat Book 27, Page 142-154
 R.O.S.C., Tennessee

FAIRVIEW PLANTATION PHASE 18
 Plat Book 23, Page 142-154
 R.O.S.C., Tennessee



SEE SHEET 3 OF 3

SEE SHEET 2 OF 3



FAIRVIEW PLANTATION PHASE 6, SECTION 1
 Plat Book 28, Page 241-244
 R.O.S.C., Tennessee

KELVINGTON BOULEVARD

REVISION TO LOTS 1, 17, 18 AND 33 GREEN FARMS PHASE 1, SECTION 1 FINAL SUBDIVISION PLAT