



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, July 28, 2014
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the agenda applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- **Call to Order**
- **Invocation**
- **Pledge of Allegiance**
- **Roll Call**
- **Approval of Prior Minutes: June 9, 2014 Work Session and June 23, 2014 Regular Meeting**
- **Public comments on Consent Agenda items**

CONSENT AGENDA

- | | | |
|-----------|---|------------------|
| 1. | GMRPC Resolution No. 2014-69
SURETY RENEWALS
CITY OF GALLATIN | PC0240-14 |
| | Applicant requests approval of the submitted surety renewals for 2014. | |
| 2. | GMRPC Resolution No. 2014-63
SHORT FUSE TRUCKING
BRUCE RAINEY & ASSOCIATES | PC0296-14 |
| | Owner and applicant requests approval of a Site Plan to construct a 12,500 square foot building for Short Fuse Trucking containing 5.47 (+/-) acres, located at 744 Airport Road. | |
| 3. | GMRPC Resolution No. 2014-62
CARELLTON - PHASE 2B
GREEN TRAILS LLC | PC0308-14 |
| | Owner and applicant requests approval of a Preliminary Plat for Carellton Phase 2B, a major subdivision, to create 24 single family lots, 25 multi-family lots, five (5) new public rights-of-way, and three (3) open space tracts on 17.94 (+/-) acres, located west of Carellton Drive. | |
| 4. | GMRPC Resolution No. 2014-68
THE HUNT CLUB, PHASE 2, SECTION 4, LOT 2B
PERRY ENGINEERING, LLC | PC0310-14 |
| | The owner and applicant request approval of a Minor Amendment to the Hunt Club Preliminary Master Development Plan and approval of a Final Master Development Plan for the Hunt Club, Phase 2, Section 4, proposed lot 2B containing 2.81 (+/-) acres, located at 1528 Hunt Club Boulevard. | |

5. **GMRPC Resolution No. 2014-64** **PC0312-14**
ODRIC GREGORY INDUSTRIAL PARK - PHASE 4
BLUE RIDGE SURVEYING

Owner and applicant request approval of a Final Plat for Odric Gregory Industrial Park, Phase 4, a major subdivision, to create three (3) lots and dedicate a right-of-way on 9.20 (+/-) acres located on Hope Court.

6. **GMRPC Resolution No. 2014-66** **PC0229-14**
ELK ACRES, SECTION 3A
GOODALL INC BUILDERS

Owner and applicant request the City of Gallatin to accept the public improvements for Savannah Avenue and Callie Avenue located in Elk Acres, Section 3A subdivision. The property contains 21 lots on 6.01 (+/-) acres.

REGULAR AGENDA

7. **GMRPC Resolution No. 2014-67** **PC0305-14**
GALLATIN INDUSTRIAL PARK, PHASE 2 - LAND USE AMENDMENT
CITY OF GALLATIN

PUBLIC HEARING:

The owners/applicant have requested to change the *Gallatin on the Move 2020 – City of Gallatin General Development and Transportation Plan update 2008-2020* – Community Character Area map by changing the land use designation of a portion of a parcel comprising 9.34 (+/-) acres, from the Rural Community Character Area to the Airport Road Industrial Character Area, amending the Major Thoroughfare Plan to extend Gateway Drive approximately 1066 feet to the east and relocating the designated alignment of a proposed greenway, all located east of Gateway Drive, north of Hartsville Pike and south of Roundtree Road, and amending the plan narrative to support the proposed changes.

8. **OTHER BUSINESS**
1. BERETTA SITE PLAN AND REZONING OF PARTS OF GALLATIN INDUSTRIAL PARK, PHASE 2
 2. MPO 2040 LRTP CALL FOR PROJECTS
9. **MOVE TO ADJOURN**

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
WORK SESSION

June 9, 2014

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Vice Mayor John D. Alexander
Dr. Rick Orgain
Shirlene Campbell, Mayor's Designee
John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Katherine Schoch, Assistant Director of Planning
Kevin Chastine, Planner II
Zach Wilkinson, Engineering Project Manager
James Fenton, Director EDA
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular work session on Monday, June 9, 2014, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

1. Discuss proposed Final Master Development Plan and Preliminary Plat for three (3) lots and right-of-way for Hunter Pointe, Phase 1 located on Long Hollow Pike and SR 386 (PC0280-14 and PC2081-14).

Ms. Katherine Schoch, Assistant Director of Planning, said this item was deferred at the last Planning Commission meeting and the applicant is here to address some of the issues.

Mr. Caleb Thorn, with Ragan Smith Associates, said he has met with staff and worked diligently to address the outstanding items. The focus on the last Planning Commission meeting was primarily on construction comments and the traffic impact study comments. The traffic impact study comments are tied to the Final Master Development Plan. Out of the eight (8) comments, comments one (1) through six (6) and comment eight (8) are agreed upon revisions to the traffic impact study. Comment seven (7) was discussed pertaining to the traffic impact study. The applicant will supply a letter to staff of potential, future improvements that may or may not occur at SR386 and SR174. Staff has asked the applicant to look at the proposed improvements, including alignment of travel lanes, at the intersection, and the applicant has agreed. A revision to the traffic study will be submitted addressing traffic assignment based on the modified network departments.

Mr. Zach Wilkinson, Engineering Project Manager, said Engineering would like to have a set of approved construction plans before the final plat is approved.

A brief discussion was held on some of the sureties that have been held for a long period of time, such as the Cambridge Condos and the Cottages at Last Plantation. Mr. Kalisz said it is less costly for a developer to continue to renew the surety than to make the improvement. The Planning Commission agreed that a limited time might be a solution.

Mr. Ramsey said our requirements are financially beneficial to the developer and financially negative for the City of Gallatin.

Ms. Schoch suggested that more time should be spent at Planning Commission meetings on individual sureties with each item summarized and reviewed before approvals. Often too much is required of the surety.

Chair Dempsey suggested a limited time on sureties and renewals.

Mr. Kalisz said the common opinion was that the City would not install landscaping if a developer does not complete the landscape. He said there is no difference between the Engineering Division recalling a subdivision surety for infrastructure. If the Planning Commission will approve a limited time for sureties, this may solve the problem.

Mr. McCord said the ABC site is what initiated the discussion of this issue because the site surety was \$850,000, which was more than is needed to reclaim the site. Ms. Schoch suggested that just enough surety is needed to restore.

Dr. Orgain suggested that staff come back with recommendations and time restriction.

Mr. Puryear said it may be hard to determine a reclamation fee because it would depend on the stage of development. A bond could be determined on the amount of the site improvements.

Dr. Orgain reiterated that staff should come back with recommendations. Ms. Schoch asked if some requirements should be eliminated. Mr. Ramsey asked staff to begin with a surety time limit. Mr. McCord said one year, the same as Engineering requires on a maintenance bond, might be a good time limit.

Mr. Puryear suggested a penalty for renewal.

5. Discuss proposed Unified Land Development Code.

Mr. McCord said he proposes to look at some code changes and transition the Zoning Ordinance, which was last adopted in 1998, into a Unified Land Development Code. All of the land development regulations and subdivision regulations and stormwater regulations would be compiled into a single unified land development code. The code would be codified by the Municipal Code Corporation, which is the company that currently codifies the City's Municipal Code.

Mr. McCord suggested considering a codification or a listing of permitted uses that are tied to the National Industry Classification System. This process would also allow staff an opportunity to review the code and find any problem areas. The strategy is to develop an interim land development code and present a chapter each month to the Planning Commission for review. Mr. McCord briefly explained sample changes that were included in the Planning Commission packet.

Chair Dempsey said he would like to see a chapter every two (2) months to allow staff time for day to day activities during the process. Mr. Ramsey suggested that the first chapter come to the Planning Commission and a decision be made on the process including a possible steering committee to review the new code.

Mr. McCord said he would like Engineering Division, and others who use the code, to be involved in the process. He said the he would also contact MTAS for direction.

6. Other Business

Dr. Orgain asked about the position of Community Development Coordinator. Mr. McCord said the position was eliminated in the budget.

7. Adjourn

There being no further business, Chair Dempsey adjourned the meeting at 6:15 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
MEETING

June 23, 2014

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Vice Mayor John D. Alexander
Shirlene Campbell, Mayor's Designee
John Puryear

STAFF PRESENT

Bill McCord, Director of Planning
Katherine Schoch, Assistant Director of Planning
Kevin Chastine, Planner II
Robert Kalisz, Planner II
Nick Tuttle, City Engineer
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Josh Cross, *Gallatin News Examiner*
Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular meeting on Monday June 23, 2014, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Vice Mayor Alexander led the opening prayer and Chair Dempsey led the Pledge of Allegiance. Ms. Mudrak called the roll.

Approve Prior Minutes

Mr. Wilson motioned to approve the May 5, 2014 Planning Commission Work Session and the May 19, 2014 Planning Commission Regular Meeting Minutes as submitted. Vice Mayor Alexander seconded the motion and the motion passed by unanimous vote.

Public Comment on Consent Agenda Items

Chair Dempsey opened public comment on consent agenda items. No one came forward to speak. Chair Dempsey asked if any owner or applicant requested to remove any item from the consent agenda. No owner or applicant/representative requested to remove any item from the consent agenda. Chair Dempsey asked if any Planning Commission member wished to remove any item from the consent agenda. No member requested to remove any item from the consent agenda; therefore, Chair Dempsey

motioned to approve the consent agenda as submitted. Vice Mayor Alexander seconded the motion and the motion passed by unanimous vote.

Agenda

1. GMRPC Resolution No. 2014-44 – PC0240-14 – Surety Renewals – City of Gallatin – Applicant requests approval of the following surety renewals for 2014:

- Twin Eagles, Ph. 9, Sec. A; PC0133-13 site surety one (1) year renewal and extension for \$8,250.
- Baker's Crossing, Ph. 2; PC9843-11 subdivision surety one (1) year renewal and extension for \$303,000.
- Cumberland Place North, Ph. 1, Sec. 4; PC File #1-32-07C subdivision surety one (1) year renewal and extension for \$27,000.
- Greensboro Village, Ph. 6, Sec. 1; PC File #1-50-06C subdivision surety one (1) year renewal and extension for \$52,000.
- Carellton, Ph. 1A; PC File #1-15-08C subdivision surety one (1) year renewal and extension for \$554,000.
- Lenox Place, Ph. 13 & 14; PC File #2-10-09S utility surety one (1) year renewal and extension for \$10,000.

This item was approved by consent agenda.

2. GMRPC Resolution No. 2014-44 – PC0278-14 – Lenox Place Phases 5-7 – Goodall Homes and Communities, Inc. – The owner and applicant requests approval of a minor amendment to the Lenox Place Preliminary Master Development Plan and approval of a revision to the Final Master Development Plan for Lenox Place, Phases 5-7, containing 22.55 (+/-) acres located at 816 Lock 4 Road and 395 Devon Chase Hill.

This item was approved by consent agenda with the following conditions:

1. Planning Commission approved the proposed changes as a minor amendment to the approved Lenox Place Preliminary Master Development Plan.
2. The applicant shall submit a detailed landscaping plan for Phase 7 prior to the issuance of any building permits for Phase 7.
3. The applicant shall submit a site surety in an amount to be determined by the applicant and approved by the Planning Department, to the Planning Department prior to the issuance of any building permits for Phase 7.
4. The applicant shall submit a Final Plat for Phase 7 and the plat shall be recorded prior to the issuance of any building permits for Phase 7.
5. Provide detailed grading and Erosion Prevention and Sediment Control (EPSC) Plans prior to issuance of a Land Disturbance Permit.

6. Provide calculations detailing the compensatory cut and fill in the floodplain prior to issuance of a Land Disturbance permit.

3. GMRPC Resolution No. 2014-43 – PC0281-14 – Hunter Pointe Phase 1 Roadway and Lots 1-3 – Ragan-Smith Associates, Inc. – The owner and applicant request approval of a Preliminary Plat for Hunter Pointe, Phase 1 roadway and lots 1-3, containing 22.16 (+/-) acres, located at 1113 Long Hollow Pike.

This item was approved by consent agenda with the following conditions:

1. The Preliminary Plat is subject to the approval of the FMDP for Hunter Pointe, Phase 1, Roadway and Lots 1-3 (PC0280-14).
2. Correct the zoning shown for Tax Map 125 Part of Parcel #125//016.00 and Part of Parcel 017.00 from Planned General Commercial (PGC) to Agriculture (A) north of Long Hollow Pike. Label the remaining Parts of Parcels 17.00 and 016.00 east of SR386 as split-zoned Planned General Commercial (PGC) and Planned Business Park (PBP).
3. Provide sidewalk easements as necessary to construct the six (6) foot wide sidewalks as required by G.Z.O. Section 13.09.030, *Sidewalks*.
4. When warranted, the signal at Long Hollow Pike and Wendling Boulevard shall include pedestrian features including crosswalks and pedestrian signals.
5. A site surety, for \$5,340, shall be submitted to cover the installation of street trees shown along Wendling Boulevard. The site surety shall be submitted to the Planning Department prior to the recording of the Final Plat for this project.
6. Submit detailed plans and specifications for water and sanitary sewer installation to the Department of Public Utilities for review and approval.
7. Off-site roadway improvements shall be addressed as shown in the approved TIS at the Construction Plan stage.
8. Construction plans shall be approved prior to Planning Commission's consideration of the Final Plat.
9. A subdivision surety, in an amount to be determined by the Engineering Division, shall be submitted prior to the recording of the Final Plat.
10. A utility surety, in an amount to be determined by the Department of Public Utilities, shall be submitted prior to the recording of the Final Plat.
11. A copy of the cross access agreement for Lots 1 and 2 shall be submitted at the Final Plat stage.
12. Final Plat shall be 18" x 24" for recording.
13. Submit three (3) corrected, folded copies of the Preliminary Plat to the Planning Department prior to submitting the Final Plat for review and approval.

4. GMRPC Resolution No. 2014-57 – PC0291-14 – Odric Gregory Industrial Park, Phase 4, Re-subdividing Lot 11 of Phase 3 – Blue Ridge Surveying Inc. – Owner and applicant request approval of a Preliminary Plat for Odric Gregory Industrial Park, Phase 4, a major subdivision, to create three (3) lots and dedicate a right-of-way on 9.20 (+/-) acres located on Hope Court.

This item was approved by consent agenda with the following conditions:

1. Correct the zoning for Tax Map 127 and Parcel 005.08 from 'R40' to 'MRO'.
2. Identify the subdivision name and plat book and page number of all adjacent subdivisions.
3. Provide a P.U.D.E. wide enough to accommodate the proposed electric utility line extension to the property to the south as required by the Gallatin Department of Electricity.
4. Provide construction plans and drainage calculations to the Engineering Division for review and approval prior to submittal of final plats.
5. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to submittal of final plats.
6. Submit three (3) corrected and folded copies of the Preliminary Plat to the Planning Department for review and approval.

5. GMRPC Resolution No. 2014-52 – PC0292-14 – Cairo Estates – Phase 1, 2, & 3 – Rogers Engineering Group – Owner and applicant request approval of a Final Master Development Plan for Cairo Estates Phases 1, 2 and 3, to create 63 single family residential lots, two (2) public rights-of-way, and two (2) open space tracts located east of Airport Road and north of Cairo Road.

This item was approved by consent agenda with the following conditions:

1. Modify the stream buffer to no more than 50 feet in width to minimize impacts or encroachment on lots. The stream buffer may be modified to extend along the rear of lot lines as an alternative buffer to the 50 foot wide buffer.
2. Homes may be built within the floodplain if the finish floor elevation of the home is constructed one (1) foot above the Base Flood Elevation (BFE) for floodplain areas with established BFEs or three (3) foot above the highest adjacent grade for floodplain areas without an established BFE, as required in Section 10.03.070.B.
3. Provide detention per stormwater ordinance or provide request for a waiver and supporting calculations. If a request is made to waive detention, water quality improvements shall be provided to the satisfaction of the city engineer.
4. Compensatory cut shall be provided for any filling in the floodplain per TG103.6 of the Subdivision Regulations.
5. Per stormwater ordinance, a water quality buffer is required 25' from top of bank or in the case of FEMA mapped floodways; the actual floodway is the buffer. Label any floodway buffer. No grading shall occur within the floodway buffer unless appropriately permitted.
6. The applicant shall submit a site surety, in the amount to be calculated by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.
7. Submit three (3) corrected folded copies, one (1) full size and two (2) half size plans, of the site plan to the Planning Department.

6. GMRPC Resolution NO. 2014-49 – PC0294-14 – Stratford Park, Phase 4 ,Section 1 – Barge Waggoner Sumner & Cannon – Owner and applicant request approval of a Final Plat for Stratford Park, Phase 4, Section 1 subdivision, to create fourteen (14) lots, three (3) common area open space tracts, and dedication of rights-of-way for two (2) street extensions on 5.60 (+/-) acres, (Tax Map 114 Parcel 060.00) located on East Sagewood Drive and Stratford Park Boulevard.

This item was approved by consent agenda with the following conditions:

1. Identify and label the open space tracts (Tracts "A", "B" and "C") and provide a plat note describing the maintenance responsibility for these tracts. (Tract "A" is 14,553 sq. ft., Tract "B" is 21,894 sq. ft., Tract "C" is 3,119 sq. ft.)
2. Label "50'" stream buffer.
3. Submit copy of Offer of Irrevocable Dedication prior to recording of Final Plat.
4. Submit a site surety, in the amount to be determined by the applicant for review and approval by the Planning Department, prior to issuance of any building permits.
5. Water and sanitary sewer installations have not been accepted as of this date.
6. Provide signage check in amount determined by Engineering Division.
7. Provide Performance Surety in amount determined by Engineering Division.
8. Provide signed agreement for contribution to GreenLea Blvd project. Amount for Phase 4, Section 1 is \$5,950.
9. Prior to acceptance of R-O-W, an as-built survey shall be provided.
10. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to submitting the mylars for recording.
11. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

7. GMRPC Resolution No. 2014-50 – PC295-14 – Stratford Park, Phase 4, Section 2 – Barge Waggoner Sumner & Cannon – Owner and applicant request approval of a Final Plat for Stratford Park, Phase 4, Section 2 subdivision, to create ten (10) lots, two (2) common area open space tracts and dedication of right-of-way for a new street section, on 2.59 (+/-) acres, (Tax Map 114 Parcel 060.00) located on East Sagewood Drive.

This item was approved by consent agenda with the following conditions:

1. Identify and label the open space tracts (Tracts "A" and "B") and provide a plat note describing the maintenance responsibility for these tracts. (Tract "A" is 13,119 sq. ft., Tract "B" is 4,800 sq. ft.)
2. Submit copy of Offer of Irrevocable Dedication prior to recording of Final Plat.
3. Add surrounding zoning "MRO" to adjacent property, Future Stratford Park Phase 4, Section 1
4. Submit a site surety, in the amount to be determined by the applicant for review and approval by the Planning Department, prior to issuance of any building permits.
5. Provide property monumentation along front lot lines.
6. Provide Signage Check in amount determined by Engineering Division.
7. Provide Performance Surety in amount determined by Engineering Division.
8. Provide signed agreement for contribution to the GreenLea Blvd. project. Amount for phase 4 section 2 is \$4,250.
9. Prior to issuance of building permits for Phase 4 Section 2, Phase 4 Section 1 roadway shall be constructed to the binder level or provide temporary turnaround easement as part of Phase 4, Section 2 and add note indicating turnaround shall be constructed prior to issuance of building permits.

10. Prior to acceptance of R-O-W, an as-built survey shall be provided.
11. Water and sanitary sewer installations have not been accepted as of this date.
12. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to submitting the mylars for recording.
13. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

8. GMRPC Resolution No. 2014-54 – PC0299-14 – Mid-TN Industrial Propone – Rogers Engineering Group – Owner and applicant requests approval of a Site Plan for a 30,000 gallon propane tank and related facilities behind an existing warehouse, zoned Commercial General (CG), at 513 Red River Road.

