



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, April 28, 2014
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the agenda applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- **Call to Order**
- **Invocation**
- **Pledge of Allegiance**
- **Roll Call**
- **Approval of Prior Minutes: March 10, 2014 Work Session and March 24, 2014 Regular Meeting**
- **Public comments on Consent Agenda items**

CONSENT AGENDA

- 1. GMRPC Resolution No. 2014-27** **PC0240-14**
SURETY RENEWALS
CITY OF GALLATIN

Applicant requests approval of the submitted surety renewals for 2014.
- 2. GMRPC Resolution No. 2014-29** **PC0266-14**
FAIRVUE PLANTATION - FMDP REVISION
FAIRVUE PLANTATION HOA

Applicant requests approval of a minor Amendment to the Preliminary Master Development Plan (PMDP) and an amendment to the Final Master Development Plan revision (FMDP) for Fairvue Plantation, Phases 11 and 14, and Last Plantation at Fairvue Mansion, Phase 2, to install community identification markers, street trees and landscaping in the City owned right-of-way, at three (3) subdivision entry points, along Noah Lane, Chloe Drive and Browns Lane. The property is currently zoned Multiple Residential and Office (MRO). No portion of the property where the identification markers, street trees and landscaping will be planted is located within a special flood hazard area.
- 3. GMRPC Resolution No. 2014-33** **PC0268-14**
CARELLTON, PHASE 2, SECTIONS A & B
DEWEY-ESTES ENGINEERING

Owner/applicant requests approval of an amended Preliminary Master Development Plan for the Carellton Subdivision to move phase lines and approval of a Final Master Development Plan for Phase 2A and 2B to create 90 totals lots, five (5) open space tracts and six (6) new public rights-of-way.
- 4. GMRPC Resolution No. 2014-31** **PC0269-14**
PROJECT BUCKEYE
CIVIL SITE DESIGN GROUP

Owner and applicant requests approval of a site plan for Project Buckeye to construct a 33,079 square foot building on property containing 11.28 (+/-) acres located at 1399 Gateway Drive.

5. **GMRPC Resolution No. 2014-32** **PC0267-14**
FOXLAND CROSSING PHASE 2
RAGAN SMITH ASSOCIATES INC

Owner/applicant requests approval of an amended Preliminary Master Development Plan for the Foxland Crossing multi-family residential development to change building types and reconfigure parking in Phase 2 and approval of a Final Master Development Plan for Phase 2 in order to construct three (3) multi-family buildings.

REGULAR AGENDA

6. **GMRPC Resolution No. 2014-34** **PC0270-14**
GREEN FARMS, PHASE 1, SECTION 1 AND SECTION 2
DEWEY-ESTES ENGINEERING

Owners and applicant request approval of a final plat to re-subdivide the portions of four (4) subdivisions by removing three (3) segments of alley rights-of-way and modifying P.U.D.E.'s in Fairvue Plantation Phase 17 and Phase 18, Green Farms Phase 1, Section 1 and Green Farms Phase 1, Section 2.

7. **GMRPC Resolution No. 2014-28** **PC0262-14**
CAIRO ESTATES, PHASE 3 - CHARACTER AREA CHANGE
ROGERS ENGINEERING GROUP

The owner/applicant has requested approval of a resolution to change the Character Area designation from the Airport Road Industrial Special District Character Area to the Suburban Neighborhood Established Character Area for three parcels (Tax Map 127, Parcels 005.00, 005.07, and 05.008) comprising 20.84 (+/-) acres, located east of Airport Road and north of Cairo Road.

8. **OTHER BUSINESS**
9. **MOVE TO ADJOURN**

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
WORK SESSION

March 10, 2014

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Vice Mayor John D. Alexander
Dr. Rick Orgain
Shirlene Campbell, Mayor's Designee
John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Kevin Chastine, Planner II
Robert Kalisz, Planner II
Denise Knight, Planner I
Zach Wilkinson, Engineering Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular work session on Monday, March 10, 2014, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Item 1: Discuss Big Station Camp Boulevard Corridor Traffic Study.

Mr. Zach Wilkinson, Engineering Project Manager, presented a concept study that Engineering Division is considering and requests the endorsement of the Planning Commission; however, no formal action is required from the Planning Commission tonight. Engineering Division is concerned that, future improvements may be needed to on-ramps, off-ramps, the intersection, and on segments of the large annexed area on the western side of the city. This study would forecast future traffic and identify future improvements in the corridor. A concern is that it would be difficult to make any one development responsible for a traffic signal and other needed improvements, because cumulative impacts will come from future development along the corridor. Mr. Wilkinson read from the Gallatin Zoning Ordinance, Chapter 13, Section 13.06.010E, which requires developers to make improvements, such as traffic signals.

Mr. Wilkinson introduced Mr. Greg Judy, Engineer and Senior Manager, with Neel-Shaffer, Inc. Mr. Judy said this type of pro-rata study is not typically done in Tennessee. He has been working with staff to determine a scope for the project. There is a desire on the part of staff to get ahead of the curve and produce a traffic projection model to identify future transportation needs. There are three (3) main steps to the process; forecast and predict the transportation impacts, propose recommendation, and estimate costs, and develop a mechanism to allow staff to assign those costs in an equitable, fair, pro-rata manner.

Mr. Judy discussed the development potential along the corridor and the dynamic mix of the type of development existing in the area. He added that thresholds would be developed to determine the types of improvements that would be needed, including connectivity of sidewalks and lighting.

Mr. Ramsey asked when the study would be completed. Mr. Judy said it would probably be four (4) to six (6) months. Mr. Ramsey asked the life expectancy of the study. Mr. Judy said a process would be developed to update and revisit the study, probably in five years.

Chair Dempsey asked who would pay for this study. Mr. Wilkinson said there is money in the Engineering Division budget to cover the study cost.

Mr. Ramsey asked if a large development is proposed, but has not developed, and the developer comes to the Planning Commission to seek re-approval, would there be something in place to require the developer to contribute to improvements. Mr. Wilkinson said if the plan is approved, but expires there may be something that can be done. He will review this with the City Attorney.

Item 2: Discuss G.Z.O., Section 13.07, Sign Regulations

Ms. Denise Knight, Planner I, said she has not heard good or bad comments nor have complaints been registered, on the new sign regulations. She has issued 52 permits, since October 16, 2013, the first day the ordinance went into effect. There have been a couple of businesses that were happy they could now put their monument signs up because of the change in setback. During the review process of the sign ordinance, staff discussed doing an inventory of all the signs in the city. Unfortunately, this has not been done due to the elimination of the Code Enforcement Officer position and the timing of other events. The intention was to inventory the signs and eventually geocode the information in the GIS Map. This is still the plan; however, there is no timeframe of when this can be completed. There are a few sign issues that are not related to the sign ordinance, such as site visibility, large signage on an awning, and a legal non-conforming sign on someone else's property, which prevents the property owner from putting up a sign.

Chair Dempsey asked about the LED lights inside store windows. Ms. Knight said this was written into the ordinance as prohibited and enforcement is intended. This was going to be part of the sign inventory in order to have a record of what businesses had them at the time of the sign ordinance approval; however, the department is short-staffed at this time and has not been able to do the inventory. The previous Code Enforcement Officer did 174 sign and zoning violations in 2012 and staff hopes there may possibly be an opportunity for a full-time Enforcement Officer, in the future. Chair Dempsey suggested that this position be written into the Planning Department Budget.

Mr. Puryear asked if the Code Enforcement Officer position could be outsourced. Ms. Knight said she does not know if outsourcing is possible. Vice Mayor Alexander concurred that the position of Code Enforcement Officer should be put in the budget, and the Planning Commission would endorse the request for the position.

Ms. Knight added that human directional signs are permitted on the site, but not in the right-of-way.

Item 3: Discuss the proposed renewal of the Long Hollow Pike Mixed Use Development Preliminary Master Development Plan containing commercial uses and multi-family dwellings on 30.84 (+/-) acres located at Long Hollow Pike and the Highway 109 Bypass. (PC0189-13)

Mr. Robert Kalisz, Planner II, gave a brief report on this project. It was rezoned to Mixed Use (MU) in 2002 from Industrial Restricted (IR) and no buildings or elevations were shown on the original plan.

Mr. Jay Everett, Project Manager, with Lose and Associates, representing the applicant, said this is a request for re-approval that has expired. The intensity is being reduced by breaking down the originally proposed large retail building, into smaller buildings that are mixed-use and added the buildings would be orientated towards the street to comply with the *Gallatin on the Move 2020 General Development and Transportation Plan*.

Chair Dempsey said he is concerned about the access into the subdivision near the apartments. Mr. Everett said the access was included at the request of staff. Mr. Mike Rye, Senior Project Manager, with Lose and Associates, said the applicant would not be concerned if that access is removed from the plan.

Mr. Ramsey asked about the signage, since this property is lower than State Route 109. Mr. Everett said the sign ordinance does not permit a large sign that would be seen from State Route 109.

Chair Dempsey asked about residential density. Mr. Everett said there are 192 apartment units, and the building will be two-story. There would be 13.69 dwelling units per acre, which was previously approved. Chair Dempsey asked about the focus of the apartments. Mr. Everett said there are no end users at this time. Mr. Rye said the property was previously identified for an LIHTC application; however, it is possible, another party may be interested in purchasing this portion of the development, and that these new buildings would not be tax credit apartments.

Mr. Bill McCord, Director of Planning, said only one access point to the 192 unit apartment complex, is still being shown. Staff is concerned that there is a need to provide alternative emergency access to the apartment complex should the main access be blocked. Mr. McCord suggested possible alternative locations to provide the emergency access.

Chair Dempsey reiterated that his main concern is the traffic from the apartments to Long Hollow Pike. Mr. McCord said there would be a time when a traffic signal may be warranted.

Chair Dempsey asked Mr. Wilkinson if there were any engineering concerns with the project. Mr. Wilkinson said the traffic impact study has not been submitted. He said the Engineering Division is concerned that another warranted improvement, improving Long Hollow Pike from three lanes to five lanes across the frontage of the site may be needed.

Chair Dempsey suggested sound deadening windows against the traffic noise.

Item 4: Discuss the proposed Preliminary Master Development Plan and annexation request for Cairo Estates, Phase 3 containing 21.06 (+/-) acres located at 1579 Cairo Road. (PC0259-14 and PC0260-14)

Mr. Kevin Chastine, Planner II, said this property is adjacent to the airport, as well as, Cairo Landing Subdivision. He explained the rezone request is from Residential 40 (R-40) to Multiple Residential and Office (MRO) and 63 lots are proposed, the smallest lots being 6,000 square feet, which is permitted in the Multiple Residential and Office (MRO) zone district. Staff has done an initial review and there are several issues. Gallatin Electric said they cannot supply electric because they cannot install power lines due to the proximity of the airport. Cumberland Electric can service the development; however, they must have approval to put their infrastructure in the City of Gallatin. The issues remain unresolved, at this time. The parcels were identified in the *Gallatin on the Move 2020 General Development and Transportation Plan*, as a part of the Airport Road Industrial Character Area, land is currently zoned Residential 40 (R-40). A residential subdivision is not in keeping with that character area. The request is to change the character area to Suburban Neighborhood Emerging or Suburban Neighborhood Established character area, which is the character area to the north and east of this development. The development is not located in the airport approach zone or the building restriction line.

Dr. Orgain asked how long of a distance would the electric power line have to be run. Mr. Andy Leath, with Rogers Engineering Group, representing the applicant, said the electric power line would have to be run approximately 3,000 to 4,000 feet. Cumberland Electric Membership Corporation (CEMC) is willing to service this area, if it remains in the county; however, the development cannot access Gallatin Public Utilities for sewer and water, if it remains in the county. Chair Dempsey suggested that the Engineering Division meet with the Gallatin Electric Department to discuss the issue.

Mr. Chastine said there has never been a request to change a character area and staff must determine what the process, for change, would be. Mr. Puryear asked about Hollerman Lane, which is located next to this proposed development and the utility service. Mr. Chastine said the proposed subdivision is located in the Planning Region; however, they have Gallatin Public Utilities for water and sewer.

Mr. Leath said if CEMC is the electric provider to the proposed development, the applicant would run underground power lines; however, if Gallatin Department of Electricity is the provider, the applicant would run overhead power lines, because Gallatin Electric does not charge for overhead power lines.

Item 5: Other Business

There being no further business, Chair Dempsey adjourned the meeting at 5:57 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



**Gallatin Municipal-Regional Planning Commission
Work Session Agenda**

Monday, March 10, 2014

Dr. J. Deotha Malone Council Chambers; 5 p.m.
Gallatin City Hall, 132 West Main Street

1. Discuss Big Station Camp Boulevard Corridor Traffic Study.
2. Discuss G.Z.O., Section 13.07, *Sign Regulations*.
3. Discuss the proposed renewal of the Long Hollow Pike Mixed Use Development Preliminary Master Development Plan containing commercial uses and Multifamily Dwellings on 30.84 (+/-) acres located at Long Hollow Pike and the Highway 109 Bypass. (PC0189-13)
4. Discuss the proposed rezoning and Preliminary Master Development Plan and annexation request for Cairo Estates, Phase 3 containing 21.06 (+/-) acres located at 1579 Cairo Road. (PC0259-14 and PC0260-14)
5. Other Business

EXHIBIT A

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
MEETING

March 24, 2014

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Vice Mayor John D. Alexander
Shirlene Campbell, Mayor's Designee
Dr. Rick Orgain
John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Katherine Schoch, Assistant Director of Planning
Kevin Chastine, Planner II
Robert Kalisz, Planner II
Brad Simpson, Engineering Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Josh Cross, *Gallatin News Examiner*
Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular meeting on Monday March 24, 2014, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Vice Mayor Alexander led the opening prayer and Chair Dempsey led the Pledge of Allegiance. Ms. Marianne Mudrak called the roll.

Approve Prior Minutes

Mr. Wilson motioned to approve the February 10, 2014 Planning Commission Work Session and the February 24, 2014 Planning Commission Regular Meeting Minutes as submitted. Vice Mayor Alexander seconded the motion and the motion passed by unanimous vote.

Public Comment on Consent Agenda Items

Chair Dempsey opened public comment on consent agenda items. No one requested to remove any item from the consent agenda. Chair Dempsey asked if any Planning Commission member wished to remove any item from the consent agenda. No member requested to remove any item from the consent agenda;

therefore, Chair Dempsey motioned to approve the consent agenda as submitted. Mr. Ramsey seconded the motion and the motion passed by unanimous vote.

Agenda

1. GMRPC Resolution No. 2014-23 – PC0213-13 – Restaurant/Retail Center – Lock 4 Road – Perry Engineering, LLC – The applicant and owner is requesting approval of a minor amendment to the Preliminary Master Development Plan and approval of a Final Master Development Plan for construction of a 4,286 square foot restaurant and an 8,800 square foot multi-tenant retail and office building on 3.44 (+/-) acres, located at 921 and 923 Nashville Pike, respectively.

This item was approved by consent agenda with the following conditions:

1. The final architectural elevations for both buildings are approved provided that the back of the large walls shall be finished and painted to match the buildings. Inspection of the exterior building façade materials is required by the Planning Department prior to the installation of the exterior building façade materials for both buildings.
2. The Planning Commission determined that the alternative bufferyards shown on the final landscaping plan are acceptable and meet the intent of G.Z.O., Section 13.04.100.C, *Alternative Plan Approval*.
3. A Master Signage Plan, including details of all permanent signs shall be submitted and approved by Staff for both buildings. All signs for the restaurant and retail center shall comply with the G.Z.O., Section 13.07, *Sign Regulations*. Sign permits shall be obtained from the Planning Department prior to the construction or installation of any signage on site.
4. Provide sidewalk easements as necessary to construct the six (6) foot sidewalks as required by G. Z.O., Section 13.09.030, *Sidewalks*.
5. The minor subdivision plat shall be recorded prior to the issuance of a building permit for this project. If the property is subdivided into two (2) separate parcels in the future, a stormwater easement may be required for access to the detention pond.
6. No trees shall be planted in the sanitary sewer easement.
7. Submit relocation plans for the sanitary sewer line around the detention pond to the Gallatin Public Utilities Department for review and approval.
8. Detailed water and sanitary sewer plans and specifications shall be submitted to the Gallatin Industrial Pre-treatment Department for review and approval.
9. Provide clarification about the fire hydrant locations on site.
10. Update the calculation sheet to include the eight (8) foot tall SimTek fence shown along the rear property line since it is part of the alternative Type 40 Bufferyard in that location. The site surety shall be submitted to the Planning Department prior to the issuance of a building permit in accordance with G.Z.O. Section. 15.03.080, *Surety Required*.
11. Contribute \$1,800 to the City's sidewalk trust fund prior to the issuance of a building permit for this project.

2. GMRPC Resolution No. 2014-27 – PC0240-14 – Surety Renewals – City of Gallatin – Applicant requests approval of the submitted surety renewals for 2014.

- Twin Eagles, Ph. 8; PC File # 8-5-07 site surety one year renewal and extension for \$8,100.

- Odric Gregory Industrial Park, Lot 12; PC0010-12 site surety one year renewal and extension for \$23,750.
- Woods Commons, Sec. 1; PC9827-11/The Drive-In, Ph. 1 & 2; PC File #1-23-04C subdivision surety one year renewal and extension for \$127,000.
- Twin Eagles, Ph. 9A; PC0129-13 subdivision surety one year renewal and extension for \$338,000.
- Twin Eagles, Ph. 10; PC9845-11 subdivision surety one year renewal and extension for \$136,000.
- Oak Hill, Ph. 1; PC File #1-53-06C subdivision surety one year renewal and extension for \$119,000.
- The Reserve, Ph. 1 Sec 1; PC9906-11 subdivision surety one year renewal and extension for \$94,000.
- The Reserve, Ph. 1, Sec. 2; PC9907-11 subdivision surety one year renewal and extension for \$28,000.
- Stratford Park, Ph. 3, Sec 3; PC0093-13 subdivision surety one year renewal and extension for \$31,000.

This item was approved by consent agenda.

3. GMRPC Resolution No. 2014-24 – PC0259-14 – Cairo Estates, Phase 3 – Rogers Engineering Group – Public Comment – The owner/applicant is requesting the Planning Commission approve and recommend to the Gallatin City Council the Annexation and an ordinance adopting a Plan of Service for three (3) parcels (Tax Map 127 and Parcels 005.00, 005.07, and 005.08), containing 20.84 (+/-) acres, located east of Airport road and North of Cairo Road.

Mr. Kevin Chastine, Planner II, presented the staff report and explained that items 3, 4, and 5, were related and he requested to present all three (3) together. He said the first phase, of the proposed subdivision, would be completed this year and the last phase would be completed by June 2015. The Gallatin on the Move 2020 General Development and Transportation Plan designates the three (3) parcels as Airport Road Industrial Special District Character Area and the applicant and owner is requesting a change to the Suburban Neighborhood Established Character Area, since the properties to the east is designated Suburban Neighborhood Established Character Area. Because a 30 day notification is required, item number four (4) is for discussion only and will not be subject to a vote tonight.

Mr. Chastine referred to a Sumner County Regional Airport Environmental Assessment Noise Exposure map, attached to these minutes as Exhibit B, showing the three (3) parcels and the decibel level line. The Airport Authority asked that their concern, over sound in the area, be noted.

Mr. Chastine discussed the architectural elevations and said three (3) sample elevations have been submitted. Some of the features are one story elevations, ranging in size from 1,200 square foot to just

over 1,500 square foot and show one-story homes with front loaded garages, two (2) elevations with brick fronts and vinyl siding on back and sides, and one (1) elevation with vinyl siding on all four (4) sides. The elevations are samples and could be changed at the Final Master Development Plan (FMDP) stage.

Mr. Chastine said the Gallatin on the Move 2020 General Development and Transportation Plan indicates a future greenway to run along Albright Creek. Staff has requested the owner and applicant work with staff to identify and reserve a corridor for the location of this future greenway, but this is not a condition of approval. A determination as to which electric company will provide electric service to this property is still an outstanding issue and has not been finalized.

Mr. Chastine said staff recommends the Planning Commission recommend the Annexation and Plan of Service to Gallatin City Council for approval.

Chair Dempsey asked Mr. Zach Wilkinson, Engineering Project Manager, if there were any engineering concerns with the request. Mr. Wilkinson said he did not have any engineering concerns with the request.

Mr. Andy Leath, with Rogers Engineering Group, representing the owner and applicant, said the Gallatin Department of Electric and Cumberland Membership Electric Corporation (CEMC) are discussing which company would service this development. The owner and applicant has been advised, by Mr. Leath, to discuss the possibility of a right-of-way easement, from the north, with Mr. Odric Gregory, for electrical service to this subdivision.

Vice Mayor Alexander asked if underground utilities is an option. Mr. Leath said underground utilities is an option; however, the owner and applicant has not decided.

Chair Dempsey opened public comment. No one came forward to speak; therefore, Chair Dempsey closed public comment.

Mr. Wilson motioned to recommend approval of the Annexation and Plan of Service to the Gallatin City Council. Mr. Ramsey seconded the motion and the motion passed by unanimous vote.

4. GMRPC Resolution No. 2014-28 – PC0262-14 – Cairo Estates, Phase 3 – Character Area Change – Rogers Engineering Group – The owner and applicant has requested a Character Area Designation change from Airport Road Industrial Special District Character Area to the Suburban Neighborhood Established Charter Area for three parcels (Tax Map 127, Parcels 005.00, 005.07, and 005.08) that comprise 20.84 (+/-) acres east of Airport Road and north of Cairo Road.

Chair Dempsey asked Mr. Wilkinson if there were any engineering concerns with this request. Mr. Wilkinson said there were no engineering concerns with the request.

Mr. Andy Leath, with Rogers Engineering Group, representing the owner and applicant, said he had no comments.

Mr. Ramsey asked Mr. Chastine to reiterate the Character Area Designation change. Mr. Chastine said the property is currently Airport Road Industrial Special District and the request is to change the

designation to Suburban Neighborhood Established Character Area. Mr. Ramsey expressed concern that the character area would permit Multiple Residential and Office (MRO) uses, which may not be desirable if this project does not occur. Mr. Bill McCord, Director of Planning, read the uses for the Multiple Residential and Office (MRO) zone district. Mr. Chastine said the process to change the zoning would have to begin again, if a new project was proposed for the property. Mr. Ramsey said he does not have a problem with the plan, but he is concerned that the City must have protection if this project does not go forward.

Mr. Leath said the original model was Albion Downs, which includes single-family and multi-family uses.

5. GMRPC Resolution No. 2014-25 – PC0260-14 – Cairo Estates, Phase 3 – Rogers Engineering Group – The owner and applicant is requesting to rezone three (3) parcels comprising 20.84 (+/-) acres (Tax Map 127 and Parcels 005.00, 005.07, and 005.08) from Residential-40 (R40) zone district to Multiple Residential and Office (MRO) zone district and approve a Preliminary Master Development Plan (PMD) to create 63 one-family detached dwelling lots.

Chair Dempsey asked Mr. Wilkinson if he had any engineering concerns with the request. Mr. Wilkinson said he did not have any engineering concerns with the request.

Mr. Andy Leath, with Rogers Engineering Group, representing the applicant, said he did not have any comments.

Mr. Ramsey asked if the applicant was agreeable to the staff request to reserve an area for a future greenway. Mr. Leath said there is an area that is being considered for the future greenway. Mr. Ramsey asked if the owner and applicant would consider all brick fronts on the homes. Mr. Leath said the owner and applicant would commit to all brick front elevations.

Chair Dempsey opened public comment. No one came forward to speak; therefore, Chair Dempsey closed public comment.

Vice Mayor Alexander motioned to recommend approval to Gallatin City Council with the additional condition that a location be reserved for a future greenway.

1. The Planning Commission determined that the proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance and approved the alternative bufferyards.
2. The rezoning and Cairo Estates Preliminary Master Development Plan approval is conditioned on the Planning Commission granting approval of an amendment to the Gallatin on the Move 2020, General Development and Transportation Plan 2008-2020 Update to change the Airport Road Industrial Special District to Suburban Neighborhood Established Character Area. (This is scheduled to be considered at the April 28th, 2014 Planning Commission meeting.)
3. No homes shall be constructed within the stream buffer, but homes can be built within the floodplain if the finish floor elevation of the home is constructed one (1) foot above the Base Flood Elevation

(BFE) for floodplain areas with established BFEs or three (3) foot above the highest adjacent grade for floodplain areas without an established BFE, as required in Section 10.03.070.B.

4. Provide Gallatin Public Utilities with detailed plans, specifications and hydraulic calculations for water and sanitary sewer installations.
5. Establish and label all portions of the development not including lots or proposed right-of-way as open space tract(s) to be owned and maintained by the homeowner's association.
6. The applicant shall work with staff to identify and reserve a corridor for the location of the proposed greenway along Albright Creek as indicated in the Gallatin on the Move 2020 General Development and Transportation Plan 2008-2020.

6. GMRPC Resolution No. 2014-22 – PC0189-13 – Long Hollow Pike Mixed Use Development – Lose & Associates, LP – Owner and applicant are requesting approval reaffirming the Mixed Use (MU) district zoning on a 30.84 (+/-) acre parcel and approval of a Preliminary Master Development Plan (PMDP) for the Long Hollow Pike Mixed Use development in order to develop a Mixed Use development including commercial parcels and a multi-family residential dwelling parcel located at the southeastern corner of the intersection of Long Hollow Pike and State Route Highway 109.

Mr. Robert Kalisz, Planner II, presented the staff report and said the owner and applicant is requesting approval reaffirming the Mixed Use (MU) zone district and approval of a Preliminary Master Development Plan (PMDP). The original approval of the Preliminary Master Development Plan (PMDP) did not list the uses nor were architectural elevations submitted. The Gallatin on the Move 2020 General Development and Transportation Plan shows this property part of the Commercial Corridor Character Area and the proposed uses of this plan follow the intent and the strategies of the Gallatin on the Move 2020 General Development and Transportation Plan. The proposed buildings will consist of brick veneer, meeting the 70 percent brick or stone requirement. A conceptual landscape buffer plan has been submitted and the owner and applicant is requesting approval of an alternate bufferyard plan.

Mr. Kalisz said staff recommends the Planning Commission recommend approval of reaffirming the zoning and approval of the Preliminary Master Development Plan (PMDP) with the conditions listed in the staff report.

Chair Dempsey asked Mr. Wilkinson if he had any engineering concerns with the request. Mr. Wilkinson commented that the traffic impact study and the timeline for transportation improvements is still under review.

Mr. Mike Wye, with Lose and Associates, representing the owner and applicant, said he would respond to any questions.

Chair Dempsey asked why extra parking is proposed. Mr. Wye said this proposed parking is due to not knowing the end use of the property. He said the plan is to possibly use pervious pavement in some of the parking areas.

Mr. Wilson motioned to approve reaffirm the zoning and approve the Preliminary Master Development Plan (PMDP) with the following conditions:

1. Planning Commission approved the architectural elevations as submitted.
2. Planning Commission approved the alternative bufferyard plan as submitted.
3. Correct the rear yard in the residential bulk regulations from “30 feet” to “20 feet” on sheets PMDP.0 and PMDP.3.
4. Correct and add the M.B.S.L.’s and yards to parcels on sheets PMDP.3 and PMDP.4.
5. Remove the “DEVELOPMENT SIGN” wording and arrow from sheet PMDP.3.
6. Correct the “Signage Notes per G.Z.O.13.07.100” to read “Signage Notes per G.Z.O.13.07 Sign Regulations” on sheet PMDP.3.
7. Correct “but in no case shall a single sign face exceed one hundred twenty (120) square feet” to read “but in no case shall a single sign face exceed one hundred (100) square feet” on sheet PMDP.3.
8. Correct the “(1) per lot-no single tenant ground sign permissible with multi-tenant ground signs” to read “(1) per development entrance-no single tenant ground sign permissible with multi-tenant ground signs” in the Multi-Tenant Ground Sign Detail on sheet PMDP.3.
9. Correct CS zoning on the property on the north side of Long Hollow Pike and add IR and CG zoning to the property on the east side of S.R. 109 on sheet PMDP.4.
10. Add a Buffer Yard Type 12 detail and use the landscape description from Buffer Yard Type 25 to sheet PMDP.4.
11. Correct 15’ to 20’ and “sixty feet” to “seventy-five feet” in Buffer Yard Type 20 detail on sheet PMDP.4.
12. Submit fifteen (15) corrected and folded copies, one (1) full size and fourteen (14) half-size, of the Preliminary Master Development Plan to the Planning Department by 12:00 p.m. (noon) on Tuesday, April 1, 2014 in order to place this item on April 8, 2014 City Council Committee meeting agenda.

Vice Mayor Alexander seconded the motion and the motion passed by unanimous vote.

7. GMRPC Resolution No. 2014-26 – PC0261-14 – Supreme Motors- Caldwell Engineering – The owner and applicant is requesting approval to construct a 2,400 square foot building on property containing .613 (+/-) acres zoned Commercial Services (CS). The existing and proposed use is classified as Vehicular, Craft and Related Equipment Sales Retail and Delivery, which is a permitted use in the Commercial Services (CS) zone district.

Mr. Chastine presented the staff report and said the owner and applicant is requesting to construct a 2,400 square foot building for the existing use as Vehicular, Craft and Related Equipment Sales Retail and Delivery, which is a permitted use in the Commercial Services (CS) zone district.

Mr. Chastine said during research of this property, staff discovered no site plan exists for the site and several non-conforming conditions were noted; the existing chain link fence is located in the public right-of-way and one building is located well within the required 50 foot minimum building setback of the Commercial Services (CS) zone district. In addition, there is a garage building that is a prefab building with metal siding, which does not meet the 70 percent brick or stone requirement; therefore the owner and applicant is requesting an alternate architectural plan. There is also no bufferyard plant material located along the south and east property boundary adjacent to residential development. The zoning ordinance states the City

can request additional landscaping where the new building is being constructed. The applicant has shown additional landscaping.

Mr. Chastine said staff recommends the Planning Commission approve the site plan with the conditions listed in the staff report.

Chair Dempsey asked Mr. Wilkinson if he had any engineering concerns with the request. Mr. Wilkinson said he did not have any engineering concerns with request.

Mr. Dwayne Caldwell, with Caldwell Engineering and Surveying, representing the owner and applicant, said the owner and applicant agrees to add 70 percent masonry along the front of the building and is asking that the fence within Woods Ferry Road right-of-way, be allowed to remain. The owner and applicant would be willing to agree to move the fence if development comes to that area of Woods Ferry Road.

Mr. Wilkinson said there are no safety issues involved in allowing the fence to remain; however, it is encroaching into the right-of-way. Mr. Bill McCord, Director of Planning, said the City Council may consider giving the owner and applicant a right-of-way use of license agreement so that the Planning Commission is not condoning the encroachment of the fence in the right-of-way. Chair Dempsey said he prefers to approve the fence in its current location and asked staff to bring the issue to the City Attorney. Mr. Ramsey said the Planning Commission might instruct staff to bring this issue to City Council as suggested by Mr. McCord.

Ms. Campbell motioned to approve the site plan with the condition that the front façade meet the 70 percent masonry requirement, and staff present the existing chain link fence in the public right-of-way to the attention of City Council for a possible right-of-way use license, and with the following conditions:

1. The building shall be consistent with the Site Plan for Supreme Motors, consisting of a three (3) sheet plan with job No. 14-2, dated March 12, 2014 prepared by Caldwell Engineering & Surveying of Hendersonville, Tennessee.
2. The Planning Commission shall determine whether the proposed alternative architectural plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance and, if so, grant approval of the alternative architecture.
3. The Planning Commission shall determine whether the proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance. If the Planning Commission approves the alternative north bufferyard plan, then the applicant shall provide an agreement to the Planning Department signed by the property owner, agreeing to install the required bufferyard if the leased property is subdivided.
4. Provide a note on the site plan that states a total number of customer code required parking spaces as well as spaces for the vehicles that are for sale.
5. The existing fence along Woods Ferry Road is located within the public right-of-way; therefore that portion of the existing chain link fence shall be removed from the public right-of-way.
6. The applicant shall construct the building elevation facing north (Coles Ferry Road) to be at least 70 percent masonry.
7. Submit three (3) corrected folded copies, (3) half size plans, of the site plan to the Planning Department.

Chair Dempsey seconded the motion and the motion passed by unanimous vote.

Other Business

Ms. Katherine Schoch, Assistant Director of Planning, presented the materials color board for the Panera Bread project.

Mr. Ramsey asked that the 70 percent brick or stone requirement be revisited at a Planning Commission work session meeting, to update the regulation. Chair Dempsey asked staff to research other cities and bring those findings to the next work session meeting, for discussion.

Move to Adjourn

There being no further business to discuss, Chair Dempsey adjourned the meeting at 5:48 P.M.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, March 24, 2014
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the agenda applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- Call to Order
- Invocation
- Pledge of Allegiance
- Roll Call
- Approval of Prior Minutes: February 10, 2014 Work Session and February 24, 2014 Regular Meeting
- Public comments on Consent Agenda items

CONSENT AGENDA

1. **GMRPC Resolution No. 2014-23** **PC0213-13**
RESTAURANT/RETAIL CENTER - LOCK 4 ROAD
PERRY ENGINEERING, LLC

The applicant and owners are requesting approval of a minor amendment to the Preliminary Master Development Plan and approval of a Final Master Development Plan for construction of a 4,286 square foot restaurant and an 8,800 square foot multi-tenant retail and office building on 3.44 (+/-) acres, located at 921 and 923 Nashville Pike, respectively.

2. **GMRPC Resolution No. 2014-27** **PC0240-14**
SURETY RENEWALS
CITY OF GALLATIN

Applicant requests approval of the submitted surety renewals for 2014.

REGULAR AGENDA

3. **GMRPC Resolution No. 2014-24** **PC0259-14**
CAIRO ESTATES, PHASE 3
ROGERS ENGINEERING GROUP

PUBLIC COMMENT

The owner/applicant is requesting the Planning Commission approve and recommend to the Gallatin City Council the Annexation or and an ordinance adopting a Plan of Service for three (3) parcels (Tax Map 127 and Parcels 005.00, 005.07, and 005.08), containing 20.84 (+/-) acres, located east of Airport Road and North of Cairo Road.

4. **GMRPC Resolution No. 2014-28** **PC0262-14**
CAIRO ESTATES, PHASE 3 - CHARACTER AREA CHANGE
ROGERS ENGINEERING GROUP

EXHIBIT A

The owner/applicant has requested a Character Area Designation change from the Airport Road Industrial Special District Character Area to the Suburban Neighborhood Established Character Area for three parcels (Tax Map 127, Parcels 005.00, 005.07, and 05.008) that comprise 20.84 (+/-) acres east of Airport Road and north of Cairo Road.

5. **GMRPC Resolution No. 2014-25** **PC0260-14**
CAIRO ESTATES, PHASE 3
ROGERS ENGINEERING GROUP

The owner and applicant is requesting to rezone three (3) parcels comprising 20.84 (+/-) acres (Tax Map 127 and Parcels 005.00, 005.07, and 005.08) from Residential-40 (R40) zone district to Multiple Residential and Office (MRO) zone district and approval of a Preliminary Master Development Plan to create 63 one-family detached dwelling lots. one-family detached dwellings are a permitted use in the MRO zone district.

6. **GMRPC Resolution No. 2014-22** **PC0189-13**
LONG HOLLOW PIKE MIXED USE DEVELOPMENT
LOSE & ASSOCIATES, LP

Owner and applicant requests approval reaffirming the Mixed Use (MU) district zoning on a 30.84 (+/-) acre parcel and approval of a Preliminary Master Development Plan (PMDP) for the Long Hollow Pike Mixed Use development in order to develop a Mixed Use development including commercial parcels and a multi-family dwelling residential parcel located at the southeastern corner of the intersection Long Hollow Pike and State Route Highway 109.

7. **GMRPC Resolution No. 2014-26** **PC0261-14**
SUPREME MOTORS
CALDWELL ENGINEERING

The owner and applicant are requesting approval to construct a 2,400 square foot building. The property contains .613 (+/-) acres and is zoned Commercial Services (CS). The existing and proposed use is classified as Vehicular, Craft and Related Equipment Sales, which is a permitted use in the CS zoning district.

8. **OTHER BUSINESS**
9. **MOVE TO ADJOURN**



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, March 24, 2014
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the agenda applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- Call to Order
- Invocation
- Pledge of Allegiance
- Roll Call
- Approval of Prior Minutes: February 10, 2014 Work Session and February 24, 2014 Regular Meeting
- Public comments on Consent Agenda items

CONSENT AGENDA

1. **GMRPC Resolution No. 2014-23** **PC0213-13**
RESTAURANT/RETAIL CENTER - LOCK 4 ROAD
PERRY ENGINEERING, LLC

The applicant and owners are requesting approval of a minor amendment to the Preliminary Master Development Plan and approval of a Final Master Development Plan for construction of a 4,286 square foot restaurant and an 8,800 square foot multi-tenant retail and office building on 3.44 (+/-) acres, located at 921 and 923 Nashville Pike, respectively.

2. **GMRPC Resolution No. 2014-27** **PC0240-14**
SURETY RENEWALS
CITY OF GALLATIN

Applicant requests approval of the submitted surety renewals for 2014.

REGULAR AGENDA

3. **GMRPC Resolution No. 2014-24** **PC0259-14**
CAIRO ESTATES, PHASE 3
ROGERS ENGINEERING GROUP

PUBLIC COMMENT

The owner/applicant is requesting the Planning Commission approve and recommend to the Gallatin City Council the Annexation or and an ordinance adopting a Plan of Service for three (3) parcels (Tax Map 127 and Parcels 005.00, 005.07, and 005.08), containing 20.84 (+/-) acres, located east of Airport Road and North of Cairo Road.

4. **GMRPC Resolution No. 2014-28** **PC0262-14**
CAIRO ESTATES, PHASE 3 - CHARACTER AREA CHANGE
ROGERS ENGINEERING GROUP



The owner/applicant has requested a Character Area Designation change from the Airport Road Industrial Special District Character Area to the Suburban Neighborhood Established Character Area for three parcels (Tax Map 127, Parcels 005.00, 005.07, and 05.008) that comprise 20.84 (+/-) acres east of Airport Road and north of Cairo Road.

5. **GMRPC Resolution No. 2014-25** **PC0260-14**
CAIRO ESTATES, PHASE 3
ROGERS ENGINEERING GROUP

The owner and applicant is requesting to rezone three (3) parcels comprising 20.84 (+/-) acres (Tax Map 127 and Parcels 005.00, 005.07, and 005.08) from Residential-40 (R40) zone district to Multiple Residential and Office (MRO) zone district and approval of a Preliminary Master Development Plan to create 63 one-family detached dwelling lots. one-family detached dwellings are a permitted use in the MRO zone district.

6. **GMRPC Resolution No. 2014-22** **PC0189-13**
LONG HOLLOW PIKE MIXED USE DEVELOPMENT
LOSE & ASSOCIATES, LP

Owner and applicant requests approval reaffirming the Mixed Use (MU) district zoning on a 30.84 (+/-) acre parcel and approval of a Preliminary Master Development Plan (PMDP) for the Long Hollow Pike Mixed Use development in order to develop a Mixed Use development including commercial parcels and a multi-family dwelling residential parcel located at the southeastern corner of the intersection Long Hollow Pike and State Route Highway 109.

7. **GMRPC Resolution No. 2014-26** **PC0261-14**
SUPREME MOTORS
CALDWELL ENGINEERING

The owner and applicant are requesting approval to construct a 2,400 square foot building. The property contains .613 (+/-) acres and is zoned Commercial Services (CS). The existing and proposed use is classified as Vehicular, Craft and Related Equipment Sales, which is a permitted use in the CS zoning district.

8. **OTHER BUSINESS**
9. **MOVE TO ADJOURN**

ITEM 1

GMRPC Resolution No. 2014-30

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING ITEM 1 – A ONE (1) YEAR RENEWAL AND EXTENSION OF THE PERFORMANCE SURETIES FOR FAR AWAY HILLS (SITE); PC FILE #8-13-04 – ST. BLAISE RETREAT, SEC. 1 (SITE); PC9977-12 – CAMBRIDGE CONDOS (SITE); PC FILE #8-30-03 – ST. BLAISE RETREAT, SEC. 1 (SUBDIVISION); PC FILE #1-21-08C – LENOX PLACE, PH. 2 (SUBDIVISION); PC FILE #1-12-05C (PC0240-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the one (1) year renewal and extension of the performance sureties for Far Away Hills (Site); PC File #8-13-04 – St. Blaise Retreat, Sec. 1 (Site); PC9977-12 – Cambridge Condos (Site); PC File #8-30-03 – St. Blaise Retreat, Sec. 1 (Subdivision); PC File #1-21-08C–Lenox Place, Ph. 2 (Subdivision); PC File #1-12-05C submitted by the applicant, City of Gallatin, at its regular meeting on April 28, 2014; and;

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the information presented by City Staff and evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Gallatin Zoning Ordinance, §15.03.080 and Gallatin Subdivision Regulations, Chapter 3:

1. It has been determined that the renewal and extension of the performance sureties will not create adverse effects upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
2. It has been determined that no one property owner or small group of property owners will benefit materially from the renewal and extension of the performance sureties to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a one (1) year renewal and extension of the performance sureties as follows:

- Far Away Hills; PC File #8-13-04 site surety one (1) year renewal and extension for \$28,150.
- St. Blaise Retreat, Sec. 1; PC9977-12 site surety one (1) year renewal and extension for \$31,000.

ITEM 1

- Cambridge Condos; PC File #8-30-03 site surety one (1) year renewal and extension for \$17,750.
- St. Blaise Retreat, Sec. 1; PC File #1-21-08C subdivision surety one (1) year renewal and extension for \$184,000.
- Lenox Place, Ph. 2; PC File #1-12-05C subdivision surety one (1) year renewal and extension for \$176,000.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 4/28/14

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY

ITEM 2

GMRPC Resolution No. 2014-29

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN AND MINOR AMENDMENT TO THE FINAL MASTER DEVELOPMENT PLAN REVISION FOR FAIRVUE PLANTATION, PHASES 11 AND 14, AND LAST PLANTATION AT FAIRVUE MANSION, PHASE 2, FOR THE INSTALLATION OF COMMUNITY IDENTIFICATION MARKERS, STREET TREES AND LANDSCAPING IN THE CITY OWNED RIGHT-OF-WAY, ALONG NOAH LANE, CHLOE DRIVE AND BROWNS LANE. (PC0266-14)

WHEREAS, The applicant has submitted an application for a minor amendment to the previously approved Fairvue Plantation, Phase 11 and Phase 14, and Last Plantation of Fairvue Mansion, Phase 2 Preliminary Master Development Plans consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the amended Preliminary Master Development Plan and the amended Final Master Development Plan revision submitted by the applicant, Fairvue Plantation Homeowner's Association, at its regular meeting on April 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, in the amended Preliminary Master Development Plan/amended Final Master Development revision attached hereto as Exhibit "A", and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. §13-3-310, §13-4-310, §13-7-201, and §13-7-202:

1. The amended Preliminary Master Development Plan/amended Final Master Development Plan revision is consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Character Area. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing and intended character of the general vicinity. As designed, the proposed community identification markers, street trees and landscaping will not change the essential character of this area of Fairvue Plantation.

2. The amended Preliminary Master Development Plan/amended Final Master Development Plan revision for Fairvue Plantation is consistent with the purpose and intent of the Multiple Residential and Office (MRO) zoning district and the Preliminary Master Development Plan for Fairvue Plantation and will continue the existing design motif provided for in other phases of the subdivision.
3. The proposed changes shown in the amended Preliminary Master Development Plan/amended Final Master Development Plan revision do not constitute a major amendment to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
4. The legal purposes for which zoning regulations exists have not been contravened.
5. The amended Preliminary Master Development Plan/amended Final Master Development Plan revision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one (1) property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
7. The amended Preliminary Master Development Plan/amended Final Master Development Plan revision complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a minor amendment to the Preliminary Master Development Plan and the revised Final Master Development Plan for Fairvue Plantation Final Master Development Plan revision consisting of an eight (8) sheet plan, prepared by Gamble Design Collaborative, of Franklin, Tennessee, dated April 14, 2014 (Exhibit A), with the following conditions:

1. Correct “Golf” in Location #3 on Sheet L1.0
2. Correct “cause” in Note 5
3. Correct “the” and change to “Engineering Division” in Note 6
4. No signs shall interfere with the ability to maintain utilities
5. Submit three (3) corrected copies of the revised FMDP to the Planning Department

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.
PRESENT AND VOTING

AYE:

NAY:

DATED: 4/28/14

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY

EXHIBIT A

ITEM 2



PLANNING DEPARTMENT STAFF REPORT

Amended PMDP and an Amended FMDP for Fairvue Plantation, Phases 11 and 14, and The Last Plantation at Fairvue Mansion, Phase 2 – Community Identification Markers, Street Trees and Landscaping on Noah Lane, Chloe Drive and Browns Lane (PC0266-14)

Date: February 3, 2014

REQUEST: APPLICANT REQUESTS APPROVAL OF A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN (PMDP) AND AMENDED FINAL MASTER DEVELOPMENT PLAN REVISION (FMDP) FOR FAIRVUE PLANTATION, PHASES 11 AND 14, AND LAST PLANTATION AT FAIRVUE MANSION, PHASE 2, TO INSTALL COMMUNITY IDENTIFICATION MARKERS, STREET TREES AND LANDSCAPING IN THE CITY OWNED RIGHT-OF-WAY, AT THREE (3) KEY ENTRY POINTS, ALONG NOAH LANE, CHLOE DRIVE AND BROWNS LANE.

OWNER: CITY OF GALLATIN

APPLICANT: FAIRVUE PLANTATION HOA, JAMES CORBETT

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS

STAFF CONTACT: DENISE KNIGHT/ KEVIN CHASTINE

PLANNING COMMISSION DATE: APRIL 28, 2014

PROPERTY OVERVIEW: Applicant requests approval of a minor Amendment to the Preliminary Master Development Plan (PMDP) and an amendment to the Final Master Development Plan revision (FMDP) for Fairvue Plantation, Phases 11 and 14, and Last Plantation at Fairvue Mansion, Phase 2, to install community identification markers, street trees and landscaping in the City owned right-of-way, at three (3) subdivision entry points, along Noah Lane, Chloe Drive and Browns Lane. The property is currently zoned Multiple Residential and Office (MRO). No portion of the property where the identification markers, street trees and landscaping will be planted is located within a special flood hazard area. (Attachment 2-1)

CASE BACKGROUND:

Previous Approvals

On June 6, 2000, City Council approved Ordinance No. 00103-015 for the annexation of William H. Wemyss, Jr. property, which included a portion of Brown's Lane right-of-way. On April 3, 2001, City Council approved Ordinance No. 00103-014 for the Plan of Service and Ordinance No. 00103-015 for the Annexation, of the remaining portion of Brown's Lane right-of-way. The acceptance of the public improvements was approved as part of the annexations.

On February 26, 2001, the Planning Commission approved a Final Master Development Plan for The Last Plantation at Fairvue Mansion, Phase 2, which included a golf course lot

along the east side of Brown's Lane (PC File #8-3-01). The Planning Commission approved the Final Plat (PC File #1-1-01C) at the same meeting. (Attachment 2-2)

On June 28, 2004, the Planning Commission approved a Final Master Development Plan for Fairvue Plantation, Phase 14 (PC File #8-24-04). On October 25, 2004, the Planning Commission approved the Final Plat (PC File #1-30-04C). (Attachment 2-3)

On March 28, 2005, the Planning Commission approved a Final Master Development Plan for Fairvue Plantation, Phase 11 (PC File #8-12-05). On May 23, 2005, the Planning Commission approved the Final Plat (PC File #1-11-05C). (Attachment 2-4) On April 19, 2011, City Council approved Resolution R1104-17 to accept public improvements for Fairvue Plantation, Phases 11 and 14. (Attachment 2-5)

On November 28, 2011, the Planning Commission approved a revision to the FMDP (PC9901-11) to install street trees along Plantation Boulevard. On December 6, 2011, City Council approved Resolution No. R1112-58 for the installation of trees in the right-of-way, according to the FMDP. (Attachment 2-6)

On April 9, 2012, the Planning Commission recommended approval of the PMDP (PC9957-12) for Green Farms, Phase 1. The PMDP included the proposal for a seven (7) foot tall neighborhood entry sign for the portion of the subdivision currently known as, "The Enclave", to be constructed in the right-of-way along Noah Lane. On May 15, 2012, City Council approved Ordinance No. O12Ø3-27 for the PMDP, including the construction of the sign in the right-of-way. (Attachment 2-7)

On December 10, 2012, the Planning Commission approved a revision to the FMDP (PC0058-12) to install street trees along Plantation Boulevard, from Jacobs Landing to the end of the median. On January 15, 2013, City Council approved Resolution No. R13Ø1-1 for the installation of trees in the right-of-way according to the FMDP. (Attachment 2-8)

DISCUSSION:

Typically street trees, landscaping and signs are approved as part of the Preliminary and Final Master Development Plans for a development when it is originally approved by the Planning Commission and City Council. The Preliminary and Final Master Development Plans for Fairvue Plantation, Phases 11 and 14 and The Last Plantation at Fairvue Mansion, Phase 2 did not originally show street trees, landscaping or signs being installed within the public right-of-way along Noah Lane, Chloe Drive and Browns Lane. Noah Lane, Chloe Drive and Browns Lane have already been accepted by the City of Gallatin. Therefore, in addition to amending the PMDP and revising the FMDP, the applicant is required to obtain approval of the City Council to install the trees, landscape and signs within the public right-of-way.

Summary of Proposed Community Identification Markers, Landscaping and Street Trees

Several community identification markers and street trees have been approved for installation in the right-of-way within the Fairvue Plantation development. The proposed

trees and landscaping included in this request are similar to previous approved plans and the identification markers will match existing entrance columns throughout the Fairvue Plantation community.

Location #1 - The applicant is proposing to install the following in the right-of-way along Noah Lane in Fairvue Plantation, Phase 11:

Community Identification Marker

- Two (2) – three (3) foot wide by seven (7) feet tall faux-stone columns with one (1) 24” x 24” bronze sign panel each; the maximum height of the columns will be eight (8) feet tall if the optional ornament is installed on the top; the columns will be located opposite of each other on both sides of Noah Lane, near the intersection of Potters Lane, adjacent to lots 507 and 508.

Street Trees

- Fourteen (14) - 3-inch caliper, 10'-12' tall trees; the type of tree will be selected by the Fairvue Plantation Homeowner's Association; current street trees used in Fairvue Plantation are "October Glory" Red Maple trees.
- The street trees will be placed along Noah Lane beginning south of Potter Lane and will extend to south of Plantation Boulevard.
- Street trees are to be installed in the grass strip between the sidewalk and the back of curb, approximately two (2) feet from back of curb. The exact location will be field adjusted to minimize utility and intersection sign conflicts.

Landscaping

- The proposed landscaping will include a mixture of seven (7) evergreen bushes, and 141 ornamental and ground cover plants as shown on sheet L2.1 on Attachment 2-1

Location #2 - The applicant is proposing to install the following in the right-of-way along Chloe Drive in Fairvue Plantation, Phase 14:

Community Identification Marker

- Two (2) – three (3) feet wide by seven (7) feet tall faux-stone columns with one (1) 24” x 24” bronze sign panel each; the maximum height of the columns will be eight (8) feet tall if the optional ornament is installed on the top; the columns will be located opposite of each other on both sides of Chloe Drive adjacent to lots 557 and 588.
- In addition to the identification markers, four (4) - three (3) feet wide by six (6) feet tall columns will be installed in the open space located along the northwest boundaries of lots 557 and 588.

Landscaping

- The proposed landscaping will include 75 evergreen bushes that will create a hedge between the columns, and a mixture of 101 ornamental and ground cover plants as shown on sheet L3.1 on Attachment 2-1

Location #3 - The applicant is proposing to install the following in the right-of-way on Browns Lane along the Golf Course Lot in The Last Plantation of Fairvue Mansion, Phase 2:

Community Identification Marker

- One (1) – three and one half (3.5) feet wide by seven (7) feet tall faux-stone column with one (1) 24” x 24” bronze sign panel; the maximum height of the column will be eight (8) feet tall if the optional ornament is installed on the top; the column will be located on the opposite side of the road from an existing identification marker on Browns Lane.

Landscaping

- The proposed landscaping will include a mixture of nine (9) evergreen bushes, and 294 ornamental and ground cover plants as shown on sheet L4.1 on Attachment 2-1

Future modifications of the landscaping on the east side of Browns Lane may be necessary to accommodate a sidewalk between the stone sign column and the right-of-way line. (Sheets L4.0 and L4.1)

The applicant has added a note to the revised FMDP that indicates that the Fairvue Plantation Homeowners Association (HOA) will assume full responsibility for the long term care and maintenance of the trees planted within the city owned right-of-way. The replacement of plant material lost through normal attrition, or any other cause, will be made at the expense of the HOA. The note also states that the trees will be pruned on an annual basis to insure that branches do not pose any problem to the flow of traffic on the roadway consistent with Chapter 15, Article I, Sec. 15-4.

An adequate Certificate of Liability Insurance and a Hold Harmless Agreement, for the protection of the general public and to hold the City harmless from any damages resulting from the placement of signs and landscaping in the right-of-way, are currently on file in the City Attorney’s office.

The applicant has provided a drawing of water, sanitary sewer and natural gas lines in the areas affected by the plan. Attachment 2-9

Planning Department Comments

The Planning Department reviewed and commented on the revised FMDP. Most of the comments have been satisfied; however the applicant shall be aware of the comments indicated below:

1. Correct “Golf” in Location #3 on Sheet L1.0
2. Correct “cause” in Note 5
3. Correct “the” and change to “Engineering Division” in Note 6

Gallatin Public Utilities Comments

The Gallatin Public Utilities reviewed and commented on the revised FMDP. Most of the comments have been satisfied; however the applicant shall be aware of the comment indicated below:

No signs shall interfere with the ability to maintain utilities.

Engineering Division

The Engineering Division reviewed and commented on the revised FMDP. All of the comments have been satisfied.

Other Departmental Comments

Other departments reviewed the plans but did not have any comments.

RECOMMENDATION:

Staff recommends that the Planning Commission consider the proposed amended PMDP and amended FMDP as a minor amendment and approve GMRPC Resolution 2014-29, an amendment to the PMDP and FMDP for Fairvue Plantation Final Master Development Plan revision consisting of an eight (8) sheet plan, prepared by Gamble Design Collaborative from Franklin, TN, dated April 14, 2014, with the following conditions of approval:

1. Correct "Golf" in Location #3 on Sheet L1.0
2. Correct "cause" in Note 5
3. Correct "the" and change to "Engineering Division" in Note 6
4. No signs shall interfere with the ability to maintain utilities
5. Submit three (3) corrected copies of the revised FMDP to the Planning Department

- ATTACHMENTS**
- 2-1 Fairvue Plantation Revised FMDP, Community Identification Marker, Street Trees, Landscaping
 - 2-2 Last Plantation at Fairvue Mansion, Phase 2, Final Plat (1-1-01C)
 - 2-3 Fairvue Plantation, Phase 14, Final Plat, (1-30-04C)
 - 2-4 Fairvue Plantation, Phase 11, Final Plat, (1-11-05C)
 - 2-5 Resolution R1104-17
 - 2-6 Resolution R1112-58
 - 2-7 Ordinance No. O1203-27
 - 2-8 Resolution R1301-1
 - 2-9 Drawing of Water, Sanitary Sewer, Natural Gas Lines

EXHIBIT A ATTACHMENT 2-2

Pamela L. Wagoner, Registrar
 Sumner County Tennessee
 Rec'd: 45.00 Instrument: 55138
 State: 45.00 N/A: 85 P. 172
 Clerk: 45.00 Recorded:
 Date: 7/13/2001 at 3:40 PM
 Total: 45.00 in Plat Book
 19 Ps 295

- NOTES:
1. THE PURPOSE OF THIS PLAT IS TO CREATE 46 SINGLE FAMILY LOTS.
 2. THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY CATEGORY D, WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN WOULD AS PER THE STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
 3. BEARINGS SHOWN ARE BASED ON THE TENNESSEE STATE PLANE GRID SYSTEM (NAD 83).
 4. NO PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FLOOD INSURANCE RATE MAP) COMMUNITY PANEL NO. 47085-0086, DATED AUGUST 3, 1984. THE 100-YEAR FLOOD ELEVATION IS 452.0.
 5. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR WAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 6. THE DECLARATION OF COVENANTS AND RESTRICTIONS FOR THE LAST PLANTATION AT FAIRVUE MANSION RECORDED IN BOOK 128, PAGE 246, R.O.S.C. TN.
 7. NO BUILDING PERMITS SHALL BE ISSUED FOR LOTS 125, 126, 127, 167, AND 168 UNLESS BROWN'S LANE RIGHT-OF-WAY HAS BEEN ANNEXED, ABANDONED, AND TITLE TRANSFERRED TO ADJACENT LANDOWNERS.
 8. PROPERTY LINE INFORMATION BASED ON A SURVEY BY G.E.D.S. INC., DATED 10-08-95 AND VERIFIED BY AMERICAN SURVEYING COMPANY, INC., AND BARGE, WAGGONER, SUMNER, AND CANNON.

CERTIFICATE OF APPROVAL OR BONDING OF ROADS

I HEREBY CERTIFY THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL REGIONAL SUBDIVISION REGULATIONS OR THAT THE SAFETY ROAD HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.
 DATE: 7-12-01
 SUPERVISOR OF PUBLIC WORKS: Jim Sobel, MOP



CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "THE LAST PLANTATION AT FAIRVUE MANSION PHASE TWO" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.
 DATE: 7-11-01
 SUPERINTENDENT OF PUBLIC UTILITIES: Carol H. Dyer, CITY OF GALLATIN

CERTIFICATE OF COMMON AREAS DEDICATION

PLANTATION PROPERTIES, INC. IN RECORDING THIS PLAT HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS IN THE LAST PLANTATION AT FAIRVUE MANSION FOR RECREATION AND RELATED ACTIVITIES. THESE DESIGNATED AREAS ARE NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN THE LAST PLANTATION AT FAIRVUE MANSION, AS MORE FULLY PROVIDED IN ARTICLE FOUR, DECLARATION OF COVENANTS AND RESTRICTIONS, APPLICABLE TO THE LAST PLANTATION AT FAIRVUE MANSION, DATED JUNE 14, 2000, OF RECORD IN BOOK 128, PAGE 246, R.O.S.C. TN. SAID ARTICLE FOUR IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAT.
 DATE: 07/11/01
 OWNER: PRESIDENT OF PLANTATION PROPERTIES, INC.: Margaret W. Cannon

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAT SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL - REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS IN THESE REGULATIONS. BARGE, WAGGONER, SUMNER, AND CANNON, INC.
 DATE: July 11, 2001
 REGISTERED LAND SURVEYOR NUMBER: 785

CERTIFICATE OF OWNERSHIP AND DEDICATION

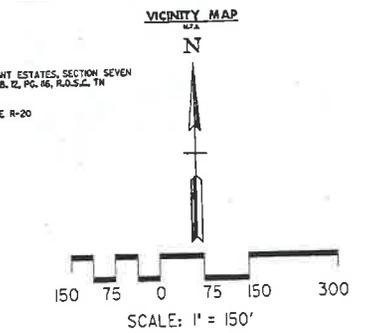
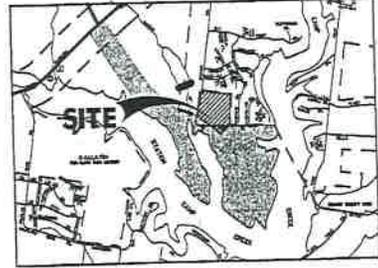
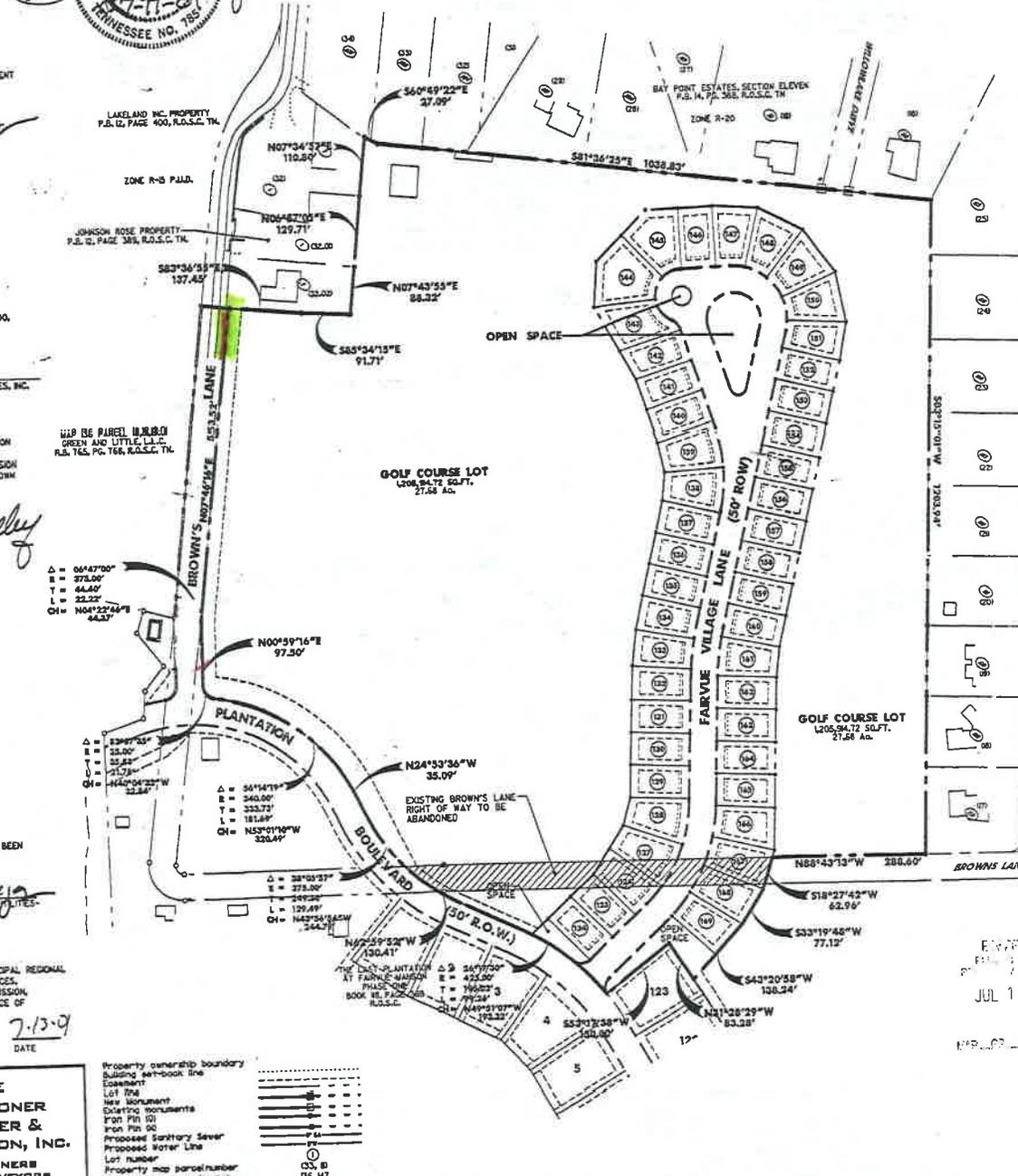
I HEREBY CERTIFY THAT I AM ONE OF THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS ENDED IN - SEE BELOW - AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY/OUR FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OR IRREVOCABLE DEDICATION FOR ALL PUBLIC UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL REGIONAL SUBDIVISION REGULATIONS.
 DATE: 07/11/01
 OWNER: BOOK 128 PAGE 246, R.O.S.C. TN.

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "THE LAST PLANTATION AT FAIRVUE MANSION PHASE TWO" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.
 DATE: 7-11-2001
 SUPERINTENDENT OF PUBLIC UTILITIES: Carol H. Dyer, CITY OF GALLATIN

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.
 DATE: 7-13-01
 SECRETARY, PLANNING COMMISSION: Thomas Kirkley
 CHAIRMAN'S INITIALS: MRR
 DATE: 7-13-01



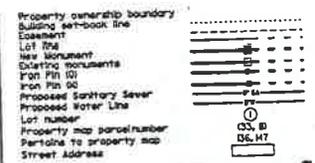
OWNER/DEVELOPER
 PLANTATION PROPERTIES, INC.
 1639 NASHVILLE PIKE
 GALLATIN, TN 37066
 CONTACT: JIM STINSON
 PHONE: (615) 451-0906

FINAL PLAT
PHASE 2
The Last
PLANTATION
 At Fairvue Mansion

RECORDED
 JUL 13 2001
 MAP 137 LOT 8 PAR 8

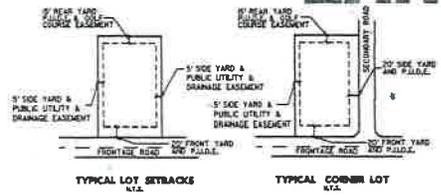
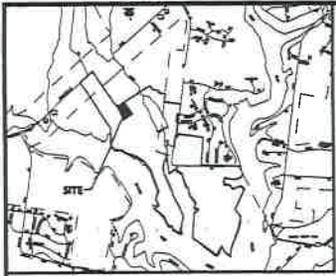
FOURTH CIVIL DISTRICT, SUMNER COUNTY,
GALLATIN, TENNESSEE
MAP 147 PARCEL 8
MAP 136 PARCEL 33
ZONED MRO
 SHEET 1 OF 3 DATE: JUNE 27, 2001

BWSC
BARGE WAGGONER SUMNER & CANNON, INC.
 ENGINEERS ARCHITECTS PLANNERS
 LANDSCAPE ARCHITECTS AND SURVEYORS
 21 Commerce Street, Suite 800 Nashville, Tennessee 37203
 PHONE: (615) 254-6000 FAX: (615) 255-4372



1 654 287 SQ. FT. OR 37.98 ACRES±

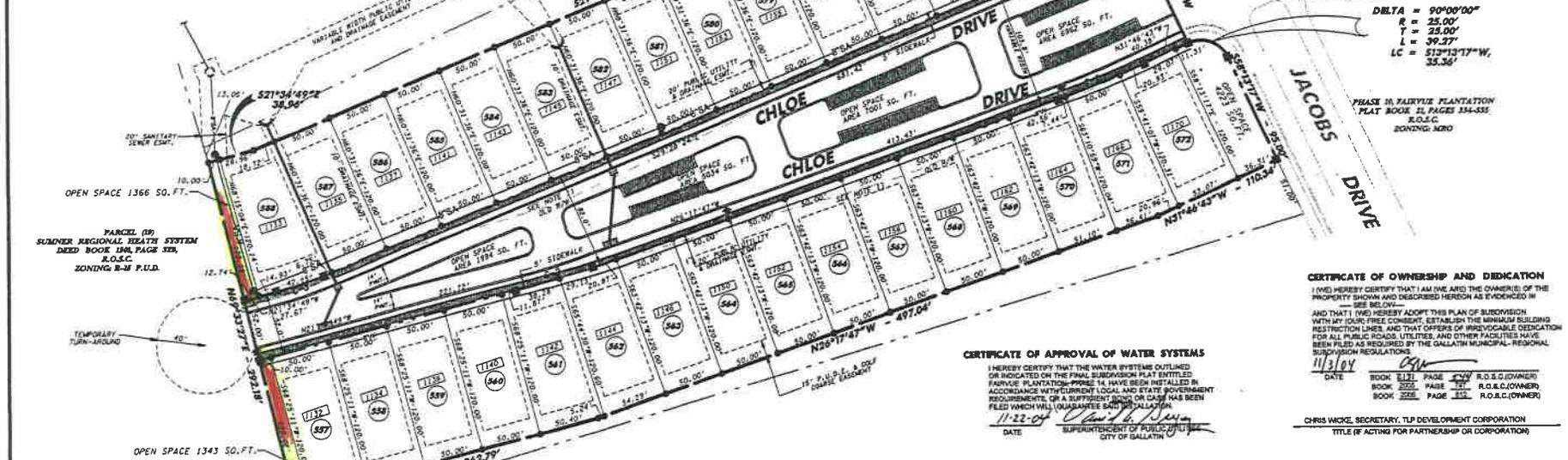
Location # 3 1-1-01C



CERTIFICATE OF APPROVAL FOR RECORDING
 I (WE) HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MATTER OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.
 DATE: 11-28-04
 SECRETARY: PLANNING COMMISSION: [Signature]

VICINITY MAP
LEGEND:
 Property ownership boundary
 Yard line Easement
 Lot line
 New Monument
 Existing monuments from Pl. 03
 Proposed Sanitary Sewer
 Proposed Water Line
 Left number
 Property and parcel number
 Reference to property map
 Street Address
 New Monument shown thus [Symbol] with 2' aluminum cap.

Parcel L. Whabaker, Register
 Sumner County Tennessee
 Rec'd: 15.00 Instrument #: 728315
 Class #: 0.00
 Date: 12/17/2004 at 9:00 am
 Total: 17.00 Plat Book 22 Page 76-75



LOT AREA TABLE

LOT NO.	FT.	ACRES
557	6000	0.14
558	6000	0.14
559	6000	0.14
560	6000	0.14
561	6350	0.15
562	6263	0.14
563	6000	0.14
564	6000	0.14
565	6000	0.14
566	6000	0.14
567	6000	0.14
568	6000	0.14
569	6000	0.14
570	6066	0.14
571	6469	0.15
572	6186	0.14
573	6154	0.14
574	6154	0.14
575	6000	0.14
576	6000	0.14
577	6000	0.14
578	6000	0.14
579	6000	0.14
580	6000	0.14
581	6000	0.14
582	6000	0.14
583	6000	0.14
584	6000	0.14
585	6000	0.14
586	6000	0.14
587	6000	0.14
588	6263	0.15

BWSC
 ENGINEERS ARCHITECTS PLANNERS LANDSCAPE ARCHITECTS SURVEYORS
 29 COMMERCE STREET - NASHVILLE, TENNESSEE 37203
 PHONE: (615) 254-1500 FAX: (615) 255-8572
 E-MAIL: NASHVILLE@BARBEWAGGONER.COM

BARBE WAGGONER SUMNER & CANNON, INC.

OWNER/DEVELOPER
TLP DEVELOPMENT CORPORATION
 150 MAPLE DRIVE NORTH
 HENDERSONVILLE, TN 37075
 CONTACT: CHRIS WICKE
 PHONE: (615) 264-1980



CERTIFICATE OF COMMON AREAS DEDICATION
 TLP DEVELOPMENT CORPORATION IN RECORDING THIS PLAT HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS AND RELATED ACTIVITIES. THE ABOVE DESCRIBED AREAS ARE NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN FAIRVIEW PLANTATION AS MORE FULLY PROVIDED IN ARTICLE FOUR DECLARATION OF COVENANTS AND RESTRICTIONS APPLICABLE TO THE LAST PLANTATION DATED JUNE 14, 2000, OF RECORD IN BOOK 1198, PAGE 216, R.O.S.C. AND ARTICLE FOUR IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAT. SEE NOTE 4 FOR RECORDING INFORMATION OF AMENDMENTS.

11/3/04 DATE
 CHRIS WICKE, SECRETARY, TLP DEVCO, LLC & TLP DEVELOPMENT CORPORATION

CERTIFICATE OF ACCURACY
 I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED, AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.
 BARBE WAGGONER, SUMNER, AND CANNON, INC.
 10-21-04 DATE
 William C. Cockrell REGISTERED LAND SURVEYOR NUMBER 1441

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED FAIRVIEW PLANTATION PHASE 14, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT BOND OR GUARANTEE HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.
 11-22-04 DATE
 Chris Wick, SUPERINTENDENT OF PUBLIC UTILITIES CITY OF GALLATIN

CERTIFICATE OF APPROVAL OR BONDING OF ROADS
 I HEREBY CERTIFY, (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS OR (2) THAT A PERFORMANCE BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.
 11/2/04 DATE
 Chris Wick, CITY ENGINEER

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED FAIRVIEW PLANTATION PHASE 14, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT BOND OR GUARANTEE HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.
 11-22-04 DATE
 Chris Wick, SUPERINTENDENT OF PUBLIC UTILITIES CITY OF GALLATIN

CURVE TABLE

NO.	DELTA	RADIUS	TANGENT	ARC	CHORD	CHORD BEG.
A1	05°28'56"	819.00	39.21	78.37	78.34	N 29°02'15" W
C1	04°42'16"	575.00	33.73	61.47	62.19	N 23°56'18" W
C2	07°53'15"	306.00	21.11	42.15	42.12	S 25°31'36" E
C4	02°18'20"	591.00	19.74	39.47	39.47	S 30°37'33" E

- NOTES:**
1. THE PURPOSE OF THIS PLAT IS TO CREATE 32 SINGLE FAMILY LOTS.
 2. THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY CATEGORY "1", WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER THE STANDARD OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS OF LAND SURVEYORS, STATE OF TENNESSEE.
 3. BEARINGS SHOWN ARE BASED ON THE TENNESSEE STATE PLANE ORD SYSTEM (MAD 83).
 4. THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ZONE X ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. AT-18-00-00, DATED NOVEMBER 21, 2003. THE 100-YEAR FLOOD ELEVATION IS 455.5.
 5. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
 6. THE PROPERTY IS SUBJECT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS FOR THE LAST PLANTATION RECORDED IN BOOK 1128, PAGE 216, R.O.S.C., FIRST AMENDMENT RECORDED IN BOOK 1301, PAGE 721, R.O.S.C., SECOND AMENDMENT RECORDED IN BOOK 1543, PAGE 857, R.O.S.C., THIRD AMENDMENT RECORDED IN BOOK 1833, PAGE 734, R.O.S.C., FOURTH AMENDMENT RECORDED IN BOOK 1879, PAGE 881, R.O.S.C., FIFTH AMENDMENT RECORDED IN BOOK 1988, PAGE 489, R.O.S.C., SIXTH AMENDMENT RECORDED IN BOOK 1942, PAGE 304, R.O.S.C., SEVENTH AMENDMENT RECORDED IN BOOK 2056, PAGE 302, R.O.S.C. AND EIGHTH AMENDMENT RECORDED IN BOOK 2098, PAGE 173, R.O.S.C.
 7. PRECISION LINE INFORMATION BASED ON A SURVEY BY ELSIE B. BATES, 1906-86 AND VERIFIED BY AMERICAN SURVEYING COMPANY, INC. AND BARBE WAGGONER, SUMNER, AND CANNON.
 8. ALL LOT LINES ARE PERPENDICULAR OR PARALLEL TO R.O.W. UNLESS OTHERWISE NOTED.
 9. ALL MEDIAN ARE TO BE OPEN SPACE AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 10. A PUBLIC PEDESTRIAN ACCESS EASEMENT OF TWO FEET (2') IN WIDTH ADJACENT TO ALL STREET RIGHT-OF-WAYS SHALL BE MADE A PART OF THIS RECORDING.
 11. LOT 400 AND A PORTION OF CHLOE DRIVE AS SHOWN ON THE FINAL RECORDED PLAT OF PHASE 14 OF FAIRVIEW PLANTATION TO BE VOIDED, VACATED AND SUPERSEDED BY THE RECORDING OF PHASE 14 FINAL PLAT.
 12. ON-STREET PARKING WILL BE MAINTAINED BY THE FAIRVIEW PLANTATION HOMEOWNERS ASSOCIATION.

DELTA = 90°00'00"
 R = 25.00'
 T = 25.00'
 L = 39.37'
 LC = 512°13'17"W, 33.36'

PHASE 14, FAIRVIEW PLANTATION
 PLAT BOOK 22, PAGES 76-75
 R.O.S.C.
 ZONING: MRO

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (WE) HEREBY CERTIFY THAT I (AM) AND THE OWNERS/IN THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN THE RECORDING INFORMATION SET FORTH HEREIN AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF PROROGABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.
 11/3/04 DATE
 Chris Wick, SECRETARY, TLP DEVELOPMENT CORPORATION TITLE (IF ACTING FOR PARTNERSHIP OR CORPORATION)

ENTERED
 11/3/04
 PROPERLY ATTESTED
 OFC OF CLERK



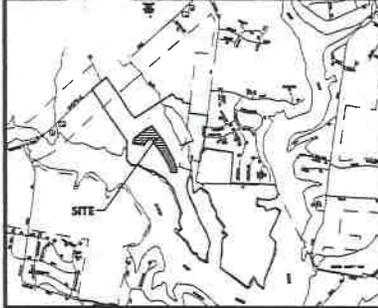
FOURTH CIVIL DISTRICT SUMNER COUNTY GALLATIN, TENNESSEE MAP 136 PO PARCELS 19 & 21 ZONED MRO
 DATE: SEPTEMBER 30, 2004
 REVISED: OCTOBER 26, 2004

TOTAL AREA=273,435 SQ. FT. OR 6.28 ACRES± (1.59 AC. IN R.O.W.)

Location #2

1-30-04C

EXHIBIT A ATTACHMENT 2-4



- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO CREATE 45 SINGLE FAMILY LOTS.
 2. THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER THE STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
 3. BEARINGS SHOWN ARE BASED ON THE TENNESSEE STATE PLANE GRID SYSTEM (NAD 83).
 4. THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FLOOD INSURANCE RATE MAP) COMMUNITY PANEL NO. 471006-0420, DATED NOVEMBER 21, 2002. THE 100-YEAR FLOOD ELEVATION IS 462.0.
 5. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS, THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
 6. THE PROPERTY IS SUBJECT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS FOR THE LAST PLANTATION RECORDED IN BOOK 1128, PAGE 218, R.O.S.C. FIRST AMENDMENT RECORDED IN BOOK 1301, PAGE 727, R.O.S.C. SECOND AMENDMENT RECORDED IN BOOK 1442, PAGE 897, R.O.S.C. THIRD AMENDMENT RECORDED IN BOOK 1433, PAGE 754, R.O.S.C. FOURTH AMENDMENT RECORDED IN BOOK 1078, PAGE 688, R.O.S.C. FIFTH AMENDMENT RECORDED IN BOOK 1066, PAGE 486, R.O.S.C. AND SIXTH AMENDMENT RECORDED IN BOOK 1042, PAGE 306, R.O.S.C.

CERTIFICATE OF COMMON AREAS DEDICATION

TLP DEVELOPMENT CORPORATION AND TLP DEVCO, LLC IN RECORDING THIS PLAN HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS IN FAIRVUE PLANTATION FOR RECREATION AND RELATED ACTIVITIES. THE ABOVE DESCRIBED AREAS ARE NOT DEDICATED HERETO FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN FAIRVUE PLANTATION AS MORE FULLY PROVIDED IN ARTICLE FOUR, DECLARATION OF COVENANTS AND RESTRICTIONS, FOR THE LAST PLANTATION, DATED JUNE 14, 2000, BY RECORD IN BOOK 1128, PAGE 218, R.O.S.C. SAID ARTICLE FOUR IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAN. SEE NOTE #1 FOR RECORDING INFORMATION OF AMENDMENTS.

9/15/05
DATE
CHRIS WICKE, SECRETARY, TLP DEVCO, LLC
TLP DEVELOPMENT CORPORATION

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED, AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.

BARGE, WAGGONER, SUMNER, AND CANNON, INC.
9-08-05
DATE
W. Blaine C. Cookbill
REGISTERED LAND SURVEYOR
NUMBER 1421

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAN ENTITLED FAIRVUE PLANTATION, PHASE 11, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

9-20-05
DATE
SUPERINTENDENT OF PUBLIC UTILITIES
CITY OF GALLATIN

CERTIFICATE OF APPROVAL FOR RECORDING

I (ME) HEREBY CERTIFY THAT THE SUBDIVISION PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

9/28/05
DATE
SECRETARY, PLANNING COMMISSION
CHAIRMAN'S INITIALS
DATE

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

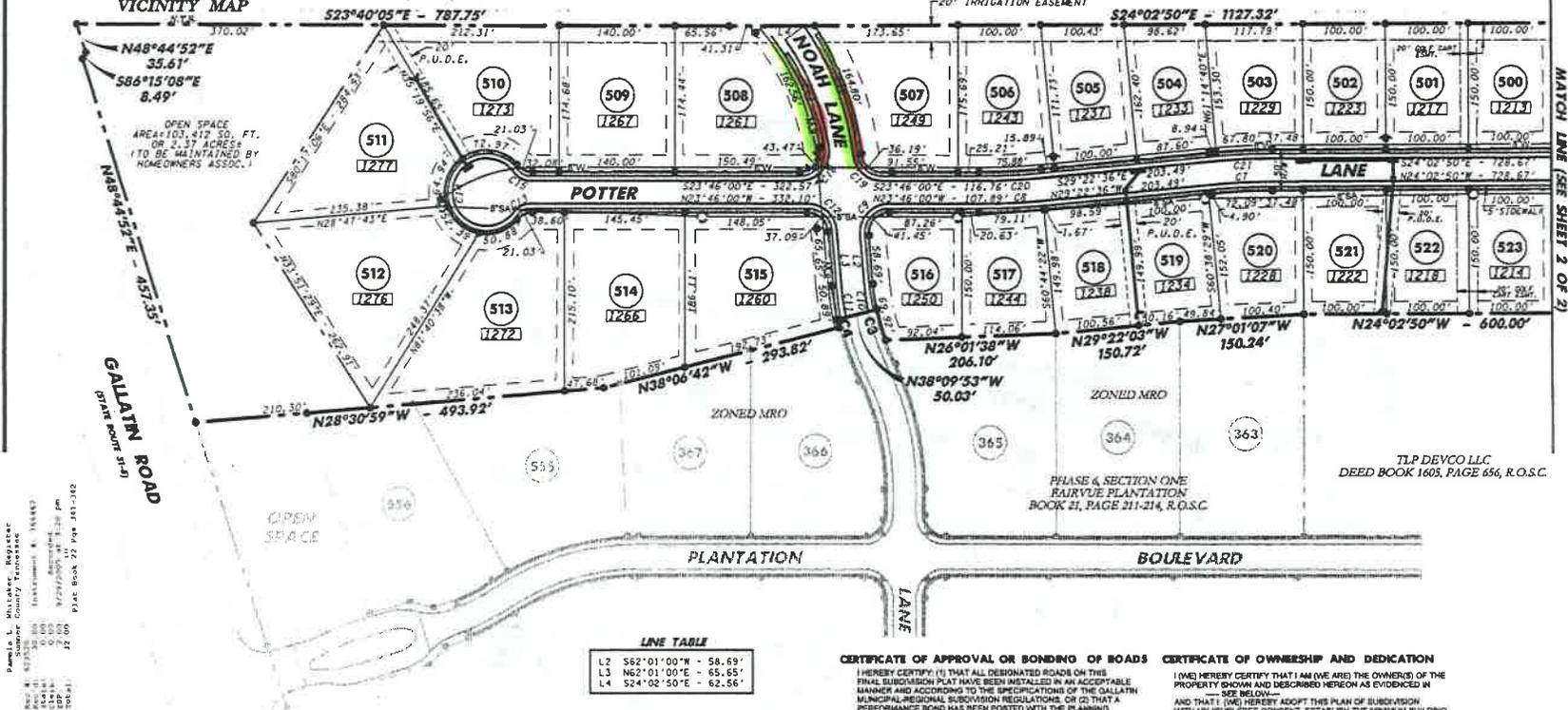
I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAN ENTITLED FAIRVUE PLANTATION, PHASE 11, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

9-20-05
DATE
SUPERINTENDENT OF PUBLIC UTILITIES
CITY OF GALLATIN

CERTIFICATE OF APPROVAL FOR RECORDING

I (ME) HEREBY CERTIFY THAT THE SUBDIVISION PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

9/28/05
DATE
SECRETARY, PLANNING COMMISSION
CHAIRMAN'S INITIALS
DATE



Camilla L. Miller, Registrar
Sumner County Tennessee
9/28/05
1:00 PM

LOT AREA TABLE

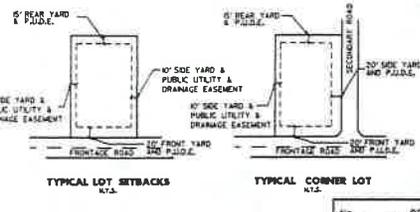
LOT	SQ. FT.	ACRES
500	15000	0.34
501	15000	0.34
502	15000	0.34
503	16805	0.39
504	15371	0.35
505	16707	0.38
506	18951	0.44
507	23614	0.54
508	26644	0.61
509	24438	0.56
510	36602	0.84
511	30010	0.69
512	33409	0.77
513	34613	0.80
514	29579	0.68
515	28850	0.66
516	16073	0.37
517	15321	0.35
518	15060	0.35
519	15048	0.35
520	16322	0.37
521	15000	0.34
522	15000	0.34
523	15000	0.34

AREA TABLE

OPEN SPACE AREA=117,108 SQ. FT. OR 2.69 ACRES
LOT AREA=815,233 SQ. FT. OR 18.73 ACRES
R.O.W. DEDICATION=140,206 SQ. FT. OR 3.23 ACRES
TOTAL AREA=1,072,547 SQ. FT. OR 24.67 ACRES

LINE TABLE

L2 S62°01'00"W - 58.83'
N62°01'00"E - 65.65'
L4 S24°02'50"E - 62.56'



CERTIFICATE OF APPROVAL OR BONDING OF ROADS

I HEREBY CERTIFY THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAN HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL REGIONAL SUBDIVISION REGULATIONS, OR (2) THAT A PERFORMANCE BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

9/29/05
DATE
Rena Cole
CITY ENGINEER

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAN ENTITLED FAIRVUE PLANTATION, PHASE 11, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

9/28/05
DATE
SUPERINTENDENT OF PUBLIC UTILITIES
CITY OF GALLATIN

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (ME) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN THE FOLLOWING:

SEE BELOW--
AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMAL BUILDING RESTRICTIONS LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL REGIONAL SUBDIVISION REGULATIONS.