This item was approved by consent agenda with the following conditions:

1. The Planning Commission determined the proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance.
2. The Planning Commission determined the proposed alternative architectural plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.

9. GMRPC Resolution No. 2014-51 – PC0303-14 – 118 Public Square – Signs – Ray Bowles Estate – Executor and applicant request an alternative Sign Plan Approval under Gallatin Zoning Ordinance Subsection 13.07.095, to install two (2) multi-tenant projecting signs on the historic First and People’s National Bank Building. The property is located at 118 Public Square, (S.B.C. Tax Map # 126C/F/009.00) and is zoned Core Commercial (CC).

This item was approved by consent agenda with the following condition:

1. The applicant shall obtain an approved sign permit prior to installation of the signs.

10. GMRPC Resolution No. 2014-42 – PC0280-14 – Hunter Pointe Phase 1 – Ragan-Smith Associates Inc. – The owner and applicant request approval of a Final Master Development Plan for Hunter Pointe, Phase 1, roadway and lots 1-3, containing 22.16 (+/-) acres, located at 1113 Long Hollow Pike.

Ms. Katherine Schoch, Assistant Director of Planning, presented the staff report and said the owner and applicant request approval of a Final Master Development Plan for Phase 1 of the Hunter Pointe Development. Staff met with the applicant last week and the Engineering Division is comfortable that all off the outstanding construction drawings and the traffic impact study will be addressed. Staff recommends approval of the Final Master Development Plan with the conditions listed in the staff report.

Chair Dempsey asked Mr. Nick Tuttle, City Engineer, if there were any engineering issues. Mr. Tuttle said there are only a few minor corrections needed to the traffic impact study. Engineering is comfortable recommending approval of the Final Master Development Plan.

Mr. Caleb Thorn, with Ragan Smith Associates, said he looks forward to approval of the Final Master Development Plan based on the staff conditions.

Chair Dempsey motioned to approve GMRPC Resolution 2014-42 with the following conditions:

1. Provide appropriate access spacing on Wendling Boulevard per *Gallatin on the Move 2020 General Development and Transportation Plan*. Specifically, the accesses to Parcels B, C, D, and E are in violation of the 2020 Plan. The spacing shall be 235 feet for adjacent drives per the 2020 Plan.
2. Provide 40-foot throat length (right-of-way to first conflict point). All accesses off that throat lengths shall be compliant with the *Gallatin on the Move 2020 General Development and Transportation Plan*.
3. Address all street signage and striping comments from Construction Plan review, specifically the stop sign/stop bar at intersection of Wendling Boulevard and Long Hollow Pike.
4. Off-site roadway improvements shall be addressed as shown in the approved TIS at the Construction Plan stage.
5. Construction plans shall be approved prior to Planning Commission's consideration of the Final Plat.
6. The Traffic Impact Study shall be approved prior to final staff approval of the Final Master Development Plan.
7. Submit details of all proposed permanent signs to the Planning Department for review and approval in compliance with G.Z.O. Section 13.07.065.F, *Master Signage Plan*, with each Final Master Development Plan. All signs shall comply with G.Z.O. Section 13.07, *Sign Regulations*. Sign permits shall be obtained prior to the installation of any signs on site.
8. Provide sidewalk easements as necessary to construct the six (6) foot wide sidewalks as required by G.Z.O. Section 13.09.030 *Sidewalks*.
9. When warranted, the signal at Long Hollow Pike and Wendling Boulevard shall include pedestrian features including crosswalks and pedestrian signals.
10. A site surety for \$5,340 shall be submitted to cover the installation of street trees shown along Wendling Boulevard. The site surety shall be submitted to the Planning Department prior to the recording of the Final Plat for this project.
11. Submit detailed plans and specifications for water and sanitary sewer installation to the Department of Public Utilities for review and approval.
12. Submit five (5) corrected, folded copies of the updated Preliminary Master Development Plan to the Planning Department. One (1) stamped approved copy will be placed in the City Recorder's Office and one (1) stamped approved copy will be returned to the applicant.
13. Submit three (3) corrected, folded copies of the Final Master Development Plan to the Planning Department.

Mr. Ramsey seconded the motion and the motion passed by unanimous vote.

11. GMRPC Resolution No. 2014-53 – PC0297-14 – GAP Gallatin TN – Cell Tower – Capital Telecom – Owner and applicant requests approval of a Site Plan to construct a 150 foot tall monopole stealth design cell tower on a .06 (+/-) acre leased area, zoned Commercial General (CG), located at the GAP Distribution Center.

Mr. Kevin Chastine, Planner II, presented the staff report and said the owner and applicant is requesting approval of a site plan for a 150 foot tall monopole style stealth tower, which will provide space for five (5) antennas. The top 50 feet of the tower will be covered with tree limbs and the pole will be painted brown to look like a pine tree. The applicant has met all requirements for a cell tower site plan and staff recommends approval of the site plan with the conditions listed in the staff report.

Chair Dempsey asked Mr. Tuttle if there were any engineering concerns with the project. Mr. Tuttle said there were no engineering concerns with the project.

Mr. Phillip Head, with Waller, Lansden, Dortch and Davis, represented the applicant and said this is a stealth installation to make the site more aesthetically pleasing and cause less impact to the community.

Mr. Ramsey motioned to approve GMRPC Resolution No. 2014-52 with the following condition:

1. Submit a Tower/Structural Removal surety, in the amount of to be determined by the applicant for review and approval by the Planning Department, prior to issuance of any building permits.

Ms. Campbell seconded the motion and the motion passed by unanimous vote.

12. GMRPC Resolution No. 2014-55 – PC0300-14 – Gallatin Mini Storage – Rogers Engineering Group – Owner and applicant requests approval of a change of use Site Plan to convert an existing 7,815 square foot retail building into a mini-warehouse building on a 1.14 (+/-) acre lot, zoned Mixed Use General (MUG), located at 1320 South Water Avenue.

Mr. Chastine presented the staff report and said the owner and applicant requests approval of a change of use Site Plan to convert the existing Dollar General Store to expand the Gallatin Mini Storage Development. The applicant is requesting to add five roll up doors on the southern elevation for storage facility access. The windows in the front of the elevation will be blocked and the sign will be refurbished to match the existing mini-storage sign. A seven foot black wrought iron fence would be added to the east and south sides of the site. Staff recommends approval of the site plan with the conditions listed in the staff report.

Chair Dempsey asked Mr. Tuttle if there were any engineering concerns with the project. Mr. Tuttle said the fence is shown along the perimeter of the property which is gated. This may cause an issue if the front access is gated; however, this access is for emergency use only. The primary access would be from Nichols Lane.

Mr. Richard Jones, with Rogers Engineering, represented the applicant and said he is in agreement with all staff conditions.

Vice Mayor Alexander motioned to approve GMRPC Resolution 2014-55 with the following conditions:

1. The Planning Commission determined the proposed alternative bufferyard plan meets the requirements in Section 13.04.100.C of the Gallatin Zoning Ordinance.

2. The applicant shall submit a detailed sign package application for review and approval prior to the installation of the new sign face.
3. A sidewalk will be built along Highway 109 as part of the TDOT Highway 109 widening project.
4. No barbed wire shall be permitted within the front yard along Nichols Lane and South Water Avenue. Barbed wire may be installed behind the Minimum Building Setback Line (M.B.S.L.).
5. Submit three (3) corrected folded copies, one (1) full size and two (2) half size plans, of the site plan to the Planning Department.

Mr. Wilson seconded the motion and the motion passed by unanimous vote.

13. GMRPC Resolution No. 2014-58 – PC0293-14 – Odric Gregory Industrial Park, Phase 4 – Lot 1 – Klobner Engineering Services – Owner and applicant request approval of a Site Plan for Odric Gregory Industrial Park, Lot 1 Site Plan, Phase 4, to construct a 25,300 square foot building on proposed Lot 1 and a shared detention pond to serve proposed Lots 1 thru 3 on proposed Lot 3, containing 9.20 (+/-) acres, located at Hope Court and Caroline Way.

Mr. Robert Kalisz, Planner II, presented the staff report and said the owner and applicant is requesting a site plan approval to construct a 25,300 square foot building and a shared detention pond. Future buildings are indicated on the site plan and the proposed right-of-way construction for Carolyn Way. Separate site plan applications will be required for each of the remaining lots. The final architectural elevations do not meet the 70 percent brick or stone requirements. This is a typical architectural elevation for the Odric Gregory industrial buildings, which has been constructed throughout the industrial park with the same colors as the other buildings. Staff recommends approval with the conditions listed in the staff report.

Mr. Josh Lyon, with Corporate Engineering, represented the applicant and said he agreed with all staff conditions of approval.

Mr. Ramsey motioned to approve GMRPC Resolution 2014-58 with the following conditions:

1. The Planning Commission determined the proposed alternative architectural plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.
2. Provide a 12 foot wide drainage access easement along the northern property boundary of proposed Lot 3 to allow access to the stream buffer and drainage easement.
3. Submit a site surety, in the amount of to be determined by the applicant for review and approval by the Planning Department, to the Planning Department, prior to issuance of any building permits.
4. Prior to obtaining building permits for this site the final plat for the Re-subdivision of Lot 11, Odric Gregory Industrial Park, Phase 4 shall be recorded in the Sumner County Register of Deeds office.
5. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to submittal of the final plat.
6. Provide detailed plans and specifications for water and sanitary sewer to the Industrial Pre-treatment Division for review and approval prior to submittal of the final plat.

7. Proposed facility shall comply with all applicable cross-connection control and sewer use regulations.

Mr. Wilson seconded the motion and the motion passed by unanimous vote.

14. GMRPC Resolution No. 2014-59 – PC0298-14 – Gallatin Industrial Center, Phase 2 – Re-subdivision of Lot 2 – Blue Ridge Surveying Inc. – Owner and applicant request approval of a Final Plat for Re-subdivision of Lot 2, Gallatin Industrial Center, Phase 2, to create six (6) lots and dedicate two (2) unimproved rights-of-way on 206.23 (+/-) acres located at Gateway Drive.

Mr. Kalisz, said the Planning Commission approved the final plat, for Gallatin Industrial Center, Phase 2, which created two lots and a right-of-way. The owner and applicant is requesting a final plat for the re-subdivision of Lot 2 to create six (6) lots and dedicate two unimproved rights-of-way. Gateway Drive would be extended and a right-of-way would be provided to connect with Commerce Way. Staff recommends approval of the final plat and rights-of-way with the conditions listed in the staff report.

Chair Dempsey asked Mr. Tuttle if he had any engineering concerns with the request. Mr. Tuttle said he did not have any engineering concerns with the request.

Mr. Brian Reifhschneider, with Blue Ridge Surveying, represented the applicant and said he agreed with staff conditions of approval. EDA requested that the Planning Commission determine a name for the connector road. Chair Dempsey said staff would make that determination.

Mr. Ramsey motioned to approve GMRPC Resolution 2014-59 with the following conditions:

1. Provide agent letter or have all property owners sign application.
2. Provide all property owners information and current zoning of the plat areas. Provide Deed Book information for Odric Gregory's property in surveyor's note.
3. Provide a Certificate of Ownership and Dedication for all property owners.
4. Provide separate acreage and zoning for portion of property along eastern property boundary of Lot 7 (east of pond).
5. Provide separate acreage and zoning for portion of property along eastern property boundary of Lot 5.
6. Label box culvert structure crossing under Gateway Drive from Lot 2 to Lot 7.
7. Label outlet pipe structure into Gateway Drive right-of-way extension and end of cul-de-sac.
8. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to submitting the mylars for recording.
9. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

Mr. Wilson seconded the motion and the motion passed by unanimous vote.

Other Business

1. GMRPC Resolution No. 2014-60 – PC0164-13 – ABC Technologies Expansion – Klober Engineering Services – Owner and applicant requests approval of the Revised Architectural Elevation for the ABC Technologies Expansion Facility consisting of a 181,620 square foot building expansion located at 400 ABC Boulevard.

Mr. Kalisz presented the staff report and said the owner and applicant is requesting approval of revised architectural elevations, as presented at the June 9, 2014, Planning Commission Work Session. The Planning Commission asked for more Roman Blue panels on the railroad side of the building. Roman Blue panels were added to the architectural elevation. Staff recommends approval of the Revised Architectural Elevation with the conditions listed in the staff report.

Mr. Ramsey motioned to approve GMRPC Resolution 2014-60. Chair Dempsey seconded the motion and the motion passed by unanimous vote.

2. GMRPC Resolution No. 2014-61 – PC0273-14 – ABC Group Properties, Inc. Subdivision – Arnold Consulting Engineering Services – Owner and applicant request approval of a Minor Subdivision Final Plat for the ABC Group Properties, Inc., to create one (1) lot, and dedicate a right-of-way, on 15.11 (+/-) acres, consisting of a portion of Tax Map 127, Parcel 062.00 and Tax Map 127, Parcel 063.00 located at 400 ABC Boulevard.

Mr. Kalisz presented the staff report and the original approved plat. The owner was selling a portion of the property and decided to take out one lot. Lot 1 of the revised plat was Lot 2 of the original plat. Nothing else has changed.

Ms. Schoch said there is a dispute over the exact location of one of the property lines for Lot 1 of the original plat. Mr. Kalisz stated it was decided the owners would follow the original deed.

Vice Mayor Alexander motioned to approve GMRPC Resolution 2014-61 with the following conditions:

1. Provide Professional Seal of Surveyor per Chapter 18, Section 62-18, Part 1, T.C.A. and signature prior to recording of final plat.
2. Provide Irrevocable Offer of Dedication prior to recording the final plat.
3. Provide owners name and deed book and page number(s), and correct tax map and parcel number to adjacent property located to the west.
4. Provide a perpetual, non-exclusive rail easement to property owner(s) of the adjacent property located to the west.
5. Revise the Stormwater Inspection and Maintenance Agreement note to reference Lot 1.
6. Update purpose of final plat in general notes to reflect only one lot and Lot 1.
7. Submit three (3) corrected and folded copies of the Final Plat to the Planning Department for review and approval prior to submitting the mylars for recording on 18" x 24" sheets.
8. Submit two (2) mylars and one (1) vellum copies of the Final Plat on 18" x 24" sheets, including all original signatures, along with the recording fee to the Planning Department for recording.

Mr. Wilson seconded the motion and the motion passed by unanimous vote.

Chair Dempsey said the Planning Commission will miss Joe Thompson, City Attorney, now that he has moved into the position of Circuit Court Judge. Vice Mayor Alexander said a new City Attorney will be appointed by City Council at the next meeting.

Chair Dempsey said there was discussion about reviewing the 70 percent brick or stone requirement. Mr. Bill McCord, Director of Planning, said staff discussed the time needed for staff to review of the requirement.

Chair Dempsey asked staff to bring back a possible softening of the requirement, not the elimination of the requirement.

Mr. McCord said City Council asked about the Ford Dealership and their design. There will be more discussion on this issue at the next Council Meeting. Chair Dempsey said, in the motion to approve the architectural elevation of the Ford Dealership, it was stated that the design was compatible with the other dealerships in the area.

Mr. Puryear asked if the 70 percent brick or stone requirement is an ordinance or in the zoning regulations. Ms. Schoch said it is an ordinance part of the zoning code.

Ms. Schoch said staff suggested that the regulation be removed from the Industrial Restrictive (IR) zone district in the past, but Planning Commission chose not to change that requirement. Mr. Ramsey said it is not simple to cut the percent requirement in all zones. There are so many new designs and materials available now that, especially in the industrial areas the 70 percent brick or stone requirement is not compatible with the industrial zone districts. Mr. Ramsey said the Planning Commission should not have to make so many exceptions to alternative architectural elevations. Ms. Schoch said the 70 percent brick or stone regulation is working in the City.

Mr. McCord mentioned possible options, such as improving landscaping and lowering the percent brick or stone requirement to 50 percent.

Mr. Ramsey asked that a whole work session be set aside to discuss this topic. Chair Dempsey instructed staff to survey other cities and bring the discussion back to another work session.

Vice Mayor Alexander said Council did not approve filling the vacant planner position with a GIS person as part of the new budget.

Mr. Puryear asked when Stormwater regulations will need to be revised. Mr. Tuttle responded that changes will be required by 2015.

Move to Adjourn

There being no further business to discuss, Chair Dempsey adjourned the meeting at 5:48 P.M.

Respectfully submitted:

Marianne Mudrak, Board Secretary
Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, June 23, 2014
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the agenda applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- Call to Order
- Invocation
- Pledge of Allegiance
- Roll Call
- Approval of Prior Minutes: May 5, 2014 Work Session and May 19, 2014 Regular Meeting
- Public comments on Consent Agenda items

CONSENT AGENDA

- | | | |
|-----------|--|------------------|
| 1. | GMRPC Resolution No. 2014-44
SURETY RENEWALS
CITY OF GALLATIN | PC0240-14 |
| | <p>Applicant requests approval of the submitted surety renewals for 2014.</p> | |
| 2. | GMRPC Resolution No. 2014-56
LENOX PLACE PHASES 5-7
GOODALL HOMES AND COMMUNITIES, INC. | PC0278-14 |
| | <p>The owner and applicant request approval of a minor amendment to the Lenox Place Preliminary Master Development Plan and approval of a revision to the Final Master Development Plan for Lenox Place, Phases 5-7, containing 22.55 (+/-) acres located at 816 Lock 4 Road and 395 Devon Chase Hill.</p> | |
| 3. | GMRPC Resolution No. 2014-43
HUNTER POINTE PHASE 1 ROADWAY AND LOTS 1-3
RAGAN-SMITH ASSOCIATES INC | PC0281-14 |
| | <p>The owner and applicant request approval of a Preliminary Plat for Hunter Pointe, Phase 1, roadway and lots 1-3, containing 22.16 (+/-) acres, located at 1113 Long Hollow Pike.</p> | |
| 4. | GMRPC Resolution No. 2014-57
ODRIC GREGORY INDUSTRIAL PARK, PHASE 4, RESUBDIVIDING LOT 11 OF PHASE 3
BLUE RIDGE SURVEYING INC | PC0291-14 |
| | <p>Owner and applicant request approval of a Preliminary Plat for Odric Gregory Industrial Park, Phase 4, a major subdivision, to create three (3) lots and dedicate a right-of-way on 9.20 (+/-) acres located on Hope Court.</p> | |

5. **GMRPC Resolution No. 2014-52** **PC0292-14**
CAIRO ESTATES - PHASES 1, 2, & 3
ROGERS ENGINEERING GROUP

Owner and applicant requests approval of a Final Master Development Plan for Cairo Estates Phases 1, 2 and 3, to create 63 single family residential lots, two (2) public rights-of-way, and two (2) open space tracts located east of Airport Road and north of Cairo Road.

6. **GMRPC Resolution No. 2014-49** **PC0294-14**
STRATFORD PARK PHASE 4 SECTION 1
BARGE WAGGONER SUMNER & CANNON

Owner and applicant request approval of a Final Plat for Stratford Park, Phase 4, Section 1 subdivision, to create fourteen (14) lots, three (3) common area open space tracts, and dedicate rights-of-way for two (2) street extensions on 5.60 (+/-) acres, (Tax Map 114 Parcel 060.00) located on East Sagewood Drive and Stratford Park Boulevard.

7. **GMRPC Resolution No. 2014-50** **PC0295-14**
STRATFORD PARK, PHASE 4, SECTION 2
BARGE WAGGONER SUMNER & CANNON

Owner and applicant request approval of a Final Plat for Stratford Park, Phase 4, Section 2 subdivision, to create ten (10) lots, two (2) common area open space tracts and dedicate right-of-way for new street section, on 2.59 (+/-) acres, (Tax Map 114 Parcel 060.00) located on East Sagewood Drive.

8. **GMRPC Resolution No. 2014-54** **PC0299-14**
MID-TN INDUSTRIAL PROPANE
ROGERS ENGINEERING GROUP

Owner and applicant requests approval of a Site Plan for a 30,000 gallon propane tank and related facilities behind an existing warehouse zoned Commercial General (CG), at 513 Red River Road.

9. **GMRPC Resolution No. 2014-51** **PC0303-14**
118 PUBLIC SQUARE - SIGNS
RAY BOWLES ESTATE

Executor and applicant request an Alternative Sign Plan Approval under Gallatin Zoning Ordinance Subsection 13.07.095, to install two (2) multi-tenant projecting signs on the historic First and People's National Bank building. The property is located at 118 Public Square, (S.B.E. Tax Map # 126C/F/009.00) and is zoned Core Commercial (CC).

REGULAR AGENDA

10. **GMRPC Resolution No. 2014-42** **PC0280-14**
HUNTER POINTE PHASE 1
RAGAN-SMITH ASSOCIATES INC

The owner and applicant request approval of a Final Master Development Plan for Hunter Pointe, Phase 1, roadway and lots 1-3, containing 22.16 (+/-) acres, located at 1113 Long Hollow Pike.

11. **GMRPC Resolution No. 2014-53** **PC0297-14**
GAP GALLATIN TN - CELL TOWER
CAPITAL TELECOM

Owner and applicant requests approval of a Site Plan to construct a 154 foot tall monopole stealth design cell tower on a .06 (+/-) acre leased area, zoned Commercial General (CG), located at the GAP Distribution Center.

12. **GMRPC Resolution No. 2014-55** **PC0300-14**
GALLATIN MINI STORAGE
ROGERS ENGINEERING GROUP

Owner and applicant requests approval of a change of use Site Plan to convert an existing 7,815 square foot retail building into a mini-warehouse building on a 1.14 (+/-) acre lot, zoned Mixed Use General (MUG), located at 1320 South Water Avenue.

13. **GMRPC Resolution No. 2014-58** **PC0293-14**
ODRIC GREGORY INDUSTRIAL PARK, PHASE 4 - LOT 1
KLOBER ENGINEERING SERVICES

Owner and applicant requests approval of a Site Plan for Odric Gregory Industrial Park, Lot 1 Site Plan, Phase 4, to construct a 25,300 square foot building on proposed Lot 1 and a shared detention pond to serve proposed Lots 1 thru 3 on proposed Lot 3, containing 9.20 (+/-) acres, located at Hope Court and Caroline Way.

14. **GMRPC Resolution No. 2014-59** **PC0298-14**
GALLATIN INDUSTRIAL CENTER, PHASE 2 - RESUB. OF LOT 2
BLUE RIDGE SURVEYING INC.

Owner and applicant request approval of a Final Plat for resubdivision of Lot 2, Gallatin Industrial Center, Phase 2, to create six (6) lots and dedicate two (2) unimproved rights-of-way on 206.23 (+/-) acres located at Gateway Drive.

15. **OTHER BUSINESS**

1. **GMRPC Resolution No. 2014-60** **PC0164-13**
ABC TECHNOLOGIES EXPANSION
KLOBER ENGINEERING SERVICES

Owner and applicant requests approval of the Revised Architectural Elevations for the ABC Technologies Expansion Facility for the 181,620 square foot building expansion located at 400 ABC Boulevard.

2. **GMRPC Resolution No. 2014-61** **PC0273-14**
ABC GROUP PROPERTIES, INC. SUBDIVISION
ARNOLD CONSULTING ENGINEERING SERVICES

Owner and applicant request approval of a Minor Subdivision Final Plat for the ABC Group Properties, Inc. subdivision, to create one (1) lot, and dedicate a right-of-way, on 15.11 (+/-) acres, consisting of a portion of Tax Map 127, Parcel 062.00 and Tax Map 127, Parcel 063.00 located at 400 ABC Boulevard.

16. **MOVE TO ADJOURN**



ITEM 1

GMRPC Resolution No. 2014-69

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING ITEM 1 – A ONE (1) YEAR RENEWAL AND EXTENSION OF THE PERFORMANCE SURETIES FOR LENOX PLACE, PHASE 5 (SITE); PC9988-12 – FAIRWAY FARMS, PH. 1, SEC. 1A & PH. 3. SEC. 1B (SUBDIVISION); PC FILE #1-19-05C – FAIRWAY FARMS, PH. 1, SEC. 1B & PH. 1. SEC. 2-4 (SUBDIVISION); PC FILE #1-10-06C – NEWMAN DOWNS, PH. 3 (SUBDIVISION); PC FILE #1-19-08C – HOME DEPOT (SUBDIVISION); PC FILE #1-7-04C – HOME DEPOT (UTILITY); PC FILE #1-7-04C – (PC0240-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the one (1) year renewal and extension of the performance sureties for Lenox Place, Phase 5 (site); PC9988-12 – Fairway Farms, Ph. 1, Sec. 1A & Ph. 3. Sec. 1B (subdivision); PC File #1-19-05C – Fairway Farms, Ph. 1, Sec. 1B & Ph. 1. Sec. 2-4 (subdivision); PC File #1-10-06C – Newman Downs, Ph. 3 (subdivision); PC File #1-19-08C – Home Depot (subdivision); PC File #1-7-04C – Home Depot (utility); PC File #1-7-04C submitted by the applicant, City of Gallatin, at its regular meeting on July 28, 2014; and;

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the information presented by City Staff and evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Gallatin Zoning Ordinance, §15.03.080 and Gallatin Subdivision Regulations, Chapter 3:

1. It has been determined that the renewal and extension of the performance sureties will not create adverse effects upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
2. It has been determined that no one property owner or small group of property owners will benefit materially from the renewal and extension of the performance sureties to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a one (1) year renewal and extension of the performance sureties as follows:

- Lenox Place, Phase 5; PC9988-12 site surety one (1) year renewal and extension for \$61,425.

- Fairway Farms, Ph. 1, Sec. 1A & Ph. 3. Sec. 1B; PC File #1-19-05C subdivision surety one (1) year renewal and extension for \$392,000.
- Fairway Farms, Ph. 1, Sec. 1B & Ph. 1. Sec. 2-4; PC File #1-10-06C subdivision surety one (1) year renewal and extension for \$462,000.
- Newman Downs, Ph. 3; PC File #1-19-08C subdivision bond one (1) year renewal and extension for \$54,400.
- Home Depot; PC File #1-7-04C subdivision surety one (1) year renewal and extension for \$392,000.
- Home Depot; PC File #1-7-04C utility surety one (1) year renewal and extension for \$343,000.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 7/28/14

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney

ITEM 2

GMRPC Resolution No. 2014-63

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A SITE PLAN FOR CONSTRUCTION OF A 12,500 SQUARE FOOT BUILDING ON PROPERTY CONTAINING 5.47 (+/-) ACRES LOCATED AT 744 AIRPORT ROAD (PC0296-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Site Plan submitted by the applicant, Bruce Rainey & Associates, at its regular meeting on July 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-7-201(a), 13-4-310, and G.Z.O., § 15.03.020:

1. The proposed Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance.
2. The proposed Site Plan is consistent with the purpose and intent of the Industrial Restrictive (IR) Zoning District and complies with the use restrictions, minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning District.
3. Once completed, the proposed Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Architectural Requirements (G.Z.O., Section 13.08), Landscaping Requirements (Section 13.05), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), and the Flood Prevention and Protection Regulations (G.Z.O., Section 10.03).

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approve Resolution 2014-63, Site Plan for Short Fuse Trucking, consisting of five (5) sheet plan, prepared by Bruce Rainey & Associates of Hendersonville, Tennessee, with Job No.140004, dated May 20, 2014 with a final revision date of July 14, 2014, and Architectural Elevations, consisting of one (1) sheet, prepared by Matchett and Associates of Gallatin, Tennessee with Project No.1418 dated April 17, 2014, and Photometric Plan

consisting of one (1) sheet, prepared by Matchett and Associates of Gallatin, Tennessee with Project No.1418, dated May 28, 2014, with the following conditions:

1. The Planning Commission shall determine whether the proposed alternative architectural elevations meet the requirements of Section 13.08.010.D of the Gallatin Zoning Ordinance.
2. The Planning Department shall inspect the exterior building facade materials prior to the installation of the exterior building facade materials.
3. The dumpster enclosure double door metal gates shall match the color scheme of the building and the dumpster enclosure shall satisfy Section 14-14, Nonresidential Establishment Containers, Storage, and Requirements of the Gallatin Municipal Code.
4. Provide Erosion Prevention and Sediment control plan and procedures.
5. Provide "Ditch Treatment Detail 'E'" as noted on sheet 2.
6. Delineate stream centerline and top of bank and add line types to legend.
7. Proposed sign may interfere with entrance sight distance. Provide detail of sign dimensions and show sight distances triangles per code on plans.
8. Show all required stream buffers (construction and permanent) as required for impaired streams.
9. Provide a recorded copy of the Stormwater Maintenance Agreement required for the detention facility.
10. Provide detailed plans and specifications for water and sanitary sewer installation to the Gallatin Public Utilities Department for review and approval prior to issuance of any building permits.
11. Provide an access road to construction site for fire department vehicles.
12. Proposed facility shall comply with all applicable cross-connection control and sewer use regulations.
13. Provide a detailed sign package and application to be submitted to the Planning Department for review and approval prior to the installation of any signs compliant with Gallatin Zoning Ordinance, Section 13.07.
14. Submit a site surety, in the amount of to be determined by the applicant for review and approval by the Planning Department, prior to issuance of any building permits.
15. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 7/28/2014

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
CITY ATTORNEY



ITEM 2
PLANNING DEPARTMENT STAFF REPORT
Site Plan for Short Fuse Trucking (PC0296-14)
Located at 744 Airport Road
Date: July 18, 2014

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A SITE PLAN TO CONSTRUCT A 12,500 SQUARE FOOT BUILDING FOR SHORT FUSE TRUCKING CONTAINING 5.47 (+/-) ACRES, LOCATED AT 744 AIRPORT ROAD.

OWNER: KENNETH D. LEGGE JR.
APPLICANT: BRUCE RAINEY & ASSOCIATES
STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS
STAFF CONTACT: ROBERT J. KALISZ
PLANNING COMMISSION DATE: JULY 28, 2014

PROPERTY OVERVIEW: The owner and applicant is requesting approval of a Site Plan to construct a 12,500 square foot building for Short Fuse Trucking on 5.47 (+/-) acres, located at 744 Airport Road. The property is zoned Industrial Restrictive (IR) and the Transport and Warehousing is a permitted use in the IR zone district. No portion of this property is located in a flood hazard area. (Attachment 2-1)

The architectural elevations (Attachment 2-2) for the proposed building does not meet the Basic Design Criteria of the Gallatin Zoning Ordinance, Section 13.08.010.A, *Materials*. The building is shown to be constructed primarily of metal panels and will not contain the required 70 percent brick or stone on each building facade. The owner and applicant are requesting approval of an alternative architectural plan. The Planning Commission shall determine whether the proposed plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance. (Attachment 2-3)

CASE BACKGROUND:

Previous Approvals

The proposed site for the Short Fuse Trucking is currently a vacant lot and no site development has ever occurred on this property.

DISCUSSION:

Proposed Development

The owner and applicant is requesting approval of a Site Plan to construct a 12,500 square foot building for Short Fuse Trucking on 5.47 (+/-) acres, at 744 Airport Road. The property

is zoned Industrial Restrictive (IR) and the Transport and Warehousing is a permitted use in the IR zone district.

Floodplain and Floodway

No portion of this property is located in a special flood hazard area.

Buildings and Architectural Elevations

The applicant is proposing an asymmetrical rectangular building with a shallowly sloped front gabled roof. The front elevation (Airport Road) consists of 47 percent brick and 53 percent metal panels. The elevation has a centrally located entrance door with four (4) fixed single pane windows to the left of the entrance and one (1) fixed single pane window to the right of the entrance. Each window and the entrance is covered by a metal panel sun screen. The gable end roof, which is a very shallow 1 to 12 pitch, is noticeable on the front elevation.

The rear elevation matches the front elevation in shape, but is 100 percent metal panels and has no doors or windows.

The two (2) side elevations are nearly identical in design. Each side elevation begins with approximately 26 feet of brick that wraps around the corner from the front elevation. This brick area extends 11 feet up the side elevations. The area above the brick is metal panel as is the remaining portion of the side elevation. Beginning just past the brick section are three (3) metal roll up overhead doors, which consume the vast majority of the remaining elevation. There is a single fire door placed between the first two (2) overhead doors on each elevation. The only difference between the side elevations is the location of a second entrance door on the right elevation. The entrance is located within the brick area and will also be covered by the same metal panel sun screen like the front elevation entrance and windows. The right elevation consists of 23 percent brick and 77 percent metal panels, while the left elevation consists of 24 percent brick and 76 percent metal panels.

Collectively, the four elevations of the proposed building consists of 24 percent brick and 76 percent metal panels, which does not meet the requirement for brick or stone materials per Section 13.08.010.A of the Gallatin Zoning Ordinance. The percentages of each building material for each facade have been provided by the architect on Sheet A-2. (Attachment 2-2)

Since the architectural elevations do not meet the 70 percent masonry requirement for the Industrial Restrictive (IR) zone district, the owner and applicant is requesting approval of an alternative architectural plan for the proposed project per Section 13.08.010.D of the Gallatin Zoning Ordinance.

The owner and applicant have submitted photographs of similar buildings located in the surrounding area. (Attachment 2-4)

The Planning Commission shall make a decision on whether the proposed alternative architectural plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.

City Staff inspection of the exterior building facade materials is required prior to the installation of the exterior building facade materials.

Dumpster Enclosure

The dumpster enclosure is behind the building. The applicant provided dumpster enclosure details showing a six (6) foot high brick wall to match exterior building brick on three (3) sides with double door metal gates. The dumpster enclosure double door metal gates shall match the color scheme of the building and the dumpster enclosure, and satisfy Section 14-14, Nonresidential Establishment Containers, Storage, and Requirements of the Gallatin Municipal Code.

Bufferyard and Landscaping

No bufferyards are required for this site plan per Section 13.04.060 Determination of Bufferyard Requirements of the Gallatin Zoning Ordinance since all properties adjacent to the site are zoned IR. However, the site contains substantial yard area between the building and property boundaries. The landscape plan (Sheet 3) shows the required landscaping per Section 13.05.020 Parking Area Screening and Landscaping Standards of the Gallatin Zoning Ordinance for the parking area located in front of the building.

H.V.A.C. Equipment Screening

The H.V.A.C equipment will be located on the south side of the building and screened from view with 'skip laurels' shrubs.

Parking

Parking requirements are based on the use of the property. The proposed permitted use for the building is transport and warehousing with accessory use of office, storage, and equipment servicing. Based on the accessory uses; offices require one (1) space per 300 square feet, storage requires one (1) space per 5,000 square feet, and equipment servicing requires one (1) space per 1,000 square feet. Based on these ratios, 17 regular parking spaces are required. The site plan indicates 17 total parking spaces, including one (1) van accessible handicapped parking space. All the parking spaces are located along the front side of the proposed building.

The site plan indicates twenty (20) trailer parking spaces to be located in the rear of the proposed building. The trailer parking area will consist of a fifteen (15) foot wide concrete dolly pad along with a dust free stone to be treated with "Pennzsuppress D", a chemical coating, to prevent dust from being infiltrated into the air.

Access

Three (3) accesses will be provided from/to the site; one (1) access will be located directly off of Airport Road in the center portion of the site and two (2) accesses will be provided off of a 50 foot access easement (Attachment 2-5) located along the north side of the site. The access point will provide sufficient circulation on the property.

These access points comply with the intent of the Multi-Modal Transportation Plan, as set forth in the *Gallatin on the Move 2020 Plan*, and provide better access points to accommodate site traffic and safety.

Sign

A sign is proposed in the front yard between the front parking area and Airport Road. A detailed sign package and application needs to be submitted to the Planning Department for review and approval prior to the installation of any signs and be in compliance with Gallatin Zoning Ordinance, Section 13.07.

Lighting Fixtures and Photometric Plan

A detailed photometric plan is provided on plan Sheet SL-1. This plan illustrates the lighting fixtures (i.e. wall mounted security lights and entrance lighting) for the building. The photometric plan does not indicate any lighting fixtures for the parking areas. The photometric plan submitted by the owner and applicant complies with the City of Gallatin Zoning Ordinance, Section 13.02.08.

Site Surety

The owner and applicant are required to submit a site surety for site improvements, per Article 15.00 *Administration and Enforcement*, Section 15.03.080, *Surety Required*, of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and reviewed and approved by the Planning Department, prior to issuance of any building permits.

Engineering Division Comments

The Engineering Division reviewed and commented on the Site Plan. The Engineering Division original comments have been satisfied; however additional Engineering Division comments have been made and the owner and applicant shall comply with the following:

1. Provide Erosion Prevention and Sediment control plan and procedures.
2. Provide "Ditch Treatment Detail 'E'" as noted on sheet 2.
3. Delineate stream centerline and top of bank and add line types to legend.
4. Proposed sign may interfere with entrance sight distance. Provide detail of sign dimensions and show sight distances triangles per code on plans.
5. Show all required stream buffers (construction and permanent) as required for impaired streams.
6. Provide a recorded copy of the Stormwater Maintenance Agreement required for the detention facility.

Gallatin Public Utilities Comments

This development is located in the Gallatin Public Utilities District area. The Gallatin Public Utilities Department reviewed and commented on the Site Plan. The applicant shall provide detailed plans and specifications for water and sanitary sewer installation to the Gallatin Public Utilities Department for review and approval.

Other Departmental Comments

Site Plan for Short Fuse Trucking (PC0296-14)
July 28, 2014

Other City Departments reviewed and commented on the Site Plan. The majority of the Other Departmental Comments have been addressed. However, the owner and applicant shall comply with the following:

1. Provide an access road to construction site for fire department vehicles.
2. Proposed facility shall comply with all applicable cross-connection control and sewer use regulations.

Findings:

1. The proposed Site Plan is generally consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance with conditions.
2. The proposed Site Plan is consistent with the purpose and intent of the Industrial Restrictive (IR) Zoning District and complies with the use restrictions, minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning District.
3. Once completed, the proposed Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Sign Regulations (G.Z.O., Section 13.07), Access Management Regulations (G.Z.O., Section 13.06), Architectural Requirements (G.Z.O., Section 13.08), Supplementary District Regulations (G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), Flood Prevention and Protection Regulations (G.Z.O., Section 10.03) and the Landscaping Requirements (Section 13.05).

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-63, a Site Plan for Short Fuse Trucking, consisting of five (5) sheet plan, prepared by Bruce Rainey & Associates of Hendersonville, Tennessee with Job No.140004, dated May 20, 2014 with a final revision date of July 14, 2014, and Architectural Elevations, consisting of one (1) sheet, prepared by Matchett and Associates of Gallatin, Tennessee with Project No.1418 dated May 28, 2014, and Photometric Plan consisting of one (1) sheet, prepared by Matchett and Associates of Gallatin, Tennessee with Project No.1418, dated July 16, 2014, with the following conditions:

1. The Planning Commission shall determine whether the proposed alternative architectural elevations meet the requirements of Section 13.08.010.D of the Gallatin Zoning Ordinance.
2. The Planning Department shall inspect the exterior building facade materials prior to the installation of the exterior building facade materials.
3. The dumpster enclosure double door metal gates shall match the color scheme of the building and the dumpster enclosure shall satisfy Section 14-14, Nonresidential Establishment Containers, Storage, and Requirements of the Gallatin Municipal Code.
4. Provide Erosion Prevention and Sediment control plan and procedures.