9/15/05
DATE
CSW

BOOK 1830, PAGE 238, R.O.S.C. (OWNER)
BOOK 2088, PAGE 28, R.O.S.C. (OWNER)
BOOK 2131, PAGE 338, R.O.S.C. (OWNER)
BOOK 1830, PAGE 238, R.O.S.C. (OWNER)

CHRIS WICKE, SECRETARY, TLP DEVELOPMENT CORPORATION AND TLP DEVCO, LLC
TITLE (IF ACTING FOR PARTNERSHIP OR CORPORATION)

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (ME) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN THE FOLLOWING:

SEE BELOW--
AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMAL BUILDING RESTRICTIONS LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL REGIONAL SUBDIVISION REGULATIONS.

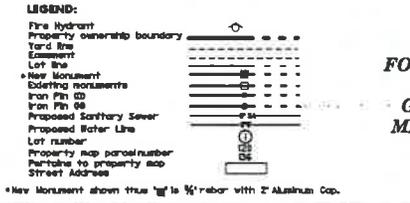
9/15/05
DATE
CSW

BOOK 1830, PAGE 238, R.O.S.C. (OWNER)
BOOK 2088, PAGE 28, R.O.S.C. (OWNER)
BOOK 2131, PAGE 338, R.O.S.C. (OWNER)
BOOK 1830, PAGE 238, R.O.S.C. (OWNER)

CHRIS WICKE, SECRETARY, TLP DEVELOPMENT CORPORATION AND TLP DEVCO, LLC
TITLE (IF ACTING FOR PARTNERSHIP OR CORPORATION)

CURVE TABLE

NO.	DELTA	RADIUS	TANGENT	ARC	CHORD	CHORD BEG.	CHORD END.
C1	01°37'59"	290.00	19.78	34.69	34.69	N 89°59'18"E	E 32°42'43"W
C2	01°37'59"	340.00	41.75	9.69	9.69	S 80°42'17"W	N 26°42'43"W
C3	05°19'46"	776.00	66.07	72.09	72.09	N 78°34'18"E	N 26°42'43"W
C4	05°16'49"	821.00	40.42	80.78	80.78	N 71°04'29"E	N 26°42'43"W
C5	95°00'09"	25.00	27.28	41.45	36.86	N 77°16'04"W	N 26°42'43"W
C6	06°05'58"	340.00	15.85	63.71	31.80	S 86°55'35"E	N 26°42'43"W
C7	04°29'34"	25.00	22.91	37.09	33.78	N 18°45'39"E	N 26°42'43"W
C8	42°15'12"	25.00	11.18	31.09	20.41	N 12°46'55"W	N 26°42'43"W
C9	276°22'51"	50.00	241.19				
C10	48°11'30"	25.00	11.18	21.03	20.41	S 66°14'01"W	N 26°42'43"W
C11	99°37'49"	25.00	29.60	43.47	38.20	S 23°34'53"E	N 26°42'43"W
C12	31°26'50"	300.00	60.32	162.59	162.59	N 71°04'29"E	N 26°42'43"W
C13	26°58'41"	350.00	63.96	164.80	163.28	S 45°41'39"E	N 26°42'43"W
C14	82°57'12"	25.00	10.10	36.19	33.12	S 7°42'38"E	N 26°42'43"W
C15	05°36'36"	175.00	37.97	75.88	75.85	S 26°34'18"E	N 26°42'43"W
C16	05°19'46"	825.00	38.40	76.74	76.71	S 26°42'43"E	N 26°42'43"W



BWSC

BARGE WAGGONER SUMNER & CANNON, INC.

21 COMMERCE STREET, NASHVILLE, TENNESSEE 37201
PHONE: (615) 254-1500 FAX: (615) 255-6572
E-MAIL: NASHVILLE@BARGEWAGGONER.COM

ENGINEERS ARCHITECTS INTERIORS LANDSCAPE ARCHITECTS SURVEYORS

OWNER/DEVELOPER

TLP DEVELOPMENT CORPORATION
130 MAPLE DRIVE NORTH
HENDERSVILLE, TN 37075
CONTACT: CHRIS WICKE
PHONE: (615) 264-1900

FINAL PLAT
PHASE 11

FAIRVUE
plantation

FOURTH CIVIL DISTRICT
SUMNER COUNTY
GALLATIN, TENNESSEE
MAP 136 PO PARCEL 21
ZONED MRO
DATE: MAY 5, 2005
REV: SEPTEMBER 08, 2005
SHEET 1 OF 2

Location #1 1-11-05C

EXHIBIT A

ATTACHMENT 2-5

RESOLUTION NO. R1104-17

RESOLUTION ACCEPTING PUBLIC IMPROVEMENTS BY
THE CITY OF GALLATIN, TENNESSEE
THE LAST PLANTATION AT FAIRVUE MANSION, PHASE 2; PHASE 3, SECTION
1; PHASE 3, SECTION 2; PHASE 4; AND PHASE 5; AND FAIRVUE PLANTATION,
PHASE 6, SECTION 1; PHASE 6, SECTION 2; PHASE 10; PHASE 11; AND PHASE 14

WHEREAS, THE CITY OF GALLATIN PLANNING COMMISSION has recommended acceptance by the City of Gallatin of the public improvements in the development hereinafter named The Last Plantation at Fairvue Mansion, Phase 2, Phase 4, and Phase 5;

WHEREAS, THE CITY OF GALLATIN PLANNING COMMISSION has recommended acceptance by the City of Gallatin of the public improvements excluding sidewalks in the development hereinafter named The Last Plantation at Fairvue Mansion, Phase 3, Section 1; Phase 3, Section 2; and Fairvue Plantation, Phase 6, Section 2; Phase 10; Phase 11; and Phase 14;

WHEREAS, THE CITY OF GALLATIN PLANNING COMMISSION has recommended acceptance by the City of Gallatin of the public improvements excluding sidewalks and Noah Lane in the development hereinafter named Fairvue Plantation, Phase 6, Section 1;

WHEREAS, THE CITY OF GALLATIN ENGINEERING DIVISION hereby certifies that the transportation, rights-of-way and public easements described above have been satisfactorily completed and have been installed in accordance with the approved plans and specifications and that there has been full compliance with the City of Gallatin Subdivision Regulations;

WHEREAS, THE CITY OF GALLATIN PUBLIC UTILITIES DEPARTMENT hereby certifies that the public sanitary sewer and public water improvements in the development described hereafter have been satisfactorily completed and have been installed in accordance with the approved plans and specifications and that there has been full compliance with the City of Gallatin Subdivision Regulations and City of Gallatin Municipal Code.

NOW THEREFORE BE IT RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, pursuant to Chapter 3, Section 3-105, et seq. of the Subdivision Regulations of Gallatin, Tennessee, that the following described transportation, rights-of way and public easements are hereby accepted by the City of Gallatin, Tennessee.

The Last Plantation at Fairvue Mansion, Phase 2, Plat Book 19, Pages 295-297, Recorded July 13, 2001, in the Register's Office for Sumner County

The Last Plantation at Fairvue Mansion, Phase 3, Section 1, Plat Book 20, Pages 278, Recorded August 21, 2002, in the Register's Office for Sumner County

The Last Plantation at Fairvue Mansion, Phase 3, Section 2, Plat Book 20, Pages 346-348, Recorded December 31, 2002, in the Register's Office for Sumner County

The Last Plantation at Fairvue Mansion, Phase 4, Plat Book 20, Pages 56-58, Recorded November 29, 2001, in the Register's Office for Sumner County

The Last Plantation at Fairvue Mansion, Phase 5, Plat Book 20, Pages 55, Recorded November 29, 2001, in the Register's Office for Sumner County

Fairvue Plantation, Phase 6, Section 1, Plat Book 21, Pages 211-214, Recorded January 27, 2004, in the Register's Office for Sumner County

Fairvue Plantation, Phase 6, Section 2, Plat Book 21, Pages 396, Recorded September 3, 2004, in the Register's Office for Sumner County

Fairvue Plantation, Phase 10, Plat Book 21, Pages 334-335, Recorded July 13, 2004, in the Register's Office for Sumner County

Fairvue Plantation, Phase 11, Plat Book 22, Pages 341-342, Recorded September 29, 2005, in the Register's Office for Sumner County

Fairvue Plantation, Phase 14, Plat Book 22, Pages 76, Recorded December 1, 2004, in the Register's Office for Sumner County

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, pursuant to Chapter 3, Section 3-105, et seq. of the Subdivision Regulations of Gallatin, Tennessee, that the following described streets are hereby accepted by the City of Gallatin, Tennessee:

Fairvue Village Lane – approximately ± 2,053 feet improved described in The Last Plantation at Fairvue Mansion, Phase 2, Plat Book 19, Pages 295-297, Recorded July 13, 2001, in the Register's Office for Sumner County, Tennessee.

Plantation Way – approximately ± 530 feet improved described in The Last Plantation at Fairvue Mansion, Phase 3, Section 1, Plat Book 20, Pages 278, Recorded August 21, 2002, in the Register's Office for Sumner County, Tennessee.

John Armfield Court – approximately ± 460 feet improved described in The Last Plantation at Fairvue Mansion, Phase 3, Section 1, Plat Book 20, Pages 278, Recorded August 21, 2002, in the Register's Office for Sumner County, Tennessee.

Plantation Way – approximately ± 2,575 feet improved described in The Last Plantation at Fairvue Mansion, Phase 3, Section 2, Plat Book 20, Pages 346-348, Recorded December 31, 2002, in the Register's Office for Sumner County.

Sir Francis Court – approximately ± 520 feet improved described in The Last Plantation at Fairvue Mansion, Phase 3, Section 2, Plat Book 20, Pages 346-348, Recorded December 31, 2002, in the Register's Office for Sumner County.

Pickwick Court – approximately ± 200 feet improved described in The Last Plantation at Fairvue Mansion, Phase 3, Section 2, Plat Book 20, Pages 346-348, Recorded December 31, 2002, in the Register's Office for Sumner County.

Thora Court – approximately ± 140 feet improved described in The Last Plantation at Fairvue Mansion, Phase 3, Section 2, Plat Book 20, Pages 346-348, Recorded December 31, 2002, in the Register's Office for Sumner County.

Livingfield Court – approximately ± 300 feet improved described in The Last Plantation at Fairvue Mansion, Phase 3, Section 2, Plat Book 20, Pages 346-348, Recorded December 31, 2002, in the Register's Office for Sumner County.

Yorkville Belle Court – approximately ± 210 feet improved described in The Last Plantation at Fairvue Mansion, Phase 3, Section 2, Plat Book 20, Pages 346-348, Recorded December 31, 2002, in the Register's Office for Sumner County.

Rossifer Court – approximately ± 270 feet improved described in The Last Plantation at Fairvue Mansion, Phase 3, Section 2, Plat Book 20, Pages 346-348, Recorded December 31, 2002, in the Register's Office for Sumner County.

Isaac Franklin Drive – approximately ± 2,100 feet improved described in The Last Plantation at Fairvue Mansion, Phase 4, Plat Book 20, Pages 56-58, Recorded November 29, 2001, in the Register's Office for Sumner County.

Isaac Franklin Drive – approximately ± 1,100 feet improved described in The Last Plantation at Fairvue Mansion, Phase 5, Plat Book 20, Pages 55, Recorded November 29, 2001, in the Register's Office for Sumner County.

Plantation Boulevard – approximately ± 6,000 feet improved described in Fairvue Plantation, Phase 6, Section 1, Plat Book 21, Pages 211-214, Recorded January 27, 2004, in the Register's Office for Sumner County.

Jacobs Drive – approximately ± 450 feet improved described in Fairvue Plantation, Phase 6, Section 1, Plat Book 21, Pages 211-214, Recorded January 27, 2004, in the Register's Office for Sumner County.

Rozella Way – approximately ± 1,476 feet improved described in Fairvue Plantation, Phase 6, Section 2, Plat Book 21, Pages 396, Recorded September 3, 2004, in the Register's Office for Sumner County.

Jacobs Drive – approximately ± 800 feet improved described in Fairvue Plantation, Phase 10, Plat Book 21, Pages 334-335, Recorded July 13, 2004, in the Register's Office for Sumner County.

Chloe Drive – approximately ± 3,000 feet improved described in Fairvue Plantation, Phase 10, Plat Book 21, Pages 334-335, Recorded July 13, 2004, in the Register's Office for Sumner County.

Potter Lane – approximately ± 2,400 feet improved described in Fairvue Plantation, Phase 11, Plat Book 22, Pages 341-342, Recorded September 29, 2005, in the Register's Office for Sumner County.

Noah Lane – approximately ± 365 feet improved described in Fairvue Plantation, Phase 11, Plat Book 22, Pages 341-342, Recorded September 29, 2005, in the Register's Office for Sumner County.

Chloe Drive – approximately ± 800 feet improved described in Fairvue Plantation, Phase 14, Plat Book 22, Pages 76, Recorded December 1, 2004, in the Register's Office for Sumner County.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, that this Resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING:

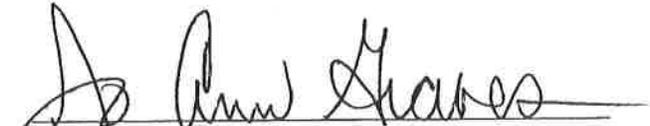
AYE: 7

NAY: 0

DATED: April 19, 2011.

ATTEST:


CONNIE KITTRELL
CITY RECORDER


MAYOR JO ANN GRAVES

APPROVED AS TO FORM:


JOE H. THOMPSON
CITY ATTORNEY

EXHIBIT A

ATTACHMENT 2-6

RESOLUTION NO. R1112-58

RESOLUTION APPROVING THE USE OF CITY-OWNED RIGHT-OF-WAY LOCATED ALONG PLANTATION BOULEVARD FOR THE INSTALLATION OF STREET TREES FOR THE FAIRVUE PLANTATION HOMEOWNERS ASSOCIATION

WHEREAS, the Fairvue Plantation Homeowners Association seeks approval from the Gallatin City Council in order to install street trees in City-owned right-of-way located along Plantation Boulevard from Nashville Pike to the intersection of Plantation Boulevard and Jacobs Landing;

WHEREAS, the Gallatin Municipal-Regional Planning Commission has reviewed and approved the Revised Final Master Development Plan at its November 28, 2011 meeting;

NOW THEREFORE BE IT RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, that the Gallatin City Council approves the use of City-owned right-of-way located along Plantation Boulevard for the installation of street trees by the Fairvue Plantation Homeowners Association. Said trees shall be maintained by the Fairvue Homeowners Association and all other city ordinances, rules and regulations shall be followed with respect to the installation and maintenance of the trees.

BE IT FURTHER RESOLVED, that this resolution shall take effect upon passage, the public welfare requiring it.

IT IS SO ORDERED.

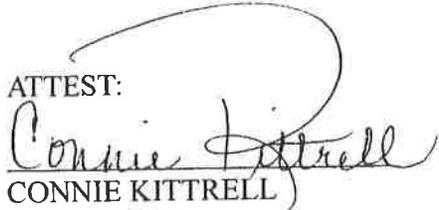
AYE: 6

NAY: 1

DATE: December 6, 2011.


MAYOR JO ANN GRAVES

ATTEST:


CONNIE KITTRELL
CITY RECORDER

APPROVED AS TO FORM:

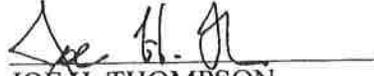

JOE H. THOMPSON
CITY ATTORNEY

EXHIBIT A

ATTACHMENT 2-7

1

ORDINANCE NO. 01203-27

ORDINANCE AMENDING ZONING ORDINANCE OF THE CITY OF GALLATIN, TENNESSEE BY APPROVING NEW PRELIMINARY MASTER DEVELOPMENT PLAN FOR PROPERTY ZONED MULTIPLE RESIDENTIAL AND OFFICE (MRO) ZONE DISTRICT, GREEN FARMS, PHASE 1, – GREEN FARMS I LP, OWNER(S) – 15.20 (+/-) ACRES – S.B.E. TAX MAP #136//PARCEL 030.00 – PROPERTY LOCATED ON THE SOUTH SIDE OF NOAH LANE, WEST OF PLANTATION BOULEVARD AND NORTH OF KELVINGTON BOULEVARD.

WHEREAS, the Gallatin Municipal-Regional Planning Commission, pursuant to Section 15.07.040 of the Gallatin Zoning Ordinance has reviewed and recommended approval of this amendment in GMRPC Resolution No. 2012-24, attached hereto as Exhibit A; and

WHEREAS, notice and public hearing before the Gallatin City Council has or will occur before final passage of this amendment pursuant to Section 15.07.060 of the Gallatin Zoning Ordinance.

NOW THEREFORE BE IT ORDAINED BY THE CITY OF GALLATIN, TENNESSEE as follows:

1. The Gallatin City Council hereby concurs with the recommendations of the Gallatin Municipal-Regional Planning Commission as described in Exhibit A and imposes those recommendations as conditions to this rezoning; and
2. That based upon recommendation of approval by the Gallatin Municipal-Regional Planning Commission, public notice, and after public hearing in compliance with Section 15.07.060 of the Gallatin Zoning Ordinance, the zone of real property defined and described in Exhibit B, Preliminary Master Development Plan for Green Farms, Phase 1, attached hereto, shall be amended and the Preliminary Master Development Plan for Green Farms is hereby approved.
3. In accordance with Section 15.07.080 of the Gallatin Zoning Ordinance, the official zoning map of the City of Gallatin, Tennessee, shall, upon the effective date of this ordinance, be amended to reflect the zoning changes herein made.

BE IT FURTHER ORDAINED BY THE CITY OF GALLATIN, TENNESSEE, that this Ordinance shall take effect upon final passage, the public welfare requiring such.

PASSED FIRST READING: April 17, 2012.

PASSED SECOND READING: May 15, 2012.

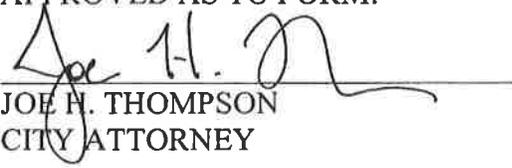

MAYOR JO ANN GRAVES

ATTEST:



CONNIE KITTRELL
CITY RECORDER

APPROVED AS TO FORM:



JOE H. THOMPSON
CITY ATTORNEY

RESOLUTION NO. R1301-1

RESOLUTION APPROVING THE USE OF CITY-OWNED RIGHT-OF-WAY LOCATED ALONG JACOBS LANDING AND PLANTATION BOULEVARD FOR THE INSTALLATION OF STREET TREES FOR THE FAIRVUE PLANTATION HOMEOWNERS ASSOCIATION

WHEREAS, the Fairvue Plantation Homeowners Association seeks approval from the Gallatin City Council in order to install street trees in City-owned right-of-way located along Jacobs Landing near the intersection of Plantation Boulevard and along Plantation Boulevard from the intersection of Plantation Boulevard and Jacobs Landing to the end of the existing median;

WHEREAS, the Gallatin Municipal-Regional Planning Commission has reviewed and approved the Revised Final Master Development Plan at its December 10, 2012 meeting;

NOW THEREFORE BE IT RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, that the Gallatin City Council approves the use of City-owned right-of-way located along Plantation Boulevard and Jacobs Landing for the installation of street trees by the Fairvue Plantation Homeowners Association. Said trees shall be maintained by the Fairvue Homeowners Association and all other city ordinances, rules and regulations shall be followed with respect to the installation and maintenance of the trees.

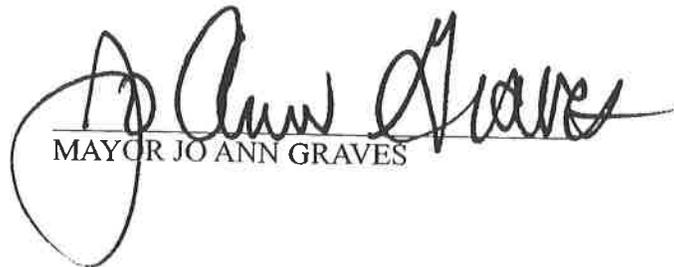
BE IT FURTHER RESOLVED, that this resolution shall take effect upon passage, the public welfare requiring it.

IT IS SO ORDERED.

AYE: 7

NAY: 0

DATE: January 15, 2013.

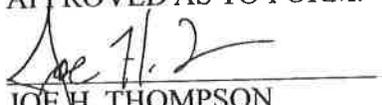

MAYOR JO ANN GRAVES

ATTEST:



CONNIE KITTRELL
CITY RECORDER

APPROVED AS TO FORM:



JOE H. THOMPSON
CITY ATTORNEY

EXHIBIT A ATTACHMENT 2-9



Legend

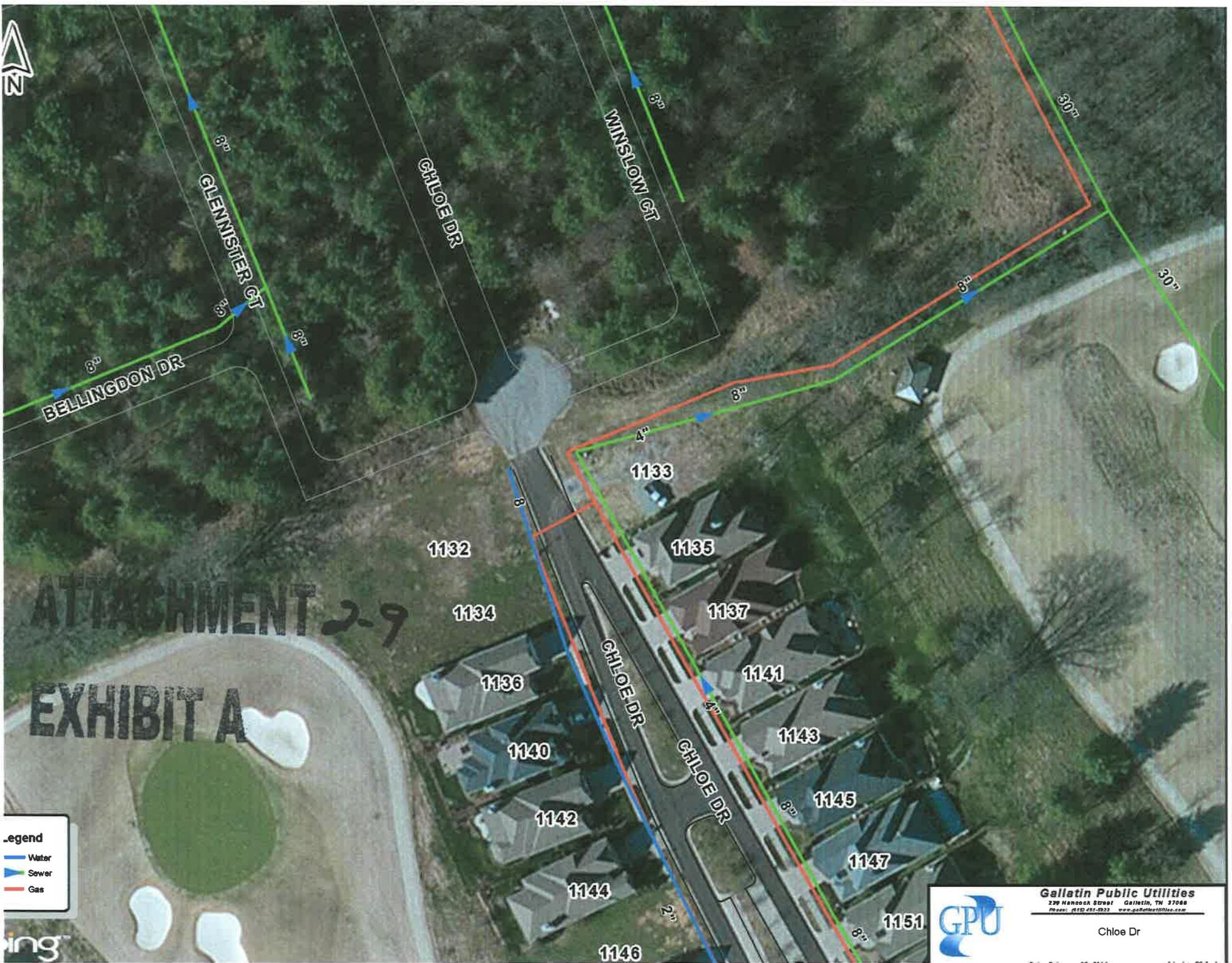
- Water
- Sewer
- Gas



Gallatin Public Utilities
239 Hancock Street Gallatin, TN 37068
Phone: (615) 451-0322 www.gallatintilities.com

GPU
Plan 2016-14

Noah Ln to Potter Ln
June 26, 2014
1 inch = 100 feet



ATTACHMENT 2-9
EXHIBIT A

- Legend
- Water
 - Sewer
 - Gas

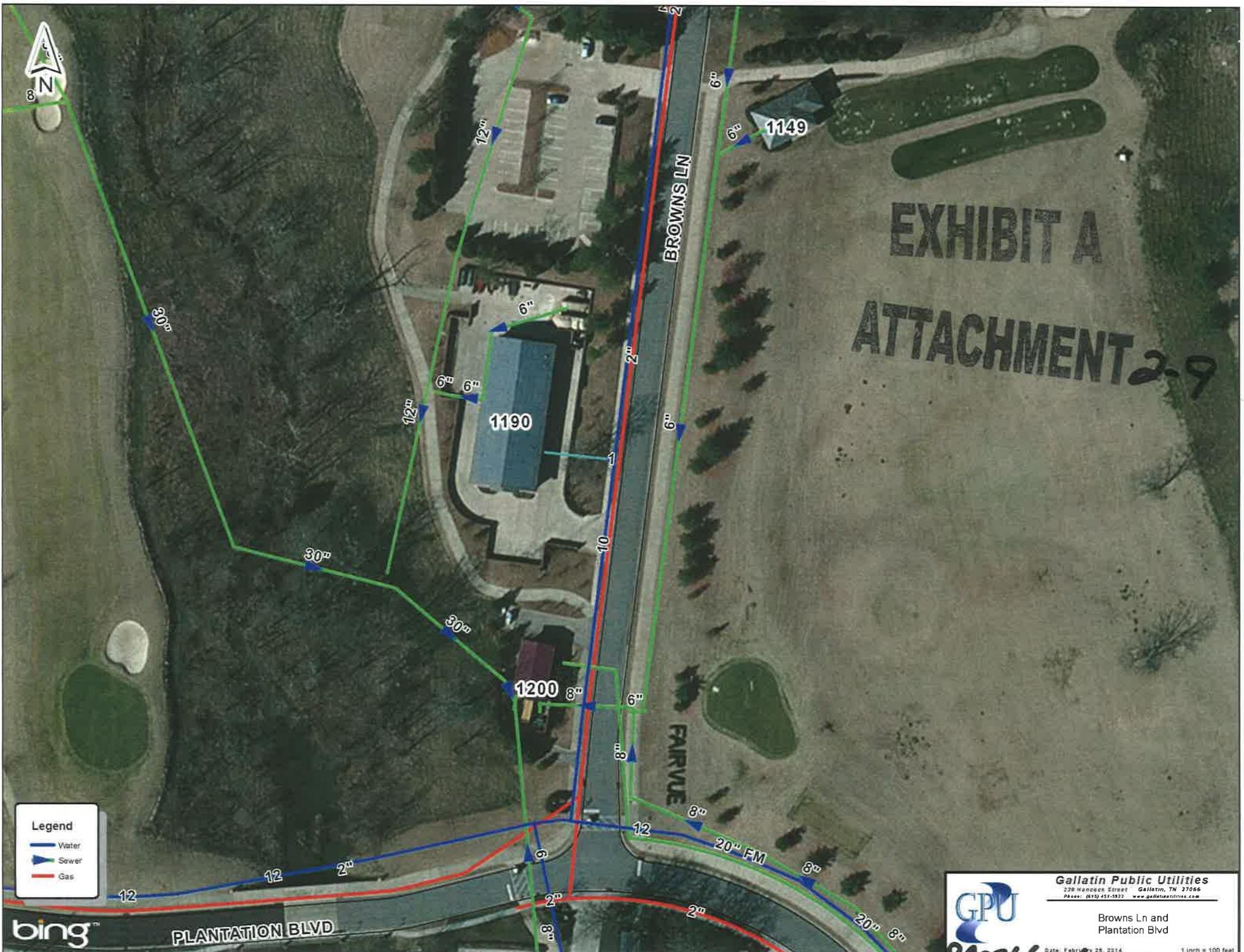
GPU
 Gallatin Public Utilities
 239 Hancock Street Gallatin, TN 37066
 Phone: (615) 481-9222 www.gallatinutilities.com

Chloe Dr

PC0266-14



EXHIBIT A ATTACHMENT 2-9



Legend

- Water (Blue line)
- Sewer (Green line)
- Gas (Red line)

bing™

PLANTATION BLVD

BROWNS LN

FAIRVUE

20" FM

GPU
 Gallatin Public Utilities
 220 Hancock Street Gallatin, TN 37066
 Phone: (615) 451-3832 www.gallatintilities.com

Browns Ln and
 Plantation Blvd

PL0266-14 Date: February 25, 2014 1 inch = 100 feet

SITE DATA TABLE:

Applicant:
 Fairvue Plantation H.O.A.
 James Corbett
 1167 Chloe Drive
 Gallatin, TN 37066
 615.230.0386

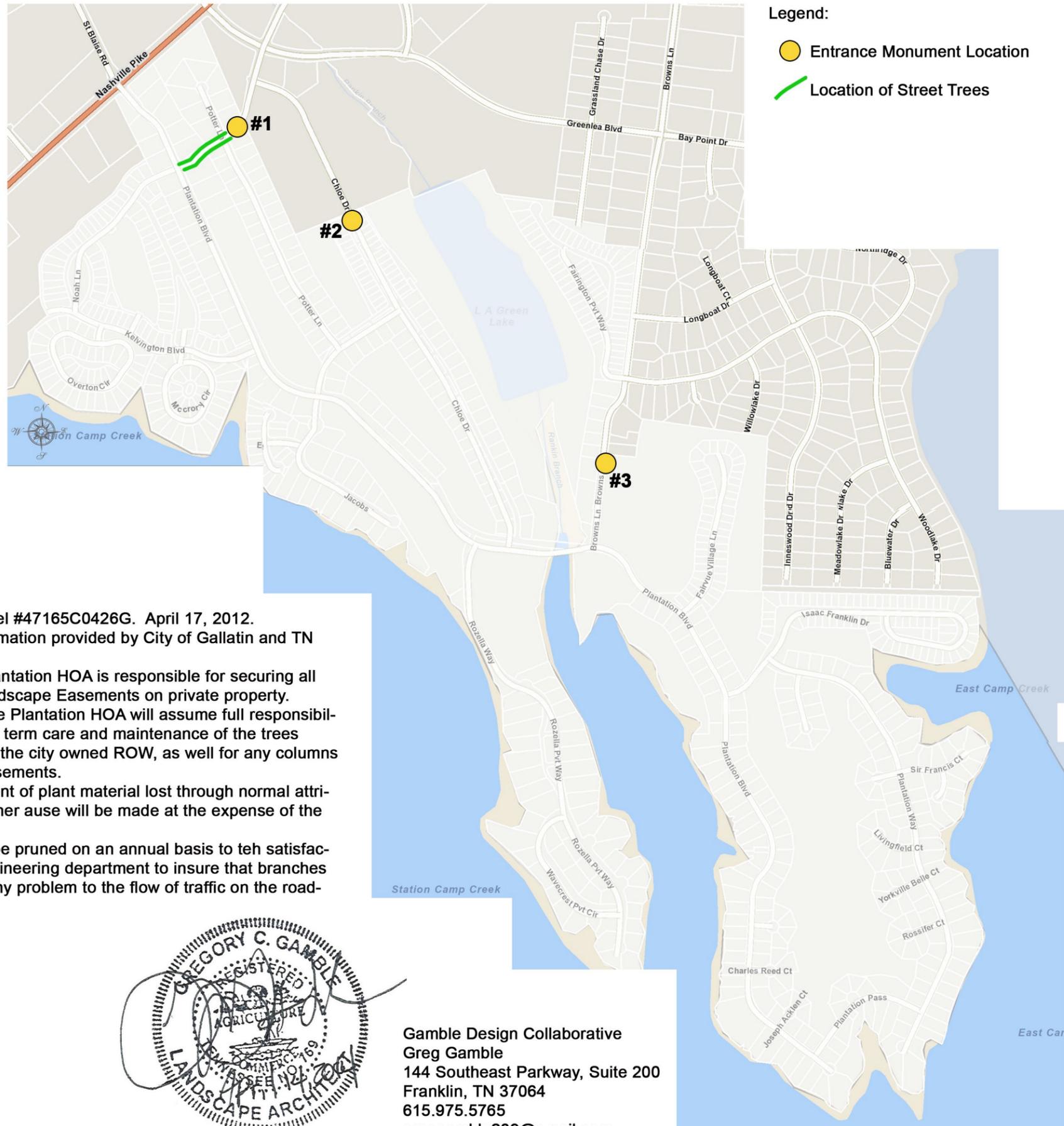
**Attachment 2-1
 Exhibit A**

Property Addresses/Owner Information:

Location #1
Entrance Feature and Street Trees/Landscaping on Noah Lane
 Fairvue Plantation, Phase 11
 Property: ROW adjacent to 1249 Potter Lane, Lot 507,
 ROW adjacent to 1261 Potter Lane, Lot 508

Location #2
Entrance Feature and Landscaping on Chloe Drive
 Fairvue Plantation, Phase 14
 Property: Open Space adjacent to 1132 Chloe Drive, Lot 557 and
 1133 Chloe Drive, Lot 588

Location #3
Entrance Feature and Landscaping on Browns Lane
 The Last Plantation at Fairvue Mansion, Phase 2
 Property: ROW adjacent to the Fairvue Plantation Gold Course Property.



This example of similar column and landscape previously approved in the ROW is typical of our request.

NOTES:

1. FEMA Panel #47165C0426G. April 17, 2012.
2. Utility information provided by City of Gallatin and TN One Call.
3. Fairvue Plantation HOA is responsible for securing all additional Landscape Easements on private property.
4. The Fairvue Plantation HOA will assume full responsibility for the long term care and maintenance of the trees planted within the city owned ROW, as well for any columns in ROW or easements.
5. Replacement of plant material lost through normal attrition, or any other cause will be made at the expense of the HOA.
6. Trees will be pruned on an annual basis to the satisfaction of the engineering department to insure that branches do not pose any problem to the flow of traffic on the roadway.



Gamble Design Collaborative
 Greg Gamble
 144 Southeast Parkway, Suite 200
 Franklin, TN 37064
 615.975.5765
 greggamble209@gmail.com

Legend:

- Entrance Monument Location
- Location of Street Trees

Revisions:
 1. April 14, 2014

Drawing Notes:



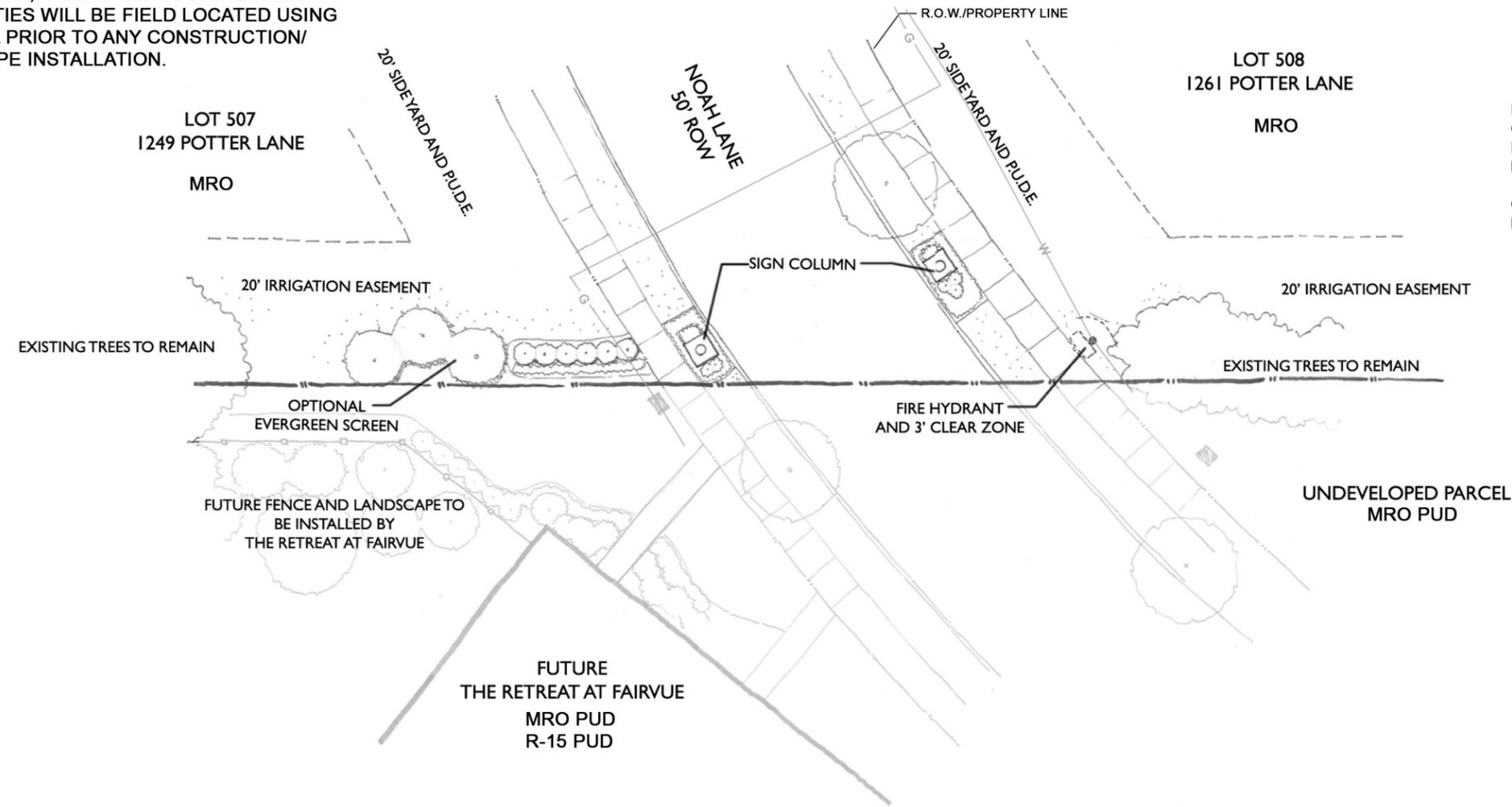
**Fairvue Plantation
 Final Master Development Plan Revision**

GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 200
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
 greggamble209@gmail.com
 615.975.5765

**Cover &
 Location Map**

L1.0

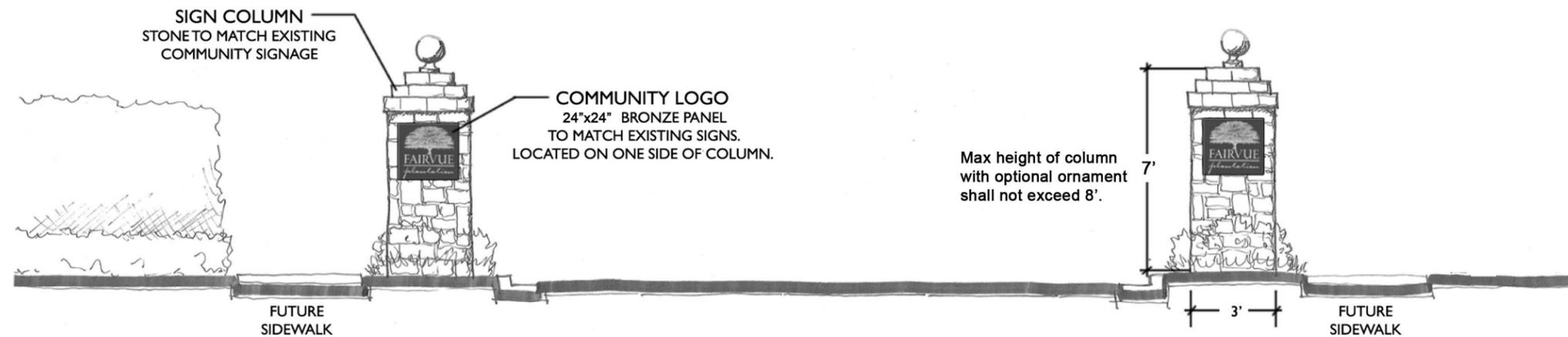
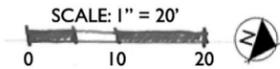
UTILITY NOTE:
UTILITY LOCATIONS WERE PROVIDED BY CITY
OF GALLATIN, UTILITY GIS COORDINATOR.
ALL UTILITIES WILL BE FIELD LOCATED USING
ONE CALL PRIOR TO ANY CONSTRUCTION/
LANDSCAPE INSTALLATION.



NOTES:
COLUMNS AND PLANTING LOCATED IN NOAH LANE
R.O.W. AND IN THE 20' IRRIGATION/ 20' SIDEYARD -
P.U.D.E. EASEMENT.

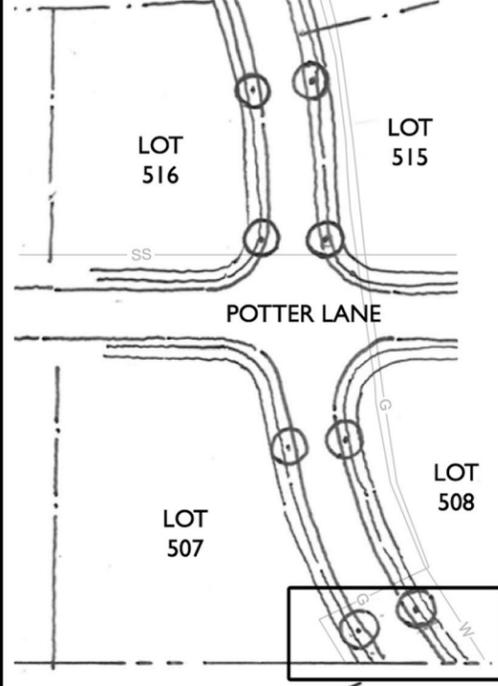
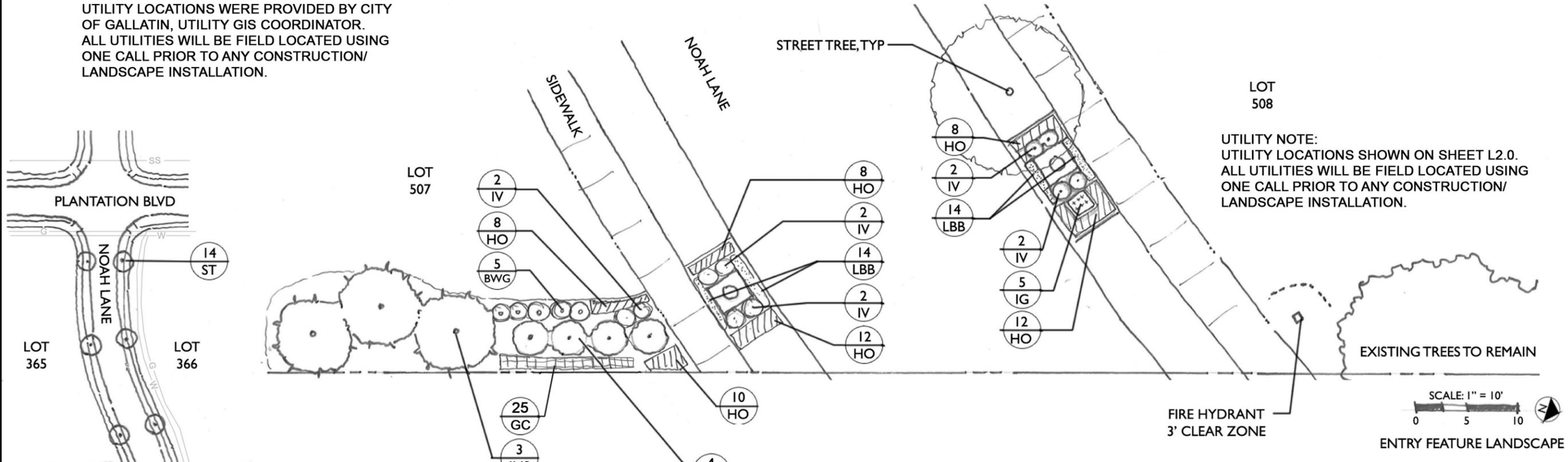
COLUMNS ARE NOT DIRECTLY ACROSS THE ROAD FROM
EACH OTHER ; HOWEVER, THE OFFSET IS MINIMAL.

PLEASE SEE SHEET L2.1 FOR LANDSCAPE PLAN



UTILITY NOTE:
UTILITY LOCATIONS WERE PROVIDED BY CITY
OF GALLATIN, UTILITY GIS COORDINATOR.
ALL UTILITIES WILL BE FIELD LOCATED USING
ONE CALL PRIOR TO ANY CONSTRUCTION/
LANDSCAPE INSTALLATION.

UTILITY NOTE:
UTILITY LOCATIONS SHOWN ON SHEET L2.0.
ALL UTILITIES WILL BE FIELD LOCATED USING
ONE CALL PRIOR TO ANY CONSTRUCTION/
LANDSCAPE INSTALLATION.

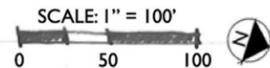


QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	NOTES:
3	INS	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	2" CAL. B/B	6'-8'	AS SHOWN	FULL AND DENSE
4	TO	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	2" CAL. B/B	6'-8'	AS SHOWN	FULL AND DENSE
10	IV	ITEA VIRGINIA 'HENRY'S GARNET'	HENRY'S GARNET SWEET SPIRE	3 GAL.	18"X24"	30" O.C.	
68	HO	HELLEBORUS ORIENTALIS	LENTEN ROSE	4" POTS		12" O.C.	
5	BWG	BUXUX MICROPYLLA 'WINTER GEM'	WINTER GEM KOREAN BOXWOOD	5 GAL.	24"X30"	36" O.C.	
28	LBB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	4" POTS		12" O.C.	
5	IG	IRIS X GERMANICA	BEARDED IRIS	1 GAL		12" O.C.	
25	GC	EQUAL MIX: LIRIOPE MUSCARI 'BIG BLUE' HEMEROCALLIS X 'STELLA de ORO'	BIG BLUE LIRIOPE STELLA de ORO LILLY	4" POTS 4" POTS		12" O.C. 12" O.C.	

Street Trees to be installed in grass strip between sidewalk and back of curb, approximately 2' from back of curb. Exact location to be field adjusted to minimize utility and intersection sight restrictions, as outlined in City of Gallatin Zoning Ordinance SS 13.06.050.
Bio-Barrier/Root Barrier shall be installed along sidewalks in all locations where street trees will be planted.
Current street trees used in Fairvue Plantation are October Glory Red Maple.

ENTRY FEATURE LANDSCAPE PLAN

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	NOTES:
14	ST	TO BE SLECTED BY OWNER		3" CAL B/B	10'-12'	AS SHOWN	CENTRAL LEADER, 6' CLEAR TRUNK



STREET TREE PLAN



Revisions:
1. April 14, 2014

Drawing Notes:



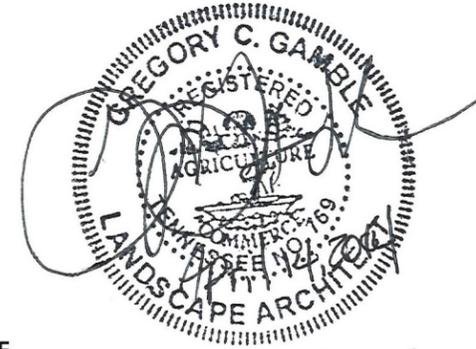
Fairvue Plantation
Final Master Development Plan Revision

GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 320
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
ggamble329@gmail.com
615.975.5765

Location #1
Noah Lane

L2.1

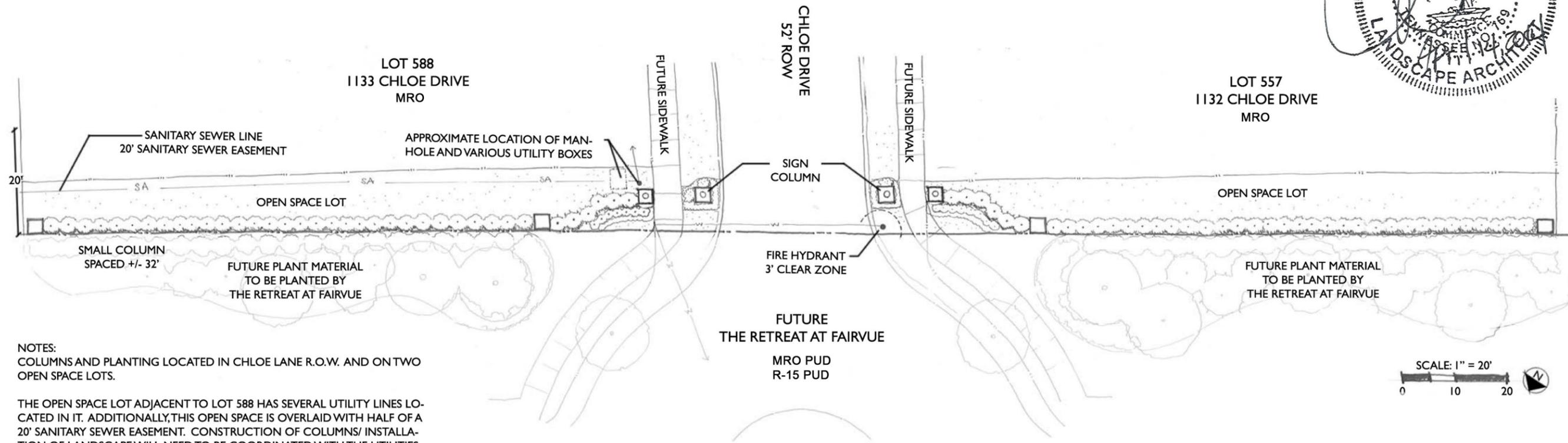
UTILITY NOTE:
 UTILITY LOCATIONS WERE PROVIDED BY CITY
 OF GALLATIN, UTILITY GIS COORDINATOR.
 ALL UTILITIES WILL BE FIELD LOCATED USING
 ONE CALL PRIOR TO ANY CONSTRUCTION/
 LANDSCAPE INSTALLATION.



Revisions:
 1. April 14, 2014

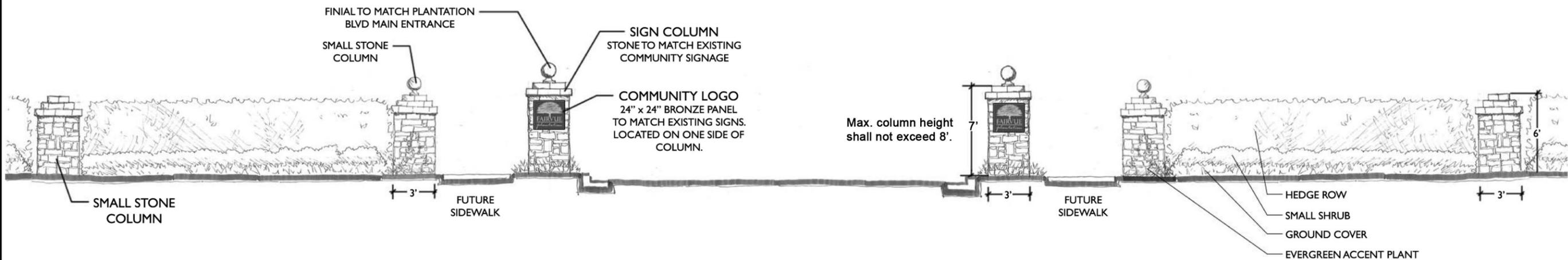
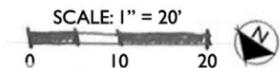
Drawing Notes:

GDC
 GAMBLE
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE
 Date: 2.26.2014



NOTES:
 COLUMNS AND PLANTING LOCATED IN CHLOE LANE R.O.W. AND ON TWO
 OPEN SPACE LOTS.

THE OPEN SPACE LOT ADJACENT TO LOT 588 HAS SEVERAL UTILITY LINES LO-
 CATED IN IT. ADDITIONALLY, THIS OPEN SPACE IS OVERLAID WITH HALF OF A
 20' SANITARY SEWER EASEMENT. CONSTRUCTION OF COLUMNS/ INSTALLA-
 TION OF LANDSCAPE WILL NEED TO BE COORDINATED WITH THE UTILITIES
 TO AVOID CONFLICTS.



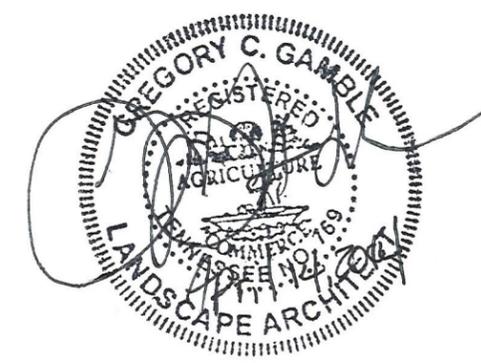
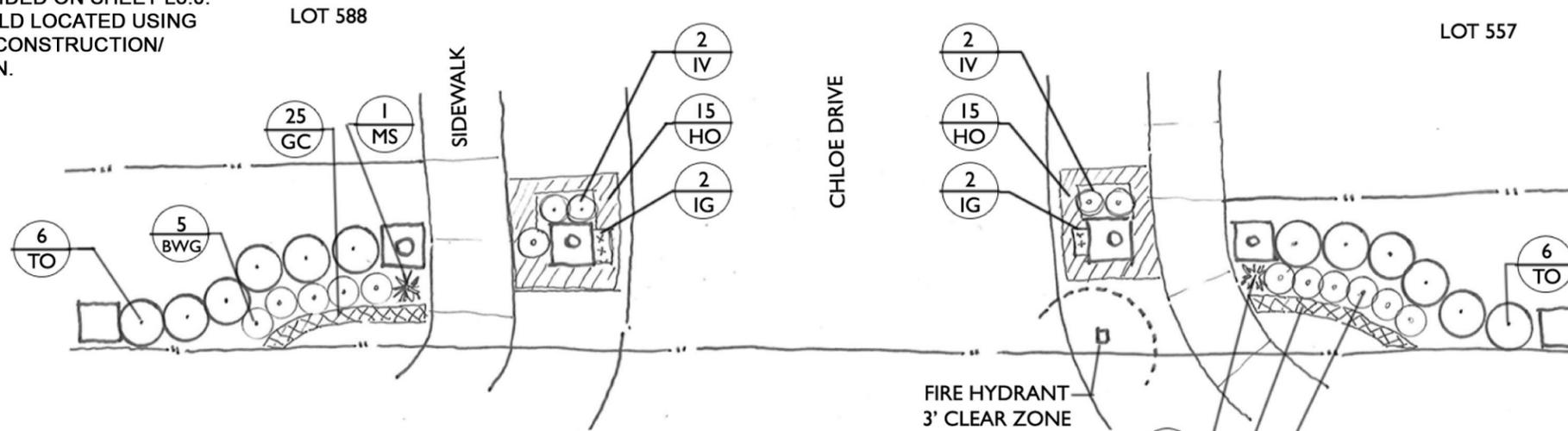
Fairvue Plantation
Final Master Development Plan Revision

GAMBLE DESIGN COLLABORATIVE
 14 SOUTHEAST PARKWAY
 SUITE 320
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
 gg@gamble209@gmail.com
 615.975.5765

Location #2
 Chloe Lane

L3.0

UTILITY NOTE:
UTILITY LOCATIONS PROVIDED ON SHEET L3.0.
ALL UTILITIES WILL BE FIELD LOCATED USING
ONE CALL PRIOR TO ANY CONSTRUCTION/
LANDSCAPE INSTALLATION.



Revisions:
1. April 14, 2014

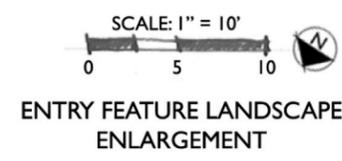
Drawing Notes:

GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
Date: 2.26.2014

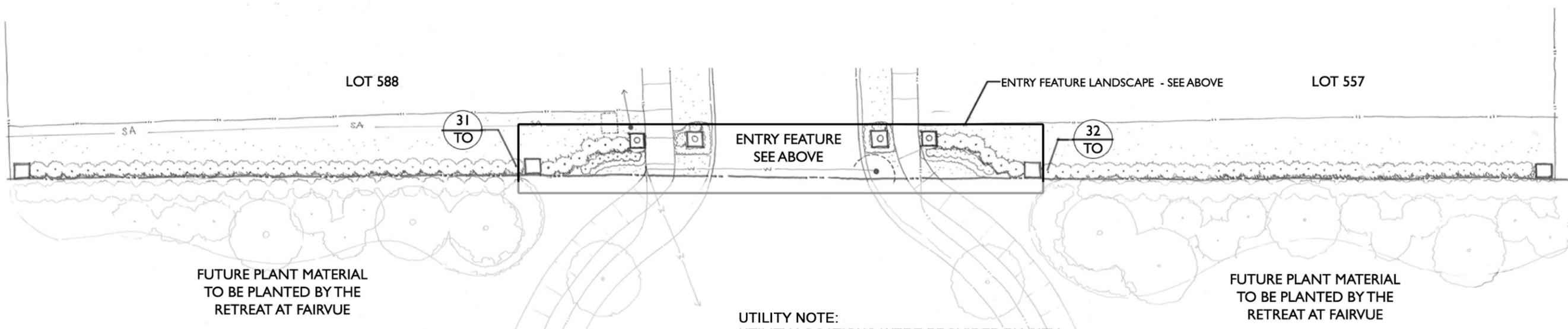
Fairvue Plantation
Final Master Development Plan Revision

ENTRY FEATURE LANDSCAPE SCHEDULE						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING
75	TO	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	2" CAL. B/B	6'-8"	AS SHOWN
11	BWG	BUXUX MICROPYLLA 'WINTER GEM'	WINTER GEM KOREAN BOXWOOD	5 GAL.	24"X30"	36" O.C.
2	MS	MISCANTHUS SINESIS 'ADAGIO'	ADAGIO MADIANGRASS	3 GAL.		AS SHOWN
4	IV	ITEA VIRGINIA 'HENRY'S GARNET'	HENRY'S GARNET SWEET SPIRE	3 GAL.	18"X24"	30" O.C.
30	HO	HELLEBORUS ORIENTALIS	LENTEN ROSE	4" POTS		12" O.C.
4	IG	IRIS X GERMANICA	BEARDED IRIS	1 GAL.		12" O.C.
50	GC	EQUAL MIX: LIRIOPE MUSCARI 'BIG BLUE' HEMEROCALLIS X 'STELLA de ORO'	BIG BLUE LIRIOPE STELLA de ORO LILLY	4" POTS 4" POTS		12" O.C. 12" O.C.

NOTES:
FULL AND DENSE



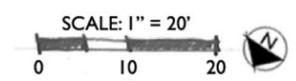
ENTRY FEATURE LANDSCAPE ENLARGEMENT



FUTURE PLANT MATERIAL
TO BE PLANTED BY THE
RETREAT AT FAIRVUE

FUTURE PLANT MATERIAL
TO BE PLANTED BY THE
RETREAT AT FAIRVUE

UTILITY NOTE:
UTILITY LOCATIONS WERE PROVIDED BY CITY
OF GALLATIN, UTILITY GIS COORDINATOR.
ALL UTILITIES WILL BE FIELD LOCATED USING
ONE CALL PRIOR TO ANY CONSTRUCTION/
LANDSCAPE INSTALLATION.

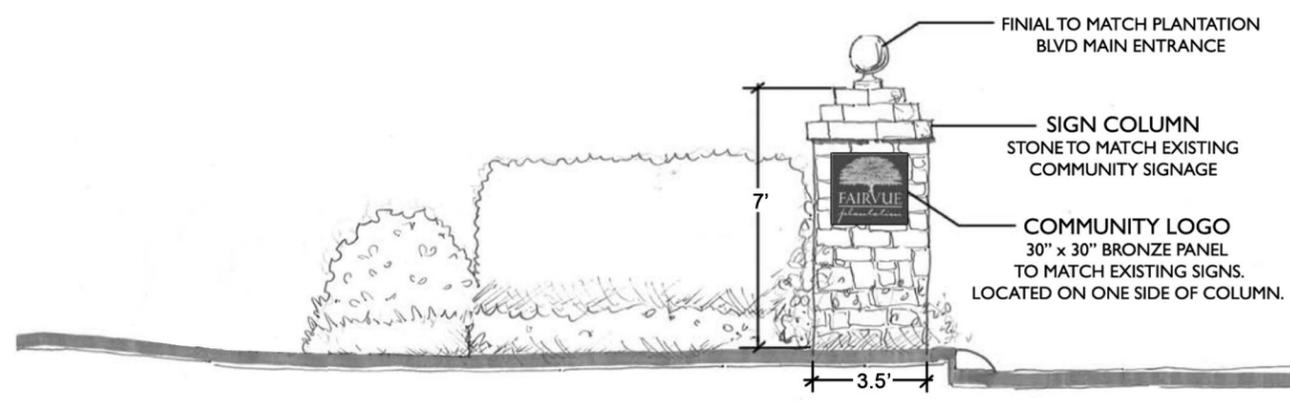
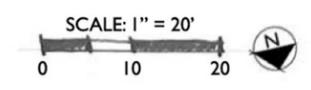
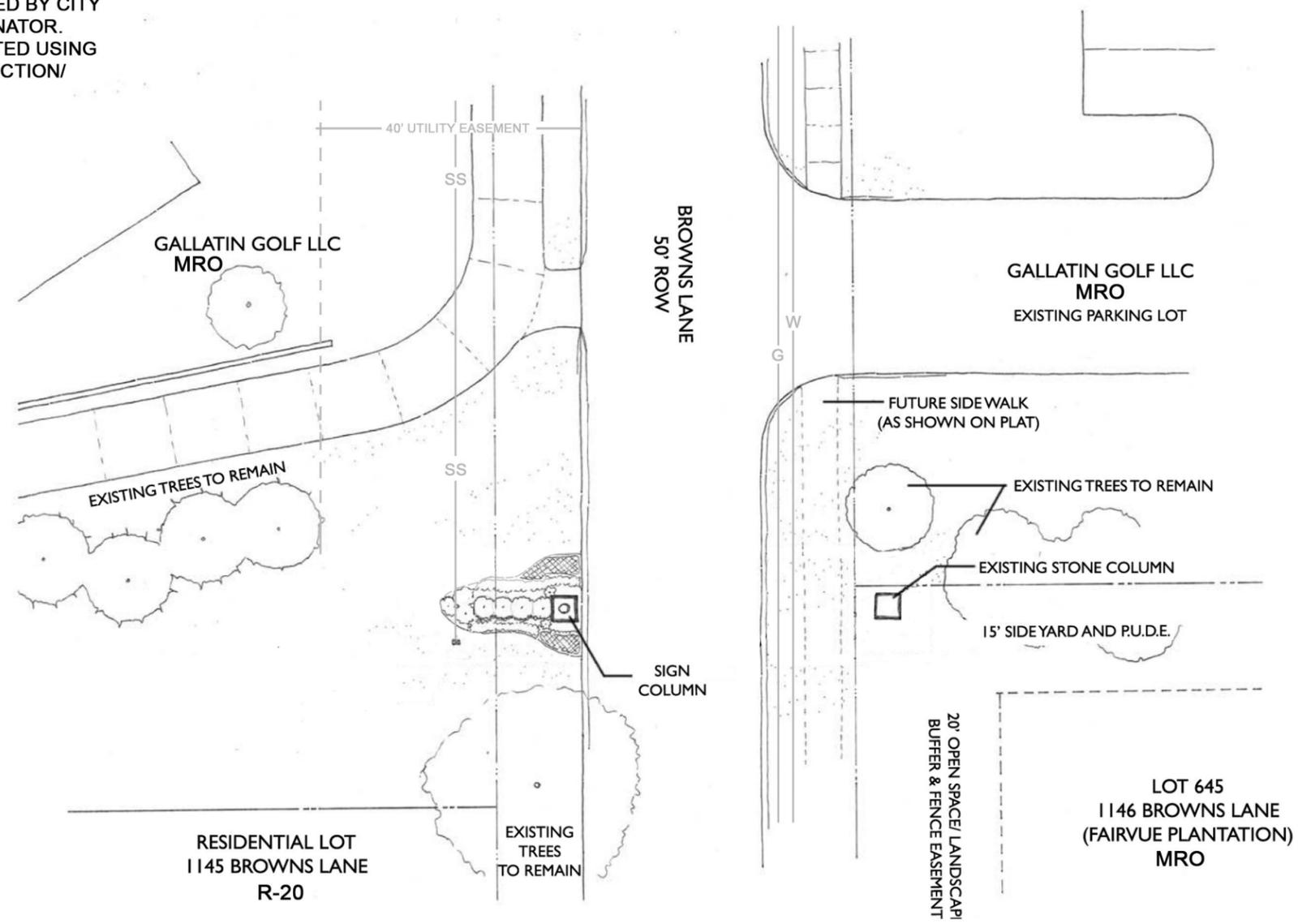


GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 330
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
ggamble339@gmail.com
615.975.5765

Location #2
Chloe Lane

L3.1

UTILITY NOTE:
 UTILITY LOCATIONS WERE PROVIDED BY CITY
 OF GALLATIN, UTILITY GIS COORDINATOR.
 ALL UTILITIES WILL BE FIELD LOCATED USING
 ONE CALL PRIOR TO ANY CONSTRUCTION/
 LANDSCAPE INSTALLATION.



Max. height of column and optional ornament shall not exceed 8'.



Revisions:
 1. April 14, 2014

Drawing Notes:



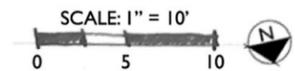
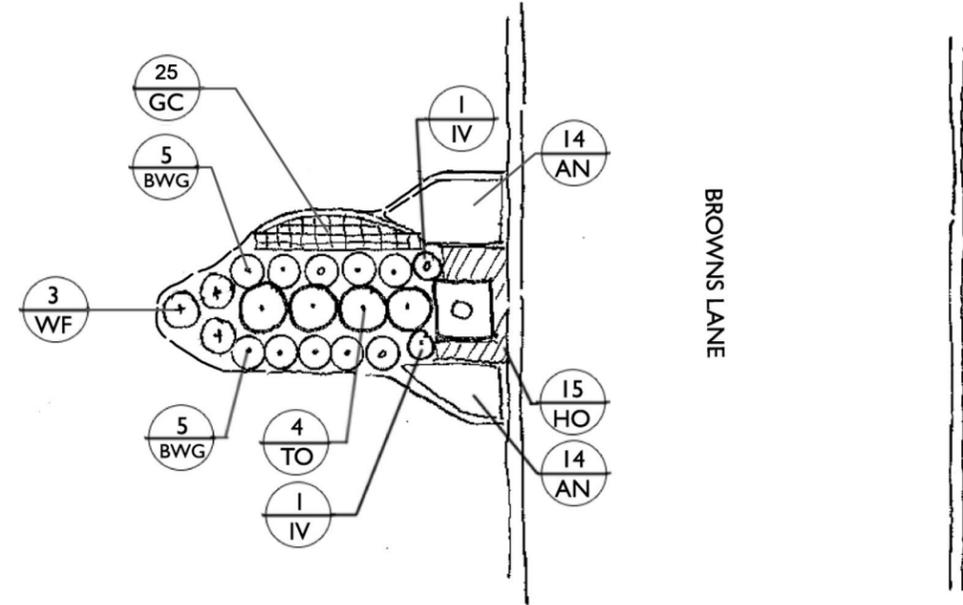
Fairvue Plantation
 Final Master Development Plan Revision

GAMBLE DESIGN COLLABORATIVE
 141 SOUTHEAST PARKWAY
 SUITE 330
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
 greggamble33@gmail.com
 615.975.5765

Location #3
 Browns Lane

L4.0

UTILITY NOTE:
 UTILITY LOCATIONS PROVIDED ON SHEET L4.0.
 ALL UTILITIES WILL BE FIELD LOCATED USING
 ONE CALL PRIOR TO ANY CONSTRUCTION/
 LANDSCAPE INSTALLATION.



QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	NOTES:
1	LIN	LAGERSTROEMIA X 'TUSKEGEE'	TUSKEGEE CRAPEMYRTLE	2" CAL	6'-8"	AS SHOWN	MULTI-STEM, BALANCED FULL AND DENSE
8	TO	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	2" CAL. B/B	6'-8"	AS SHOWN	
5	IV	ITEA VIRGINIA 'HENRY'S GARNET'	HENRY'S GARNET SWEET SPIRE	3 GAL.	18"X24"	30" O.C.	
45	HO	HELLEBORUS ORIENTALIS	LENTEN ROSE	4" POTS		12" O.C.	
20	BWG	BUXUX MICROPYLLA 'WINTER GEM'	WINTER GEM KOREAN BOXWOOD	5 GAL.	24"X30"	36" O.C.	
3	PL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	5 GAL.	24"X30"	36" O.C.	
5	WF	WEIGELA FLORIDA 'JAVA RED'	JAVA RED WEIGELA	5 GAL.	24"X30"	AS SHOWN	
3	MS	MISCANTHUS SINESIS 'ADAGIO'	ADAGIO MADIANGRASS	3 GAL.		AS SHOWN	
6	IG	IRIS X GERMANICA	BEARDED IRIS	1 GAL		12" O.C.	
9	IVN	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	3 GAL.	18"X18"	AS SHOWN	
132	AN	ANNUALS	ANNUALS	4" POTS		12" O.C.	
66	GC	EQUAL MIX: LIRIOPE MUSCARI 'BIG BLUE' HEMEROCALLIS X 'STELLA de ORO'	BIG BLUE LIRIOPE STELLA de ORO LILLY	4" POTS 4" POTS		12" O.C. 12" O.C.	



Revisions:
 1. April 14, 2014

Drawing Notes:



Fairvue Plantation
 Final Master Development Plan Revision

GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 330
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
 gregambledesign@gmail.com
 615.975.5765

Location #3
 Browns Lane

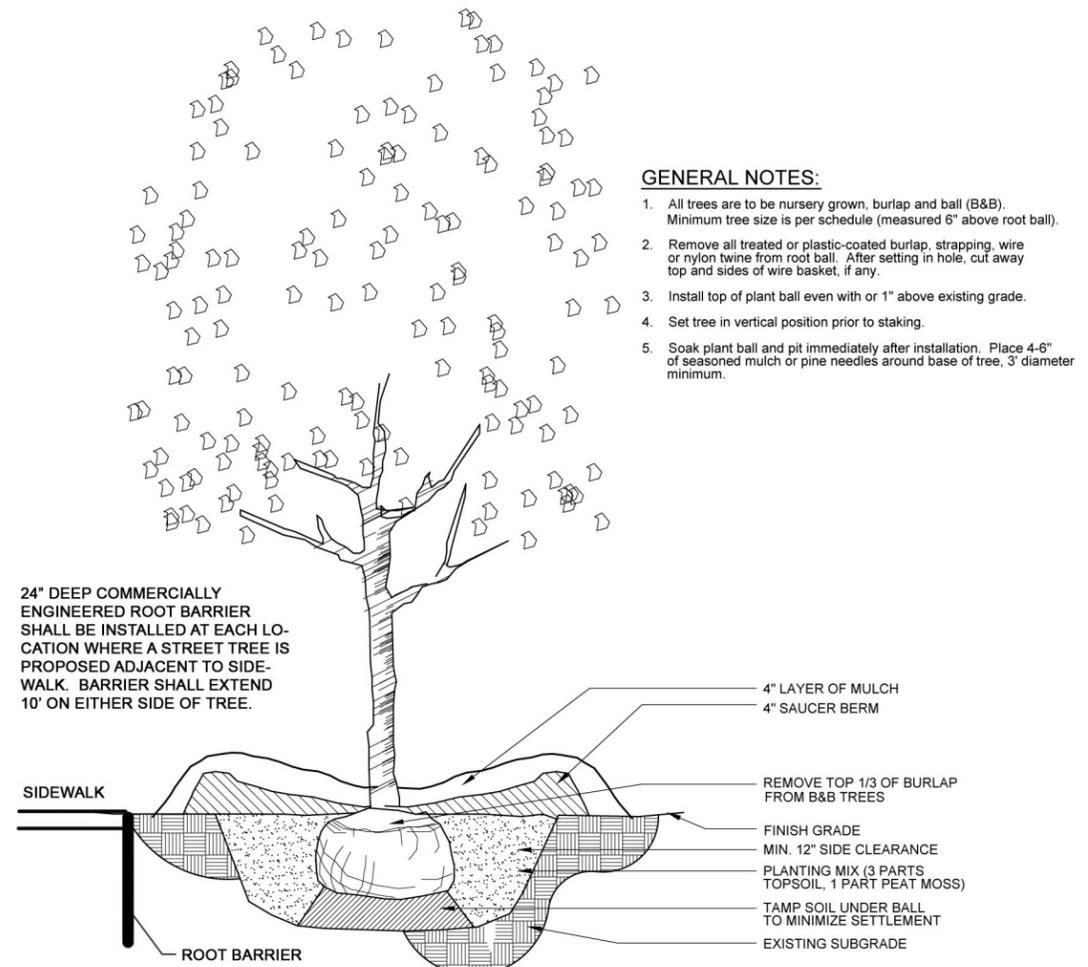
L4.1

LANDSCAPE PLANTING GENERAL NOTES

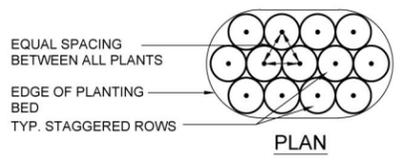
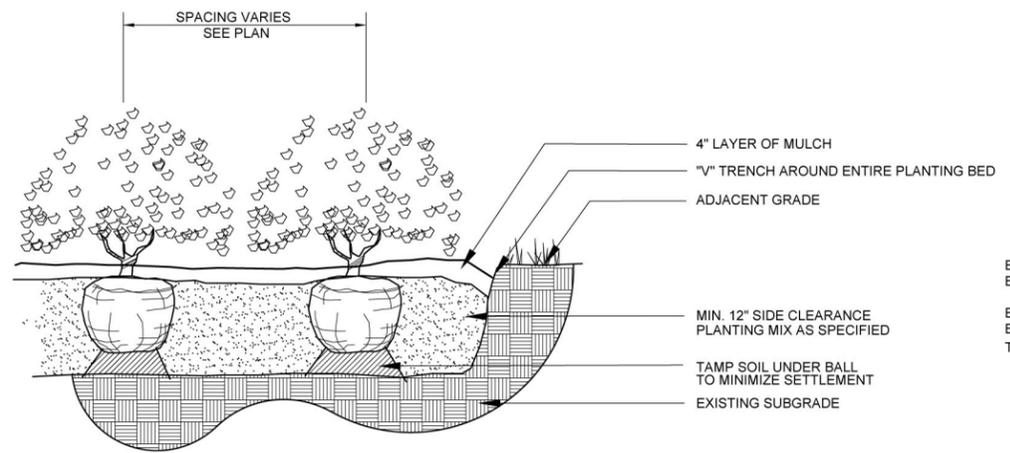
1. THE LANDSCAPE CONTACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF ALL MATERIALS. THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT, AND MAY RESULT IN THE RESUBMITTAL OF LANDSCAPE PLANS TO THE CITY OF FRANKLIN FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.
4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.
5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLOUDS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.
6. ALL LARGE DIRT CLOUDS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.
7. PRE-EMERGENT HERBICIDE SHALL BE APPLIED AFTER INSTALLATION AND IMMEDIATELY PRIOR TO MULCHING.
8. ALL PLANT BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES OF SHREDDED PINE BARK. ALL ANNUAL BEDS SHALL BE MULCHED WITH A MINIMUM OF 2 INCHES OF SOIL CONDITIONER, PINE BARK FINES.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
10. ALL SOD AREAS SHALL BE TILLED AND RAKED SMOOTH, WITH LARGE DIRT CLOUDS AND ROCKS REMOVED, PRIOR TO SOD INSTALLATION.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.
13. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.

GENERAL NOTES:

1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
2. Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
3. Install top of plant ball even with or 1" above existing grade.
4. Set tree in vertical position prior to staking.
5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree, 3' diameter minimum.



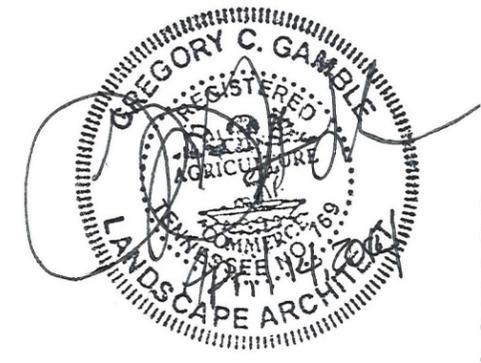
1 SINGLE TRUNK DECIDUOUS TREE
L5.0 SECTION
DETAIL # NTS



GENERAL NOTES:

1. Install top of plant ball 2" above adjacent gr
2. Tamp planting mix firmly as pit is filled arou
3. Soak each plant ball and pit immediately aft

2 SHRUB PLANTING
L5.0 PLAN/ SECTION
DETAIL # NTS



Gamble Design Collaborative
Greg Gamble
144 Southeast Parkway, Suite 200
Franklin, TN 37064
615.975.5765
greggamble209@gmail.com

ITEM 3

GMRPC Resolution No. 2014-33

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR CARELLTON ON 417.20 (+/-) ACRES AND APPROVING A FINAL MASTER DEVELOPMENT PLAN FOR CARELLTON, PHASE 2A AND 2B, ON 33.82(+/-) ACRES, LOCATED NORTH OF LONG HOLLOW PIKE AT BIG STATION CAMP BOULEVARD. (PC0268-14)

WHEREAS, The applicant has submitted an application for a minor amendment to the previously approved Carellton Preliminary Master Development Plan consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance, and

WHEREAS, the City of Gallatin Municipal-Regional Planning Commission considered the Amended Preliminary Master Development Plan submitted by the applicant, Dewey-Estes Engineering, at its regular meeting on April 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Amended Preliminary and Final Master Development Plan submitted by the applicant, Dewey Estes Engineering, at its regular meeting on April 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA §13-7-202, §13-7-203 and G.Z.O. §12.02.020 and §12.02.030:

1. The proposed Amended Preliminary Master Development Plan and Final Master Development Plan is consistent with the purpose and intent of the Residential 8-Planned Residential Development (R-8PRD) zone district and the approved Preliminary Master Development Plan and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in said zone district and a approved PMDP.
2. The proposed changes shown in the Amended Preliminary Master Development Plan changing the Phase lines for Phase 2, 3, and 4 constitute a minor amendment to the approved PMDP as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
3. The amended PMDP and FMDP is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and*

Transportation Plan for the area, and in particular, the Suburban Neighborhood Emerging Character Area.