Site Plan for Short Fuse Trucking (PC0296-14)

July 28, 2014

5. Provide "Ditch Treatment Detail 'E'" as noted on sheet 2.
6. Delineate stream centerline and top of bank and add line types to legend.
7. Proposed sign may interfere with entrance sight distance. Provide detail of sign dimensions and show sight distance triangles per code on plans.
8. Show all required stream buffers (construction and permanent) as required for impaired streams.
9. Provide a recorded copy of the Stormwater Maintenance Agreement required for the detention facility.
10. Provide detailed plans and specifications for water and sanitary sewer installation to the Gallatin Public Utilities Department for review and approval prior to issuance of any building permits.
11. Provide an access road to construction site for fire department vehicles.
12. Proposed facility shall comply with all applicable cross-connection control and sewer use regulations.
13. Provide a detailed sign package and application to be submitted to the Planning Department for review and approval prior to the installation of any signs compliant with Gallatin Zoning Ordinance, Section 13.07.
14. Submit a site surety, in the amount of to be determined by the applicant for review and approval by the Planning Department, prior to issuance of any building permits.
15. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

ATTACHMENTS

Attachment 2-1 Location Map

Attachment 2-2 Site Plan, Architectural Elevations, Photometric Plan for Short Fuse Trucking

Attachment 2-3 Section 13.08.010.D, Gallatin Zoning Ordinance

Attachment 2-4 Photographs of Surrounding Similar Buildings in the Area

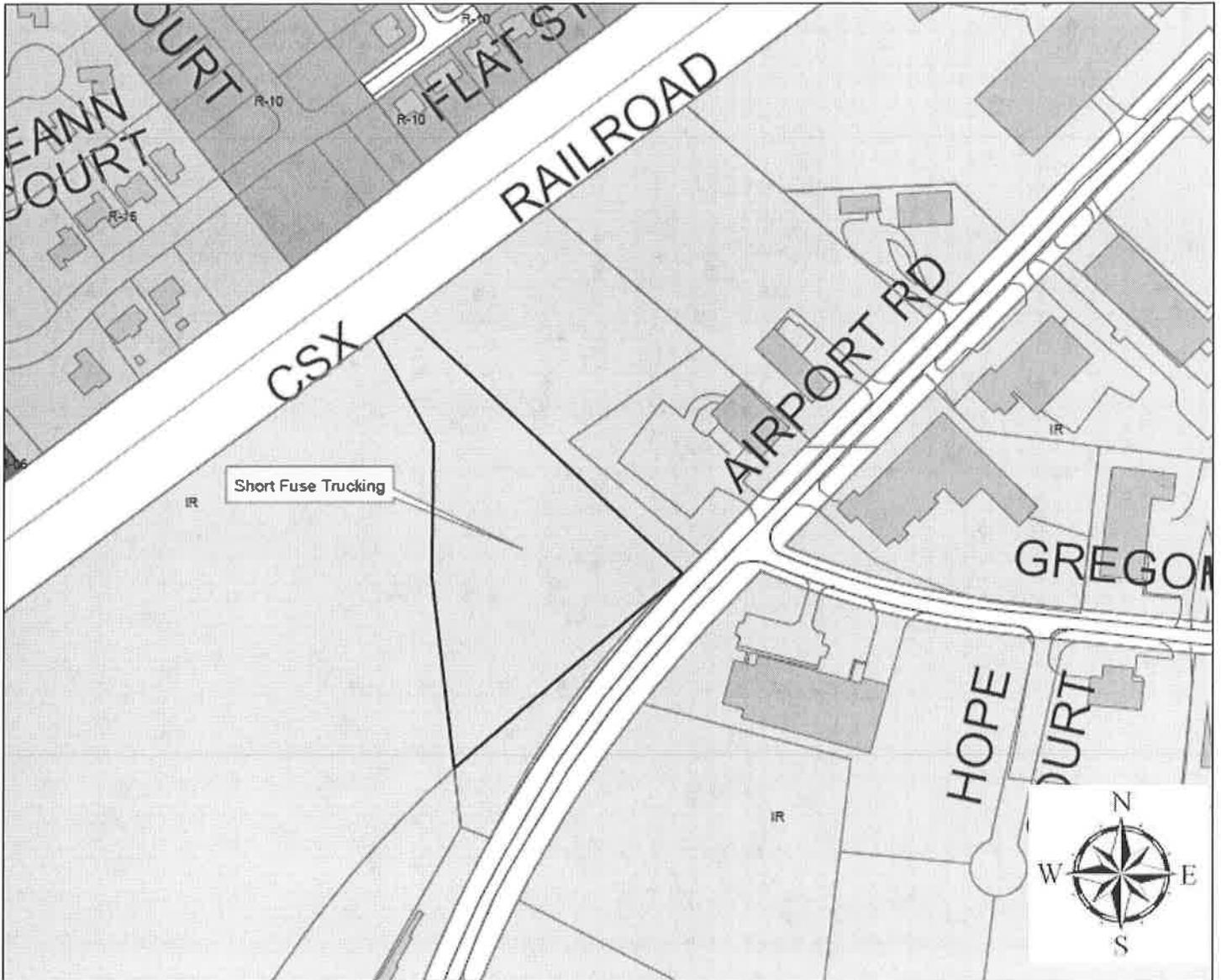
Attachment 2-5 Final Plat for Ramsey Industrial Center Lot 3 (P.B. 22, PG. 213)

I:\PC Items\2014\7-28-2014\Staff Reports\Item 2 Short Fuse Trucking Site Plan (PC0296-14) RK

ATTACHMENT 2-1

SHORT FUSE TRUCKING

LOCATION MAP



741 AIRPORT ROAD
TAX MAP #127//002.01
ZONED IR

PC0296-14

13.08 Architectural Character and Compatibility Standards

13.08.010 Basic Design Criteria

- A. Materials – To ensure a consistent and high quality design standard throughout the City, in all districts with the exception of A, R-40, R-20, R-15, R-10, R-8, and IG, stone and/or brick materials shall be used as the predominant (minimum 70%) exterior facade materials in all developments. Concrete block, split face block, other related concrete-masonry block materials, and/or manufactured/pre-cast panels are not considered stone or brick materials, but may be approved as an alternative material under Section 13.08.010.D.

In the A, R-40, R-20, R-15, R-10, R-8, districts, any use and building, other than single family detached residential units, shall use brick and/or stone materials as the predominant (minimum 65%) exterior facade materials. One-family detached dwelling units shall be exempt from this requirement unless otherwise specified in Section 13.08.010.E.

- B. Compatibility with Adjacent Buildings - In most cases, buildings are not viewed in isolation, but rather in the context of other buildings. To this end, the following criteria are required:
1. Building forms shall be tailored to fit within the existing topography and site features as much as possible.
 2. While architectural styles may vary, buildings of a proposed development shall be compatible with surrounding buildings (within the site and with adjacent properties) with regard to massing, scale, proportion of openings, roof types, types of glazed openings, and degree of detail.
 3. The use of materials and colors compatible with buildings adjacent to a site is required.
- C. Adapting Prototypical Designs to Particular Sites: National standard designs shall be adapted to reflect the specific site context within the City by careful siting, use of compatible materials, and landscaping of the site so that it blends with its surroundings.
- D. Alternative Plan Approval: Upon the request of any owner of property to which this Section applies, the Planning Commission may approve an alternative plan which is not in strict compliance with the requirements of this Section, if the Commission finds that such alternative plan meets the purpose and intent of the requirements of this section and the alternative architectural plan and materials are clearly superior to a plan that would be in strict compliance with this Section. In making the determination, the Commission may consider the materials, design, color, and other natural or man-made elements which could impact a proposal's conformance to these standards.

ATTACHMENT 2-4

07/18/2014



ATTACHMENT 2-4



07/18/2014

ATTACHMENT 2-4

07/18/2014

ATTACHMENT 2-4



07/18/2014

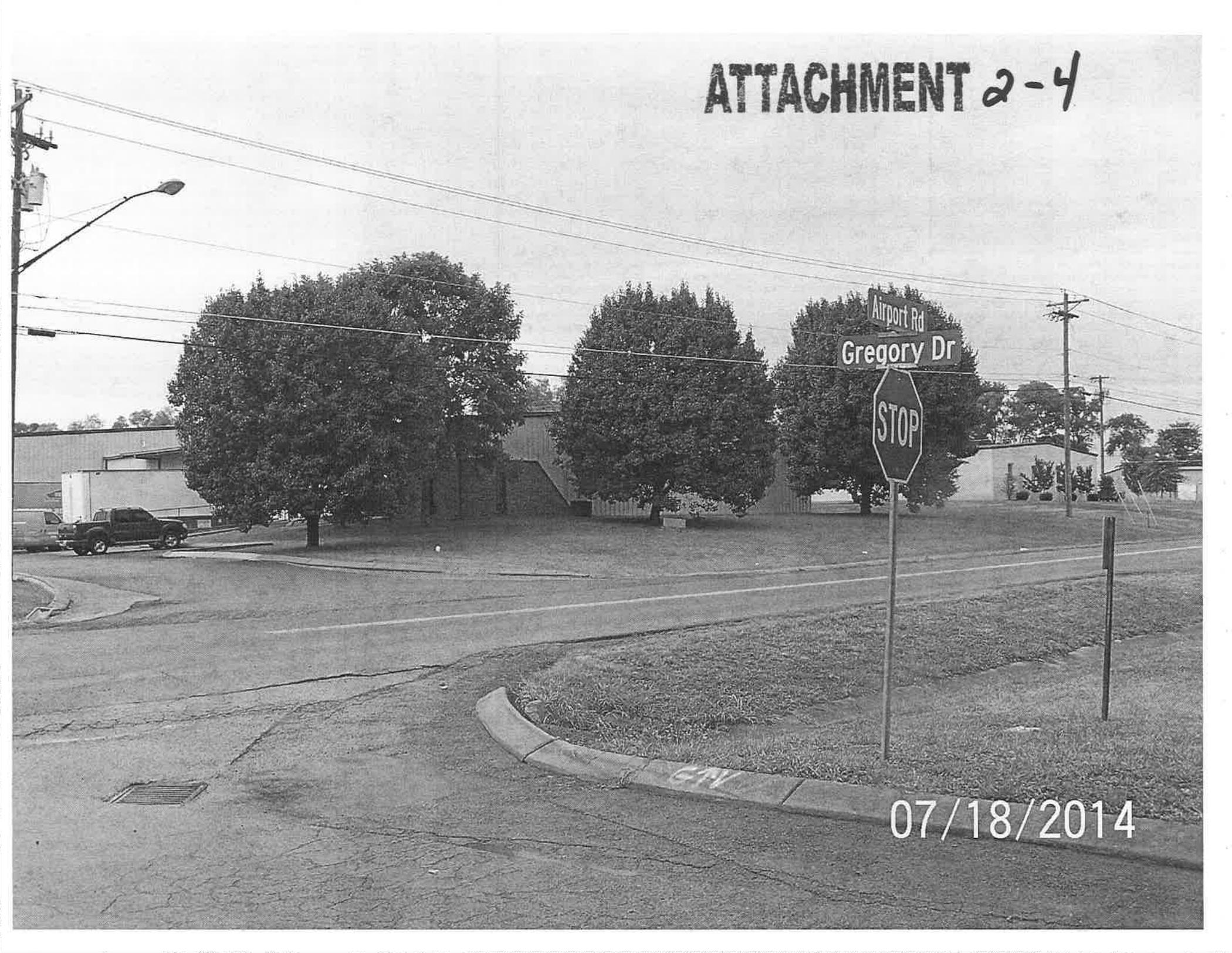
ATTACHMENT 2-4

Airport Rd
Gregory Dr

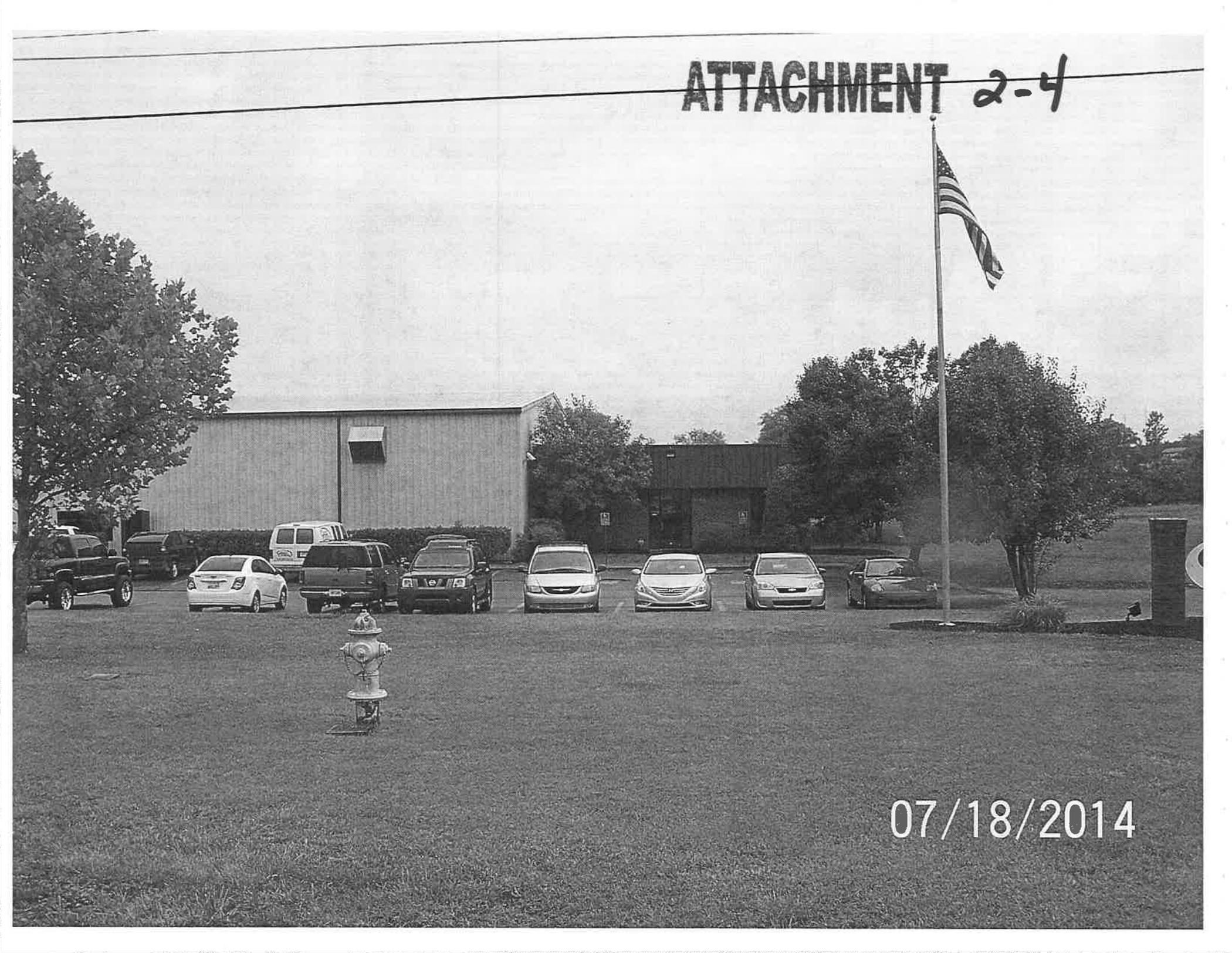
STOP

07/18/2014

67V



ATTACHMENT 2-4



07/18/2014

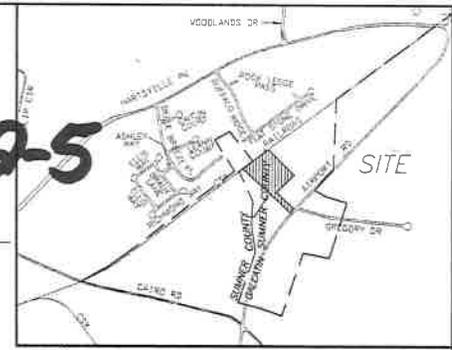
ATTACHMENT 2-4



07/18/2014

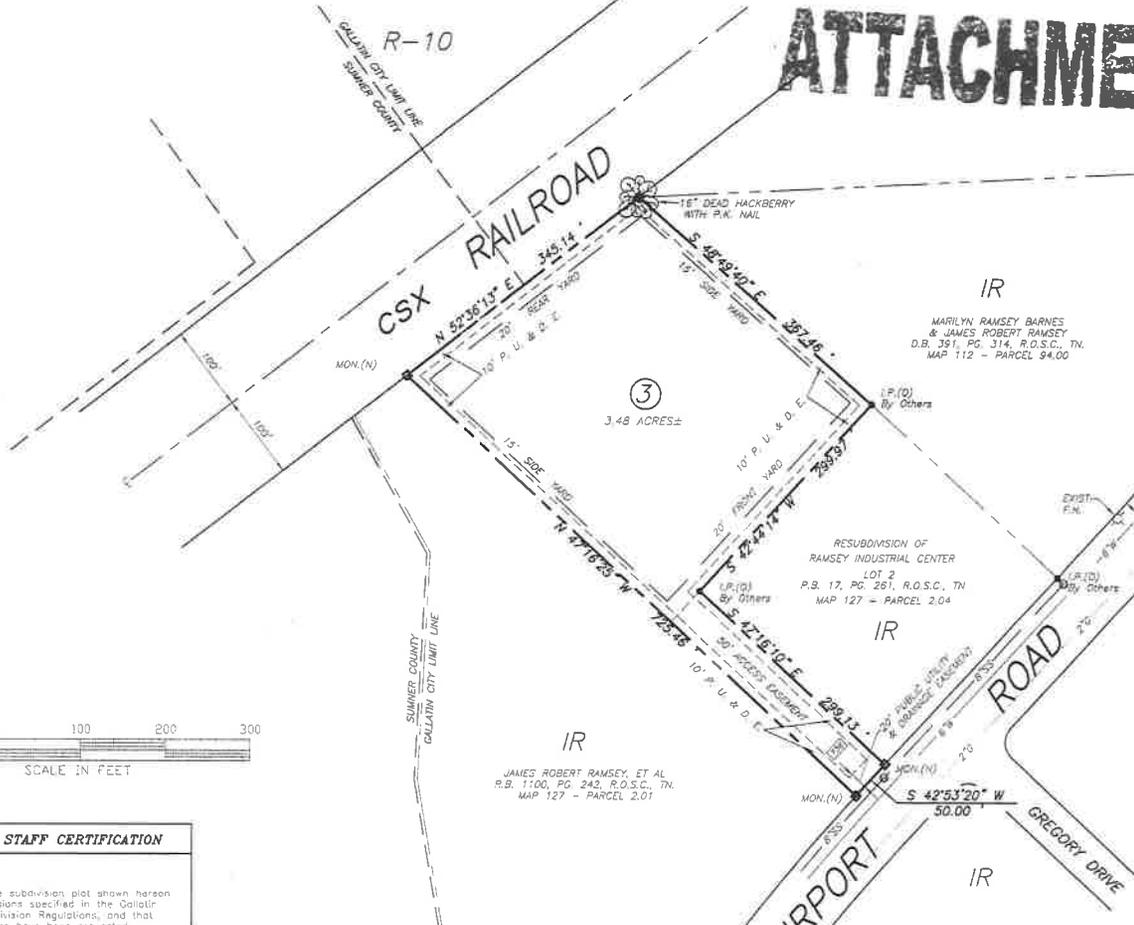
PLAT CONTAINS - 3.48 ACRES±

ATTACHMENT 2-5



LOCATION MAP

ENTERED
John C. White
PROPERTY ASSESSOR
MAY 10 2005
MAP_GP_CTL_PAR



NOTES:

1. THE PURPOSE OF THIS PLAT IS TO CREATE ONE 1RW LOT AS SHOWN HEREON
2. NORTH BASED ON DEED OF RECORD IN R.B. 1100, PG. 242, R.O.S.C., TN.
3. PROPERTY IS SHOWN AS PART OF PARCEL 2.01 ON SUMNER COUNTY PROPERTY MAP 127.
4. BEING A PORTION OF THE SAME PROPERTY CONVEYED TO JAMES ROBERT RAMSEY ET AL BY DEED OF RECORD IN R.B. 1100, PG. 242, R.O.S.C., TN.
5. ACCORDING TO F.I.R.M. COMMUNITY PANEL NO. 4716SC0318D, DATED 11-21-02, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AND IT LIES IN ZONE X.
6. PROPERTY IS ZONED IR.
7. (800) INDICATES STREET ADDRESS.
8. USE FOR LOT 3 WILL COMPLY WITH IR ZONING USES.