4. The legal purposes for which zoning regulations exists have not been contravened and the overall master subdivision design is not changed as a result of the PMDP amendment.
5. The Amended PMDP and FMDP will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
7. The Amended PMDP and FMDP has been submitted to the City complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby recommends approval of a minor amendment to the Preliminary Master Development Plan and approval of the Final Master Development Plan with the following conditions:

1. The Planning Commission approves these changes to the Carellton Preliminary Master Development Plan as a minor amendment.
2. Typical one-way R.O.W. section shows sidewalks on one (1) side of roadway. Plans appear to show sidewalk on both sides. Please correct or clarify. It appears a sidewalk easement would be required if sidewalk is intended to be on both sides of one-way road. Show on cross-section if this is the case.
3. Provide 5' grass strip between back of curb and sidewalk on all R.O.W's.
4. Add appropriate street signage indicating one way and do not enter for 30' R.O.W. section.
5. Add speed limit signs anywhere speed limits are to change from what is indicated on entrances to subdivision. It appears a slower speed limit would be appropriate on Daystar Court than that of Ferdinand Drive.
6. The applicant shall submit a site surety, in the amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 04/28/2014

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY



ITEM 3

PLANNING DEPARTMENT STAFF REPORT

Amended Preliminary Master Development Plan and Final Master Development Plan for Carellton Phase 2A and 2B
(PC0268-14)

North of Long Hollow Pike at Big Station Camp Boulevard

Date: April 28, 2014

PUBLIC COMMENT

REQUEST: OWNER/APPLICANT REQUESTS APPROVAL OF AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE CARELLTON SUBDIVISION TO MOVE PHASE LINES AND APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR PHASE 2A AND 2B TO CREATE 90 TOTALS LOTS, FIVE (5) OPEN SPACE TRACTS AND SIX (6) NEW PUBLIC RIGHTS-OF-WAY.

OWNER: GREEN TRAILS, LLC (RICK DECKBAR)
APPLICANT: DEWEY/ESTES ENGINEERING (MICHAEL DEWEY)
STAFF RECOMMENDATION: MINOR AMENDMENT
STAFF RECOMMENDATION: APPROVE WITH CONDITIONS
STAFF CONTACT: KEVIN CHASTINE
PLANNING COMMISSION DATE: APRIL 28, 2014

PROPERTY OVERVIEW: The owner and applicant are requesting approval of an Amended Preliminary Master Development Plan (PMDP) for the Carellton Subdivision to change Phase lines and approval of a Final Master Development Plan for Carellton Phase 2A and 2B to create 90 totals lots and six (6) new public rights-of-way.

The amended PMDP will change the phase lines for Phase 2, by splitting Phase 2 into Sections A, B, and C. Also, parts of current Phase 3 and Phase 4 will be included with Phase 2B and parts of current phase 3 will be included in Phase 2C. Phase 2A and 2B contains 90 residential lots (40 lots in 2A and 45 lots in 2B), six (6) new public rights-of-way, and five (5) open space tracts on 33.82 (+/-) acres located north of Long Hollow Pike at Big Station Camp Boulevard. (Attachment 3-1)

CASE BACKGROUND:

Previous Approvals

Prior to annexation the Sumner County Planning Commission approved an Amended Preliminary Master Development Plan for The Paddock at the December 19, 2006 meeting. The Final Master Development Plan for The Paddock was approved, with conditions, by the Sumner County Planning Commission at the January 23, 2007 meeting.

The City of Gallatin established the Residential-8-Planned Residential Development (R8-PRD) zoning with the Preliminary Master Development Plan for The Paddock on April 15, 2008, effective upon annexation on May 2, 2008. One-family attached and detached dwellings are permitted uses in the R8-PRD zone district.

The Gallatin Planning Commission approved, with conditions, an extension of the Sumner County approval for the Paddock Final Master Development Plan (PC9803-11) at the May 23, 2011 commission meeting. The Final Plat for Phase 1-A (PC File #1-15-08C) of The Paddock was approved, with conditions, at the June 23, 2008 Gallatin Planning Commission meeting. The Final Plat for Phase 1-A was recorded on July 25, 2013. The Preliminary Plat for Carellton Phase 1-B was approved, with conditions, at the August 26, 2013 Planning Commission meeting. The Final Plat for Phase 1-B was recorded on April 2, 2014.

The Planning Commission recommended approval of an Amended Preliminary Master Development Plan for the Carellton subdivision, Phase 2 through 8, on January 27, 2014. The Amended Preliminary Master Development Plan was approved on second reading at the March 18, 2014 City Council meeting.

DISCUSSION:

Proposed Development

The owner/applicant requests approval of an Amended Preliminary Master Development Plan (PMDP) for the Carellton Subdivision located north of Long Hollow Pike at the intersection with Big Station Camp Boulevard. (Attachment 3-1) Per Section 12.02.050 of the Gallatin Zoning Ordinance, the Planning Commission must make a determination if the changes to the Carellton Preliminary Master Development Plan are considered a major or minor amendment. The applicant proposes changing the phase lines for Phase 2, 3 and 4. The phase lines for Phase 2 will be increased to include a portion of Phase 3, near the proposed clubhouse and a portion of Phase 4. Phase 2 will also be split into Sections A, B, and C. The FMDP requests approval for Phase 2A and 2B of the Amended PMDP.

The applicant proposes no changes to lot sizes, lot layout, layout of roads, or any other design element of the Carellton subdivision. Since the proposed changes related only to the location of phase lines, staff recommends that the Planning Commission consider the proposed changes as a minor amendment to the Preliminary Master Development Plan. Upon development of the balance of the original Phase 4 then Bedford Way will be extended to Liberty Lane.

Lot Types

The currently approved Preliminary Master Development Plan for Carellton includes eight (8) different lots types. Phase 2A and 2B includes three (3) of these lot types. Engineering noted that the Public Utility and Drainage Easements located on all property lines of the lots are a variance from subdivision regulations. These P.U.D.E. widths were approved as part of the Preliminary Master Development Plan. Phase 2A and 2B includes the following number of Prestige, Signature, and Villa lots.

- 19 Prestige Lots – 60 foot wide - (7,200 square feet)

- 45 Signature Lots – 50 foot wide - (6,000 square feet)
- 26 Villa Lots –36 foot wide townhouse - (9,240 square feet for two (2) units)

Due to the phase lines changing the applicant shall update the Development and Phasing Schedule tables from Sheet C0.0 of the Amended Preliminary Master Development Plan (PC0214-13) and include it on Sheet C0.0 of the Amended Preliminary Master Development Plan and Final Master Development Plan for Phase 2A and 2B.

Phasing Changes

The applicant is changing the phase lines for Phase 2, 3, and 4 of the Carellton Subdivision. As previously approved Phase 2 consisted of 97 lots. The proposed changes split Phase 2 into three (3) sections - A, B, and C with 134 lots. Section A is comprised of 40 lots, Section B is comprised of 45 lots, and Section C is comprised of 49 lots.

As currently approved Phase 3 now comprises 107 lots, but with the proposed phase line changes, Phase 3 will include 124 lots.

Finally, Phase 4 now comprises 102 lots, but with the proposed phase line changes Phase 4 will be comprised of 77 lots.

Open Space/Tracts/Landscaping

The FMDP includes all or a portion of five (5) open space tracts (A, C, Q, V, and P) that total 6.91 acres. Each of these open space tracts remains unchanged from the currently approved Amended PMDP.

The FMDP includes a bufferyard and landscaping plan that matches the currently approved Amended PMDP. The landscaping plan shows a total of 31 large deciduous trees. Five (5) redbud trees are located within Open Space Tract 'V' in Phase 2A, which is encircled by Hempstead Court. An additional three (3) redbuds and seven (7) Tulip Poplars are shown within in Open Space Tracts A, P, and Q in Phase 2B. Also, 18 large deciduous trees are located behind the lots to the west of Day Star Court.

Finally, the bufferyard and landscaping plan calls out areas within Open Space Tract C and P where existing vegetation will be utilized. As noted on the currently approved Amended Preliminary Master Development Plan (PC0214-13) a tree survey is required for these areas as part of the Final Master Development Plan. The applicant has noted on the FMDP that the tree surveys will be provided prior to the final approval of the Final Master Development Plan.

Streets/Access

The FMDP for Phase 2A and 2B will create four (4) new streets. This includes Preston Lane and Hempstead Court in Phase 2A and Day Star Court and Gulfstream Drive in Phase 2B. Del Mor Circle and Seattle Slew Drive will be extended into Phase 2A from Phase 1B, while Whitestone Lane will be extended into Phase 2B, but will change names to Ferdinand Drive after crossing Carellton Drive at a roundabout. Street stubs will be created for Del Mor Circle, Grindstone Drive, and Santa Rosa Drive.

All of the proposed streets are 50 foot wide rights-of-way with five (5) feet wide sidewalks on both sides of the street. The only exception is Hempstead Court, which is a one-way street with a 30 foot right-of-way with a five (5) feet wide sidewalk on the outer edge of the street. All total there will be 5.38 acres of new public rights-of-way within Phases 2A and 2B. The Engineering Division noted that if sidewalks are to be located only on one (1) side of the 30 foot wide right-of-way for Hempstead Court that this would be an alternative pedestrian walk design.

As discussed within the review of the currently approved Amended PMDP, the City of Gallatin will be undertaking a traffic study that will encompass the entire corridor of Big Station Camp Boulevard and adjacent roadways. This study will focus on traffic generation from the currently approved developments, extant development, and potential build out under the current zoning of undeveloped property. The results of this study will identify the need for transportation infrastructure improvements throughout the Station Camp corridor, the projects costs of the improvements, and how the cost of the improvements can be financed by developments within the Station Camp Corridor.

Carellton will be one of many properties to contribute to the future transportation needs in the area. The applicant has added the project note below on Sheet C0.0, to address transportation improvements.

Developers of the Carellton are responsible for the installation of a traffic signal at the intersection of Big Station Camp Boulevard/Long Hollow Pike/Carellton Drive per conditions of previous approval outlined in 6-28-2005 Sumner County Planning Commission minutes. A signal warrant study shall be performed by the developer(s) upon request by the City of Gallatin Engineering Division. Upon meeting signal warrants, the developer(s) shall install a signal to City standards. To ensure completion of the signal, a pro-rata surety shall be posted prior to recording of each plat in the Carellton development. The surety amount will be based upon the amount of traffic generated by the Carellton development to warrant a traffic signal as indicated in the approved traffic impact study.

Floodplain and Floodway

No portion of Phase 2A or 2B is located within a flood hazard area.

Parking

The parking ratio for any residential use is two (2) parking spaces per unit. With 85 lots shown on the FMDP for Phase 2A and 2B, the Carellton Subdivision is required 170 total parking spaces, which meets the spaces required by the Gallatin Zoning Ordinance.

Buildings and Architectural Elevations

The applicant has provided architectural elevations for all of the three (3) different lot types in Phase 2A and 2B, which are the Prestige, Signature, and Villa lots. (Attachment 3-2)

The architectural elevation options are unchanged from the existing Preliminary Master Development Plan and will remain effective with the amendment.

The architecture for the Prestige Lot types provide 28 samples of two (2) story residences and 15 samples of one (1) story, and one and a half (1½) story elevations. The building materials are primarily brick and/or stone with siding located on the second story or as accent materials on roof dormers or in the gable ends of the roof.

The architecture for the Signature Lot type provides six (6) samples of one (1), one and a half (1½) and two (2) story residences. Two (2) of the elevations utilize stone on the front elevation and siding on the side and rear elevations, while some sample elevations utilize siding on all four (4) elevations with brick column bases on the front porch.

The architecture for the Villa Lot types provides two (2) samples of one (1), and one and a half (1½) story attached residences. Both samples utilize brick and/or stone on the first floor with siding or half-timbering utilized in the gable ends of roofs or on roof dormers.

No change is requested to the architectural elevations approved as part of the Preliminary Master Development Plan.

Site Surety

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080. Surety Required of the Gallatin Zoning Ordinance. The applicant shall submit a site surety, in the amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

Engineering Division Comments

The Engineering Division reviewed and commented on the Amended Preliminary Master Development Plan and Final Master Development Plan. Most of the Engineering Division comments have been satisfied; however, the applicant shall amend the Amended Preliminary Master Development Plan and Final Master Development Plan and provide documents as indicated below:

1. Typical one-way R.O.W. section shows sidewalks on one (1) side of roadway. Plans appear to show sidewalk on both sides. Please correct or clarify. It appears a sidewalk easement would be required if sidewalk is intended to be on both sides of one-way road. Show on cross-section if this is the case.
2. Provide 5' grass strip between back of curb and sidewalk on all R.O.W's.
3. Add appropriate street signage indicating one way and do not enter for 30' R.O.W. section.
4. Add speed limit signs anywhere speed limits are to change from what is indicated on entrances to subdivision. It appears a slower speed limit would be appropriate on Daystar Court than that of Ferdinand Drive.

Other Departmental Comments

Other City Departments reviewed and commented on the Final Master Development Plan. All of the Other Departmental Comments have been satisfied.

FINDINGS OF FACT PER T.C.A. §13-3-104, §13-3-413, §13-4-103, §13-4-104:

1. The proposed Amended Preliminary Master Development Plan and Final Master Development Plan is consistent with the purpose and intent of the Residential 8-Planned Residential Development (R-8PRD) zone district and the approved Preliminary Master Development Plan and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in said zone district and a approved PMDP.
2. The proposed changes shown in the Amended Preliminary Master Development Plan changing the Phase lines for Phase 2, 3, and 4 constitute a minor amendment to the approved PMDP as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
3. The amended PMDP and FMDP is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Emerging Character Area.
4. The legal purposes for which zoning regulations exists have not been contravened and the overall master subdivision design is not changed as a result of the PMDP amendment.
5. The Amended PMDP and FMDP will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
7. The Amended PMDP and FMDP has been submitted to the City complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-33, a Minor Amendment to the Preliminary Master Development Plan for Carellton and Final Master Development Plan for Carellton Phase 2 Section A and B, consisting of a 4 sheet plan, prepared by Dewey/Estes Engineering of Nashville TN, with project No. 12017 and dated March 26, 2014, located north of Long Hollow Pike at Big Station Camp Boulevard, with the following conditions:

1. The Planning Commission approves these changes to the Carellton Preliminary Master Development Plan as a minor amendment.
2. Typical one-way R.O.W. section shows sidewalks on one (1) side of roadway. Plans appear to show sidewalk on both sides. Please correct or clarify. It appears a sidewalk easement would be required if sidewalk is intended to be on both sides of one-way road. Show on cross-section if this is the case.
3. Provide 5' grass strip between back of curb and sidewalk on all R.O.W's.
4. Add appropriate street signage indicating one way and do not enter for 30' R.O.W. section.

5. Add speed limit signs anywhere speed limits are to change from what is indicated on entrances to subdivision. It appears a slower speed limit would be appropriate on Daystar Court than that of Ferdinand Drive.
6. The applicant shall submit a site surety, in the amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City)

ATTACHMENTS

- Attachment 3-1 Final Master Development Plan**
- Attachment 3-2 Architectural Elevations**

Prestige Series

Area D



RECEIVED
APR 16 2014

GALLATIN PLANNING
& ZONING

Richmond II French Country



Richmond II Colonial



Richmond II Traditional

PC0268-14

Prestige Series

Area D



RECEIVED
APR 16 2014

GALLATIN PLANNING
& ZONING

Wellington Tudor



Wellington French Country



Wellington French Traditional

PC 0268-14

Prestige Series

Area D



RECEIVED
APR 16 2014

GALLATIN PLANNING
& ZONING

Bradford Cottage



Bradford Colonial



Bradford Traditional



Bradford French Country

PC0268-14

Prestige Series

Area D



R E C E I V E **D**
APR 16 2014
GALLATIN PLANNING
& ZONING

Richmond French Country



Richmond Colonial



Richmond Traditional

PC 0268-14

Prestige Series

Area D



RECEIVED
APR 16 2014

GALLATIN PLANNING
& ZONING

Manchester Tudor



Manchester French Country



Manchester Traditional

PC 0268-14

Prestige Series

Area D



RECEIVED
APR 16 2014
GALLATIN PLANNING
& ZONING

Hanover Tudor



Hanover French Country



Hanover Traditional

PC0268-14

Prestige Series

Area D



Bedford French Country

RECEIVED
APR 16 2014
GALLATIN PLANNING
& ZONING



Bedford Traditional



Bedford Tudor

PC0268-14

Prestige Series

Area D



Alexandria French Country

RECEIVED
APR 16 2014

GALLATIN PLANNING
& ZONING



Alexandria Traditional



Alexandria Tudor

PC0268-14

Prestige Series

Area D



Lexington Tudor

RECEIVED
APR 16 2014
GALLATIN PLANNING
& ZONING



Lexington Traditional



Lexington French Country

PC0268-14

Villa Series

Area G



RECEIVED
APR 16 2014
GALLATIN PLANNING
& ZONING



PC0268-14

RECEIVED
APR 16 2014
GALLATIN PLANNING
DEPARTMENT



4060 "A"

PC0268-14



4060 "B"

RECEIVED
APR 16 2014
GALLATIN PLANNING
& ZONING

PC0268-14

Area E



RECEIVED
APR 16 2014

GALLATIN COUNTY
CLERK

4060 "C"

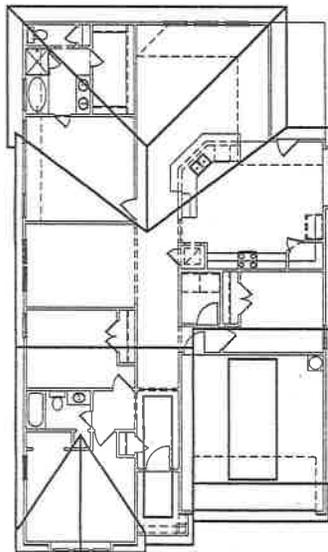
PCO 208-14



LEFT SIDE ELEVATION - B 4010
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION - B 4010
SCALE: 1/8" = 1'-0"



ROOF PLAN - B 4010
SCALE: 1/8" = 1'-0"



FRONT ELEVATION - B 4010
SCALE: 1/8" = 1'-0"

RECEIVED
APR 16 2014
CALLAHAN ENGINEERING

REVISIONS

NO.	DESCRIPTION

The M. Group Inc. assumes no liability for any alterations, modifications, or changes made to these plans before construction, the purchaser, builder, or contractor must verify all building codes, and incorporate all conditions. Only a qualified designer, architect, or structural engineer should make any alterations to these plans. All alterations must be approved by the M. Group Inc.

DESCRIPTION:

BUILDER:



3800 CORPORATE DRIVE, STE. #101
FLOER WOUND, TEXAS 75028
OFFICE : (972) 355-8700
FAX : (972) 355-8750
TRADEMARKED

ISSUE DATE
00-00-00

DRAFTSPERSON
000

PROJECT NO.
00-000

PLAN NUMBER
0000

SHEET NUMBER

A-2

PA 1768-14

REVISIONS

The U.S. Group Inc. assumes no liability for errors or omissions in this drawing. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. The U.S. Group Inc. shall not be permitted to alter these plans, without the written consent of the U.S. Group Inc.



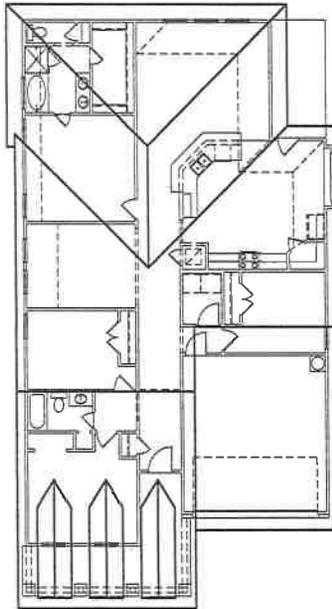
LEFT SIDE ELEVATION - C 4010

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION - C 4010

SCALE: 1/8" = 1'-0"



ROOF PLAN - C 4010

SCALE: 1/8" = 1'-0"



FRONT ELEVATION - C 4010

SCALE: 1/8" = 1'-0"

RECEIVED
APR 16 2014
CALLER PLANNING
CLERKING

DESCRIPTION:

BUILDER:



300 CORPORATE DRIVE, STE. #100
FLOER, TEXAS 75028
OFFICE: (972) 355-8700
FAX: (972) 355-8750
TRADEMARKED

ISSUE DATE

00-00-00

DRAFTSPERSON

000

PROJECT NO.

00-000

PLAN NUMBER

0000

SHEET NUMBER

A-3

PP D268-14

Amended Preliminary Master Development Plan & Final Master Development Plan

for

Carellton

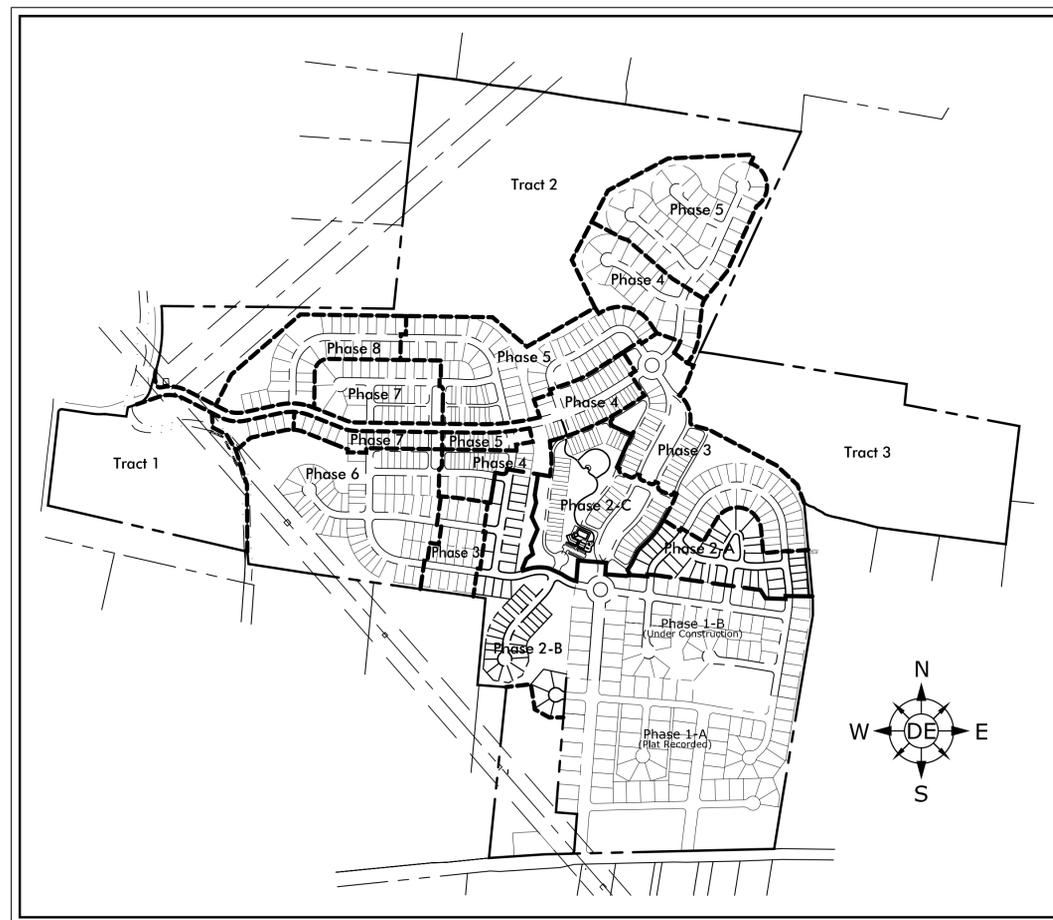
Phase 2, Sections A & B

Being Parcels 7.01, and 7.02 on Tax Map 124
Gallatin, Sumner County, Tennessee

Revisions:
4/16/14 - Revised per
Planning comments

Drawing Notes:

Date: March 26, 2014

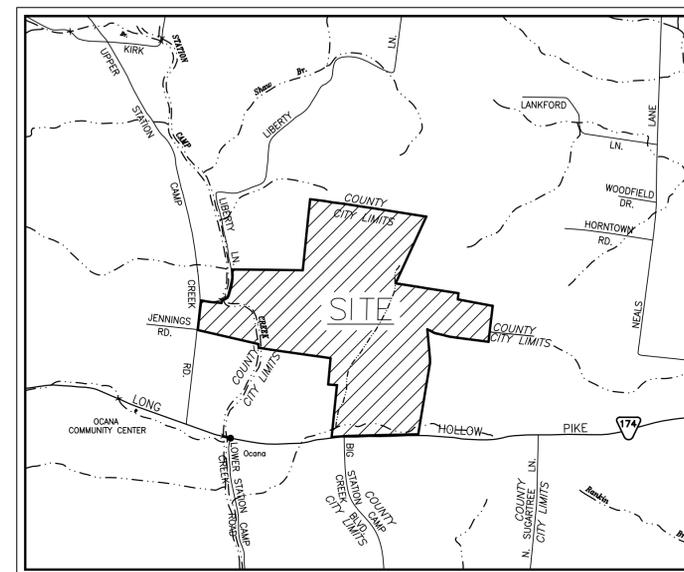


Overall Site Map
Scale 1"=600'

Phasing Schedule

Phase	A (Estates)	B (Manor)	C (Classic)	D (Prestige)	E (Signature)	F (Mainstreet Homes)	G (Villa)	H (Cottage Grove)	Total
1-A	55	15	0	0	0	0	0	0	70
1-B	10	52	0	0	0	0	0	0	62
2-A	0	0	0	0	40	0	0	0	40
2-B	0	0	0	19	5	0	26	0	50
2-C	0	0	0	0	0	21	0	29	50
3	0	0	0	22	41	26	0	0	89
4	0	0	21	9	2	11	0	33	76
5	0	0	19	31	29	0	0	31	110
6	0	0	21	25	0	8	30	0	84
7	0	0	0	26	0	24	0	0	50
8	0	0	0	37	0	0	0	0	37
Total	65	67	61	169	117	90	56	93	718

Note: Tracts 1-3 are Not Included in the Above Table.



Vicinity Map
NTS

Project Notes

- The purpose of this submittal is to provide a Final Master Development Plan for Carellton Phase 2, Sections A & B, a residential development consisting of 90 Residential Dwellings, 64 Single-Family Lots & 26 Multi-Family Lots.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of the City of Gallatin Department of Public Works.
- A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47165C0293G, Dated April 17, 2012. All pad elevations shall be filled, if necessary, at least 1 foot above the base flood elevation. Floodplain Development Permits and Elevation Certificates are Required for Construction in the 100 Year Floodplain.
- All public streets, curbs, and sidewalks are to be constructed in conformance with the City of Gallatin Engineering Division design standards.
- Wheelchair accessible curbs ramps, complying with applicable Engineering Division standards, shall be constructed at all street crossings.
- Individual water and/or sanitary sewer service lines are required for each lot.
- All areas designated as Open Space will be owned and maintained by the Homeowners' Association including the Guest Parking Stalls and Private Sidewalks.
- All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02.
- The owner/developer of this property is responsible for all financial matters.
- A Site Surety for Landscaping shall be submitted prior to the issuance of any building permits.
- Trash Removal for this property shall be handled by individual roll-away city totes.
- Estimated Completion for this project is 12 months.
- Improvements called for in the Traffic Study previously completed for Carellton shall be completed as outlined therein.
- All Dual Road Frontage Lots Shall be Accessed from the Minor Street.
- All Street Intersections Shall Comply with Subdivision Regulations for Vertical and Horizontal Alignment.
- Developers of the Carellton are responsible for the installation of a traffic signal at the intersection of Big Station Camp Boulevard/Long Hollow Pike/Carellton Drive per conditions of previous approval outlined in 6-28-2005 Sumner County Planning Commission minutes. A signal warrant study shall be performed by the developer(s) upon request by the City of Gallatin Engineering Division. Upon meeting signal warrants, the developer(s) shall install a signal to City standards. To ensure completion of the signal, a pro-rata surety shall be posted prior to recording of each plat in the Carellton development. The surety amount will be based upon the amount of traffic generated by the Carellton development to warrant a traffic signal as indicated in the approved traffic impact study.
- The Preliminary Master Development Plan approval is conditioned with the understanding that upon completion of the Station Camp Corridor Traffic Study by the City of Gallatin, Final Master Development Plans, including final plats and site plans, will be subject to the findings and recommendations of said study. Pro-rata contributions toward traffic infrastructure improvements, as recommended in the study or subsequent traffic studies submitted for development review and approval may be required of development impacting select needed infrastructure improvements.

Project Summary

Site Data

Councilmatic District #4
Council Person Craig Hayes

Property Location/Address:
Located at the Intersection of Long Hollow
Pike and Big Station Camp Creek Blvd
Gallatin, TN 37066

Applicant: Green Trails, LLC
Contact: Rick Deckbar
Address: 2925 Berry Hill Drive, Ste A
Nashville, TN 37204
Phone: (615) 397-4513

Developer: Green Trails, LLC
Contact: Rick Deckbar
Address: 2925 Berry Hill Drive, Ste A
Nashville, TN 37204
Phone: (615) 397-4513

Engineer: Dewey-Estes Engineering
Contact: Kevin Estes, PE
Address: 2925 Berry Hill Drive, Ste B
Nashville, TN 37204
Phone: (615) 401-9956

Site Information

Tax Map 124, Parcels 7.01 & 7.02

Zoning - R8(PRD)

Current Use: Vacant
Proposed Use: Residential (Single Family &
Multi-Family Dwelling)

Plan Preparation Date: March 26, 2014

Site Breakdown:
Total Lots - 90
Phase 2-A - 40 Lots (10.73 Acres)
Phase 2-B - 50 Lots (17.86 Acres)

Lot Breakdown:
60' Wide Lots - 19 (2-B)
50' Wide Lots - 45 (40 - 2-A, 5 - 2-B)
36' Wide Townhomes - 26 (2-B)

Open Space Area - 7.06 Acres
ROW Area - 5.33 Acres
Lot Area - 16.20 Acres

Minimum Front Yard: 20 Ft
Minimum Rear Yard: 20 Ft
Minimum Side Yard: 5 Ft
Minimum Side Yard (Corner Lot): 15 Ft

Maximum Height: 2 Stories

Parking Required:
182 Total Parking Stalls (2 Stalls/Unit)

Parking Provided:
182 Garage Stalls (2-Car Garage/Unit)

Sheet Schedule

1	C0.0	Cover Sheet
2	C1.0	Overall Layout Plan
3	C2.0	Overall Grading & Utilities Plan
4	C3.0	Overall Layout Plan

Flood Note:

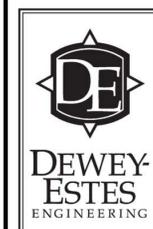
A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.

Site Benchmark:

Located at the NE Corner of Phase 1-B.
Iron Rod Found, No Cap In Fence.
NGVD 29 Elevation = 583.65'



Carellton
 Phase 2, Sections A & B APMDP & FMDP
 Being Parcels 7.01, and 7.02 on Tax Map 124
 Gallatin, Sumner County, Tennessee



Cover Sheet

Job No. 12017

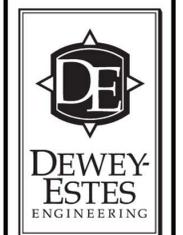
C0.0

Revisions:
4/16/14 - Revised per
Planning comments

Drawing Notes:

Date: March 26, 2014

Carellton
Phase 2, Sections A & B APMDP & FMDP
Being Parcels 7.01, and 7.02 on Tax Map 124
Gallatin, Sumner County, Tennessee

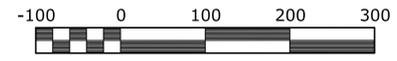
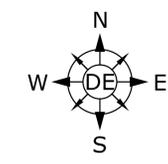


Overall
Grading &
Utilities Plan

Job No. 12017

C2.0

3 of 4



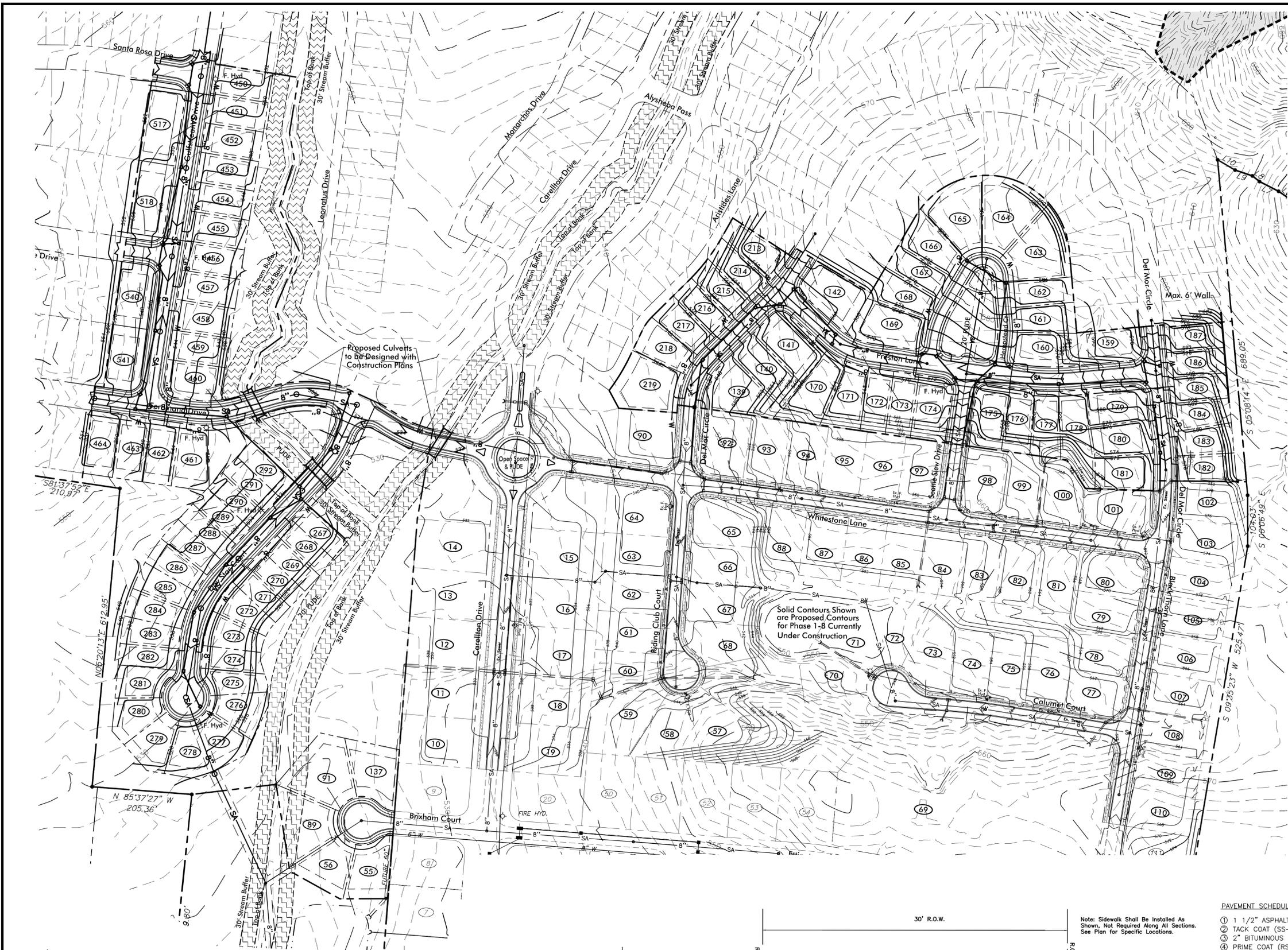
Scale 1" = 100'
Phase 2 A & B Area = 28.59 Acres

Developer
Green Trails, LLC
Contact: Rick Deckbar
2925 Berry Hill Dr, Ste A
Nashville, TN 37204
Phone: (615) 395-4513

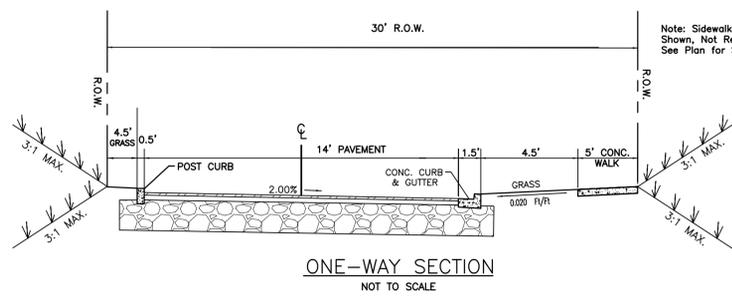
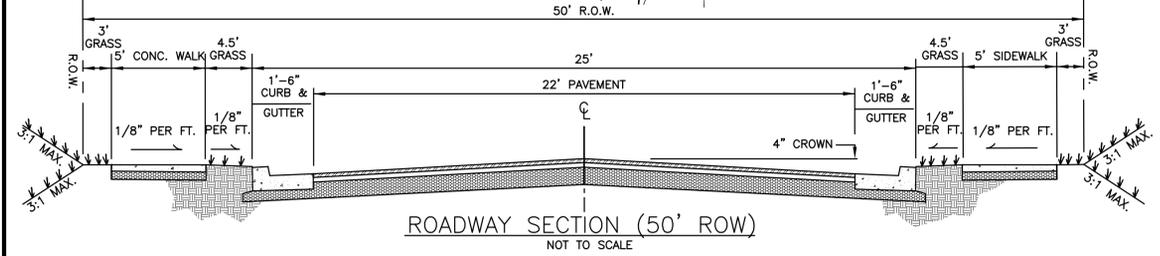
Engineer
Dewey-Estes Engineering
Contact: Michael Dewey, PE
2925 Berry Hill Drive, Ste B
Nashville, TN 37204
Phone: (615) 401-9956
E-mail: mdewey@dewey-estes.com

Flood Note
A Portion of this property is located
within a Zone 'A' Flood Hazard Area,
as indicated on FEMA Map Number
47165C0293G, dated April 17, 2012.

Benchmark
Located at the NE Corner of Phase 1-B.
Iron Rod Found, No Cap In Fence.
NGVD 29 Elevation = 583.65'

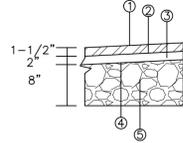


Solid Contours Shown
are Proposed Contours
for Phase 1-B Currently
Under Construction



PAVEMENT SCHEDULE

- ① 1 1/2" ASPHALTIC CONCRETE SURFACE (4110)
- ② TACK COAT (SS-1)
- ③ 2" BITUMINOUS LEVELER
- ④ PRIME COAT (RS-2)
- ⑤ 8" STONE (GRADING D PUG MILL MIX)



Note: Sidewalk Shall Be Installed As
Shown, Not Required Along All Sections.
See Plan for Specific Locations.

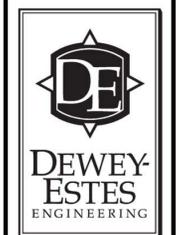


Revisions:
4/16/14 - Revised per
Planning comments

Drawing Notes:

Date: March 26, 2014

Carelton
Phase 2, Sections A & B APMDP & FMDP
Being Parcels 7.01, and 7.02 on Tax Map 124
Gallatin, Sumner County, Tennessee

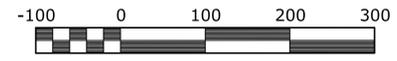
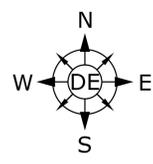


Overall
Landscape Plan

Job No. 12017

C3.0

4 of 4



Scale 1" = 100'

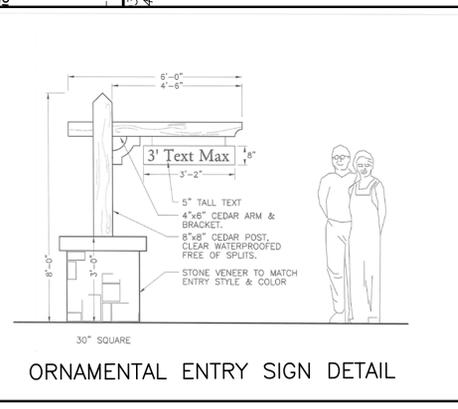
Phase 2 A & B Area = 28.59 Acres

Developer
Green Trails, LLC
Contact: Rick Deckbar
2925 Berry Hill Dr, Ste A
Nashville, TN 37204
Phone: (615) 395-4513

Engineer
Dewey-Estes Engineering
Contact: Michael Dewey, PE
2925 Berry Hill Drive, Ste B
Nashville, TN 37204
Phone: (615) 401-9956
E-mail: mdewey@dewey-estes.com

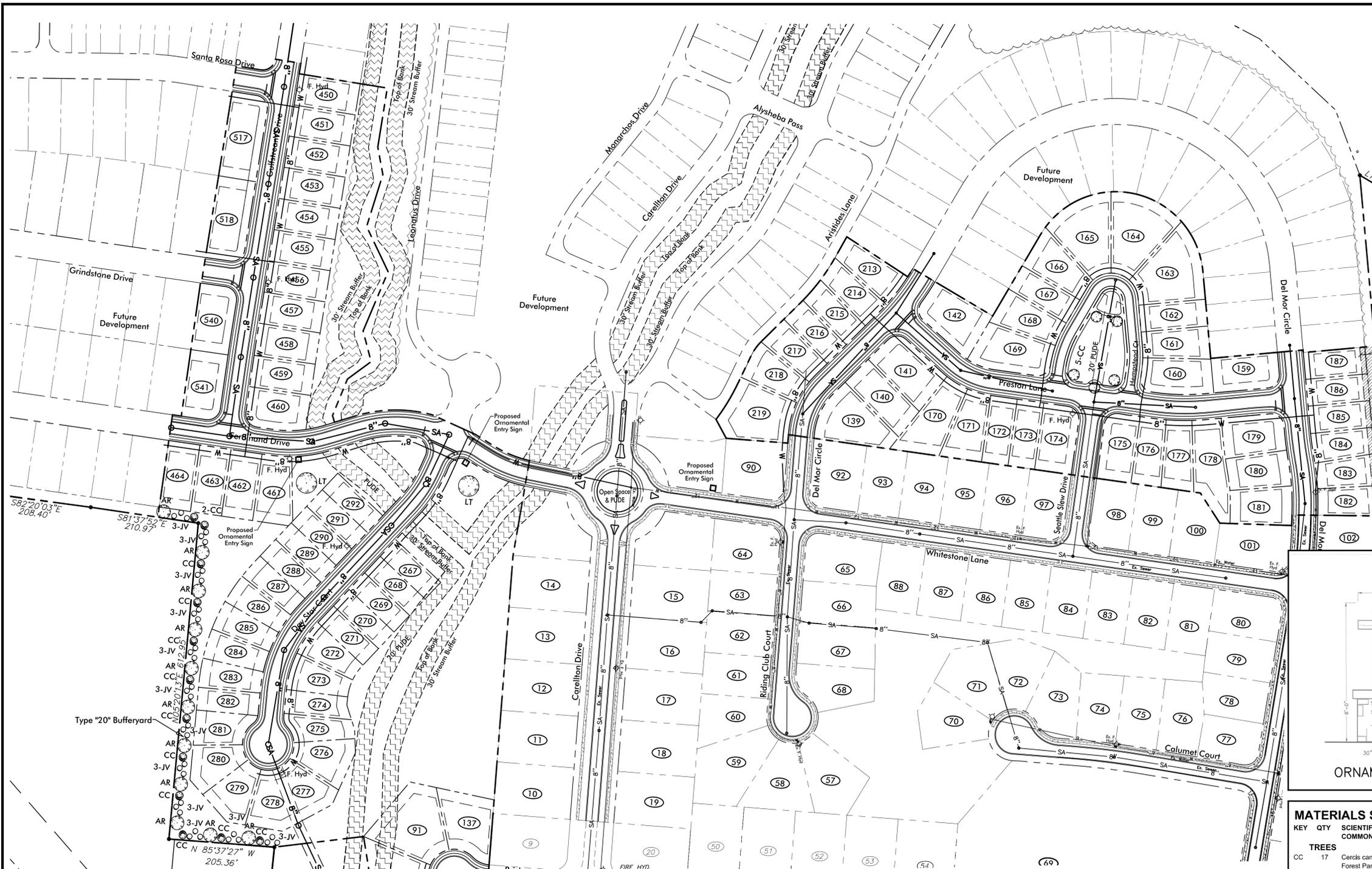
Flood Note
A Portion of this property is located within a Zone 'A' Flood Hazard Area, as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.
Benchmark
Located at the NE Corner of Phase 1-B. Iron Rod Found, No Cap In Fence. NGVD 29 Elevation = 583.65'

Note:
A Tree Survey will be provided prior to final approval of Final Master Development Plan to Determine if Any Existing Vegetation will be Utilized as Landscaping and Bufferyards.



MATERIALS SCHEDULE

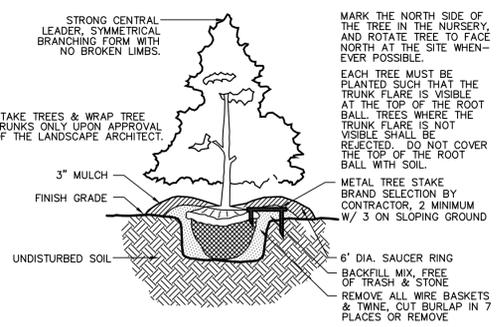
KEY	QTY	SCIENTIFIC NAME/ COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
TREES						
CC	17	Cercis canadensis 'Forest Pansy'/ Forest Pansy Redbud	8'-10'	4'-5'	2"	4' Clear Trunk
LT	2	Liriodendron tulipifera/ Tulip Poplar	12'-14'	6'-7'	2-1/2"	5' Clear Trunk
AR	11	Acer rubrum/ Red maple	12'-14'	6'-7'	2-1/2"	5' Clear Trunk
JV	36	Juniperus virginiana/ Red Cedar	6'-8'	3'-4'	F.T.B.	
TURF						
SEED		Turf Mixture				REMARKS 80% Rebel Supreme, 20% Merion Bluegrass. Seed all disturbed areas @ 5#/1,000 sf.
MISCELLANEOUS						
MULCH		Shredded Hardwood Bark Mulch				Minimum 3" depth throughout. Min. 4" deep on slopes greater than 3:1.
NOTES						
F.T.B. = Full To Bottom Site Surety Required for Required Landscaping.						



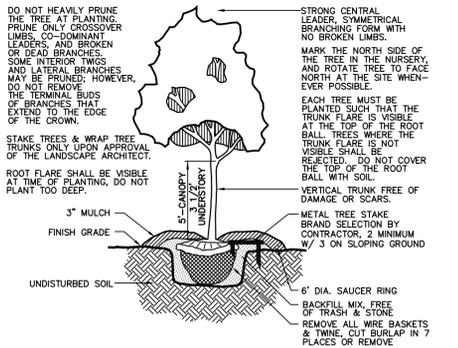
LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
- ALL PLANTING AND MULCH BEDS SHALL BE HAND WEEDED OR SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
- PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12#/1000 S.F. OF 10-10-10 FERTILIZER.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
- ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4' MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.
- NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY THE DESIGN PROFESSIONAL. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
- ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF, BURLAP SHOULD BE REMOVED OR PUNCTURED IN AT LEAST 5 PLACES. REMOVE ALL TWINE FROM BURLAPPED MATERIALS.

NOTE: HOSE BIBBS SHALL BE PROVIDED TO WITHIN 100 FT OF ALL PLANTED MATERIAL OR INSTALL IRRIGATION SYSTEM TO ALL PLANTED MATERIAL. IRRIGATION SYSTEM TO BE DESIGNED BY QUALIFIED INSTALLER (DESIGN/BUILD), AND BE INSTALLED AND OPERATIONAL BEFORE COMPLIANCE INSPECTION.
PLANT MATERIAL SHALL NOT BE SUBSTITUTED WITHOUT COORDINATION WITH THE DESIGN PROFESSIONAL. MATERIAL AND QUANTITIES SHOWN ARE REQUIRED BY THE CODES DEPARTMENT.
IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ALL UTILITIES AND EASEMENTS & TO NOTIFY DESIGN PROFESSIONAL OF DISCREPANCIES AND CONFLICTS.
ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARDS FOR NURSERY STOCK MINIMUM PLANT MATERIAL REQUIREMENTS. MATERIALS NOT MEETING THESE STANDARDS WILL BE REJECTED.



EVERGREEN TREE PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL



A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A SITE PLAN FOR CONSTRUCTION OF A 33,079 SQUARE FOOT BUILDING ON A TRACT CONTAINING 11.28 (+/-) ACRES LOCATED AT 1399 GATEWAY DRIVE (PC0269-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Site Plan submitted by the applicant, Civil Site Design Group, at its regular meeting on April 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-7-201(a), 13-4-310, and G.Z.O., § 15.03.020:

1. The proposed Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance.
2. The proposed Site Plan is consistent with the purpose and intent of the Industrial Restrictive (IR) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning District.
3. Once completed, the proposed Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Architectural Requirements (G.Z.O., Section 13.08), Landscaping Requirements (Section 13.05), Pedestrian and Bicycle Standards (G.Z.O., Section 13.10), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), and the Flood Prevention and Protection Regulations (G.Z.O., Section 10.03).

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approve Resolution 2014-31, Site Plan for Project Buckeye, Tract 9, Gallatin Industrial Park, Phase 2, consisting of a nine (9) sheet plan, prepared by Civil Site Design Group of Nashville, Tennessee with Job No. 13-127-01, dated March 26, 2014, with a latest revision date of April 16, 2014, and architectural elevations, consisting of one (1) sheet as part of the Site Plan, and five (5)

ITEM 4

sheets of separate architectural elevations prepared by Johnson & Associates, Architects, LLC, of Goodlettsville, Tennessee, with Project No. A07-012014, dated April 15, 2014, with the following conditions:

1. The Planning Commission determined that the proposed alternative architectural elevations meet the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance and granted approval.
2. The Planning Department shall inspect the exterior building façade materials prior to the installation of the exterior building façade materials.
3. The Planning Commission determined that the proposed alternative landscaping plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance and granted approval.
4. Submit photometric plan that meets G.Z.O., Section 13.02.080, *Performance Standards Regulating Glare and Electromagnetic Interference*.
5. Submit details of the proposed light poles (including shoe box design fixtures) and provided details of the proposed wall mounted accent lighting fixtures for the building.
6. Once the business name is public, the applicant shall submit details of all proposed permanent signs to the Planning Department for review and approval in compliance with G.Z.O. Section 13.07.065. F, *Master Signage Plan*. Sign permits shall be obtained prior to the installation of any signage on site.
7. Correct the dimensions of the freestanding sign detail shown on Sheet A400 of the Site Plan to match the detail included with the architectural elevations.
8. Submit details of the proposed dumpster enclosure for review and approval by the Planning Department. Dumpster enclosure shall match the color scheme of the building and satisfy Section 14-14, *Nonresidential Establishment Containers, Storage, and Requirements* of the Gallatin Municipal Code.
9. Provide a copy of the Aquatic Resource Alteration Permits (RAP's) for the two (2) stream crossings (roadway and utility) and Notice of Coverage (NOC).
10. Provide a copy of signed and recorded stormwater inspection and maintenance agreement.
11. Remove the "future crosswalk" at the entrance shown on the Site Plan.
12. Indicate water quality riser to be installed on initial grading plan and water quality riser to be removed upon final stabilization.
13. Submit a site surety, in the amount of \$213,850, to the Planning Department prior to issuance of a building permit.
14. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

ITEM 4

NAY:

DATED: 4/28/14

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY



ITEM 4
PLANNING DEPARTMENT STAFF REPORT
Site Plan for Project Buckeye (PC0269-14)
1399 Gateway Drive
Date: April 23, 2014

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A SITE PLAN FOR PROJECT BUCKEYE TO CONSTRUCT A 33,079 SQUARE FOOT BUILDING ON PROPERTY CONTAINING 11.28 (+/-) ACRES LOCATED AT 1399 GATEWAY DRIVE.

OWNER: CITY OF GALLATIN

APPLICANT: CIVIL SITE DESIGN GROUP

STAFF RECOMMENDATION: APPROVAL OF GMRPC RESOLUTION NO. 2014-31 WITH CONDITIONS

STAFF CONTACT: KATHERINE SCHOCH, AICP

PC MEETING DATE: APRIL 28, 2014

PROPERTY OVERVIEW: The owner and applicant are requesting approval of a Site Plan for Project Buckeye to construct a 33,079 square foot building on property containing 11.28 (+/-) acres located at 1399 Gateway Drive. This property is located on track 9 in Phase 2 of the Gallatin Industrial Center as shown on the boundary line survey and is zoned Industrial Restrictive (IR) (Attachment 4-1 and 4-3). The business is classified as an Intermediate Manufacturing facility, which is a permitted use in the IR zoning district. According to the applicant, the Project Buckeye name represents a business that manufactures liquid pigment dispersions for composites, paints, and coatings for various types of products. Project Buckeye is the first Site Plan submitted for the second phase of the Gallatin Industrial Center. The property is currently owned by the City of Gallatin.

The final architectural elevations for the building do not meet the Basic Design Criteria of the Gallatin Zoning Ordinance, Section 13.08.010.A, *Materials*, since the building is shown to be constructed with metal panels and will not contain the required 70 percent brick or stone on each building façade (Attachment 4-2). The owner and applicant are requesting approval of an alternative architectural plan. The Planning Commission shall determine whether the proposed plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance. The owner and applicant are also requesting approval of an alternative bufferyard plan, per G.Z.O. Section 13.04.100.C, *Alternative Plan Approval*, to utilize many of the existing mature trees on site towards the interior parking lot planting landscape requirements. The Planning Commission shall determine if the alternative landscaping plan meets the requirements of the Gallatin Zoning Ordinance.

CASE BACKGROUND:

Property History and Previous Approvals

Tax Map and Parcel #112//012.00

At the January 23, 1989 meeting, Planning Commission recommended approval of Ordinance O89-513 (Attachment 4-4) to rezone the Bradley Industrial Center property from Agriculture (A) to Industrial Restrictive (IR) and Ordinance O89-523 (Attachment 4-5) for a Plan of Service and Annexation of 107.01 acres to the Gallatin City Council (PC Files # 3-101-88 and #6-100-88 respectively). Both ordinances passed Second Reading at the March 21, 1989 City Council meeting.

The City of Gallatin purchased the Bradley Industrial Park property, containing 244.36 (+/-) acres including Tax Map and Parcel #112//012.00, in 1991. Ordinance No. 091-725 passed Second Reading at the October 1, 1991 City Council meeting (Attachment 4-6).

At the March 22, 2010 meeting, Planning Commission approved GMRPC Resolution No. 2010-02 to amend the *Gallatin on the Move 2020 General Development and Transportation Plan*, Chapter 4, Multi-modal Transportation Plan, to add the extension of Gateway Drive into the new phase of the industrial park as a Proposed Roadway Project and Major Thoroughfare Plan extension (PC File #7-1-10) (Attachment 4-7). The amendment was added to the *2020 Plan* and listed in Chapter 4, Amendments, as project #44, Extension of Gateway Drive (Attachment 4-8).

A Site Plan for the Gallatin Virtual Building Program was approved with conditions by the Planning Commission at the September 23, 2013 meeting (PC0168-13). The Virtual Building Program concept first introduced in 2008 allowed Planning Commission to approve a general Site Plan for three (3) different size buildings for any type business permitted in the IR zone district in order to fast-track the building plan review and construction process. The main goal of the program was to recruit new business to the City's industrial park by expediting the approval and construction process, but the Economic Development Agency did not move forward with the project.

At the January 27, 2014 meeting, Planning Commission approved the final plat for the Gallatin Industrial Center, Phase 2 that re-platted a portion of the Gallatin Industrial Center, (4) previously unplatted parcels, and a portion of the former railroad right-of-way, and dedicated right-of-way for Gateway Drive (PC0237-14). The plat was recorded on April 7, 2014; PB 28, PG 131-132. (Attachment 4-9).

DISCUSSION:

Gallatin on the Move 2020 General Development and Transportation Plan

This property is identified as being part of the Airport Road Industrial Special Area on the Community Character Area Map (Attachment 4-10). One of the intentions of the Airport Road Industrial Special Area is to provide for diverse industrial uses while protecting air and water quality (Attachment 4-11). According to the *2020 Plan*, future development in this special area should prevent adverse impacts to natural resources and surrounding population. The proposed manufacturing facility is the type of use envisioned for this property as the extension of the City's industrial park.

According to the *2020 Plan*, a future greenway is shown to extend through the park along the abandoned railroad right-of-way; however, there are no immediate plans for the City to extend the greenway at this time (Attachment 4-10).

Surrounding Zoning

The project site is surrounded by IR zoned property on all sides. Many of the businesses in Phase 1 of the Gallatin Industrial Center also contain manufacturing, transport, and warehousing activities similar to those proposed by Project Buckeye.

Natural Features

This property is currently vacant and no portion of this property is located within a special flood hazard area (Attachment 4-1; sheet C1.00). According to the applicant's tree survey, the property currently contains 892 caliper inches of healthy mature trees (Attachment 5-1; L1.00). Although this property is not located in a special flood hazard area, the property features a stream which meanders between the development site and Gateway Drive. Existing stream buffers are shown along the eastern and southwestern side of the property. The width of the buffers vary, but average approximately 30-feet, which exceeds the 15-foot buffer requirement.

Architectural Elevations

The proposed 33,079 square foot building with (2) elevations including an office and warehouse/manufacturing facility. A 3,258 square foot office will be located at the front of the property fronting Gateway Drive and a 29,821 square foot manufacturing area will be attached towards the back of the site with a proposed height of 26 feet. The architectural elevations call for the use of vertical metal wall panels on all sides with beige E.F.I.S. and matching precast stone veneer to be installed along the sides of the building.

The main entrance to the building is identified by a large white and dark red E.I.F.S. archway and two (2) beige E.I.F.S. columns under a canopy over the front doors (Attachment 4-1; Sheet A400 and Attachment 4-2). A blue, standing seam metal hipped roof is also proposed with parapets to completely screen the roof top mechanical equipment in compliance with G.Z.O., Section 13.08.010.F, *Screening*. A portion of a screening wall is also visible from Gateway Drive and will be used to screen the exterior mechanical equipment on site. The red, white, and blue color scheme reflects the company's corporate brand. A sample color and material board will be presented at the Planning Commission meeting for review and approval.

A portion of the manufacturing area will be visible from the Gateway Drive right-of-way. The elevations show the extension of the stone veneer along the bottom two-thirds portion of the building with sandstone colored metal building panels on the remaining top portion of the wall. A dark red accent band is shown above the metal panels and it runs along the perimeter of the entire building. A blue, flat metal roof is shown on the manufacturing portion of the building to match the color of the hipped roof on the front of the building.

The south façade features metal panels and six (6) roll up dock doors for the delivery area. According to the applicant, the dock and delivery area will be gated for safety reasons. A small portion of the office is also visible from this direction and the stone veneer is shown along the bottom portion of the office building. The west façade matches the south façade

of the building in terms of construction materials and features (2) roll up dock doors. The rear façade of the building faces north and features the metal panels and stone veneer along the bottom portion of the left half of the building. The north side of the office building will be visible from this direction and the brick veneer will be installed along the bottom portion of the building. According to the applicant, there are no plans for any exterior storage on site.

The applicant submitted color photographs of many existing buildings in the Gallatin Industrial Park, Phase 1 that have used similar construction materials, including metal panels, standing seam metal roofs, precast stone veneer, and E.I.F.S. Many of the existing buildings in the photographs also feature a similar color scheme (Attachment 4-12). Staff researched the approval of some of these existing buildings and many of the Site Plans were approved with alternative architectural plans.

Since the architectural elevations do not meet the 70 percent masonry requirement for the IR zone district, the owner and applicant are requesting approval of the alternative architectural plan for the proposed project per Section 13.08.010.D of the Gallatin Zoning Ordinance. The percentages of each building material for each façade have been provided by the architect on Sheet A400 (Attachment 4-1). The front façade features the most masonry and calls for 73 percent metal panels, 22 percent stone veneer, and five (5) percent E.I.F.S. The percentages of the metal panels on the other sides range between 84-97 percent. The Planning Commission shall make a decision on whether the proposed alternative architectural plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance and, if so, grant approval.

The Planning Department shall inspect the exterior building façade materials prior to the installation of the exterior building façade materials.

Please note that restrictive covenants for the Gallatin Industrial Center, Phase 2 were prepared this year and recorded in RB 3912, PG 566-575. (Attachment 4-13). These restrictions address such items as building design, exterior storage, and landscaping maintenance. The applicant shall design and construct the project to meet these restrictive covenants.

Dumpster Enclosures

One (1) dumpster areas is shown on the southern side of the buildings near the loading bays; however, no details of the required dumpster screening were included with the Site Plan. Note 6 on the Site Plan indicates that the dumpster will be a maximum height of (6) feet and the dumpster enclosure materials would match the proposed building at a height of eight (8) feet. The applicant shall submit details of the proposed dumpster enclosure for review and approval by the Planning Department. The dumpster enclosure shall match the color scheme of the building and satisfy Section 14-14, *Nonresidential Establishment Containers, Storage, and Requirements* of the Gallatin Municipal Code.

Photometric Plan

A photometric plan has not been submitted for this project. The applicant shall submit a photometric plan that meets the Gallatin Zoning Ordinance's requirements for maximum height of light fixtures and light levels along the property boundaries according to G.Z.O.,

Section 13.02.080, *Performance Standards Regulating Glare and Electromagnetic Interference*. The applicant shall also submit details of the proposed light poles (including shoe box design fixtures) and provide details of the proposed wall mounted accent lighting fixtures for the building.

Access and Parking

The primary access point is shown off Gateway Drive (Attachment 4-1; Sheet C1.00). This driveway leads first to the front parking area and also extends behind the main office to an area designed to accommodate truck parking and loading. This area will be paved with heavy duty concrete.

A future driveway connection is shown further north on Gateway Drive. That access point leads to an area designated on the site plan for future parking. According to the applicant, the future access point and parking area are shown for the possible relocation of the corporate offices in five (5) to seven (7) years. If the project expands to include additional phases in the future, an updated Site Plan shall be submitted for review and approval by the Planning Commission.

Parking requirements are based on the use of the property. The manufacturing use requires one (1) space per 5,000 square feet. The office use requires one (1) space per 300 square feet. Based on these ratios, a total of 43 parking spaces are required. The Site Plan shows 43 parking spaces, including two (2) handicapped parking spaces located directly in front of the main entrance to the building.

Bufferyards and Landscaping

Since the site is surrounded by IR zoned property in all directions, no bufferyards are required. There is a large amount of existing vegetation along the east and southwestern side of the property. All trees on the property measuring 4.5 inch caliper and larger were inventoried and shown on the tree survey (Attachment 4-1; Sheet L1.00).

The applicant is requesting approval of an alternative landscaping plan per Section 13.04.100.C of the Gallatin Zoning Ordinance and will preserve many of the existing mature trees on the property to help meet the interior landscaping requirements. The Planning Commission shall make a decision on whether the proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance and, if so, grant approval.

In addition to the existing trees on site, the landscaping plan includes five (5) canopy trees to be installation along the perimeter of the front parking area and five (5) understory trees to be installed along the side of the screening wall behind the building. A total of 89 evergreen shrubs will also be installed along the front of the parking area adjacent to the Gateway Drive right-of-way (Attachment 4-1; Sheet L1.00).

Stormwater and Detentioning

A large detention pond will be constructed on the south side of the property adjacent to Gateway Drive (Attachment 4-1; Sheet C2.00). The applicant has shown the necessary Public Utility and Drainage Easements on the site plan. Drainage calculations have been submitted to the Engineering Division for review and were approved on April 23, 2014.

Signs

The applicant has submitted a detail of the proposed freestanding sign to be located on the south side of the entrance to the site off Gateway Drive (Attachment 4-1; Sheet A400 and Attachment 4-2; Detail Sheet). The sign is shown to be located behind the 20-foot front yard and Public Utility and Drainage Easement (P.U.D.E.). The proposed sign will be painted wood to match the building color scheme with stone veneer columns on both sides. The sign is seven (7) feet, six (6) inches tall and 14 feet wide and landscaping will be installed around the concrete base. The proposed sign meets the requirements of G.Z.O. Section 13.07, *Sign Regulations* (Attachment 4-2; Detail Sheet). The applicant shall correct the dimensions of the freestanding sign detail shown on Sheet A400 of the Site Plan to match the detail included with the architectural elevations.

A wall-mounted sign is also shown on the front façade of the building facing Gateway Drive; however, no details were submitted other than the dimensions listed on Sheet A400 and shown on Sheet A400-1). Once the business name is public, the applicant shall submit details of all proposed permanent signs to the Planning Department for review and approval in compliance with G.Z.O. Section 13.07.065. F, *Master Signage Plan*. Sign permits shall be obtained prior to the installation of any signage on site.

Site Surety Required

The applicant submitted a site surety calculation based on the spreadsheet provided by the Planning Department. The site surety, in the amount of \$213,850 will cover site improvements such as paving, concrete, drainage infrastructure, landscaping, and fire hydrants. The site surety shall be submitted to the Planning Department prior to the issuance of a building permit in accordance with G.Z.O. Section. 15.03.080, *Surety Required*.

Other Departmental Comments**• Engineering Division**

The applicant addressed the majority of the Engineering Division's review comments. Following the latest review of the Site Plan, the Engineering Division asked the applicant to provide a copy of the Aquatic Resource Alteration Permits (RAP's) for the two (2) stream crossings (roadway and utility) and Notice of Coverage (NOC) and provide a copy of signed and recorded stormwater inspection and maintenance agreement. In addition, the applicant shall remove the "future crosswalk" at the entrance. Finally, the applicant shall indicate a water quality riser to be installed on initial grading plan and removal of the water quality riser upon final stabilization.

• Police Department

The Police Department indicated that they had reviewed the Site Plan, but provided no other review comments.

• Department of Public Utilities

The Department of Public Utilities noted that they have no problem with the water, sanitary sewer, or natural gas utilities as shown for the proposed project.

- **Industrial Pre-treatment Department**
The Industrial Pre-treatment Department stated that the proposed facility shall comply will all applicable cross-connection control and sewer use regulations.
- **Fire Department**
The Fire Department indicated that there were no comments; however, it was noted that all applicable fire codes shall be followed for building construction.
- **Sumner County E-911**
The Sumner County E-911 addressed the building as 1399 Gateway Drive, which is included on the Site Plan.
- **Codes Department**
The Codes Department provided no review comments on the Site Plan.
- **Department of Electricity**
The Department of Electricity indicated that they were "O.K." with the project and did not provide any other review comments.

Departmental comments not addressed by the resubmittal have been added as conditions of approval.

Findings:

1. The proposed Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance.
2. The proposed Site Plan is consistent with the purpose and intent of the Industrial Restrictive (IR) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning District.
3. Once completed, the proposed Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Architectural Requirements (G.Z.O., Section 13.08), Landscaping Requirements (Section 13.05), Pedestrian and Bicycle Standards (G.Z.O., Section 13.10), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00) , Stormwater Regulations (Gallatin Municipal Code, Chapter 18), and the Flood Prevention and Protection Regulations (G.Z.O., Section 10.03).

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-31, Site Plan for Project Buckeye, Tract 9, Gallatin Industrial Park, Phase 2, consisting of a nine (9) sheet plan, prepared by Civil Site Design Group of Nashville, Tennessee with Job No. 13-127-01, dated March 26, 2014, with a latest revision date of April 16, 2014, and architectural elevations, consisting of one (1) sheet as part of the Site Plan, and five (5) sheets of separate architectural elevations prepared by Johnson & Associates, Architects,

LLC, of Goodlettsville, Tennessee, with Project No. A07-012014, dated April 15, 2014, with the following conditions:

1. The Planning Commission shall determine whether the proposed alternative architectural elevations meet the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance and, if so, grant approval.
2. The Planning Department shall inspect the exterior building façade materials prior to the installation of the exterior building façade materials.
3. The Planning Commission shall determine whether the proposed alternative landscaping plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance and, if so, grant approval.
4. Submit photometric plan that meets G.Z.O., Section 13.02.080, *Performance Standards Regulating Glare and Electromagnetic Interference*.
5. Submit details of the proposed light poles (including shoe box design fixtures) and provided details of the proposed wall mounted accent lighting fixtures for the building.
6. Once the business name is public, the applicant shall submit details of all proposed permanent signs to the Planning Department for review and approval in compliance with G.Z.O. Section 13.07.065. F, *Master Signage Plan*. Sign permits shall be obtained prior to the installation of any signage on site.
7. Correct the dimensions of the freestanding sign detail shown on Sheet A400 of the Site Plan to match the detail included with the architectural elevations.
8. Submit details of the proposed dumpster enclosure for review and approval by the Planning Department. Dumpster enclosure shall match the color scheme of the building and satisfy Section 14-14, *Nonresidential Establishment Containers, Storage, and Requirements* of the Gallatin Municipal Code.
9. Provide a copy of the Aquatic Resource Alteration Permits (RAP's) for the two (2) stream crossings (roadway and utility) and Notice of Coverage (NOC).
10. Provide a copy of signed and recorded stormwater inspection and maintenance agreement.
11. Remove the "future crosswalk" at the entrance shown on the Site Plan.
12. Indicate water quality riser to be installed on initial grading plan and water quality riser to be removed upon final stabilization.
13. Submit a site surety, in the amount of \$213,850, to the Planning Department prior to issuance of a building permit.
14. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

ATTACHMENTS

- Attachment 4-1 Site Plan and Architectural Elevation
- Attachment 4-2 Color Architectural Elevations and Freestanding Sign Detail
- Attachment 4-3 Boundary Line Survey, Tract 9, Gallatin Industrial Park property
- Attachment 4-4 Ordinance No. O89-513 Rezoning of Bradley Industrial Park
- Attachment 4-5 Ordinance No. O89-523 Plan of Service and Annexation
- Attachment 4-6 Ordinance No. O91-725 for purchase of Bradley Industrial Park
- Attachment 4-7 GMRPC Resolution No. 2010-02 Gateway Drive Roadway Project
- Attachment 4-8 *2020 Plan* Chapter 4 Amendments, Extension of Gateway Drive
- Attachment 4-9 Gallatin Industrial Center, Ph. 2 Final Plat

- Attachment 4-10 Gallatin on the Move 2020 Community Character Area Map
- Attachment 4-11 *2020 Plan* Special Area Character Category; pgs. 3-54 & 3-55
- Attachment 4-12 Photos of existing buildings in Gallatin Ind. Park, Ph. 1 & location map
- Attachment 4-13 Gallatin Industrial Center, Ph. 2 Restrictive Covenants

LEGEND

- ROUND PIN OR PIPE (PCU)
- SET POINT PIN (POU)
- ROAD MARKER (PMO)
- SET POINT MARK (PMU)
- ELECTRIC MOUNTING BOX
- CABLE FEDERAL
- LIGHT POLE
- POWER POLE
- GUY WIRE
- BENCH MARK
- DECIDUOUS TREE
- CONIFEROUS TREE
- FLOWERING TREE
- SHRUB / BUSH
- TELEPHONE HANGAR
- PHONE FEDERAL
- GAS METER
- GAS VALVE
- STORM SEWER MANHOLE
- CATCH BASIN OR CURB INLET
- SANITARY SEWER MANHOLE
- FENCE
- GUARDRAIL
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- PORT INDICATOR VALVE
- MONITORING WELL
- GEOTECHNICAL TEST PIT

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	TANGENT
CT1	1240.00'	436.72'	416.71'	S 27°58'00" W	212.61'



VICINITY MAP (1:25,000)

LEGAL DESCRIPTION

BEING located in the 2nd Civil District of Sumner County, Tennessee, being located northwesterly of the Gateway Drive and Cassman Way Intersection and being a portion of the City of Gallatin Property as recorded in Book 2643, Page 348, in the Register's Office of Sumner County, Tennessee and being more particularly described as follows:

BEING that a new easement in the westerly right-of-way of Gateway Drive, said easement also being the easterly water easement in said strip.

THENCE starting said westerly right-of-way of Gateway Drive and continuing along with a new easement line across the City of Gallatin Property, S 61°11'23" E 827.09' to a new iron pin easement, and continuing along with a new easement line across the City of Gallatin Industrial Center as recorded in Plat Book 23, Page 103, in the Register's Office of Sumner County, Tennessee.

THENCE continuing along with Lot 3 of Gallatin Industrial Center S 10°24'18" E a distance of 28.64' to a new iron pin easement, and continuing along with a new easement line across the City of Gallatin Industrial Center as recorded in Plat Book 23, Page 103, in the Register's Office of Sumner County, Tennessee, N 07°03'00" E 768.50' to a new iron pin easement.

THENCE continuing along with Lot 3 of Gallatin Industrial Center and the PE USA Inc. Property as recorded in Book 1940, Page 143, in the Register's Office of Sumner County, Tennessee, N 07°03'00" E a distance of 78.50' to a new iron pin easement.

THENCE leaving said PE USA Inc. Property and continuing along with a new easement line across the City of Gallatin Property, S 61°11'23" E a distance of 87.00' to a new iron pin easement, and continuing along a point in the westerly right-of-way of Gateway Drive.

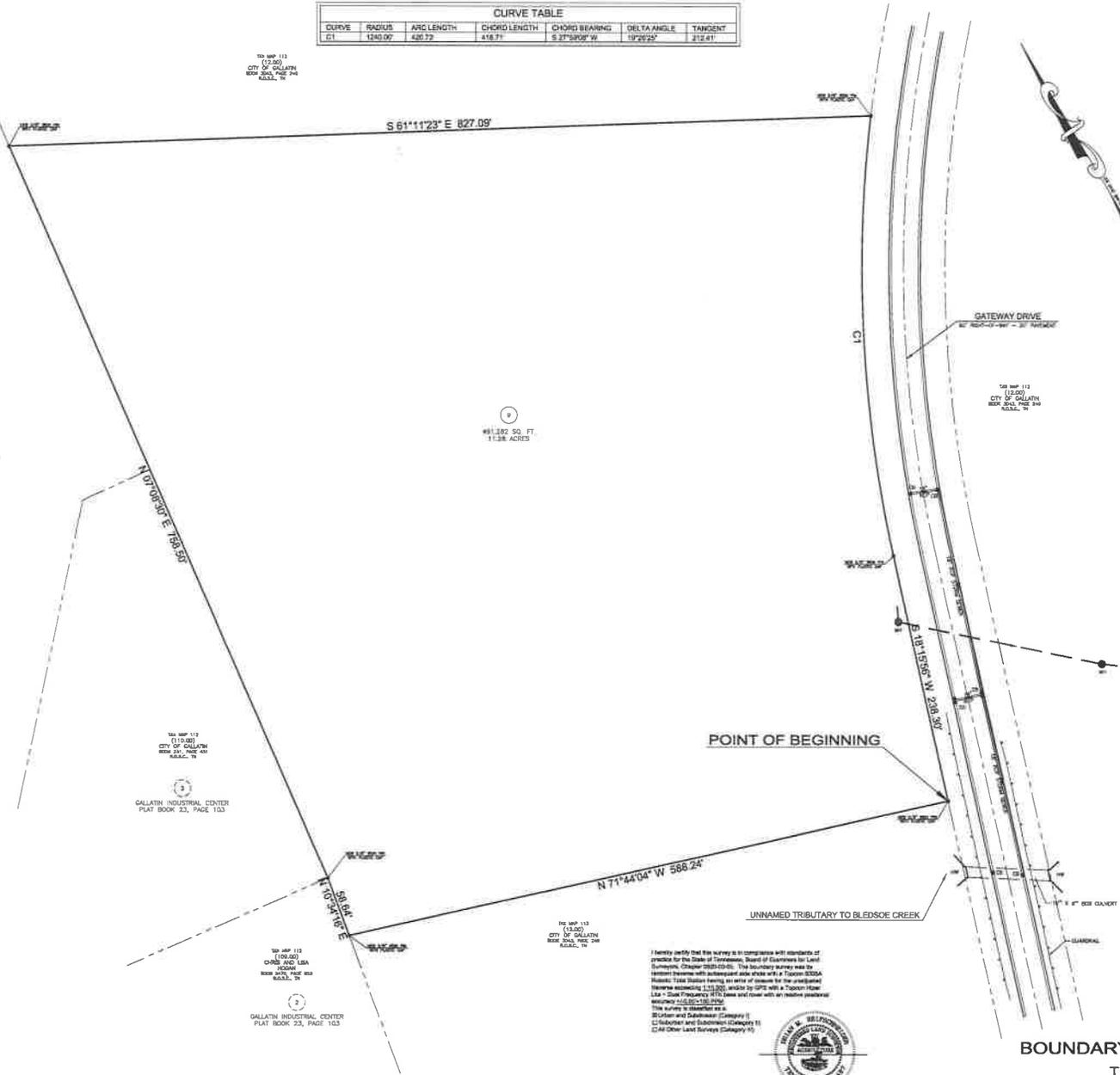
THENCE continuing along with the westerly right-of-way of Gateway Drive the following iron call: with a non-adjacent curve starting in the left with an arc length of 436.72', with a radius of 1240.00', with a chord bearing of S 27°58'00" W, with a chord length of 416.71', to a new iron pin easement.

THENCE S 17°15'50" W a distance of 238.20' to a new iron pin easement, which is the point of beginning, having an area of 491,242 square feet, 11.28 acres more or less.

All bearings based on Tennessee State Plane (NAD 83).

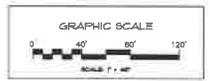
This description was prepared by Blue Ridge Surveying, Inc., certified by Travis M. Runkhender N.E.S. #3497, and dated November 29, 2013.

ATTACHMENT
4-3



- SURVEYOR'S NOTES**
- The utility information shown herein was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist that may not be shown, or they may have been shown in error. No guarantee is expressed or implied in regard to the utility location and location. The Designer and Client/Owner shall assume responsibility to verify utility existence, size, location, depth, and ownership of service, and be solely responsible for obtaining the utility location before any construction.
 - Subsurface and environmental conditions were not explored or considered as a part of this survey. No statement is made concerning the existence of underground structures, utilities, voids, metallic materials, uncharted grave sites, or debris that may affect the use or development of the tract.
 - This survey was prepared in accordance with my field survey notes. It shows measurements as they were taken in the field of my knowledge, but is not guaranteed to be correct in such and every detail.
 - The property shown herein is located within the City of Gallatin, City Limits and Sumner County, Tennessee. All matters pertaining to construction, use, location of improvements, siting, parking, noise, vibration, emissions, fire hazards, landscaping, reduction, deterioration, wetland provisions, etc., are subject to the zoning regulations as interpreted and regulated by the Department of Planning and Code.
 - Current zoning is "M" Industrial Planned-District From Subsect - 29' Min Subsect - 17' Near Subsect - 20'
 - The total area of the parcel as shown herein is 11.28 Acres or 491,242 Square Feet.
 - This property currently identified as a portion of Parcel 12.28 of on Tax Map No. 112. For designation purposes that (DCC) includes Parcel 12.28 of said map.
 - Check reference: Record Book 2643, Page 348, as recorded in the Register's Office, Sumner County, Tennessee.
 - Bearings based on Tennessee State Plane (NAD 83).
 - By my review of available information, which is subject to map inaccuracies and omissions, the property is in Zone 2C of the Flood Insurance Rate Map Municipal Panel Number 2718629102 effective from 08/01/2012.
 - Only an identified condition can be observed the exact description based on the information above, this property is NOT in a special flood hazard area.
 - This survey was prepared from current deeds of record without the benefit of field and does not require a title search or a guarantee of title, and is subject to any error of fact or current, old, or accurate search may reveal. No investigation or independent search by me, or any other person, was made to determine the correctness of the evidence hereon shown. The surveyor reserves the right to refuse any amendment or modification to any part of the survey.
 - The Surveyor's liability for this document shall be limited to the party shown in the file of the survey, and does not extend to any unrecorded corner or angles without an expressed notification.
 - All new corner monuments are 50" x 10" iron pins with plastic caps equipped "REFLECTOR" TN 2467 "NY 3721". All new corner monuments in rock, concrete or paved areas are 2" x 1" brass disk equipped "TN 2467 "NY 3721" unless otherwise noted.

I hereby certify that this survey is in compliance with standards of practice for the State of Tennessee, Board of Examiners for Land Surveyors, Chapter 0302-03-01. The boundary survey was for historic purposes with no adjacent side areas with a Tapered Edge. Results: This Station having an area of 491,242 square feet, 11.28 acres more or less, which is equal to 491,242 square feet, 11.28 acres more or less. L&A - Blue Ridge Surveying, Inc. Date and hour with an effective date: 11/29/2013 10:00 AM. The survey is classified as a Boundary and Subdivision (Category II) or Suburban and Subdivision (Category II) or Other Land Survey (Category III).



BOUNDARY LINE SURVEY
TRACT 9
CITY OF GALLATIN INDUSTRIAL PARK PROPERTY
 GATEWAY DRIVE, 2ND CIVIL DISTRICT
 GALLATIN, SUMNER COUNTY, TENNESSEE
 PREPARED FOR:
CITY OF GALLATIN - ECONOMIC DEVELOPMENT AGENCY
 12 WEST MAIN STREET
 GALLATIN, TENNESSEE 37086
 DATE OF SURVEY: NOVEMBER 27, 2013
 DATE OF DRAWING: NOVEMBER 29, 2013

AN ORDINANCE TO AMEND THE ZONING ORDINANCE
OF THE CITY OF GALLATIN

BE IT ORDAINED BY THE CITY OF GALLATIN, TENNESSEE, THAT:

SECTION 1: That the zone of the real property herein-
after described to be changed from Agricultural to Industrial
Restrictive, and that all the uses permitted under the zoning
ordinances of the City of Gallatin for said district be
allowed in accordance with all the related provisions con-
tained in said zoning ordinance. The property to be rezoned
is described as follows, to-wit:

BEGINNING at an iron pin in the westerly
right-of-way of the CSX railroad, said
iron pin also beginning at the northeast
common corner of the Bradley Industrial
Center and the Southeast corner of subject
property more particularly described
as follows:

THENCE continuing with the common line
of herein described property and Bradley
Industrial Center for the next five calls,
North 85° 38' 20" West, a distance of
277.29' to an iron pin, thence; South
04° 40' 40" West, a distance of 152.62'
to an iron pin, thence; North 84° 28'
00" West, a distance of 613.86' to an
iron pin, thence; North 08° 24' 20" East,
a distance of 660.00' to an iron pin,
thence; North 04° 28' 00" East, a distance
of 1,463.27' to an iron pin; said iron
pin being common corner with Bradley
Industrial Center, Mary Ellen Wemy SS
Lovell and subject property, thence;
continuing with Mary Ellen Wemy SS Lovell
and subject property for the next two
calls, South 84° 50' 20" East, a distance
of 624.11' to an iron pin, thence; North
06° 18' 00" East, a distance 729.07'
to an iron pin, said iron pin being common
corner with Mary Ellen Wemy SS Lovell,
Odric W. Gregory, et ux and subject pro-
perty, thence, continuing with common
line of Odric W. Gregory, et ux and subj-
ect property for the next two calls,
North 88° 24' 20" East, a distance of
219.60' to an iron pin, thence; South
83° 20' 40" East, a distance of 189.25'
to an iron pin in the westerly right-
of-way of the CSX railroad, thence; con-
tinuing with abovementioned rightof-way
South 40° 09' 00" West, a distance of
3,441.25' to the point of beginning and
containing 107.01 acres more or less
as shown on plat of survey, dated
11/12/86, and prepared by Bob Cummings.

Included within the above-described pro-
perty but excluded from rezoning is a

ATTACHMENT 4-4

9.83 acre more or less tract of land. BEGINNING at an iron pin, said iron pin being the common corner with Mary Ellen Wemy SS Lovell, Odric W. Gregory, et ux and subject property and more particularly described as follows:

THENCE South 88° 24' 20" East, a distance of 2,019.60' to an iron pin; thence South 83° 20' 40" East, a distance of 189.25' to an iron pin in the westerly right-of-way of the CSX railroad, thence; South 40° 09' 00" West, a distance of 234.40' to a point, thence; North 88° 24' 20" West, a distance of 2,078.48' to a point in the common line Mary Ellen Wemy SS Lovell and subject property, thence; North 06° 18' 00" East, a distance of 200.68' to the point of beginning.

SECTION 2: The Gallatin City Council finds in its deliberation that:

(A) This Amendment is in agreement with the General Plan for the area.

(B) It has been determined that the legal purposes for which zoning exists are not contravened.

(C) It has been determined that there will not be adverse effect upon adjoining property owners unless such adverse effect can be justified by the overwhelming public good or welfare.

(D) It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

SECTION 3: BE IT FURTHER ORDAINED that in accordance with Chapter 2, Section 22-101, of the Zoning Ordinance, the official zoning map of the City of Gallatin shall, after the final passage of this ordinance, be amended to reflect the zoning changes herein made.

SECTION 4: This ordinance shall take effect from and after its passage, the public welfare requiring it.

PASSED 1st reading, February 21, 1989.

PASSED 2nd reading, March 21, 1989.



DAVID N. SCHREINER, MAYOR

AN ORDINANCE TO ANNEX PROPOSED 107.01 ACRES AND
TO INCORPORATE SAME WITHIN THE CORPORATE BOUNDARIES
OF THE CITY OF GALLATIN, TENNESSEE, AND TO
INCORPORATE BY REFERENCE THE REQUIRED

PLAN OF SERVICES

BE IT ORDAINED BY THE CITY OF GALLATIN, TENNESSEE, that:

WHEREAS, a petition by the property owners of 107.01 acres, as hereinafter described, was filed requesting annexation, and

WHEREAS, a public hearing before this body was held on the _____ day of _____, 1989, and notice thereof published in accordance with law, and

WHEREAS, the annexation of such territory is deemed necessary for the welfare of the residents and property owners thereof as well as this city as a whole;

NOW, THEREFORE, BE IT ORDAINED by the City of Gallatin, Tennessee:

SECTION 1: Pursuant to authority conferred by Sections 6-51-101, et seq. Tennessee Code Annotated, there is hereby annexed to the City of Gallatin, Tennessee, and incorporated within the corporate boundaries thereof, the following described territory:

BEGINNING at an iron pin in the westerly row of said railroad, said iron pin being located westerly from the southwest corner of the above described Parcel "A: north 85 degrees 50 minutes 20 seconds west 81.58 feet; thence, leaving said point of beginning with the westerly row of said railroad (33 feet from the centerline) north 40 degrees 09 minutes 00 seconds east 1860.94 feet to an iron pin; thence, severing the above mentioned Rankin, Bennett, and Cecil property north 04 degrees 26 minutes 00 seconds east 1254.02 feet to a point in a stone fence being the northeast corner of the herein described parcel. (A witness iron pin marking the property line is located south 04 degrees 09 minutes 00 seconds west 1.89 feet from the actual corner); thence, north 88 degrees 24 minutes 20 seconds west 1285.24 feet to an iron pin; the adjoining property owner being Odric W. Gregory, et ux, Shelby of record in Deed Book 496, page 006 R.O.S.C.T.; thence, south 06 degrees 18 minutes 00 seconds west 729.07 feet to an iron pin; thence, north 84 degrees 50 minutes 20 seconds west 624.11 feet to an iron pin, The adjoining property being owned by Mary Ellen Wemyss, et al of record in deed book 466, page 219, and Deed Book 481, page 250, R.O.S.C.T.: thence, south 04 degrees 28 minutes

00 seconds west 1463.27 feet to an iron pin; thence south 08 degrees 24 minutes 20 seconds west 660.00 feet to an iron pin; thence, south 84 degrees 28 minutes 00 seconds east 613.86 feet to an iron pin; thence, north 04 degrees 40 minutes 40 seconds east 152.62 feet to an iron pin; thence, south 85 degrees 38 minutes 20 seconds east 277.29 feet to the beginning. The adjoining property being owned by David Bradley of record in Deed Book 320, page 201; Deed book 326, page 358 and 361; Deed Book 382, page 609 R.O.S.C.T. The herein described parcel contains 93.59 acres, more or less.

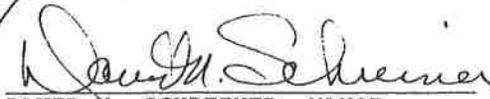
BEGINNING at an iron pin in the westerly row of said Railroad, said iron pin being located westerly from the northwest corner of the above described Parcel "A" north 84 degrees 30 minutes 20 seconds west 80.23 feet; thence, leaving said point of beginning with the westerly row of said railroad (33 feet from the centerline) south 40 degrees 09 minutes 00 seconds west 1580.31 feet to an iron pin; thence, severing the above mentioned Rankin, Bennett, and Cecil property north 04 degrees 26 minutes 00 seconds east 1254.02 feet to a point in a Stone fence being the northwest corner of the herein described parcel. (A witness iron pin marking the property line is located south 04 degrees 09 minutes 00 seconds west 1.89 feet from the actual corner); thence, south 88 degrees 24 minutes 20 seconds east 734.36 feet to an iron pin; thence, south 83 degrees 20 minutes 40 seconds east 189.25 feet to the beginning, the adjoining property owner being Odric W. Gregory, et ux, Shelby, of record in Deed Book 496, page 006, R.O.S.C.T. The herein described parcel contains 13.42 acres, more or less.

SECTION 2: The heretofore adopted Plan of Services for said 107.01 acres, Resolution No. R89-132, is hereby incorporated herein by reference.

SECTION 3: This ordinance shall be effective from and after its final passage, the public welfare requiring it.

PASSED 1st reading: February 21, 1989.

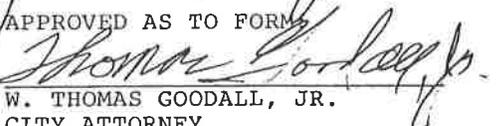
PASSED 2nd reading: March 21, 1989.


DAVID N. SCHREINER, MAYOR

ATTESTED:


ROBERT W. LANKFORD
CITY RECORDER

APPROVED AS TO FORMS


W. THOMAS GOODALL, JR.
CITY ATTORNEY

ATTACHMENT 4-5

Robert W. Bankford
ROBERT W. BANKFORD
CITY RECORDER

APPROVED AS TO FORM:

Thomas Goodall, Jr.
W. THOMAS GOODALL, JR.
CITY ATTORNEY

ORDINANCE FOR PURCHASE OF INDUSTRIAL PARK

WHEREAS, the City of Gallatin has supported the efforts of the ECD Committee in industrial recruitment; and

WHEREAS, the City of Gallatin now desires to develop its own industrial park; and

WHEREAS, 244.36 acres has been offered to the City of Gallatin at Five Thousand (\$5,000.00) Dollars per acre; and

WHEREAS, funds are available from several sources, including the Tennessee Municipal Bond Fund, bond anticipation notes, a bond issue, or a possible combination of these sources.

NOW, THEREFORE, BE IT ORDAINED that the City of Gallatin agrees to purchase 244.36 acres located on the east side of Airport Road in the Bradley Industrial Park, which is described as Tract #5 in deed of record in Record Book 200, Page 509, of the Register's Office in Sumner County, Tennessee, subject to the following conditions:

1. The sale is conditioned upon the real property being free and clear of all liens and encumbrances of any kind and any existing easements and rights-of-way being acceptable to the City;

2. The sale is conditioned upon the City obtaining financing for the entire project acceptable to the City;

3. The sale is conditioned upon the property being determined by the City in its sole discretion to be suitable for the intended use as an industrial park, including, but not limited to, engineering studies, environmental studies, drainage studies, and compliance with East Tennessee Natural Gas Restrictions;

4. The sale is conditioned upon the City receiving all necessary Federal, State, Local and other approvals and certificates necessary for financing and necessary for use of the land as an industrial park;

5. The sale is conditioned upon the City being able to

reasonably determine that it can purchase, develop and install improvements to the property for an industrial park at a per acre cost not to exceed \$15,000.00;

6. The sale is conditioned upon a final written contract of sale approved both by the City and the Seller providing for the foregoing conditions, providing that the Seller will transfer the real property by warranty deed with no encumbrances of any kind and the Seller supplying the City at Seller's expense an owner's title policy and an accurate survey, real property taxes being prorated, City having no liability under "Greenbelt", possession being given to the City on the date of the deed, the City not being responsible for payment of any sales commissions of any kind, and the closing being within a reasonable period of time after the City has accomplished and reasonably satisfied itself of those terms and conditions specified in items 1 through 5 above.

BE IT FURTHER ORDAINED that the City of Gallatin agrees to purchase said property for a total cost of \$1,221,800.00.

BE IT FURTHER ORDAINED that any proceeds from the sale of any property in the industrial park shall be used for debt service exclusively until said debt is retired.

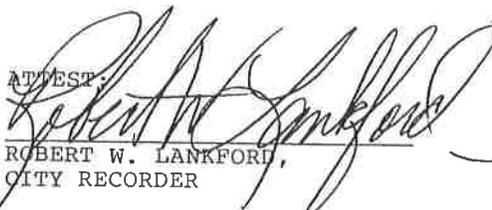
BE IT FURTHER ORDAINED that this Ordinance shall take effect from and after its passage, the public welfare requiring it.

PASSED FIRST READING: Sept. 23, 1991.

PASSED SECOND READING: Oct 1, 1991.


DAVID N. SCHREINER, MAYOR

ATTEST:


ROBERT W. LANKFORD,
CITY RECORDER

APPROVED AS TO FORM:

ROGERS & MOORE,
CITY ATTORNEY

ATTACHMENT 4-6

RESOLUTION TO AMEND THE GALLATIN ON THE MOVE 2020 – CITY OF GALLATIN GENERAL DEVELOPMENT AND TRANSPORTATION PLAN UPDATE 2008-2020, CHAPTER 4, MULTI-MODAL TRANSPORTATION PLAN, IN ORDER TO ADD THE EXTENSION OF GATEWAY DRIVE, LOCATED IN THE GALLATIN INDUSTRIAL CENTER, AS A ROADWAY PROJECT AND REVISE EXHIBIT 4-8, PROPOSED ROADWAY PROJECTS, AND EXHIBIT 4-9, MAJOR THOROUGHFARE PLAN.

WHEREAS, pursuant to TCA § 13-4-201 it is the function and duty of the City of Gallatin Municipal-Regional Planning Commission to make and adopt an official general plan for the physical development of the City of Gallatin and the area outside of the City which bears relation to the planning of the City of Gallatin and its planning region; and

WHEREAS, the City of Gallatin, Tennessee Municipal-Regional Planning Commission approved GMRPC Resolution No. 2009-01 adopting the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020 on February 23, 2009 ; and

WHEREAS, the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020 is intended to be a guide to assist the public, city staff, Planning Commission, Historic District Commission and Board of Mayor and Alderman regarding a variety of community planning matters pertaining to matters such as community character, land use, transportation, community design, historic preservation, community development and zoning; and

WHEREAS, the Multi-modal Transportation Plan in Chapter 4 of the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020 is intended to provide and encourage the development of a safe, convenient, efficient and economical multi-modal transportation system for the City of Gallatin that supports local transportation needs and the City's plans for future development expressed in the Community Character Map; and

WHEREAS, the City of Gallatin, Tennessee Municipal-Regional Planning Commission may from time to time adopt amendments to part or parts of the plan; and

WHEREAS, the City of Gallatin, Tennessee Municipal-Regional Planning Commission Gallatin wishes to amend the Gallatin on the Move 2020 General Development and Transportation Plan Update 2008 – 2020, Chapter 4, Multi-Modal Transportation Plan, in order to add the extension of Gateway Drive, located in the Gallatin Industrial Center, as a roadway project and revise Exhibit 4-8, Proposed Roadway Projects, and Exhibit 4-9, Major Thoroughfare Plan as described in the attached Exhibit A; and

WHEREAS, notice and public hearing before the Gallatin Municipal-Regional Planning Commission has or will occur before final passage of this amendment pursuant to TCA § 13-4-202; and

WHEREAS, the Gallatin Municipal-Regional Planning Commission finds that is in the best interest of the City of Gallatin and its planning region to amend the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020, Chapter 4, Multi-Modal Transportation Plan.

NOW, THEREFORE BE IT RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020 Chapter 4, Multi-Modal Transportation Plan is hereby amended to add the extension of Gateway Drive, located in the Gallatin Industrial Center, as a

roadway project and Exhibit 4-8, Proposed Roadway Projects, and Exhibit 4-9, Major Thoroughfare Plan, are revised as described in the attached Exhibit A.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

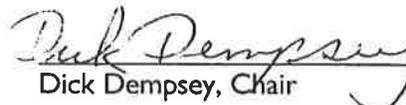
IT IS SO ORDERED.

PRESENT AND VOTING

AYE: 1

NAY: 0

DATED: 3/22/10


Dick Dempsey, Chair


Johnny Wilson, Secretary

APPROVED AS TO FORM:


JOE THOMPSON, CITY ATTORNEY

ATTACHMENT 4-7

CHAPTER 4 AMENDMENTS

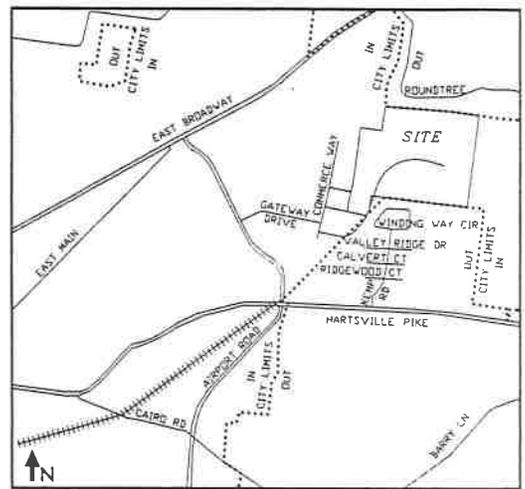
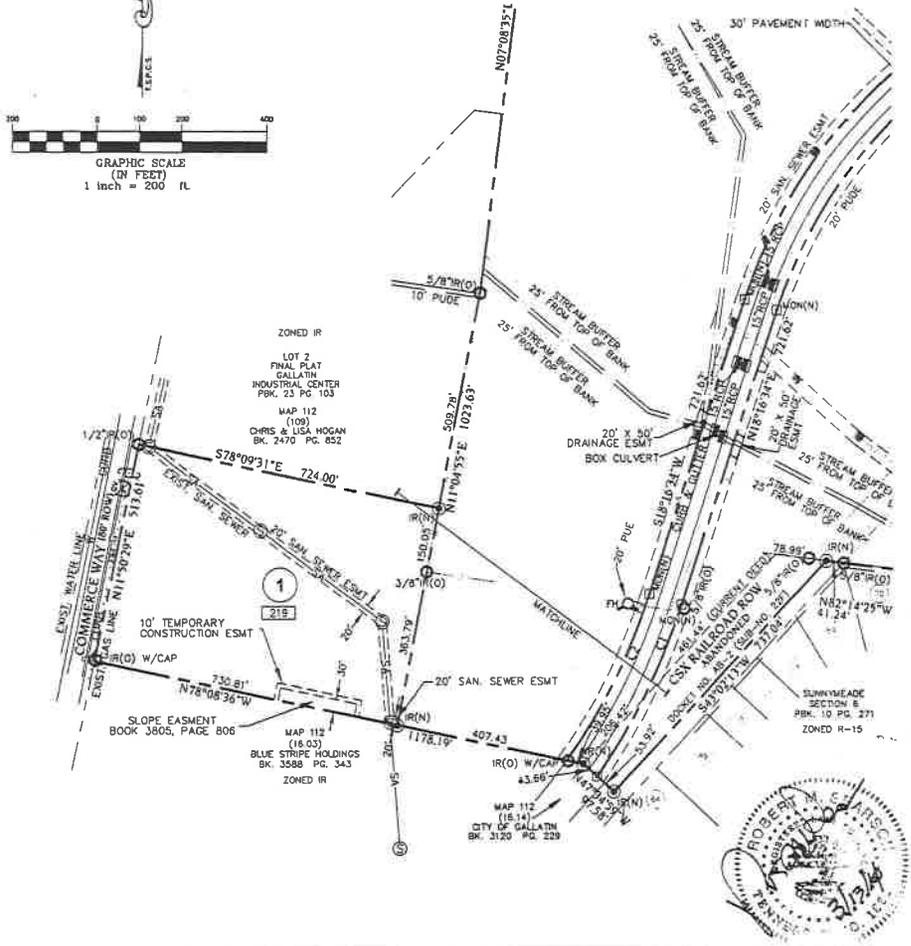
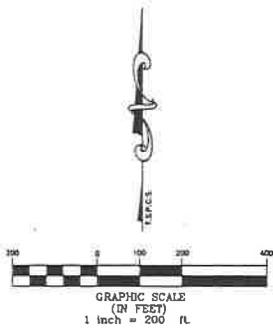
GMRPC Resolution 2010-02 – March 22, 2010

- **Amend Chapter 4, Multi-Modal Transportation Plan, to add the Extension of Gateway Drive as a roadway project:**
 44. **Extension of Gateway Drive** – upgrade and improve the existing roadway section between Airport Road and Commerce Way and construct the extension of the roadway into the 200 acres recently purchased by the City of Gallatin for the expansion of the Gallatin Industrial Center. This improvement project would most likely be publically funded by the City or with possible grant funding available for infrastructure and roadway projects. As part of the development of the overall Industrial Center project, the City is also evaluating opportunities to connect the industrial park road system to US-31E/SR-6, SR-25 or Airport Road south of the existing Gateway Drive location.
- **Revise Exhibit 4-8, Proposed Roadway Projects and Exhibit 4-9, Major Thoroughfare Plan, to add the extension of Gateway Drive as a roadway project.**

ATTACHMENT 4-8

NOTES:

1. THE PURPOSE OF THIS PLAT IS TO CREATE 2 LOTS AND TO DEDICATE RIGHT OF WAY BY CREATING AND RE-PLATTING A PORTION OF AN EXISTING LOT, 4 UNPLATTED PARCELS, AND A PORTION OF FORMER RAILROAD RIGHT OF WAY.
2. ALL DEED & PLAT REFERENCES ARE MADE TO THE REGISTER'S OFFICE OF SUMNER COUNTY, TENNESSEE (ROSC).
3. THE RECORDING OF THIS PLAT VACATES VOIDS AND SUPERSEDES LOT 1 OF GALLATIN INDUSTRIAL CENTER AT 195 AND 219 COMMERCE WAY AS RECORDED IN PLAT BOOK 23, PAGE 103, ROSC.
4. THE PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NUMBERS 47165C0317G & 47165C0319G, DATED APRIL 17, 2012.
5. UTILITIES SHOWN WERE TAKEN FROM FIELD LOCATIONS THAT WERE APPARENT AND COPIED FROM APPROPRIATE GOVERNING AGENCIES MAPS AND ARE APPROXIMATE AT BEST. THERE MAY BE UTILITIES, THE EXISTENCE OF WHICH IS UNKNOWN TO THE SURVEYOR.
6. THIS SURVEYOR WAS NOT PROVIDED WITH A TITLE COMMITMENT, THEREFORE THE PROPERTY IS SUBJECT TO THE FINDINGS OF A DETAILED TITLE SEARCH.
7. ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
8. STREAMS, WET WEATHER CONVEYANCE AND WETLANDS SHOWN TAKEN FROM HYDROLOGIC DETERMINATION BY TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION PROVIDED ON 7-17, 2013.
9. SURVEY FIELD DATA COLLECTED ON 12/09/13.
10. REFER TO GALLATIN INDUSTRIAL CENTER RESTRICTIVE COVENANTS AND GALLATIN ZONING ORDINANCE FOR SETBACKS AND BULK REQUIREMENTS.
11. LOT 1 WILL BE GOVERNED BY THE APPLICABLE GALLATIN INDUSTRIAL CENTER RESTRICTIVE COVENANTS (RECORD BOOK 323, PAGE 259).
12. LOT 2 WILL BE GOVERNED BY THE APPLICABLE GALLATIN INDUSTRIAL CENTER, PHASE 2 RESTRICTIVE COVENANTS AND RECORDED IN BOOK 3912, PAGE 566-575.



VICINITY MAP
NOT TO SCALE

Patricia L. Whitaker, Registrar
Sumner County Tennessee
Rec #: 887794
Rec dt: 30.00
E: 0.00
C: 0.00
Other: 2.00
Total: 32.00
Instruments #: 3281438
Reopened
4/7/2014 at 2:37 PM
In Plat Book
28
Pgs 131-132

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHD BEARING
C1	448.15	1540.00'	16°42'38"	226.18'	447.56'	N26°37'54"E
C2	435.86'	1460.00'	17°06'17"	219.56'	434.25'	N26°49'43"E
C3	1778.74'	1160.00'	87°51'28"	1117.41'	1626.53'	S62°37'17"W
C4	1901.41'	1240.00'	87°51'28"	1194.47'	1720.53'	S62°37'17"W
C5	42.70'	50.00'	48°58'01"	24.78'	41.42'	N49°23'56"W
C6	42.70'	50.00'	48°58'01"	24.78'	41.42'	N81°40'00"E
C7	421.92'	87.00'	277°52'01"	75.81'	114.31'	N18°08'00"E

LINE	LENGTH	BEARING
L1	9.33'	N81°46'01"W
L2	81.40'	N81°46'01"W
L3	522.84'	N81°46'01"W
L4	48.90'	S07°25'12"W
L5	193.28'	S07°25'12"W
L6	19.93'	N82°57'12"W
L7	297.74'	N82°57'12"W
L8	41.00'	N18°16'34"E
L9	78.99'	N82°57'12"W

AREA	SOFT	ACRES
LOT 1	373,679	8.58
LOT 2	9,310,560	213.74
ROW DEDICATION	298,536	6.85
TOTAL AREA	9,884,235	222.32

LEGEND

- PARCEL NO. ()
- LOT NUMBER (00)
- STREET ADDRESS (0000)
- IRON ROD (OLD) (IRO)
- IRON ROD (SET IN CONC.) (VON(N))
- IRON PIPE (OLD) (IPI)
- PROPERTY LINE (---)
- FENCE (X X)
- PARCEL LINE (---)
- STORM LINE (---)
- DRAINAGE INLET (---)
- PROPOSED MANHOLE (---)
- PROPOSED FIRE HYDRANT (FH)
- PROPOSED SANITARY SEWER LINE (---)
- PROPOSED FORCE MAIN (---)
- PROPOSED WATER LINE (---)
- EXISTING SANITARY SEWER LINE (--- SA)
- EXISTING GAS LINE (--- G)
- EXISTING WATER LINE (--- W)
- UTILITY WIRE (---)
- POWER POLE (---)
- GAS VALVE (---)
- EXISTING SANITARY SEWER MANHOLE (---)

ATTACHMENT 4-9

CERTIFICATE OF STAFF CERTIFICATION
 3-14
 City Planner

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I hereby certify that the water systems outlined or indicated on the final subdivision plat entitled "Gallatin Industrial Center, Phase 2" have been installed in accordance with current local and State government requirements or a sufficient Surety or cash has been filed which will guarantee said installation.
 Water System: 3-17-2014
 Date: 3-17-2014
 Superintendent of Public Utilities

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I hereby certify that the sewer systems outlined or indicated on the final subdivision plat entitled "Gallatin Industrial Center, Phase 2" have been installed in accordance with current local and State government requirements or a sufficient Surety or cash has been filed which will guarantee said installation.
 Sewer System: 3-17-2014
 Date: 3-17-2014
 Superintendent of Public Utilities

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations, with the except of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Registrar.
 Date: 3-13-14
 Date: 4-2-14
 City Engineer

CERTIFICATE OF THE APPROVAL OR SURETY FOR COMPLETION OF ROADS
 I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance surety has been posted with the Planning Commission to assure completion of all required improvements in case of default.
 Date: 3/13/14
 City Engineer

CERTIFICATE OF ACCURACY
 I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission, and that the monuments have been or will be placed as shown hereon, to the specifications in these Regulations.
 Date: 3/13/14
 Robert M. Sedison, Tenn. License No. 1686

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in book number 231, page 451; book number 3043, page 249; book number 2592, page 688 and book number 3056, page 422, County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.
 Date: 4/3/14
 Mayor of Gallatin, TN

OWNER: CITY OF GALLATIN
 132 W. MAIN STREET
 GALLATIN, TN 37066

SITE ADDRESS: 219 COMMERCE PK / HARTSVILLE PK

TAX MAP 112
 PARCELS 12, 12.01, 12.02, 12.03 & 106.01

ZONING: IR (INDUSTRIAL RESTRICTIVE)

EXISTING USE: VACANT
 PROPOSED USE: VACANT

PREPARED BY:
LITTLEJOHN ENGINEERING ASSOCIATES
 1935 21ST AVENUE SOUTH, NASHVILLE, TENNESSEE 37212
 T 615.385.4144 F 615.385.4020 WWW.LEAINC.COM
 Nashville | Chattanooga | Decatur | Knoxville | Orlando | Phoenix | Tri-Cities

**GALLATIN INDUSTRIAL CENTER
 PHASE 2
 FINAL PLAT**

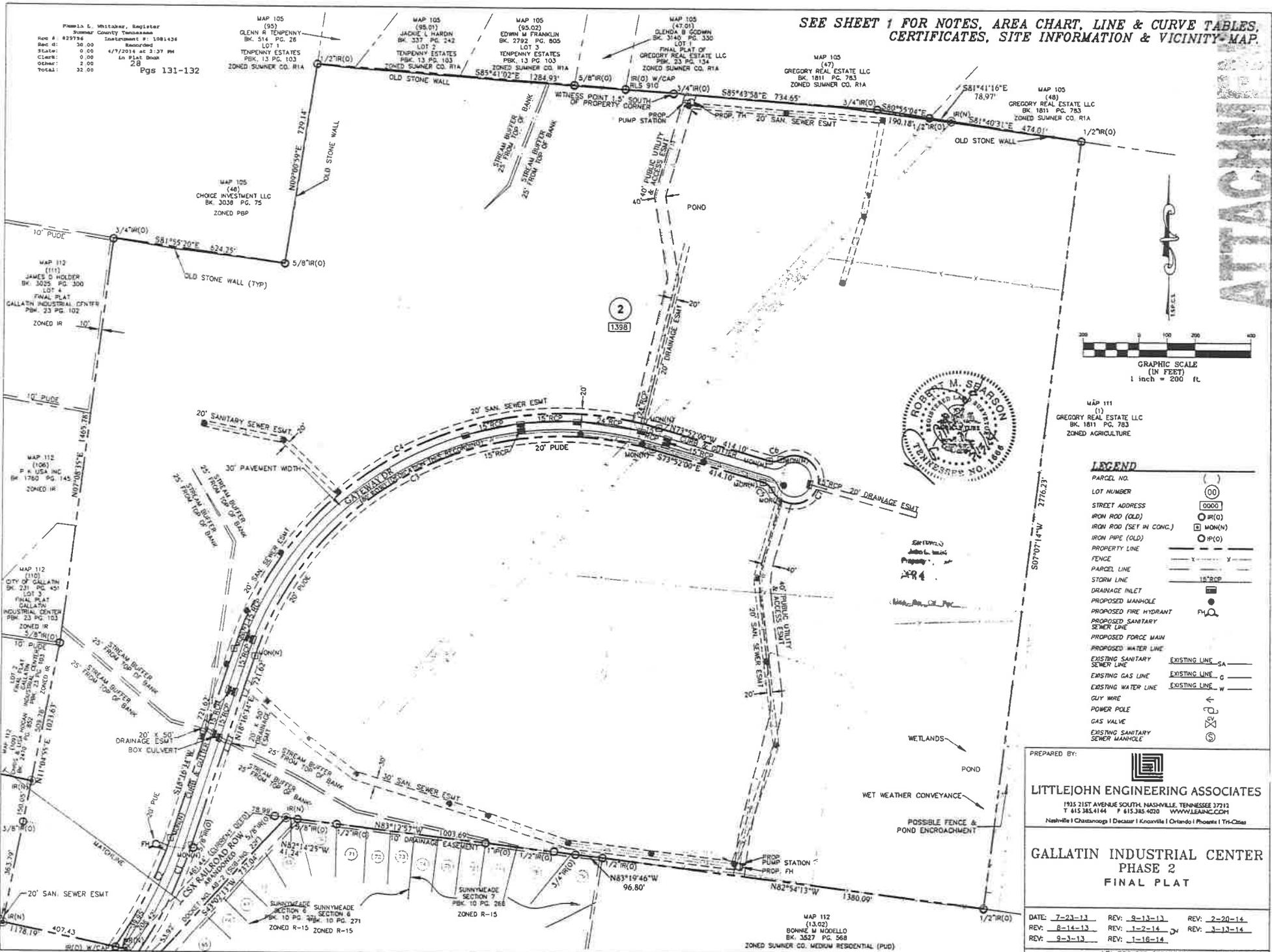
DATE: 7-23-13 REV: 9-13-13 REV: 2-20-14
 REV: 8-14-13 REV: 1-2-14 REV: 3-13-14
 REV: 9-3-13 REV: 1-16-14

LEA PROJECT #20130031 SHEET 1 OF 2

4-9

ATTACHMENT

SEE SHEET 1 FOR NOTES, AREA CHART, LINE & CURVE TABLES, CERTIFICATES, SITE INFORMATION & VICINITY MAP.



Pamela L. Whitaker, Register
 Sumner County Tennessee
 Rev # 829784 Submittal # 1081438
 Rec # 36 00
 Date: 0 00 4/7/2014 at 2:37 PM
 Clerk: 0 00
 Order: 2 00
 Total: 32 00
 Pgs 131-132



LEGEND

PARCEL NO.	()
LOT NUMBER	(00)
STREET ADDRESS	0000
IRON ROD (OLD)	○ IR(O)
IRON ROD (SET IN CONC.)	◻ IR(N)
IRON PIPE (OLD)	○ IP(O)
PROPERTY LINE	---
FENCE	-x-x-
PARCEL LINE	---
STORM LINE	18"RCP
DRAINAGE INLET	⊠
PROPOSED MANHOLE	⊙
PROPOSED FIRE HYDRANT	⊕
PROPOSED SANITARY SEWER LINE	— SA —
PROPOSED FORCE MAIN	— FM —
PROPOSED WATER LINE	— W —
EXISTING SANITARY SEWER LINE	— SA —
EXISTING GAS LINE	— G —
EXISTING WATER LINE	— W —
EXISTING WATER LINE	— W —
GUY WIRE	↑
POWER POLE	⊞
GAS VALVE	⊕
EXISTING SANITARY SEWER MANHOLE	⊙

PREPARED BY:

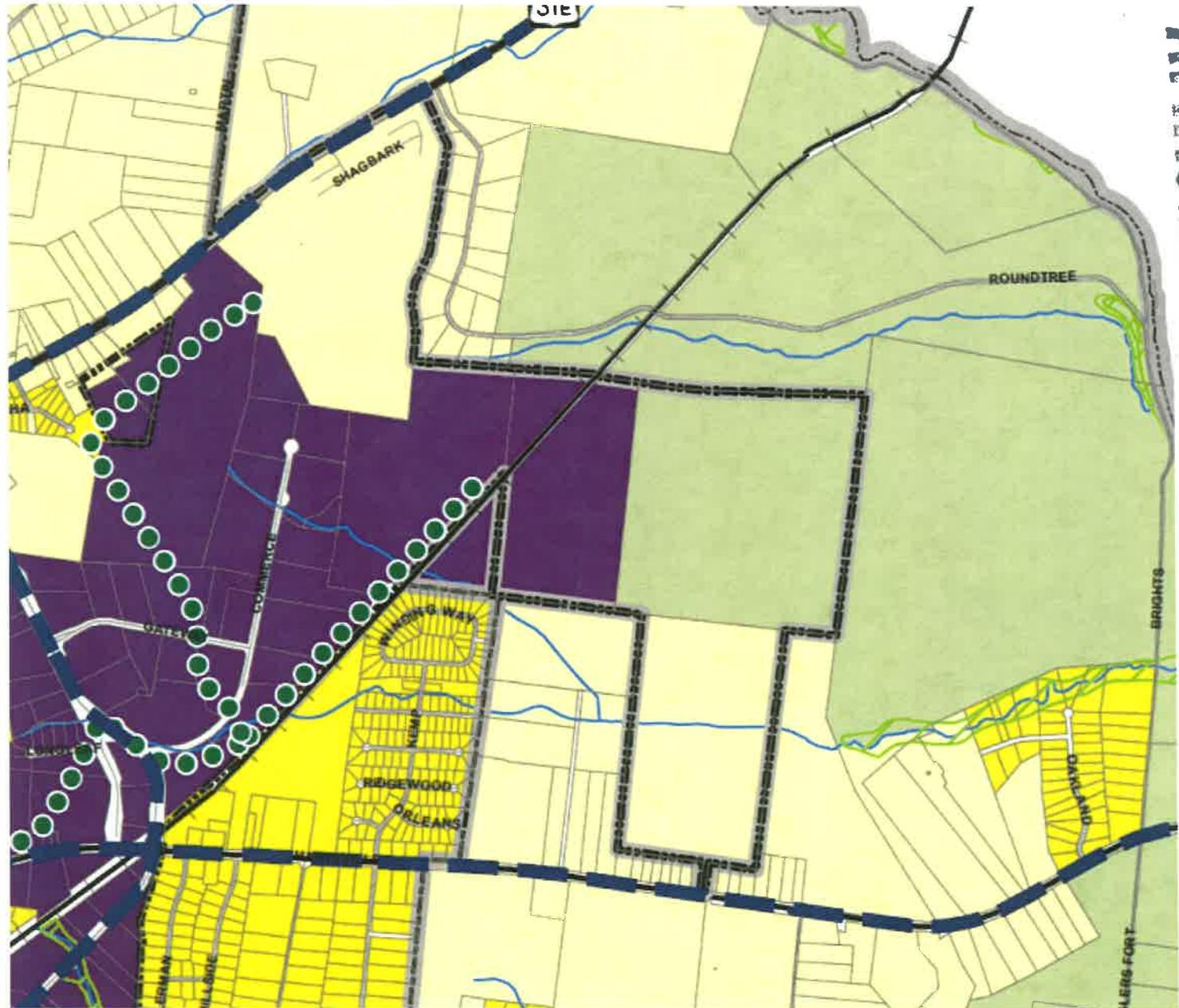
LITTLEJOHN ENGINEERING ASSOCIATES
 1935 21ST AVENUE SOUTH, NASHVILLE, TENNESSEE 37212
 T 615.385.4144 F 615.385.4020 WWW.LEANCO.COM
 Nashville | Chattanooga | Decatur | Knoxville | Orlando | Phoenix | Tri-Cities

GALLATIN INDUSTRIAL CENTER
PHASE 2
FINAL PLAT

DATE: 7-23-13 REV: 9-13-13 REV: 2-20-14
 REV: 8-14-13 REV: 1-2-14 REV: 3-13-14
 REV: 9-3-13 REV: 1-16-14
 LEA PROJECT #20130031 SHEET 2 OF 2

MAP 112 (13.02)
 BONNE M. MODELLO
 BK. 3527 PG. 568
 ZONED SUMNER CO. MEDIUM RESIDENTIAL (MUD)

GALLATIN ON THE MOVE 2020 GENERAL DEVELOPMENT AND TRANSPORTATION PLAN COMMUNITY CHARACTER AREA MAP



ATTACHMENT 4-10

SPECIAL AREA CHARACTER CATEGORY

A district or area that presently does not fit or is not envisioned fitting into the other categories presented. The area may, for instance, have singular characteristics not likely to be replicated elsewhere within the community

- Steam Plant
- Airport Road Industrial
- GreenLea Business Center
- North Gallatin Emerging Business Park



Gallatin Industrial Park

STEAM PLANT

General Description of Existing Development Patterns

The Gallatin Steam Plant is operated by the Tennessee Valley Authority (TVA), and produces electricity for approximately 300,000 homes in its service area. The plant has been in operation since 1959. It is located south of the City limits on the north bank of the Cumberland River. Land north of the plant is largely undeveloped, though there is some residential development nearby that is generally located overlooking Old Hickory Lake.

Location

Areas within this character area include the following:

- South of the city limits along the banks the Cumberland River

Intent

- Prevent adverse impacts to natural resources and surrounding population
- Provide adequate landscaping buffers
- Accommodate needed operational levels for the plant

Development Strategies

- Depict clear boundaries and transitions between the edge of the area and adjacent areas, to prevent visual and physical encroachment

Implementation Measures

- Coordinate with TVA, if necessary

STEAM PLANT

Anticipated level of change:

- Low

Transportation

- High level of service
- Roads characterized by curb, gutter with wide-sidewalks and pedestrian orientation

Infrastructure

- N/A

Greenspace

- Adjacent Preserve areas

Primary Land Uses

- Transportation/Communication/Utilities

Appropriate Intensity

- Not applicable

Applicable Zoning Districts

Existing Zoning Districts

- IR and IG

Proposed Zoning Districts

- No proposed new districts

AIRPORT ROAD INDUSTRIAL

General Description of Existing Development Patterns

The Airport Road Industrial special area is characterized by large lots with large-scale industrial and warehousing buildings deeply set back on the lot and surrounded by surface parking lots. Building types range from large metal buildings with limited brick and stone façade treatments to two-story office buildings with residential character. Landscaping is required by the Zoning Ordinance.

The area includes employment uses, but has few other commercial and services uses to serve workers and patrons of these businesses. Airport Road Industrial also includes the Sumner County Regional Airport.

The land here is used in low and high intensity manufacturing, wholesale trade, distribution, assembly, processing. These uses may in some cases generate nuisance characteristics. As a result, residential uses are not appropriate in this character area, but should be located in adjacent and nearby areas in order to provide housing near employment centers.

Location

Areas within this character area include the following:

- Developed and developing portions of Airport Road from north of Coles Ferry Road to US-31E/East Broadway, including the Gallatin Industrial Park and surrounding area

Intent

- Provide diverse industry

Development Strategies

The development pattern should seek to:

- Protect air and water quality
- Prevent adverse impacts to natural resources and surrounding population
- Address traffic impacts and circulation in site design
- Provide adequate buffers and limit visibility of industrial operations/parking from the public right of way
- Preserve existing residential areas on the fringe of the character area, but discourage expansion of residential uses in the character area

Implementation Measures

- ☞ Adopt updated requirements for PBP Zoning District

AIRPORT ROAD INDUSTRIAL

Anticipated level of change:

- Medium

Transportation

- High level of service
- Medium level of connectivity
- Properties accessed by public roads, railroad
- Regular-shaped, long blocks
- Roads characterized by curb, gutter

Infrastructure

- Public water and sewer available
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood and pocket parks

Primary Land Uses

- Light Industry
- Business Parks
- Warehouses
- Commercial
- Transportation/Communication/Utilities
- Commercial/Office/Retail
- Public/Institutional

Appropriate Intensity

- 0.5 FAR

Applicable Zoning Districts

Existing Zoning Districts

- IR, PBP, IG

Proposed Zoning Districts

- PBP (proposed updates)

SURROUNDING BUILDINGS

RECEIVED
MAR 26 2014

GALLATIN PLANNING
& ZONING

ATTACHMENT

4-12



PC0269-14

ATTACHMENT

4-12



ATTACHMENT

4-12



PC 0269-14

ATTACHMENT 4-12



14

ATTACHMENT 1

4-12



(17)



RECEIVED
MAR 26 2014

GALLATI



PC0269-14

ATTACHMENT

4-12



25 9:23 AM

21



25 9:24 AM

23



25 9:22 AM

20



25 9:29 AM

27

ATTACHMENT

4-12

RECEIVED
MAR 26 2014

GALLERIA



25 8:27 AM

25



25 9:32 AM

29



25 1:35 PM

24



25 8:27 AM

26

GALLATIN INDUSTRIAL CENTER, PH. I



ATTACHMENT 4-12 PC0269-14

THIS INSTRUMENT PREPARED BY:
JOE H. THOMPSON
CITY ATTORNEY
132 WEST MAIN STREET
GALLATIN, TN 37066

4:15

RESTRICTIVE COVENANTS

GALLATIN INDUSTRIAL CENTER, PHASE II

GALLATIN, TENNESSEE

The City of Gallatin, Tennessee, a Tennessee municipal corporation, acting by and through its City Council, being duly vested with authority to acquire, own, develop and sell real estate for industrial or commercial purposes, does hereby adopt the following as covenants, conditions and restrictions to be applicable to, binding upon and to be a covenant to run with the land and be binding upon all successors in interest to any of the lots, lands, tenements and hereditaments of the real property of the City of Gallatin, Tennessee to which these covenants, conditions and restrictions are made applicable.

I. DEFINITIONS

- A. **THE CITY:** The City shall be the City of Gallatin, Tennessee or its successors or assigns.
- B. **GALLATIN INDUSTRIAL CENTER, PHASE II:** Gallatin Industrial Center, Phase II being that two hundred ten (plus or minus) acre tract, conveyed to the City by multiple instruments recorded in Record Book 2962, Page 802, Record Book 2962, Page 808, Record Book 3043, Page 249, Record Book 3058, Page 422, & Record Book 3120, Page 229 of the Register's Office of Sumner County, Tennessee.
- C. **OWNERS:** Owners shall be purchasers of land in the Gallatin Industrial Center, Phase II hereafter, their successors, assigns and transferees.

II. PURPOSE

It is the intent and purpose of these covenants and restrictions to insure proper use and appropriate development and improvement of each building site in the Gallatin Industrial Center, Phase II; to protect the owners of building sites against such improper use of surrounding building sites as will depreciate the value of their property; to guard against the erection of structures built of improper or unsuitable materials; to encourage the erection of attractive improvements on each site; to prevent haphazard and inharmonious improvement of building sites; to secure and maintain proper setbacks from streets, and adequate free spaces between structures; and in general to provide adequately for a high type and quality of improvement of the Gallatin Industrial Center, Phase II.

III. PERMITTED LAND USES

- A. Subject to applicable zoning restrictions, and to specific prohibited uses as set forth in Section IV below, uses which are approved for the Gallatin Industrial Center, Phase II include:

Pamela L. Whitaker, Register	
Sumner County Tennessee	
Rec #: 827701	Instrument #: 1078538
Rec'd: 50.00	Recorded
State: 0.00	3/5/2014 at 4:15 PM
Clerk: 0.00	in Record Book
Other: 2.00	3912
Total: 52.00	Pgs 566-575

ATTACHMENT 4-13

1. Manufacturing and assembly;
2. Warehouse, office and distribution;
3. Research, research and development production, and research-related data processing;
4. Office, headquarters, training facilities, support services, call centers and wholesalers; and
5. Retail and service uses that serve the convenience needs of other park occupants and that are compatible with other uses in the park.

B. All of the uses permitted shall have their primary operations conducted entirely within enclosed buildings.

IV. OBJECTIONABLE USES

A. No use will be made of any lot or any portion thereof or any building or structure thereon at any time, nor shall any materials or products be manufactured, processed or stored thereon or therein, which shall cause an undue fire hazard to adjoining properties, which shall constitute a nuisance or cause the emission of noxious odors, liquids, gases, dust, fumes or smoke, or cause noises or other conditions which might injure the reputation of the lot in question or neighboring properties or which shall constitute a violation of any applicable law of the United States, the State of Tennessee, or any regulation or ordinance promulgated thereunder.

B. In addition, the following uses are specifically prohibited:

1. Vehicle wrecking, vehicle maintenance or repair, salvage yards, used material yards or junk yard.
2. Parking lots or equipment storage, when either is the principal use of the property.
3. Mini-storage facilities.
4. Manufacturing or processing of: asphalt, cement or lime.
5. Manufacture or storage of explosives.
6. Packing plants, canning plants or slaughter yards.
7. Stock yards.
8. Rendering plants or glue works.
9. Pulp or paper mills.
10. Mobile homes as permanent structures (allowed as temporary construction facilities).
11. Animal hospital.
12. Commercial incineration.
13. Rubbish, garbage, or trash dumps.
14. Building materials yard.
15. Contractor's yard.
16. Stone and monument works.

C. No hazardous materials of any kind shall be permanently stored in or disposed of the Gallatin Industrial Center, Phase II. As used herein, Hazardous Materials shall mean:

1. Any "hazardous waste" as defined by Resource Conservation and Recovery Act of 1976, as amended from time to time, and rules or regulations promulgated thereunder.
2. Any "hazardous substance" as defined by the Comprehensive Environmental Response, Compensation and Liability Act of 1980, as amended from time to time, and rules and regulations promulgated thereunder, but excluding oil, petroleum products and their by-products.
3. Any substance which is regulated by any federal, state or local governmental authority or that is the subject of any law, rule or regulation.

V. PLANS AND SPECIFICATIONS

A. No building, fence, wall sign advertising device, roadway, loading facility, outside storage facility, parking area, site grading, planting, landscaping, facility for industrial waste or sewage disposal, nor any other improvement shall be commenced, erected or constructed, nor shall any addition thereto or change or alteration therein be made (except to the interior of a building), nor shall any change in the use of any premises be made, until the plans and specifications therefor, showing the nature, kind, shape, height, materials, color scheme, lighting and location on the lot of the proposed improvements, grading, landscaping or alterations and the proposed use or change in the use of the premises, shall have been submitted to and approved in writing by the City and a copy of such plans and specifications as finally approved lodged permanently with the City which approval shall not be unreasonably withheld. Written approval by the City, its successors or assigns, for a particular use shall be conclusive evidence of compliance with this or any other portion of these covenants.

B. Construction and alteration of improvements in the Gallatin Industrial Center, Phase II shall be in accordance with the requirements of all applicable Building, Zoning and other Codes and Regulations of the City.

VI. SUBDIVISION AND RESALE RIGHTS

The property within the Gallatin Industrial Center, Phase II cannot be subdivided and sold by a subsequent grantee without the written consent of the City, which shall not be unreasonably withheld.

RECAPTURE

- A. If after twelve (12) months have expired from the sooner of:
1. the date of the execution and delivery of any deed by the City to any site in the Gallatin Industrial Center, Phase II or the date that possession of such site is granted to a user; and
 2. the owner or use of such site has not, in good faith, begun construction of a building thereon as approved by the City, then the City has the option and privilege of either:

- a. repurchasing that site from the owner thereof at the same price paid to the City for same or;
- b. terminating the user's occupancy of said site, as appropriate.

B. The option of the City to repurchase continues for a period of one year from the end of the twelve (12) month period. **The option shall be deemed exercised by a notice in writing to said owner delivered within the aforementioned period.**

C. The City may, from time to time, in writing extend the time period for when such building may begin. The one year option period in Section VI, B, *supra*, shall commence at the end of any extended time granted hereunder.

VII. DURATION OF COVENANTS

Each of the conditions, covenants, restrictions and reservations set forth above shall continue and be binding for a period of twenty-five (25) years from the date hereof. The conditions, covenants, restrictions and reservations shall automatically be continued thereafter for successive periods of twenty (20) years each. Provided, however, that said conditions, covenants, restrictions and reservations set forth above may be amended or altered in accordance with the following:

1. So long as any of the lots or lands within the subdivision to which these conditions, covenants, restrictions and reservations are applicable are owned by the City, then said conditions, covenants, restrictions and reservations may be amended by adoption by the City Council of the City of Gallatin, by two-thirds (2/3) majority vote, of an ordinance amending the same.
2. At the time when the City of Gallatin no longer owns any of the lots or lands within the subdivision to which these conditions, covenants, restrictions and reservations apply, said conditions, covenants, restrictions and reservations may be amended or altered by execution of a written instrument containing said amendment or alteration upon the vote of those owning property within the park. Voting apportionment shall be based on the owner's most recent appraisal of real and personal property by the Sumner County Tax Assessor. There shall be a total of 100 voting shares to be cast by all owners of property within the Gallatin Industrial Center, Phase II. The number of votes each owner shall receive will be equal to that owner's proportional percentage of the total value of all real and personal property contained within the Gallatin Industrial Center, Phase II.

Any amendment or alteration in these covenants shall be effective only from the time a duly adopted and executed original thereof shall have been recorded in the Office of the Recorder of Sumner County, Tennessee.

VIII. COVENANTS RUN WITH THE LAND

The covenants and conditions contained in this instrument shall run with, bind and inure to the benefit of and be enforceable by the City and/or any owner, their successors or assigns.

IX. ENFORCEABILITY

If any person, firm, corporation or other entity owning or holding any interest in any lot, land or part of the subdivisions to which these restrictive covenants apply shall violate any of the covenants or restrictions set forth herein, then in order to redress such violations, the City shall have the following powers and authority, all of which shall be cumulative and not exclusive:

1. To file and maintain in the name of the City of Gallatin an action at law for the recovery of damages from the person or persons violating these covenants, and including in such recovery all costs and expense incurred in such action, including reasonable attorney fees.
2. An action at equity against any owner who violates these covenants and restrictions. For this purpose, each owner of any lot, land or portion of the subdivisions to which these restrictive covenants and conditions apply does hereby acknowledge and agree that a remedy at law may be inadequate to secure redress and remedy arising from violation of these covenants, and does further acknowledge and agree that damages may be inadequate to properly compensate the City of Gallatin for damage arising from violation of these covenants and restrictions. Each such owner of any lot, land or portion of the subdivisions does therefore acknowledge and agree that a court of competent jurisdiction shall have full authority to enter mandatory or prohibitory injunctions, preliminary or permanent, and restraining orders in accord with and pursuant to this provision.

X. INVALIDATION

A. The failure to enforce any provision of these covenants and conditions in a particular situation shall not be deemed a waiver or abandonment of such provision as it may apply in any other situation or to the same or a similar situation at any other location in the Gallatin Industrial Center, Phase II or of any other provision of these covenants and conditions.

B. Invalidation by court adjudication of any covenant or covenant(s) or the failure to enforce any provision of these covenants and conditions, shall not affect the validity of any other provision, nor be deemed a waiver of the right to enforce same, and all other provisions thereof shall remain in full force and effect.

XI. CONSTRUCTION NOTICE AND ACCEPTANCE

Every person who now or hereafter owns or acquires any right, title, or interest in or to any portion of said property is and shall be conclusively deemed to have consented and agreed to every covenant and condition contained herein, whether or not any reference to this declaration is contained in the instrument by which such person acquired an interest in said property.

XII. RIGHT OF WAIVER

The City reserves the right at any time to approve in writing such minor variances or waive in writing compliance with any of the covenants and conditions set forth herein as the City, in its sole discretion, may deem necessary.

XIII. DEVELOPMENT STANDARDS

A. BUILDINGS

1. No building shall be constructed with exterior wooden walls or frame.
2. Any buildings constructed in the Gallatin Industrial Center, Phase II shall be of masonry. Enamel metal construction, its equivalent or better, may be permitted as an alternative material as permitted by the Gallatin Zoning Ordinance.
3. No galvanized sheet metal will be permitted.
4. All other types of construction not covered in the above must be first submitted to and have the written approval of the City, its successors or assigns.
5. No structure hazardous to moving aircraft shall penetrate the imaginary surfaces established by the Federal Aviation Administration (FAA) as necessary for aircraft safety on runway approaches and take-offs. These surfaces are shown on the Approach and Clear Zoned Plan of the Moore-Murrell Field Airport Master Plan.
6. No building shall exceed a maximum lot coverage of 50%.

B. PARKING AND ACCESS

1. All driveways and parking areas shall be constructed asphalt or concrete and shall include adequate drainage facilities to dispose of all surface water.
2. Parking area shall be located a minimum of fifteen (15) feet from any other boundary line of the site.

3. Parking may be permitted in front of the building, provided that such parking does not exceed forty percent (40%) of the property in front of the building.
4. All parking areas used at night shall be lighted to provide reasonable safety.
5. No parking shall be permitted on any street or road, either public or private or at any place other than the paved parking spaces provided in accordance with the foregoing, and each owner shall be responsible for compliance by its employees and visitors.
6. Off-street parking areas shall be used for the parking of passenger vehicles or commercial and other vehicles incident to the business conducted on the property. No commercial repair work shall be conducted on such parking areas.
7. No driveway shall occupy more than 50% of any side yard.

C. LOADING AND UNLOADING

No loading docks shall be permitted on the front of any building in the Gallatin Industrial Center, Phase II. Provisions for handling all freight, either by railroad or truck, must be on those sides of any building which do not face a frontage street. One (1) loading berth shall be required for each 20,000 square feet of gross floor area up to and including 100,000 square feet. Each additional 50,000 square feet or fraction of one half or more thereof shall require one additional berth.

D. STORAGE

1. No accessory building shall be constructed to permit the keeping of materials, supplies, products or equipment in the open or exposed to public view.
2. Bulk storage above ground of all liquids, including gasoline and petroleum products on the outside of the buildings, shall be permitted only in locations as approved by the City, in writing, and subject to compliance with rules and regulations of any governmental agency or agencies having jurisdiction over such matters.

E. LANDSCAPING

1. Any landscaped area shall be properly maintained in a sightly and well-kept condition and at the expense of the land owner.
2. Undeveloped areas proposed for future expansion shall be maintained in a seeded, weed-free condition, clear of unsightly weeds or plants, stored materials, rubbish and debris.
3. The owner of the property shall be responsible for maintenance of the vegetative cover and clearing of litter from the boundary of its site to any adjacent paved road.

F. SIGNS

1. A sign permit shall be obtained from the City of Gallatin per the terms of the Gallatin Zoning Ordinance prior to the erection of any signage.
2. One monument sign designating the industry will be permitted on each frontage street. Additional directional signs will be allowed.
3. No sign shall be lighted by means of flashing or intermittent illumination.
4. There shall be no sign erected which will obstruct vision to vehicular traffic.
5. One (1) construction sign denoting the architects, engineers, contractor, and other related subjects, shall be permitted upon the commencement of construction. Said sign shall conform to applicable zoning ordinances and regulations.

G. REFUSE

1. Waste must be disposed of in a manner approved by the City.
2. The occupant's premises shall not be used or maintained as a dumping ground for rubbish or junk. Trash, garbage or other waste shall not be kept except in sanitary containers. All equipment for the storage or disposal of such material shall be kept in a clean and sanitary condition.
3. All outdoor refuse collection areas shall be in compliance with paragraph E.2. of these protective covenants.
4. Disposal of rubbish, junk, trash or garbage by open burning is specifically prohibited.
5. Nothing herein contained shall prohibit on-site storage of waste (other than by open burning) if conducted in accordance with applicable Federal, State and local laws or regulations.

H. MAINTENANCE

The owner of any tract in the Gallatin Industrial Center, Phase II shall at all times keep the premises, buildings, improvements and appurtenances in a safe, clean, neat and sanitary condition and shall comply with all laws, ordinances and regulations pertaining to health and safety. Each lot owner shall provide for the removal of trash and rubbish from his premises.

I. UTILITIES

1. All "on site" electrical lines and telephone lines shall be placed underground in accordance with the requirements of the respective utilities.
2. Transformer or terminal equipment shall be visually screened from view from streets and adjacent properties.

3. The City reserves the right to construct utility lines overhead, and utility lines, pipes and conduits underground through an area of not more than twenty (20) feet in width adjacent to the boundary line of property, and the property owner agrees to execute any and all instruments necessary and reasonable with the future development of the park, including the granting of easements of not more than twenty (20) feet in width along such boundary line for future railroad tracks and sidings, gas, water, sewage, telephone, entrance and access roads, and electrical lines; provided that, the exercise of such rights shall not unreasonably interfere with the property owner's use and enjoyment of the property and shall be exercised in a manner most consistent with such use and enjoyment and without cost, expense or liability to the property owner except as otherwise agreed.

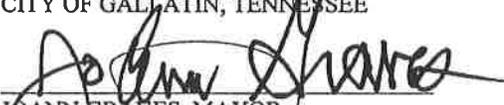
J. SITE DRAINAGE

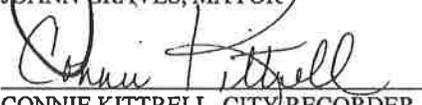
1. All stormwater shall be managed in a way that is compliant with the current version of the City of Gallatin Storm Water Ordinance, the City's National Pollutant Discharge Elimination System (NPDES) General Permit for classified Small Municipal Separate Storm Sewer Systems (MS4) permit, the Tennessee NPDES General Permit for Discharges of Stormwater Associated with Construction Activities permit, Tennessee Aquatic Resource Alteration Permit (ARAP), and U.S. Army Corps of Engineers Section 401 Water Quality Certification, as applicable.
2. No rain or storm water run-off or such drainage as roof water, street pavement, and surface water caused by natural precipitation or ground water from footing or foundation drains of other subsurface water drainage shall at any time be discharged into or permitted to flow in the sanitary sewer system.
3. No stormwater run-off or surface water drainage shall be routed in a way that violates the natural flow rule as applied by the State of Tennessee.

K. CERTIFICATION

Under request of an owner of a site within the Gallatin Industrial Center, Phase II, The City shall certify, if such be the case, that such owner is not in default of any obligations hereunder.

CITY OF GALLATIN, TENNESSEE


JOANN GRAVES, MAYOR


CONNIE KITTRELL, CITY RECORDER

ATTACHMENT 4-13

CORPORATE ACKNOWLEDGEMENT

STATE OF TENNESSEE
COUNTY OF SUMNER

Personally appeared before me, JOANN GRAVES, with whom I am personally acquainted, and who acknowledged that she executed the within instrument for the purposes therein contained, and who further acknowledged that she is the Mayor of the City of Gallatin, Tennessee and is authorized by the aforesaid to execute this instrument on its behalf.

Witness my hand, at office, this 24th day of February, 2014

Rosemary D. Bates
NOTARY PUBLIC



My Commission Expires: May 22, 2017

STATE OF TENNESSEE
COUNTY OF SUMNER

Personally appeared before me, CONNIE KITTRELL, with whom I am personally acquainted, and who acknowledged that she executed the within instrument for the purposes therein contained, and who further acknowledged that she is the City Recorder for the City of Gallatin, Tennessee and is authorized by the aforesaid to execute this instrument on its behalf.

Witness my hand, at office, this 24th day of February, 2014

Rosemary D. Bates
NOTARY PUBLIC



My Commission Expires: May 22, 2017

ATTACHMENT 4-13

SITE PLANS

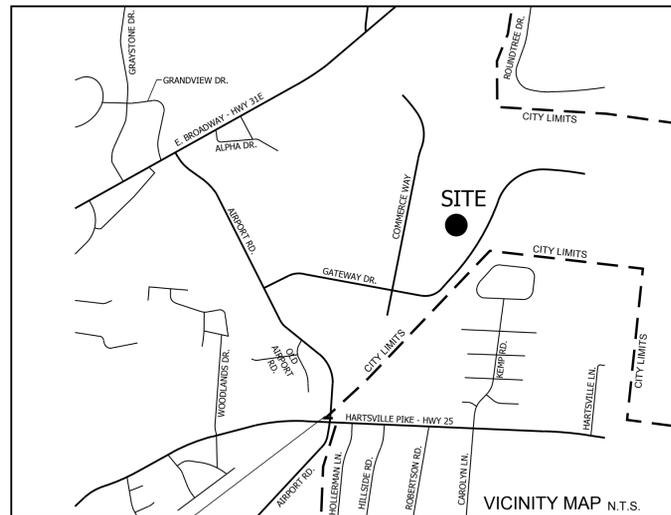
PROJECT BUCKEYE

TRACT 9, GALLATIN INDUSTRIAL PARK - PHASE 2

1399 GATEWAY DRIVE
GALLATIN, SUMNER COUNTY, TENNESSEE

SHEET INDEX

- C1.00 COVER
- C1.01 SITE LAYOUT PLAN
- C1.01 SITE UTILITY PLAN
- C2.00 GRADING AND DRAINAGE PLAN
- C2.01 STORMWATER POLLUTION PREVENTION PLAN
- C2.02 STORMWATER POLLUTION PREVENTION NOTES & DETAILS
- C3.00 CIVIL NOTES & DETAILS
- C3.01 CIVIL NOTES & DETAILS
- L1.00 ALTERNATIVE LANDSCAPE PLAN
- A4.00 ARCHITECTURAL ELEVATIONS



OWNER

CITY OF GALLATIN
132 W. MAIN STREET
GALLATIN, TN 37066
PH: (615) 451-5940
CONTACT: JAMES FENTON

DEVELOPER

JIM WIBLE
P.O. BOX 397
SANDUSKEY, OH 44780

ENGINEER

CIVIL SITE DESIGN GROUP
630 SOUTHGATE AVE, SUITE A
NASHVILLE, TN 37203
PH: (615) 248-9999
CONTACT: JIM HARRISON



CIVIL SITE
DESIGN GROUP
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
630 SOUTHGATE AVENUE, SUITE A - NASHVILLE, TN 37203
615.248.9999 www.civil-site.com

DATE	COMMENT
03-26-14	INITIAL PLANNING SUBMITTAL
04-16-14	CITY COMMENTS
DATE: MARCH 26, 2014 JOB NO.: 13-127-01	

General Notes:

- Base Information was taken from a survey prepared by Blue Ridge Surveying, Inc. Dated December 30, 2013. Civil Site Design Group, P.L.L.C. and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information shown herein or any errors or omissions resulting from such.
- Provide a smooth transition between existing pavement and new pavement. Slight field adjustment of final grades may be necessary.
- All roadway, driveway, sidewalk, and curb construction shall conform to the requirements and specifications of the local municipality codes and requirements.
- Concrete for curbs and sidewalks shall be 3500 PSI concrete unless required otherwise by local codes.
- The site layout is based on control points as noted.
- The contractor shall conform to all local codes and receive approval where necessary before commencement of any construction.
- All site related construction materials and installation shall conform to local governing agency regulations and specifications.
- Handicap ramps shall have a maximum slope of 1:12.
- All pavement materials and construction shall conform to the local governing agency and state D.O.T. standards and specifications.
- The contractor shall check all existing conditions, (i.e. inverts, utility routings, utility crossings, and dimensions) in the field prior to commencement of any utility work. Report any discrepancies to the owner's representative. The contractor shall repair any damage caused during construction to existing features (i.e. pavement, sidewalks, curbs, utilities, etc.), at his own expense, to the standards of the preconstruction condition or better.
- Dimensions are to face of curb and/or exterior face of building unless otherwise noted.
- Curbs shall be parallel to the centerline of drives. The curb shall be placed only after having all break points (PC & PT of curves) located at the face of curb or at a consistent offset by a land surveyor.
- Any work unacceptable to the owner's representative or to the local governing authority shall be repaired or replaced by the contractor at no additional expense to the owner.
- Existing pavement of private or public roadways/drives shall be patched in accordance with the local governing authority's standards where utility installation requires removal of the existing pavement. Coordinate pavement trenching locations with site civil, plumbing and electrical plans.
- The contractor shall comply with all pertinent provisions of the "manual of accident prevention in construction" issued by AGC of America, Inc. and the "Safety and Health Regulations for Construction" issued by the U.S. Department of Public Works.
- Contractor shall give all necessary notices and obtain all permits prior to commencement of any construction.
- In the event of any discrepancies and/or errors found in these site drawings, or if problems are encountered during construction, the contractor shall be required to notify the engineer before proceeding with the work.
- The general contractor is particularly cautioned that the location and/or elevation of the existing utilities shown hereon is based on utility company records, and where possible, field measurements. The contractor shall not rely on this information as being exact or complete. The contractor shall call the appropriate utility company at least 72 hours prior to any excavation and request field verification of utility locations. It shall be the contractor's responsibility to relocated existing utilities conflicting with improvements shown hereon in accordance with all local, state, and federal regulations governing such operations.
- Contractor shall exercise extreme caution in the use of equipment in and around overhead and underground electrical wires and services. If at any time in the pursuit of this work the contractor must work in the close proximity of the above-noted wires, the electric company shall be contacted prior to such work and the proper safety measures taken. A thorough examination of the overhead and underground wires in the project area should be made by the contractor prior to the initiation of construction.
- The owner and engineer do not assume responsibility for the possibility that, during construction, utilities other than those shown may be encountered or that actual locations of those shown may be different from locations designated on the contract drawings. In areas where it is necessary that exact locations be known of underground utilities, the contractor shall, at his own expense, furnish all labor and tools necessary to either verify and substantiate or definitely establish the position of underground utility lines.
- Do not scale this drawing as it is a reproduction and subject to distortion.
- These plans, prepared by Civil Site Design Group, do not extend to or include systems pertaining to the safety of the construction contractor or its employees, agents or representatives in the performance of the work. The seal of the engineering services registered professional engineer hereon does not extend to any such safety systems that may now or hereafter be incorporated into these plans. The construction contractor shall prepare or obtain the appropriate safety systems which may be required by U.S. Occupational Safety and Health Administration (OSHA) and/or local regulations.
- In the case of conflict between this drawing and any other drawing and/or the specifications, the engineer shall be immediately notified for clarification.

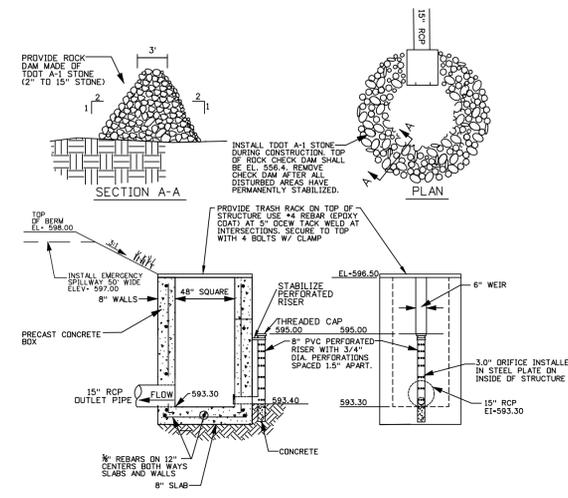
Site Utility Notes:

- The sanitary sewer line shall be PVC-SDR 35. The domestic water line shall be Type K copper. The public water line and the fire service line shall be class 52 ductile iron pipe. The private domestic line shall be Class 200 PVC. The private fire protection line shall be AWWA C900 DR14. (Contractor shall coordinate w/ local Fire Marshal)
- Water meters shall be no deeper than 24" from the top of meter to proposed finished grade unless otherwise required by the local water department.
- Prior to submitting his bid, the contractor will be solely responsible for contacting owners of all affected utilities in order to determine the extent to which utility relocations and/or adjustments will have upon the schedule of work for the project. While some work may be required around utility facilities that will remain in place, other utility facilities may need to be adjusted concurrently with the contractor's operations.
- The contractor shall comply with all pertinent provisions of the manual of Accident Prevention and Construction issued by AGC of America.
- Provide a minimum 36" of cover over all water lines unless required otherwise by the local water department.
- All water lines, sewer lines, and appurtenances shall be of materials and construction that conform to the local water department/district's requirements and specifications.
- Coordinate the exact location of all utilities entering the building with the plumbing plans.
- Safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment at no additional cost to the owner.
- Reduced Pressure Backflow Preventer (RPBP) or dual check valves will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the local water department/district.
- All connections to existing manholes shall be by the coring and resilient seal method.
- Before connections are made into existing utilities, the new lines are to be flushed and tested by the contractor in accordance with the local water department/district specifications.
- The contractor shall adjust the alignment of the water lines (horizontally and/or vertically) to allow the required bracing at bends and tees.
- The contractor shall provide all horizontal and vertical bends to attain the alignment indicated on the plans. Provide vertical bends where necessary to allow water lines to pass under or over other utility lines. (All bends and braces needed may not be actually shown). Provide bracing and/or rodding at all bends and tees as required by local utility department/district.
- Contractor shall mark the location of all new PVC lines with #8 wire.
- The location of existing utilities shown on these plans are approximate only. The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities. Prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground in the area of private utility lines. The contractor shall have an underground locator mark the location of the existing lines. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
- Fire hydrant assemblies include the appropriate size tee (with kicker), 6" line to hydrant, 6" gate valve (with valve box), and fire hydrant (with kicker). Hydrants shall be installed at locations within 7 feet of the curb, (minimum of 2 feet behind curb).
- Where drainage or utility lines occur in proposed fill areas, the fill material shall be placed and compacted in accordance with the specifications and the Geotechnical Engineer recommendations prior to installation of drainage or utility lines. Fill is to be inspected by a professional Geotechnical Engineer testing firm employed by the owner. Results of the test shall be furnished to the owner's representative. Contractor shall pay for any retesting.
- The contractor shall field verify the exact horizontal and vertical location of existing manholes, sanitary sewer lines, and water lines at the point of connection prior to the commencement of construction or ordering materials, report any discrepancies to the engineer immediately.
- Repair existing pavement, curbs, walks, landscaping, etc. that are damaged by construction activities to a like new condition at no additional cost to the owner.
- Sanitary sewer services shall be 6" diameter PVC (SDR 35) at a minimum slope of 1.0% unless shown otherwise on the drawings. Lines shall start 5' beyond the buildings. Coordinate connection points with the building plumbing drawings. Provide a minimum 30" of cover over all sewer services in grass areas and 48" of cover in paved areas.
- Some utilities can be located by call the "Tennessee One Call" System, Inc. The contractor shall call "Tennessee One Call" (1-800-351-1111) 72 hours prior to proceeding with any excavation.
- The concrete caps and encasements on water and sewer lines shall be a minimum of 6" thick. Use 3000 PSI concrete.
- The contractor shall be responsible for coordinating the sequencing of construction for all utility lines so that water lines do not conflict with sanitary sewers, sanitary sewer services, storm sewers, or any other utility or structure, existing or proposed.
- All trenches cut in existing roads or drives shall utilize a clean saw cut and shall be backfilled (100%) to final sub grade with #57 stone. Repair pavement in accordance with the local governing agency requirements.
- Existing manholes located in fill/cut areas shall be adjusted to ensure that the top of casting is flush with the finished grade.
- The contractor shall maintain 10 feet horizontal separation between water and sanitary sewer lines and water lines. Where these criteria cannot be met, the contractor shall maintain 18" vertical separation between water and sewer lines.
- The fire line shall be installed by a sprinkler contractor licensed in the State of Tennessee. The fire line shall be flushed and tested in accordance with NFPA requirements.
- The proposed gas line construction and installation shall be coordinated with the local gas by the contractor.
- The proposed electric line construction and installation shall be coordinated with the local electric company by the contractor.
- The proposed telephone line construction and installation shall be coordinated with the local telephone company by the contractor.
- Siamese stand pipe to be galvanized steel.

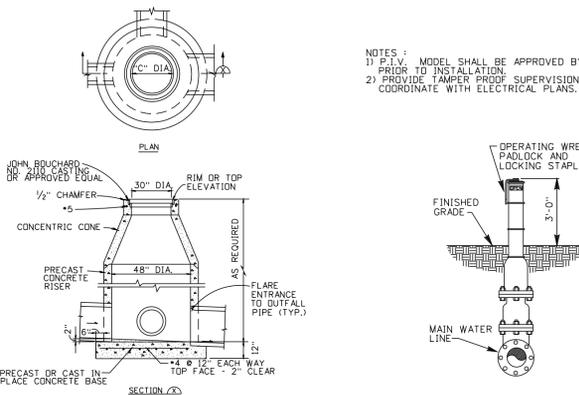
Site Grading, Drainage & Erosion Control Notes:

- The disturbed area for this project is approximately 6.0 acres.
- The contractor shall comply with all pertinent provisions of the manual of accident prevention and construction issued by AGC of America, Inc. and the safety and health regulations of construction issued by the U.S. Department of Labor.
- The contractor shall call "Tennessee One Call" (811) 72 hours prior to proceeding with any excavation.
- If any springs or underground streams are exposed during construction, permanent French drains may be required. The drains shall be specified and located during construction as required by the conditions which are encountered, and shall be approved by the engineer.
- Stockpiled topsoil or fill material shall be treated so no sediment run-off will contaminate surrounding areas or enter nearby streams.
- Clean silt barriers when they are approximately 50% filled with sediment or as directed by the owner's representative. Silt barriers shall be replaced as effectiveness is significantly reduced, or as directed by the owner's representative.
- All new pipes under existing paved areas shall be backfilled to the top of subgrade with # 57 crushed stone.
- Sediment removed from sediment control structures is to be placed at a site approved by the local governing authority. It shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the run-off. Cost for this treatment is to be included in the bid price for earthwork. The contractor shall obtain the disposal site as part of his work.
- Reinforced concrete storm drainage pipe shall be Class III. Corrugated metal pipe shall be 14 gauge unless otherwise noted.
- Minimum grade on asphalt or concrete paving shall be 1.0%.
- Construct silt barriers before beginning any grading operations.
- This grading & drainage plan is not a determination or guarantee of the suitability of the subsurface conditions for the work indicated. Determination of the subsurface conditions for the work indicated is solely the responsibility of the contractor.
- Do not disturb vegetation or remove trees except when necessary for grading purposes.
- Top of grate elevations and location of coordinates for drainage structures shall be installed as shown on the plan unless otherwise noted. The grates shall slope longitudinally with the pavement grades. Coordinates provided are for the center of the grate (at the face of curb where applicable).
- Any site used for disposal and/or stockpile of any material shall be properly permitted for such activity. It is the responsibility of the contractor to see that all required permits are secured for each property utilized. A copy of the approved permit must be provided to the inspector prior to commencement of work on any property. Failure to do so may result in the contractor removing any illegally placed material at his own expense.
- Respread topsoil (6 inch minimum thickness), seed, and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. Contractor shall take whatever means necessary to establish permanent soil stabilization.
- Proposed contour lines and spot elevations are the result of an engineered grading design and reflect a planned intent with regard to drainage and movement of materials. Should the contractor have any question of the intent or any problem with the continuity of grades, the engineer shall be contacted immediately.
- All cut and fill slopes shall be 3 horizontal to 1 vertical or flatter unless otherwise indicated on plans.
- Positive drainage shall be established as the first order of work and shall be maintained at all times during and after construction. Soil softened by perched water in foundation and pavement areas must be undercut and replaced with suitable fill materials.
- Remove sediment from all drainage structures before acceptance by local governing agency, or as directed by the owner's representative.
- Contractor shall conform to all applicable codes and obtain approval as necessary before beginning construction.
- Remove the temporary erosion and water pollution control devices only after a solid stand of grass has been established on graded areas and when in the opinion of the owner's representative, they are no longer needed.
- Provide temporary construction access(es) at the point(s) where construction vehicles exit the construction area. Maintain public roadways free of tracked mud and dirt.
- All earthwork, including the excavated subgrade and each layer of fill, shall be monitored and approved by a qualified geotechnical engineer, or his representative.
- All fill material on this project shall be approved by the geotechnical engineer prior to placement. This material shall be placed in lifts and compacted as directed by the geotechnical engineer. The contractor shall be responsible for employing a geotechnical engineer if one is not provided by the owner.
- All drainage construction materials and installation shall conform to the requirements and specifications of the local governing agency.
- It shall be the contractor's responsibility to waste excess earth material off site at no additional cost to the owner. The contractor shall first offer the excess material to the owner. If not accepted by the owner, the contractor shall dispose of earth material off site. It shall also be the contractor's responsibility to import sufficient material (at no additional cost to the owner) for earthwork operations if sufficient amounts of earth material are not available on site.
- The contractor shall check all existing grades and dimensions in the field prior to beginning work and report any discrepancies to the engineer. Commencement of any grading work constitutes the contractor's acceptance of the existing grade as matching those shown on the plans.
- Strip topsoil from all cut and fill areas and stockpile. Upon completion of general grading respread the topsoil over all disturbed areas, to a minimum depth of 6". Contractor shall supply additional topsoil if insufficient quantities exist on site. Remove any excess topsoil from site.
- The contractor shall take special care to compact fill sufficiently around and over all pipes, structures, valve stems, etc., inside the proposed paved areas to avoid settlement. Any settlement during the warranty period shall be restored by the contractor at no additional cost to the owner.

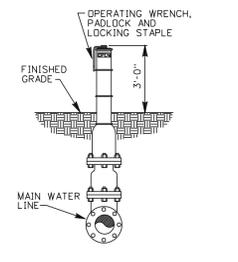
- In no case shall slope height, slope inclination, or excavation depth, including trench construction, exceed those specified in local, state and federal regulations, specifically the current OSHA Health and Safety Standards for Excavations (29 CFR Part 1926) shall be followed.
- All fill slopes and cut slopes on this project shall be reviewed by the owner's geotechnical engineer during construction to confirm that the slopes are (will be) stable. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- All fill on this project shall be installed and compacted in accordance with the owner's geotechnical engineer's recommendation. The owner's geotechnical engineer shall review all filling operations to confirm the earthwork is properly installed and compacted. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on site.
- All horizontal and vertical information of proposed culverts shown hereon which accept/discharge flows to/from existing channels are approximate utilizing topographic drawings. The final horizontal and vertical alignments shall be field located by the contractor prior to the ordering of materials or commencement of construction and shall notify the engineer of any discrepancies to what was designed.
- The contractor shall coordinate the exact location of the storm drain connections at the building with the plumbing plans.
- The location of all diversion swales and ditches shall be field adjusted to avoid trees as possible. The contractor shall walk the alignment of these swales and ditches in the field to verify avoidance of trees.



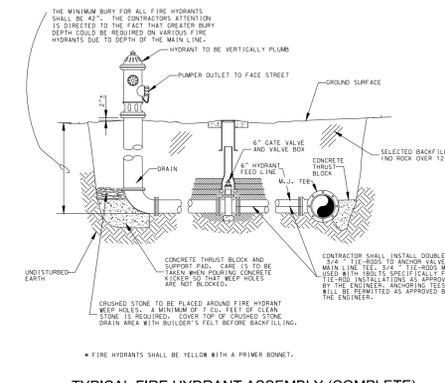
WATER QUALITY / DETENTION POND OUTLET STRUCTURE
N.T.S.



PRECAST JUNCTION BOX
N.T.S.



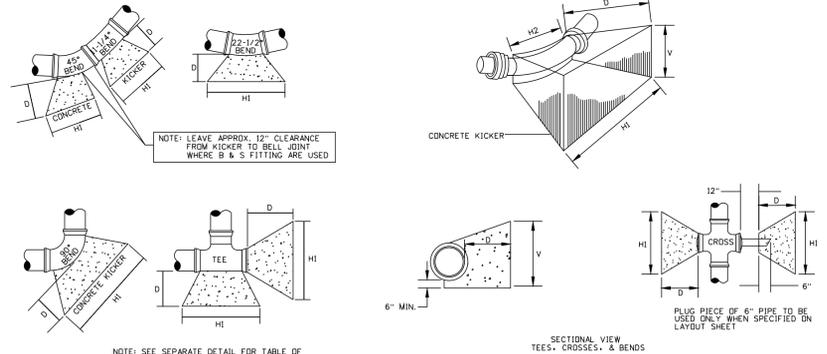
POST INDICATOR VALVE
N.T.S.



TYPICAL FIRE HYDRANT ASSEMBLY (COMPLETE)
NOT TO SCALE

TABLE OF DIMENSIONS FOR CONCRETE KICKERS

PIPE SIZE (I.D.)	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"
H1	18"	24"	24"	36"	48"	54"	66"			
H2	10"	12"	16"	18"	24"	30"	34"	36"	42"	58"
V	12"	12"	18"	18"	24"	24"	36"	24"	24"	24"
D	18"	18"	18"	18"	24"	24"	24"	24"	24"	24"
S	1.90	2.25	3.50	5.00	7.15	13.40	22.50			
H1	18"	24"	30"	36"	48"	54"	66"			
H2	10"	12"	16"	18"	24"	30"	34"	36"	42"	58"
V	12"	12"	18"	18"	24"	24"	36"	24"	24"	24"
D	18"	18"	18"	18"	24"	24"	24"	24"	24"	24"
S	1.50	1.60	3.20	3.95	4.60	9.60	17.00			
H1	18"	18"	24"	24"	24"	36"				
H2	6"	8"	10"	11"	18"	18"	30"	30"	36"	42"
V	12"	12"	16"	18"	21"	24"	27"			
D	18"	18"	18"	18"	24"	24"	24"	24"	24"	24"
S	1.50	1.60	3.20	3.40	4.60	6.80	11.80			
H1	18"	18"	24"	24"	24"	27"				
H2	6"	8"	10"	11"	18"	18"	24"	30"	40"	42"
V	12"	12"	16"	18"	21"	21"	27"			
D	18"	18"	18"	18"	24"	24"	24"			
S	1.50	1.60	3.20	3.40	4.60	6.10	9.10			



CONCRETE KICKERS
N.T.S.

CONCRETE KICKER TABLE
N.T.S.