FINAL PLAT OF RAMSEY INDUSTRIAL CENTER LOT 3

PROPERTY IS LOCATED AT 736 AIRPORT ROAD GALLATIN, TENNESSEE 37066

DATE : OCTOBER 26, 2004 REV. : 03/29/05

SCALE : 1" = 100'

OWNER : JAMES ROBERT RAMSEY
P.O. BOX 492
GALLATIN, TN. 37066

DEVELOPER : CHARLES CURTIS CONSTRUCTION, INC.
2201 HWY. 31-E
GALLATIN, TN. 37066

Rebecca L. Whitaker, Register
Sumner County Tennessee
Rec #: 411103
Sum: 25.00
State: 25.00
Clerk: 5.00
SFP: 5.00
Total: 60.00
Instrument #: 747103
5/10/2005 at 1:13 pm
Recorded
Plat Book 22 Page 213-213

CERTIFICATE OF STAFF CERTIFICATION

I hereby certify that the subdivision plat shown herein complies with the provisions specified in the Gallatin Municipal-Regional Subdivision Regulations, and that no requests for variances have been requested.

4/29/05
John C. White
CITY PLANNER

CERTIFICATE OF OWNERSHIP & DEDICATION

I (We) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in record book number 1100, page 242, R.O.S.C., TN., and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.

DATE : 4-29-05
OWNER : James Robert Ramsey
TITLE : Owner

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown herein, to the specifications in these regulations.

DATE : 04-05-05
REGISTERED LAND SURVEYOR
BRUCE RAINY
TENNESSEE

CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS

I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled RAMSEY INDUSTRIAL CENTER LOT 3 have been installed in accordance with current local and state government requirements, or a sufficient bond or cash has been filed which will guarantee said installation.

WATER SYSTEM: 4-20-05
SEWER SYSTEM: 4-20-05
SUPERINTENDENT OF PUBLIC UTILITIES, GALLATIN, TENNESSEE

CERTIFICATE OF THE APPROVAL OR BONDING OF ROADS

I hereby certify, (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance bond has been posted with the Planning Commission to assure completion of all required improvements in case of default.

DATE : 4/8/05
CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown herein has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register.

DATE : 4-29-05
Clerk's Initials

RECORD

Recorded _____, 2004
in Book _____, Page _____
of the Register's Office, Sumner Co., TN.

PREPARED BY :
BRUCE RAINY
LAND DEVELOPMENT CONSULTANTS
116 MAPLE ROW BLVD.
HENDERSONVILLE, TN 37075
PHONE 615-823-0013
FAX 615-823-1487

PRE-DEVELOPMENT		POST-DEVELOPMENT	
GRAVEL DR.: 6,510 S.F.	ROOF: 10,000 S.F.		
CONC. P.V.M.T.: 860 S.F.	P.V.M.T., CONC. & WALKS: 88,340 S.F.		
TOTAL IMPERVIOUS: 7,370 S.F. = 3.09%	TOTAL IMPERVIOUS: 68,340 S.F. = 28.7%		

OWNER (FUTURE) & DEVELOPER NAME	SITE AND PARCEL	TAX MAP AND PARCEL	SITE ADDRESS	EXISTING & PROPOSED USE	BUILDING HEIGHT
KENNETH D. LEGGE JR. SHORT FUSE TRUCKING, INC. 1711 CAIRO RD. GALLATIN, TN 37066-0488	IR PARCEL 2.01	MAP 127 PARCEL 2.01	744 AIRPORT ROAD GALLATIN, TN 37066	EX: VACANT PROP: TRANSPORT & WAREHOUSE w/ OFFICE SPACE	20' @ EAVE MAX. HGT. 80'

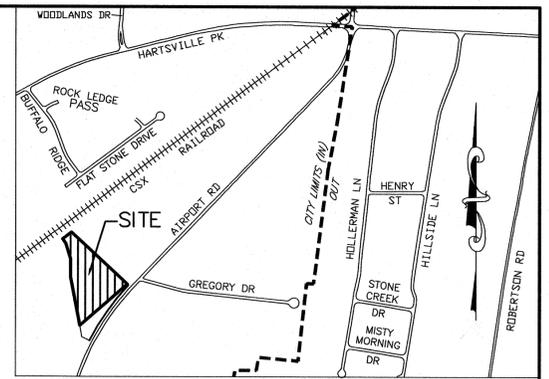
SETBACKS & YARD REQUIREMENTS	PARKING REQUIREMENTS:
YARDS PER GALLATIN ZONING ORD.:	EQUIPMENT SERVICING:
FRONT: 20'	7,500 S.F. @ 1 SP./1000 S.F. = 8 SPACES
SIDE: 15'	STORAGE:
REAR: 20'	2,500 S.F. @ 1 SP./3000 S.F. = 0.5 = 1 SPACE
55' M.B.S.L.	OFFICE AREA:
	2500 S.F. @ 1 SPACE/300 S.F. = 8.33 = 8 SPACES
	TOTAL SPACES REQUIRED: 17 SPACES
	TOTAL SPACES PROVIDED: 17 SPACES (1 HC + 16 REG.)

PROPOSED BUILDING
TWO STORY WITH 10,000 S.F. ON FIRST FLOOR WITH ADDITIONAL 2,500 S.F. ON SECOND FLOOR OVER OFFICE AREA.

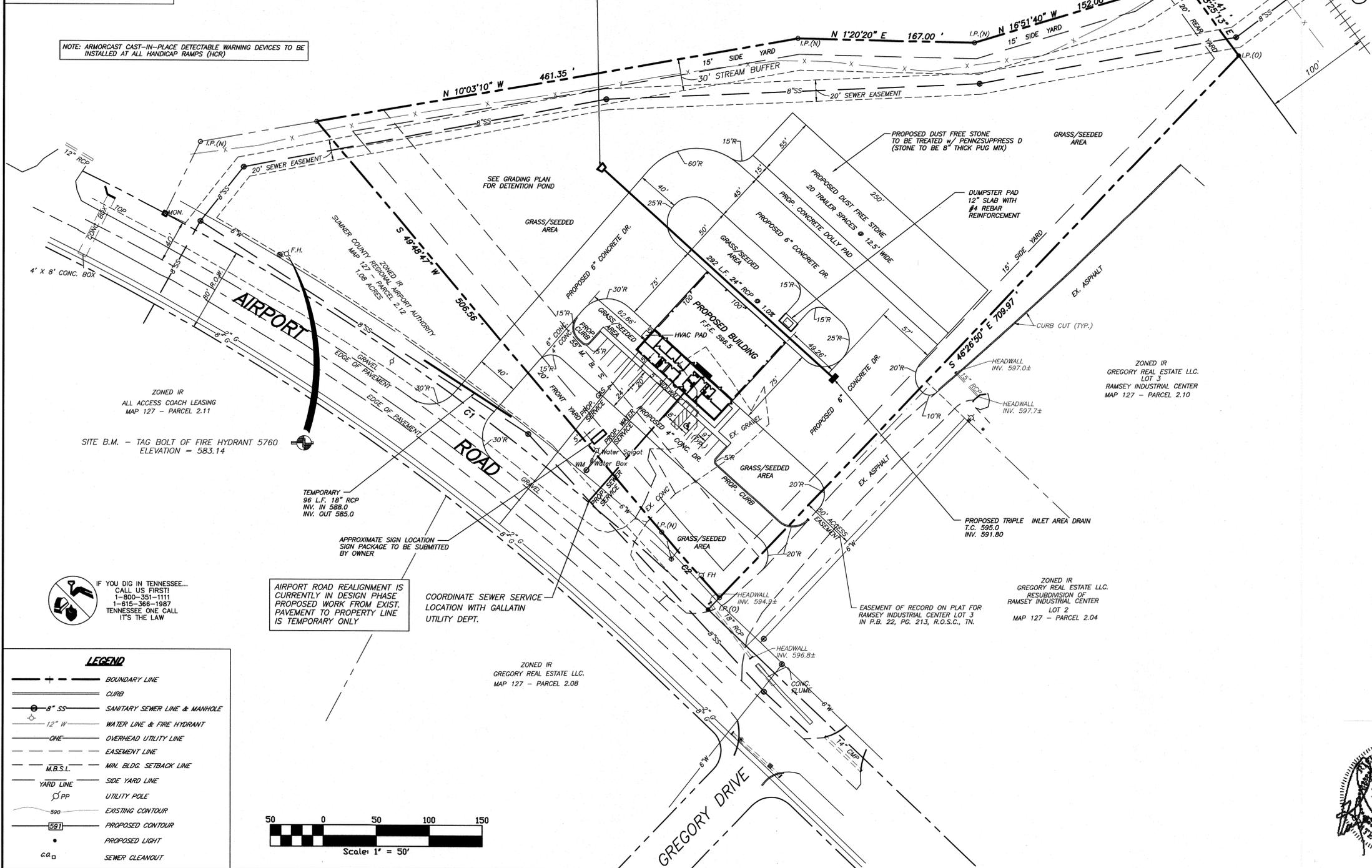
BUILDING SQUARE FOOTAGE BREAKDOWN
EQUIPMENT SERVICING: 7,500 S.F.
STORAGE (ABOVE OFFICE AREA): 2,500 S.F.
OFFICE AREA: 2,500 S.F.

NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT	CHORD DIRECTION
C1	15°35'26"		2339.55	636.60	634.64	320.28	S 35°55'09" W
C2	2°24'18"		1950.00	81.86	81.85	40.93	N 48°36'33" E

SITE CONTAINS: 5.47 ACRES±



LOCATION MAP
N.T.S.



- NOTES:
- NORTH BASED ON DEED OF RECORD IN R.B. 1100, PG. 242, R.O.S.C., TN.
 - PROPERTY IS SHOWN AS PARCEL 2.01 ON SUMNER COUNTY PROPERTY MAP 127.
 - BEING A PORTION OF THE SAME PROPERTY CONVEYED TO BETTYSTRONG LEATH BY DEED OF RECORD IN R.B. 2872, PG. 15, R.O.S.C., TN.
 - ACCORDING TO F.I.R.M. COMMUNITY PANEL NO. 47165C0318G, DATED 4-17-12, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA.
 - CONTOURS SHOWN TAKEN FROM A FIELD RUN RADIAL TOPOGRAPHICAL SURVEY BY BRUCE RAINEY & ASSOCIATES USING U.S.G.S. DATUM.
 - MINIMUM YARDS ARE AS FOLLOWS:
FRONT - 20 FEET
REAR - 20 FEET
SIDE - 15 FEET
M.B.S.L. - 55 FEET
 - CONTRACTOR TO FIELD VERIFY ALL GRADES PRIOR TO COMMENCING CONSTRUCTION.
 - CONTRACTOR TO GRADE/SHAPE ALL TURF AREAS TO INSURE POSITIVE DRAINAGE AWAY FROM BUILDING OPENINGS AND THAT THERE WILL BE NO STANDING WATER POOLS.
 - PROPERTY IS ZONED IR.
 - ALL CONSTRUCTION AND USE OF PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORD. 13.02.
 - NO NEW LIGHTING IS PROPOSED.
 - PROPOSED BUILDING = 10,000 S.F. TOTAL
 - REQUIRED PARKING: (7,500 SERVICE/1000 + 2,500 STORAGE/5,000 = 9) + (2,500 OFFICE/300 = 8) = 17 REQUIRED
 - FOOTINGS, FOOTING STEP DOWNS, ETC., CAN BE PROVIDED UNDER SEPARATE CONTRACT OR BY OTHERS.
 - EROSION CONTROL MUST BE IN PLACE AND INSPECTED BY THE ENGINEERING DIVISION PRIOR TO GRADING. INSPECTION AND MAINTENANCE OF EROSION CONTROL DEVICES SHALL BE PERFORMED ON A REGULAR BASIS.
 - ALL DISTURBED AREAS TO BE SEEDED AND STRAWED.
 - A SIGN PACKAGE WILL BE SUBMITTED SEPARATELY FOR APPROVAL.
 - BUILDING HEIGHT: EAVE HT. - 20'
 - INTENDED USE OF BUILDING ADDITION IS FOR A WAREHOUSE AND OFFICE SPACE.
 - PROPOSED FACILITY SHALL COMPLY WITH ALL APPLICABLE CROSS-CONNECTION CONTROL AN SEWER USE REGULATIONS.
 - SHORT FUSE TRUCKING IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.
 - ROGERS ENGINEERING GROUP IS THE RESPONSIBLE DESIGN ENGINEER FOR CULVERTS AND DETENTION FOR THIS PROJECT.

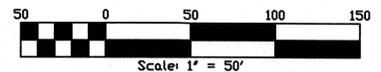
SITE PLAN LAYOUT
FOR
SHORT FUSE TRUCKING
PROPERTY LOCATED AT 744 AIRPORT ROAD IN THE 3rd CIVIL DISTRICT
OF SUMNER COUNTY, TENNESSEE

DATE: MAY 20, 2014 REV.: 06/23/14
SCALE: 1" = 50' REV.: 07/14/14

PREPARED BY:

Bruce Rainey
AND ASSOCIATES
LAND DEVELOPMENT CONSULTANTS
116 MAPLE ROW BLVD.
HENDERSONVILLE, TN. 37075
PHONE 615-822-0012
FAX 615-824-1487

ENGINEERING BY:
ROGERS ENGINEERING GROUP
114 B WEST MAIN STREET
Gallatin, Tennessee 37066
TEL: 615-230-7269 FAX: 615-230-7271
richard.jones@rogersgroupinc.com



IF YOU DIG IN TENNESSEE...
CALL US FIRST!
1-800-351-1111
1-615-366-1987
TENNESSEE ONE CALL
IT'S THE LAW

LEGEND

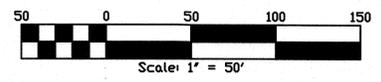
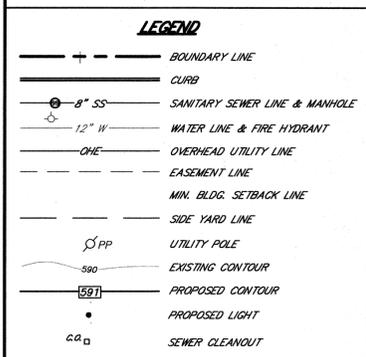
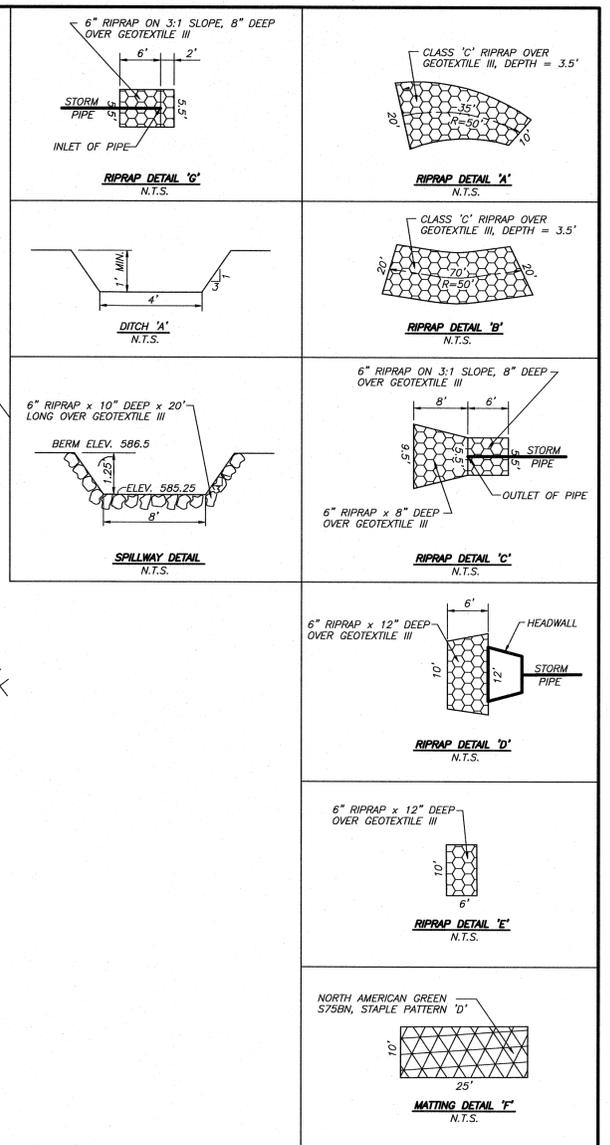
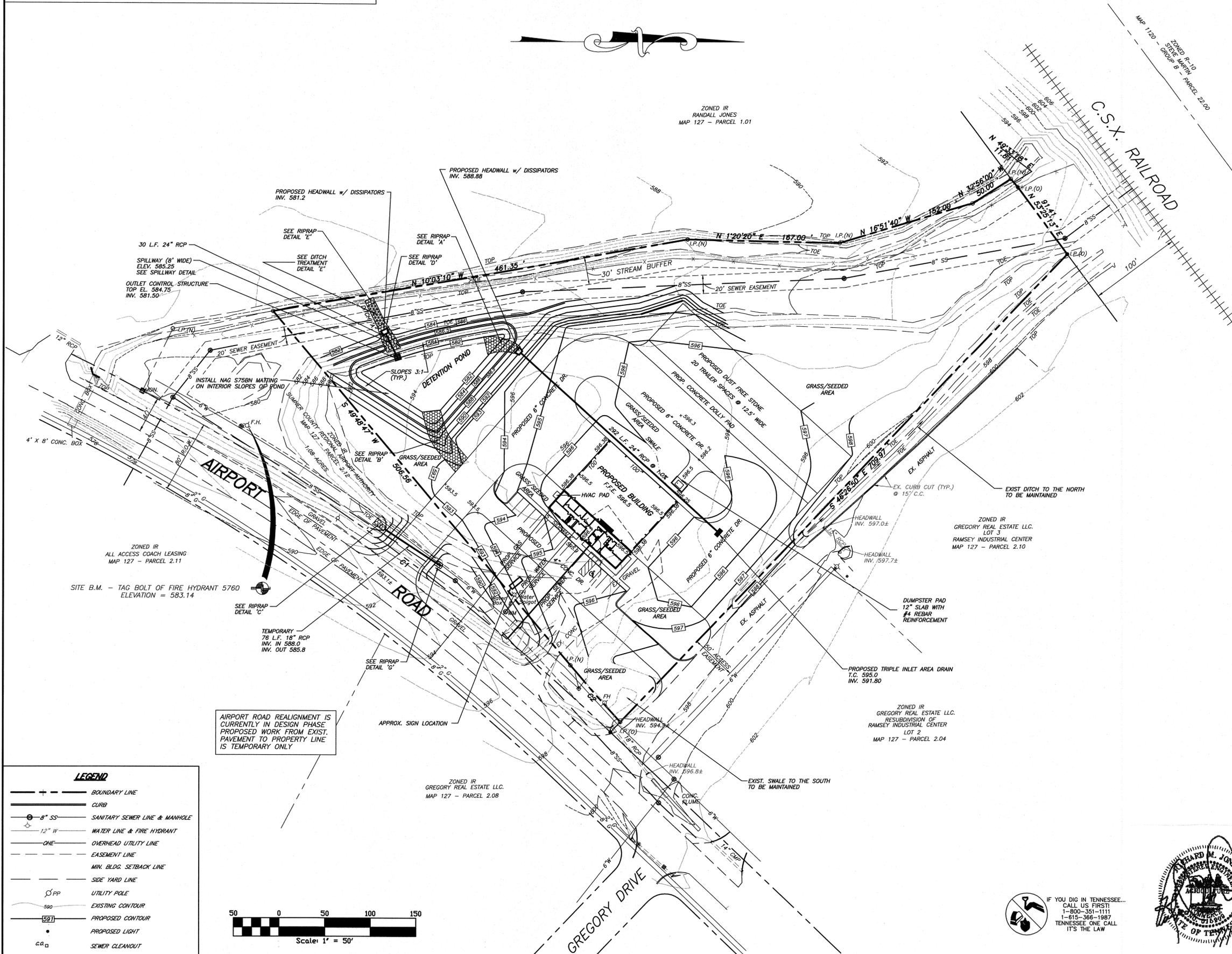
---+---	BOUNDARY LINE
---	CURB
○-8" SS	SANITARY SEWER LINE & MANHOLE
○-12" W	WATER LINE & FIRE HYDRANT
---	OVERHEAD UTILITY LINE
---	EASEMENT LINE
---	MIN. BLDG. SETBACK LINE
---	SIDE YARD LINE
○	UTILITY POLE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
○	PROPOSED LIGHT
○	SEWER CLEANOUT

TOTAL SITE CONTAINS - 5.47± AC. (238,273 S.F.±)

PRE-DEVELOPMENT		POST-DEVELOPMENT	
GRAVEL DR.: 6,510 S.F.	ROOF: 10,000 S.F.	PMT., CONC. & WALKS: 88,340 S.F.	TOTAL IMPERVIOUS: 68,340 S.F.=28.7%
CONC. PMT.: 860 S.F.			
TOTAL IMPERVIOUS: 7,370 S.F.= 3.09%			

NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT	CHORD DIRECTION
C1	15°35'26"		2339.55	636.60	634.64	320.28	S 35°55'09" W
C2	2°24'18"		1950.00	81.86	81.85	40.93	N 48°36'33" E

SITE CONTAINS: 5.47 ACRES±



NOTE: ROGERS ENGINEERING GROUP IS THE RESPONSIBLE DESIGN ENGINEER FOR CULVERTS AND DETENTION FOR THIS PROJECT.