CIVIL SITE DESIGN GROUP
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
819 SOUTH MAIN STREET, SUITE 201, MEMPHIS, TN 37503
901.527.1988

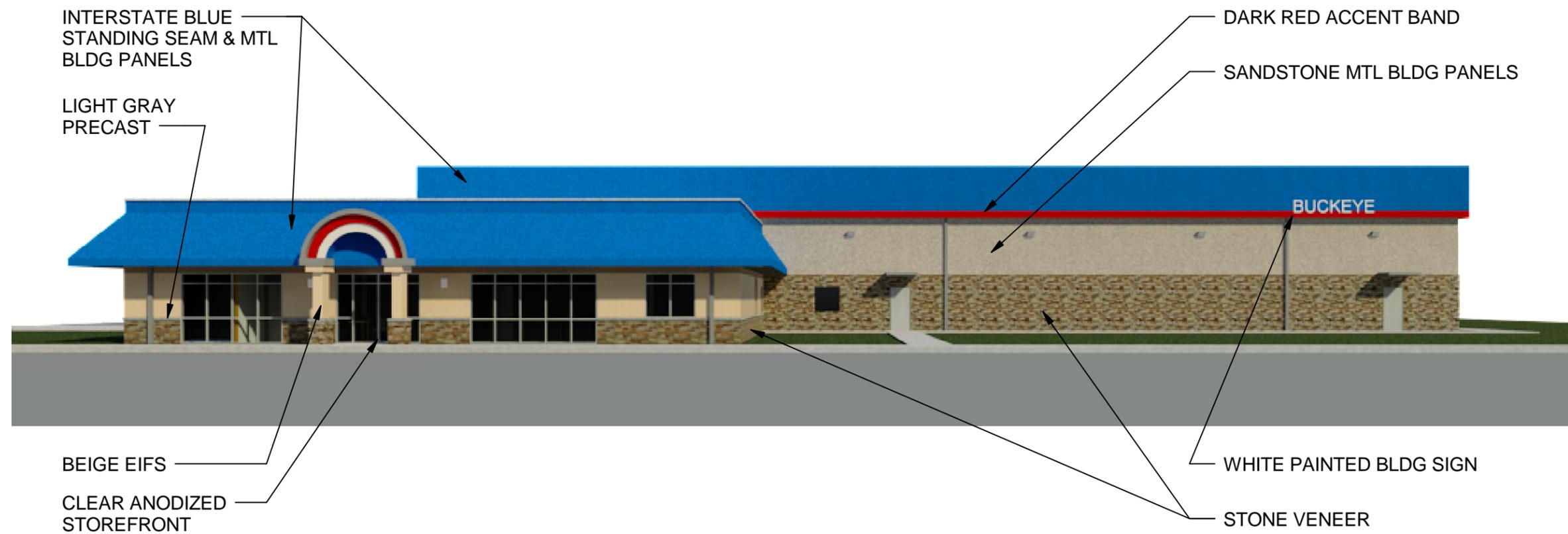
HARRISON
REGISTERED PROFESSIONAL ENGINEER
No. 021936
STATE OF TENNESSEE

CIVIL NOTES & DETAILS
SITE PLANS
PROJECT BUCKEYE
TRACT 9, GALLATIN INDUSTRIAL PARK - PHASE 2
GATEWAY DRIVE
GALLATIN, SUMNER COUNTY, TENNESSEE

REV.	COMMENTS	DATE
INITIAL PLANNING SUBMITTAL		03/26/14
CITY COMMENTS		04/16/14

C3.00
JOB NO.: 13-127-01

Apr 16, 2014 - 10:58am T:\CAD\2013\13-127-01\CAD\Civil\Site and Grading Plans\Phase 1 Plans\13-127-01-C300 Civil Notes & Details.dwg



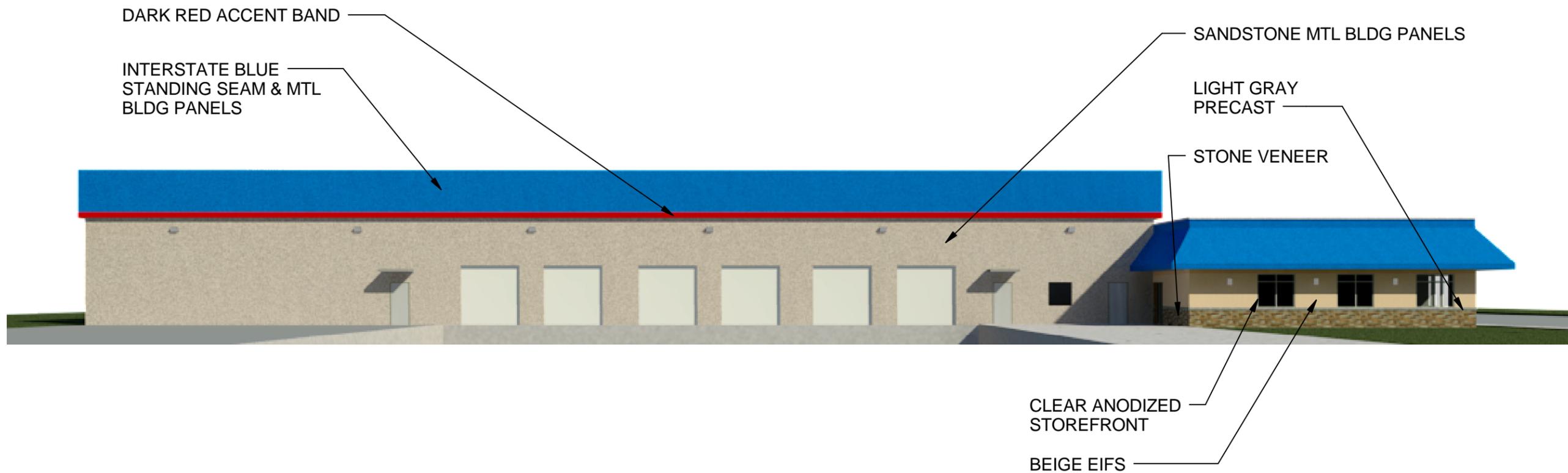

JOHNSON + ASSOCIATES | ARCHITECTS, LLC
 907 Rivergate Pkwy, Ste A-2
 Goodlettsville, TN 37072
 Office: 615.756.4639 Cell: 615.829.2801
 www.jaarchitects.com

PROJECT BUCKEYE
 Gallatin, Tennessee

No.	Description	Date

EAST ELEVATION		
Project number	A07-012014	A400-1
Date	Date: 04-15-2014	
Drawn by	Author	Scale N.T.S.
Checked by	Checker	

4/15/2014 9:05:51 PM



JA JOHNSON + ASSOCIATES | ARCHITECTS, LLC
 907 Rivergate Pkwy, Ste A-2
 Goodlettsville, TN 37072
 Office: 615.756.4639 Cell: 615.829.2801
 www.jaarchitects.com

PROJECT BUCKEYE
 Gallatin, Tennessee

No.	Description	Date

SOUTH ELEVATION

Project number	A07-012014	A400-2
Date	Date: 04-15-2014	
Drawn by	Author	Scale N.T.S.
Checked by	Checker	

INTERSTATE BLUE
STANDING SEAM & MTL
BLDG PANELS

DARK RED ACCENT BAND

SANDSTONE MTL BLDG
PANELS

BEIGE EIFS

STONE VENEER



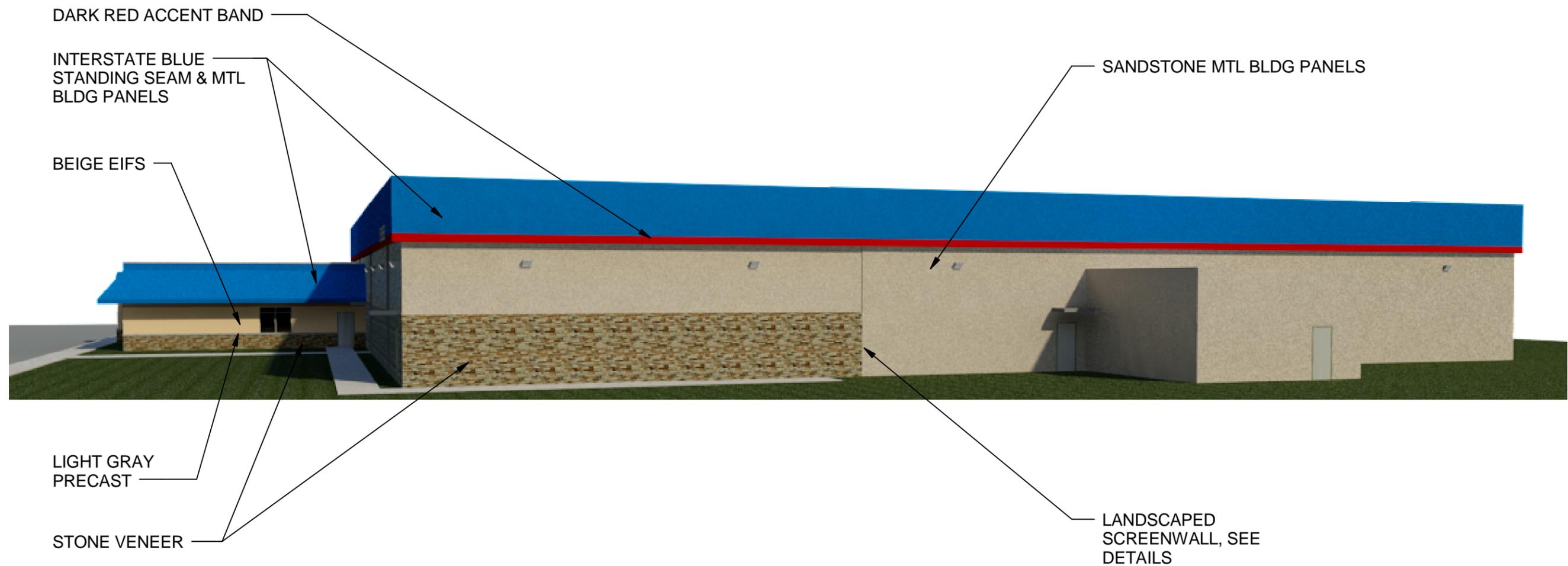
JOHNSON + ASSOCIATES | ARCHITECTS, LLC
907 Rivergate Pkwy, Ste A-2
Goodlettsville, TN 37072
Office: 615.756.4639 Cell: 615.829.2801
www.jaarchitects.com

PROJECT BUCKEYE Gallatin, Tennessee

No.	Description	Date

WEST ELEVATION

Project number	A07-012014	A400-3
Date	Date: 04-15-2014	
Drawn by	Author	Scale N.T.S.
Checked by	Checker	

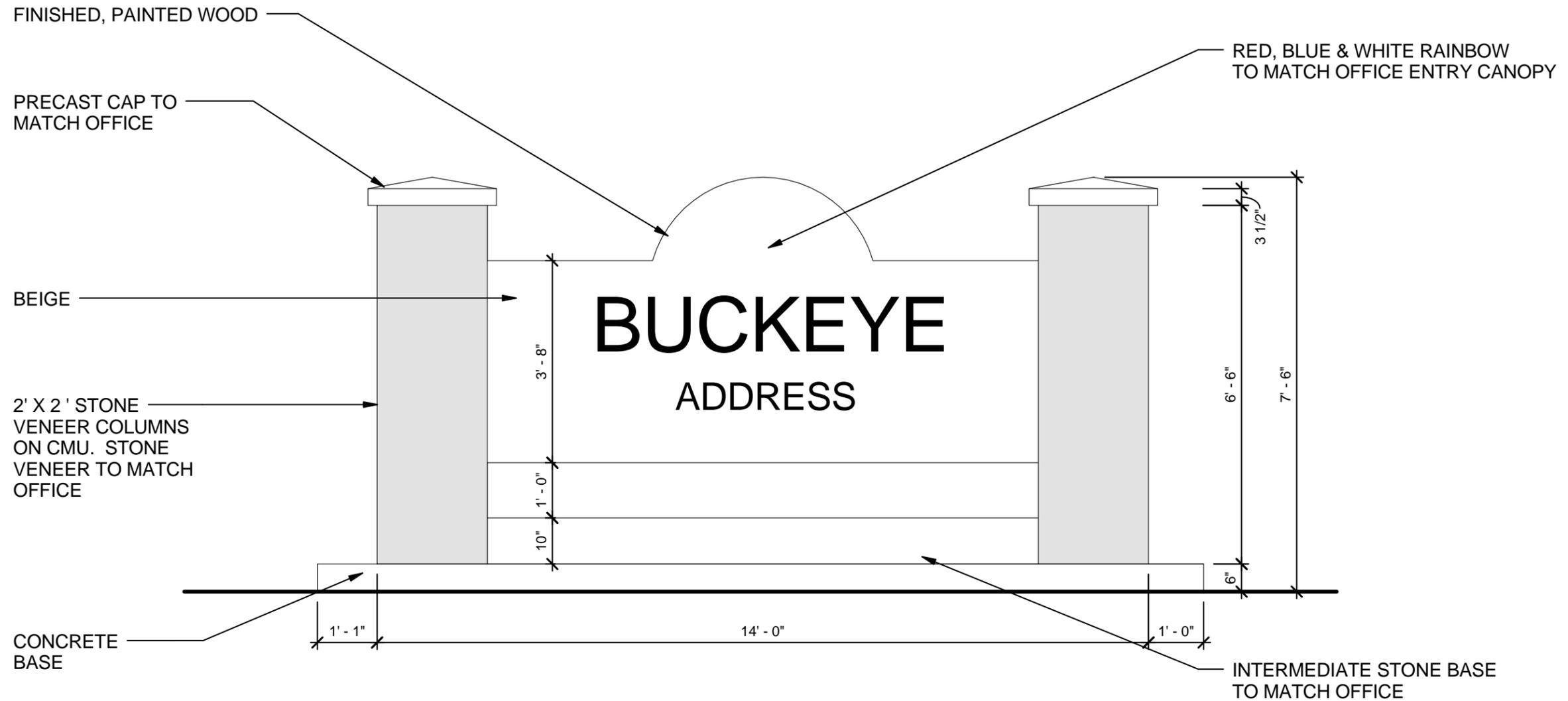


JA JOHNSON + ASSOCIATES | ARCHITECTS, LLC
 907 Rivergate Pkwy, Ste A-2
 Goodlettsville, TN 37072
 Office: 615.756.4639 Cell: 615.829.2801
 www.jaarchitects.com

PROJECT BUCKEYE
 Gallatin, Tennessee

No.	Description	Date

NORTH ELEVATION		
Project number	A07-012014	A400-4
Date	Date: 04-15-2014	
Drawn by	Author	Scale N.T.S.
Checked by	Checker	



LANDSCAPING AROUND SIGN WITH INDIRECT GROUND LIGHTING BOTH SIDES PER G.Z.O. REGULATIONS
 LOCATION: RIGHT SIDE OF MAIN ENTRANCE

FREESTANDING SIGN AT ENTRANCE



JA JOHNSON + ASSOCIATES | ARCHITECTS, LLC
 907 Rivergate Pkwy, Ste A-2
 Goodlettsville, TN 37072
 Office: 615.756.4639 Cell: 615.829.2801
 www.jaarchitects.com

PROJECT BUCKEYE
 Gallatin, Tennessee

No.	Description	Date

FREESTANDING SIGN		DETAIL
Project number	A07-012014	
Date	Date: 04-16-2014	
Drawn by	Author	
Checked by	Checker	
Scale		

ITEM 5

GMRPC Resolution No. 2014-32

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR FOXLAND CROSSINGS ON 31.64 (+/-) ACRES AND APPROVING A FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND CROSSINGS, PHASE 2, ON 5.1 (+/-) ACRES, LOCATED SOUTH OF NASHVILLE PIKE AND WEST OF DOUGLAS BEND ROAD. (PC0267-14)

WHEREAS, The applicant has submitted an application for a minor amendment to the previously approved The Reserve at Foxland Phase 12 and Phase 13 Preliminary Master Development Plan consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance, and

WHEREAS, the City of Gallatin Municipal-Regional Planning Commission considered the Amended Preliminary Master Development Plan submitted by the applicant, Ragan Smith, at its regular meeting on April 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Amended Preliminary and Final Master Development Plan submitted by the applicant, Ragan Smith, at its regular meeting on April 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA §13-7-202, §13-7-203 and G.Z.O. §12.02.020 and §12.02.030:

1. The Amended Preliminary Master Development Plan and Final Master Development Plan is in agreement and consistent with the intent and recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan for the area, and in particular, the Character Area Category, Regional Activity Center.
2. The proposed Amended Preliminary Master Development Plan and Final Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in said zone district.
3. The proposed changes shown in the Amended Preliminary Master Development Plan and Final Master Development Plan do not constitute a

major amendment to the approved PMDP as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.

4. The Amended Preliminary Master Development Plan and Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
5. The legal purposes for which zoning regulations exists have not been contravened.
6. The Amended Preliminary Master Development Plan and Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby recommends approval of a minor amendment to the Preliminary Master Development Plan and approval of the Final Master Development Plan with the following conditions:

1. The Planning Commission approves these changes to the Foxland Crossings Preliminary Master Development Plan as a minor amendment.
2. Conditions of approval from the Engineering Division will be provided at a later date.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 04/28/2014

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY



ITEM 5

PLANNING DEPARTMENT STAFF REPORT

Amended Preliminary Master Development Plan and Final Master Development Plan for Foxland Crossing Phase 2

(PC0267-14)

South of Nashville Pike and West of Douglas Bend Road

Date: April 28, 2014

REQUEST: OWNER/APPLICANT REQUESTS APPROVAL OF AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE FOXLAND CROSSING MULTI-FAMILY RESIDENTIAL DEVELOPMENT TO CHANGE BUILDING TYPES AND RECONFIGURE PARKING IN PHASE 2 AND APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR PHASE 2 IN ORDER TO CONSTRUCT THREE (3) MULTI-FAMILY BUILDINGS.

OWNER: TDK (ROSS BRADLEY)
APPLICANT: RAGAN SMITH (SCOTTY BERNICK)
STAFF RECOMMENDATION: MINOR AMENDMENT
STAFF RECOMMENDATION: APPROVE WITH CONDITIONS
STAFF CONTACT: KEVIN CHASTINE
PLANNING COMMISSION DATE: APRIL 28, 2014

PROPERTY OVERVIEW: The owner/applicant are requesting approval of an Amended Preliminary Master Development Plan (PMDP) for the Foxland Crossing Multi-Family development to change building types and reconfigure parking in Phase 2 and approval of a Final Master Development Plan (FMDP) for Phase 2 to construct three (3) multi-family buildings.

The amended PMDP will change the building type in Phase 2, by removing six (6) internal garages on the ground level and replace them with additional units, removing one (1) carriage building from its approved location adjacent to the Corps of Engineers Flowage easement, and reconfigure the parking in front of the three (3) multi-family buildings. The project is located south of Nashville Pike and west of Douglas Bend Road. (Attachment 5-1)

CASE BACKGROUND:

Previous Approvals

The original Preliminary Master Development Plan for this property was approved by Planning Commission in November 2005 and passed by City Council in February 2006. As part of that original submittal there were no uses proposed for Tract I so the condition of approval was that a separate Preliminary Master Development Plan would be submitted for Tract I at a later date. That Preliminary Master Development Plan (PC File #3-12-08) for Tract I was recommended by the Planning Commission at the May 19, 2008 meeting and approved on second reading by City Council at the July 15, 2008 Council meeting. A Final

Master Development Plan (PC File# 8-39-08) for a 298 unit multi-family development was submitted and approved at the September 22, 2008 Planning Commission meeting. A new developer purchased the property and a new Preliminary Master Development Plan (PC9872-11) for a 300 unit multi-family development (Foxland Crossing) was approved, as a minor amendment, at the September 26, 2011 Planning Commission meeting. A Final Master Development Plan for Phase 1 of Foxland Crossing was approved at the June 25, 2012 Planning Commission meeting.

DISCUSSION:

Amended Preliminary Master Development Plan

Proposed Development

The owner/applicant requests approval of an Amended Preliminary Master Development Plan for Phase 2 of the Foxland Crossing multi-family residential development located south of Nashville Pike and west of Douglas Bend Road (See Plan Sheet C0.2). Phase 2 of the Foxland Crossing development was approved with three (3) multi-family building types with ground level garages and one (1) carriage building. (See Sheet C0.2) The applicants proposes changing the building type within Phase 2, removing six (6) internal garages, adding four (4) units, removing one (1) carriage house, and reconfiguring the parking layout for Phase 2. Per Section 12.02.050 of the Gallatin Zoning Ordinance, the Planning Commission must make a determination if the changes to the Foxland Crossing Preliminary Master Development Plan are considered a major or minor amendment.

This change will provide a net increase of four (4) units for a total of 304 units. This increase is still within the maximum density of 307 units. With the removal of the ground level garages the parking for Phase 2 must be reconfigured. The applicant has met all parking requirements with surface parking. After the change a total of 615 parking spaces will be provided. The Gallatin Zoning Ordinance requires only 608 parking spaces.

Staff recommends the Planning Commission approve these changes to the Foxland Crossing Preliminary Master Development Plan as a minor amendment.

Final Master Development Plan

Bufferyard and Landscaping

The FMDP for Phase 2 (Lot 2) shows the Type 10 Bufferyard located along the northern property boundary and Type 10 Alternative Bufferyard along the western property boundary as approved on the Preliminary Master Development Plan (PC9872-11).

The landscaping plan for each Phase 2 building has changed from the currently approved PMDP, which is due to the change in building type. Previously, the three (3) multi-family buildings in Phase 2 included ground level garages, which limited the landscaping between the buildings and the parking area in Phase 2. The requested building type removes the garages and places all of the parking in surface lots, which allows for landscaping in front of each building.

The updated landscaping plan includes 31 large deciduous and evergreen trees and a mixture of 251 evergreen shrubs, ornamental trees, grasses, flowers, and ground cover. (See Plan Sheets L-1 & L-2) The bufferyard and landscaping plan meets and/or exceeds the requirements of the Gallatin Zoning Ordinance.

Floodplain and Floodway

According to FEMA FIRM Panel No. 47165C0407G, no portion of Phase 2 located within a flood hazard area. There is a Corps of Engineers Flowage Easement that is located east of building 10. No buildings or parking areas are located within the Corps of Engineers Flowage Easement. The previously approved plans excluded buildings within the Flowage Easement.

Parking

The parking ratio for a multi-family residential is two (2) parking spaces per unit. The applicant has shown 615 parking spaces for the combined Phase 1 and Phase 2 development, which exceeds the required parking spaces by seven (7). Of the proposed 615 parking spaces there are 531 surface parking spaces and 84 parking spaces located within garages on the ground floor of some apartment buildings and the ground floor of the carriage buildings. The applicant is providing 15 handicapped parking spaces, which exceeds the requirement of two (2) percent of the total number of parking spaces as required in Table 11-02 of the Gallatin Zoning Ordinance.

Buildings and Architectural Elevations

The apartment buildings have symmetrical elevations and are three (3) stories in height with an approximate ridgeline height of 45 feet. The roof is a complex system of hipped roofs with gable roofs used to emphasize projecting bays within the building elevation. The building materials are a brown brick, a grey stone, tan cement fiberboard siding, and a grayish blue vertical cement fiber board siding. The front elevation is 70 percent masonry, which consists equally of brick and stone. Also, the rear elevation consists of 76 percent masonry. The end elevations consist of 87 percent masonry, which is primarily stone with some brick. The two (2) floors above the center portion of the elevation are sheathed in the tan cement fiberboard and have two (2) windows on each floor. The windows are six (6) over one (1) double hung. Adjacent to the center bay are the breezeways that lead to internal staircases and the apartment entrances. Each breezeway is accentuated with a gabled portico atop two (2) square piers. To each side of the breezeway are single bays that project outward from the elevation and are sheathed, on all the bottom two (2) floors with brick and the top level sheathed in cement fiber board. The outer bays have tripartite windows while the inter bay have paired windows. All of the windows are six (6) over one (1) double hung windows that sit atop brick lintels and are topped by brick flat arches with precast keystones. The outer edges of the elevation, past the breezeways, consist of three (3) different bays, each of which represents a step back in the plane of the elevation. The first projection is sheathed in stacked stone for all three (3) floors while the outer bay is sheathed in brick for the first two (2) floors with the tan cement fiberboard covering the third floor.

The side elevation is comprised of a central bay that is sheathed in brick on the first two (2) floors and the tan cement fiberboard installed on the third floor. The step backs on the front elevation are very evident when looking at the end elevation. There are no windows visible

within these step backs from the end elevation, while the center bay has two (2) windows per floor and they are located at the very edge of the bay. The windows in the bottom two (2) floors are topped with brick flat arches with precast keystones.

Site Surety

The applicant submitted a site surety prior to issuance of building permits for Phase 1 that covered both Phase 1 and Phase 2 of Foxland Crossing.

Engineering Division Comments

The Engineering Division is reviewing the Amended Preliminary Master Development Plan and Final Master Development Plan. Most of the Engineering Division comments have been satisfied; however, the applicant shall amend the Amended Preliminary Master Development Plan and Final Master Development Plan and provide documents as indicated below:

1. Conditions of approval from the Engineering Division will be provided at a later date.

Other Departmental Comments

Other City Departments reviewed and commented on the Final Master Development Plan. All of the Other Departmental Comments have been satisfied.

FINDINGS OF FACT PER T.C.A. §13-3-104, §13-4-413, §13-4-103, and §13-4-104:

1. The amended PMDP and FMDP is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Regional Activity Center Character Area.
2. The proposed Amended Preliminary Master Development Plan and Final Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district and the approved Preliminary Master Development Plan and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in said zone district.
3. The proposed changes shown in the Amended Preliminary Master Development Plan constitute a minor amendment to the approved PMDP as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
4. The Amended PMDP and FMDP submitted to the City complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
5. The legal purposes for which zoning regulations exists have not been contravened.
6. The Amended PMDP and FMDP will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-32, a Minor Amendment to the Preliminary Master Development Plan (Sheet C0.2) and the Final Master Development Plan for Phase 2 at Foxland Crossings consisting of a 12 sheet plan, prepared by Ragan Smith of Nashville TN, with project No. 11035 and dated March 26, 2014, and a two (2) sheet (Sheets L1 & L2) landscaping plan for Foxland Crossings prepared by Alaback Design, of Tulsa, Oklahoma with job number 11037 dated 3-24-3014, and a one (1) page architectural drawing (Sheet AB2) for Foxland Crossings Phase II, prepared by Parker Associates of Tulsa, Oklahoma with job number 211036, dated 2-28-14, with the following condition:

1. Staff recommends the Planning Commission approve these changes to the Foxland Crossing Preliminary Master Development Plan as a minor amendment.
2. Conditions of approval from the Engineering Division will be provided at a later date.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City)

ATTACHMENTS

Attachment 5-1 Final Master Development Plan (Amended Preliminary Master Development included as Sheet C0.2)

AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN & FINAL MASTER DEVELOPMENT PLAN PHASE II

FOR
FOXLAND CROSSINGS
TDK CONSTRUCTION COMPANY



CONTACTS

OWNER/ DEVELOPER

ROSS BRADLEY
KEACH INVESTMENTS
TDK CONSTRUCTION COMPANY, INC.
1610 SOUTH CHURCH STREET
SUITE C
MURFREESBORO, TN. 37130
(615)895-8743

CIVIL

BRAD SLAYDEN
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
BSLAYDEN@RAGANSMITH.COM

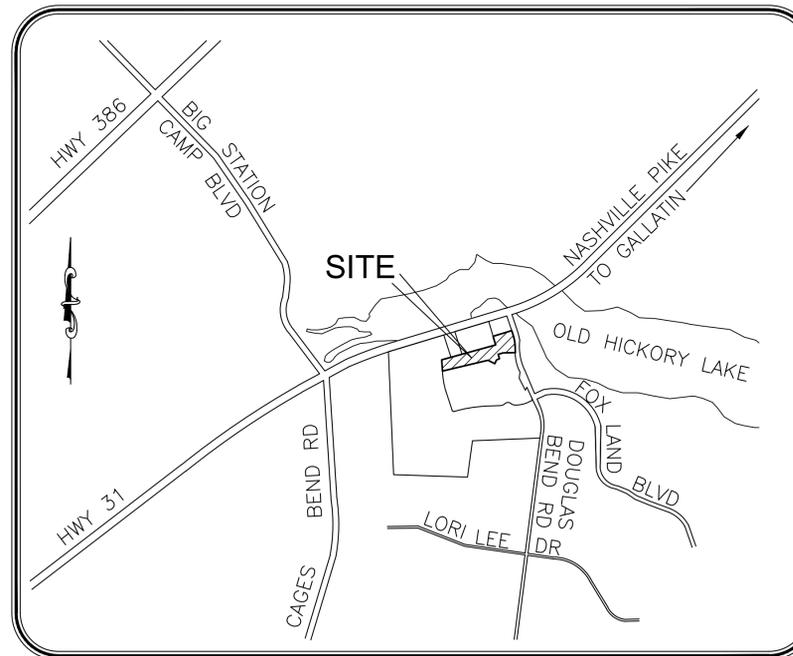
LANDSCAPE ARCHITECTURE

BRYAN DILLINGHAM
2202 E. 49TH STREET, SUITE 500
TULSA, OK 74105
(918) 742-1463
BRYAN_DILLINGHAM@ALABACKDESIGN.COM

ARCHITECTURE

JIM PARKER
PARKER ASSOCIATES
2202 E. 49TH STREET, SUITE 500
(918) 742-2485
JPARKER@PARKERTULSA.COM

TAX MAP: 136, PARCEL NO.: 27.01



LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS

SHEET DESCRIPTION

C0.0 COVER SHEET

CIVIL PLANS

- C0.1 CIVIL NOTES
- C0.2 AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
- C0.3 OVERALL EXISTING CONDITIONS PLAN
- C1.0 OVERALL LAYOUT PLAN
- C1.1 ENLARGED LAYOUT PLAN
- C2.1 INITIAL EROSION CONTROL PLAN
- C3.0 OVERALL GRADING PLAN
- C3.1 ENLARGED GRADING, DRAINAGE AND EROSION CONTROL PLAN
- C4.0 OVERALL UTILITY PLAN
- C4.1 ENLARGED UTILITY PLAN
- C5.1 CONSTRUCTION DETAILS

LANDSCAPE ARCHITECTURAL PLANS

- L1 LANDSCAPE PLAN
- L2 LANDSCAPE PLAN

ARCHITECTURAL PLANS

- AB2 BUILDINGS 10, 11 & 12 ELEVATIONS



AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
& FINAL MASTER DEVELOPMENT PLAN PHASE II
FOR

FOXLAND CROSSINGS

CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

HUD PROJECT: 086-35358

JOB NO. 11035	WK. ORDER 9870	DESIGNED: B. SLAYDEN	DRAWN: R. HIRSCH	SCALE: N.T.S.	DATE: MARCH 26, 2014
REVISIONS					04/16/14 (SMB) REV. PER. CITY COMMENTS

COVER SHEET

C0.0

SITE GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE PROXIMITY OF THE CONSTRUCTION AREA AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
3. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
4. DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF CONCRETE AND FACE OF BUILDING UNLESS NOTED OTHERWISE.
5. PROPOSED BUILDING FOOTPRINT IS FOR GRAPHIC PURPOSES ONLY. CONTRACTOR SHALL USE THE CURRENT ARCHITECTURAL DRAWINGS FOR BUILDING STAKEOUT AND VERIFY THAT THERE ARE NO DISCREPANCIES WITH THESE PLANS.
6. ALL TRAFFIC MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICE (MUTCD). ALL PAVEMENT MARKING SHALL BE THERMOPLASTIC UNLESS DIRECTED OTHERWISE BY THE OWNER'S REPRESENTATIVE.
7. ALL HANDICAP RAMPS, PARKING SPACES AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE CURRENT ADA REQUIREMENTS.
8. EXTERIOR DOOR LANDINGS SHALL BE PROVIDED PER THE LOCAL BUILDING CODE. CONTRACTOR SHALL COORDINATE DOOR LOCATIONS AND ADJACENT SIDEWALK/LANDING GRADES WITH THESE PLANS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.

SITE CONSTRUCTION NOTES

1. THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO THE CONSTRUCTION OF THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR ALL EXPENSES OF FIELD STAKING NECESSARY FOR SITE AND BUILDING LAYOUT. ALL LAYOUT SHALL BE PERFORMED IN ACCORDANCE WITH THE SITE LAYOUT PLAN.
3. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC., AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION BY ACTUAL SURVEYS, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES. HOWEVER, THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATION DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
4. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THEREFORE, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, AND LIGHTS.
5. THE SITE DEVELOPMENT PORTION OF THIS PROJECT WILL BE SUBJECT TO THE INSPECTION AND FINAL APPROVAL OF THE LOCAL PLANNING, CODES, WATER AND SEWER DEPARTMENTS (AND/OR UTILITY DISTRICTS), ENGINEERING/PUBLIC WORKS DEPARTMENTS AND FIRE MARSHAL'S OFFICE.
6. IF, DURING THE CONSTRUCTION OF THE SITE DEVELOPMENT PORTION OF THIS PROJECT, A QUESTION OF INTENT OR CLARITY ARISES FROM EITHER THE PLANS OR SPECIFICATIONS, THE CONTRACTOR WILL IMMEDIATELY BRING THE MATTER TO THE ATTENTION OF THE CIVIL ENGINEER OR OWNER'S REPRESENTATIVE FOR RESOLUTION BEFORE THE AFFECTED WORK ITEMS ARE INITIATED OR PURSUED FURTHER.
7. THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND/OR UNDERGROUND POWER LINES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED LINES, THE ELECTRIC AND/OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. THE CONTRACTOR SHOULD MAKE A THOROUGH EXAMINATION OF THE OVERHEAD LINES IN THE PROJECT AREA PRIOR TO THE INITIATION OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.

DEMOLITION NOTES

1. THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL EXCAVATED MATERIALS AND SUCH ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ALL ITEMS SHALL BE PROPERLY DISPOSED OF AT AN OFF-SITE LOCATION. THE CONTRACTOR SHALL OUTLINE ANY AND ALL POSSIBLE HAUL ROUTES AND SHALL BE PREPARED TO SUBMIT SUCH TO THE LOCAL JURISDICTION PUBLIC WORKS DEPARTMENT, THE CIVIL ENGINEER AND OTHER AUTHORITIES FOR APPROVAL.
2. IF, AT ANY TIME, PRIOR TO OR DURING THE DEMOLITION WORK, HAZARDOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND APPROPRIATE GOVERNMENTAL AGENCY.
3. THE CONTRACTOR SHALL NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE OR DISRUPTION. SUCH OPERATIONS SHALL BE CONDUCTED BY THE CONTRACTOR WITH MINIMUM INTERFERENCE TO ADJACENT OWNERS. ADJACENT EGRESS AND ACCESS SHALL BE PROPERLY MAINTAINED AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ANY ROADWAYS, PARKING OR SIDEWALKS WITHOUT PERMISSION FROM THE ADJACENT OWNERS OR THE LOCAL JURISDICTION PUBLIC WORKS DEPARTMENT.
4. PRIOR TO THE COMMENCEMENT OF DEMOLITION/GRADING OPERATIONS, ALL OVERHEAD AND UNDERGROUND UTILITIES SHALL BE LOCATED. ALL REMOVAL AND/OR RELOCATION OF UTILITIES SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
5. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER OR AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO OWNER.
6. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING ALL AFFECTED UTILITIES PRIOR TO SUBMITTING HIS BID TO DETERMINE THE EXTENT TO WHICH UTILITY DISCONNECTIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF THE WORK FOR THE PROJECT. SOME UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS, WHILE SOME WORK MAY BE REQUIRED "AROUND" UTILITY FACILITIES THAT WILL REMAIN IN PLACE. IT IS UNDERSTOOD AND AGREED THAT THE CONTRACTOR WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DELAYS OR INCONVENIENCE CAUSED BY THE UTILITY ADJUSTMENT.

EROSION PREVENTION AND SEDIMENT CONTROLS

DESIGN, INSPECTION, AND MAINTENANCE OF BMPS DESCRIBED AND SHOWN ON THESE PLANS SHALL BE CONSISTENT OR EXCEED RECOMMENDATIONS CONTAINED IN THE CURRENT EDITION OF TDEC'S TENNESSEE EROSION CONTROL HANDBOOK.

1. ALL CONTROL MEASURES MUST BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, TDEC AND LOCAL STANDARDS.
2. BMP CAPACITY [SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, AND OTHER SEDIMENT CONTROL] SHALL NOT BE REDUCED BY MORE THAN 50% AT ANY GIVEN TIME. IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INAPPROPRIATELY OR INCORRECTLY, THE CONTRACTOR MUST REPLACE OR MODIFY THE CONTROL FOR RELEVANT SITE SITUATIONS.
3. WHERE PERMANENT OR TEMPORARY VEGETATION COVER IS USED AS A CONTROL MEASURE, THE TIMING OF THE PLANTING IS CRITICAL. PLANNING FOR PLANTING OF VEGETATION COVER DURING WINTER OR DRY MONTHS SHOULD BE AVOIDED.
4. IF SEDIMENT ESCAPES THE PERMITTED AREA, OFF-SITE ACCUMULATIONS OF SEDIMENT THAT HAVE NOT REACHED A STREAM MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. THE CONTRACTOR SHALL NOT INITIATE REMEDIATION/RESTORATION OF A STREAM WITHOUT CONSULTING THE DIVISION FIRST. THE NOI GENERAL PERMIT DOES NOT AUTHORIZE ACCESS TO PRIVATE PROPERTY. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED BY THE CONTRACTOR AND ADJOINING LANDOWNER.
5. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF OF THE SITE BY WIND OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES. AFTER USE, MATERIALS USED FOR EPSC SHOULD BE REMOVED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGE.
6. ERODIBLE MATERIAL STORAGE AREAS (INCLUDING OVERBURDEN AND STOCKPILES OF SOIL) AND BORROW PITS ARE CONSIDERED PART OF THE SITE AND SHOULD BE ADDRESSED WITH APPROPRIATE BMP'S ACCORDINGLY.
7. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED, OR DISTURBED MORE THAN 15 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS STABILIZED. CONTRACTOR SHALL SEQUENCE EVENTS TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS. CLEARING AND GRUBBING SHALL BE HELD TO THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATION. EXISTING VEGETATION AT THE SITE SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
8. EPSC MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE MOVING OPERATIONS BEGIN AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY, BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
9. THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE OR A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS. CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE, OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
10. A COPY OF THE SWPPP SHALL BE RETAINED ON-SITE AND SHOULD BE ACCESSIBLE TO THE DIRECTOR AND THE PUBLIC. ONCE SITE IS INACTIVE OR DOES NOT HAVE AN ONSITE LOCATION ADEQUATE TO STORE THE SWPPP, THE LOCATION OF THE SWPPP, ALONG WITH A CONTACT PHONE NUMBER, SHALL BE POSTED ON-SITE. IF THE SWPPP IS LOCATED OFF-SITE, REASONABLE LOCAL ACCESS TO THE PLAN, DURING NORMAL WORKING HOURS, MUST BE PROVIDED.
11. OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ACCESS (A POINT OF ENTRANCE/EXIT TO A CONSTRUCTION SITE) SHALL BE CONSTRUCTED AS NEEDED TO REDUCE THE TRACKING OF MUD AND DIRT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES.
12. INSPECTIONS MUST BE PERFORMED AT LEAST TWICE EVERY CALENDAR WEEK. INSPECTIONS SHALL BE PERFORMED AT LEAST 72 HOURS APART. WHERE SITES OR PORTIONS OF CONSTRUCTION SITES HAVE BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS OR DUE TO EXTREME DROUGHT, SUCH INSPECTION HAS TO BE CONDUCTED ONCE PER MONTH UNTIL THAWING OR PRECIPITATION RESULTS IN RUNOFF OR CONSTRUCTION ACTIVITIES RESUMES. INSPECTION REQUIREMENT DO NOT APPLY TO DEFINABLE AREAS THAT HAVE BEEN FINALLY STABILIZED, AS DESIGNED BY THE ENGINEER. WRITTEN NOTIFICATION OF THE INTENT TO CHANGE THE INSPECTION FREQUENCY AND THE JUSTIFICATION FOR SUCH REQUEST MUST BE SUBMITTED TO THE LOCAL ENVIRONMENTAL FIELD OFFICE, OR THE DIVISION'S NASHVILLE CENTRAL OFFICE FOR PROJECTS OF TDOT OR TVA. SHOULD THE DIVISION DISCOVER THAT MONTHLY INSPECTION OF THE DIVISION DISCOVER THAT MONTHLY INSPECTIONS OF THE SITE ARE NOT APPROPRIATE DUE TO INSUFFICIENT STABILIZATION MEASURES OR OTHERWISE, TWICE WEEKLY INSPECTIONS SHALL RESUME. THE DIVISION MAY INSPECT THE SITE TO CONFIRM OR DENY THE NOTIFICATION TO CONDUCT MONTHLY INSPECTIONS.
13. INSPECTORS PERFORMING THE REQUIRED TWICE WEEKLY INSPECTIONS MUST HAVE AN ACTIVE CERTIFICATION AND A RECORD OF CERTIFICATION MUST BE KEPT ON SITE. BASED ON THE RESULTS OF THE INSPECTION, ANY INADEQUATE CONTROL MEASURES OR CONTROL MEASURES IN DESPAIR SHALL BE REPLACED OR MODIFIED, OR REPAIRED AS NECESSARY, BEFORE THE NEXT RAIN EVENT, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE NEED IDENTIFIED.
14. OUTFALL POINTS SHALL BE INSPECTED TO DETERMINE WHETHER EPSC MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. WHERE DISCHARGE LOCATIONS ARE INACCESSIBLE, NEARBY DOWNSTREAM LOCATIONS SHALL BE INSPECTED. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.

TREE PROTECTION NOTES

1. ANY REQUIRED EXCAVATION IN OR AROUND THE PROTECTION ZONE TO ACCOMMODATE UNDERGROUND SERVICES, FOOTINGS, ETC., SHALL BE INDICATED ON THE PLAN, AND SHALL BE EXCAVATED BY HAND. IN ADDITION, RELATED ROOT PRUNING SHALL BE ACCOMPLISHED BY A CERTIFIED ARBORIST VIA ANSI A-300-95 STANDARD SO AS TO MINIMIZE IMPACT OF THE GENERAL ROOT SYSTEM.
2. THE STORAGE OF BUILDING MATERIALS OR STOCKPILING SHALL NOT BE PERMITTED WITHIN THE LIMITS OF OR AGAINST THE PROTECTION BARRIERS.
3. TREES WITHIN THE PROTECTION BARRIERS MUST BE ADEQUATELY CARED FOR THROUGHOUT THE CONSTRUCTION PROCESS (I.E., THEY MUST BE WATERED SUFFICIENTLY, PARTICULARLY IF THE TREE'S ROOT SYSTEM HAS BEEN DISTURBED BY EXCAVATION). FILL SHALL NOT BE PLACED UPON THE ROOT SYSTEM IN SUCH A MANNER AS TO ENDANGER THE HEALTH OR LIFE OF THE AFFECTED TREE.
4. TREE PROTECTION BARRIER SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF ANY PERMITS AND SHALL REMAIN INTACT THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION.

SITE GRADING & STORM DRAINAGE NOTES

EROSION CONTROL SEDIMENT BARRIERS AND TREE PROTECTION BARRIER SHALL BE INSTALLED PRIOR BEGINNING SITE WORK.

1. NO HEAVY EQUIPMENT SHALL CROSS OR BE STORED OUTSIDE THE LIMITS OF CONSTRUCTION, WITHIN TREE PROTECTIONS ZONES, OR UNDER THE DRIP LINE OF EXISTING TREES TO REMAIN.
2. TOPSOIL STRIPPED FROM AREAS TO BE GRADED SHALL BE STOCKPILED ON SITE IN A LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE. DRAINAGE SHALL BE ROUTED AROUND STOCKPILE LOCATIONS FOR THE DURATION OF GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT LOSS OF TOPSOIL MATERIAL.
3. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT.
4. ALL CUT AND FILL SHALL BE PERFORMED UNDER THE DIRECTION/OBSERVATION OF THE GEOTECHNICAL ENGINEER.
5. THE SUITABILITY OF SOILS FOR FILL MATERIAL SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.
6. UNLESS DIRECTED OTHERWISE BY GEOTECHNICAL ENGINEER, ALL FILL AREAS SHALL BE RAISED IN LIFTS NOT EXCEEDING 8" IN THICKNESS. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL WITHIN OPEN AREAS AND 98% OF SAME SPECIFICATION FOR AREAS UNDER ROADS, PARKING, SIDEWALKS, BUILDING SLABS, AND FOUNDATIONS.
7. ALL GRADING SHALL BE COMPLETED TO THE GRADES INDICATED WITHIN THESE PLANS. FINAL GRADES SHALL PROVIDE PROPER DRAINAGE AND PREVENT STANDING WATER.
8. ALL STORM DRAINAGE CASTINGS TO BE JOHN BOUCHARD & SONS CO. OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
9. ALL STORM DRAINAGE PIPES TO BE RCP, CLASS III, UNLESS OTHERWISE NOTED.

SITE UTILITY NOTES

1. ALL MATERIALS AND WORKMANSHIP FOR UTILITY LINES AND APPURTENANCES SHALL BE IN STRICT COMPLIANCE WITH THE GOVERNING UTILITY COMPANY AND LOCAL CODES. PRIOR TO CONSTRUCTION CONTRACTOR SHALL NOTIFY UTILITY COMPANY. (SEE UTILITY CONTACT INFORMATION)
2. CONTRACTOR SHALL COORDINATE SITE ELECTRICAL, GAS, TELEPHONE, AND CABLE WITH THE RESPECTIVE UTILITY COMPANY FOR SERVICE LAYOUT AND DESIGN INFORMATION. ANY PROPOSED LAYOUT OF THESE UTILITIES DEPICTED ON THESE DRAWINGS IS GRAPHICAL ONLY AND NOT INTENDED TO REPRESENT DESIGN OF THESE UTILITIES.
3. PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY ANY REQUIRED TAP AND CONNECTION FEES.
4. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
5. SITE CONTRACTOR SHALL CONSTRUCT ALL UTILITY SERVICES TO WITHIN 5' OF BUILDING.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES TO AVOID CONFLICTS.
7. CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF WATER, SEWER AND STORMWATER CONNECTIONS TO THE BUILDING AS DEPICTED ON THE BUILDING MECHANICAL PLANS AND THE SITE UTILITY PLAN AND NOTIFY THE ENGINEER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
8. WATER SERVICES LINES 1/4" - 3" SHALL BE TYPE-K COPPER AND 4" OR LARGER SHALL BE DUCTILE IRON PIPE - CLASS 52 UNLESS OTHERWISE REQUIRED BY UTILITY COMPANY.
9. FIRE LINE INSTALLATION AND THRUST BLOCKING LOCATION AND SIZING SHALL BE PER N.F.P.A. AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
10. WATER METER MANUFACTURER/MODEL NUMBER AND VAULT SPECIFICATIONS SHALL BE PER THE WATER UTILITY COMPANY.
11. BACKFLOW DEVICE (RPPB/DDCVA) MANUFACTURER/MODEL NUMBER SHALL BE PER THE WATER UTILITY COMPANY.
12. CONTRACTOR SHALL INSTALL HOT BOX ENCLOSURE (PRE-FINISHED DARK GREEN) ON ALL EXTERIOR ABOVE-GROUND BACKFLOW DEVICES. DOMESTIC AND FIRE BACKFLOW DEVICES SHALL BE HEATED. CONTRACTOR SHALL COORDINATE PROVIDING APPROPRIATE ELECTRICAL SERVICE TO BACKFLOW DEVICE.
13. CONTRACTOR SHALL COORDINATE LOCATION OF BACKFLOW DEVICE WITH THE BUILDING MECHANICAL DRAWINGS.
14. SANITARY SEWER SERVICE LINES SHALL BE SDR 35 PVC UNLESS SPECIFIED OTHERWISE.
15. MAINTAIN A 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER LINES.
16. ALL FIRE LINE MAINS TO BE INSTALLED BY LICENSED FIRE PROTECTION CONTRACTOR.

GEOTECHNICAL NOTE

1. A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS SITE BY PSI DATED/REVISED: JULY 2, 2014. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE GEOTECHNICAL REPORT AND SHALL INCORPORATE ALL GEOTECHNICAL CONSIDERATIONS, RECOMMENDATIONS AND SPECIAL NOTES INTO THE CONSTRUCTION AND STABILIZATION OF THIS PROJECT.

RAGAN SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 CHATTANOOGA
 140 COWART STREET
 NASHVILLE, TN 37208
 (615) 244-0591
 www.ragan-smith.com



HUD PROJECT 086-35358

AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
 & FINAL MASTER DEVELOPMENT PLAN PHASE II
 FOR
PHASE II AT FOXLAND CROSSING
 CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

JOB NO.	11035	DESIGNED:	B. SLAYDEN	DRAWN:	R. HIRSCH	SCALE:	N.T.S.	DATE:	MARCH 26, 2014
WK. ORDER	9870								
04/16/14 (SMB) REV. PER. CITY COMMENTS REVISIONS									
CIVIL NOTES									
C0.1									

01/15/2014 10:52 AM: RAGAN SMITH ARCHITECTS/ENGINEERS/CADD
 PLOTTED BY: RICHARD HENNINGER ON: 3/27/2014 10:41 AM
 LAST UPDATED BY: RHE ON: 3/27/2014 11:41 AM

OWNER/DEVELOPER:
MR. ROSS BRADLEY
TDK CONSTRUCTION COMPANY, INC.
1610 SOUTH CHURCH STREET, SUITE C
MURFREESBORO, TN 37130
(615) 895-8743
RBRADLEY@TDKCONSTRUCTION.COM

PROJECT ENGINEER (APPLICANT):
BRAD SLAYDEN, P.E.
RAGAN-SMITH & ASSOCIATES, INC.
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
BSLAYDEN@RAGANSMITH.COM

TRIP GENERATION

L.I.C. DESCRIPTION	UNITS	DAILY	A.M. PEAK HOUR			P.M. PEAK HOUR		
			ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
220 APARTMENT	304	1,966	31	122	153	120	65	185

SOURCE: ITE Trip Generation Report, 8th Edition

OLD HICKORY LAKE

PHASE 16 FUTURE COMMERCIAL DEVELOPMENT

EXISTING FLOWAGE EASEMENT

PHASE 13 304 APARTMENTS

PHASE 12 71 TOWNHOMES

PHASE 14 FUTURE RESIDENTIAL DEVELOPMENT

PHASE 15 FUTURE COMMERCIAL DEVELOPMENT OUTPARCEL 1

25 FRONT YARD

20' REAR YARD TYPE 10 BUFFER

10' SIDE YARD TYPE 10 ALTERNATE BUFFER YARD

10' REAR YARD

25 FRONT YARD

25 FRONT YARD

10' SIDE YARD

15' SIDE YARD

10' SIDE YARD (ALONG SOUTHERN PROPERTY LINE)

50' R.O.W. TYPICAL ROADWAY SECTION FOXLAND BOULEVARD

TYPICAL BOULEVARD SECTION FOXLAND BOULEVARD

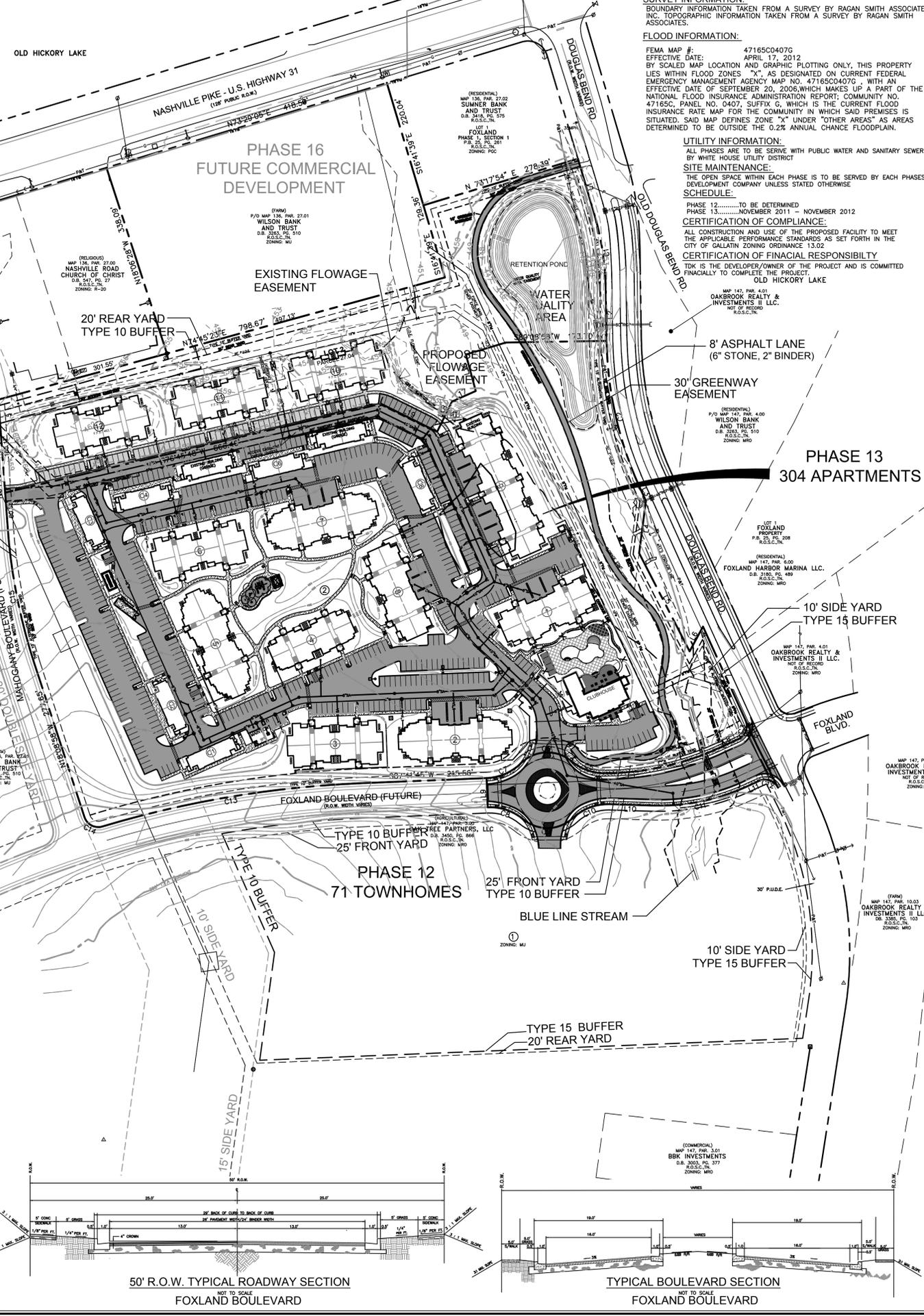
30' GREENWAY EASEMENT

8' ASPHALT LANE (6" STONE, 2" BINDER)

10' SIDE YARD TYPE 15 BUFFER

10' SIDE YARD TYPE 15 BUFFER

25' FRONT YARD



LOT 1

PROPERTY DESCRIPTION

BEING A CERTAIN TRACT OF LAND LOCATED IN THE FOURTH CIVIL DISTRICT OF SUMNER COUNTY, CITY OF GALLATIN, TENNESSEE, SAID TRACT BEING A PORTION OF THE SAME PROPERTY CONVEYED TO WILSON BANK AND TRUST, OF RECORD IN DEED BOOK 3263, PAGE 510, R.O.S.C., TN. (RECORSTER OFFICE FOR SUMNER COUNTY, TENNESSEE), LOCATED IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF NASHVILLE PIKE (RIGHT-OF-WAY WIDTH VARIES) AND DOUGLAS BEND ROAD (RIGHT-OF-WAY WIDTH VARIES), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

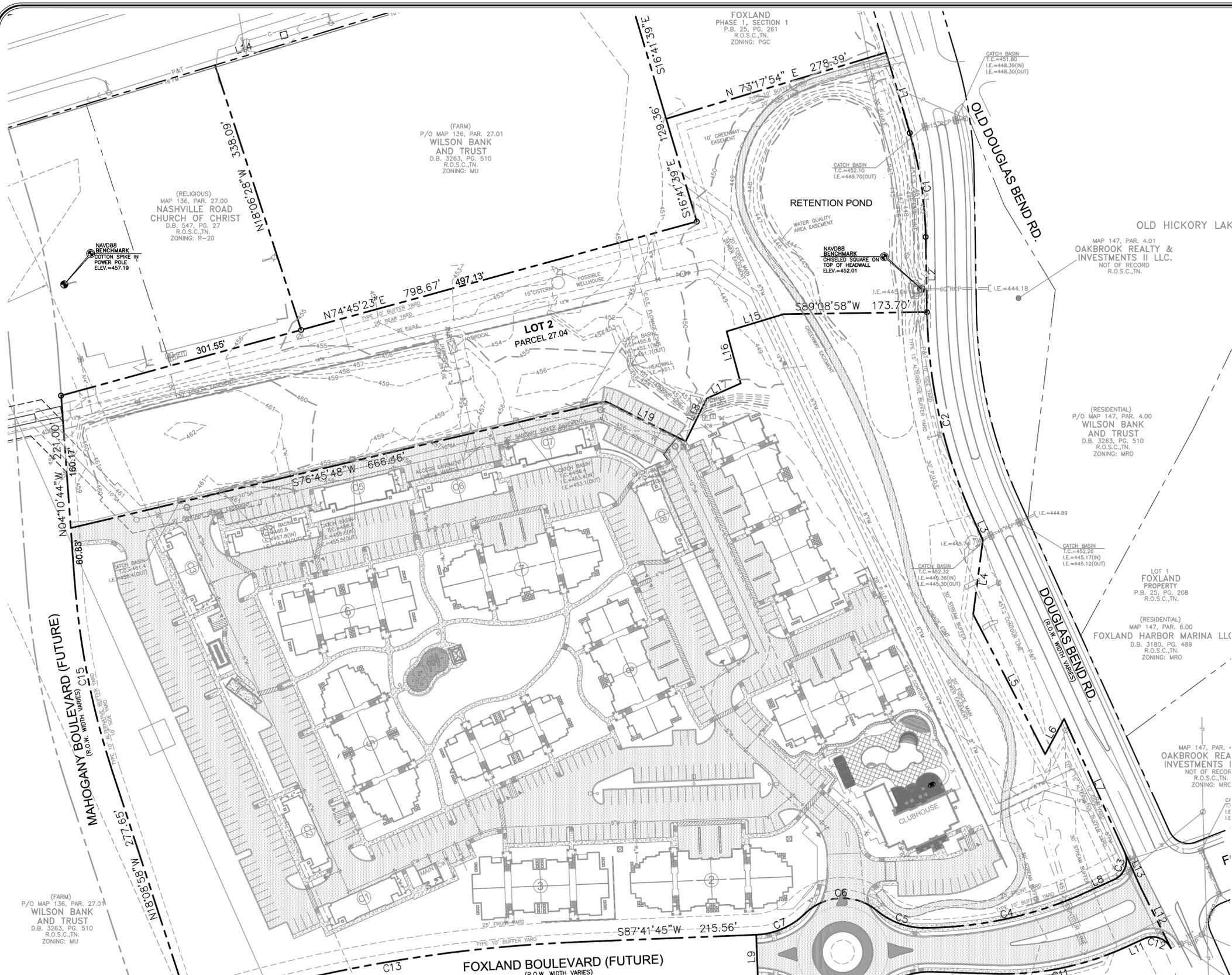
BEGINNING AT A CONCRETE MONUMENT (OLD), SAID MONUMENT BEING LOCATED IN THE WESTERN RIGHT-OF-WAY OF SAID DOUGLAS BEND ROAD, BEING THE NORTHEAST CORNER OF OAK TREE PARTNERS, LLC, OF RECORD IN DEED BOOK 3450, PAGE 866, R.O.S.C., TN, AND BEING THE SOUTHWEST CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, LEAVING THE RIGHT-OF-WAY OF SAID DOUGLAS BEND ROAD AND WITH THE NORTHERN LINE OF SAID OAK TREE PARTNERS, LLC, SOUTH 87 DEGREES 41 MINUTES 44 SECONDS WEST, 961.87 FEET TO AN 87' IRON ROD (OLD);

THENCE, SEVERING THE LANDS OF SAID WILSON BANK AND TRUST, NORTH 24 DEGREES 02 MINUTES 15 SECONDS WEST, 426.03 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING LOCATED IN THE FUTURE SOUTHERN RIGHT-OF-WAY OF FOXLAND BOULEVARD AND BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 11 DEGREES 51 MINUTES 01 SECONDS, A RADIUS OF 1,775.00 FEET, AN ARC LENGTH OF 367.11 FEET, AND A CHORD OF NORTH 81 DEGREES 46 MINUTES 14 SECONDS EAST, 366.46 FEET;

THENCE, WITH THE FUTURE SOUTHERN RIGHT-OF-WAY SAID FOXLAND BOULEVARD FOR THE FOLLOWING NINE CALLS: 1.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 367.11 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA; 2.) NORTH 87 DEGREES 41 MINUTES 45 SECONDS EAST, 215.55 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 42 DEGREES 06 MINUTES 21 SECONDS, A RADIUS OF 90.00 FEET, AN ARC LENGTH OF 66.14 FEET, AND A CHORD OF SOUTH 71 DEGREES 15 MINUTES 13 SECONDS EAST, 64.66 FEET; 3.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 66.14 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 44 DEGREES 00 MINUTES 18 SECONDS, A RADIUS OF 90.00 FEET, AN ARC LENGTH OF 93.63 FEET, AND A CHORD OF NORTH 88 DEGREES 32 MINUTES 00 SECONDS EAST, 85.74 FEET; 4.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 85.74 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 26 DEGREES 48 MINUTES 26 SECONDS, A RADIUS OF 357.45, AN ARC LENGTH OF 167.24 FEET, AND A CHORD OF NORTH 78 DEGREES 52 MINUTES 06 SECONDS EAST, 165.72 FEET; 5.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 165.72 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 87 DEGREES 53 MINUTES 43 SECONDS, A RADIUS OF 250.00 FEET, AN ARC LENGTH OF 24.50 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 87 DEGREES 53 MINUTES 43 SECONDS, A RADIUS OF 250.00 FEET, AN ARC LENGTH OF 24.50 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 87 DEGREES 53 MINUTES 43 SECONDS, A RADIUS OF 250.00 FEET, AN ARC LENGTH OF 24.50 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING LOCATED IN THE WESTERN RIGHT-OF-WAY OF SAID DOUGLAS BEND ROAD;

THENCE, WITH THE WESTERN RIGHT-OF-WAY OF SAID DOUGLAS BEND ROAD FOR THE FOLLOWING THREE CALLS: 1.) SOUTH 26 DEGREES 39 MINUTES 40 SECONDS EAST, 29.90 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 2.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 355.61 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA; AND 3.) SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 4.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 5.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 6.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 7.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 8.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 9.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 10.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 11.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 12.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 13.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 14.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 15.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 16.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 17.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 18.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 19.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 20.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 21.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 22.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 23.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 24.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 25.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 26.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 27.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 28.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 75 DEGREES 26 MINUTES 04 SECONDS, A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 355.61 FEET, AND A CHORD OF SOUTH 08 DEGREES 45 MINUTES 58 SECONDS EAST, 349.97 FEET; 29.) ALONG THE ARC OF THE ABOVE DESCRIBED CURVE, 349.97 FEET TO AN IRON ROD (NEW) WITH A CAP STAMPED RSA, SAID IRON ROD BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 7



LINE TABLE

LINE	BEARING	DISTANCE
L1	S16°28'56"E	101.28'
L2	S00°58'32"E	90.61'
L3	S24°31'46"E	26.41'
L4	S07°23'42"W	90.55'
L5	S27°18'16"E	189.92'
L6	N28°20'50"E	48.52'
L7	S24°31'46"E	176.49'
L8	S65°27'59"W	36.51'
L9	S02°18'56"E	50.01'
L10	S88°13'41"E	73.28'
L11	N65°27'53"E	24.50'
L12	N26°37'12"W	80.56'
L13	N24°31'46"W	48.58'
L14	N73°13'14"E	86.72'
L15	S23°18'28"W	72.26'
L16	S15°14'59"E	64.90'
L17	S66°00'09"W	44.93'
L18	S26°22'58"W	57.70'
L19	N63°37'01"W	107.86'

CURVE TABLE

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	15°33'23"	470.00'	127.20'	S08°43'45"E	126.81'
C2	23°33'11"	630.00'	258.98'	N12°45'08"W	257.16'
C3	90°00'54"	25.00'	39.28'	S20°28'15"W	35.36'
C4	23°44'07"	481.76'	199.57'	S77°23'23"W	198.15'
C5	42°05'32"	90.00'	66.13'	N71°15'19"W	64.65'
C6	84°11'44"	65.00'	95.52'	N87°41'45"E	87.15'
C7	42°05'43"	90.00'	66.12'	S66°38'44"W	64.65'
C8	42°06'21"	90.00'	66.14'	S71°15'13"E	64.66'
C9	82°31'55"	65.00'	93.63'	S88°32'00"W	85.74'
C10	44°00'38"	90.00'	69.12'	N69°16'11"E	67.44'
C11	26°48'26"	352.45'	167.24'	S79°52'06"W	165.72'
C12	87°53'43"	25.00'	38.35'	N70°34'59"W	34.70'
C13	14°15'36"	1825.00'	454.21'	N80°33'57"E	453.04'
C14	91°11'17"	25.00'	39.79'	N62°33'39"W	35.72'
C15	13°58'39"	974.00'	237.61'	N11°09'51"W	237.02'

FOXLAND BOULEVARD (FUTURE)
(R.O.W. WIDTH VARIES)

MAHOGANI BOULEVARD (FUTURE)
(R.O.W. WIDTH VARIES) C15

DOUGLAS BEND RD.
(R.O.W. WIDTH VARIES)

OLD DOUGLAS BEND RD.

OLD HICKORY LAK

RETENTION POND

LOT 2 PARCEL 27.04

LOT 1 FOXLAND PROPERTY
P/O MAP 147, PAR. 208
R.O.S.C., TN.

FOXLAND HARBOR MARINA LLC
MAP 147, PAR. 6.00
D.B. 3180, PG. 489
R.O.S.C., TN.
ZONING: MRO

OAK TREE PARTNERS, LLC
MAP 147, PAR. 3.00
D.B. 3450, PG. 866
R.O.S.C., TN.
ZONING: MRO

- LEGEND**
- CM(O) CONCRETE MONUMENT (OLD)
 - IR(O) IRON ROD (OLD)
 - IR(N) IRON ROD (NEW)
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ WATER METER
 - ⊕ CATCH BASIN
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ SEWER CLEAN-OUT
 - ⊕ ELECTRIC BOX
 - ⊕ SIGN
 - R.O.W.C.T. REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TN
 - (XXX) PARCEL NUMBER
 - (XXX) LOT NUMBER
 - CONCRETE SURFACE
 - ASPHALT SURFACE
 - 123 STREET ADDRESS
 - ⊕ UTILITY POLE
 - ⊕ UTILITY POLE W/ ANCHOR
 - ⊕ UTILITY POLE W/ LIGHT
 - ⊕ GAS METER
 - ⊕ TELEPHONE RISER
 - ⊕ OVERHEAD ELECTRIC POWER LINE
 - ⊕ OVERHEAD TELEPHONE LINE
 - ⊕ OVERHEAD POWER AND TELEPHONE LINES
 - ⊕ SANITARY SEWER LINE
 - ⊕ GAS LINE
 - ⊕ WATER LINE
 - ⊕ UGT- UNDERGROUND TELEPHONE LINE
 - ⊕ FENCE
 - ⊕ RCP REINFORCED CONCRETE PIPE
 - ⊕ CMP CORRUGATED METAL PIPE
 - ⊕ CPP CORRUGATED PLASTIC PIPE
 - ⊕ GUARDRAIL
 - ⊕ M.B.S.L. MINIMUM BUILDING SETBACK LINE
 - ⊕ P.U.D.E. PUBLIC UTILITY & DRAINAGE EASEMENT

PAVEMENT LEGEND

- LIGHT DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE WALK
- EXISTING ASPHALT PAVEMENT

IF YOU DIG TENNESSEE... CALL US FIRST!
1-800-351-1111
1-615-366-1987
TENNESSEE ONE CALL IT'S THE LAW

0 60 120 180
SCALE: 1"=60'

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
NASHVILLE
315 WOODLAND STREET
NASHVILLE, TN 37208
(615) 244-0091
www.ragan-smith.com



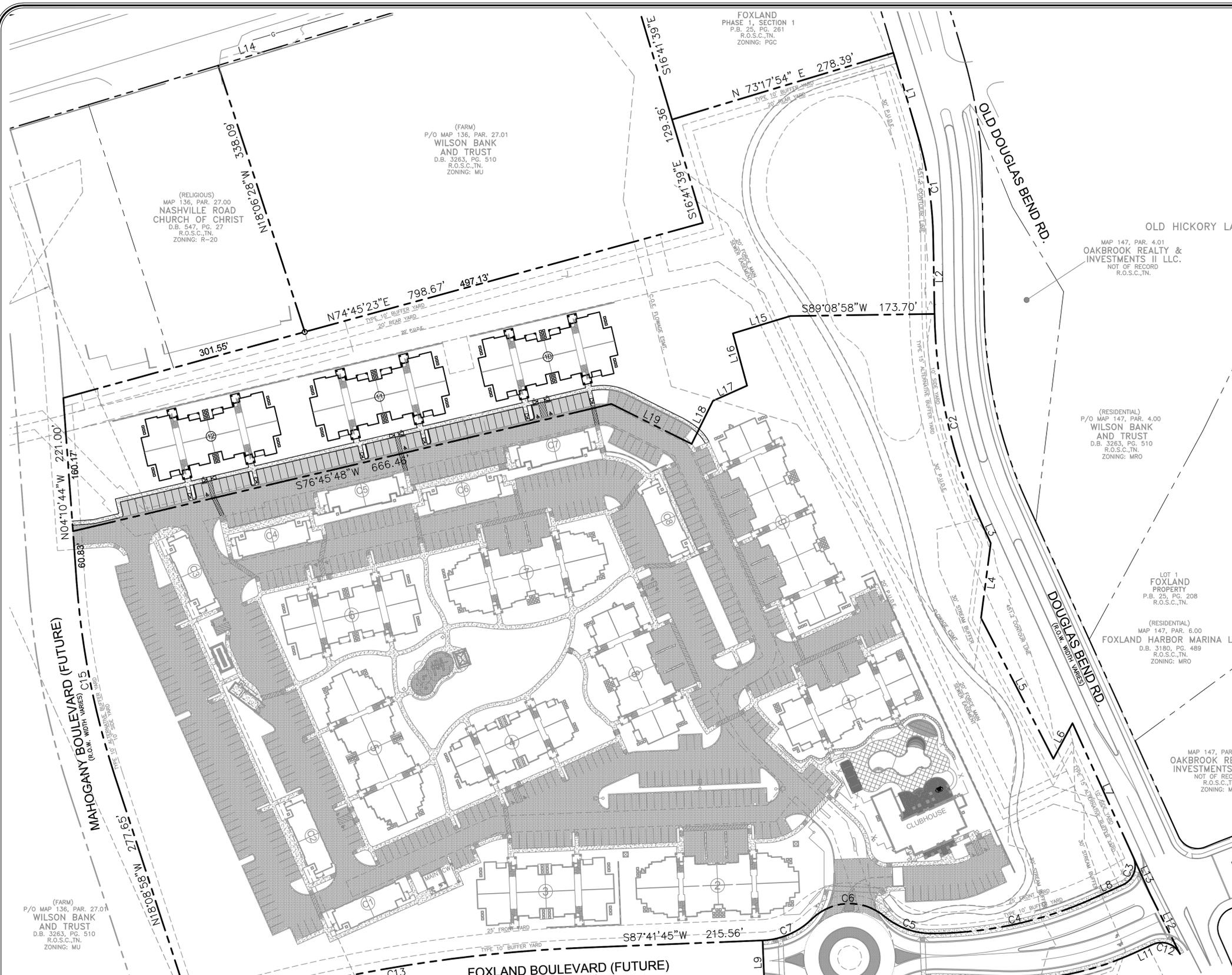
AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
& FINAL MASTER DEVELOPMENT PLAN PHASE II
FOR
FOXLAND CROSSINGS
CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

OVERALL EXISTING CONDITIONS PLAN

C0.3

WK. ORDER: 9870
DESIGNED: B. SLAYDEN
DRAWN: R. HIRSCH
SCALE: 1"=60'
DATE: MARCH 26, 2014

REVISIONS
04/16/14 (SMB) REV. PER. CITY COMMENTS



SITE DATA:

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO GAIN FMDP APPROVAL FOR PHASE 13 OF THE APPROVED FMDP PLANS TITLED THE RESERVE AT FOXLAND, AS APPROVED BY THE CITY OF GALLATIN PLANNING COMMISSION SEPTEMBER 26, 2011.

PROPERTY INFORMATION:
PROJECT NAME: PHASE TWO AT FOXLAND CROSSING
STREET ADDRESS: DOUGLAS BEND ROAD AND FOXLAND BOULEVARD
CITY: GALLATIN
COUNTY: SUMNER
STATE: TN
TAX MAP: 136
PARCEL: PORTION OF 27.01
LOT SI: PHASE I - 16.19 AC / PHASE II - 5.1 AC
BLVD - 0.87 AC
TOTAL LOT SI - 21.29 AC
MU MIXED USE
VACANT
MULTI-FAMILY DWELLING

EXISTING / ONING CLASSIFICATION:
EXISTING LAND USE: VACANT
PROPOSED LAND USE: MULTI-FAMILY DWELLING
MINIMUM REQUIRED SETBACK LINES:
FRONT YARD: 25'
SIDE: 10'
REAR: 0'

OWNER/DEVELOPER:
KEACH INVESTMENTS
TDK CONSTRUCTION COMPANY
MR. ROSS BRADLEY
1610 SOUTH CHURCH STREET SUITE C
MURFREESBORO, TN 37130
(615) 686-3999
RBRADLEY@TDKCONSTRUCTION.COM

CIVIL ENGINEER:
RAGAN SMITH ASSOCIATES
MR. BRAD SLAYDEN
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
BSLAYDEN@RAGANSMITH.COM

ARCHITECT:
PARKER AND ASSOCIATES
MR. JIM PARKER
2202 EAST 40TH STREET SOUTH
TULSA, OKLAHOMA
(918) 742-2485
JPARKER@PARKERTULSA.COM

PROJ. DESCRIPTION:
PROPOSED USE: MULTIFAMILY
ACREAGE: PHASE I - 16.19 AC / PHASE II - 5.1 AC
BLVD - 0.87 AC
TOTAL - 21.29 AC

NUMBER OF UNITS: PHASE I - 232 UNITS / PHASE II - 72 UNITS
RESIDENTIAL DENSITY: PHASE I & II - 14.27 UNITS/AC

BUILDING SQUARE FOOTAGE (PH I & II): 411,043 SF.
FLOOR AREA RATIO (PH I & II): 0.44
BEDROOMS BREAKDOWN (PH II): A1SR: 36 / B2: 36 BED / B2SR: 36 BED / 108 BED TOTAL
PROPOSED BUILDING HEIGHT: 39' AVERAGE ROOF LINE OF 3-STORY BUILDINGS
PARKING RE: IRRIG (PH I & II): 658 SPACES (21 UNIT)
PARKING PROVIDED (PH I & II): 531 SURFACE SPACES (INCLUDING 15 HANDICAPPED SPACES)
36 GARAGE SP. (IN BLDGS 1,2,7-9)
48 GARAGE SPACES (IN BLDGS C1, C8)
615 TOTAL

IMPERVIOUS SURFACE AREA (PH I & II): 50,781 SF IN SIDEWALK
205,722 SF IN ASPHALT
179,188 SF IN BUILDING FOOTPRINT
435,691 SF TOTAL
IMPERVIOUS SURFACE RATIO (PH I & II): 0.47
OPEN SPACE (PH I & II): 11.29 AC

SURVEY:
BOUNDARY INFORMATION TAKEN FROM A SURVEY BY RAGAN SMITH ASSOCIATES, INC. TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY RAGAN SMITH ASSOCIATES.

UTILITY INFORMATION:
ALL PHASES ARE TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER BY WHITE HOUSE UTILITY DISTRICT.

SITE MAINTENANCE:
THE OPEN SPACE WITHIN EACH PHASE IS TO BE SERVED BY EACH PHASES DEVELOPMENT COMPANY UNLESS STATED OTHERWISE.

DEVELOPMENT SCHEDULE:
PHASE I: AUGUST 2012 - FEBRUARY 2014
PHASE II: MARCH 2014 - DECEMBER 2015

CERTIFICATION OF COMPLIANCE:
ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE 13.02

CERTIFICATION OF FINANCIAL RESPONSIBILITY:
TDK IS THE DEVELOPER OF THE PROJECT AND IS COMMITTED FINANCIALLY TO COMPLETE THE PROJECT.

FLOOD INFORMATION:
FEMA MAP: 47165C0407G
EFFECTIVE DATE: APRIL 17, 2012
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONES "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47165C0407G, WITH AN EFFECTIVE DATE OF SEPTEMBER 20, 2006, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT COMMUNITY NO. 47165C, PANEL NO. 0407, SUFFIX G, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES "ONE" "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

GEOTECHNICAL INFORMATION:
A GEOTECHNICAL STUDY WAS CONDUCTED ON THIS SITE BY PSI, REVISED JULY 02, 2012. THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON THE DATA, CONCLUSIONS AND RECOMMENDATIONS OF THAT STUDY. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

- NOTE:**
- RETAINING WALL DESIGN AND CALCULATIONS SHALL BE SUBMITTED TO CITY OF GALLATIN ENGINEERING DIVISION FOR REVIEW PRIOR TO CONSTRUCTION.
 - RETAINING WALLS SHALL BE EQUIPPED WITH A 42" GUARDRAIL UNLESS OTHERWISE NOTED. (SEE DETAILS, SHEET C7.1)
 - ALL CONCRETE STEPS SHALL BE EQUIPPED WITH HANDRAILS UNLESS OTHERWISE NOTED. (SEE DETAILS, SHEET C7.1)

PAVEMENT LEGEND

- [Symbol] LIGHT DUTY ASPHALT PAVEMENT
- [Symbol] CONCRETE PAVEMENT
- [Symbol] CONCRETE WALK
- [Symbol] EXISTING ASPHALT PAVEMENT

IF YOU DIG TENNESSEE... CALL US FIRST!
1-800-351-1111
1-615-366-1987
TENNESSEE ONE CALL IT'S THE LAW

SCALE: 1"=60'

0 60 120 180

LINE TABLE

LINE	BEARING	DISTANCE
L1	S16°28'56"E	101.28'
L2	S00°58'32"E	90.61'
L3	S24°31'46"E	26.41'
L4	S07°23'42"W	90.55'
L5	S27°18'16"E	189.92'
L6	N28°20'50"E	48.52'
L7	S24°31'46"E	176.49'
L8	S65°27'59"W	36.51'
L9	S02°18'56"E	50.01'
L10	S88°13'41"E	73.28'
L11	N65°27'53"E	24.50'
L12	N26°37'12"W	80.56'
L13	N24°31'46"W	48.58'
L14	N73°13'14"E	86.72'
L15	S23°18'28"W	72.26'
L16	S15°14'39"E	64.90'
L17	S66°00'09"W	44.93'
L18	S26°22'58"W	57.70'
L19	N63°37'01"W	107.86'

CURVE TABLE

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	15°30'23"	470.00'	127.20'	S08°43'45"E	126.81'
C2	23°33'11"	630.00'	258.98'	N12°45'08"W	257.16'
C3	90°00'54"	25.00'	39.28'	S20°28'15"W	35.36'
C4	23°44'07"	481.76'	199.57'	S77°23'23"W	198.15'
C5	42°05'52"	90.00'	66.13'	N71°15'19"W	64.65'
C6	84°11'44"	65.00'	95.52'	N87°41'45"E	87.15'
C7	42°05'43"	90.00'	66.12'	S66°38'44"W	64.65'
C8	42°06'21"	90.00'	66.14'	S71°15'13"E	64.66'
C9	82°31'55"	65.00'	93.63'	S88°32'00"W	85.74'
C10	44°00'18"	90.00'	69.12'	N69°16'11"E	67.44'
C11	26°48'26"	353.43'	167.24'	S78°52'06"W	165.72'
C12	87°53'43"	25.00'	38.35'	N70°34'59"W	34.70'
C13	14°15'36"	1825.00'	454.21'	N80°33'57"E	453.04'
C14	91°11'17"	25.00'	39.79'	N62°33'39"W	35.72'
C15	13°58'39"	974.00'	237.61'	N11°09'51"W	237.02'

(AGRICULTURAL)
MAP 147, PAR. 3.00
OAK TREE PARTNERS, LLC
D.B. 3450, PG. 866
R.O.S.C., TN.
ZONING: MRO

(RESIDENTIAL)
MAP 147, PAR. 6.00
FOXLAND HARBOR MARINA LLC
D.B. 3180, PG. 489
R.O.S.C., TN.
ZONING: MRO

(RESIDENTIAL)
MAP 147, PAR. 4.01
OAKBROOK REALTY & INVESTMENTS II LLC.
NOT OF RECORD
R.O.S.C., TN.

(RESIDENTIAL)
P/O MAP 147, PAR. 4.00
WILSON BANK AND TRUST
D.B. 3263, PG. 510
R.O.S.C., TN.
ZONING: MRO

(RESIDENTIAL)
P/O MAP 136, PAR. 27.01
WILSON BANK AND TRUST
D.B. 3263, PG. 510
R.O.S.C., TN.
ZONING: MU

(FARM)
MAP 136, PAR. 27.00
NASHVILLE ROAD CHURCH OF CHRIST
D.B. 547, PG. 27
R.O.S.C., TN.
ZONING: R-20

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
NASHVILLE
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
www.ragan-smith.com



AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
& FINAL MASTER DEVELOPMENT PLAN PHASE II
FOR
FOXLAND CROSSINGS
CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

HUD PROJECT: 086-36368

WK. ORDER	9870
DESIGNED BY	B. SLAYDEN
DRAWN BY	R. HIRSCH
SCALE	1" = 60'
DATE	MARCH 26, 2014

04/16/14 (SMB) REV. PER. CITY COMMENTS

OVERALL LAYOUT PLAN

C1.0

EROSION/SILTATION CONTROL NOTES:

- AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MINIMUM WHENEVER POSSIBLE.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
- NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
- SILT FENCE SHOWN THUS  IS TO BE USED AS TEMPORARY SEDIMENT BARRIERS. SEE DETAIL FOR PROPER INSTALLATION AND MAINTENANCE.
- IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
- ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
- UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSED AREAS OF THE PROJECT.
- PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION/SILTATION CONTROL MEASUREMENTS INDICATED ON THE PLANS SHALL BE INSTALLED.
- EROSION CONTROL BARRIERS (SILT FENCE) SHALL BE PLACED WHERE INDICATED PRIOR TO CLEARING, GRUBBING, GRADING, FILLING. EROSION CONTROL BARRIERS (SILT FENCE) SHALL BE ADJUSTED AND PLACED ALONG NEWLY ESTABLISHED CONTOURS AS A RESULT OF THE FILL OPERATIONS.
- INSPECTION & MAINTENANCE OF EROSION CONTROL DEVICES SHALL BE PERFORMED AT LEAST TWICE PER WEEK AT LEAST 72 HOURS APART. A RAIN GAUGE IS TO BE MAINTAINED ON SITE AND CHECKED AT EVERY INSPECTION. THE RAINFALL AND TIME FOR EACH EVENT IS TO BE RECORDED BY THE INSPECTOR AND MADE AVAILABLE WITH SWPPP INSPECTION RECORDS.
- EROSION CONTROL DEVICES MUST BE IN PLACE AND INSPECTED BY CITY OF GALLATIN ENGINEERING DIVISION, PRIOR TO ISSUANCE OF LAND DISTURBANCE PERMIT.
- COPIES OF THE SWPPP AND INSPECTIONS SHALL BE AVAILABLE ON SITE.
- APPLICATION OF TEMPORARY OR PERMANENT STABILIZATION MUST BE INITIATED WITHIN 14 DAYS TO DISTURBED AREAS OF A SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. STEEP SLOPE (3:1 OR GREATER) SHALL BE TEMPORARILY STABILIZED NOT LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPES HAS TEMPORARILY OR PERMANENTLY CEASED.

BEST MANAGEMENT PRACTICES (BMP):

LAND CLEARING SHALL TAKE PLACE ONLY IN AREAS WHERE ACTIVE CONSTRUCTION WILL BEGIN WITHIN A REASONABLE AMOUNT OF TIME. LAND CLEARING DURING THE RAINY SEASON SHALL BE AVOIDED IN SENSITIVE AREAS SUCH AS STEEP SLOPES AND BUFFERS, IF POSSIBLE.

ANY NATURAL WATERCOURSE ON SITE SHALL NOT BE DISTURBED UNLESS ABSOLUTELY NECESSARY.

DENUDED AREAS, SOIL STOCKPILES, DIKES, DAMS, CHANNELS, ETC., ARE TO BE SEEDED AND MULCHED. AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS. SUCH AREAS ARE TO IMMEDIATELY RECEIVE SEED AND MULCH STABILIZATION FOLLOWING THIS TIME PERIOD. ON STEEP SLOPES AND CHANNELS, SOD SHALL BE FASTENED TO THE GROUND WITH WIRE STAPLES OR WOOD PEGS. WHERE SURFACE WATER CANNOT BE DIVERTED FROM FLOWING OVER THE FACE OF SLOPES, INSTALL A STRIP OF HEAVY JUTE OR PLASTIC NETTING AND FASTEN TIGHT ALONG THE CROWN OR TOP OF THE SLOPE FOR EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD.

SUITABLE BARRICADES AND GUARDS SHALL BE ERECTED TO PREVENT EQUIPMENT OR MATERIAL FROM BEING PLACED ON ANY PLANTED AREA.

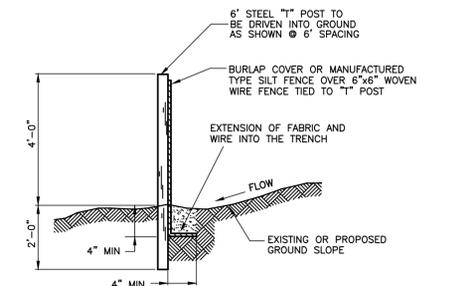
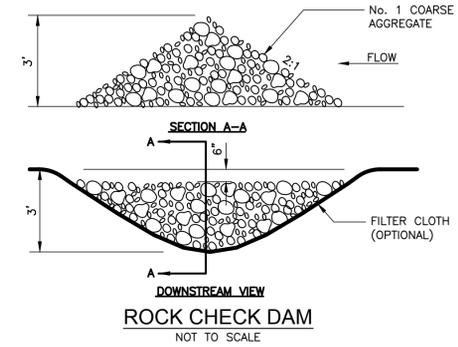
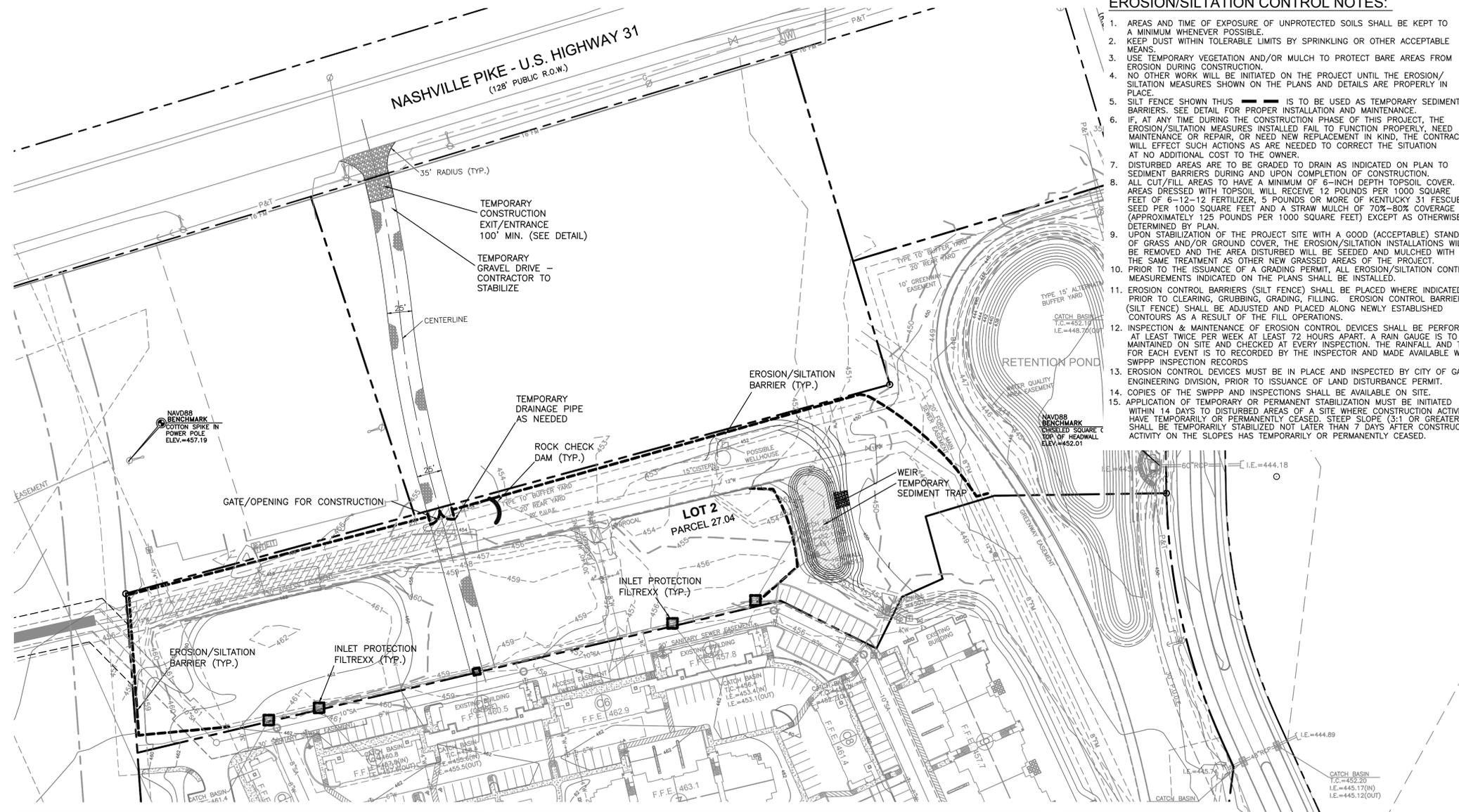
PLASTIC LINING SHALL BE USED ON ALL DITCHES AND EXPOSED SURFACES WHEN TIME DOES NOT PERMIT THE CONTRACTOR TO USE SEED AND MULCH FOR STABILIZATION.

SLOPE AND DITCHES THAT ARE CONSTRUCTED TO FINAL SUB-GRADE OR A PORTION OF ANY SLOPE OR DITCH THAT IS CONSTRUCTED TO SUB-GRADE SHALL IMMEDIATELY RECEIVE TOPSOIL AND FINAL STABILIZATION. ALL SLOPES ARE TO RECEIVE SEED AND MULCH. ALL DITCHES SHALL RECEIVE STABILIZATION AS INDICATED ON THE CONSTRUCTION PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING SEEDED AREAS TO PREVENT THE SOIL FROM DRYING OUT UNTIL APPROVED AND ACCEPTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RE-SEEDING BARE SPOTS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION OR ACCEPTANCE OF THIS PROJECT.

STEEP AND UNSTABLE SLOPES SHALL NOT BE DISTURBED IF THEY ARE OUTSIDE OF THE APPROVED GRADING PLAN. RUNOFF SHALL BE CONVEYED FROM THE TOP OF THE SLOPE IN A SAFE MANNER ENSURING THAT THE SLOPE IS STABILIZED AS SOON AS POSSIBLE. ALL RUNOFF EXITING THE CONSTRUCTION SITE SHALL BE FREE OF EXCESSIVE SEDIMENT, AND OTHER POLLUTANTS.

EROSION CONTROL BARRIERS (SILT FENCE) SHALL BE PLACED WHERE INDICATED PRIOR TO CLEARING, GRUBBING, GRADING. EROSION CONTROL BARRIERS (SILT FENCE) SHALL BE ADJUSTED AND PLACED ALONG THE NEWLY ESTABLISHED CONTOURS UNTIL THE DEVELOPMENT IS STABILIZED (SEE EROSION/SILTATION CONTROL NOTES)

STREET AND/OR CURB INLET PROTECTION DEVICES SHALL BE PLACED AROUND ALL INLETS UPON THE CONSTRUCTION OF THE STORM WATER SEWER SYSTEM.

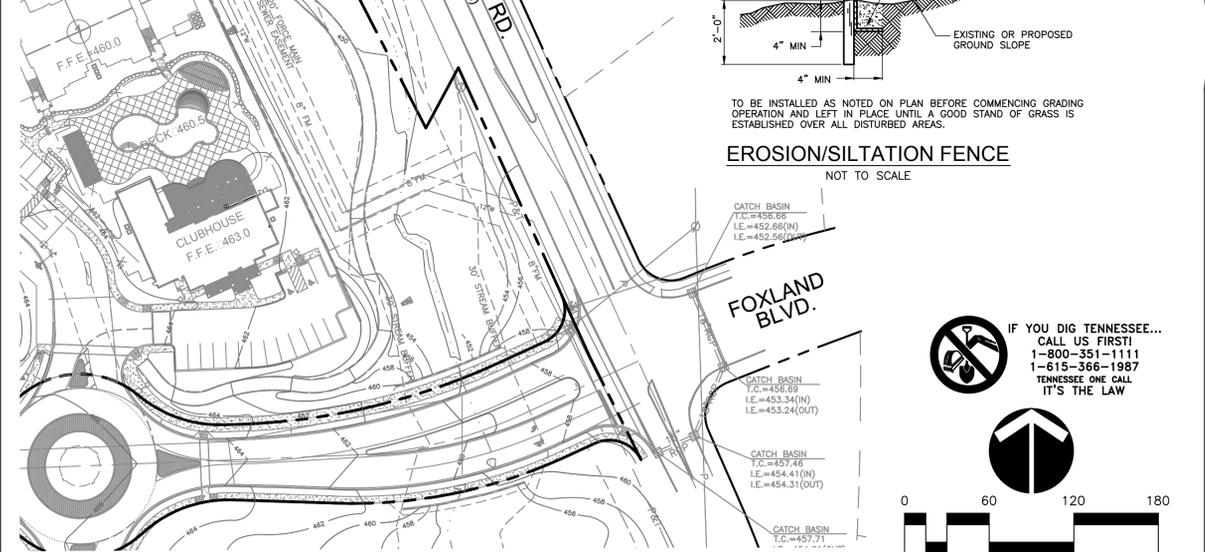
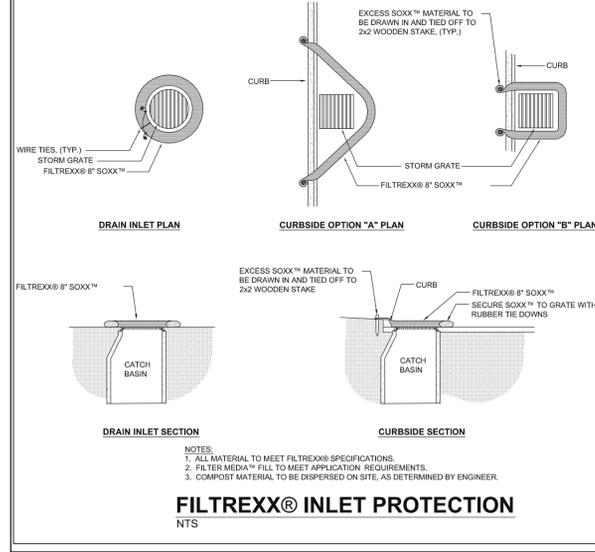
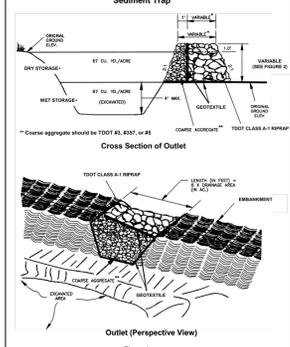
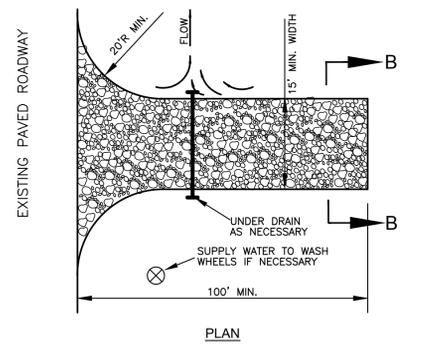


Drainage Area					Sediment Control	
Basin #	SF	AC	Avg. % Slope of Proposed Basin	Sediment Basin	Sediment Trap	
1	227,532	5.22	5%		X	

Required Storage				
Basin #	Required Total Storage (YD ³)	Required Total Storage (FT ³)	Required Wet Storage (FT ³)	Required Dry Storage (FT ³)
1	700	18,898	9,449	9,449

Pond Designs											
Basin #	Top EL	Top Contour Area (SF)	Dry Storage Depth (FT)	Bottom of Dry Storage / Top of Wet Storage EL	Bottom of Dry Storage / Top of Wet Storage Contour Area (SF)	Wet Storage Depth (FT)	Bottom EL	Bottom Contour Area (SF)	Dry Capacity (FT ³)	Wet Capacity (FT ³)	Total Capacity
1	452	8,781	2.0	450	3,909	3.0	447	2,424	12,690	9,500	22,190

Outlet Control		
Basin #	Method	Length of Weir (FT)
1	Riser	16



TO BE INSTALLED AS NOTED ON PLAN BEFORE COMMENCING GRADING OPERATION AND LEFT IN PLACE UNTIL A GOOD STAND OF GRASS IS ESTABLISHED OVER ALL DISTURBED AREAS.

IF YOU DIG TENNESSEE... CALL US FIRST!
1-800-351-1111
1-615-366-1987
TENNESSEE ONE CALL IT'S THE LAW



AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
& FINAL MASTER DEVELOPMENT PLAN PHASE II
FOR
FOXLAND CROSSINGS
CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
CHATTANOOGA
1410 CHATTANOOGA STREET
NASHVILLE, TN 37208
(615) 254-0591
www.ragan-smith.com



WK. ORDER: 9870
DESIGNED: B. SLAYDEN
DRAWN: R. HIRSCH
SCALE: 1" = 60'
DATE: MARCH 26, 2014

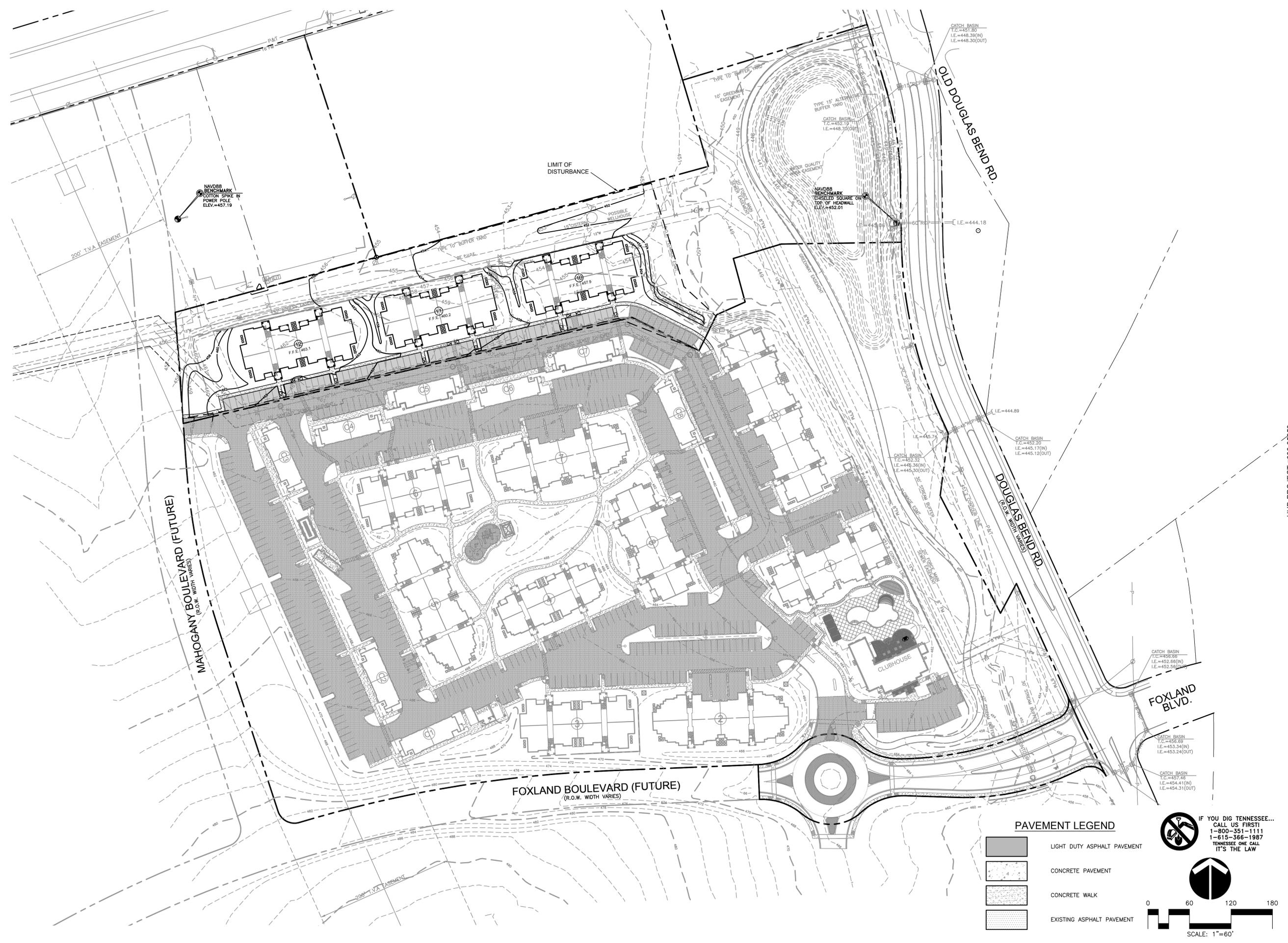
REVISIONS

04/16/14 (SMB) REV. PER. CITY COMMENTS

INITIAL EROSION CONTROL PLAN

C2.1

04/16/14 (SMB) REV. PER. CITY COMMENTS
PLOTTED BY: RICHARD HIRSCH ON 4/16/14 10:41 AM
LAST UPDATED BY: RMB ON 4/16/14 10:41 AM



C:\Users\jmc\OneDrive\Documents\Projects\Foxland\11035_Foxland_Crossings\11035_Foxland_Crossings.dwg
 PLOTTED BY MICHAEL HENNING ON 03/26/2014 10:58 AM. LAST UPDATED BY RAGAN ON 03/26/2014 10:58 AM

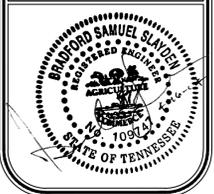
PAVEMENT LEGEND

	LIGHT DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE WALK
	EXISTING ASPHALT PAVEMENT

IF YOU DIG TENNESSEE...
 CALL US FIRST!
 1-800-351-1111
 1-615-366-1987
 TENNESSEE ONE CALL
 IT'S THE LAW

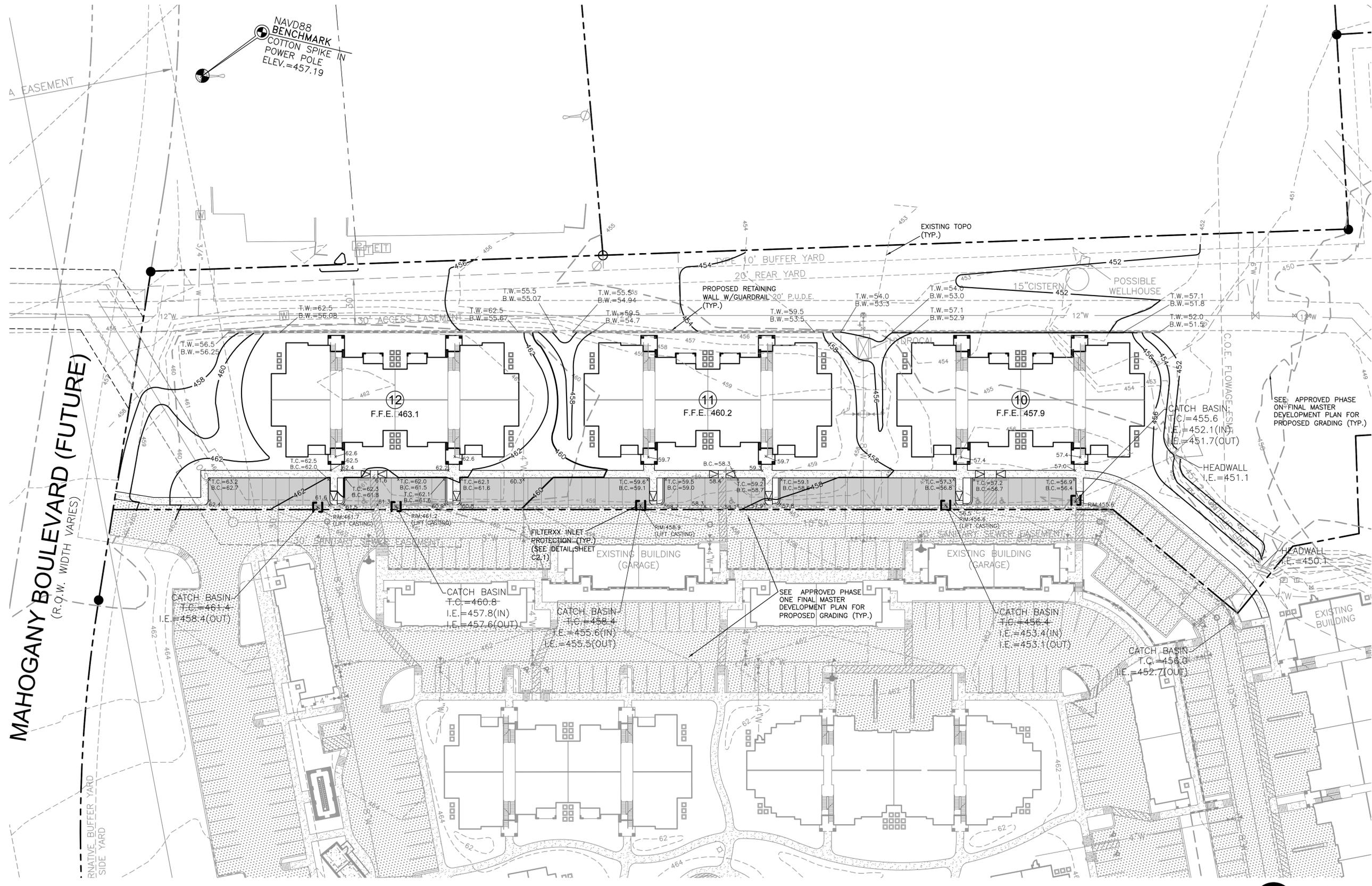
0 60 120 180
 SCALE: 1"=60'

RAGAN • SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 CHATTANOOGA
 1410 COWART STREET
 NASHVILLE, TN 37208
 (615) 244-6091
 www.ragan-smith.com



HUD PROJECT : 086-36368
 AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
 & FINAL MASTER DEVELOPMENT PLAN PHASE II
 FOR
FOXLAND CROSSINGS
 CITY OF GALLATIN, SUMMER COUNTY, TENNESSEE

JOB NO.	11035
WK. ORDER	9870
DESIGNED:	B. SLAYDEN
DRAWN:	R. HIRSCH
SCALE:	1" = 60'
DATE:	MARCH 26, 2014
REVISIONS	04/16/14 (SMB) REV. PER. CITY COMMENTS
OVERALL GRADING PLAN	
C3.0	



MAHOGAN Y BOULEVARD (FUTURE)
(R.O.W. WIDTH VARIES)

NAVD88
BENCHMARK
COTTON SPIKE IN
POWER POLE
ELEV.=457.19

NOTE:
SEE APPROVED PHASE ONE FINAL MASTER DEVELOPMENT PLAN FOR FOXLAND CROSSING FOR DRAINAGE SCHEDULE AND EXISTING DRAINAGE PLAN

PAVEMENT LEGEND

	LIGHT DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE WALK
	EXISTING ASPHALT PAVEMENT

IF YOU DIG TENNESSEE...
CALL US FIRST!
1-800-351-1111
1-615-366-1987
TENNESSEE ONE CALL
IT'S THE LAW

SCALE: 1"=30'

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
NASHVILLE
315 WOODLAND STREET
NASHVILLE, TN 37208
(615) 244-0091
www.ragan-smith.com



AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
& FINAL MASTER DEVELOPMENT PLAN PHASE II
FOR
FOXLAND CROSSINGS
CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

HUD PROJECT: 086-36368

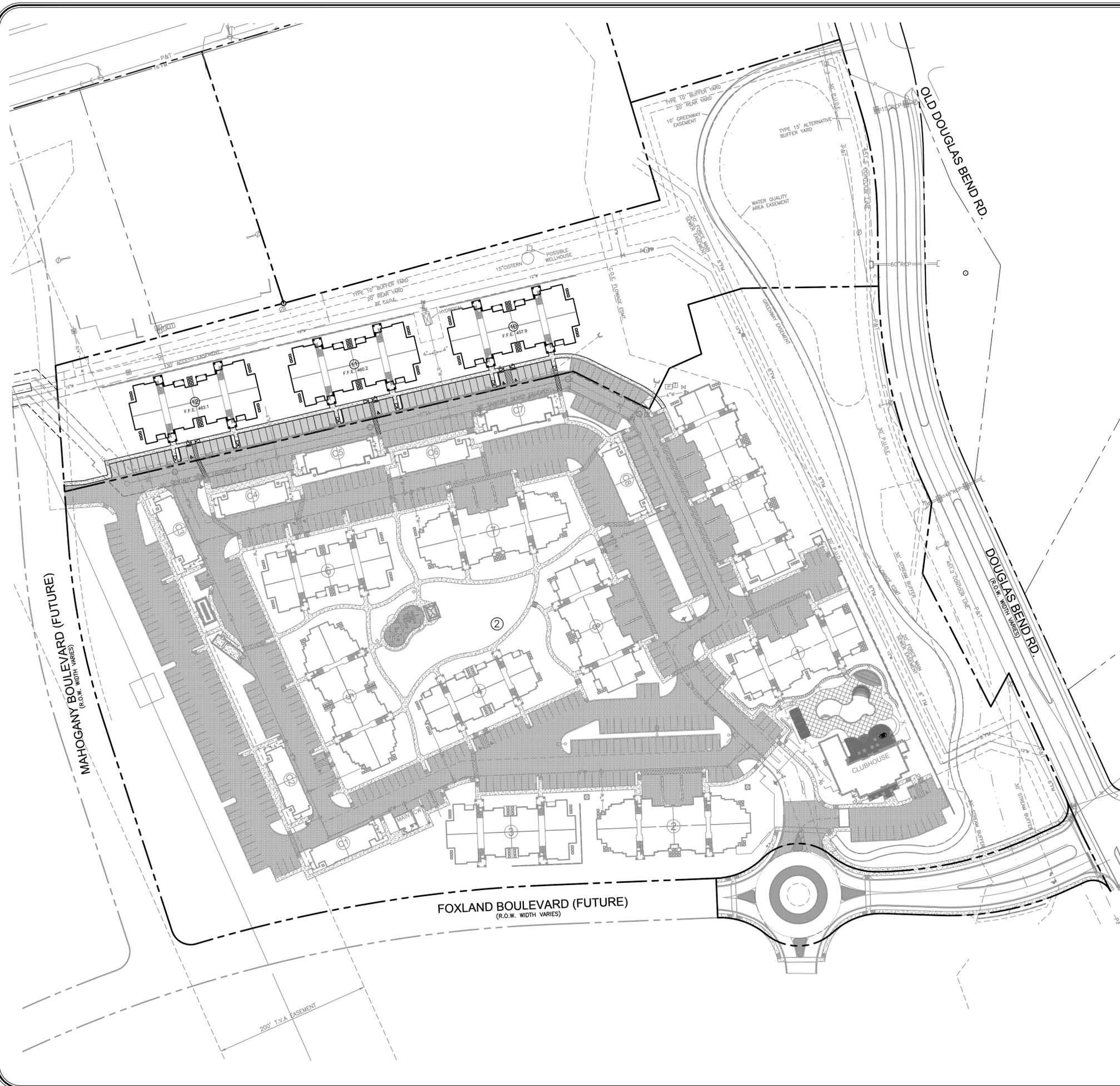
WK. ORDER	9870
DESIGNED:	B. SLAYDEN
DRAWN:	R. HIRSCH
SCALE:	1"=30'
DATE:	MARCH 26, 2014

04/16/14 (SMB) REV. PER. CITY COMMENTS

REVISIONS

ENLARGED GRADING, DRAINAGE AND EROSION CONTROL PLAN

C3.1



**GENERAL WATER NOTES
TO BE INCLUDED ON ALL WATER PLANS**

- The Contractor shall not proceed with any pipe installation work until a Pre-Construction Meeting has been held and they have been notified by the White House Utility District to proceed with the work.
- The locations and depths of existing utilities, including service laterals, and drainage structures shown on the plans are approximate only. The Contractor shall verify the exact location and depths of underground utilities at least 48 hours prior to construction whether shown on plans or not, and to protect the same during construction.
- The Contractor will be responsible for restoring to its original or better condition from damage done to existing fences, curbs, streets, driveways, landscaping and structures.
- No meter boxes to be set in driveways. Any meter boxes set in driveways will be relocated at the Contractor's and/or Developer's expense.
- The Contractor shall maintain service to existing utilities at all times during construction.
- All water mains greater than two (2) inches in diameter shall be Ductile Iron Class 350 Pipe.
- All water mains shall be installed at a minimum depth of 36 inches unless otherwise noted on the construction plans.
- Water mains and sewer mains must maintain a minimum of ten (10) foot horizontal clearance and/or eighteen (18) inches vertical clearance at all times.
- The Contractor will keep the area on top of and around the water meter box free of all objects and debris.
- All testing will be done in accordance with the most recent White House Utility District standards.
- In no case are valves to be located within paved areas.
- Adequate space shall be provided for the installation and maintenance of meter vaults, backflow prevention assemblies and water mains.
- Contractor is responsible for removal of all waste materials upon project completion. The Contractor shall not permanently place any waste materials in the flood plain without first obtaining required permits.
- All temporary erosion and sedimentation controls shall be removed by the Contractor at final acceptance of the project by the White House Utility District.

BLASTING

- When allowable, blasting shall be performed in accordance with the appropriate criteria established by the National Fire Protection Association or applicable local codes.
- When blasting is allowing, blasting for sewer line excavation must be done in such a manner as to minimize the fracturing of rock beyond the required excavation. The Contractor shall consider the elevation of the existing water main in relation to the blasting charge and the relative direction of existing and proposed trenches. Blasting within such areas shall be accomplished only by qualified blasting contractors who hold blasting licenses from a qualified agency. Any damage to existing water mains resulting from blasting shall be repaired and retested by the contractor at his own expense.

**GENERAL SEWER NOTES
TO BE INCLUDED ON ALL SEWER PLANS**

- The Contractor shall not proceed with any pipe installation work until a Pre-Construction Meeting has been held and they have been notified by the White House Utility District to proceed with the work.
- The locations and depths of existing utilities, including service laterals, and drainage structures shown on the plans are approximate only. The Contractor shall verify the exact location and depths of underground utilities at least 48 hours prior to construction whether shown on plans or not, and to protect the same during construction.
- The Contractor will be responsible for restoring to its original or better condition from damage done to existing fences, curbs, streets, driveways, landscaping and structures.
- The Contractor shall maintain service to existing utilities at all times during construction.
- All residential gravity fed sewer service laterals shall be extended to the property line and capped and sealed.
- Water mains and sewer mains must maintain a minimum of ten (10) foot horizontal clearance and/or eighteen (18) inches vertical clearance at all times.
- On all manholes to be abandoned, the rings and covers shall be salvaged in accordance with the most current White House Utility District standards. The hole should be backfilled to the satisfaction of the Inspector.
- Contractor is responsible for removal of all waste materials upon project completion. The Contractor shall not permanently place any waste materials in the flood plain without first obtaining required permits.
- All temporary erosion and sedimentation controls shall be removed by the Contractor at final acceptance of the project by the White House Utility District.
- After construction is complete, testing will be done by TV camera by the Contractor and observed by the Inspector, as the camera is run through all lines. Any abnormalities, such as broken pipe, misaligned joints or non-uniform slope, must be replaced by the Contractor at his expense. All testing will be done in accordance with the most recent White House Utility District standards.

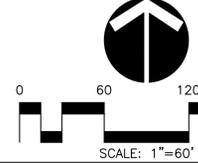
BLASTING

- When allowable, blasting shall be performed in accordance with the appropriate criteria established by the National Fire Protection Association or applicable local codes.
- When blasting is allowing, blasting for sewer line excavation must be done in such a manner as to minimize the fracturing of rock beyond the required excavation. The Contractor shall consider the elevation of the existing sanitary sewer main in relation to the blasting charge and the relative direction of existing and proposed trenches. Blasting within such areas shall be accomplished only by qualified blasting contractors who hold blasting licenses from a qualified agency. Any damage to existing sanitary sewers resulting from blasting shall be repaired and retested by the contractor at his own expense.

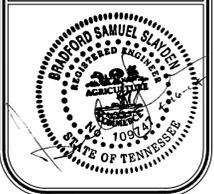
SUPPLEMENTARY

- Unless otherwise noted on the plans, all Sewer Pipe shall conform to the following chart:
- | | Depth of Main | Pipe Material |
|---|---------------|---------------|
| 1 | 0 to 16" | SDR 26 |
| 2 | 18" to 24" | C900 |
| 3 | >24" | Ductile Iron |
- Work completed by the Contractor which has not received a Notice to Proceed by the White House Utility District will be subject to removal and replacement by and at the expense of the Contractor.

IF YOU DIG TENNESSEE...
CALL US FIRST!
1-800-351-1111
1-615-366-1987
TENNESSEE ONE CALL
IT'S THE LAW



RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
NASHVILLE
315 WOODLAND STREET
NASHVILLE, TN 37208
(615) 244-6091
www.ragan-smith.com



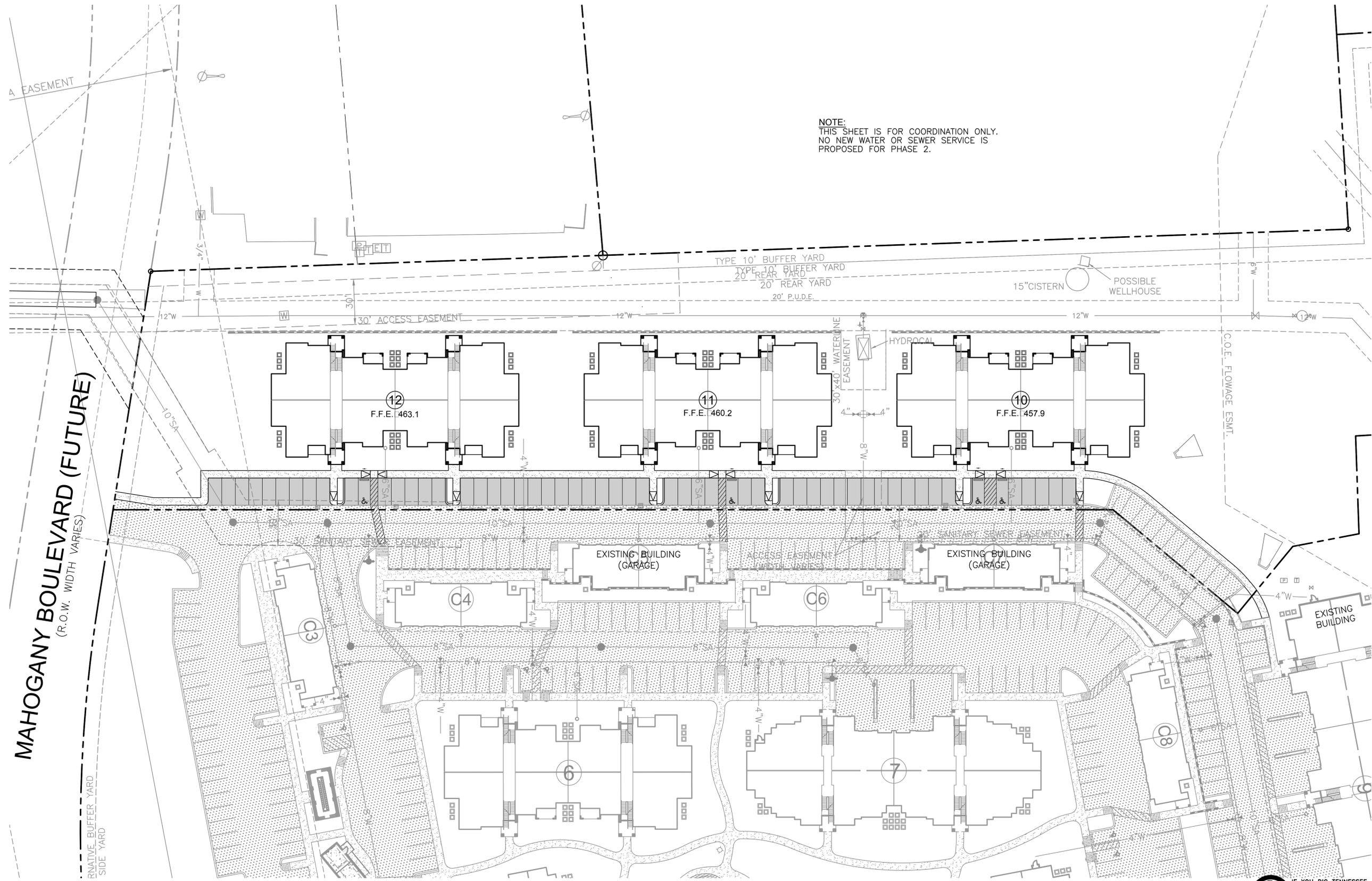
AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
& FINAL MASTER DEVELOPMENT PLAN PHASE II
FOR
FOXLAND CROSSINGS
CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

WK. ORDER	9870
DESIGNED:	B. SLAYDEN
DRAWN:	R. HIRSCH
SCALE:	1" = 60'
DATE:	MARCH 26, 2014
JOB NO.	11035
REVISIONS	04/16/14 (SMB) REV. PER. CITY COMMENTS

OVERALL
UTILITY PLAN
C4.0

ALL DIMENSIONS UNLESS OTHERWISE NOTED.
PLOTTED BY: RICHARD FRENCH ON 4/16/14 10:41 AM. LAST UPDATED BY: RHM ON 4/16/14 10:41 AM.

MAHOGANY BOULEVARD (FUTURE)
 (R.O.W. WIDTH VARIES)



NOTE:
 THIS SHEET IS FOR COORDINATION ONLY.
 NO NEW WATER OR SEWER SERVICE IS
 PROPOSED FOR PHASE 2.

C:\WORK\11035\11035.dwg, 04/16/14 (SMB) REV. 11:41 AM
 PLOTTED BY RICHARD HIRSCH ON 4/16/14 10:41 AM. LAST UPDATED BY RHM ON 4/16/14 11:41 AM

IF YOU DIG TENNESSEE...
 CALL US FIRST!
 1-800-351-1111
 1-615-366-1987
 TENNESSEE ONE CALL
 IT'S THE LAW

SCALE: 1"=30'

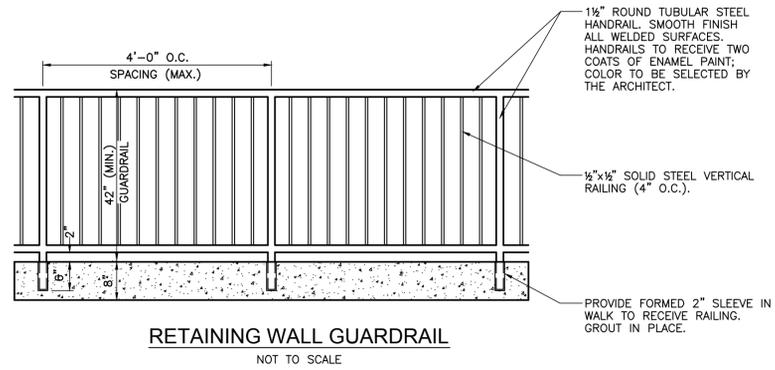
RAGAN SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 CHATTANOOGA
 140 COWART STREET
 NASHVILLE, TN 37208
 (615) 244-0591
 www.ragan-smith.com



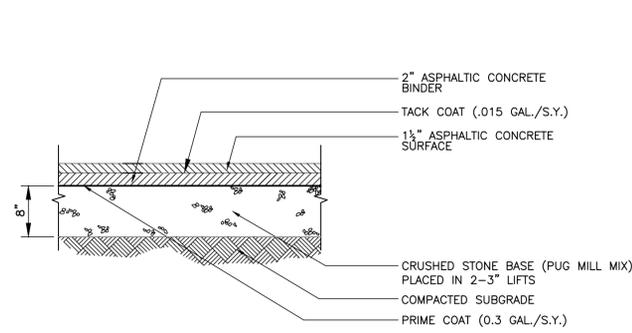
AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
 & FINAL MASTER DEVELOPMENT PLAN PHASE II
 FOR
FOXLAND CROSSINGS
 CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

JOB NO.	11035	WK. ORDER	9870
DESIGNED:	B. SLAYDEN	DRAWN:	R. HIRSCH
SCALE:	1"=30'	DATE:	MARCH 26, 2014
REVISIONS	04/16/14 (SMB) REV. PER. CITY COMMENTS		
ENLARGED UTILITY PLAN			
C4.1			

HUD PROJECT #086-36368

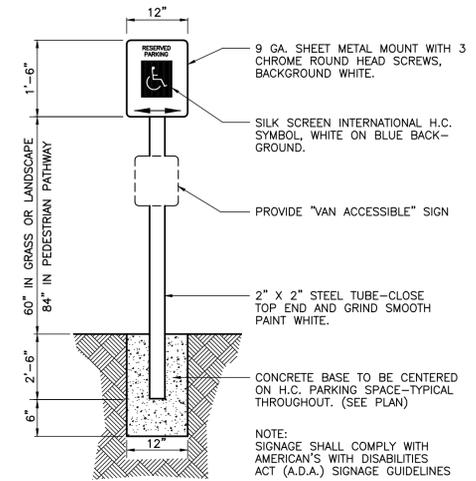


RETAINING WALL GUARDRAIL
NOT TO SCALE

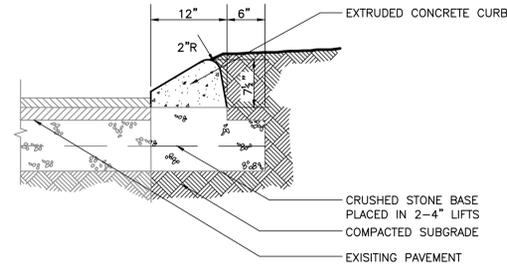


NOTE: ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT SPECIFICATIONS IN FORCE FOR THE JURISDICTION IN WHICH THE SITE DEVELOPMENT WORK IS GRANTED A PERMIT FOR CONSTRUCTION.

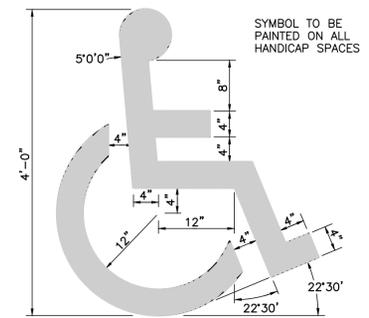
LIGHT DUTY PAVEMENT
NOT TO SCALE



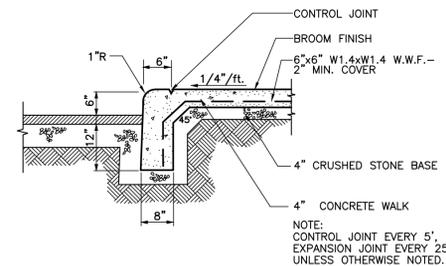
EXTERIOR HANDICAP SIGN
NOT TO SCALE



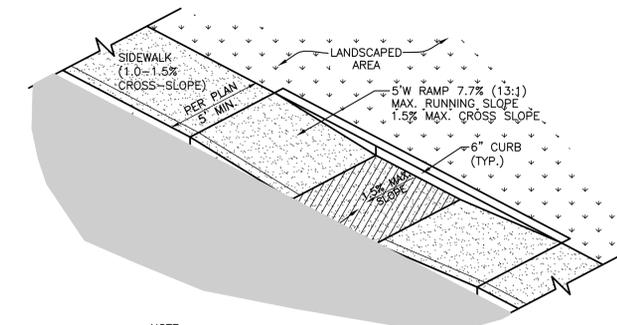
EXTRUDED CURB
NOT TO SCALE



PAINTED HANDICAP SYMBOL
NOT TO SCALE

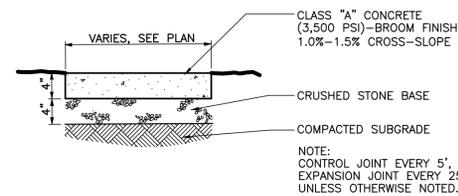


CONCRETE WALK & TURN DOWN CURB
NOT TO SCALE

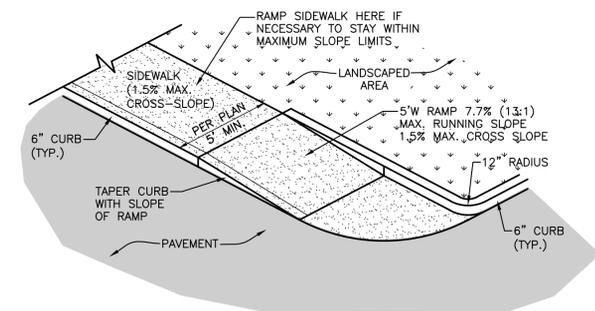


NOTE: A VARIATION OF THE RAMP MAY BE USED IN CERTAIN CIRCUMSTANCES BUT MUST COMPLY WITH ADA SPECIFICATIONS.

PARALLEL HANDICAP RAMP
NOT TO SCALE

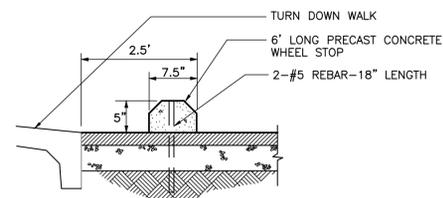


CONCRETE WALK
NOT TO SCALE



NOTES:
1. A VARIATION OF THE RAMP MAY BE USED IN CERTAIN CIRCUMSTANCES BUT MUST COMPLY WITH ADA SPECIFICATIONS.

HANDICAP RAMP CURBED RADIUS
NOT TO SCALE



PRECAST CONCRETE WHEEL STOP
NOT TO SCALE

HUD PROJECT 086-36368

AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN
& FINAL MASTER DEVELOPMENT PLAN PHASE II
FOR

FOXLAND CROSSINGS

CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
CHATTANOOGA
315 WOODLAND STREET
NASHVILLE, TN 37208
(615) 244-6091
www.ragan-smith.com



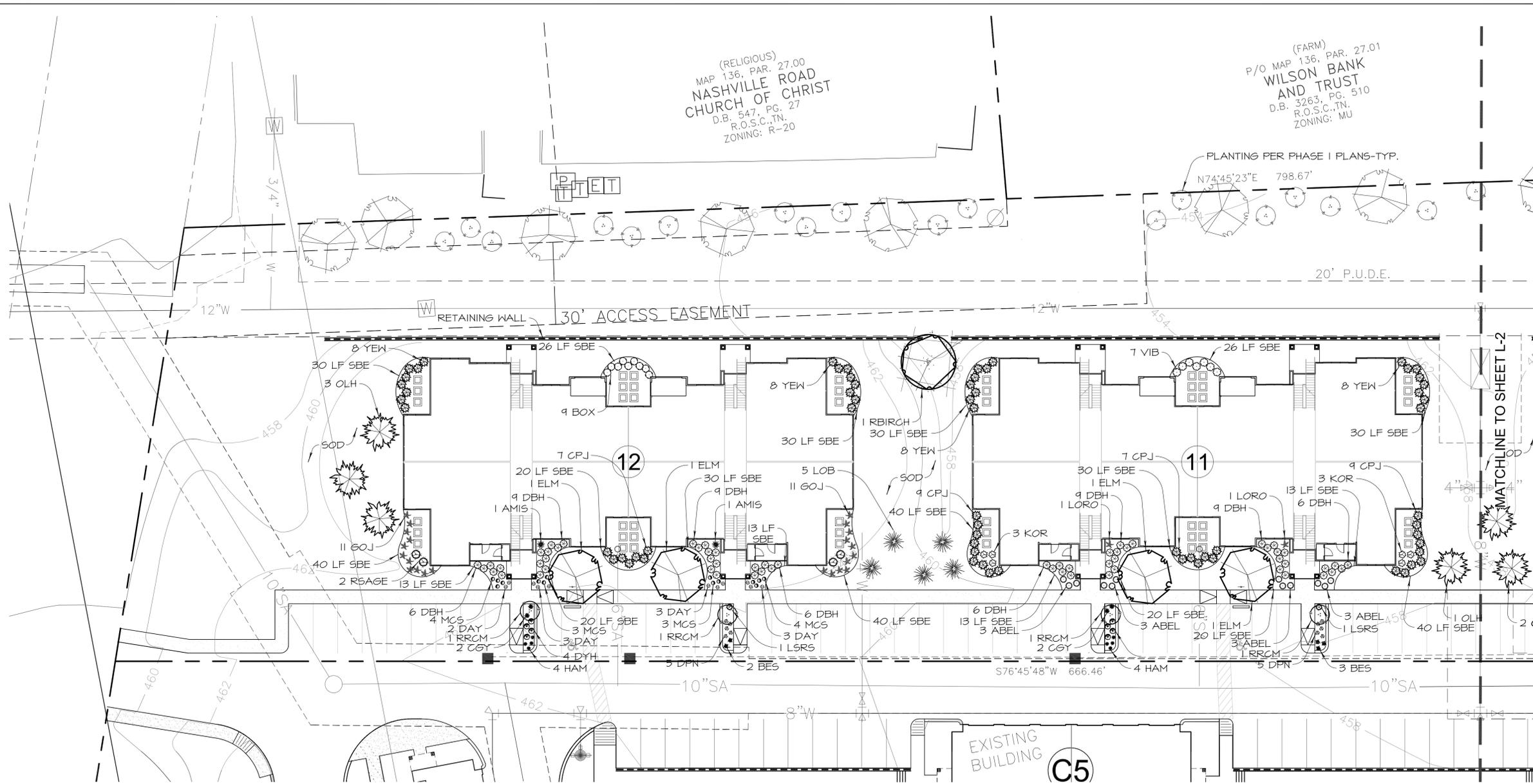
JOB NO.	11035	DESIGNED:	B. SLAYDEN	DRAWN:	R. HIRSCH	SCALE:	N.T.S.	DATE:	MARCH 26, 2014
WK. ORDER	9870	PER. CITY COMMENTS		REVISIONS					

CONSTRUCTION DETAILS

C5.1

(RELIGIOUS)
 MAP 136, PAR. 27.00
NASHVILLE ROAD
CHURCH OF CHRIST
 D.B. 547, PG. 27
 R.O.S.C., TN.
 ZONING: R-20

(FARM)
 P/O MAP 136, PAR. 27.01
WILSON BANK
AND TRUST
 D.B. 3263, PG. 510
 R.O.S.C., TN.
 ZONING: MU



LANDSCAPE REQUIREMENTS
 CITY OF GALLATIN, CHAPTER 13 DESIGN STANDARDS AND REGULATIONS

ZONING CLASSIFICATION: MU
 ADJACENT ZONING CLASSIFICATIONS AND APPLICABLE LANDSCAPE BUFFERS ARE INDICATED ON LANDSCAPE PLANS REQUIRED DECIDUOUS AND ORNAMENTAL TREES PROVIDED. REFER TO PLAN

INTERIOR PLANTING AREAS

AT LEAST 6% OF THE GROSS AREA OF THE PARKING AREA SHALL BE LANDSCAPED TREES SHALL BE REQUIRED AT THE MIN. RATE OF ONE CANOPY TREE FOR EVERY 10 PARKING SPACES A MINIMUM OF 90 SQUARE FEET OF PLANTING AREA SHALL BE REQUIRED FOR EACH NEW CANOPY TREE

PARKING STALLS = 57 TREES REQUIRED - 6
 TREES PROVIDED - 7

GREATER THAN 6% OF THE PARKING AREA IS LANDSCAPE AREA LANDSCAPE ISLANDS CONTAINING CANOPY TREES (THAT ARE COUNTED TOWARD CODE REQUIREMENT) PROVIDE AT LEAST 90 SQUARE FEET AND ARE SPACED NO GREATER THAN 145 FEET APART

PARKING AREA SCREENING NOT REQUIRED - PARKING DOES NOT ABUT RIGHT OF WAY

QUANT.	TAG	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS	SPACING
6	ELM	PRINCETON ELM	ULMUS AMERICANA 'PRINCETON'	3" GAL.; 12'-4" HT.; 6'-7" SPD.; B&B; CENTRAL LEADER; FULL	
2	SOAK	SHUMARD OAK	QUERCUS SHUMARDII	3" GAL.; 12'-4" HT.; 6'-7" SPD.; B&B; CENTRAL LEADER; FULL	
1	BALD	BALD CYPRESS	TAXODIUM DISTICHUM	3" GAL.; 12'-4" HT.; 6'-7" SPD.; B&B; CENTRAL LEADER; FULL	
2	RBIRCH	MULTI-TRUNK RIVER BIRCH	BETULA NIGRA	10'-12" HT.; 5'-6" SPD.; 3-4 TRUNKS; B&B; FULL	
2	CSMAG	CENTENNIAL STAR MAGNOLIA	MAGNOLIA STELLATA 'CENTENNIAL'	30 GALLON; 7'-8" HEIGHT; CENTRAL LEADER; FULL	
6	OLH	OAKLEAF HOLLY	ILEX X 'CONAF'	30 GALLON; 7'-8" HEIGHT; CENTRAL LEADER; FULL	
3	BIAC	BLUE ICE ARIZONA CYPRESS	CUPRESSUS ARIZONA 'BLUE ICE'	30 GALLON; 7'-8" HEIGHT; CENTRAL LEADER; FULL	
4	LOB	LOBLOLLY PINE	PINUS TAEDA	7'-8" HT.; B&B; FULL	
5	RRCM	RED ROCKET CRAPEMYRTLE	LAGERSTROEMIA INDICA 'RED ROCKET'	30 GALLON; 5'-6" HEIGHT, 3-4 TRUNKS; FULL	
40	DBH	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	5 GALLON; FULL	30" O.C.
2	LORO	LOROPETALUM	LOROPETALUM CHINENSIS RUBRUM	5 GALLON; FULL	AS SHOWN
34	CPJ	COMPACT PFITZER JUNIPER	JUNIPERUS CHINENSIS 'KALLAYS COMPACTA'	5 GALLON; FULL	36" O.C.
48	YEW	YEW	TAXUS MEDIA	5 GALLON; FULL	36" O.C.
7	VIB	CARDINAL CANDY VIBURNUM	VIBURNUM DILATATUM 'HENNEKE'	5 GALLON; FULL	AS SHOWN
18	BOX	WINTERGREEN BOXWOOD	BUXUS MICROPHYLLA KOREANA 'WINTERGREEN'	5 GALLON; FULL	30" O.C.
12	ABEL	KALEIDOSCOPE ABELIA	ABELIA X GRANDIFLORA 'KALEIDOSCOPE'	5 GALLON; FULL	30" O.C.
4	LSRS	LITTLE SPIRE RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	5 GALLON; FULL	AS SHOWN
4	AMIS	ADAGIO MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	5 GALLON; FULL	AS SHOWN
8	RSAGE	RUSSIAN SAGE		5 GALLON; FULL	AS SHOWN
44	GOJ	GRAY OWL JUNIPER		5 GALLON; FULL	AS SHOWN
8	HAM	HAMELN FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	3 GALLON; FULL	AS SHOWN
15	DPN	DWARF PURPUREA NANDINA	NANDINA DOMESTICA 'NANA PURPUREA'	3 GALLON; FULL	AS SHOWN
8	DYH	DWARF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	3 GALLON; FULL	24" O.C.
4	CGY	COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON; FULL	AS SHOWN
6	KOR	KNOCK OUT ROSE	ROSA 'RADRAZZ'	2 GALLON; FULL	AS SHOWN
28	MCS	MAGIC CARPET SPIRAEA	SPIRAEA BUMALDA 'MAGIC CARPET'	2 GALLON; FULL	AS SHOWN
8	BES	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	1 GALLON; FULL	AS SHOWN
22	DAY	HAPPY RETURNS DAYLILY	HEMEROCALIS SPP. 'HAPPY RETURNS'	1 GALLON; FULL	AS SHOWN
751	LF	STEEL BED EDGING	RYERSON 1/8" X 4" OR APPROVED EQUAL		

FOXLAND
CROSSING



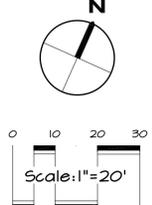
LANDSCAPE ARCHITECTS
 2202 E 49th ST.
 SUITE 500
 TULSA, OK 74105
 918-742-1483
 FAX 918-742-1479
 info@albackdesign.com
 albackdesign.com

FOXLAND
CROSSING, LLC

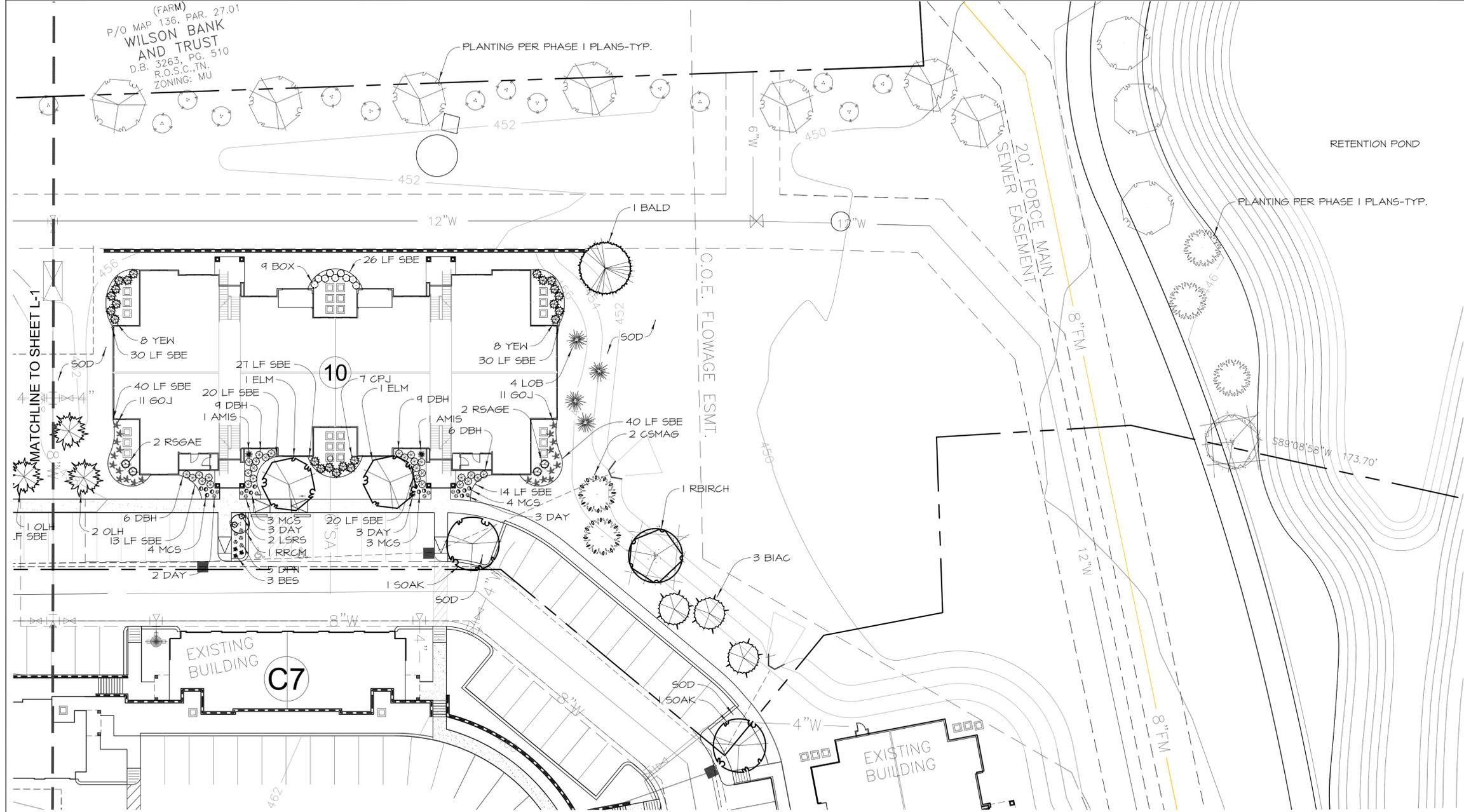
1810 S. CHURCH STREET
 MURFREESBORO, TN 37130

JOB NUMBER: 11037
 DRAWN BY: BBD
 DATE: 4-16-2014

LANDSCAPE PLAN
 SHEET NUMBER L-1



(FARM)
 P/O MAP 136, PAR. 27.01
**WILSON BANK
 AND TRUST**
 D.B. 3263, PG. 510
 R.O.S.C., TN.
 ZONING: MU



GENERAL NOTES

CALL TENNESSEE ONE-CALL AT 1-800-351-1111 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES.

CONTACT PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK OF ACTION ON THE PROJECT SITE DURING LANDSCAPE OR IRRIGATION INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING TRENCHING OPERATIONS IN ANY AREA.

PLANT TREES TWO (2) INCHES ABOVE FINISHED GRADE. CUT TWINE FROM AROUND THE TRUNK AND REMOVE COMPLETELY THE WIRE BASKET AND BURLAP FROM THE ROOT BALL. PLANT SHRUBS ONE (1) INCH ABOVE FINISHED GRADE. CROWN ISLANDS 4" ABOVE TOP OF CURB OR AS DIRECTED ON DRAWING. ALL PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE OUT OF THE PLANTING BEDS. ADJUST TREE/SHRUB BED LOCATIONS FOR FINAL GRADES / DRAINAGE SWALES/UTILITIES.

IF LOCATIONS OF SITE ELEMENTS ARE NOT AS SHOWN, ADJUST PLANTINGS ACCORDINGLY (LIGHT POLES, SIGNAGE, AIR CONDITIONER UNITS, TRANSFORMERS, METERS, ETC.).

BED PREPARATION

ALL SHRUB BED AREAS SHALL RECEIVE A THREE (3) INCH LAYER OF "BACK TO EARTH" SOIL CONDITIONER AND A ONE (1) INCH LAYER OF STERILIZED COW MANURE. THESE PRODUCTS SHALL BE INCORPORATED INTO THE EXISTING SOIL TO A DEPTH OF EIGHT (8) INCHES. ROTO-TILL AMENDMENTS AND TOPSOIL UNTIL A SMOOTH EVEN MIXTURE IS ACHIEVED.

PROVIDE BIOPLEX 5-IN-1 COMPLETE PLANTING GRANULES AS MANUFACTURED BY ADVANCED GROWING SOLUTIONS TO ALL PLANTING BEDS. APPLY AT A RATE OF 2.0 POUNDS PER 100 SQUARE FEET. ROTO-TILL INTO THE TOP 3"-4" OF PLANTING BEDS.

EACH TREE LOCATED OUTSIDE A PLANTING BED SHALL RECEIVE THREE (3) CUBIC FEET OF BACK TO EARTH SOIL CONDITIONER MULCH AND ONE (1) CUBIC FOOT OF AGED, STERILIZED COW MANURE. MIX WITH THE TOPSOIL AND USE AS A BACKFILL. APPLY BIOPLEX 5-IN-1 COMPLETE PLANTING GRANULES AT A RATE OF 8 OUNCES PER EACH 1" CALIPER. INCORPORATE 5-IN-1 INTO THE TOP 3"-4" OF SOIL BACKFILL.

MULCH

MULCH ALL PLANTING BEDS AND TREE WELLS WITH SHREDDED CEDAR MULCH TO A DEPTH OF THREE (3) INCHES.

LAWN

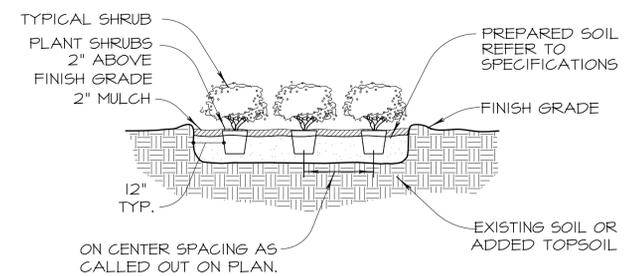
SOD ALL AREAS DISTURBED BY CONSTRUCTION WITH SOLID SLAB U-3 BERMUDA GRASS SOD. WATER AND ROLL IN ACCORDANCE WITH STANDARD NURSERY PRACTICE.

FOR SOD APPLY FERTILIZER ACCORDING TO TIME OF INSTALLATION: MAY 1 - AUGUST 1 APPLY A 16-8-8 FERTILIZER AT A RATE OF 1 POUND OF ACTUAL NITROGEN PER 1,000 SQUARE FEET TO ALL LAWN AREAS.

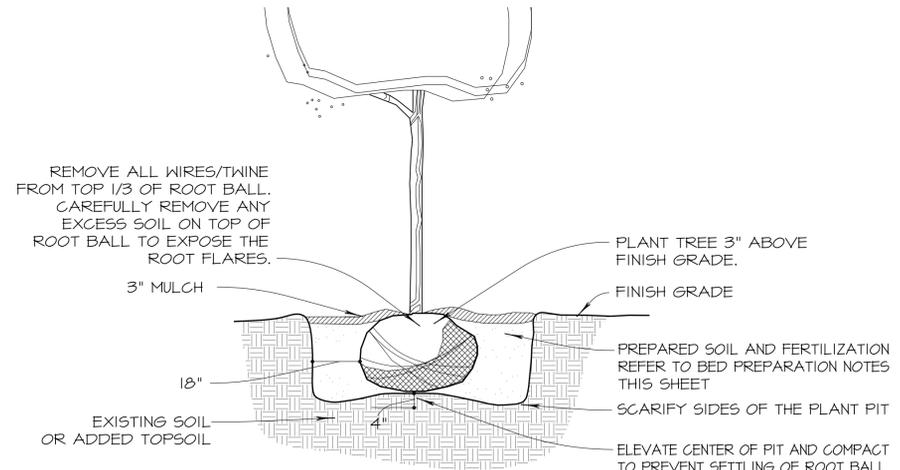
SEPTEMBER 1 - APRIL 30 APPLY 10-20-10 FERTILIZER AT A RATE OF 1/2 POUND OF NITROGEN PER 1,000 SQUARE FEET OF LAWN AREA FERTILIZER SHALL BE APPLIED PRIOR TO SODDING.

IRRIGATION

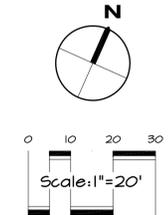
ALL AREAS OF THE SITE ARE TO BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM. REFER TO IRRIGATION PLANS.



SHRUB PLANTING DETAIL
 NOT TO SCALE



TREE PLANTING DETAIL
 NOT TO SCALE



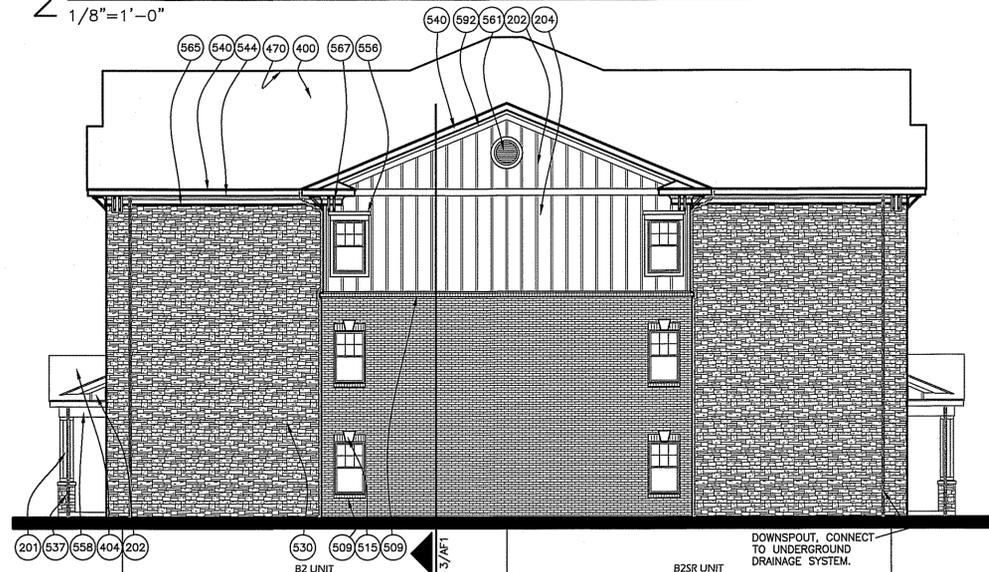
FOXLAND CROSSING	
 LANDSCAPE ARCHITECTS 2202 E 49th ST. SUITE 500 TULSA, OK 74105 918-742-1483 FAX 918-742-1479 info@alabackdesign.com alabackdesign.com	HUD # 086-35358 FOXLAND CROSSING, LLC 1810 S. CHURCH STREET MURFREESBORO, TN 37130
	JOB NUMBER: 11037 DRAWN BY: BBD DATE: 4-16-2014
LANDSCAPE PLAN SHEET NUMBER L-2	



1 BUILDINGS 10,11&12 - FRONT ELEVATION
1/8"=1'-0"



2 BUILDINGS 10,11&12 - BACK ELEVATION
1/8"=1'-0"



3 BUILDINGS 10,11&12 - END ELEVATION
1/8"=1'-0"

TYPICAL BLDG MASONRY CALCULATIONS

FRONT ELEVATION (PARKING)	
TOTAL AREA	4522 SF
AREA OF WIND/DRS/BALC	1407 SF
NET SURFACE AREA	3115 SF
AREA OF MASONRY	2177 SF
PERCENTAGE MASONRY	70 %
REAR ELEVATION	
TOTAL AREA	4522 SF
AREA OF WIND/DRS/BALC	1080 SF
NET SURFACE AREA	3442 SF
AREA OF MASONRY	2632 SF
PERCENTAGE MASONRY	76 %
END ELEVATION	
TOTAL AREA	4608 SF
AREA OF WIND/DRS/BALC	180 SF
NET SURFACE AREA	4428 SF
AREA OF MASONRY	3859 SF
PERCENTAGE MASONRY	87 %

KEYNOTES

- 200. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE WITH R-13 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
- 201. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE.
- 202. VERTICAL ARCHITECTURAL FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND ROOF TRUSSES.
- 204. VERTICAL ARCHITECTURAL FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE WITH R-13 BATT INSULATION AND 5/8" FIRE RESISTANT AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
- 215. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS WITH R-13 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING. OMIT INSULATION AT EXTERIOR STORAGE CLOSETS.
- 400. FIBERGLASS ARCHITECTURAL SHINGLES ON #15 FELT ON DECKING PER SCHEDULE ON ROOF TRUSSES WITH R-30 INSULATION WITH 1 LAYERS 5/8" FIRE RESISTANT GYP. BOARD ON RESILIENT CHANNELS AT CEILING. OMIT INSULATION OVER NON-CONDITIONED SPACES.
- 404. FIBERGLASS ARCHITECTURAL SHINGLES ON #15 FELT ON DECKING PER SCHEDULE ON 2X6 STOCK BUILT ROOF WITH R-30 INSULATION WITH 5/8" FIRE RESISTANT GYPSUM BOARD AT CEILING.
- 470. CONTINUOUS RIDGE VENT.
- 509. BRICK ROVLOCK.
- 515. 8" BRICK SOLDIER COURSE WITH PRECAST STONE KEY PER DETAILS.
- 530. STONE VENEER ON METAL LATH ON 2 LAYERS OF MOISTURE RESISTANT BARRIER ON SHEATHING ON STUDS WITH R-13 BATT INSULATION WITH 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
- 531. STONE VENEER ON METAL LATH ON 2 LAYERS OF MOISTURE RESISTANT BARRIER ON SHEATHING ON ROOF TRUSSES.
- 535. STONE VENEER SILL OR CAP.
- 536. 8" STONE SOLDIER COURSE WITH PRECAST STONE KEY WHERE SHOWN.
- 537. STONE VENEER AT COLUMN BASE.
- 539. 4" TRIM STONE, PER DETAIL.
- 540. 1X CEMENT FIBER ON 2X4 SUB FASCIA.
- 544. GUTTER WITH DOWNSPOUTS AND SPLASH BLOCKS AT GRADE.
- 556. 1X4 FIBER CEMENT TRIM ON 5/4X10 FIBER CEMENT TRIM AT WINDOW HEAD.
- 557. 1X SMOOTH FINISH CEMENT FIBER PANEL TRIM ON BEAM, CUT TO FORM ARCH.
- 558. 1X SMOOTH FINISH CEMENT FIBER PANEL TRIM ON BEAM.
- 559. 1-4" WIDE VINYL FALSE SHUTTERS.
- 561. 24" DIAMETER VINYL OR PLASTIC LOUVERED VENT. DUMMY.
- 565. 2X8 PAINT GRADE TRIM BELOW 4" CROWN MOULDING ON 2X4 BLOCKING. 2" CLOVER MOULDING AT BOTTOM OF 2X8 PER DETAIL.
- 567. DECORATIVE EAVE BRACKET, PER DETAILS.
- 568. BUILDING SIGN AND LIGHT, VERIFY WITH ELECTRICAL PLANS.
- 571. STANDARD VINYL RAILING SYSTEM WITH TOP RAIL AT 3'-6" A.F.F. AND PICKETS WITH 4" MAX SPACING. RAILING LENGTHS OVER 8'-0" TO HAVE A STRUCTURAL POST AT CENTER INSTALLED PER MFG. SYSTEM.
- 591. 5 1/2"X4 FIBER CEMENT TRIM UNDER GABLE.
- 592. 5 1/2"X4 FIBER CEMENT TRIM ON 1 1/4"X5/4 TRIM UNDER GABLE.

FOXLAND CROSSING

PHASE II



FOXLAND CROSSING, LLC
1610 S. CHURCH STREET
MURFREESBORO, TN 37130

JIM E. PARKER - ARCHITECT OF RECORD
TENNESSEE LICENSE # 17971
Parker Associates
2202 East 48th Street South,
Suite 200
Tulsa, OK 74105
(918)-742-2485

JOB NUMBER: 211036
DRAWN BY: JEP,SLAB,HA
DATE: 02-28-2014

BUILDINGS 10,11&12
ELEVATIONS
SHEET NUMBER AB2 OF 2

ITEM 6

GMRPC Resolution No. 2014-34

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL PLAT FOR RESUBDIVISION OF FAIRVUE PLANTATION PHASE 17 AND PHASE 18, GREEN FARMS PHASE 1, SECTION 1 AND GREEN FARMS PHASE 1, SECTION 2, LOCATED SOUTH AND EAST OF NOAH LANE AND NORTH OF KELVINGTON BOULEVARD – (PC0270-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Final Plat submitted by the applicant Dewey-Estes Engineering, at its regular meeting on April 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, attached as Exhibit A, and the evidence and testimony presented during the meeting.

NOW, THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-402, §13-3-404, §13-4-302, and §13-4-304:

1. The proposed Final Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City as described in Chapter 1, Section 1-104, items 1-11.
2. The proposed Final Plat is consistent with the purpose and intent of the Multiple Residential and Office (MRO) Zoning District(s).
3. The proposed Final Plat is consistent with T.C.A. Section 13-3-402 and Section 13-4-302.
4. The proposed Final Plat is in agreement and consistent with the intent and recommendations of the General Development and Transportation Plan for the area, and in particular, the Suburban Neighborhood Established Character Area.
5. It has been determined that the legal purposes for which zoning and subdivision regulations exists have not been contravened.
6. It has been determined that the subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. It has been determined that no one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

ITEM 6

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Plat for Resubdivision of Fairvue Plantation Phase 17 and Phase 18 and Lot 17, 18 and 33 of Green Farms Phase 1, Section 1 and Lot A of Green Farms Phase 1, Section with the following conditions of approval:

1. Correct the title of the final plat to “Resubdivision of Fairvue Plantation Phase 17 and Phase 18 and Lots 17, 18, and 33 of Green Farms Phase 1, Section 1 and Lot A of Green Farms Phase 1, Section 2”.
2. Provide an agent letter from Benjamin and Stacey Clinard (Lot 17) stating that Dewey-Estes Engineering may represent them and they consent to the Resubdivision.
3. Provide an agent letter from the property owner(s) of Noah Lane and the alley stubs stating that Dewey-Estes Engineering may represent them and they consent to the Resubdivision.
4. Provide a copy of the recorded deed showing the current property owner(s) of Lot 17.
5. Provide a copy of the recorded deed showing property owner(s) of Noah Lane and the alley stubs.
6. Correct Certificate of Ownership and Dedication for Benjamin and Stacey Clinard by providing correct record book and page number for Green Farms Phase 1, Section 1 Lot 17.
7. Add Certificate of Ownership and Dedication for property owner(s) of Noah Lane and the alley stubs.
8. Correct Certificate of Approval of Sewer and Water Systems certificates to reflect Final Plat title.
9. Provide property owner(s) information for Lot 17, Noah Lane and alley stubs next to owner information for Goodall Inc. Builders on Final Plat.
10. The applicant shall show and label the sanitary sewer line on sheet 3 of 3.
11. Submit three (3) corrected and folded copies of the Final Master Development Plan for Green Farms Phase 1 (PC9990-12), reflecting the revisions to the Final Plat, to the Planning Department.
12. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to submitting the mylars for recording.
13. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

ITEM 6

PRESENT AND VOTING

AYE:

NAY:

DATED: 4/28/2014

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY

EXHIBIT A

ITEM 6



PLANNING DEPARTMENT STAFF REPORT

Final Plat for Resubdivision of Fairvue Plantation Phases 17 and Phase 18 and Lots 17, 18, and 33 of Green Farms Phase 1, Section 1 and Lot A of Green Farms Phase 1, Section 2

(PC0270-14)

Date: April 23, 2014

REQUEST: OWNERS AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT TO RE-SUBDIVIDE THE PORTIONS OF FOUR (4) SUBDIVISIONS BY REMOVING THREE (3) SEGMENTS OF ALLEY RIGHTS-OF-WAY AND MODIFYING P.U.D.E.'S IN FAIRVUE PLANTATION PHASE 17 AND PHASE 18, GREEN FARMS PHASE 1, SECTION 1 AND GREEN FARMS PHASE 1, SECTION 2.

OWNERS: GOODALL INC. BUILDERS
BENJAMIN R. AND STACEY E. CLINARD

APPLICANT: DEWEY-ESTES ENGINEERING

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS

STAFF CONTACT: ROBERT J. KALISZ

PLANNING COMMISSION DATE: APRIL 28, 2014

PROPERTY OVERVIEW: The owners and applicant is requesting approval of a final plat to re-subdivide portions of four (4) subdivisions by removing three (3) segments of rights-of-way alley and modifying P.U.D.E.'s in Fairvue Plantation Phase 17 and Phase 18, Green Farms Phase 1, Section 1 and Green Farms Phase 1, Section 2.

CASE BACKGROUND:

Previous Approvals

- On April 24, 2006, the Planning Commission approved the Final Plat for Fairvue Plantation Phase 17 (1-21-06C). This plat included two (2) right of way alley stubs along the southern boundary of what is now Lot 17, Lot 18 and Lot A of Green Farms Phase 1, Section 1. The final plat for Fairvue Plantation Phase 17 was recorded on August 24, 2007 (PB 25, PG 150-154). (Attachment 6-2)
- On April 24, 2006, the Planning Commission approved the Final Plat for Fairvue Plantation Phase 18 (1-22-06C). This plat included one (1) right of way alley stub along the northern boundary of what are now Lot 33 and Lot A of Green Farms Phase 1, Section 1 and Section 2. The final plat for Fairvue Plantation Phase 18 was recorded on August 24, 2007 (PB 25, PG 155-159). (Attachment 6-3)
- On April 9, 2012, the Planning Commission recommended approval of the Preliminary Master Development Plan for Green Farms Phase 1 (PC9957-12) to City Council. This amended the Revised Preliminary Master Development Plan for

Final Plat for Resubdivision of Fairvue Plantation Phase 17 and Phase 18 and Lots 17, 18, and 33 of Green Farms Phase 1, Sections 1 and Lot A of Green Farms Phase 1, Section 2 (PC0270-14)
April 28, 2014

Fairvue Plantation Phases 17-19 (PC File #3-18-08) to create a 56 lot major subdivision on 15.21 (+/-) acres.