SITE GRADING FOR SHORT FUSE TRUCKING
 PROPERTY LOCATED IN THE 3rd CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE : MAY 20, 2014 REV. : 06/23/14
 SCALE : 1" = 50' REV. : 07/14/14

PREPARED BY :

Bruce Rainey
 AND ASSOCIATES
 LAND DEVELOPMENT CONSULTANTS
 116 MAPLE ROW BLVD.
 HENDERSONVILLE, TN. 37075
 PHONE 615-822-0123
 FAX 615-824-1487

ENGINEERING BY :

ROGERS ENGINEERING GROUP
 114 B WEST MAIN STREET
 Gallatin, Tennessee 37066
 TEL: 615-230-7269 FAX: 615-230-7271
 richard.jones@rogersgroupinc.com



IF YOU DIG IN TENNESSEE...
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 TENNESSEE ONE CALL
 IT'S THE LAW

NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT	CHORD DIRECTION
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SITE CONTAINS: 5.47 ACRES±

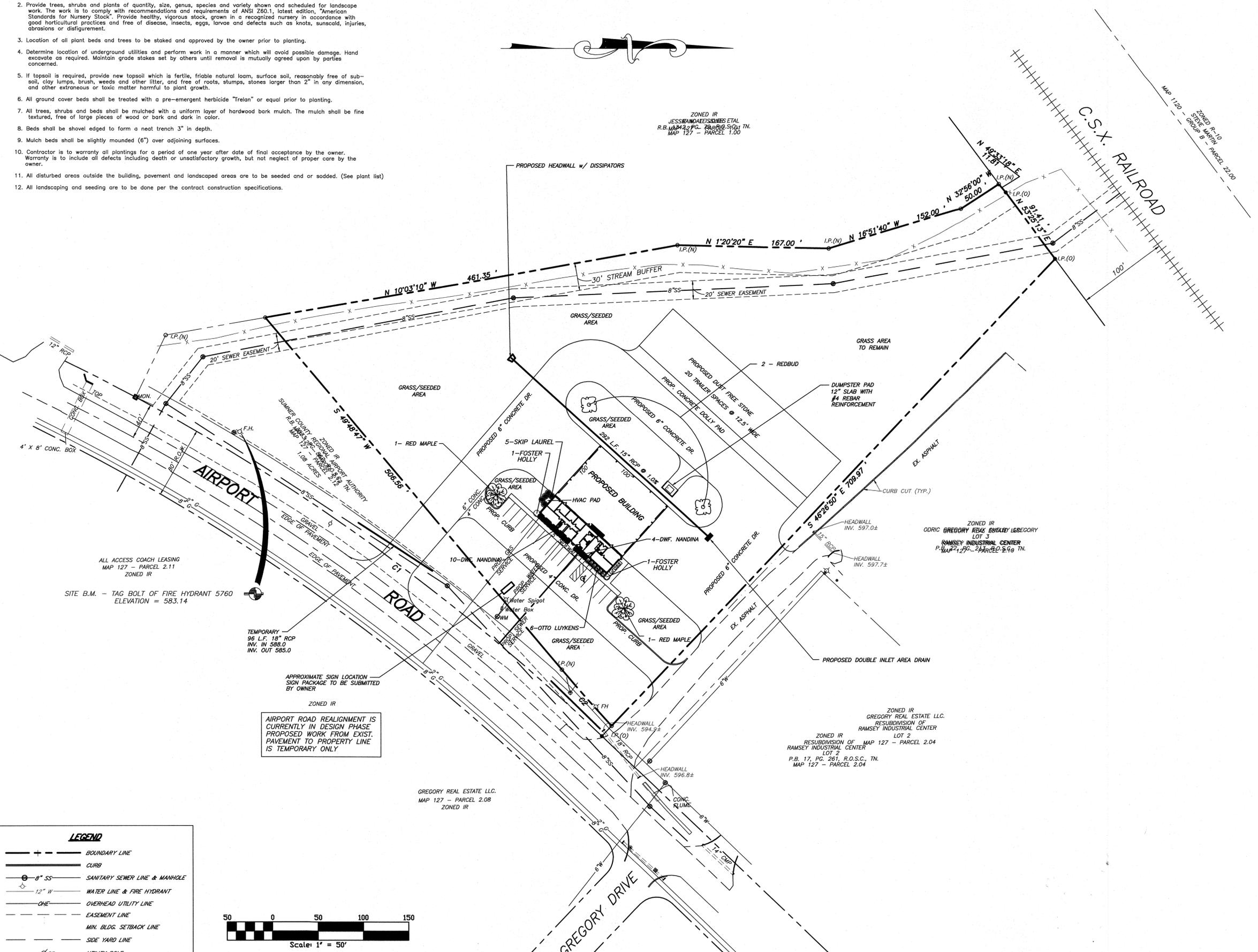
LANDSCAPE NOTES :

- The plant list is for the convenience of the contractor, however, the contractor shall confirm all quantities prior to bidding. If the plant list and the plan quantities differ, the plan shall take precedent.
- Provide trees, shrubs and plants of quantity, size, genus, species and variety shown and scheduled for landscape work. The work is to comply with recommendations and requirements of ANSI Z60.1, latest edition, "American Standards for Nursery Stock". Provide healthy, vigorous stock, grown in a recognized nursery in accordance with good horticultural practices and free of disease, insects, eggs, larvae and defects such as knots, sunscald, injuries, abrasions or disfigurement.
- Location of all plant beds and trees to be staked and approved by the owner prior to planting.
- Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate as required. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned.
- If topsoil is required, provide new topsoil which is fertile, friable natural loam, surface soil, reasonably free of sub-soil, clay lumps, brush, weeds and other litter, and free of roots, stumps, stones larger than 2" in any dimension, and other extraneous or toxic matter harmful to plant growth.
- All ground cover beds shall be treated with a pre-emergent herbicide "Trelan" or equal prior to planting.
- All trees, shrubs and beds shall be mulched with a uniform layer of hardwood bark mulch. The mulch shall be fine textured, free of large pieces of wood or bark and dark in color.
- Beds shall be shovel edged to form a neat trench 3" in depth.
- Mulch beds shall be slightly mounded (6") over adjoining surfaces.
- Contractor is to warranty all plantings for a period of one year after date of final acceptance by the owner. Warranty is to include all defects including death or unsatisfactory growth, but not neglect of proper care by the owner.
- All disturbed areas outside the building, pavement and landscaped areas are to be seeded and or sodded. (See plant list)
- All landscaping and seeding are to be done per the contract construction specifications.

LANDSCAPE DESIGN CRITERIA:

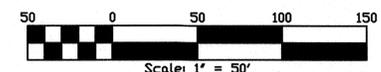
- Site Coverage Ratio:
 - Building: 10,000 S.F.
 - Pavement, Conc., etc.: 68,340 S.F.
 - Total Impermeable: 238,273 S.F.± (5.47 AC.±)
 - 71.3% Permeable
- Interior Tree Ratio:
 - 17 Parking Spaces/10 = 1.7 = 2 Canopy Trees (2 1/2" cal.)
 - 2 Provided
- Parking adjacent to Roads: 0
- Caliper inches of trees provided:
 - 10 caliper inches new trees provided

PLANT LIST			
QUANTITY	SPECIES	SIZE	REMARKS
2	Red Maple	2 1/2" cal.	Well Branched
2	Redbud	2 1/2" cal.	Full
6	Otto Luyken	18"	3 gallon
14	Dwarf Nandina	12" Ht.	3 Gal.
2	Foster Holly	5'-6" Ht.	B & B
5	Skip Laurel	36"-48" Ht.	B & B Full to Base
C.U.	Mulch Hardwood Bark	3" Depth	Fine Texture Dark in Color
S.F.	Seeding Ky. 31 Fescue	5 Lbs./1,000 s.f.	All Disturbed Areas



LEGEND

---	BOUNDARY LINE
---	CURB
○	8" SS
○	12" W
○	OVERHEAD UTILITY LINE
---	EASEMENT LINE
---	MIN. BLDG. SETBACK LINE
---	SIDE YARD LINE
○	UTILITY POLE

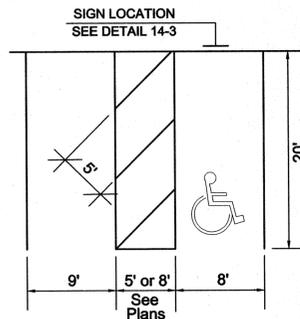


LANDSCAPE PLAN FOR SHORT FUSE TRUCKING
 PROPERTY LOCATED IN THE 3rd CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE : MAY 20, 2014 REV. : 06/23/14
 SCALE: 1" = 50' REV. : 07/14/14

PREPARED BY :
Bruce Rainey
 LAND DEVELOPMENT CONSULTANTS
 116 MAPLE ROW BLVD.
 HENDERSONVILLE, TN. 37075
 PHONE 615-822-0012
 FAX 615-824-1487

SHEET 3 OF 4
 JOB NO. 140004

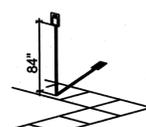


HANDICAP PARKING LAYOUT

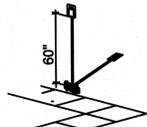
ADA NOTES:

ALL WORK PERFORMED BY THE CONTRACTOR SHALL COMPLY WITH THE PERTINENT PROVISION OF THE ADA-ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, ISSUED BY THE U.S. ARCHITECTURAL AND TRANSPORTATION BARRIER COMPLIANCE BOARD.

DETECTABLE WARNING SHALL COMPLY WITH THE NEW ADA REGULATIONS-SECTION 4.29. DETECTABLE WARNING COLOR SHALL BE YELLOW.



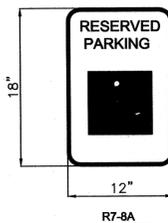
HEIGHT TO BOTTOM OF SIGN WHEN PEDESTRIAN PATH FROM CAR TO WALK PASSES BY OR UNDER THE SIGN.



HEIGHT TO BOTTOM OF SIGN WHEN PEDESTRIAN PATH FROM CAR TO WALK DOES NOT PASS BY OR UNDER THE SIGN.

FOR THIS APPLICATION THE SIGN MAY BE MOUNTED ON A POST, THE BUILDING FACE, A COLUMN OR ANY OTHER FIXED MOUNTING SURFACE.

SIGN MOUNTING HEIGHTS

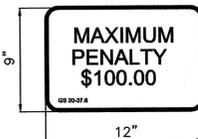


TYPE R7-8 OR R7-8A SIGN APPROVED FOR USE UNDER G.S.20-37.6

LEGEND AND BORDER - GREEN WHITE SYMBOL ON BLUE BACKGROUND BACKGROUND - WHITE

BEGINNING JANUARY 1, 1979 ALL ACCESSIBLE PARKING SPACES (INCLUDING THOSE SPACES EXISTING PRIOR TO JULY 1, 1979)

SHALL BE REQUIRED BY GENERAL STATUTE TO BE IDENTIFIED BY AN R7- OR R7-8A SIGN.

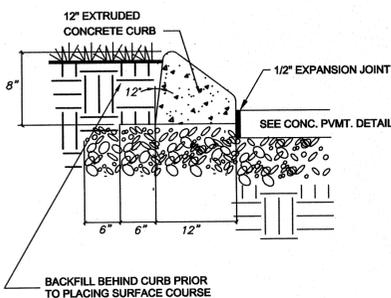


R7-8D PENALTY SIGNS ARE REQUIRED TO ACCOMPANY ALL RT-8 OR R7-8A PARKING SIGNS ERECTED AFTER DECEMBER 31, 1990.

R7-8D

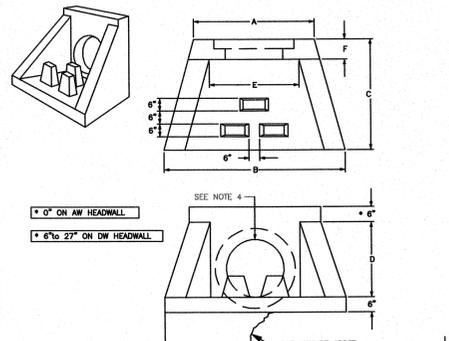
SITE HANDICAP DETAILS

N.T.S.



TYP. ASPHALT PAVING & MOUNTABLE CURB DETAIL

N.T.S.



SIZE	AW	BW	CW	DW
A	32"	48"	80"	99"
B	48"	72"	102"	120"
C	30"	44"	54"	56"
D	26"	36"	54"	60"
E	24"	36"	64"	83"
F	6"	8"	8"	8"
MAX. OPENING	22"	32"	55"	75"
WT/LB	1,380	3,100	8,100	11,400

GENERAL NOTES:

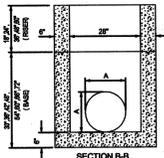
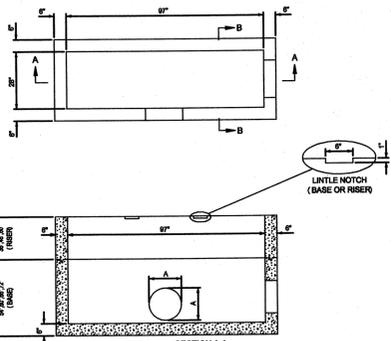
1. MAT OF #5 BARS @ 8" O.C. EACH WAY WITH EXCEPTION OF OVER OPENING WHICH WILL BE #5 BARS @ 4" O.C. EACH WAY
2. FC = 4,500 PSI
3. Fy = 60 KSI
4. PIPE OPENING IN FACE OF WALL WILL EQUAL PIPE I.D. FOR 12"-36" DIA. PIPE
5. ENERGY DISSIPATORS, AS NEEDED (12"x6"x12")

AVAILABLE MARKETS: TN-AL

SHERMANDIXIE

PRECAST HEADWALL DETAIL WITH DISSIPATORS SCALE: NTS

DATE: 02/17/08 SHEET: 1 OF 1



GENERAL NOTES:

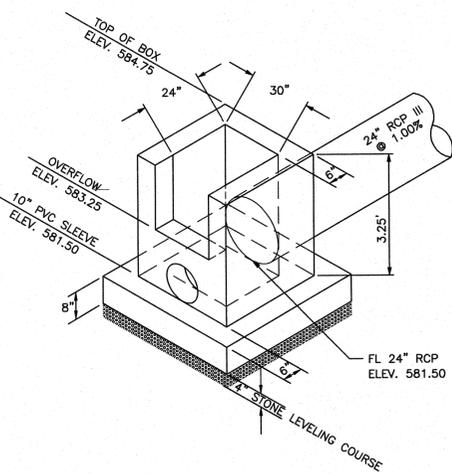
1. CONCRETE: 4800 PSI (MIN)
2. CURTOM BASE HEIGHTS AVAILABLE

AVAILABLE MARKETS: TN-AL

SHERMANDIXIE

TRIPLE CATCH BASIN / CURB INLET 28" x 97" SCALE: NTS

DATE: 02/17/08 SHEET: 1 OF 1

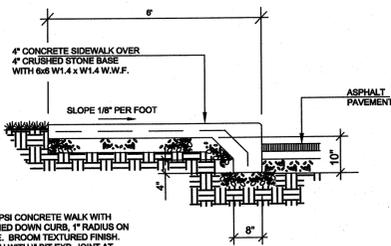


OUTLET CONTROL STRUCTURE FOR DETENTION POND

N.T.S.

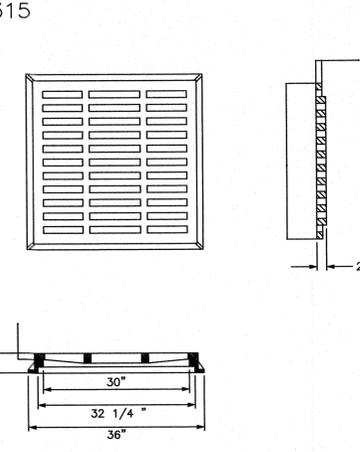
NOTES:

1. 6" CONCRETE WALLS AND 8" CONCRETE SLAB.
2. CONCRETE: 3,500 PSI REINFORCING: 60 KSI
3. EXPOSED CORNERS TO HAVE 3/4" CHAMFERS.
4. #4 REBAR AT 12" EACH WAY, WALLS AND SLAB.
5. AFTER STRIPPING FORMS ALL SURFACES TO BE SEALED WITH A SAND/CEMENT MIXTURE.
6. CONCRETE TO BE EQUAL TO A LIGHT BROOM FINISH ON ALL SURFACES.



CONCRETE WALK W/TURNDOWN

N.T.S.



TRAFFIC DUTY

REVERSIBLE FRAME

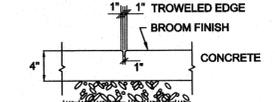
OPEN AREA = 2.58 SQ FT

NOTE: JBS 4310 (6" THICK) IS ALSO AVAILABLE.

AREA DRAIN FRAME & GRATE

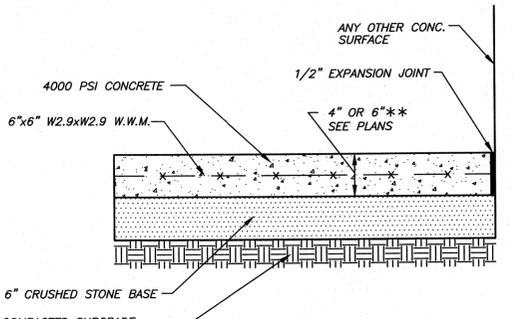
SCALE: NTS

JBS 4315



SCORE JOINT FOR WALKS

N.T.S.