- On May 15, 2012, City Council passed 2nd reading Ordinance Number O1203-27 approving the Preliminary Master Development Plan for Green Farms Phase 1 on 15.21 (+/-) acres.
- On May 21, 2012, the Planning Commission approved the Final Master Development Plan for Green Farms Phase 1 (PC9990-12) and a Preliminary Plat for Green Farms Phase 1 (PC9991-12). The Final Master Development Plan and Preliminary Plat indicated 56 single family lots, right of way, and open space on property containing 15.21 (+/-) acres.
- On June 25, 2012, the Planning Commission approved the Final Plat for Green Farms Phase 1, Section 1 (PC0007-12) containing 17 single family lots, one (1) future development lot, right of way, and an open space on 15.21 (+/-) acres. The Final Plat was recorded on June 25, 2013 (PB 27, PG 321-324). (Attachment 6-4)
- On April 22, 2013, the Planning Commission approved the Final Plat for Green Farms Phase 1, Section 2 (PC0119-13) by subdividing Lot 1 of Green Farms Phase 1, Section 1 into 16 single family lots, one (1) future development lot (Lot A), and right of way on 9.48 (+/-) acres. The Final Plat was recorded on October 8, 2013 (PB 28, PG 42-44). (Attachment 6-5)

DISCUSSION:

Proposed Development

The Green Farms Phase 1 subdivision is currently a 33 single family lot major subdivision including one (1) lot for future development, an open space which includes a landscaped playground and a public right of way (Baxter Lane) yet to be accepted by the City of Gallatin. The owners and applicant are requesting approval to remove three (3) alley stubs and modify P.U.D.E.'s on three (3) lots. The original concept for this development has changed from alley access loading garages to front loading garages to be accessed from Baxter Lane and future extension of Laffite Way. The lot sizes and layout shown on the Final Plat for Resubdivision of Fairvue Plantation Phase 17 and Phase 18 and Lots 17, 18, and 33 of Green Farms Phase 1, Section 1 and Lot A of Green Farms Phase 1, Section 2 are consistent with lot sizes and layouts approved in the Final Master Development Plan (PC9990-12) and Preliminary Plat (PC9991-12).

Lot 18 and 33 are currently owned by Goodall Inc. Builders with a model home located on Lot 33. Lot 17 contains a house owned by Benjamin and Stacey Clinard while Lot 18 is currently under construction by Goodall Inc. Builders.

EXHIBIT A

Public Right of Way/Streets and Alleys

The public right of ways serving Green Farms Phase 1, Section 1 and Section 2 were included as part of the Fairvue Plantation Phase 17 and Phase 18. The street and alley access to Green Farms Phase 1, Section 1 and Section 2 development located along the southern boundary include Baxter Lane, Laffite Way, and Alley 2, and two (2) stub alleys and along the northern boundary are Noah Lane, Baxter Lane, Alley 7, a stub for Laffite Way and an unnamed alley.

The public rights of ways for Fairvue Plantation Phase 17 and Phase 18, and Green Farms Phase 1, Section 1 and Section 2 have not been accepted by the City of Gallatin.

By re-subdividing these subdivisions it effectively vacates the alley stubs and will convey them to the adjacent lots. This usually would be considered as an abandonment and vacation of right of way except the streets have not been formally accepted by the City and retained by the developer as real property for right of way use.

Public Utility and Drainage Easements (P.U.D.E's)

A 40 foot wide P.U.D.E is proposed along the rear yard of Green Farms Phase 1, Section 1 Lot 17 to allow for storm water drainage into a small detention area located in the rear of the lot. The existing easement is only 15 feet wide and does not include all of the detention area. The P.U.D.E.'s located in the side yards of Lots 17 and 18 will be modified slightly to include portion of the existing alley stubs.

Planning Department Comments

The Planning Department reviewed and commented on the Final Plat. Most of the Planning Department comments have been satisfied; however the applicant shall amend the Final Plat and provide documents as indicated below:

1. Provide an agent letter from Benjamin and Stacey Clinard (Lot 17) stating that Dewey-Estes Engineering may represent them and they consent to the Resubdivision.
2. Provide an agent letter from the property owner(s) of Noah Lane and the alley stubs stating that Dewey-Estes Engineering may represent them and they consent to the Resubdivision.
3. Provide a copy of the recorded deed showing the current property owner(s) of Lot 17.
4. Provide a copy of the recorded deed showing property owner(s) of Noah Lane and the alley stubs.
5. Correct Certificate of Ownership and Dedication for Benjamin and Stacey Clinard by providing correct record book and page number for Green Farms Phase 1, Section 1 Lot 17.
6. Add Certificate of Ownership and Dedication for property owner(s) of Noah Lane and the alley stubs.
7. Correct Certificate of Approval of Sewer and Water Systems certificates to reflect Final Plat title.
8. Provide property owner(s) information for Lot 17, Noah Lane and alley stubs next to owner information for Goodall Inc. Builders on Final Plat.

9. Submit three (3) corrected and folded copies of the Final Master Development Plan for Green Farms Phase 1 (PC9990-12), reflecting the revisions to the Final Plat, to the Planning Department.
10. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to submitting the mylars for recording.
11. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

Engineering Division Comments

The Engineering Division reviewed and commented on the Final Plat. The Engineering Division comments have been satisfactorily satisfied.

Gallatin Public Utilities Comments

This development is located in the Gallatin Public Utilities District area. The Gallatin Public Utilities Department reviewed and commented on the Final Plat and the applicant shall show and label the sanitary sewer line on sheet 3 of 3.

Other Departmental Comments

Other City Departments reviewed and commented on the Final Plat. All Other Departmental Comments have been satisfied.

Findings

1. The proposed Final Plat is in agreement and consistent with the intent and recommendations of the General Development and Transportation Plan for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The proposed Final Plat has been submitted to the City complying with the requirements of the subdivision regulations as described in Section 2-105, Gallatin Subdivision Regulations.
3. The proposed Final Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City as described in Chapter 1, Section 1-104, items 1-11.
4. The proposed Final Plat is consistent with the purpose and intent of the Multiple Residential and Office (MRO) Zoning District(s) and the approved PMDP and FMDP for Green Farms Phase 1.
5. The proposed Final Plat is consistent with T.C.A. Section 13-3-402 and Section 13-4-302.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The re-subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
9. The proposed re-subdivision will clarify the intent of the City to allow for lots without alleys and provide a P.U.D.E. on Lot 17 to encompass the constructed retention area.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-34, Final Plat for Resubdivision of Fairvue Plantation Phase 17 and Phase 18 and Lots 17, 18, and 33 of Green Farms Phase 1, Section 1 and Lot A of Green Farms Phase 1, Section 2, prepared by James Terry & Associates of Nashville, Tennessee, consisting of a three (3) sheet plat, with job No. #2014-070 dated March 23, 2014, with a revised date of April 14, 2014, with the following conditions:

1. Correct the title of the final plat to "Resubdivision of Fairvue Plantation Phase 17 and Phase 18 and Lots 17, 18, and 33 of Green Farms Phase 1, Section 1 and Lot A of Green Farms Phase 1, Section 2".
2. Provide an agent letter from Benjamin and Stacey Clinard (Lot 17) stating that Dewey-Estes Engineering may represent them and they consent to the Resubdivision.
3. Provide an agent letter from the property owner(s) of Noah Lane and the alley stubs stating that Dewey-Estes Engineering may represent them and they consent to the Resubdivision.
4. Provide a copy of the recorded deed showing the current property owner(s) of Lot 17.
5. Provide a copy of the recorded deed showing property owner(s) of Noah Lane and the alley stubs.
6. Correct Certificate of Ownership and Dedication for Benjamin and Stacey Clinard by providing correct record book and page number for Green Farms Phase 1, Section 1 Lot 17.
7. Add Certificate of Ownership and Dedication for property owner(s) of Noah Lane and the alley stubs.
8. Correct Certificate of Approval of Sewer and Water Systems certificates to reflect Final Plat title.
9. Provide property owner(s) information for Lot 17, Noah Lane and alley stubs next to owner information for Goodall Inc. Builders on Final Plat.
10. The applicant shall show and label the sanitary sewer line on sheet 3 of 3.
11. Submit three (3) corrected and folded copies of the Final Master Development Plan for Green Farms Phase 1 (PC9990-12), reflecting the revisions to the Final Plat, to the Planning Department.
12. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to submitting the mylars for recording.
13. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

Attachment 6-1 Final Plat for Resubdivision of Fairvue Plantation Phases 17 and Phase 18 and Lots 17, 18, and 33 of Green Farms Phase 1, Sections 1 and Lot A of Green Farms Phase 1, Section 2 (PC0270-14)

Attachment 6-2 Final Plat for Fairvue Plantation Phase 17 (PC File #1-21-06C)

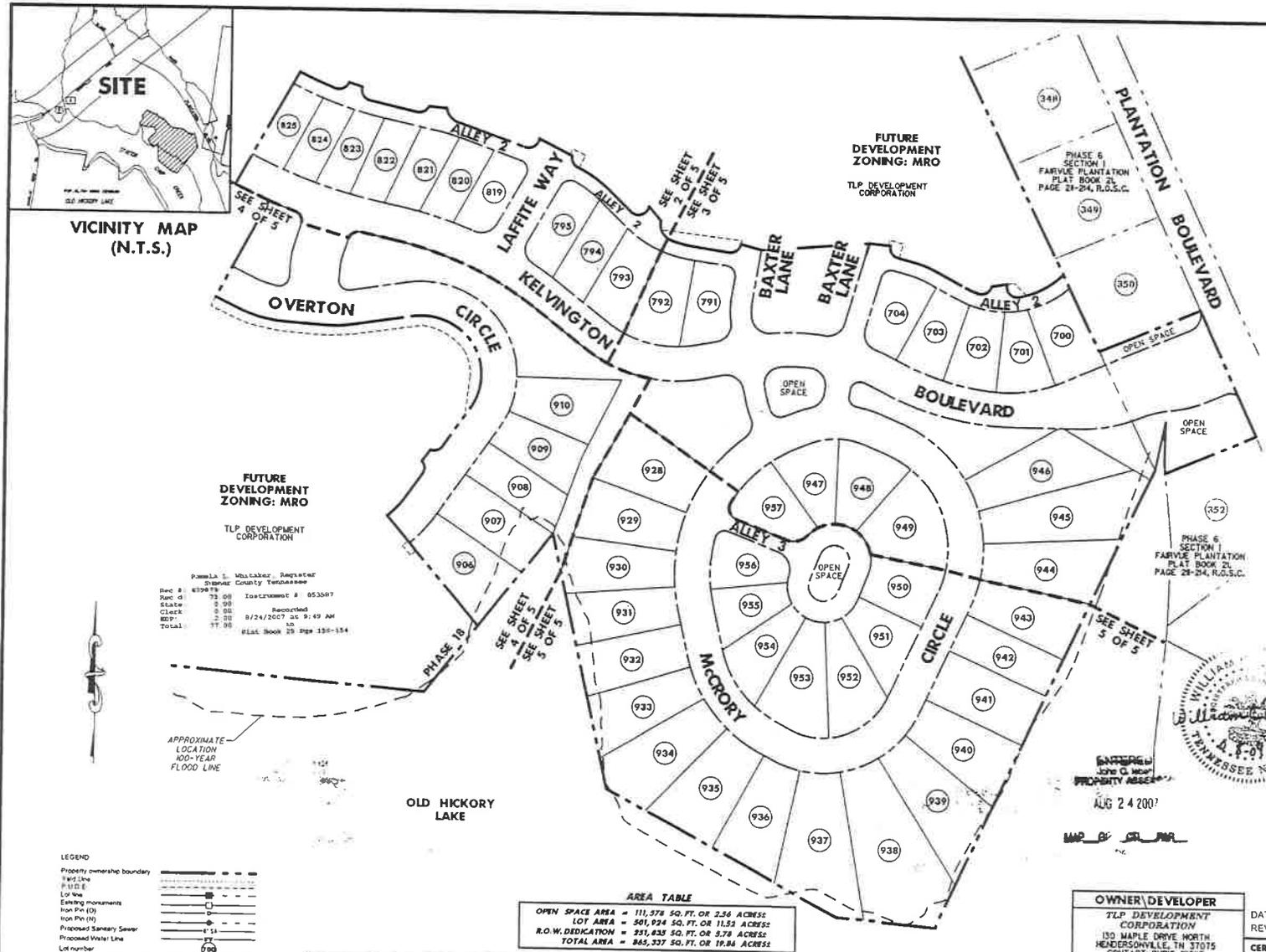
Attachment 6-3 Final Plat for Fairvue Plantation Phase 18 (PC File #1-22-06C)

Final Plat for Resubdivision of Fairvue Plantation Phase 17 and Phase 18 and Lots 17, 18, and 33 of Green Farms Phase 1, Sections 1 and Lot A of Green Farms Phase 1, Section 2 (PC0270-14)
April 28, 2014

Attachment 6-4 Final Plat for Green Farms Phase 1, Section 1 (PC0007-12)
Attachment 6-5 Final Plat for Green Farms Phase 1, Section 2 (PC0119-13)

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO CREATE 10 NEW LOTS.
2. THE SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY CATEGORY A WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY MEASUREMENTS THAT EXCEEDS AS PER THE STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYING, STATE OF TENNESSEE.
3. RECORDS SHOWN ARE BASED ON THE TENNESSEE STATE PLANE AND SYSTEM 840.00.
4. A PORTION OF THE PROPERTY IS LOCATED IN A FLOOD HAZARD AREA (ZONE X) ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 47088-0001 & DATED SEPTEMBER 23, 2004. THE 100-YEAR FLOOD ELEVATION IS 862.5.
5. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING TRAINING, SURVEYING MAPS. THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, OTHER THAN SERVICES OR AMPLIFIERS NOT SHOWN. THE SURVEYOR MAKES NO WARRANTY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
6. THIS PROPERTY IS SUBJECT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS FOR FAIRVIEW PLANTATION RECORDED IN RECORD BOOK 2418, PAGE 284, R.O.S.C., TENNESSEE, FIRST AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 641, R.O.S.C., TENNESSEE, THIRD AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 754, R.O.S.C., TENNESSEE, FOURTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 844, R.O.S.C., TENNESSEE, FIFTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 944, R.O.S.C., TENNESSEE, SIXTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 1044, R.O.S.C., TENNESSEE, SEVENTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 1144, R.O.S.C., TENNESSEE, EIGHTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 1244, R.O.S.C., TENNESSEE, NINTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 1344, R.O.S.C., TENNESSEE, TENTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 1444, R.O.S.C., TENNESSEE, ELEVENTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 1544, R.O.S.C., TENNESSEE, TWELFTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 1644, R.O.S.C., TENNESSEE, THIRTEENTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 1744, R.O.S.C., TENNESSEE, FOURTEENTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 1844, R.O.S.C., TENNESSEE, FIFTEENTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 1944, R.O.S.C., TENNESSEE, SIXTEENTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 2044, R.O.S.C., TENNESSEE, SEVENTEENTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 2144, R.O.S.C., TENNESSEE, EIGHTEENTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 2244, R.O.S.C., TENNESSEE, NINETEENTH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 2344, R.O.S.C., TENNESSEE, TWENTIETH AMENDMENT RECORDED IN RECORD BOOK 2418, PAGE 2444, R.O.S.C., TENNESSEE.
7. METERS AND OPEN SPACE AS SHOWN HEREIN MUST BE OWNED AND MAINTAINED BY FAIRVIEW PLANTATION HOMEOWNERS ASSOCIATION, INC. AS A PART OF THE LONGVIEW NEIGHBORHOOD IN A SEPARATE NEIGHBORHOOD DESIGNATED BY SUPPLEMENT TO THE FAIRVIEW PLANTATION DECLARATION DESCRIBED IN NOTE 6.
8. ALL DEDICATED OPEN SPACE TO BE PAVED.
9. LOTS 804, 811, 808, 815, 812, 819, 822, 824, 827, 834, 836, 839, 841, 844 AND 846 WILL REQUIRE FLOODPLAIN DEVELOPMENT PERMITS AND ELEVATION CERTIFICATES FOR CONSTRUCTION. URBAN P.F.Z. SHALL BE HELD IF ABOVE 100-YEAR FLOOD ELEVATION.
10. ALLEY LOADED LOTS SHALL HAVE AT LEAST ONE (1) 20' PARKING AREA ADJACENT TO ALLEY.
11. LOTS 700-704, 710-715, 800-829 & 946 SHALL HAVE NO ACCESS ONTO KELVINGTON BLVD.
12. ALL LOTS WITH ALLEY ACCESS SHALL NOT ACCESS DIRECTLY TO ROADWAY.
13. THE RECORDING OF THE PLAT, VACATES AND SUPERSEDES PHASE 16 SECTION 1 FAIRVIEW PLANTATION OF RECORD IN PLAT BOOK 2418, PAGES 28-24, R.O.S.C.
14. ALLEYS ARE DEDICATED PUBLIC RIGHT OF WAY UNLESS OTHERWISE NOTED.
15. BUILDINGS CANNOT BE LOCATED WITHIN 6' OF ANY TRANSFORMATION.



**FAIRVIEW PLANTATION
PHASE 17
FINAL PLAT
FOURTH CIVIL DISTRICT
SUMNER COUNTY
GALLATIN, TENNESSEE
MAP 136, PART OF PARCEL 30
ZONED MRO**

DATE MARCH 30, 2006
REVISED: AUGUST 09, 2007 **SHEET 1 OF 5**

CERTIFICATE OF COMMON AREAS DEDICATION
TLP DEVELOPMENT CORPORATION IN RECORDING THIS PLAT HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS IN THE LONGVIEW NEIGHBORHOOD OF FAIRVIEW PLANTATION FOR RECREATION AND RELATED ACTIVITIES. THESE AREAS DESCRIBED AREAS ARE NOT DEDICATED HERETO FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN FAIRVIEW PLANTATION AS MORE FULLY PROVIDED IN ARTICLE FOUR, DECLARATION OF COVENANTS AND RESTRICTIONS, FOR THE LAST PLANTATION, DATED AUGUST 14, 2006, OF RECORD IN BOOK 1126, PAGE 218, R.O.S.C. SAID ARTICLE FOUR IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAT. SEE NOTE 6, SHEET 1 OF 5, FOR RECORDING INFORMATION OF AMENDMENTS.
DATE: 8/9/07
TLP DEVELOPMENT CORPORATION

CERTIFICATE OF ACCURACY
I (WE) HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY OF THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL, REGIONAL PLANNING COMMISSION AND THAT THE MEASUREMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.
DATE: August 9, 2007
WILLIAM C. COCKBILL
SURVEYOR NUMBER 1401

OWNER/DEVELOPER
TLP DEVELOPMENT CORPORATION
130 MAPLE DRIVE NORTH
HEADERSHOPVILLE, TN 37015
CONTACT CHRIS BECKE
PHONE: (615) 264-1980

INTERVIEW
John G. Beard
PROPERTY ASSESSOR
AUG 24 2007

MAP BY: CR/MA

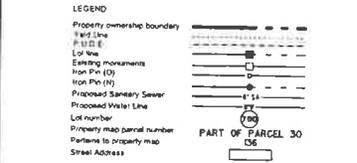
CERTIFICATE OF OWNERSHIP AND DEDICATION
I (WE) HEREBY CERTIFY THAT I (AM I/WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN RECORD BOOK 2418, PAGE 781, RECORD BOOK 2418, PAGE 790, RECORD BOOK 2086, PAGE 49, RECORD BOOK 2612, PAGE 362 AND RECORD BOOK 2612, PAGE 374, SUMNER COUNTY REGISTERS OFFICE AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTIONS, LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, ALLEYS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL, REGIONAL SUBDIVISION REGULATIONS.
DATE: 8/1/07
OWNER: TLP DEVELOPMENT CORPORATION
TITLE (IF ACTING FOR PARTNERSHIP OR CORPORATION): SECRETARY

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED FAIRVIEW PLANTATION PHASE 17 HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.
DATE: 8-16-07
SUPERINTENDENT OF PUBLIC UTILITIES
CITY OF GALLATIN

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED FAIRVIEW PLANTATION PHASE 17 HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.
DATE: 8-16-07
SUPERINTENDENT OF PUBLIC UTILITIES
CITY OF GALLATIN

CERTIFICATE OF APPROVAL OR BONDING OF ROADS
I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL, REGIONAL SUBDIVISION REGULATIONS, OR (2) THAT A PERFORMANCE BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.
DATE: 8-22-07
CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL, REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTERS.
DATE: 8-22-07
CHAIRMAN/TITULARS' PLANNING COMMISSION



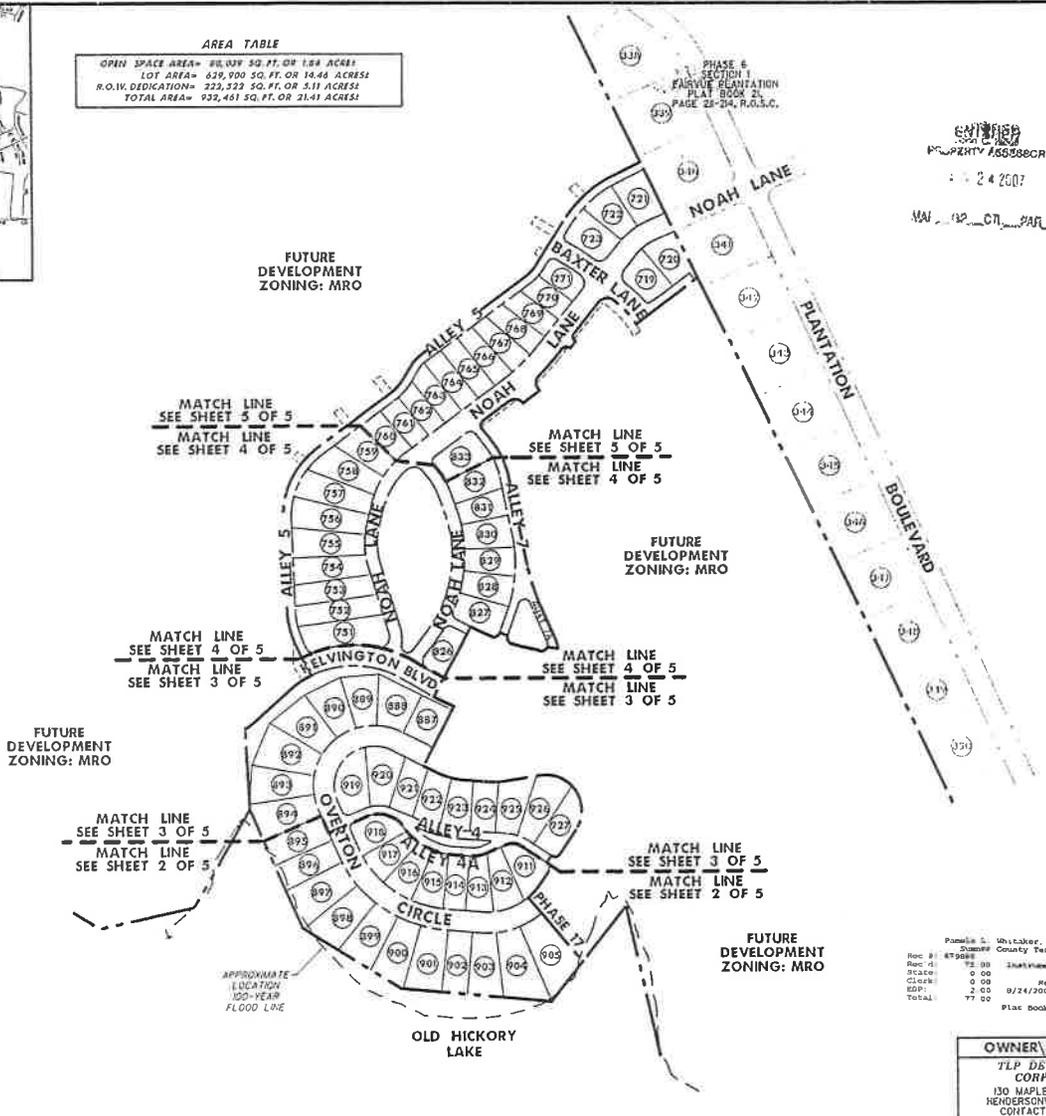
BWSC BARGE WAGGONER SUMNER & CANNON, INC.
ENGINEERS ARCHITECTS PLANNERS
LANDSCAPE ARCHITECTS AND SURVEYORS
26 Corner on 31st East, Suite 600, Murfreesboro, Tennessee 37130
PHONE: (615) 254-0000 FAX: (615) 255-4872
PROJECT NO. 132352-00 | FLEI phase17plat.dgn | DWG BY: CADD



VICINITY MAP (N.T.S.)

AREA TABLE

OPEN SPACE AREA= 80,117 SQ. FT. OR 1.84 ACRES
LOT AREA= 439,900 SQ. FT. OR 10.04 ACRES
R.O.W. DEDICATION= 223,522 SQ. FT. OR 5.11 ACRES
TOTAL AREA= 742,541 SQ. FT. OR 17.01 ACRES



- NOTES:**
- THE PURPOSE OF THIS PLAT IS TO CREATE TO NEW LOTS.
 - THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY II) WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1/40000 AS PER THE STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
 - BEARINGS SHOWN ARE BASED ON THE TENNESSEE STATE PLANE GRID SYSTEM UTM 831.
 - A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA. UNDER AND ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 47058 DATED 8/24/2007. THE 100-YEAR FLOOD ELEVATION IS 452.0.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES AND EXISTING DRAWINGS. SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COURSE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE BELIEVES THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 - THIS PROPERTY IS SUBJECT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS FOR FAIRVUE PLANTATION RECORDED IN RECORD BOOK 128, PAGE 26, R.O.S.C., TENNESSEE, FIRST AMENDMENT RECORDED IN RECORD BOOK 100, PAGE 72, R.O.S.C., TENNESSEE, SECOND AMENDMENT RECORDED IN RECORD BOOK 182, PAGE 681, R.O.S.C., TENNESSEE, THIRD AMENDMENT RECORDED IN RECORD BOOK 183, PAGE 154, R.O.S.C., TENNESSEE, FOURTH AMENDMENT RECORDED IN RECORD BOOK 874, PAGE 685, R.O.S.C., TENNESSEE, FIFTH AMENDMENT RECORDED IN RECORD BOOK 1659, PAGE 489, R.O.S.C., TENNESSEE, SIXTH AMENDMENT RECORDED IN RECORD BOOK 1942, PAGE 316, R.O.S.C., TENNESSEE, SEVENTH AMENDMENT RECORDED IN RECORD BOOK 2056, PAGE 203, R.O.S.C., TENNESSEE, EIGHTH AMENDMENT RECORDED IN RECORD BOOK 2055, PAGE 173, R.O.S.C., TENNESSEE, NINTH AMENDMENT RECORDED IN RECORD BOOK 255, PAGE 684, R.O.S.C., TENNESSEE, TENTH AMENDMENT RECORDED IN RECORD BOOK 2355, PAGE 824, R.O.S.C., TENNESSEE, ELEVENTH AMENDMENT RECORDED IN RECORD BOOK 2408, PAGE 408, R.O.S.C., TENNESSEE, TWELFTH AMENDMENT RECORDED IN RECORD BOOK 2483, PAGE 198, R.O.S.C., TENNESSEE, AND THIRTEENTH AMENDMENT RECORDED IN RECORD BOOK 2483, PAGE 608, R.O.S.C., TENNESSEE.
 - MEANS AND OPEN SPACE AS SHOWN HEREON MUST BE OWNED AND MAINTAINED BY FAIRVUE PLANTATION HOMEOWNERS ASSOCIATION, INC., AS A PART OF THE LONGVIEW NEIGHBORHOOD (A SEPARATE NEIGHBORHOOD DESIGNATED BY SUPPLEMENT TO THE FAIRVUE PLANTATION DECLARATION DESCRIBED IN NOTE 6.)
 - ALL DEDICATED OPEN SPACE TO BE PAID.
 - LOTS 895, 896, 897, 898, 904 AND 905 WILL REQUIRE FLOODPLAIN DEVELOPMENT PERMITS AND ELEVATION CERTIFICATES FOR CONSTRUCTION. MINIMUM F.F.E. SHALL BE 453.0 ABOVE 100-YEAR FLOOD ELEVATION.
 - LOTS 770 AND 771 WILL REQUIRE A GEOTECHNICAL STUDY.
 - ALL LOTS WITH ALLEY ACCESS SHALL NOT ACCESS DIRECTLY TO ROADWAY.
 - ALLEY LOADED LOTS SHALL HAVE AT LEAST ONE 10' X 20' PARKING AREA ADJACENT TO ALLEY.
 - ALLEYS ARE DEDICATED PUBLIC RIGHT OF WAY UNLESS OTHERWISE NOTED.
 - BUILDINGS CANNOT BE LOCATED WITHIN 10' OF ANY TRANSFORMER.

FAIRVUE PLANTATION
PHASE 13
FINAL PLAT
FOURTH CIVIL DISTRICT
SUMNER COUNTY
GALLATIN, TENNESSEE
MAP 136, PART OF PARCELS
29.00, 29.01, 29.02, 30.00, 30.01, & 30.02
ZONED MRO

William C. Cockhill
 8-29-07
 REGISTERED LAND SURVEYOR #1401

OWNER/DEVELOPER
 TLP DEVELOPMENT CORPORATION
 130 MAPLE DRIVE NORTH
 HENDERSONVILLE, TN 37075
 CONTACT CHRIS WICK
 PHONE (615) 264-1980

DATE: MARCH 30, 2006
 REVISED AUGUST 09, 2007

SHEET 1 OF 5

Parcells 2, Whitaker, Register
 Sumner County Tennessee

Rec #	47988	Book	128	Page	26
Rec #	100	Book	100	Page	72
Rec #	182	Book	182	Page	681
Rec #	183	Book	183	Page	154
Rec #	874	Book	874	Page	685
Rec #	1659	Book	1659	Page	489
Rec #	1942	Book	1942	Page	316
Rec #	2056	Book	2056	Page	203
Rec #	2055	Book	2055	Page	173
Rec #	255	Book	255	Page	684
Rec #	2355	Book	2355	Page	824
Rec #	2408	Book	2408	Page	408
Rec #	2483	Book	2483	Page	198
Rec #	2483	Book	2483	Page	608

LEGEND

- Property ownership boundary
- Parcel line
- Right of Way
- Utility lines
- Proposed easements
- Iron Pin (I)
- Iron Pin (O)
- Iron Pin (S)
- Proposed Easement Survey
- Proposed Utility Survey
- Setback
- Property map parcel number
- Part of parcels 29, 29.01, 29.02, 30, 30.01, & 30.02
- Map 136

SCALE 1" = 200'

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN RECORD BOOK 2412, PAGE 714, RECORD BOOK 2419, PAGE 173, RECORD BOOK 2419, PAGE 783, RECORD BOOK 2419, PAGE 790, RECORD BOOK 2412, PAGE 353, RECORD BOOK 2342, PAGE 357, RECORD BOOK 2412, PAGE 362 AND RECORD BOOK 2412, PAGE 374 SUMNER COUNTY REGISTER'S OFFICE AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, ALLEYS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL, REGIONAL SUBDIVISION REGULATIONS

8/16/07 DATE
 Cgm OWNER: TLP DEVELOPMENT CORPORATION
 SECRETARY
 TITLE (IF ACTING FOR PARTNERSHIP OR CORPORATION)

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED FAIRVUE PLANTATION PHASE 13 HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT HIGH QUALITY PLAN HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION

8-16-07 DATE
 David H. Sargent SUPERINTENDENT OF PUBLIC UTILITIES
 CITY OF GALLATIN

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED FAIRVUE PLANTATION PHASE 13 HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT HIGH QUALITY PLAN HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION

8-16-07 DATE
 David H. Sargent SUPERINTENDENT OF PUBLIC UTILITIES
 CITY OF GALLATIN

CERTIFICATE OF APPROVAL OF BONDING OF ROADS

I HEREBY CERTIFY THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL, REGIONAL SUBDIVISION REGULATIONS, OR THAT A PERFORMANCE BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED ROADWORKS IN CASE OF DEFAULT.

8-22-07 DATE
 Chris Wick CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL, REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE SURVEY OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

8-23-07 DATE
 William C. Cockhill REGISTERED LAND SURVEYOR #1401

CERTIFICATE OF COMMON AREAS DEDICATION

TLP DEVELOPMENT CORPORATION IN RECORDING THIS PLAT HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS IN ORDER FOR USE BY THE HOMEOWNERS IN THE LONGVIEW NEIGHBORHOOD OF FAIRVUE PLANTATION FOR RECREATION AND RELATED ACTIVITIES. THE ABOVE DESCRIBED AREAS ARE NOT DEDICATED HERETO FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN FAIRVUE PLANTATION AND MORE FULLY PROVIDED IN ARTICLE FOUR, DECLARATION OF COVENANTS AND RESTRICTIONS, FOR THE SAID PLANTATION, DATED JUNE 14, 2000 OF RECORD IN BOOK 1128, PAGE 218, R.O.S.C. LAST ARTICLE FOUR IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAT. SEE NOTE 6 HEREIN FOR RECORDING INFORMATION OF ADJACENTS

8/16/07 DATE
 Cgm TLP DEVELOPMENT CORPORATION

CERTIFICATE OF ACCURACY

I (WE) HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL, REGIONAL PLANNING COMMISSION AND THAT THE INDUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.

BARGE WAGGONER SUMNER & CANNON, INC.
 August 29, 2007 DATE
 William C. Cockhill REGISTERED LAND SURVEYOR #1401

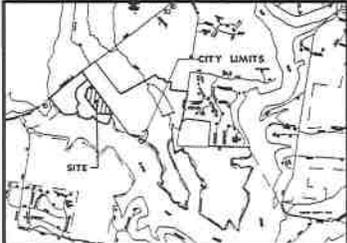
BWSC BARGE WAGGONER SUMNER & CANNON, INC.
 ENGINEERS ARCHITECTS PLANNERS
 LANDSCAPE ARCHITECTS AND SURVEYORS
 21 Commerce Street, Suite 600 Nashville, Tennessee 37203
 PHONE 615.254.1500 FAX 615.255.6372

PROJECT NO. 32352-01 FILE: phase13.plat.dgn DWG BY: CAD0

EXHIBIT A ATTACHMENT 6-3

PAMULA L. Whitaker Register
 Sumner County, Tennessee
 Instrument #: 1054703
 Rec'd #: 810993
 Rec'd: 40 00
 5/25/2012 at 8:25 AM
 Clock: 0 00
 Observed: 2 00
 Total: 42 00

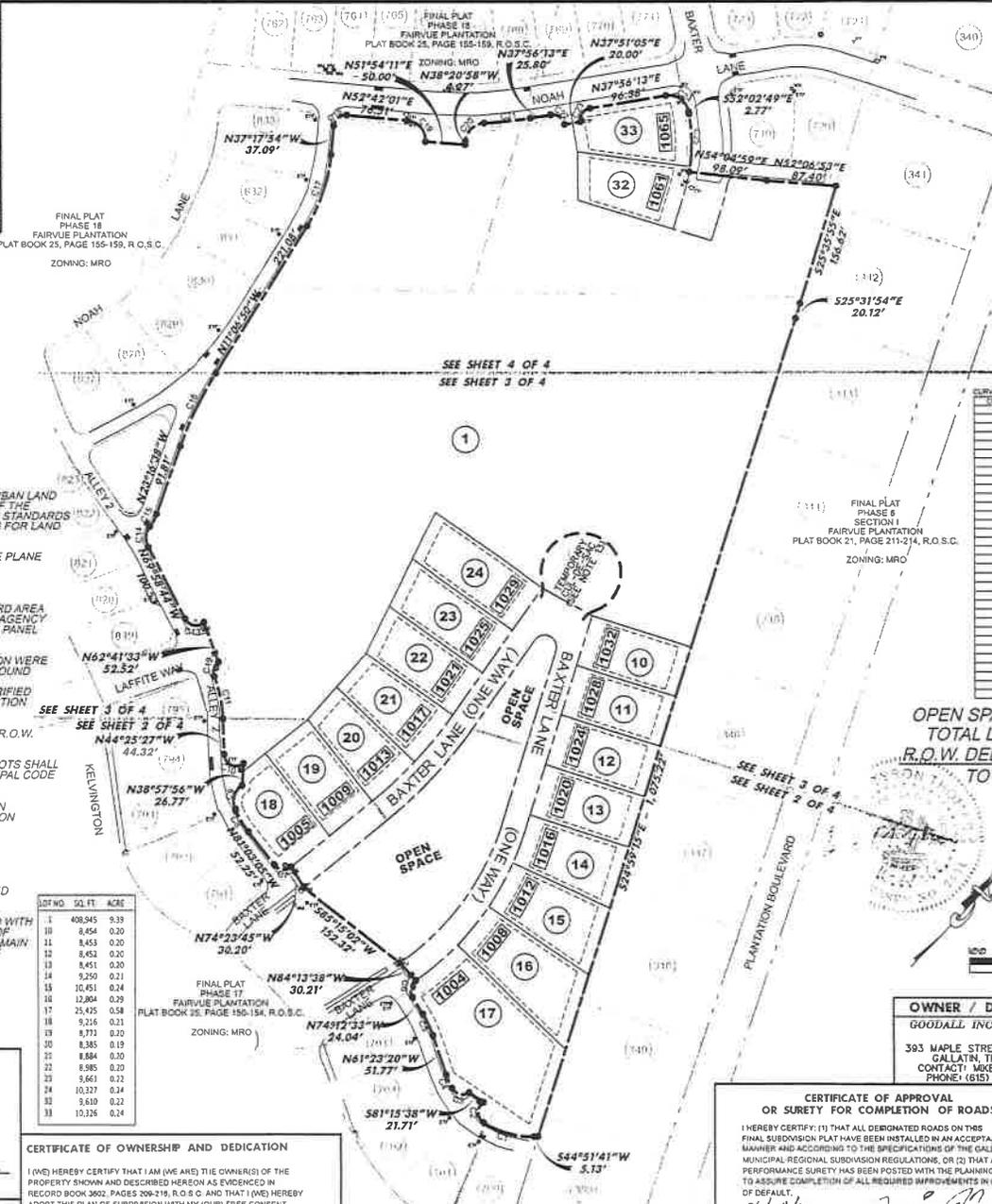
Pg 321-324
 27



VICINITY MAP (N.T.S.)

LEGEND

Property Ownership Boundary	---
Water Line	~ ~ ~ ~
F.U.D.E.	---
Concrete Monument (New)	□
Existing Monument (New)	○
Iron Pin (C)	○
Iron Pin (W)	○
Proposed Sanitary Sewer	---
Proposed Water Line	---
Lot Number	100
Property map parcel number	30
Parcels to property map	136
Street Address	136



CURVE DATA	CHORD BEARINGS	CHORD DISTANCE
C1	N37°51'05"E	20.00'
C2	N37°56'13"E	96.38'
C3	N52°42'01"E	7.29'
C4	N52°41'33"W	52.52'
C5	N44°25'27"W	44.32'
C6	N74°23'45"W	30.20'
C7	N64°13'38"W	30.21'
C8	N74°51'23"W	24.04'
C9	N61°23'20"W	51.77'
C10	S81°15'38"W	21.71'
C11	S44°51'41"W	5.13'

OPEN SPACE AREA=43,191 SQ. FT. OR 0.99 ACRES+/-
 TOTAL LOT AREA=584,851 SQ. FT. OR 13.43 ACRES+/-
 R.O.W. DEDICATION=34,719 SQ. FT. OR 0.79 ACRES+/-
 TOTAL AREA=662,761 SQ. FT. OR 15.21 ACRES+/-

- NOTES**
- THE PURPOSE OF THIS PLAT IS TO CREATE 17 ONE FAMILY DETACHED DWELLING LOTS, AND 1 FUTURE DEVELOPMENT LOT.
 - THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:100 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
 - BEARING SHOWN BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 83.
 - PROPERTY IS ZONED MRO.
 - THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NO. 470185 PANEL NO. 407 G DATED APRIL 17, 2012, ZONE "X".
 - UNDERGROUND UTILITY LOCATIONS SHOWN HEREON WERE TAKEN FROM FIELD LOCATIONS OF VISIBLE ABOVE-GROUND STRUCTURES AND PERTINENT UTILITY MAPS AND ARE APPROXIMATE ONLY. UTILITIES SHOULD BE LOCATED VERIFIED BY THE PROPER UTILITY AUTHORITY HAVING JURISDICTION PRIOR TO ANY DIGGING.
 - ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO R.O.W. UNLESS OTHERWISE NOTED.
 - ADDRESS NUMBERS FOR BUILDINGS ON CORNER LOTS SHALL BE ADDRESSED ACCORDING TO THE GALLATIN MUNICIPAL CODE SECTION 15-65.
 - ALL EASEMENTS SHALL BE CONSIDERED "PUBLIC" IN ACCORDANCE WITH THE CITY OF GALLATIN SUBDIVISION REGULATIONS.
 - EXISTING PROPERTY USE IS VACANT LAND.
 - LOT 1 IS FOR FUTURE DEVELOPMENT.
 - NEW CONCRETE MONUMENTS SHALL BE PROVIDED AS NECESSARY.
 - TEMPORARY TURNAROUND TO BE CONSTRUCTED WITH PHASE 1 AND BUILT IN ACCORDANCE WITH THE CITY OF GALLATIN DETAILS. TEMPORARY TURNAROUND TO REMAIN IN PLACE AND EXCESS ASPHALT TO BE REMOVED ONCE THE PHASE 2 ROADWAY IS COMPLETE.
 - THE HOMEOWNERS OF LOTS 1-17 SHALL BE RESPONSIBLE FOR IRRIGATING, MAINTAINING AND REPLACING AS NEEDED THE LANDSCAPING BUFFER AT THE REAR PORTION OF THE LOT.

LOT NO.	SQ. FT.	ACRE
1	408,945	9.33
10	8,454	0.20
11	8,453	0.20
12	8,453	0.20
13	8,451	0.20
14	9,250	0.21
15	10,451	0.24
16	12,264	0.28
17	25,425	0.58
18	9,216	0.21
19	9,772	0.20
20	8,385	0.19
21	8,884	0.20
22	8,985	0.20
23	8,661	0.22
24	10,327	0.24
33	8,610	0.21
33	10,326	0.24

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED GREEN FARMS PHASE 1, SECTION 1, FINAL PLAT HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SECURITY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

12-04-2012 [Signature]

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN RECORD BOOK 3002, PAGES 150-154, R.O.S.C. AND THAT I (WE) HEREBY ADAPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DE. CATCH FOR ALL PUBLIC ROADS, ALLEYS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL REGIONAL SUBDIVISION REGULATIONS.

12-8-12 [Signature]

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED GREEN FARMS PHASE 1, SECTION 1, FINAL PLAT HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SECURITY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

12-13-12 [Signature]

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SLIGHT VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

12-13-12 [Signature]

CERTIFICATE OF ACCURACY

I (WE) HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.

12-13-12 [Signature]

BWSC BARGE WAGGONER SUMNER & CANNON, INC.
 ENGINEERS ARCHITECTS PLANNERS
 LANDSCAPE ARCHITECTS AND SURVEYORS
 20 Commerce 171 East, Suite 1070 Nashville, Tennessee 37203
 Phone: 615-251-5100 Fax: 615-251-1312

12-8-12 [Signature]
 DATE OWNER - GOODALL INC BUILDERS
 SUPERINTENDENT OF PUBLIC UTILITIES
 CITY OF GALLATIN

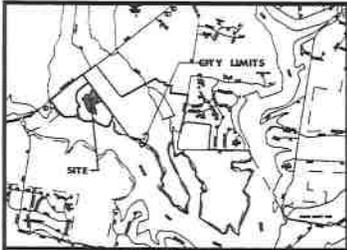
12-13-12 [Signature]
 DATE SUPERINTENDENT OF PUBLIC UTILITIES
 CITY OF GALLATIN

12-13-12 [Signature]
 DATE SECRETARY, PLANNING COMMISSION
 CITY OF GALLATIN

12-8-12 [Signature]
 DATE REGISTERED LAND SURVEYOR NUMBER

EXHIBIT A ATTACHMENT 6-4

Plat Book 27 Page 321



VICINITY MAP
(N.T.S.)

LOT NO.	SQ. FT.	ACRE
A	238,022	5.46
1	10,330	0.24
2	8,449	0.19
3	8,460	0.19
4	8,460	0.19
5	8,459	0.19
6	8,458	0.19
7	8,457	0.19
8	8,456	0.19
9	8,455	0.19
25	11,271	0.26
26	10,897	0.25
27	10,059	0.23
28	9,408	0.22
29	8,759	0.20
30	8,400	0.19
31	8,673	0.20

LEGEND:

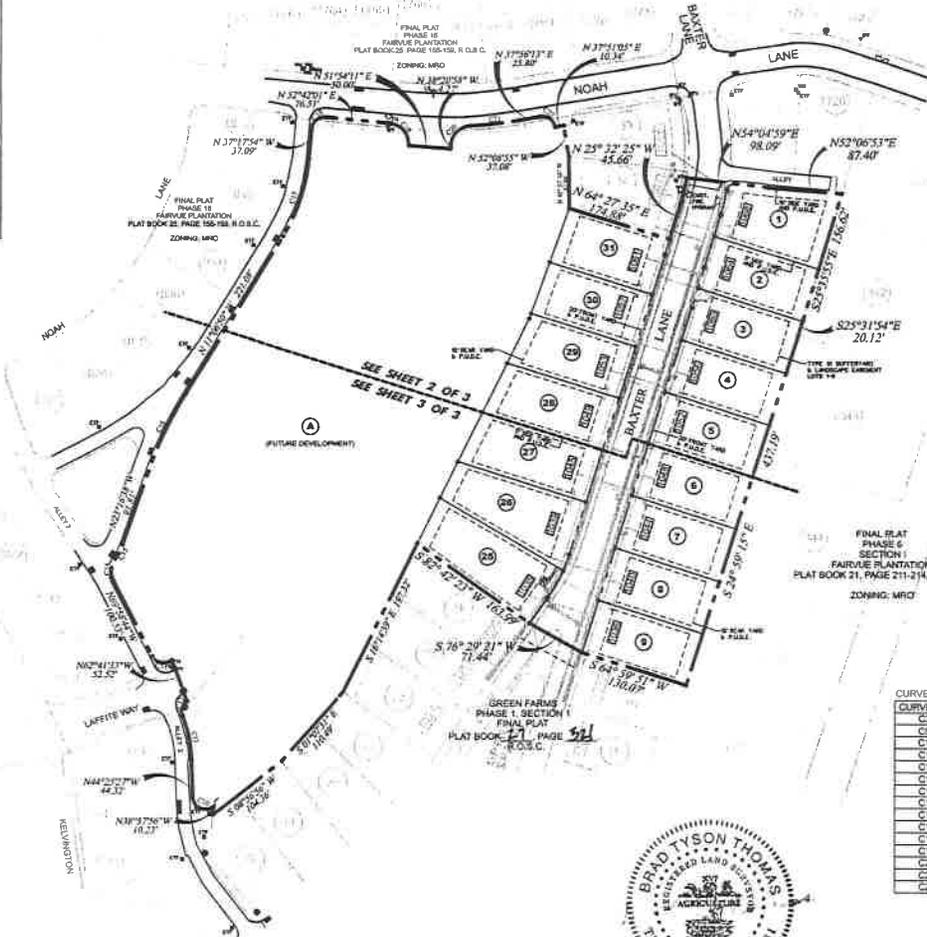
- Property ownership boundary
- Yard Line
- P.U.D. Boundary
- Concrete Monument (New)
- Existing monuments from Plat (D)
- Iron Pin (D)
- Proposed Sanitary Sewer
- Proposed Water Line
- Lot number
- Property map parcel number
- Pertains to property map
- Street Address

NOTES

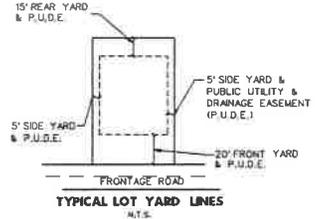
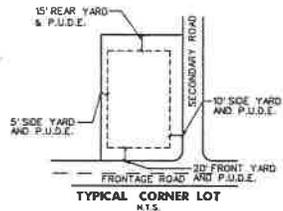
- THE PURPOSE OF THIS PLAT IS TO CREATE 16 ONE FAMILY DETACHED DWELLING LOTS, AND 1 FUTURE DEVELOPMENT LOT.
- THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY "1") WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
- BEARING SHOWN BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 83.
- PROPERTY IS ZONED MRO.
- THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NO. 470185 PANEL NO. 407 G DATED APRIL 17, 2012, ZONE "X".
- UNDERGROUND UTILITY LOCATIONS SHOWN HEREON WERE TAKEN FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND STRUCTURES AND PERTINENT UTILITY MAPS AND ARE APPROXIMATE ONLY. UTILITIES SHOULD BE FIELD VERIFIED BY THE PROPER UTILITY AUTHORITY HAVING JURISDICTION PRIOR TO ANY DIGGING.
- ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO R.O.W. UNLESS OTHERWISE NOTED.
- EXISTING PROPERTY USE IS VACANT LAND.
- LOT "A" IS FOR FUTURE DEVELOPMENT.
- NEW CONCRETE MONUMENTS SHALL BE PROVIDED AS NECESSARY.
- THE HOMEOWNERS OF LOTS 1-9 SHALL BE RESPONSIBLE FOR IRRIGATING, MAINTAINING AND REPLACING AS NEEDED, THE LANDSCAPING BUFFER AT THE REAR PORTION OF THE LOT.

Parcel 1, Whitaker, Register
Sumner County Tennessee
Rec # 018800 Instrument # 1066189
Rec d 45 00
State 2 00 10/8/2013 at 3 48 PM
Chkrs 2 00 10 22st Book
Dchar 2 00 28
Total: 47 00 Pgs 42-44

TOTAL LOT AREA=383,473 SQ. FT. OR 8.80 ACRES+/-
R.O.W. DEDICATION=29,511 SQ.FT. OR 0.68 ACRE+/-
TOTAL AREA=412,984 SQ.FT. OR 9.48 ACRES+/-



ENTERED
John C. Moore
Property Assessor
OCT 08 2013



CURVE TABLE

CURVE NO.	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	DISTANCE
C3	0° 14' 40"	325.00	15.13	30.92	N 29° 22' 12" W	30.19
C8	0° 14' 40"	275.00	15.00	29.90	N 28° 35' 45" W	29.96
C10	12° 37' 33"	15.00	26.84	33.15	S 72° 13' 46" W	26.80
C11	19° 22' 28"	161.50	27.57	24.61	N 54° 06' 43" W	24.75
C12	7° 09' 00"	15.00	11.75	19.93	N 28° 43' 57" W	18.50
C13	103° 56' 22"	15.00	19.18	27.21	S 58° 04' 10" W	23.83
C14	84° 42' 49"	25.00	15.83	28.22	N 38° 59' 0" W	29.79
C15	1° 09' 55"	61.50	8.18	18.23	N 14° 47' 10" W	18.16
C16	12° 09' 48"	488.50	52.05	102.70	N 17° 11' 42" W	102.51
C17	2° 11' 9"	211.50	46.19	96.50	N 24° 12' 24" W	95.82
C18	85° 59' 44"	15.00	23.56	10.77	N 07° 42' 8" E	21.21
C19	89° 17' 12"	25.00	24.88	38.37	S 82° 41' 59" E	35.11
C20	82° 50' 12"	25.00	22.99	36.18	N 02° 50' 54" E	33.10
C21	0° 22' 20"	325.00	30.22	58.39	N 41° 7' 24" E	54.39
C22	90° 8' 54"	15.00	18.09	23.59	N 82° 59' 47" E	21.23



GREEN FARMS
PHASE 1, SECTION 2
FINAL PLAT
RESUBDIVISION OF
PART OF LOT 1, GREEN FARMS
PHASE 1, SECTION 1, FINAL PLAT
OF RECORD IN PLAT BOOK 27,
PAGE 321, R.O.S.C.

FOURTH CIVIL DISTRICT
SUMNER COUNTY
GALLATIN, TENNESSEE
MAP 136, PARCEL 30.00
ZONED MRO

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED GREEN FARMS PHASE 1, SECTION 2 FINAL PLAT HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.
DATE: 8-9-13
Signature: [Signature]
SUPERINTENDENT OF PUBLIC UTILITIES
CITY OF GALLATIN

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED GREEN FARMS PHASE 1, SECTION 2 FINAL PLAT HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.
DATE: 8-9-13
Signature: [Signature]
SUPERINTENDENT OF PUBLIC UTILITIES
CITY OF GALLATIN

CERTIFICATE OF APPROVAL OR SURETY FOR COMPLETION OF ROADS
I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, OR (2) THAT A PERFORMANCE SURETY HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.
DATE: 8-9-13
Signature: [Signature]
CITY ENGINEER

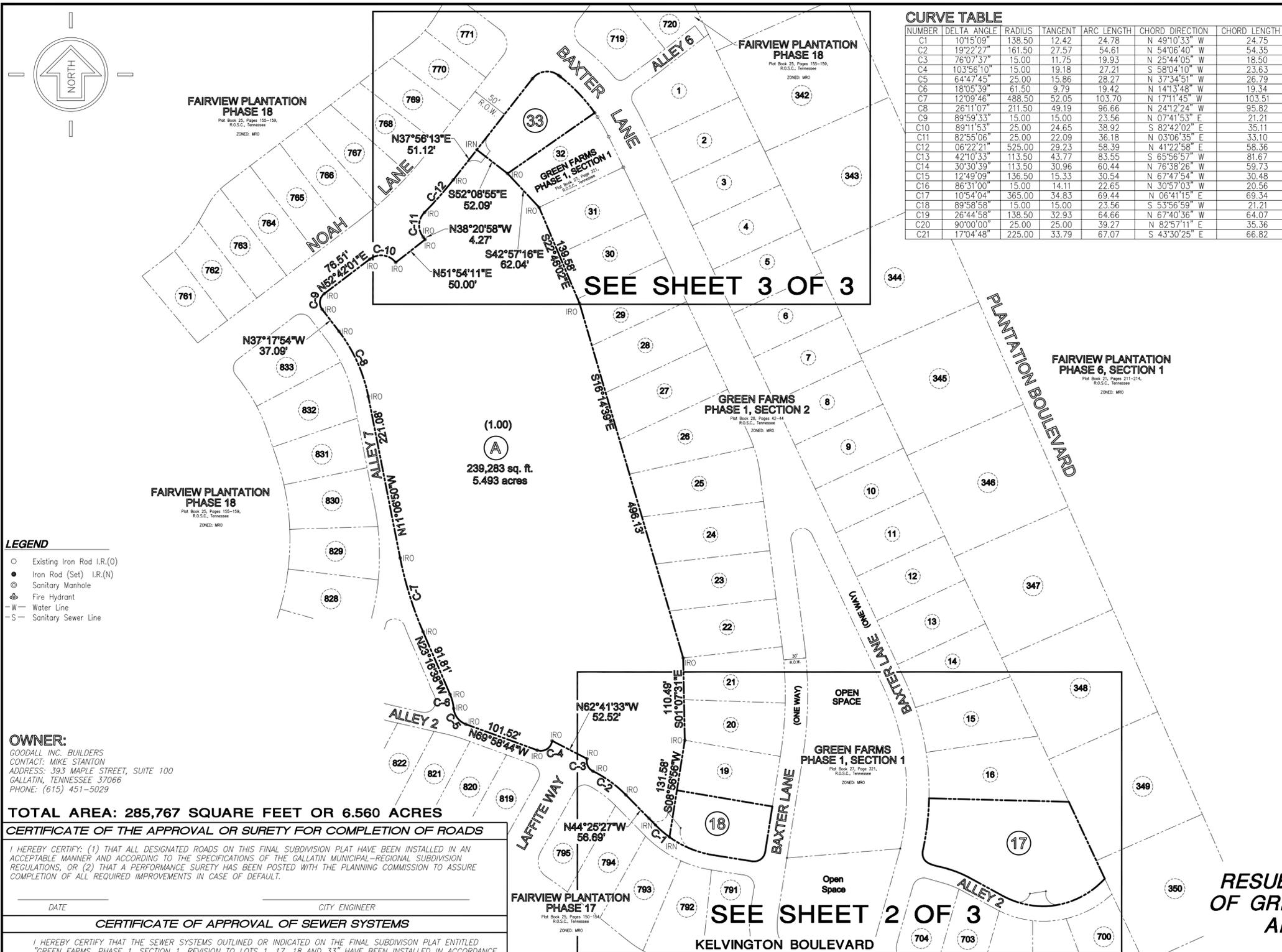
OWNER / DEVELOPER
GOODALL INC. BUILDERS
303 MAPLE STREET SUITE 100
GALLATIN, TN 37066
CONTACT: MIKE STANTON
PHONE: (615) 481-9029

CERTIFICATE OF ACCURACY
I HEREBY CERTIFY THAT THE PLAT SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.
DATE: APRIL 9, 2013
Signature: [Signature]
REGISTERED LAND SURVEYOR

CERTIFICATE OF OWNERSHIP AND DEDICATION
I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN RECORD BOOK 3602, PAGES 209-216, R.O.S.C. AND THAT I (WE) HEREBY ACCEPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF BREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, ALLEYS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.
DATE: 6-5-13
Signature: [Signature]
OWNER - GOODALL INC. BUILDERS
President

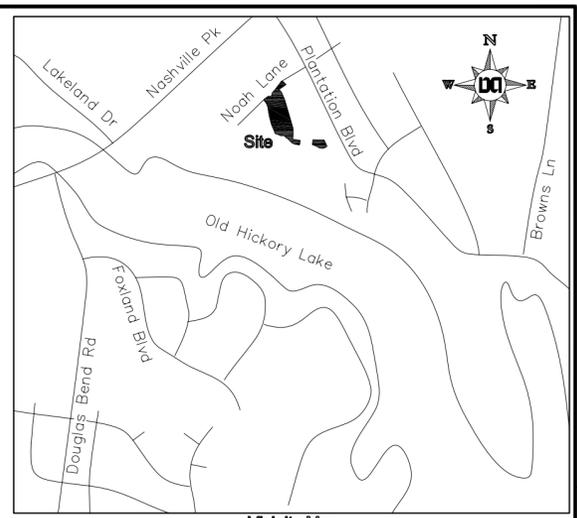
CERTIFICATE OF APPROVAL FOR RECORDING
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.
DATE: 9-30-13
Signature: [Signature]
SECRETARY PLANNING COMMISSION
CHAIRMAN'S INITIALS, PLANNING COMMISSION

EXHIBIT A ATTACHMENT 6-5



CURVE TABLE

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	10°15'09"	138.50	12.42	24.78	N 49°10'33" W	24.75
C2	19°22'27"	161.50	27.57	54.61	N 54°06'40" W	54.35
C3	76°07'37"	15.00	11.75	19.93	N 25°44'05" W	18.50
C4	103°56'10"	15.00	19.18	27.21	S 58°04'10" W	23.63
C5	64°47'45"	25.00	15.86	28.27	N 37°34'51" W	26.79
C6	18°05'39"	61.50	9.79	19.42	N 14°13'48" W	19.34
C7	12°09'46"	488.50	52.05	103.70	N 17°11'45" W	103.51
C8	26°11'07"	211.50	49.19	96.66	N 24°12'24" W	95.82
C9	89°59'33"	15.00	15.00	23.56	N 07°41'53" E	21.21
C10	89°11'53"	25.00	24.65	38.92	S 82°42'02" E	35.11
C11	82°55'06"	25.00	22.09	36.18	N 03°06'35" E	33.10
C12	06°22'21"	525.00	29.23	58.39	N 41°22'58" E	58.36
C13	42°10'33"	113.50	43.77	83.55	S 65°56'57" W	81.67
C14	30°30'39"	113.50	30.96	60.44	N 76°38'26" W	59.73
C15	12°49'09"	136.50	15.33	30.54	N 67°47'54" W	30.48
C16	86°31'00"	15.00	14.11	22.65	N 30°57'03" W	20.56
C17	10°54'04"	365.00	34.83	69.44	N 06°41'15" E	69.34
C18	89°58'58"	15.00	15.00	23.56	S 53°56'59" W	21.21
C19	26°44'58"	138.50	32.93	64.66	N 67°40'36" W	64.07
C20	90°00'00"	25.00	25.00	39.27	N 82°57'11" E	35.36
C21	17°04'48"	225.00	33.79	67.07	S 43°30'25" E	66.82



- NOTES:**
- THE PURPOSE OF THIS PLAT IS TO REMOVE THREE (3) RIGHT-OF-WAY ACCESS POINTS FROM FAIRVIEW PLANTATION PHASE 17 AND PHASE 18 LOCATED ALONG LOTS 17, 18 AND 33 OF GREEN FARMS, PHASE 1, SECTION 1 AND ALLEY RIGHT-OF-WAY OF LOT A OF GREEN FARMS, PHASE 1, SECTION 2.
 - THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
 - BEARINGS SHOWN BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 83.
 - PROPERTY IS ZONED MRO. EXISTING USE: VACANT - PROPOSED USE: ONE-FAMILY DETACHED DWELLINGS.
 - THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY NO. 470185 PANEL NO. 407 G DATED APRIL 17, 2012. ZONE "X"
 - UNDERGROUND UTILITY LOCATIONS SHOWN HEREON WERE TAKEN FROM FIELD LOCATIONS OF VISIBLE ABOVE-GROUND STRUCTURES AND PERTINENT UTILITY MAPS AND ARE APPROXIMATE ONLY. UTILITIES SHOULD BE FIELD VERIFIED BY THE PROPER UTILITY AUTHORITY HAVING JURISDICTION PRIOR TO ANY DIGGING.
 - ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO R.O.W. UNLESS OTHERWISE NOTED.
 - LOT A IS FOR FUTURE DEVELOPMENT.
 - NEW CONCRETE MONUMENTS SHALL BE PROVIDED AS NECESSARY.
 - THE HOMEOWNERS OF LOT A, 17, 18 AND 33 SHALL BE RESPONSIBLE FOR IRRIGATING, MAINTAINING AND REPLACING AS NEEDED THE LANDSCAPING BUFFER AT THE REAR PORTION OF THE LOT.
 - SUBJECT PROPERTIES ARE SHOWN AS PARCELS 1.00, 17.00, 18.00 AND 33.00 ON SUMNER COUNTY TAX MAP NO. 136-0, GROUP "D".
 - THE RECORDING OF THIS PLAT VOIDS, VACATES AND SUPERCEDES THE RECORDING OF LOTS 17, 18 AND 33 OF GREEN FARMS, PHASE 1, SECTION 1 AS OF RECORD IN PLAT BOOK 27, PAGE 321 AND LOT A OF GREEN FARMS, PHASE 1, SECTION 2 AS OF RECORD IN PLAT BOOK 28, PAGES 42-44 AND A PORTION OF ALLEY 2 RIGHT-OF-WAY OF FAIRVIEW PLANTATION PHASE 17 AS OF RECORD IN PLAT BOOK 25, PAGES 150-154 AND A PORTION OF NOAH LANE RIGHT-OF-WAY OF FAIRVIEW PLANTATION, PHASE 18 AS OF RECORD IN PLAT BOOK 25, PAGES 155-159, ALL IN THE REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE.
 - GREEN FARMS, PHASE 1, SECTION 1 AND SECTION 2 IS CURRENTLY ZONED MRO: MULTIPLE RESIDENTIAL AND OFFICE DISTRICT. ALL YARD LINES, MINIMUM BUILDING SETBACK LINES, AND BUFFER YARDS ARE BASED ON THE ZONING OF THE PROPERTY AT THE TIME OF RECORDING.

RESUBDIVISION OF LOTS 17, 18 AND 33 OF GREEN FARMS, PHASE 1, SECTION 1 AND LOT A OF GREEN FARMS PHASE 1, SECTION 2

FINAL SUBDIVISION PLAT
 PROPERTY LOCATED AT NOAH LANE AND BAXTER LANE
 FOURTH (4TH) CIVIL DISTRICT, CITY OF GALLATIN,
 SUMNER COUNTY, TENNESSEE

SCALE: 1"=100'

- LEGEND**
- Existing Iron Rod I.R.(O)
 - Iron Rod (Set) I.R.(N)
 - ⊙ Sanitary Manhole
 - ⊕ Fire Hydrant
 - W- Water Line
 - S- Sanitary Sewer Line

OWNER:
 GOODALL INC. BUILDERS
 CONTACT: MIKE STANTON
 ADDRESS: 393 MAPLE STREET, SUITE 100
 GALLATIN, TENNESSEE 37066
 PHONE: (615) 451-5029

TOTAL AREA: 285,767 SQUARE FEET OR 6.560 ACRES

CERTIFICATE OF THE APPROVAL OR SURETY FOR COMPLETION OF ROADS
 I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, OR (2) THAT A PERFORMANCE SURETY HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "GREEN FARMS, PHASE 1, SECTION 1, REVISION TO LOTS 1, 17, 18 AND 33" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK NUMBER 3602, PAGES 209-216, R.O.S.C., TN. AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK NUMBER 3543, PAGE 97, R.O.S.C., TN. AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

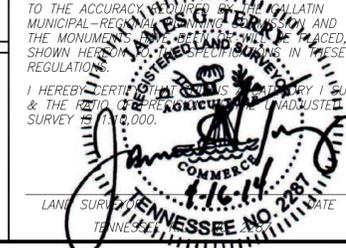
CERTIFICATE OF ACCURACY
 I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS AN ACCURATE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, AND THAT THE MONUMENTS REQUIRED BY THE REGULATIONS HAVE BEEN PLACED, AS SHOWN HEREON, AND THAT THE SPECIFICATIONS IN THESE REGULATIONS HAVE BEEN FOLLOWED.

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I HEREBY CERTIFY THAT THE UTILITY SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "GREEN FARMS, PHASE 1, SECTION 1, REVISION TO LOTS 1, 17, 18 AND 33" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

CERTIFICATE OF COMMON AREAS DEDICATION
 GOODALL INC. BUILDERS, IN RECORDING THIS PLAT HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS IN GREEN FARMS, PHASE 1, SECTION 1 FOR RECREATION AND RELATED ACTIVITIES. THE ABOVE DESCRIBED AREAS AND NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN FAIRVIEW PLANTATION AS MORE FULLY PROVIDED IN ARTICLE II, DECLARATION OF COVENANTS AND RESTRICTIONS, APPLICABLE TO GREEN FARMS, PHASE 1, SECTION 1, DATED _____, AND RECORDED WITH THE PLAT. SAID ARTICLE II IS HEREBY INCORPORATED AND MADE PART OF THIS PLAT.

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

RECORD
 RECORDED _____, 2014
 IN BOOK _____, PAGE _____
 OF THE REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE



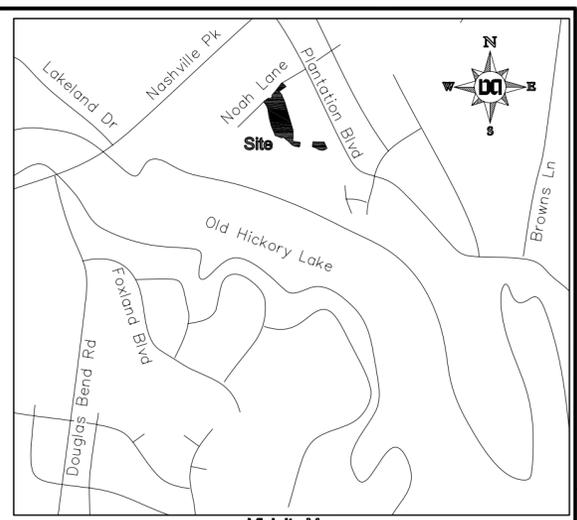
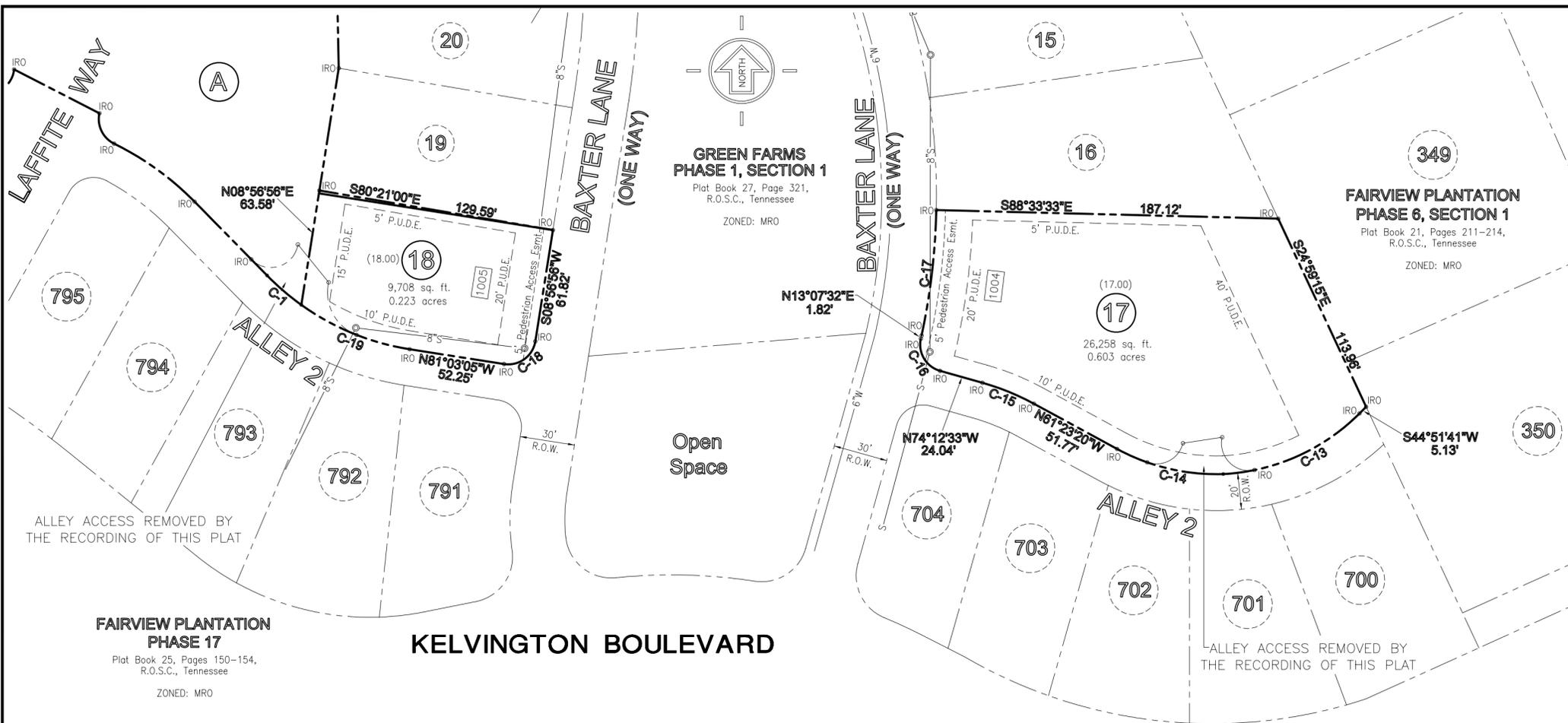
DATE _____
 SECRETARY, PLANNING COMMISSION

DATE _____
 CHAIRMAN'S INITIALS

JAMES TERRY & ASSOCIATES
 2526 MEADOWOOD DRIVE
 NASHVILLE, TENNESSEE 37214
 PHONE: (615) 883-2918

DATE: 03-23-2014
 JOB NO. 2014-070

SHEET 1 OF 3



- NOTES:**
- THE PURPOSE OF THIS PLAT IS TO REMOVE THREE (3) RIGHT-OF-WAY ACCESS POINTS FROM FAIRVIEW PLANTATION PHASE 17 AND PHASE 18 LOCATED ALONG LOTS 17, 18 AND 33 OF GREEN FARMS, PHASE 1, SECTION 1 AND ALLEY RIGHT-OF-WAY OF LOT A OF GREEN FARMS, PHASE 1, SECTION 2.
 - THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
 - BEARINGS SHOWN BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 83.
 - PROPERTY IS ZONED MRO. EXISTING USE: VACANT - PROPOSED USE: ONE-FAMILY DETACHED DWELLINGS.
 - THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY NO. 470185 PANEL NO. 407 G DATED APRIL 17, 2012. ZONE "X"
 - UNDERGROUND UTILITY LOCATIONS SHOWN HEREON WERE TAKEN FROM FIELD LOCATIONS OF VISIBLE ABOVE-GROUND STRUCTURES AND PERTINENT UTILITY MAPS AND ARE APPROXIMATE ONLY. UTILITIES SHOULD BE FIELD VERIFIED BY THE PROPER UTILITY AUTHORITY HAVING JURISDICTION PRIOR TO ANY DIGGING.
 - ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO R.O.W. UNLESS OTHERWISE NOTED.
 - LOT A IS FOR FUTURE DEVELOPMENT.
 - NEW CONCRETE MONUMENTS SHALL BE PROVIDED AS NECESSARY.
 - THE HOMEOWNERS OF LOT A, 17, 18 AND 33 SHALL BE RESPONSIBLE FOR IRRIGATING, MAINTAINING AND REPLACING AS NEEDED THE LANDSCAPING BUFFER AT THE REAR PORTION OF THE LOT.
 - SUBJECT PROPERTIES ARE SHOWN AS PARCELS 1.00, 17.00, 18.00 AND 33.00 ON SUMNER COUNTY TAX MAP NO. 136-0, GROUP "D".
 - THE RECORDING OF THIS PLAT VOIDS, VACATES AND SUPERCEDES THE RECORDING OF LOTS 17, 18 AND 33 OF GREEN FARMS, PHASE 1, SECTION 1 AS OF RECORD IN PLAT BOOK 27, PAGE 321 AND LOT A OF GREEN FARMS, PHASE 1, SECTION 2 AS OF RECORD IN PLAT BOOK 28, PAGES 42-44 AND A PORTION OF ALLEY 2 RIGHT-OF-WAY OF FAIRVIEW PLANTATION PHASE 17 AS OF RECORD IN PLAT BOOK 25, PAGES 150-154 AND A PORTION OF NOAH LANE RIGHT-OF-WAY OF FAIRVIEW PLANTATION, PHASE 18 AS OF RECORD IN PLAT BOOK 25, PAGES 155-159, ALL IN THE REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE.
 - GREEN FARMS, PHASE 1, SECTION 1 AND SECTION 2 IS CURRENTLY ZONED MRO: MULTIPLE RESIDENTIAL AND OFFICE DISTRICT. ALL YARD LINES, MINIMUM BUILDING SETBACK LINES, AND BUFFER YARDS ARE BASED ON THE ZONING OF THE PROPERTY AT THE TIME OF RECORDING.

OWNER:
 GOODALL INC. BUILDERS
 CONTACT: MIKE STANTON
 ADDRESS: 393 MAPLE STREET, SUITE 100
 GALLATIN, TENNESSEE 37066
 PHONE: (615) 451-5029

TOTAL AREA: 285,767 SQUARE FEET OR 6.560 ACRES

CERTIFICATE OF THE APPROVAL OR SURETY FOR COMPLETION OF ROADS

I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, OR (2) THAT A PERFORMANCE SURETY HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE _____ CITY ENGINEER _____

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "GREEN FARMS, PHASE 1, SECTION 1, REVISION TO LOTS 1, 17, 18 AND 33" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE _____ SUPERINTENDENT OF PUBLIC UTILITIES CITY OF GALLATIN _____

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK NUMBER 3602, PAGES 209-216, R.O.S.C., TN, AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

* GOODALL INC. BUILDERS _____ DATE _____

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK NUMBER 3543, PAGE 97, R.O.S.C., TN, AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

* BENJAMIN R. CLINARD _____ DATE _____

* STACEY E. CLINARD _____ DATE _____

CURVE TABLE

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	10°15'09"	138.50	12.42	24.78	N 49°10'33" W	24.75
C2	19°22'27"	161.50	27.57	54.61	N 54°06'40" W	54.35
C3	76°07'57"	15.00	11.75	19.93	N 25°44'05" W	18.50
C4	103°56'10"	15.00	19.18	27.21	S 58°04'10" W	23.63
C5	64°47'45"	25.00	15.86	28.27	N 37°34'51" W	26.79
C6	18°05'39"	61.50	9.79	19.42	N 14°13'48" W	19.34
C7	12°09'46"	488.50	52.05	103.70	N 17°11'45" W	103.51
C8	26°11'07"	211.50	49.19	96.66	N 24°12'24" W	95.82
C9	89°59'33"	15.00	15.00	23.56	N 07°41'53" E	21.21
C10	89°11'53"	25.00	24.65	38.92	S 82°42'02" E	35.11
C11	82°55'06"	25.00	22.09	36.18	N 03°06'35" E	33.10
C12	06°22'21"	525.00	29.23	58.39	N 41°22'58" E	58.36
C13	42°10'33"	113.50	43.77	83.55	S 65°56'57" W	81.67
C14	30°30'39"	113.50	30.96	60.44	N 76°38'26" W	59.73
C15	12°49'09"	136.50	15.33	30.54	N 67°47'54" W	30.48
C16	86°31'00"	15.00	14.11	22.65	N 30°57'03" W	20.56
C17	10°54'04"	365.00	34.83	69.44	N 06°41'15" E	69.34
C18	89°58'58"	15.00	15.00	23.56	S 53°56'59" W	21.21
C19	26°44'58"	138.50	32.93	64.66	N 67°40'36" W	64.07
C20	90°00'00"	25.00	25.00	39.27	N 82°57'11" E	35.36
C21	17°04'48"	225.00	33.79	67.07	S 43°30'25" E	66.82

- LEGEND**
- Existing Iron Rod I.R.(O)
 - Iron Rod (Set) I.R.(N)
 - ⊙ Sanitary Manhole
 - ⊕ Fire Hydrant
 - W- Water Line
 - S- Sanitary Sewer Line

CERTIFICATE OF COMMON AREAS DEDICATION

GODDALL INC. BUILDERS, IN RECORDING THIS PLAT HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS IN GREEN FARMS, PHASE 1, SECTION 1 FOR RECREATION AND RELATED ACTIVITIES. THE ABOVE DESCRIBED AREAS AND NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN FAIRVIEW PLANTATION AS MORE FULLY PROVIDED IN ARTICLE II, DECLARATION OF COVENANTS AND RESTRICTIONS, APPLICABLE TO GREEN FARMS, PHASE 1, SECTION 1, DATED _____, AND RECORDED WITH THE PLAT. SAID ARTICLE II IS HEREBY INCORPORATED AND MADE PART OF THIS PLAT.

DATE _____ GOODALL INC. BUILDERS _____

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS AND THAT THE MONUMENTS AND BENCHMARKS ARE PLACED, AS SHOWN HEREON IN THIS SURVEY, IN ACCORDANCE WITH THESE REGULATIONS.

I HEREBY CERTIFY THAT THIS IS A PRECISION SURVEY & THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000.

LAND SURVEYOR _____ DATE _____

TENNESSEE REG. NO. 2287

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT THE UTILITY SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "GREEN FARMS, PHASE 1, SECTION 1, REVISION TO LOTS 1, 17, 18 AND 33" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE _____ SUPERINTENDENT OF PUBLIC UTILITIES CITY OF GALLATIN _____

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE _____ SECRETARY, PLANNING COMMISSION _____

DATE _____ CHAIRMAN'S INITIALS _____

RESUBDIVISION OF LOTS 17, 18 AND 33 OF GREEN FARMS, PHASE 1, SECTION 1 AND LOT A OF GREEN FARMS, PHASE 1, SECTION 2

FINAL SUBDIVISION PLAT
 PROPERTY LOCATED AT NOAH LANE AND BAXTER LANE
 FOURTH (4TH) CIVIL DISTRICT, CITY OF GALLATIN,
 SUMNER COUNTY, TENNESSEE



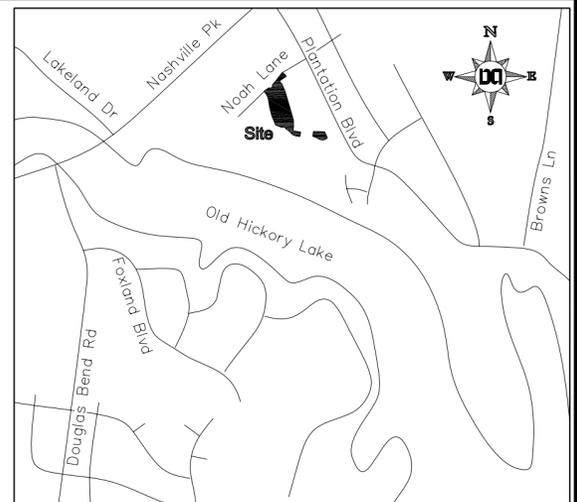
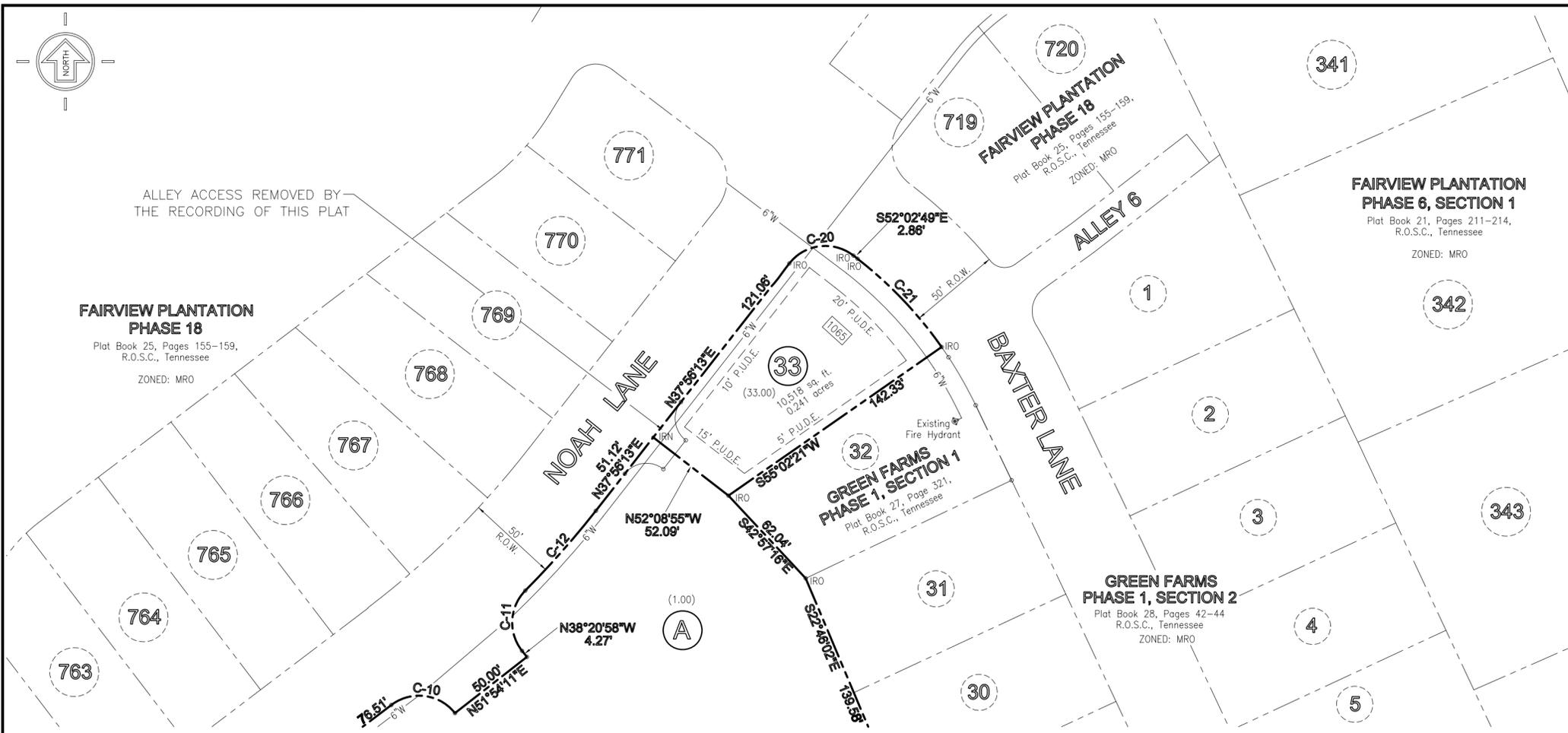
RECORD

RECORDED _____, 2014
 IN BOOK _____, PAGE _____
 OF THE REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE

JAMES TERRY & ASSOCIATES
 2526 MEADOWOOD DRIVE
 NASHVILLE, TENNESSEE 37214
 PHONE: (615) 883-2918

DATE: 03-23-2014
 JOB NO. 2014-070

SHEET 2 OF 3



- NOTES:**
1. THE PURPOSE OF THIS PLAT IS TO REMOVE THREE (3) RIGHT-OF-WAY ACCESS POINTS FROM FAIRVIEW PLANTATION PHASE 17 AND PHASE 18 LOCATED ALONG LOTS 17, 18 AND 33 OF GREEN FARMS, PHASE 1, SECTION 1 AND ALLEY RIGHT-OF-WAY OF LOT A OF GREEN FARMS, PHASE 1, SECTION 2.
 2. THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
 3. BEARINGS SHOWN BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 83.
 4. PROPERTY IS ZONED MRO. EXISTING USE: VACANT - PROPOSED USE: ONE-FAMILY DETACHED DWELLINGS.
 5. THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY NO. 470185 PANEL NO. 407 G DATED APRIL 17, 2012. ZONE "X"
 6. UNDERGROUND UTILITY LOCATIONS SHOWN HEREON WERE TAKEN FROM FIELD LOCATIONS OF VISIBLE ABOVE-GROUND STRUCTURES AND PERTINENT UTILITY MAPS AND ARE APPROXIMATE ONLY. UTILITIES SHOULD BE FIELD VERIFIED BY THE PROPER UTILITY AUTHORITY HAVING JURISDICTION PRIOR TO ANY DIGGING.
 7. ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO R.O.W. UNLESS OTHERWISE NOTED.
 8. LOT A IS FOR FUTURE DEVELOPMENT.
 9. NEW CONCRETE MONUMENTS SHALL BE PROVIDED AS NECESSARY.
 10. THE HOMEOWNERS OF LOT A, 17, 18 AND 33 SHALL BE RESPONSIBLE FOR IRRIGATING, MAINTAINING AND REPLACING AS NEEDED THE LANDSCAPING BUFFER AT THE REAR PORTION OF THE LOT.
 11. SUBJECT PROPERTIES ARE SHOWN AS PARCELS 1.00, 17.00, 18.00 AND 33.00 ON SUMNER COUNTY TAX MAP NO. 136-0, GROUP "D".
 12. THE RECORDING OF THIS PLAT VOIDS, VACATES AND SUPERCEDES THE RECORDING OF LOTS 17, 18 AND 33 OF GREEN FARMS, PHASE 1, SECTION 1 AS OF RECORD IN PLAT BOOK 27, PAGE 321 AND LOT A OF GREEN FARMS, PHASE 1, SECTION 2 AS OF RECORD IN PLAT BOOK 28, PAGES 42-44 AND A PORTION OF ALLEY 2 RIGHT-OF-WAY OF FAIRVIEW PLANTATION PHASE 17 AS OF RECORD IN PLAT BOOK 25, PAGES 150-154 AND A PORTION OF NOAH LANE RIGHT-OF-WAY OF FAIRVIEW PLANTATION, PHASE 18 AS OF RECORD IN PLAT BOOK 25, PAGES 155-159, ALL IN THE REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE.
 13. GREEN FARMS, PHASE 1, SECTION 1 AND SECTION 2 IS CURRENTLY ZONED MRO: MULTIPLE RESIDENTIAL AND OFFICE DISTRICT. ALL YARD LINES, MINIMUM BUILDING SETBACK LINES, AND BUFFER YARDS ARE BASED ON THE ZONING OF THE PROPERTY AT THE TIME OF RECORDING.