CONC. PAVEMENT SECTION

**NOTE: 6" HEAVY DUTY CONCRETE PAVEMENT TO HAVE 2 LAYERS OF WOVEN WIRE MATERIAL FOR REINFORCEMENT

JBS 4315

Erosion and Sediment Control Notes

1. All sediment and erosion control measures, such as silt fence, silt ponds or inlet sediment barriers shall conform to the storm water permitting requirements of the Tennessee Department of Environment and Conservation and the "Tennessee Erosion and Sediment Control Handbook," as a minimum.
2. Erosion control to be inspected and approved prior to all other work being started.
3. The time of exposure of unprotected soils shall be kept to a maximum of 20 days. Refer to the Tennessee Dept. of Environment and Conservation, Erosion and Sediment Control Handbook, latest edition; section TS for areas to be stabilized that do not require permanent stabilization such as building footprints, parking lots, etc.
4. Keep dust within tolerable limits by sprinkling or other acceptable means. Refer to the Tennessee Dept. of Environment and Conservation, Erosion and Sediment Control Handbook section PAM.
5. No other work will be initiated on the project until the erosion/sediment control measures shown on the plans and details are properly in place.
6. Silt fence shown thus (---) are to be used as temporary sediment barriers. Silt fence shall be installed as per section SF of the Tennessee Dept. of Environment and Conservation, Erosion and Sediment Control Handbook, latest edition.
7. If, at any time during the construction phase of this project, the erosion/sediment control measures installed fail to function properly, need maintenance or repair, or need new replacement of any kind, the contractor will effect such actions as are needed to correct the situation at no additional cost to the owner. All measures are to be inspected after each rain event. Any measures needing replacement will be corrected within 5 days of the rain event.
8. Disturbed areas are to be graded to drain as indicated on the plan to sediment barriers during and upon completion of construction.
9. All stripped or cut/filled areas requiring permanent vegetation are to have a minimum of 6-inch depth topsoil cover. Areas dressed with topsoil will receive 12 pounds per 1000 square feet of 6-12-12 fertilizer, refer to section PS of the Tennessee Dept. of Environment and Conservation, Erosion and Sediment Control Handbook, latest edition to determine seed type and seeding dates along with seedbed preparation and plant selection and straw mulch of 75% coverage (approximately 125 pounds per 1000 square feet) except as otherwise shown on plan. Areas shall be watered to not cause runoff.
10. All stockpiled soil should be stabilized using temporary vegetation. Refer to the Tennessee Dept. of Environment and Conservation, Erosion and Sediment Control Handbook, latest edition, section TS.
11. Upon stabilization of the site with a good (acceptable) stand of grass and/or ground cover, the erosion/sediment control installations will be removed and the area disturbed will be seeded and mulched with the same treatment as other new grassed areas of the project.
12. A stone access ramp is to be constructed at the site entrance with a minimum width of 20 feet and a minimum length of 100 feet. The ramp is to be based with 6 inches of ASTM D 448, size No. 1 stone, and maintained throughout construction.
13. Prior to the issuance of a grading permit, all erosion and sediment control measures indicated on the plans and any additional measure requested by the City shall be installed.
14. Buffer zones and trees specified for preservation should be clearly indicated on the grading and demolition plans. Buffer zones and trees specified for preservation must be protected through the use of tree protection barriers to the drip line of soil trees. These barriers should consist of orange grid fabric staked at the border and/or drip line of preserved buffer zone and/or trees to restrict construction activity and access within the protected areas and/or tree's drip line. A tree protection detail must also be provided.

GRADING AND DRAINAGE NOTES:

1. NO TREES SHALL BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS SHOWN ON THE LANDSCAPE PLAN.
2. TOPSOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 4". IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE THE CONTRACTOR SHALL PROVIDE TOPSOIL AS NEEDED.
3. ALL GRADED AREAS SHALL BE SEEDED, MULCHED, FERTILIZED AND WATERED WITHIN 14 DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. STEEP SLOPES (3:1 OR GREATER) SHALL BE TEMPORARILY STABILIZED NOT LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE HAS TEMPORARILY OR PERMANENTLY CEASED. AREAS TO BE MAINTAINED UNTIL A HARDY GRASS GROWTH IS ESTABLISHED IN THE DISTURBED AREAS.
4. CONSTRUCT TEMPORARY EROSION CONTROL AS REQUIRED BY LOCAL AND STATE REGULATIONS PRIOR TO BEGINNING GRADING OPERATIONS.
5. NEW SPOT ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADE AND TOP OF FINISHED PAVEMENT.
6. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND PROPOSED PAVEMENTS. FIELD ADJUSTMENTS OF FINAL GRADES MAY BE NECESSARY.
7. ALL CURBS AND EDGES OF PAVEMENT SHALL BE BACKFILLED WITH TOPSOIL AND SEEDED AND MULCHED, UNLESS OTHERWISE NOTED.
8. ALL PIPES UNDER PAVED AREAS SHALL BE BACKFILLED WITH CRUSHED STONE. ALL PIPES UNDER LAWN AREAS SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL.
9. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING OPENINGS, INCLUDING POSITIVE DRAINAGE IN, AND AROUND SIDEWALK AND CURB CORNERS.
10. ANY AREA THAT IS DISTURBED OUTSIDE OF THE LIMITS OF THE CONSTRUCTION SHOWN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND TO THE SATISFACTION OF THE OWNER(S).
11. ADJUST ANY AND ALL CASTINGS, METER BOXES, AND GRATES TO FINAL GRADES.
12. CONCRETE WALKS SHALL HAVE A BROOM FINISH UNLESS OTHERWISE NOTED. (3500 P.S.I. COMPRESSIVE STRENGTH) UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL PERMITS, GIVE ALL NOTICES, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
14. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, TAKE CARE TO PROTECT THOSE THAT ARE TO REMAIN, REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO THE LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE, AND COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. ALL UTILITY WORK SHALL BE COMPLETED PRIOR TO PAVING.
15. CONTRACTOR SHALL CALL TENNESSEE ONE CALL (1-800-351-1111) TO LOCATE ALL UTILITIES PRIOR TO BEGINNING WORK.



ROGERS ENGINEERING GROUP
 114 B WEST MAIN STREET
 Gallatin, Tennessee 37068
 TEL: 615-230-7269 FAX: 615-230-7271
 richard.jones@rogersgroupinc.com

STANDARD DETAILS - 1
SHORT FUSE TRUCKING

DATE: 08-28-14
 REV.:
 REV.:
 SCALE: N.T.S.

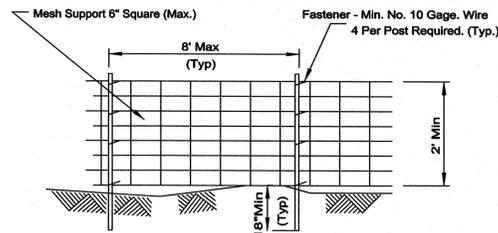


LAND DEVELOPMENT CONSULTANTS
 116 MAPLE ROW BLVD.
 HENDERSONVILLE, TN. 37075
 PHONE 615-822-0312
 FAX 615-824-1487

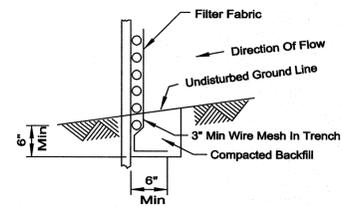
SHEET
 4
 OF SHEETS
 JOB NO. 140004



SILT FENCE WITH WIRE SUPPORT PLAN



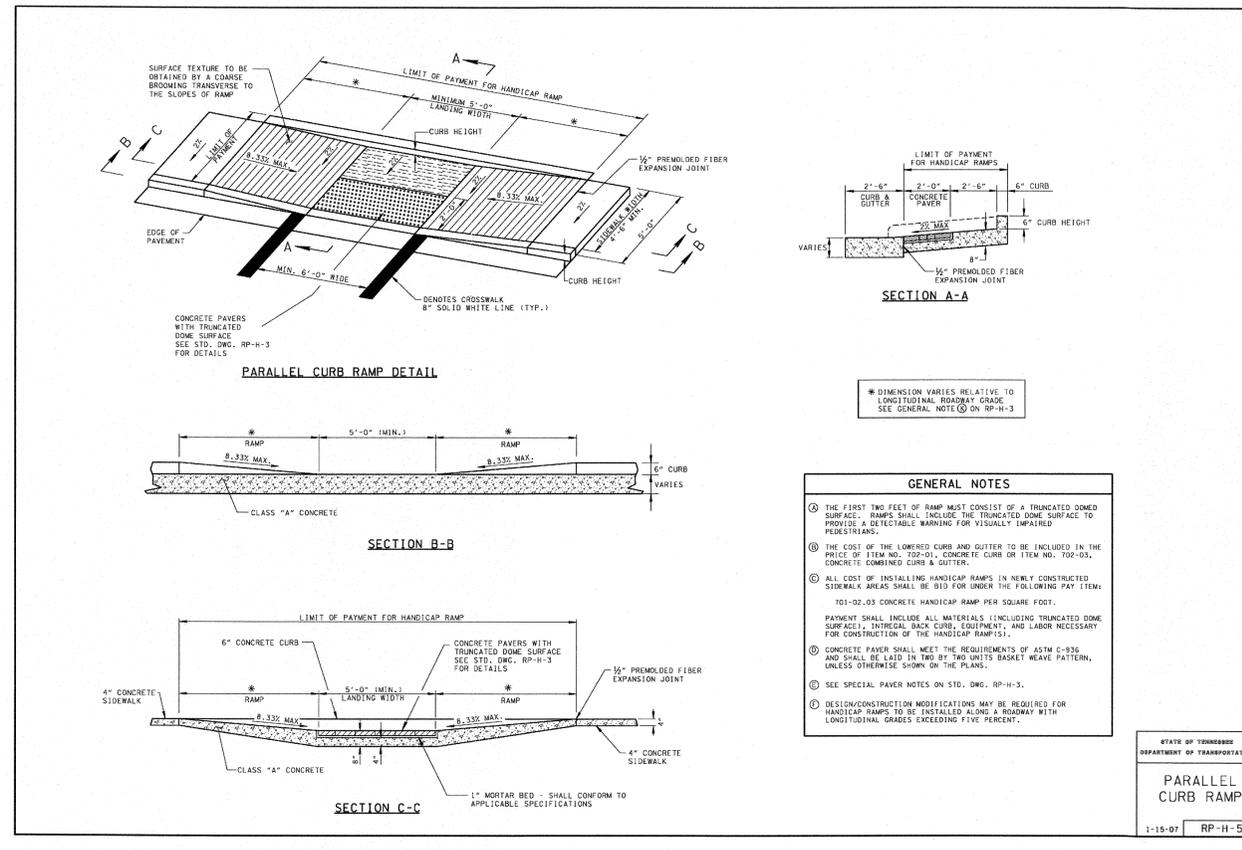
ELEVATION



FABRIC ANCHOR DETAIL

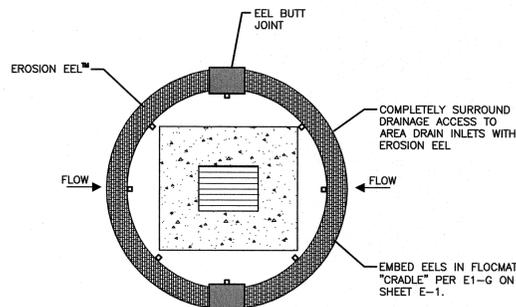
- NOTES:**
1. Wires of mesh support shall be min. gage no. 12.
 2. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 3. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class with equivalent opening size of at least 30 for nonwoven and 50 for woven.
 4. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	
Project	_____
Designed	_____ Date _____
Checked	_____ Date _____
Approved	_____ Date _____



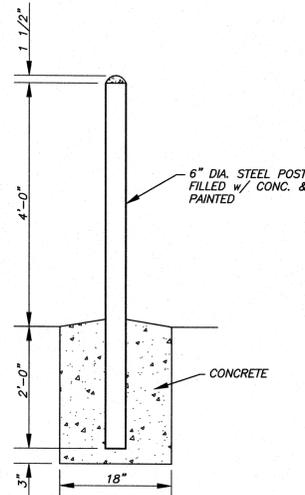
- GENERAL NOTES**
1. THE FIRST TWO FEET OF RAMP MUST CONSIST OF A TRUNCATED DOME SURFACE. RAMP SHALL INCLUDE THE TRUNCATED DOME SURFACE TO PROVIDE A DETECTABLE WARNING FOR VISUALLY IMPAIRED PEDESTRIANS.
 2. THE COST OF THE LOWERED CURB AND GUTTER TO BE INCLUDED IN THE PRICE OF ITEM NO. 702-01, CONCRETE CURB OR ITEM NO. 702-02, CONCRETE COMBINED CURB & GUTTER.
 3. ALL EDGES OF INSTALLING HANDICAP RAMP IN NEWLY CONSTRUCTED SIDEWALK AREAS SHALL BE BID FOR UNDER THE FOLLOWING PAY ITEM: 701-02.03 CONCRETE HANDICAP RAMP PER SQUARE FOOT. PAYMENT SHALL INCLUDE ALL MATERIALS (INCLUDING TRUNCATED DOME SURFACE), INTEGRAL BACK CURB, EQUIPMENT, AND LABOR NECESSARY FOR CONSTRUCTION OF THE HANDICAP RAMP(S).
 4. CONCRETE PAVES SHALL MEET THE REQUIREMENTS OF ASTM C-936 AND SHALL BE LAID IN TWO BY TWO UNITS BASKET WEAVE PATTERN, UNLESS OTHERWISE SHOWN ON THE PLANS.
 5. SEE SPECIAL PAVES NOTES ON STD. DWG. RP-H-3.
 6. DESIGN/CONSTRUCTION MODIFICATIONS MAY BE REQUIRED FOR HANDICAP RAMP(S) TO BE INSTALLED ALONG A ROADWAY WITH LONGITUDINAL GRADES EXCEEDING FIVE PERCENT.

STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION
PARALLEL CURB RAMP
1-15-07 RP-H-5

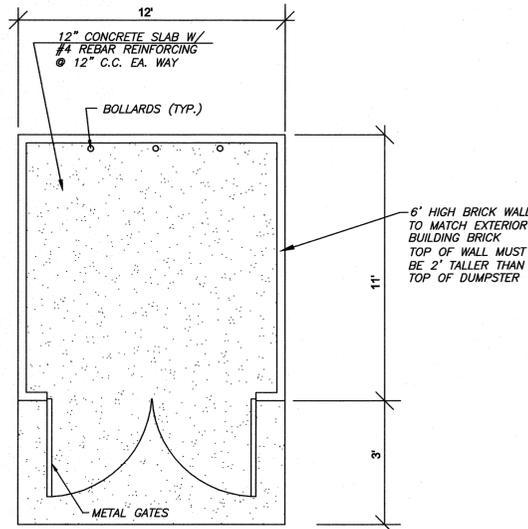


- NOTE:** EROSION EELS™ USED FOR INLET PROTECTION SHALL CONSIST OF EITHER MIXTURE SPECIFICATION 1.0 OR 1.1, PER ENGINEER'S RECOMMENDATIONS.
- NOTE:** PERIODIC MAINTENANCE SHALL INCLUDE CLEANING EEL SURFACE WITH HIGH PRESSURE WASH OR BRUSHING SURFACE WITH BROOM.

AREA DRAIN: INLET SEDIMENT TRAP
N.T.S.



BOLLARD DETAIL
N.T.S.



DUMPSTER ENCLOSURE PLAN
N.T.S.



ROGERS ENGINEERING GROUP
114 B WEST MAIN STREET
Gallatin, Tennessee 37066
TEL: 615-230-7269 FAX: 615-230-7271
richard.jones@rogersgroupinc.com

STANDARD DETAILS - 2
SHORT FUSE TRUCKING

DATE: 05-28-14
REV.: _____
REV.: _____
REV.: _____
SCALE: N.T.S.

Bruce Rainey
LAND DEVELOPMENT CONSULTANTS
116 MAPLE ROW BLVD.
HENDERSONVILLE, TN 37075
PHONE 615-822-0012
FAX 615-824-1487

SHEET
5
OF SHEETS
JOB NO. 140004

ITEM 3

GMRPC Resolution No. 2014-62

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A PRELIMINARY PLAT FOR CARELLTON PHASE 2B, CONTAINING 24 SINGLE FAMILY LOTS, 25 MULTI-FAMILY LOTS, FIVE (5) PUBLIC RIGHTS-OF-WAY SEGMENTS, AND THREE (3) OPEN SPACE TRACTS ON 17.94 (+/-) ACRES, LOCATED NORTH OF LONG HOLLOW PIKE AND WEST OF CARELLTON DRIVE – (PC0308-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Preliminary Plat submitted by Dewey-Estes Engineering at its regular meeting on July 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, and the Preliminary Plat, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-403 and §13-4-303 and Gallatin Subdivision Regulations, Chapter 1, Section 1-104, items 1-11 and Chapter 2, Section 2-103:

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Emerging Suburban Neighborhood Community Character Area.
2. The proposed Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
3. The proposed Preliminary Plat is consistent with the purpose and intent of the Residential 8 Planned Residential Development (R8-PRD) Zoning District and the Amended Preliminary Master Development Plan and Final Master Development Plan for Carellton Phase 2, Sections A and B.
4. The proposed Preliminary Plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.
5. The Preliminary Plat complies with the requirements of the subdivision regulations as described in Chapter 2, Section 2-103, Gallatin Subdivision Regulations.

APPROVED AS TO FORM:

SUSAN HIGH-McAULEY

CITY ATTORNEY



ITEM 3

PLANNING DEPARTMENT STAFF REPORT

Preliminary Plat for Carellton Phase 2B

(PC0308-14)

Located on west of Carellton Drive.

Date: July 28, 2014

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A PRELIMINARY PLAT FOR CARELLTON PHASE 2B, A MAJOR SUBDIVISION, TO CREATE 24 SINGLE FAMILY LOTS, 25 MULTI-FAMILY LOTS, FIVE (5) NEW PUBLIC RIGHTS-OF-WAY, AND THREE (3) OPEN SPACE TRACTS ON 17.94 (+/-) ACRES, LOCATED WEST OF CARELLTON DRIVE.

OWNER: GREEN TRAILS, LLC (RICK DECKBAR)

APPLICANT: DEWEY ESTES ENGINEERING (MICHAEL DEWEY, P.E.)

STAFF RECOMMENDATION: APPROVAL (WITH CONDITIONS)

STAFF CONTACT: KEVIN CHASTINE, AICP

PLANNING COMMISSION DATE: JULY 28, 2014

PROPERTY OVERVIEW: The owner and applicant requests approval of a Preliminary Plat for Carellton Phase 2B, a major subdivision, to create 24 single family lots, 25 multi-family lots, five (5) new public rights-of-way, and three (3) open space tracts on 17.94 (+/-) acres, located west of Carellton Drive. The property is currently zoned Residential-8 Planned Residential Development (R8-PRD). One-Family Detached Dwellings and Multi-Family Dwellings are permitted uses in the R8-PRD zone district. (Attachment 3-1)

CASE BACKGROUND:

Previous Approvals

Prior to annexation the Sumner County Planning Commission approved an Amended Preliminary Master Development Plan for The Paddock onw December 19, 2006. The Final Master Development Plan for The Paddock was approved, with conditions, by the Sumner County Planning Commission on January 23, 2007.

The City of Gallatin established the Residential-8-Planned Residential Development (R8-PRD) zoning with the Preliminary Master Development Plan for The Paddock on April 15, 2008, affective upon annexation on May 2, 2008. One-family attached and detached dwellings are permitted uses in the R8-PRD zone district.

The Gallatin Planning Commission approved, with conditions, an extension of the Sumner County approval for the Paddock Final Master Development Plan (PC9803-11) at the May 23, 2011 commission meeting. The Final Plat for Phase 1-A (PC File #1-15-08C) of The Paddock was approved, with conditions, at the June 23, 2008 Gallatin Planning Commission meeting. The Final Plat for Phase 1-A was recorded on July 25, 2013. The Preliminary Plat for Carellton Phase 1-B was approved, with conditions, at the August 26,

- 5 Signature Lots – 50 foot wide - (6,000 square feet)
 - Lots # 55-56, 89-91, and 137
- 25 Villa Lots –36 foot wide townhouse - (9,240 square feet for two (2) units)
 - Lots # 267-280 and 282 - 292

Streets/Access

The Preliminary Plat for Phase 2B will create five (5) new streets/street segments. This includes Day Star Court, Gulfstream Drive, Grindstone Drive, Santa Rosa Drive and Whitestone Lane will be extended into Phase 2B, but will change names to Ferdinand Drive after crossing Carellton Drive at a roundabout.