- LEGEND**
- Existing Iron Rod I.R.(0)
 - Iron Rod (Set) I.R.(N)
 - ⊙ Sanitary Manhole
 - ⊕ Fire Hydrant
 - W- Water Line
 - S- Sanitary Sewer Line

OWNER:
 GOODALL INC. BUILDERS
 CONTACT: MIKE STANTON
 ADDRESS: 393 MAPLE STREET, SUITE 100
 GALLATIN, TENNESSEE 37066
 PHONE: (615) 451-5029

TOTAL AREA: 285,767 SQUARE FEET OR 6.560 ACRES

CURVE TABLE

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	10°15'09"	138.50	12.42	24.78	N 49°10'33" W	24.75
C2	19°22'27"	161.50	27.57	54.61	N 54°06'40" W	54.35
C3	76°07'37"	15.00	11.75	19.93	N 25°44'05" W	18.50
C4	103°56'10"	15.00	19.18	27.21	S 58°04'10" W	23.63
C5	64°47'45"	25.00	15.86	28.27	N 37°34'51" W	26.79
C6	18°05'39"	61.50	9.79	19.42	N 14°13'48" W	19.34
C7	12°09'46"	488.50	52.05	103.70	N 17°11'45" W	103.51
C8	26°11'07"	211.50	49.19	96.66	N 24°12'24" W	95.82
C9	89°59'33"	15.00	15.00	23.56	N 07°41'53" E	21.21
C10	89°11'53"	25.00	24.65	38.92	S 82°42'02" E	35.11
C11	82°55'06"	25.00	22.09	36.18	N 03°06'35" E	33.10
C12	06°22'21"	525.00	29.23	58.39	N 41°22'58" E	58.36
C13	42°10'33"	113.50	43.77	83.55	S 65°56'57" W	81.67
C14	30°30'39"	113.50	30.96	60.44	N 76°38'26" W	59.73
C15	12°49'09"	136.50	15.33	30.54	N 67°47'54" W	30.48
C16	86°31'00"	15.00	14.11	22.65	N 30°57'03" W	20.56
C17	10°54'04"	365.00	34.83	69.44	N 06°41'15" E	69.34
C18	89°58'58"	15.00	15.00	23.56	S 53°56'59" W	21.21
C19	26°44'58"	138.50	32.93	64.66	N 67°40'36" W	64.07
C20	90°00'00"	25.00	25.00	39.27	N 82°57'11" E	35.36
C21	17°04'48"	225.00	33.79	67.07	S 43°30'25" E	66.82

CERTIFICATE OF THE APPROVAL OR SURETY FOR COMPLETION OF ROADS

I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, OR (2) THAT A PERFORMANCE SURETY HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE _____ CITY ENGINEER _____

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "GREEN FARMS, PHASE 1, SECTION 1, REVISION TO LOTS 1, 17, 18 AND 33" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE _____ SUPERINTENDENT OF PUBLIC UTILITIES _____
 CITY OF GALLATIN

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK NUMBER 3602, PAGES 209-216, R.O.S.C., TN. AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

* GOODALL INC. BUILDERS _____ DATE _____

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK NUMBER 3543, PAGE 97, R.O.S.C., TN. AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

* BENJAMIN R. CLINARD _____ DATE _____
 * STACEY E. CLINARD _____ DATE _____

CERTIFICATE OF COMMON AREAS DEDICATION

GOODALL INC. BUILDERS, IN RECORDING THIS PLAT HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS IN GREEN FARMS, PHASE 1, SECTION 1 FOR RECREATION AND RELATED ACTIVITIES. THE ABOVE DESCRIBED AREAS AND NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN FAIRVIEW PLANTATION AS MORE FULLY PROVIDED IN ARTICLE II, DECLARATION OF COVENANTS AND RESTRICTIONS, APPLICABLE TO GREEN FARMS, PHASE 1, SECTION 1, DATED _____, AND RECORDED WITH THE PLAT. SAID ARTICLE II IS HEREBY INCORPORATED AND MADE PART OF THIS PLAT.

DATE _____ GOODALL INC. BUILDERS

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY SPECIFIED IN THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS AND THAT THE MONUMENTS AND MARKERS SHOWN AND PLACED, AS SHOWN HEREON, ARE IN ACCORDANCE WITH THESE REGULATIONS.

I HEREBY CERTIFY THAT THIS IS A SURVEY & THE PLAN IS PREPARED IN ACCORDANCE WITH THE SURVEYING ACT OF 1900.
 JAMES G. TERRY
 REGISTERED LAND SURVEYOR
 TENNESSEE NO. 2281
 1-16-14

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT THE UTILITY SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "GREEN FARMS, PHASE 1, SECTION 1, REVISION TO LOTS 1, 17, 18 AND 33" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE _____ SUPERINTENDENT OF PUBLIC UTILITIES _____
 CITY OF GALLATIN

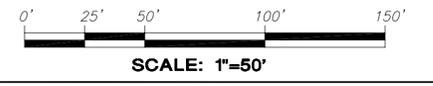
CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE _____ SECRETARY, PLANNING COMMISSION _____
 DATE _____ CHAIRMAN'S INITIALS _____

RESUBDIVISION OF LOTS 17, 18 AND 33 OF GREEN FARMS, PHASE 1, SECTION 1 AND LOT A OF GREEN FARMS, PHASE 1, SECTION 2

FINAL SUBDIVISION PLAT
 PROPERTY LOCATED AT NOAH LANE AND BAXTER LANE
 FOURTH (4TH) CIVIL DISTRICT, CITY OF GALLATIN,
 SUMNER COUNTY, TENNESSEE



RECORDED _____, 2014
 IN BOOK _____, PAGE _____
 OF THE REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE

JAMES TERRY & ASSOCIATES
 2526 MEADOWOOD DRIVE
 NASHVILLE, TENNESSEE 37214
 PHONE: (615) 883-2918

DATE: 03-23-2014
 JOB NO. 2014-070

SHEET 3 OF 3

ITEM 7

GMRPC Resolution No. 2014-28

RESOLUTION TO AMEND THE GALLATIN ON THE MOVE 2020 – CITY OF GALLATIN GENERAL DEVELOPMENT AND TRANSPORTATION PLAN UPDATE 2008-2020, COMMUNITY CHARACTER MAP, BY CHANGING THE LAND USE DESIGNATION ON THREE PARCELS, COMPRISING 20.84 ACRES, FROM THE AIRPORT ROAD INDUSTRIAL SPECIAL DISTRICT TO THE SUBURBAN NEIGHBORHOOD ESTABLISHED CHARACTER AREA, LOCATED NORTH OF CAIRO ROAD AND EAST OF AIRPORT ROAD.

WHEREAS, pursuant to TCA § 13-3-301, § 13-3-302 and §13-4-201 it is the function and duty of the City of Gallatin Municipal-Regional Planning Commission to make and adopt an official general plan for the physical development of the City of Gallatin and the area outside of the City which bears relation to the planning of the City of Gallatin and its planning region; and

WHEREAS, the City of Gallatin, Tennessee Municipal-Regional Planning Commission approved GMRPC Resolution No. 2009-01 adopting the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020 on February 23, 2009 and Resolution No. 2010-02 amending the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020 on March 22, 2010; and

WHEREAS, the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020 is intended to be a guide to assist the public, city staff, Planning Commission, Historic District Commission and Board of Mayor and Alderman regarding a variety of community planning matters such as community character, land use, transportation, community design, historic preservation, community development and zoning; and

WHEREAS, the Community Character Map in Chapter 3 of the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020 is intended to implement the Community Vision for the City of Gallatin by incorporating Community Character Areas and the City's plans for future development expressed in the Community Character Map; and

WHEREAS, the City of Gallatin, Tennessee Municipal-Regional Planning Commission may from time to time adopt amendments to part or parts of the plan; and

WHEREAS, the owner of property subject to development has requested the Municipal-Regional Planning Commission to amend the Gallatin on the Move 2020 General Development and Transportation Plan Update 2008 – 2020, Chapter 3, Community Character Map by changing the land use designation on three parcels comprising 20.84 acres from the Airport Road Industrial Special District to the Suburban Neighborhood Established Character as indicated in the attached Exhibit 'A'; and

WHEREAS, notice and public hearing before the Gallatin Municipal-Regional Planning Commission has or will occur before final passage of this amendment pursuant to TCA § 13-3-303 and § 13-4-202; and

WHEREAS, the Gallatin Municipal-Regional Planning Commission finds that is in the best interest of the City of Gallatin and its planning region to amend the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020, Chapter 3, Community Character Map to reflect the land use amendment.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that the Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020 Chapter 3, Community Character Map is hereby amended to change the land use designation on three parcels, comprising 20.84 acres, from the Airport Road Industrial Special District to the Suburban Neighborhood Established Character Area is revised as described in the attached Exhibit ‘A’.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED:

Dick Dempsey, Chair

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE THOMPSON, CITY ATTORNEY



ITEM 7
PLANNING DEPARTMENT STAFF REPORT
Character Area Change Request (PC0262-14)
Located East of Airport Road and North of Cairo Road
Date: April 28, 2014

REQUEST: THE OWNER/APPLICANT HAS REQUESTED APPROVAL OF A RESOLUTION TO CHANGE THE CHARACTER AREA DESIGNATION FROM THE AIRPORT ROAD INDUSTRIAL SPECIAL DISTRICT CHARACTER AREA TO THE SUBURBAN NEIGHBORHOOD ESTABLISHED CHARACTER AREA FOR THREE PARCELS (TAX MAP 127, PARCELS 005.00, 005.07, AND 05.008) COMPRISING 20.84 (+/-) ACRES, LOCATED EAST OF AIRPORT ROAD AND NORTH OF CAIRO ROAD.

OWNER: HENRY HOLLEMAN
APPLICANT: ROGERS ENGINEERING GROUP (ANDY LEATH, P.E.)
STAFF RECOMMENDATION: APPROVAL OF GMRPC RESOLUTION 2014-28
STAFF CONTACT: KEVIN CHASTINE, AICP
PLANNING COMMISSION DATE: APRIL 28, 2014

PROPERTY OVERVIEW:

The applicant is requesting approval of a resolution to amend the Gallatin On the Move 2020 Plan (The City of Gallatin General Development and Transportation Plan Update 2008-2020) by changing the Character Area designation on three (3) parcels consisting of 20.84 acre, located on the north side of Cairo Road east of Airport Road, from the Airport Road Industrial Special District to the Suburban Neighborhood Established Character Area. (Attachment 7-1) The change is requested to establish a consistent land use/character area for the property which is proposed for development as a single family residential subdivision. The Planning Commission recommended approval of the annexation and plan of services and the rezoning and Preliminary Development Plan (PMDP) for Cairo Estates at the March 24, 2014 meeting.

Proposed Development

The applicant is proposing to annex and rezone three (3) parcels, totaling 20.84 (+/-) acres, from Residential-40 (R40) to Multiple Residential and Office (MRO) and obtain approval of the PMDP to create 63 One-Family Detached Dwelling lots. As part of the process the city asked the applicant to submit an application for a character area change for consideration by the Planning Commission to ensure consistency between the land use and zoning. The proposed 63 lot subdivision will be developed in three (3) phases with 32 lots in Phase 1, 15 lots in Phase 2, and 16 lots in Phase 3.

Previous Approvals

On October 26, 2006, a rezoning (PC File #3-27-06) and an annexation request (PC File #6-7-06) was submitted for Cairo Landing Phase 3 which included a portion of this

property (Tax Map and Parcel 127//005.07). The request to rezone 15.025 (+/-) acres (of this 20.84 acre site), from Residential-40 (R40) to Residential-20 Planned Residential Development (R20-PRD) with a Preliminary Master Development Plan to create 27 One-Family Detached Dwelling lots, was submitted with the annexation request in 2006. Both the Preliminary Master Development Plan and the Annexation requests were withdrawn by the applicant on November 14, 2006. No additional actions have been taken affecting these properties.

On March 24, 2014, the Planning Commission recommended approval of the annexation request (PC0259-14) with a Plan of Service and the rezoning with a Preliminary Master Development Plan (PC0260-14) to the Gallatin City Council. Both items were included on the April 8, 2014 City Council Committee meeting and was voted onto the full City Council agenda for April 15, 2014, where Council approved the first reading of Ordinances to approve the annexation, plan of service, and rezoning with Preliminary Master Development Plan.

Character Area Change Request

Currently, the *Gallatin on the Move 2020 Plan* designates the property as part of the Airport Road Industrial Special District Character Area. The applicant is requesting a change to the Suburban Neighborhood Established Character Area. A description of each character area is provided in Attachment 7-2.

The property is located between areas designated as Airport Road Industrial Special District to the north, south and west and the Suburban Neighborhood Established Character Area to the east. The property is currently zoned Residential-40 (R40) and was zoned this way at the time of the adoption of the 2020 Plan and the Airport Overlay Zoning Ordinance in 2009. The current zoning also allows for the development of single family homes.

The approval of the rezoning and the Preliminary Master Development Plan for Cairo Estates was conditioned on the Planning Commission granting the Character Area Change from Airport Road Industrial Special District to Suburban Neighborhood Established Character Area. (Attachment 7-3)

The Gallatin on the Move 2020 Plan, Chapter 6, Implementation Plan, Plan Maintenance states:

Minor amendments to the General Development and Transportation Plan provide the opportunity for relatively minor updates and revisions such as changes in Character Area designation, implementation actions, or for the annual review of Plan consistency with ordinances and regulations. Minor Plan Amendments should be processed throughout the year and be prepared and distributed in the form of addenda to the adopted plan. The Planning Commission should review and consider proposed amendments and hold a public hearing on the proposed amendments according to the standard plan adoption procedures.

Public Hearing and Notification

Per T.C.A. §13-3-303, a public hearing is required when considering an amendment to the comprehensive plan. The proposed amendment was advertised in the local newspaper and posted at three (3) locations in the community in accordance with T.C.A., Title 13, §13-3-303. This includes a newspaper advertisement thirty (30) days prior to the Planning Commission meeting and posting the notice in three (3) locations in the City. Due to this 30 day requirement the Planning Commission had to wait to consider this comprehensive plan amendment at this Planning Commission meeting instead of the March 24th meeting when the annexation, plan of service and rezoning request was heard.

At the April 14, 2014 Planning Commission Work Session meeting, Mr. Jim Eagan, the Sumner County Airport Board representative, spoke against the proposed Character Area change indicating that the land use was not compatible with airport operations including future noise from increased use of the airport, including when the airport is expanded (Attachment 7-4). Even though the airport is located in close proximity to the property the development would be outside of the 65 decibel contour indicated on the Airport Master Plan. The airport overlay section of the Zoning Code (Attachment 7-5) regulates the height of structures and natural growth in the vicinity of the airport. In additional, T.C.A. § 42-6-105 also authorizes the development of Airport Zoning Regulations (Attachment 7-6). Based on the alignment of the airport runway no plane would approach or depart the runway over the property or conflict with a zone as described in Section 10.04.050 and Section 10.04.060 of the Airport Zoning Ordinance. The zoning limits the height of structures that could be placed on the property or which would adversely affect future instrument approach minimums at the airport. The Comprehensive Plan includes an objective to *“facilitate the expansion of the Sumner County Regional Airport”*, and this proposed land use/character area change does not impede this objective. The airport will be expanded to the west (along the existing alignment of Airport Road) and to the south by extending the runway south from the existing end of runway.

Findings

Other residential development exists in close proximity to the airport, including the Cairo Landing subdivision just to the east of the subject property and residential development along Albright Lane immediately adjacent to the airport to the east. These developments are not within the described airport zones. There are residential developments underneath these runway approach zones including the Stonehedge Subdivision on Hartsville Pike and residential development on Newton Lane south of the airport. These developments are well beyond the ends of the existing runway.

The proposed land use change will provide additional residential development in close proximity to a hub of employment in the community and provide a use compatible to adjacent uses. There is very little land available with the requested land use that could accommodate the proposed type of housing in close proximity to this area. Most has already been fully developed such as Cairo Landing, Brown Estates, Maple Grove and Rolling Acres subdivisions. The City is able to serve the property with utility infrastructure to accommodate development that could occur

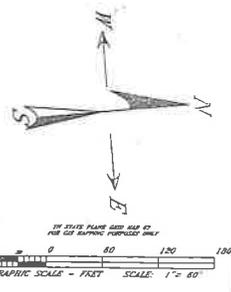
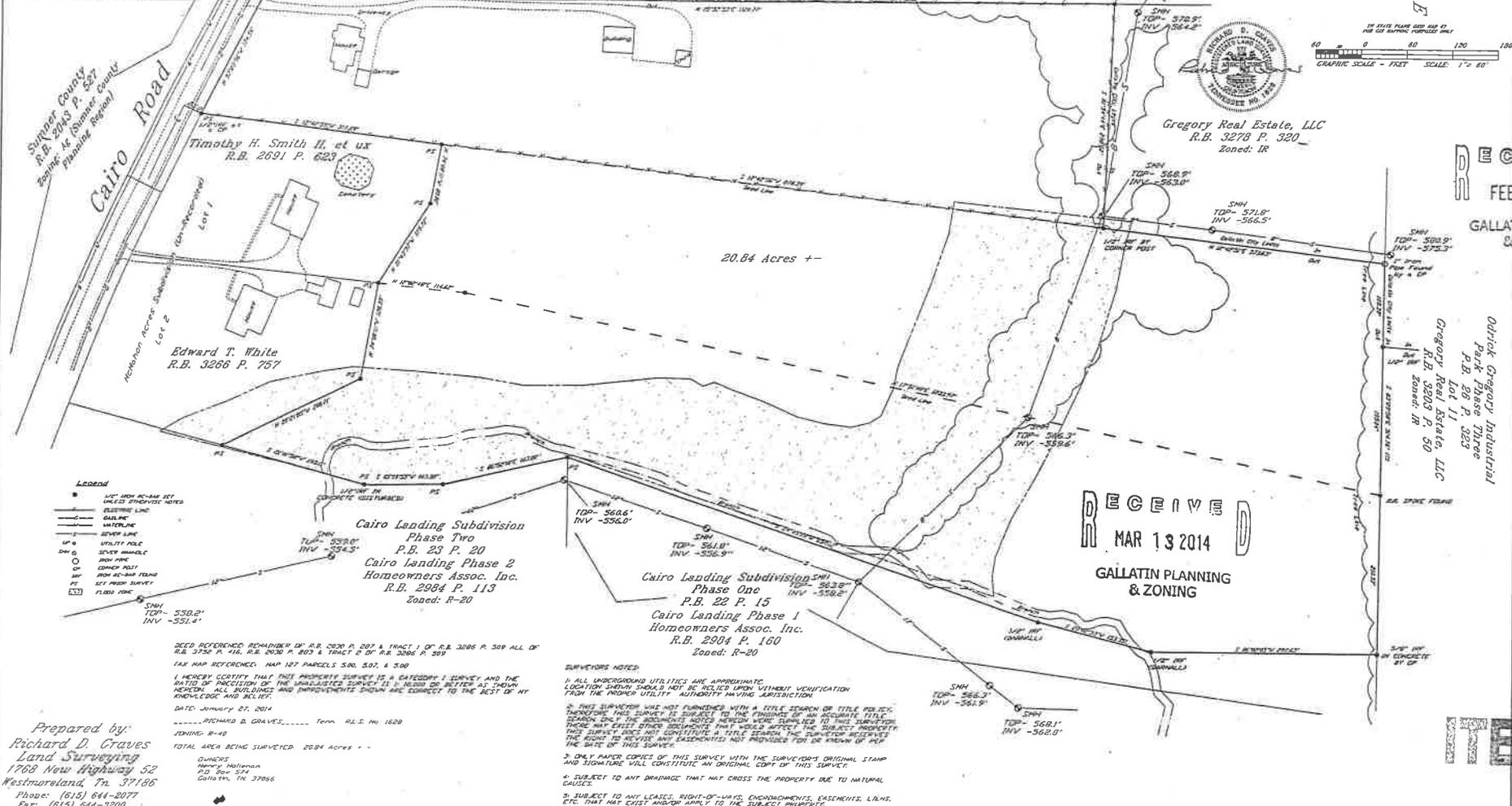
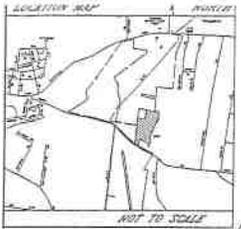
under the proposed land use/character area and the property is suitable for residential development.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-28 changing the Gallatin On the Move 2020 Plan (The City of Gallatin General Development and Transportation Plan Update 2008-2020) Community Character Area designation(Plan Exhibit 3.1) for Tax Map 127, Parcels 005.00, 005.07, and 05.08, from Airport Road Industrial Special District Character Area to Suburban Neighborhood Established Character Area, for the area shown on a one (1) sheet plan, prepared by Richard D. Graves Land Surveying of Westmoreland, TN, with project No. #13031TSB.

- Attachment 7-1 Existing Character Area Maps and Boundary Survey for Tax Map 127, Parcels 5.00, 5.07, and 5.08**
- Attachment 7-2 Airport Road Industrial Special District Character Area Suburban Neighborhood Established Character Area**
- Attachment 7-3 March 28, 2014 Planning Commission minutes and Action Form**
- Attachment 7-4 Article 10, Section 10.04, Gallatin Zoning Ordinance and Airport Noise Contour Map**
- Attachment 7-5 T.C.A. § 42-6-105**

*Boundary and Topographic Survey for
Henry Holleman Property
2nd Civil District
Sumner County Tennessee
(Adjoins Gallatin City Limits)*



LEGEND

- 1/2\"/>

BEEN REFERENCED REMAINDER OF R.B. 2904 P. 202 & TRACT 1 OF R.B. 3286 P. 309 ALL OF R.B. 3750 P. 416, R.B. 2030 P. 803 & TRACT 2 OF R.B. 3286 P. 309

THIS MAP REFERENCE MAP 127 PARCELS 500, 502, & 500

I HEREBY CERTIFY THAT THIS INSTRUMENT SURVEY IS A CATEGORY 1 SURVEY, AND THE BASIS OF ACCURACY OF THE UNADJUSTED SURVEY IS AS NEAR AS FEASIBLE AS THOUGH HEREON ALL BUILDINGS AND IMPROVEMENTS SHOWN ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: January 27, 2014

BY: RICHARD D. GRAVES, Surveyor Term R.L.S. No. 1620

PERMITS: R-40

TOTAL AREA BEING SURVEYED: 20.84 Acres +-

OWNER: Henry Holleman
P.O. Box 374
Gallatin, TN 37066

Prepared by:
Richard D. Graves
Land Surveying
1788 New Highway 52
Westmoreland, TN 37186
Phone: (615) 644-2077
Fax: (615) 644-3200

- SURVEYOR'S NOTES:**
1. ALL UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATION SHOWN SHOULD NOT BE RELIED UPON WITHOUT VERIFICATION FROM THE PROPER UTILITY AUTHORITY HAVING JURISDICTION.
 2. THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE POLICY. THEREFORE THIS SURVEY IS SUBJECT TO THE PROVISIONS OF AN ACQUAITE TITLE SEARCH. ONLY THE INSTRUMENTS NOTED HEREON WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER RECORDS THAT AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH. THE SURVEYOR RESERVES THE RIGHT TO REVISOR ANY ENCUMBRANCES NOT PROVIDED FOR OR KNOWN OF AT THE DATE OF THIS SURVEY.
 3. ONLY PAPER COPIES OF THIS SURVEY WITH THE SURVEYOR'S ORIGINAL STAMP AND SIGNATURE WILL CONSTITUTE AN ORIGINAL COPY OF THIS SURVEY.
 4. SUBJECT TO ANY DRAINAGE THAT MAY CROSS THE PROPERTY DUE TO NATURAL CAUSES.
 5. SUBJECT TO ANY LEASED, RIGHT-OF-WAY, ENCUMBRANCES, EASEMENTS, LIENS, ETC. THAT MAY EXIST AND/OR APPLY TO THE SUBJECT PROPERTY.

RECEIVED
FEB 28 2014
GALLATIN PLANNING & ZONING

RECEIVED
MAR 13 2014
GALLATIN PLANNING & ZONING

Odrick Gregory Industrial
Park Phase Three
P.B. 26 P. 323
Lot 11
Gregory Real Estate, LLC
R.B. 3803 P. 50
Zoned: IR

Job # 13031TSB
PC0262-14

ATTACHMENT 7-1

AIRPORT ROAD INDUSTRIAL

General Description of Existing Development Patterns

The Airport Road Industrial special area is characterized by large lots with large-scale industrial and warehousing buildings deeply set back on the lot and surrounded by surface parking lots. Building types range from large metal buildings with limited brick and stone façade treatments to two-story office buildings with residential character. Landscaping is required by the Zoning Ordinance.

The area includes employment uses, but has few other commercial and services uses to serve workers and patrons of these businesses. Airport Road Industrial also includes the Sumner County Regional Airport.

The land here is used in low and high intensity manufacturing, wholesale trade, distribution, assembly, processing. These uses may in some cases generate nuisance characteristics. As a result, residential uses are not appropriate in this character area, but should be located in adjacent and nearby areas in order to provide housing near employment centers.

Location

Areas within this character area include the following:

- Developed and developing portions of Airport Road from north of Coles Ferry Road to US-31E/East Broadway, including the Gallatin Industrial Park and surrounding area

Intent

- Provide diverse industry

Development Strategies

The development pattern should seek to:

- Protect air and water quality
- Prevent adverse impacts to natural resources and surrounding population
- Address traffic impacts and circulation in site design
- Provide adequate buffers and limit visibility of industrial operations/parking from the public right of way
- Preserve existing residential areas on the fringe of the character area, but discourage expansion of residential uses in the character area

Implementation Measures

- Adopt updated requirements for PBP Zoning District

AIRPORT ROAD INDUSTRIAL

Anticipated level of change:

- Medium

Transportation

- High level of service
- Medium level of connectivity
- Properties accessed by public roads, railroad
- Regular-shaped, long blocks
- Roads characterized by curb, gutter

Infrastructure

- Public water and sewer available
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood and pocket parks

Primary Land Uses

- Light Industry
- Business Parks
- Warehouses
- Commercial
- Transportation/Communication/Utilities
- Commercial/Office/Retail
- Public/Institutional

Appropriate Intensity

- 0.5 FAR

Applicable Zoning Districts

Existing Zoning Districts

- IR, PBP, IG

Proposed Zoning Districts

- PBP (proposed updates)

SUBURBAN NEIGHBORHOOD ESTABLISHED

General Description of Existing Development Patterns

The Suburban Neighborhood character area describes areas where typical types of suburban residential subdivision development have occurred in the post World War II era. Neighborhoods are characterized by low pedestrian orientation, medium-to-larger lot sizes, high to moderate degree of building separation, and are predominantly residential with scattered civic buildings and varied street patterns (often curvilinear) that include cul-de-sacs. Neighborhoods included in this character area are generally stable. Improved pedestrian and bicycle networks, especially near school and other civic uses would provide safer routes and encourage walking and bicycling as a transportation option.

Location

Areas within this character area include the following:

- South Gallatin neighborhoods of Halewood and Woodvale
- West Gallatin neighborhoods in the Lock 4 Road/Peninsula Drive area
- Newly-developed portions of the West Gallatin neighborhoods in the Fairvue/Baypoint (Browns Lane) area
- Newly-developed and established portions of the Douglass Bend area
- East Gallatin neighborhoods in the Grandview subdivision and surrounding area

Intent

The development pattern should seek to:

- Maintain residential uses
- Preserve existing tree cover
- Provide safe facilities for pedestrians, school buses, and bicyclists using the road right-of-way
- Accommodate in-fill development that compliments the scale, setback and style of existing adjacent homes
- Accommodate senior housing opportunities, which can be integrated into neighborhoods that benefit from close proximity to goods and services
- Maintain predominant development pattern of detached one-family homes

SUBURBAN NEIGHBORHOOD ESTABLISHED

Anticipated level of change:

- Low

Transportation

- Low level of service
- Medium level of connectivity
- Properties accessed by public roads
- Regular-shaped, long blocks
- Older subdivision roads characterized by grassy swales and newer with curb, gutter and sidewalk
- Sidewalks and pedestrian infrastructure limited to newer subdivisions

Infrastructure

- Public water and sewer available
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood parks
- Community gardens

Primary Land Uses

- Single-family residential
- Small and large-scale apartments and townhomes

Appropriate Residential Net Density

- 2-5 units per acre

Applicable Zoning Districts

Existing Zoning Districts

- R-10, R-15, R-20, R-40, MRO

Proposed Zoning Districts

- No proposed new districts

Development Strategies

- Focus on reinforcing stability of more mature Suburban Neighborhood Established areas by encouraging more home ownership and maintenance or upgrade of existing properties
- Locate schools, community centers, or well-designed small commercial activity centers at suitable locations within walking distance of residences
- Enhance the pedestrian-friendly environment by adding sidewalks and creating other pedestrian-friendly multi-use trail/bike routes linking neighboring communities and major destinations such as libraries, neighborhood centers, health facilities, commercial clusters, parks, schools, etc.
- Add traffic calming improvements, sidewalks and increased street interconnections to improve walkability within existing neighborhoods
- Limit driveway spacing along the highway frontage and align driveways where needed to improve traffic flow
- Protect older subdivisions that lack detailed design-related covenants and restrictions

Implementation Measures

- ☞ Develop residential infill guidelines applicable in Suburban Neighborhood Established areas in order to ensure that the scale and character of new development on vacant lots is compatible with existing development



Typical suburban street in Halewood subdivision



Typical suburban street in Woodvale subdivision

ATTACHMENT 7-3

MINUTES OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION MEETING

March 24, 2014

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Vice Mayor John D. Alexander
Shirlene Campbell, Mayor's Designee
Dr. Rick Orgain
John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Katherine Schoch, Assistant Director of Planning
Kevin Chastine, Planner II
Robert Kalisz, Planner II
Brad Simpson, Engineering Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Josh Cross, *Gallatin News Examiner*
Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular meeting on Monday March 24, 2014, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Vice Mayor Alexander led the opening prayer and Chair Dempsey led the Pledge of Allegiance. Ms. Marianne Mudrak called the roll.

Approve Prior Minutes

Mr. Wilson motioned to approve the February 10, 2014 Planning Commission Work Session and the February 24, 2014 Planning Commission Regular Meeting Minutes as submitted. Vice Mayor Alexander seconded the motion and the motion passed by unanimous vote.

Public Comment on Consent Agenda Items

Chair Dempsey opened public comment on consent agenda items. No one requested to remove any item from the consent agenda. Chair Dempsey asked if any Planning Commission member wished to remove any item from the consent agenda. No member requested to remove any item from the consent agenda;

- Odric Gregory Industrial Park, Lot 12; PC0010-12 site surety one year renewal and extension for \$23,750.
- Woods Commons, Sec. 1; PC9827-11/The Drive-In, Ph. 1 & 2; PC File #1-23-04C subdivision surety one year renewal and extension for \$127,000.
- Twin Eagles, Ph. 9A; PC0129-13 subdivision surety one year renewal and extension for \$338,000.
- Twin Eagles, Ph. 10; PC9845-11 subdivision surety one year renewal and extension for \$136,000.
- Oak Hill, Ph. 1; PC File #1-53-06C subdivision surety one year renewal and extension for \$119,000.
- The Reserve, Ph. 1 Sec 1; PC9906-11 subdivision surety one year renewal and extension for \$94,000.
- The Reserve, Ph. 1, Sec. 2; PC9907-11 subdivision surety one year renewal and extension for \$28,000.
- Stratford Park, Ph. 3, Sec 3; PC0093-13 subdivision surety one year renewal and extension for \$31,000.

This item was approved by consent agenda.

3. GMRPC Resolution No. 2014-24 – PC0259-14 – Cairo Estates, Phase 3 – Rogers Engineering Group – Public Comment – The owner/applicant is requesting the Planning Commission approve and recommend to the Gallatin City Council the Annexation and an ordinance adopting a Plan of Service for three (3) parcels (Tax Map 127 and Parcels 005.00, 005.07, and 005.08), containing 20.84 (+/-) acres, located east of Airport road and North of Cairo Road.

Mr. Kevin Chastine, Planner II, presented the staff report and explained that items 3, 4, and 5, were related and he requested to present all three (3) together. He said the first phase, of the proposed subdivision, would be completed this year and the last phase would be completed by June 2015. The Gallatin on the Move 2020 General Development and Transportation Plan designates the three (3) parcels as Airport Road Industrial Special District Character Area and the applicant and owner is requesting a change to the Suburban Neighborhood Established Character Area, since the properties to the east is designated Suburban Neighborhood Established Character Area. Because a 30 day notification is required, item number four (4) is for discussion only and will not be subject to a vote tonight.

Mr. Chastine referred to a Sumner County Regional Airport Environmental Assessment Noise Exposure map, attached to these minutes as Exhibit B, showing the three (3) parcels and the decibel level line. The Airport Authority asked that their concern, over sound in the area, be noted.

Mr. Chastine discussed the architectural elevations and said three (3) sample elevations have been submitted. Some of the features are one story elevations, ranging in size from 1,200 square foot to just

over 1,500 square foot and show one-story homes with front loaded garages, two (2) elevations with brick fronts and vinyl siding on back and sides, and one (1) elevation with vinyl siding on all four (4) sides. The elevations are samples and could be changed at the Final Master Development Plan (FMDP) stage.

Mr. Chastine said the Gallatin on the Move 2020 General Development and Transportation Plan indicates a future greenway to run along Albright Creek. Staff has requested the owner and applicant work with staff to identify and reserve a corridor for the location of this future greenway, but this is not a condition of approval. A determination as to which electric company will provide electric service to this property is still an outstanding issue and has not been finalized.

Mr. Chastine said staff recommends the Planning Commission recommend the Annexation and Plan of Service to Gallatin City Council for approval.

Chair Dempsey asked Mr. Zach Wilkinson, Engineering Project Manager, if there were any engineering concerns with the request. Mr. Wilkinson said he did not have any engineering concerns with the request.

Mr. Andy Leath, with Rogers Engineering Group, representing the owner and applicant, said the Gallatin Department of Electric and Cumberland Membership Electric Corporation (CEMC) are discussing which company would service this development. The owner and applicant has been advised, by Mr. Leath, to discuss the possibility of a right-of-way easement, from the north, with Mr. Odric Gregory, for electrical service to this subdivision.

Vice Mayor Alexander asked if underground utilities is an option. Mr. Leath said underground utilities is an option; however, the owner and applicant has not decided.

Chair Dempsey opened public comment. No one came forward to speak; therefore, Chair Dempsey closed public comment.

Mr. Wilson motioned to recommend approval of the Annexation and Plan of Service to the Gallatin City Council. Mr. Ramsey seconded the motion and the motion passed by unanimous vote.

4. GMRPC Resolution No. 2014-28 – PC0262-14 – Cairo Estates, Phase 3 – Character Area Change – Rogers Engineering Group – The owner and applicant has requested a Character Area Designation change from Airport Road Industrial Special District Character Area to the Suburban Neighborhood Established Charter Area for three parcels (Tax Map 127, Parcels 005.00, 005.07, and 005.08) that comprise 20.84 (+/-) acres east of Airport Road and north of Cairo Road.

Chair Dempsey asked Mr. Wilkinson if there were any engineering concerns with this request. Mr. Wilkinson said there were no engineering concerns with the request.

Mr. Andy Leath, with Rogers Engineering Group, representing the owner and applicant, said he had no comments.

Mr. Ramsey asked Mr. Chastine to reiterate the Character Area Designation change. Mr. Chastine said the property is currently Airport Road Industrial Special District and the request is to change the

designation to Suburban Neighborhood Established Character Area. Mr. Ramsey expressed concern that the character area would permit Multiple Residential and Office (MRO) uses, which may not be desirable if this project does not occur. Mr. Bill McCord, Director of Planning, read the uses for the Multiple Residential and Office (MRO) zone district. Mr. Chastine said the process to change the zoning would have to begin again, if a new project was proposed for the property. Mr. Ramsey said he does not have a problem with the plan, but he is concerned that the City must have protection if this project does not go forward.

Mr. Leath said the original model was Albion Downs, which includes single-family and multi-family uses.

5. GMRPC Resolution No. 2014-25 – PC0260-14 – Cairo Estates, Phase 3 – Rogers Engineering Group – The owner and applicant is requesting to rezone three (3) parcels comprising 20.84 (+/-) acres (Tax Map 127 and Parcels 005.00, 005.07, and 005.08) from Residential-40 (R40) zone district to Multiple Residential and Office (MRO) zone district and approve a Preliminary Master Development Plan (PMD) to create 63 one-family detached dwelling lots.

Chair Dempsey asked Mr. Wilkinson if he had any engineering concerns with the request. Mr. Wilkinson said he did not have any engineering concerns with the request.

Mr. Andy Leath, with Rogers Engineering Group, representing the applicant, said he did not have any comments.

Mr. Ramsey asked if the applicant was agreeable to the staff request to reserve an area for a future greenway. Mr. Leath said there is an area that is being considered for the future greenway. Mr. Ramsey asked if the owner and applicant would consider all brick fronts on the homes. Mr. Leath said the owner and applicant would commit to all brick front elevations.

Chair Dempsey opened public comment. No one came forward to speak; therefore, Chair Dempsey closed public comment.

Vice Mayor Alexander motioned to recommend approval to Gallatin City Council with the additional condition that a location be reserved for a future greenway.

1. The Planning Commission determined that the proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance and approved the alternative bufferyards.
2. The rezoning and Cairo Estates Preliminary Master Development Plan approval is conditioned on the Planning Commission granting approval of an amendment to the Gallatin on the Move 2020, General Development and Transportation Plan 2008-2020 Update to change the Airport Road Industrial Special District to Suburban Neighborhood Established Character Area. (This is scheduled to be considered at the April 28th, 2014 Planning Commission meeting.)
3. No homes shall be constructed within the stream buffer, but homes can be built within the floodplain if the finish floor elevation of the home is constructed one (1) foot above the Base Flood Elevation (BFE) for floodplain areas with established BFEs or three (3) foot above the



City of Gallatin, Tennessee

Planning Department

Gallatin Municipal-Regional Planning Commission
ACTION FORM

DATE: March 25, 2014
TO: Mr. Andy Leath
Rogers Engineering Group
114B West Main Street
Gallatin, TN 37066
FROM: Planning Department
RE: March 24, 2014, Gallatin Municipal-Regional Planning Commission Meeting
Cairo Estates, Phase 3, Annexation File: PC0259-14

At the above referenced meeting, the request for annexation and plan of service was:

- RECOMMENDED
- RECOMMENDED WITH CONDITIONS
- NOT RECOMMENDED
- DEFERRED

Approval contains the following requirements:

- COUNCIL SUBMITTAL
- CITY COUNCIL APPROVAL
 - Council Committee: 4/8/14
 - 1st Reading at City Council: 4/15/14
 - Ad runs for Public Hearing by Codes/Planning Department: 4/17/14
 - Public Hearing 5/6/14
 - 2nd Reading at City Council: 5/20/14

cc: PC File PC0259-14
Mr. Henry Holleman



City of Gallatin, Tennessee

Planning Department

**Gallatin Municipal-Regional Planning Commission
ACTION FORM**

DATE: March 25, 2014

TO: Mr. Andy Leath
Rogers Engineering Group
114B West Main Street
Gallatin, TN 37066

FROM: Planning Department

RE: March 24, 2014, Gallatin Municipal-Regional Planning Commission Meeting
Cairo Estates, Phase 3, PMDP Rezoning File: PC0260-14

At the above referenced meeting, the request for recommendation of a Preliminary Master Development Plan and Rezoning was:

- RECOMMENDED
 RECOMMENDED WITH CONDITIONS
 NOT RECOMMENDED
 DEFERRED

Conditions of Approval:

1. The Planning Commission shall determine whether the proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance and approval of the alternative bufferyards.
2. The rezoning and Cairo Estates Preliminary Master Development Plan approval is conditioned on the Planning Commission granting approval of an amendment to the Gallatin on the Move 2020, The General Development and Transportation Plan 2008-2020 Update to change the Airport Road Industrial Special District to Suburban Neighborhood Established Character Area. (This is scheduled to be considered at the April 28th, 2014 Planning Commission meeting.)
3. No homes shall be constructed within the stream buffer, but homes can be built within the floodplain if the finish floor elevation of the home is constructed one (1) foot above the Base Flood Elevation (BFE) for floodplain areas with established BFEs or three (3) foot above the highest adjacent grade for floodplain areas without an established BFE, as required in Section 10.03.070.B.
4. Provide Gallatin Public Utilities with detailed plans, specifications and hydraulic calculations for water and sanitary sewer installations.



City of Gallatin, Tennessee

Planning Department

5. Establish and label all portions of the development not including lots or proposed right-of-way as open space tract(s) to be owned and maintained by the homeowner's association.
6. The applicant shall work with staff to identify and reserve a corridor for the location of the proposed greenway along Albright Creek as indicated in the Gallatin on the Move 2020 Plan: The General Development and Transportation Plan 2008-2020.

Approval contains the following requirements:

COUNCIL SUBMITTAL

CITY COUNCIL APPROVAL

- Council Committee: 4/8/14
- 1st Reading at City Council: 4/15/14
- Ad runs for Public Hearing by Codes/Planning Department: 4/17/14
- Public Hearing 5/6/14
- 2nd Reading at City Council: 5/20/14

cc: PC File PC0260-14
Mr. Henry Holleman

10.04 Airport Overlay (AO) Zoning District Regulations

10.04.05 Short Title

This Ordinance shall also be known as and may also be cited as the Sumner County Regional Airport Zoning Ordinance

10.04.010 Purpose

The purpose of this Ordinance is to regulate and restrict the height of structures and objects of natural growth, and otherwise regulate the use of property, in the vicinity of the Sumner County Regional Airport; to designate the Boards of Zoning Appeals to hear appeals; to provide for enforcement and penalties; to define certain terms used herein; and to amend the City of Gallatin Zoning Map to create the Sumner County Regional Airport Zoning Map and establish the boundaries of Airport Zoning districts.

10.04.020 Statutory Authorization, Findings of Fact, and Objectives

This ordinance is adopted pursuant to the authority conferred by Title 42 of the Tennessee Code Annotated. It is hereby found that an obstruction has the potential for endangering the lives and property of users of the Sumner County Regional Airport, and property or occupants of land in its vicinity; that an obstruction may affect existing and future instrument approach minimums of the Sumner County Regional Airport; and that an obstruction may reduce the size of areas available for the landing, takeoff, and maneuvering of aircraft, thus tending to destroy or impair the utility of the Sumner County Regional Airport and the public investment therein. Accordingly, it is hereby declared that:

- A. the creation or establishment of an obstruction has the potential of being a public nuisance and may injure the region served by the Sumner County Regional Airport;
- B. it is necessary in the interest of the public health, public safety, and general welfare that the creation or establishment of obstructions that are a hazard to air navigation be prevented; and
- C. the prevention of these obstructions should be accomplished, to the extent legally possible, by the exercise of police power without compensation.

It is further declared that the prevention of the creation or establishment of hazards to air navigation, the elimination, removal, alteration or mitigation of hazards to air navigation, or marking and lighting of obstructions are public purposes for which a political subdivision may raise and expend public funds and acquire land or interests in land.

10.04.030 Recommendation and Certification of Airport Zoning Ordinance

- A. The Sumner County Regional Airport Authority recommended approval of this Ordinance on April 28, 2008 and recommended its adoption by the City of Gallatin, Sumner County and Wilson County to be incorporated into their respective zoning ordinances.
- B. The Tennessee Department of Transportation, Division of Aeronautics, has certified the Airport Zoning Regulations pursuant to TCA §42-6-105.

10.04.040 Definitions

Unless specifically defined below, words or phrases used in this Ordinance shall be interpreted as to give them the meaning they have in context or common usage, and to give this Ordinance the most reasonable application given its stated purpose and objectives:

- A. AIRPORT – Means Sumner County Regional Airport.
- B. AIRPORT ELEVATION - 584 feet above mean sea level.
- C. AIRPORT MANAGER – Airport Manager for the Sumner County Regional Airport
- D. AIRPORT ZONING MAP - The Sumner County Regional Airport – Part 77 Airport Airspace Drawing-Plan, approved by the Tennessee Department of Transportation, Division of Aeronautics on November 13, 2009, is adopted by reference by this Ordinance and incorporated as part of the Official Zoning Map of the City of Gallatin, Tennessee.
- E. APPROACH SURFACE - A surface longitudinally centered on the extended runway centerline, extending outward and upward from the end of the primary surface and at the same slope as the approach zone height limitation slope set forth in Section 10.04.060 of this Ordinance. In plan the perimeter of the approach surface coincides with the perimeter of the approach zone.
- F. APPROACH, TRANSITIONAL, HORIZONTAL, AND CONICAL ZONES – These zones are set forth in Section 10.04.050 of this Ordinance.
- G. BOARD OF ZONING APPEALS – A Board consisting of 5 members, appointed by the Board of Mayor and Aldermen of the City of Gallatin as provided in Article 15.00, Section 15.04 of the Gallatin Zoning Ordinance.
- H. CONICAL SURFACE - A surface extending outward and upward from the periphery of the horizontal surface at a slope of 20 to 1 for a horizontal distance of 4,000 feet.

- I. HAZARD TO AIR NAVIGATION - An obstruction determined to have a substantial adverse affect on the safe and efficient utilization of the navigable airspace.
- J. HEIGHT - For the purpose of determining the height limits in all zones set forth in the Ordinance and shown on the zoning map, the datum shall be mean sea level elevation unless otherwise specified.
- K. HORIZONTAL SURFACE - A horizontal plane 150 feet above the established airport elevation, the perimeter of which in plan coincides with the perimeter of the horizontal zone.
- L. LARGER THAN UTILITY RUNWAY - A runway that is constructed for and intended to be used by propeller driven aircraft of greater than 12,500 pounds maximum gross weight and jet powered aircraft.
- M. NONCONFORMING USE - Any pre-existing structure, object of natural growth, or use of land which is inconsistent with the provisions of this Ordinance or an amendment thereto.
- N. NONPRECISION INSTRUMENT RUNWAY - A runway having an existing instrument approach procedure utilizing air navigation facilities with only horizontal guidance, or area type navigation equipment, for which a straight-in non-precision instrument approach procedure has been approved or planned.
- O. OBSTRUCTION - Any structure, growth, or other object, including a mobile object, which exceeds a limiting height set forth in Section 10.04.060 of this Ordinance.
- P. PERSON - An individual, firm, partnership, corporation, company, association, joint stock association, or government entity; includes a trustee, a receiver, an assignee, or a similar representative of any of them.
- Q. PRECISION INSTRUMENT RUNWAY - A runway, having an existing instrument approach procedure utilizing an Instrument Landing System (ILS) or a Precision Approach Radar (PAR). It also means a runway for which a precision approach system is planned and is so indicated on an approved airport layout plan or any other planning document.
- R. PRIMARY SURFACE – A surface longitudinally centered on a runway. When the runway has a specially prepared hard surface, the primary surface extends 200 feet beyond each end of that runway; for military runways or when the runway has no specially prepared hard surface, or planned hard surface, the primary surface ends at each end of the runway. The width of the primary surface is set forth in Section 10.04.050 of this Ordinance. The elevation of any point on the primary surface is the same as the elevation of the nearest point on the runway centerline.

- S. RUNWAY – A defined area on an airport prepared for landing and take-off of aircraft along its length.
- T. STRUCTURE – An object, including a mobile object, constructed or installed by man, including but without limitation, buildings, towers, cranes, smokestack, earth formation, and overhead transmission lines.
- U. TRANSITIONAL SURFACES - These surfaces extend outward at 90 degree angles to the runway centerline and the runway centerline extended at a slope of seven (7) feet horizontally for each foot vertically from the sides of the primary and approach surfaces to where they intersect the horizontal and conical surfaces. Transitional surfaces for those portions of the precision approach surfaces, which project through and beyond the limits of the conical surface, extend a distance of 5,000 feet measured horizontally from the edge of the approach surface and at 90 degree angles to the extended runway centerline.
- V. TREE – Any object of natural growth.
- W. UTILITY RUNWAY – A runway that is constructed for and intended to be used by propeller driven aircraft of 12,500 pounds maximum gross weight and less.
- X. VISUAL RUNWAY – A runway intended solely for the operation of aircraft using visual approach procedures.

10.04.050 Airport Zones

In order to carry out the provisions of this Ordinance, there are hereby created and established certain zones which include all of the land lying beneath the approach surfaces, transitional surfaces, horizontal surfaces, and conical surfaces as they apply to Sumner County Regional Airport. Such zones are identified on the Part 77 Airport Airspace Drawing-Plan in the Sumner County Regional Airport Layout Plan, prepared by the Sumner County Regional Airport Authority and approved by the Tennessee Department of Transportation, Division of Aeronautics on November 13, 2009. The following Airport Zones, shown on the aforementioned Airspace Drawing-Plan, are hereby defined and adopted by reference and declared to be a part of these Airport Zoning Regulations and designated as the Airport Zoning Map and shall be incorporated as part of the Official Zoning Map of the City of Gallatin, Tennessee. An area which is located in more than one of the following zones is considered to be only in the zone with the more restrictive height limitation.

- A. Runway Larger Than Utility With A Visibility Minimum Greater Than ¾ Mile Nonprecision Instrument Approach Zone – The inner edge of this approach zone coincides with the width of the primary surface and is 500 feet wide. The approach zone expands outward uniformly to a width of 3,500 feet at a horizontal distance of 10,000 feet from the primary surface. Its centerline is the continuation of the centerline of the runway.

- B. Runway Larger Than Utility With A Visibility Minimum As Low As ¼ Mile Nonprecision Instrument Approach Zone – The inner edge of this approach zone coincides with the width of the primary surface and is 1,000 feet wide. The approach zone expands outward uniformly to a width of 4,000 feet at a horizontal distance of 10,000 feet from the primary surface. Its centerline is the continuation of the centerline of the runway.
- C. Transitional Zones – The transitional zones are the areas beneath the transitional surfaces.
- D. Horizontal Zone – The horizontal zone is established by swinging arcs of 5,000 feet radii for all runways designated utility or visual and 10,000 feet for all others from the center of each end of the primary surface of each runway and connecting the adjacent arcs by drawing lines tangent to those arcs. The horizontal zone does not include the approach and transitional zones.
- E. Conical Zone – The conical zone is established as the area that commences at the periphery of the horizontal zone and extends outward there from a horizontal distance of 4,000 feet.

10.04.060 Airport Zone Height Limitations

Except as otherwise provided in this Ordinance, no structure shall be erected, altered, or maintained, and no tree shall be allowed to grow in any zone created by this Ordinance to a height in excess of the applicable height herein established for such zone. Such applicable height limitations are hereby established for each of the zones as follows:

- A. Runway Larger Than Utility With A Visibility Minimum Greater Than ¼ Mile Non-precision Instrument Approach Zone – Slopes thirty-four (34) feet outward for each foot upward beginning at the end of and at the same elevation as the primary surface and extending to a horizontal distance of 10,000 feet along the extended runway centerline.
- B. Transitional Zones – Slope seven (7) feet outward for each foot upward beginning at the sides of and at the same elevation as the primary surface and the approach surface, and extending to a height of 150 feet above the airport elevation which is 584 feet above mean sea level. In addition to the foregoing, there are established height limits sloping seven (7) feet outward for each foot upward beginning at the sides of and the same elevation as the approach surface, and extending to where they intersect the conical surface. Where the precision instrument runway approach zone projects beyond the conical zone, there are established height limits sloping seven (7) feet outward for each foot upward beginning at the sides of and the same elevation as the approach surface, and extending a horizontal distance of 5,000 feet measured at 90 degree angles to the extended runway centerline.

- C. Horizontal Zone – Established at 150 feet above the airport elevation or at a height of 734 feet above mean sea level.
- D. Conical Zone – Slopes twenty (20) feet outward for each foot upward beginning at the periphery of the horizontal zone and at 150 feet above the airport elevation and extending to a height of 350 feet above the airport elevation.
- E. Excepted Height Limitations – Nothing in this Ordinance shall be construed as prohibiting the construction or maintenance of any structure, or growth of any tree to a height up to 50 feet above the surface of the land.

10.04.070 Use Restriction

Notwithstanding any other provisions of this Ordinance, no use may be made of land or water within any zone established by this Ordinance in such a manner as to create electrical interference with navigational signals or radio communication between airport and aircraft, make it difficult for pilots to distinguish between airport lights and others, result in glare in the eyes of pilots using the airport, impair visibility in the vicinity of the airport, create bird strike hazards, or otherwise in any way endanger or interfere with the landing, takeoff, or maneuvering of aircraft intending to use the airport.

10.04.080 Nonconforming Uses

- A. Regulations Not Retroactive – The regulations prescribed in the Ordinance shall not be construed to require the removal, lowering, or other change or alteration of any structure or tree not conforming to the regulations as the effective date of this Ordinance, or otherwise interfere with the continuance of a nonconforming use. Nothing contained herein shall require any change in the construction, alteration, or intended use of any structure, the construction or alteration of which was begun prior to the effective date of this Ordinance, and is diligently prosecuted.
- B. Marking and Lighting – Notwithstanding the preceding provision of this Section, the owner of any existing nonconforming structure or tree is hereby required to permit the installation, operation, and maintenance thereon of such markers and lights as shall be deemed necessary by the Airport Manager to indicate to the operators of aircraft in the vicinity of the airport, the presence of such airport obstruction. Such markers and lights shall be installed, operated, and maintained at the expense of the Sumner County Regional Airport Authority.

10.04.090 Permits

- A. Future Uses – Except as specifically provided in 1, 2, and 3 hereunder, no material change shall be made in the use of land, no structure shall be erected or otherwise established, and no tree shall be planted in any zone hereby created unless a permit therefore shall have been applied for and granted by the Zoning Administrator for the City of Gallatin. Each application for a permit shall indicate the purpose for which

the permit is desired, with sufficient particularity to permit it to be determined whether the resulting use, structure, or tree would conform to the regulations herein prescribed. If such determination is in the affirmative, the permit shall be granted. No permit for use inconsistent with the provisions of this Ordinance shall be granted unless a variance has been approved in accordance with Section 10.04.090.D. Prior to the issuance of a permit, the Zoning Administrator may request that the permit applicant provide verification from the Federal Aviation Administration as to the effect of the requested permit or proposed construction on the operation of air navigation facilities and the safe, efficient use of navigable airspace. The Zoning Administrator may also consult with the Airport Manager for advice as to the aeronautical and operational effects of the permit application.

1. In the area lying within the limits of the horizontal zone and conical zone, no permit shall be required for any tree or structure less than seventy-five feet of vertical height above the ground, except when, because of terrain, land contour, or topographic features, such tree or structure would extend above the height limit prescribed for such zones.
 2. In areas lying within the limits of the approach zones but at a horizontal distance of not less than 4,200 feet from each end of the runway, no permit shall be required for any tree or structure less than seventy-five (75) feet of vertical height above the ground, except when such tree or structure would extend above the height limit prescribed for such approach zones.
 3. In the areas lying within the limits of the transition zones beyond the perimeter of the horizontal zone, no permit shall be required for any tree or structure less than seventy-five feet of vertical height above the ground, except when such tree or structure, because of terrain, land contour, or topographic features, would extend above the height limit prescribed for such transition zones.
 4. Nothing contained in any of the foregoing exceptions shall be construed as permitting or intending to permit any construction, or alteration of any structure, or growth of any tree in excess of any of the height limits established by the Ordinance except as set forth in Section 10.04.060.E.
- B. Existing Uses – No permit shall be granted that would allow the establishment or creation of an obstruction or permit a nonconforming use, structure, or tree to become a greater hazard to air navigation, than it was on the effective date of this Ordinance or any amendments thereto or than it is when the application for a permit is made. Except as indicated all applications for such a permit shall be granted.
- C. Nonconforming Uses Abandoned or Destroyed – Whenever the City of Gallatin Zoning Administrator determines that a nonconforming tree or structure has been abandoned or more than 80 percent torn down, physically deteriorated, or decayed, no permit shall be granted that would allow such structure or tree to exceed the applicable height limit or otherwise deviate from the zoning regulations.

- D. Variances – Any person desiring to erect or increase the height of any structure, or permit the growth of any tree, or use property, not in accordance with the regulations prescribed in this Ordinance, may apply to the City of Gallatin Board of Zoning Appeals for a variance from such regulations. The application for variance shall be accompanied by a determination from the Federal Aviation Administration as to the effect of the proposal on the operation of air navigation facilities and the safe, efficient use of navigable airspace. Such variances shall be allowed where it is duly found that a literal application or enforcement of the regulations will result in unnecessary hardship and relief granted, will not be contrary to the public interest, will not create a hazard to air navigation, will do substantial justice, and will be in accordance with the spirit of the Ordinance. Additionally, no application for variance to the requirements of this Ordinance may be considered by the Board of Zoning Appeals unless a copy of the application has been furnished to the Airport Manager for advice as to the aeronautical effects of the variance. If the Airport Manager does not respond to the application within 15 days after receipt, the Board of Zoning Appeals may act on its own to grant or deny said application.

- E. Obstruction Marking and Lighting – Any permit or variance granted may, if such action is deemed advisable to effectuate the purpose of this Ordinance and be reasonable in the circumstances, be so conditioned as to require the owner of the structure or tree in question to install, operate, and maintain, at the owner’s expense, such markings and lights as may be necessary. If deemed proper by the Board of Zoning Appeals, this condition may be modified to require the owner to permit the Airport Authority, at its own expense, to install, operate, and maintain the necessary markings and lights.

10.04.100 Enforcement

It shall be the duty of the Zoning Administrator to administer and enforce the regulations prescribed herein. Applications for permits and variances shall be made to the Zoning Administrator upon a form published for that purpose. Applications required by this Ordinance to be submitted to the Zoning Administrator shall be promptly considered and granted or denied. Application for action by the Board of Zoning Appeals shall be forthwith transmitted by the Zoning Administrator.

10.04.110 Board of Zoning Appeals

The Board of Zoning Appeals is hereby designated to hear appeals from airport zoning ordinances created under this section pursuant to TCA §42-6-108.

- A. Any person aggrieved, or any taxpayer affected, by any decision of the Zoning Administrator, made in the administration of Section 10.04 of this Ordinance, may appeal to the Board of Zoning Appeals pursuant to the provisions of Section 15.04 of the Gallatin Zoning Ordinance.

ATTACHMENT 7-4

- B. The Board of Zoning Appeals shall be authorized to consider variances from the Airport Zoning Regulations pursuant to Section 10.04.090 of the Gallatin Zoning Ordinance.
- C. An appeal shall stay all proceeding in furtherance of the action appealed from unless the Zoning Administrator certifies to the Board of Zoning Appeals, after the notice of appeal has been filed with it, that by reason of the facts stated in the certificate a stay would in the opinion of the Zoning Administrator cause imminent peril to life or property. In such case, proceedings shall not be stayed except by order of the Board of Zoning Appeals or notice to the Zoning Administrator and on due cause shown.
- D. The Board of Zoning Appeals may, in conformity with the provisions of this Ordinance, reverse or affirm, in whole or in part, or modify the order, requirement, decision, or determination as may be appropriate under the circumstances.

10.04.120 Judicial Review

Any person or agency of the city government may appeal to a court of competent jurisdiction a decision of the Board of Zoning Appeals as provided under statutes of the State of Tennessee.

10.04.130 Penalties

Penalties for Violation of this Ordinance shall be pursuant to Section 15.08.020, Penalties for Violation of the Gallatin Zoning Ordinance.

10.04.140 Conflicting Regulations

Where there exists a conflict between any of the regulations or limitations prescribed in this Ordinance and any other regulations applicable to the same area, whether the conflict be with respect to the height of structures or trees, and the use of land, or any other matter, the more stringent limitation or requirement shall govern and prevail.

10.04.150 Severability

If any of the provisions of this Ordinance or the application thereof to any person or circumstances are held invalid, such invalidity shall not affect other provisions or application of the Ordinance which can be given effect without the invalid provision or application, and to this end, the provisions of the Ordinance are declared to be severable.

10.04.160 Effective Date

Whereas, the immediate operation of the provisions of this Ordinance is necessary for the preservation of the public health, public safety, and general welfare, and this Ordinance shall be in full force and effect from and after its passage by the Board of Mayor and

ATTACHMENT

7-4

Alderman and publication and posting as required by law. Adopted by the City of Gallatin on April 21, 2009.



9019 Overlook Blvd. Suite D-4
 Brentwood, TN 37027
 ph 615-377-1320 // f 615-377-3630
 rwArmstrong.com

SUMNER COUNTY REGIONAL AIRPORT

ENVIRONMENTAL ASSESSMENT

EXHIBIT 4-4: 2016 BUILD NOISE EXPOSURE

RECEIVED
 MAR 24 2014
 GALLATIN PLANNING
 & ZONING

SUMNER COUNTY REGIONAL AIRPORT
 1475 AIRPORT ROAD
 GALLATIN, TENNESSEE



ATTACHMENT

7-4

Tenn. Code Ann. § 42-6-105

ATTACHMENT 7-5

TENNESSEE CODE ANNOTATED
© 2014 by The State of Tennessee
All rights reserved

*** Current through the 2013 Regular Session ***

Title 42 Aeronautics
Chapter 6 Airport Zoning

Tenn. Code Ann. § 42-6-105 (2013)

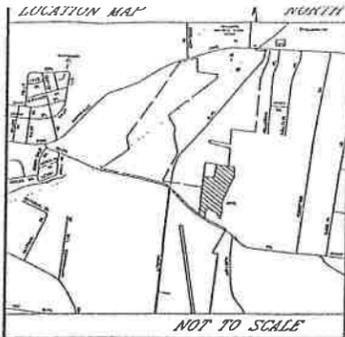
42-6-105. Certification of zoning plan.

Before the chief legislative body of a political subdivision may exercise the powers granted by § 42-6-103, the zoning plan shall be certified by the agency of the state government charged with fostering civil aeronautics and by a municipal or regional planning commission created under title 13, chapter 4, part 1; title 13, chapter 4, part 2; or §§ 13-2-101 and 13-2-102, if the planning commission exists or in its absence by the state planning office created by § 13-1-101 [repealed] or its successor.

HISTORY: Acts 1945, ch. 74, § 5; C. Supp. 1950, § 2726.24 (Williams, § 2726.51); impl. am. Acts 1972, ch. 542, §§ 1-3, 15; T.C.A. (orig. ed.), § 42-405.



About LexisNexis | Privacy Policy | Terms & Conditions | Contact Us
Copyright © 2014 LexisNexis, a division of Reed Elsevier Inc. All rights reserved.

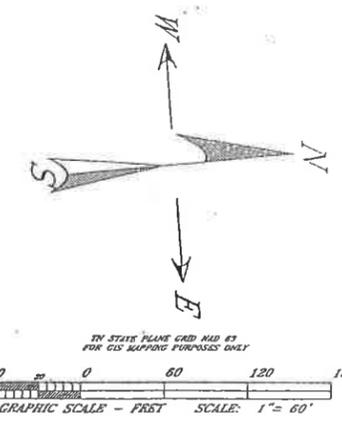


Boundary and Topographic Survey for Henry Holleman Property 2nd Civil District Sumner County Tennessee (Adjoins Gallatin City Limits)

Sumner County Regional
Airport Authority
R.B. 502 P. 70
Zoned: IR

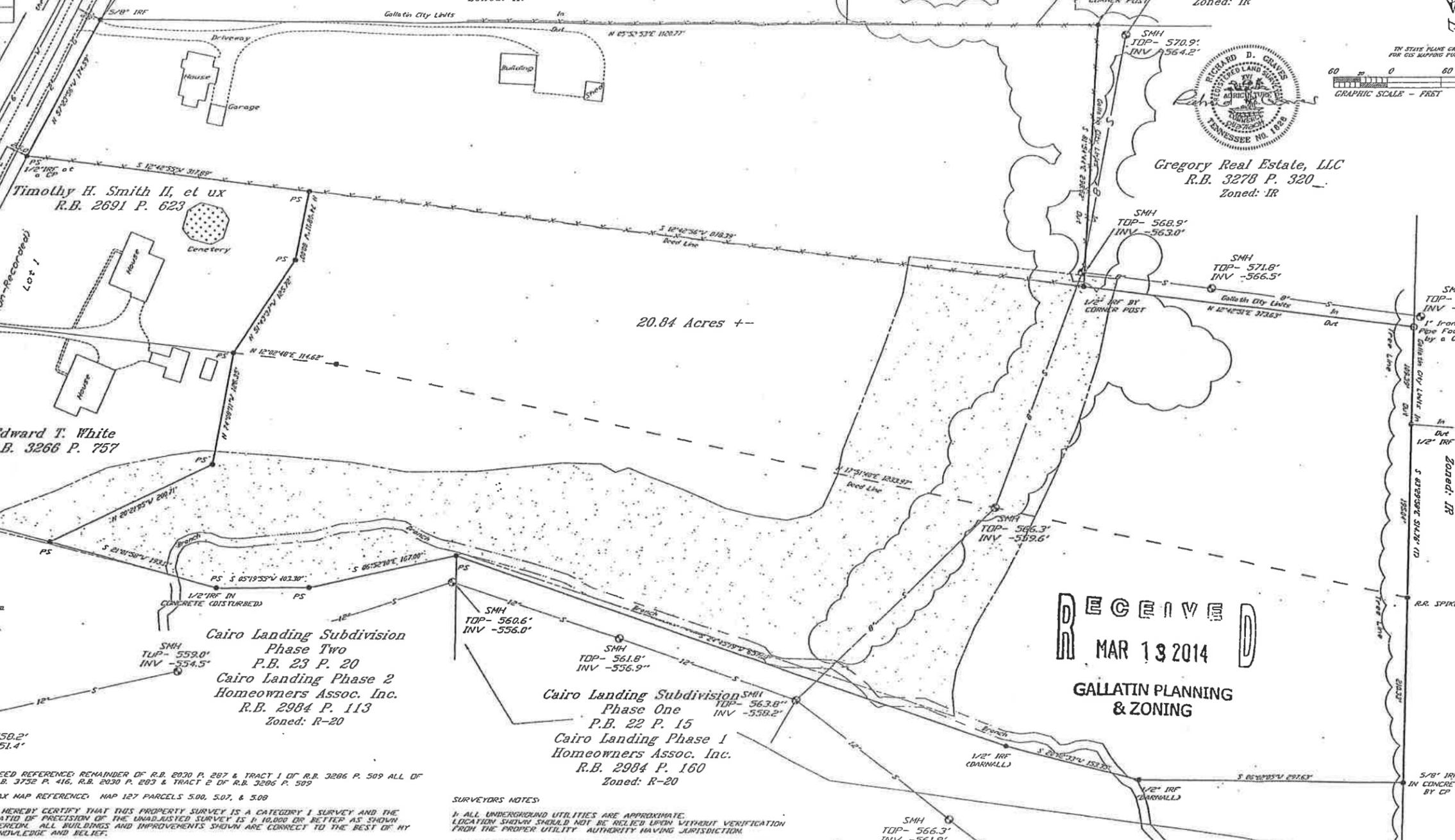
Ramsey Industrial
Center, Section Two
P.B. 19 P. 53
Lot 1
Joseph C. Merlo
R.B. 1175 P. 268
Zoned: IR

Odrick Gregory Industrial
Park Phase Three
P.B. 26 P. 323
Lot 10
Gary H. Branham, et ux
R.B. 3275 P. 552
Zoned: IR



Sumner County
R.B. 2043 P. 527
Zoning: Ag (Sumner County
Planning Region)

Cairo Road



RECEIVED
FEB 28 2014
GALLATIN PLANNING
& ZONING

RECEIVED
MAR 13 2014
GALLATIN PLANNING
& ZONING

Odrick Gregory Industrial
Park Phase Three
P.B. 26 P. 323
Lot 11
Gregory Real Estate, LLC
R.B. 3203 P. 50
Zoned: IR

- Legend**
- 1/2" IRON RE-BAR SET UNLESS OTHERWISE NOTED
 - ELECTRIC LINE
 - GASLINE
 - WATERLINE
 - SEWER LINE
 - UTILITY POLE
 - SEWER MANHOLE
 - IRON PIPE
 - CORNER POST
 - IRON RE-BAR FOUND
 - SET PRIOR SURVEY
 - FLOOD ZONE

**Cairo Landing Subdivision
Phase Two
P.B. 23 P. 20
Cairo Landing Phase 2
Homeowners Assoc. Inc.
R.B. 2984 P. 113
Zoned: R-20**

**Cairo Landing Subdivision
Phase One
P.B. 22 P. 15
Cairo Landing Phase 1
Homeowners Assoc. Inc.
R.B. 2984 P. 160
Zoned: R-20**

DEED REFERENCE: REMAINDER OF R.B. 2030 P. 287 & TRACT 1 OF R.B. 3286 P. 509 ALL OF R.B. 3732 P. 416, R.B. 2030 P. 283 & TRACT 2 OF R.B. 3286 P. 509
TAX MAP REFERENCE: MAP 127 PARCELS 500, 507, & 508

I HEREBY CERTIFY THAT THIS PROPERTY SURVEY IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:1000 OR BETTER AS SHOWN HEREIN. ALL BUILDINGS AND IMPROVEMENTS SHOWN ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: January 27, 2014

RICHARD D. GRAVES, Tenn. R.L.S. No. 1620

ZONING: R-40
TOTAL AREA BEING SURVEYED: 20.84 Acres +/-

OWNERS
Henry Holleman
P.O. Box 574
Gallatin, TN 37066

- SURVEYOR'S NOTES:**
1. ALL UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATION SHOWN SHOULD NOT BE RELIED UPON WITHOUT VERIFICATION FROM THE PROPER UTILITY AUTHORITY HAVING JURISDICTION.
 2. THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE POLICY. THEREFORE, THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONLY THE DOCUMENTS NOTED HEREIN WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH. THE SURVEYOR RESERVES THE RIGHT TO REVISE ANY EASEMENTS NOT PROVIDED FOR OR KNOWN OF PER THE DATE OF THIS SURVEY.
 3. ONLY PAPER COPIES OF THIS SURVEY WITH THE SURVEYOR'S ORIGINAL STAMP AND SIGNATURE WILL CONSTITUTE AN ORIGINAL COPY OF THIS SURVEY.
 4. SUBJECT TO ANY DRAINAGE THAT MAY CROSS THE PROPERTY DUE TO NATURAL CAUSES.
 5. SUBJECT TO ANY LEASES, RIGHT-OF-WAYS, ENCROACHMENTS, EASEMENTS, LIENS, ETC. THAT MAY EXIST AND/OR APPLY TO THE SUBJECT PROPERTY.

Prepared by:
Richard D. Graves
Land Surveying
1768 New Highway 52
Westmoreland, TN 37186
Phone: (615) 644-2077
Fax: (615) 644-3200

Job # 13031TSB

PC 0262-14

ITEM ?

AIRPORT ROAD INDUSTRIAL

General Description of Existing Development Patterns

The Airport Road Industrial special area is characterized by large lots with large-scale industrial and warehousing buildings deeply set back on the lot and surrounded by surface parking lots. Building types range from large metal buildings with limited brick and stone façade treatments to two-story office buildings with residential character. Landscaping is required by the Zoning Ordinance.

The area includes employment uses, but has few other commercial and services uses to serve workers and patrons of these businesses. Airport Road Industrial also includes the Sumner County Regional Airport.

The land here is used in low and high intensity manufacturing, wholesale trade, distribution, assembly, processing. These uses may in some cases generate nuisance characteristics. As a result, residential uses are not appropriate in this character area, but should be located in adjacent and nearby areas in order to provide housing near employment centers.

Location

Areas within this character area include the following:

- Developed and developing portions of Airport Road from north of Coles Ferry Road to US-31E/East Broadway, including the Gallatin Industrial Park and surrounding area

Intent

- Provide diverse industry

Development Strategies

The development pattern should seek to:

- Protect air and water quality
- Prevent adverse impacts to natural resources and surrounding population
- Address traffic impacts and circulation in site design
- Provide adequate buffers and limit visibility of industrial operations/parking from the public right of way
- Preserve existing residential areas on the fringe of the character area, but discourage expansion of residential uses in the character area

Implementation Measures

- ☞ Adopt updated requirements for PBP Zoning District

AIRPORT ROAD INDUSTRIAL

Anticipated level of change:

- Medium

Transportation

- High level of service
- Medium level of connectivity
- Properties accessed by public roads, railroad
- Regular-shaped, long blocks
- Roads characterized by curb, gutter

Infrastructure

- Public water and sewer available
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood and pocket parks

Primary Land Uses

- Light Industry
- Business Parks
- Warehouses
- Commercial
- Transportation/Communication/Utilities
- Commercial/Office/Retail
- Public/Institutional

Appropriate Intensity

- 0.5 FAR

Applicable Zoning Districts

Existing Zoning Districts

- IR, PBP, IG

Proposed Zoning Districts

- PBP (proposed updates)

ITEM 7

GALLATIN
On the Move
2020

PC0262-14

Development Strategies

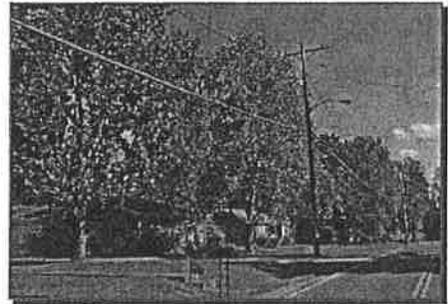
- Focus on reinforcing stability of more mature Suburban Neighborhood Established areas by encouraging more home ownership and maintenance or upgrade of existing properties
- Locate schools, community centers, or well-designed small commercial activity centers at suitable locations within walking distance of residences
- Enhance the pedestrian-friendly environment by adding sidewalks and creating other pedestrian-friendly multi-use trail/bike routes linking neighboring communities and major destinations such as libraries, neighborhood centers, health facilities, commercial clusters, parks, schools, etc.
- Add traffic calming improvements, sidewalks and increased street interconnections to improve walkability within existing neighborhoods
- Limit driveway spacing along the highway frontage and align driveways where needed to improve traffic flow
- Protect older subdivisions that lack detailed design-related covenants and restrictions

Implementation Measures

- ☞ *Develop residential infill guidelines applicable in Suburban Neighborhood Established areas in order to ensure that the scale and character of new development on vacant lots is compatible with existing development*



Typical suburban street in Halewood subdivision

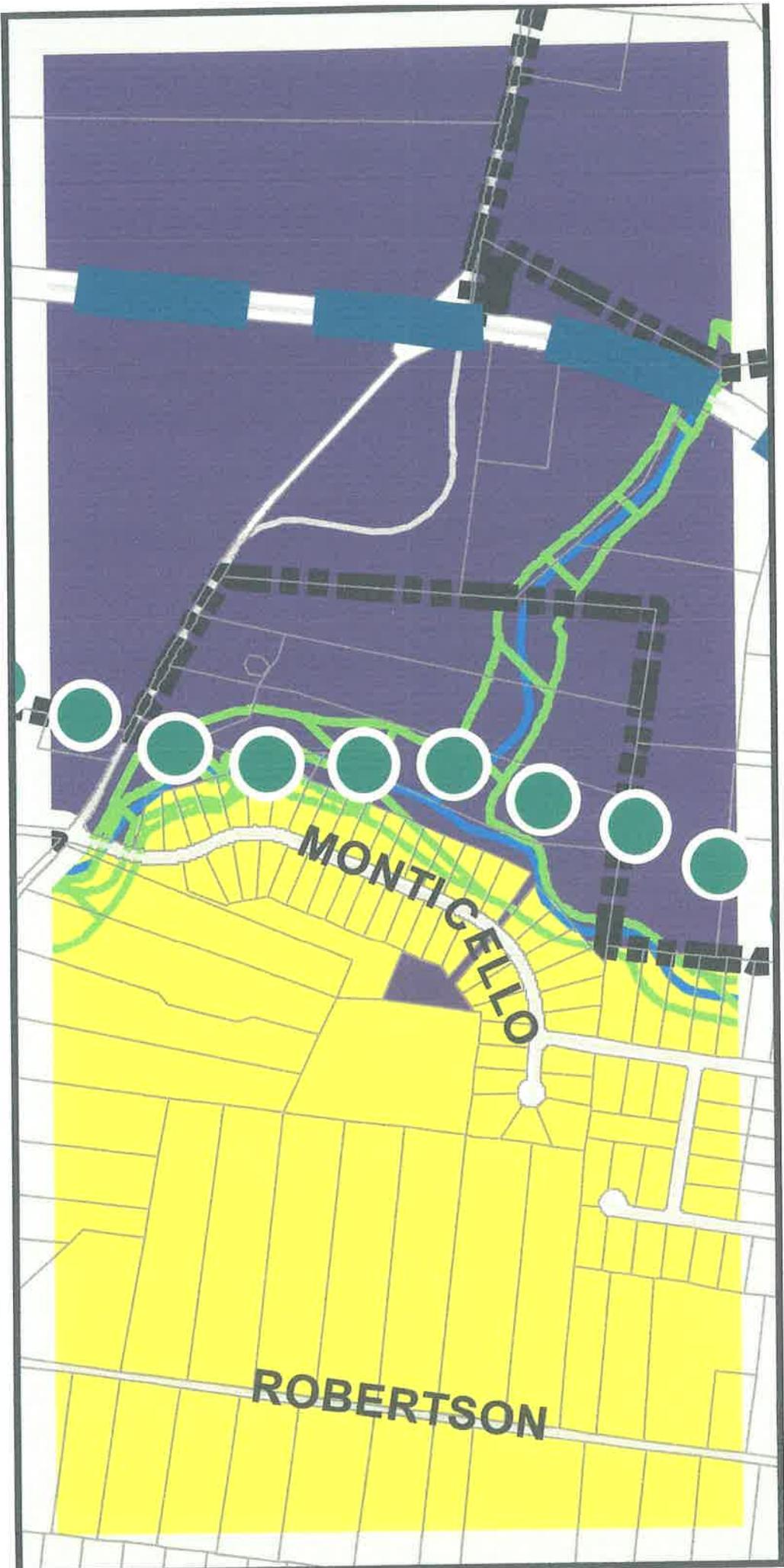


Typical suburban street in Woodvale subdivision

ITEM 2

GALLATIN
On the Move
2020

PC0262-14



PC 0262-14

ITEM 2