All of the proposed streets are 50 foot wide rights-of-way with five (5) feet wide sidewalks on both sides of the street. All total there will be 2.95 acres of new public rights-of-way within Phase 2B.

As discussed with the FMDP for Phase 2A and 2B, the City of Gallatin will be undertaking a traffic study that will encompass the entire corridor of Big Station Camp Boulevard and adjacent roadways. This study will focus on traffic generation from the currently approved developments, extant development, and potential build out under the current zoning of undeveloped property. The results of this study will identify the need for transportation infrastructure improvements throughout the Station Camp corridor, the costs of the improvements, and how the costs of the can be financed by developments within the Station Camp Corridor.

Carellton will be one of many properties to contribute to the future transportation needs in the area. The Final Master Development Plan for Phase 2A and 2B, to addressed transportation improvements as follows:

Developers of the Carellton are responsible for the installation of a traffic signal at the intersection of Big Station Camp Boulevard/Long Hollow Pike/Carellton Drive per conditions of previous approval outlined in 6-28-2005 Sumner County Planning Commission minutes. A signal warrant study shall be performed by the developer(s) upon request by the City of Gallatin Engineering Division. Upon meeting signal warrants, the developer(s) shall install a signal to City standards. To ensure completion of the signal, a pro-rata surety shall be posted prior to recording of each plat in the Carellton development. The surety amount will be based upon the amount of traffic generated by the Carellton development to warrant a traffic signal as indicated in the approved traffic impact study.

A pro-rata amount will be required prior to final plat approval/recording.

Floodplain and Floodway

No portion of Phase 2B is located within a flood hazard area.

Amended Preliminary Master Development Plan and Final Master Development Plan for Carellton Phase 2, Sections A and B.

4. The proposed Preliminary Plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.
5. The Preliminary Plat complies with the requirements of the subdivision regulations as described in Chapter 2, Section 2-103, Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

The Planning Department recommends that the Gallatin Municipal-Regional Planning Commission approve GMRPC Resolution 2014-62, Preliminary Plat for Carellton Phase 2B, consisting of a 2 sheet plat, prepared by Dewey-Estes Engineering, of Nashville, Tennessee, with job number 12017, dated June 25, 2014, and revision date of July 17, 2014, with the following conditions:

1. The applicant shall show and label the Type 20 Bufferyard in Open Space 'A' to match the approved FMDP for Phase 2A & 2B.
2. Match rear yard lines to stream buffer on lots 56, 89, and 91.
3. Provide P.U.D.E.s in area where utility lines cross the open space tracts per the Gallatin Subdivision Regulations.
4. Submit three (3) corrected folded copies of the Preliminary Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

Attachment 3-1 Location Map for Carellton Phase 2B

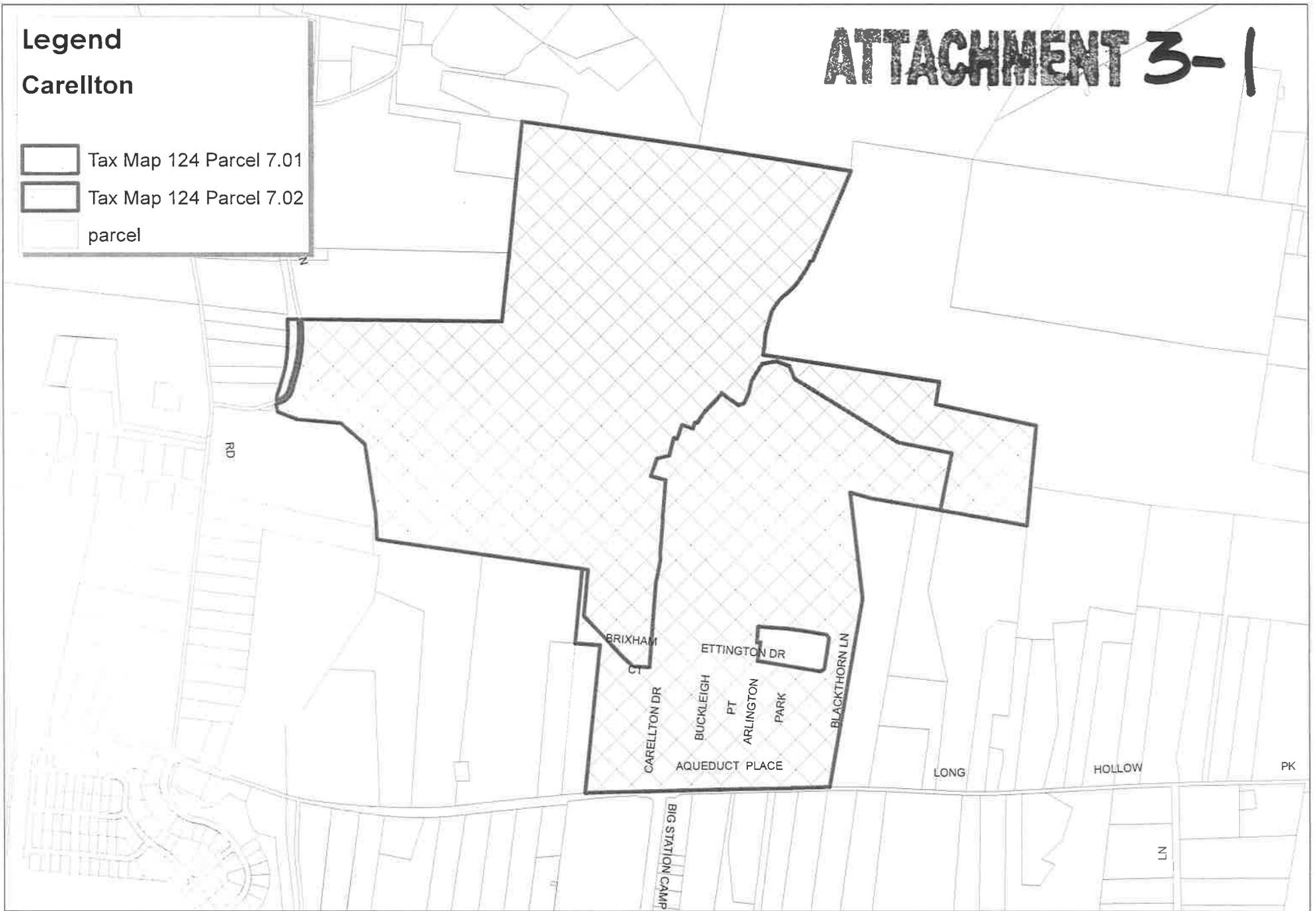
Attachment 3-2 Preliminary Plat for Carellton Phase 2B (PC0308-14)

ATTACHMENT 3-1

Legend

Carellton

-  Tax Map 124 Parcel 7.01
-  Tax Map 124 Parcel 7.02
-  parcel



LocationMap

Carellton Phae 2B - Preliminary Plat

PC0308-14



Prepared By: Kevin Chastine, AICP
Prepared On: July 22, 2014

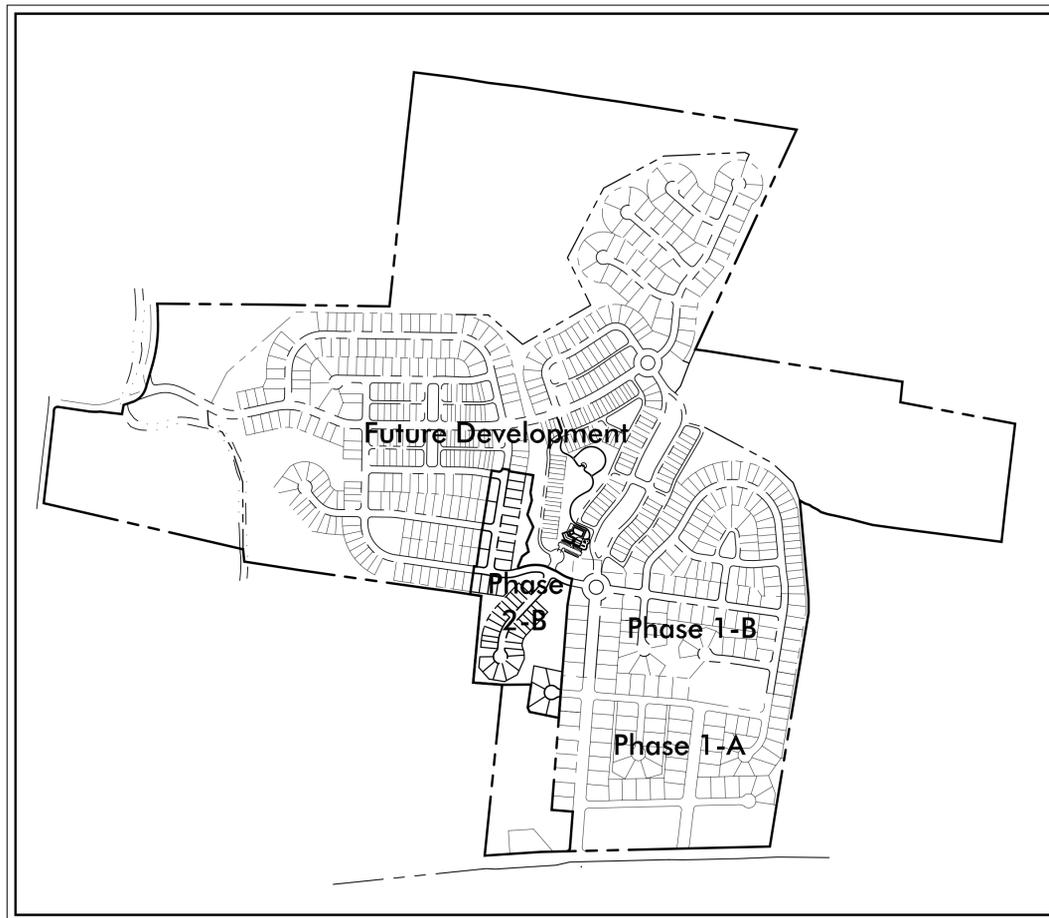
0 0.05 0.1 0.2 Miles



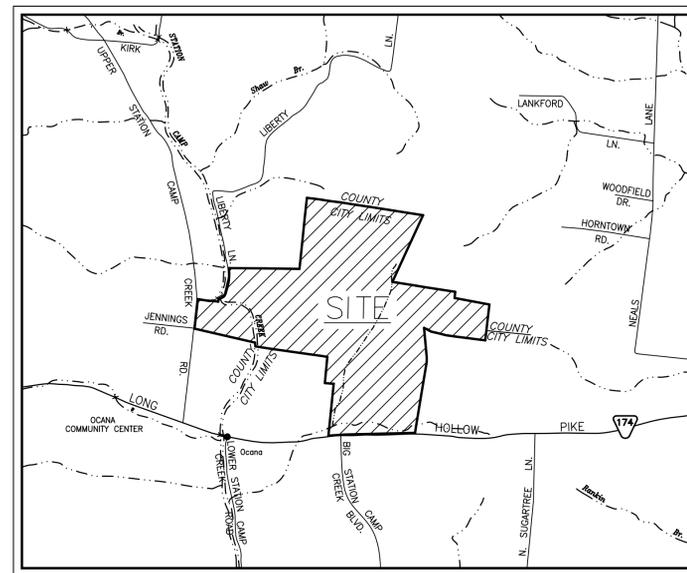
Preliminary Plat for Carelton Phase 2-B

Being Parcels 7.01 and 7.02 on Tax Map 124
Gallatin, Sumner County, Tennessee

Sheet Schedule	
C0.0	Preliminary Plat
C1.0	Preliminary Plat



Overall Site Map
Scale 1"=600'



Vicinity Map
NTS

Project Summary

Site Data	Site Information
Councilmatic District #4 Council Person Craig Hayes Property Location / Address: Located at the Intersection of Long Hollow Pike and Big Station Camp Creek Blvd Gallatin, TN 37066 Applicant: Green Trails, LLC Contact: Rick Deckbar Address: 2925 Berry Hill Drive, Ste A Nashville, TN 37204 Phone: (615) 397-4513 Developer: Green Trails, LLC Contact: Rick Deckbar Address: 2925 Berry Hill Drive, Ste A Nashville, TN 37204 Phone: (615) 397-4513 Engineer: Dewey-Estes Engineering Contact: Kevin Estes, PE Address: 2925 Berry Hill Drive, Ste B Nashville, TN 37204 Phone: (615) 401-9956	Tax Map 124, Parcels 7.01 & 7.02 Zoning - R8(PRD) Current Use: Vacant Proposed Use: Residential (Single Family & Multi-Family Dwelling) Plan Preparation Date: June 25, 2014 Plan Revision Date: July 17, 2014 Site Breakdown: Total Lots - 49 Lot Breakdown: 60' Wide Lots - 19 (Single Family) 50' Wide Lots - 5 (Single Family) 36' Wide Townhomes - 25 (Multi-Family) Open Space Area - 6.36 Acres ROW Area - 2.95 Acres Lot Area - 8.63 Acres Minimum Front Yard: 20 Ft Minimum Rear Yard: 20 Ft Minimum Side Yard: 5 Ft Minimum Side Yard (Corner Lot): 15 Ft Maximum Height: 2 Stories Parking Required: 98 Total Parking Stalls (2 Stalls/Unit) Parking Provided: 98 Garage Stalls (2-Car Garage/Unit)

Project Notes

- The purpose of this submittal is to obtain approval of a Preliminary Plat for Phase 2-B of this development, consisting of 24 Single-Family Dwellings and 25 Multi-Family Dwellings on 49 Lots.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of the City of Gallatin Department of Public Works.
- This property does NOT lie in a Flood Hazard Area as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012. Base Flood Elevations have not been determined by FEMA.
- All public streets, curbs, and sidewalks are to be constructed in conformance with the City of Gallatin Engineering Division design standards.
- Wheelchair accessible curbs ramps, complying with applicable Engineering Division standards, shall be constructed at all street crossings.
- Individual water and/or sanitary sewer service lines are required for each lot.
- The final Construction Documents shall indicate the proposed method to deal with stormwater runoff for this project.
- All areas designated as Open Space will be owned and maintained by the Homeowners' Association.
- All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02.
- The owner/developer of this property is responsible for all financial matters.

Certificate of Planning Commission Preliminary Approval Note:
 Approved by the Gallatin Municipal-Regional Planning Commission, with such exceptions or conditions as are indicated in the minutes of the Commission are _____.

This preliminary plat approval does not constitute approval of this subdivision in the final form and does not constitute approval for recording of the plat.

Flood Note:
 This property does NOT lie in a Flood Hazard Area as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.

Site Benchmark:
 Located at the NE Corner of Phase 1-B.
 Iron Rod Found, No Cap In Fence.
 NGVD 29 Elevation = 583.65'

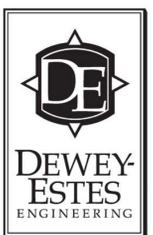


Revisions:

 Drawing Notes:

 Date: July 17, 2014

Carelton
 Phase 2-B Preliminary Plat
 Being Parcels 7.01, and 7.02 on Tax Map 124
 Gallatin, Sumner County, Tennessee



Preliminary Plat

Job No. 12017

C0.0

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD	DIRECTION	CHORD LENGTH
C33	31°38'18"	275.00	77.92	151.85	N 89°02'25" E		149.93
C34	19°08'26"	226.20	38.14	75.57	S 67°39'41" E		75.22
C35	90°00'00"	25.00	25.00	39.27	N 54°10'54" E		35.36
C36	19°45'12"	275.00	47.88	94.81	N 67°58'04" W		94.54
C37	97°27'20"	25.00	28.48	42.52	S 73°10'52" W		37.58
C38	18°52'51"	275.00	45.73	90.62	S 33°53'38" W		90.21
C39	37°59'50"	225.00	77.47	149.22	S 24°20'08" W		146.50
C40	48°11'26"	25.00	11.18	21.03	S 18°45'26" E		20.41
C41	27°22'46"	50.00	-44.72	241.19	N 84°39'47" W		66.67
C42	48°11'23"	25.00	11.18	21.03	N 29°25'55" E		20.41
C43	37°59'50"	275.00	94.68	182.37	N 24°20'08" E		179.05
C44	18°52'51"	225.00	37.41	74.15	N 33°53'38" E		73.81
C45	104°28'39"	25.00	32.27	45.59	N 27°47'07" W		39.53
C46	26°45'18"	225.00	53.51	105.07	S 86°35'55" W		104.11
C47	24°59'37"	275.00	60.95	119.96	S 85°43'04" W		119.01
C48	24°59'37"	225.00	49.87	98.15	S 85°43'04" W		97.37
C49	90°00'00"	25.00	25.00	39.27	N 36°47'08" W		35.36
C50	00°58'01"	1475.00	12.45	24.89	N 08°41'53" E		24.89
C51	90°58'01"	25.00	25.43	39.69	S 36°18'07" E		35.65
C52	00°58'01"	1525.00	12.87	25.74	S 08°41'53" W		25.74
C53	90°00'00"	25.00	25.00	39.27	S 53°12'52" W		35.36
C54	90°00'00"	25.00	25.00	39.27	S 35°49'06" E		35.36
C55	89°01'59"	25.00	24.58	38.85	S 53°41'53" W		35.06
C56	41°24'35"	50.00	18.90	36.14	S 73°45'49" W		35.36
C57	262°49'09"	50.00	-56.69	229.35	N 04°28'07" E		75.00
C58	41°06'56"	50.00	18.75	35.88	S 64°40'47" E		35.12

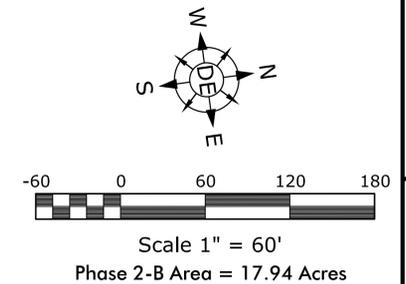
NAME	SQUARE FEET	ACRES
55	10760.80	0.25
56	11976.20	0.27
89	12492.59	0.29
91	14446.13	0.33
137	11538.28	0.26
267	5280.00	0.12
268	5280.00	0.12
269	5280.00	0.12
270	5280.00	0.12
271	5280.00	0.12

NAME	SQUARE FEET	ACRES
272	6418.22	0.15
273	6482.24	0.15
274	5528.60	0.13
275	5951.36	0.14
276	8742.21	0.20
277	8869.95	0.20
278	7628.45	0.18
279	7328.85	0.17
280	7969.22	0.18
282	5477.80	0.16

NAME	SQUARE FEET	ACRES
283	4321.98	0.10
284	6398.83	0.15
285	6001.50	0.14
286	5989.12	0.14
287	5805.77	0.13
288	5280.00	0.12
289	5280.00	0.12
290	5280.00	0.12
291	5280.00	0.12
292	5280.00	0.12

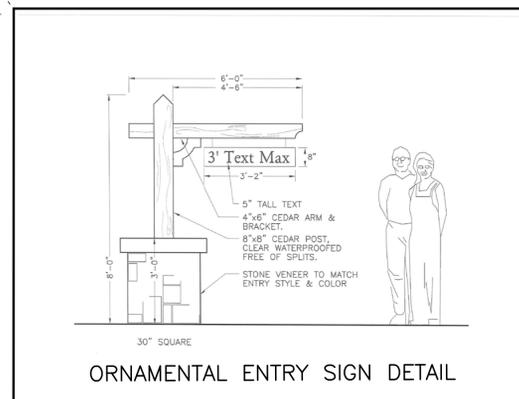
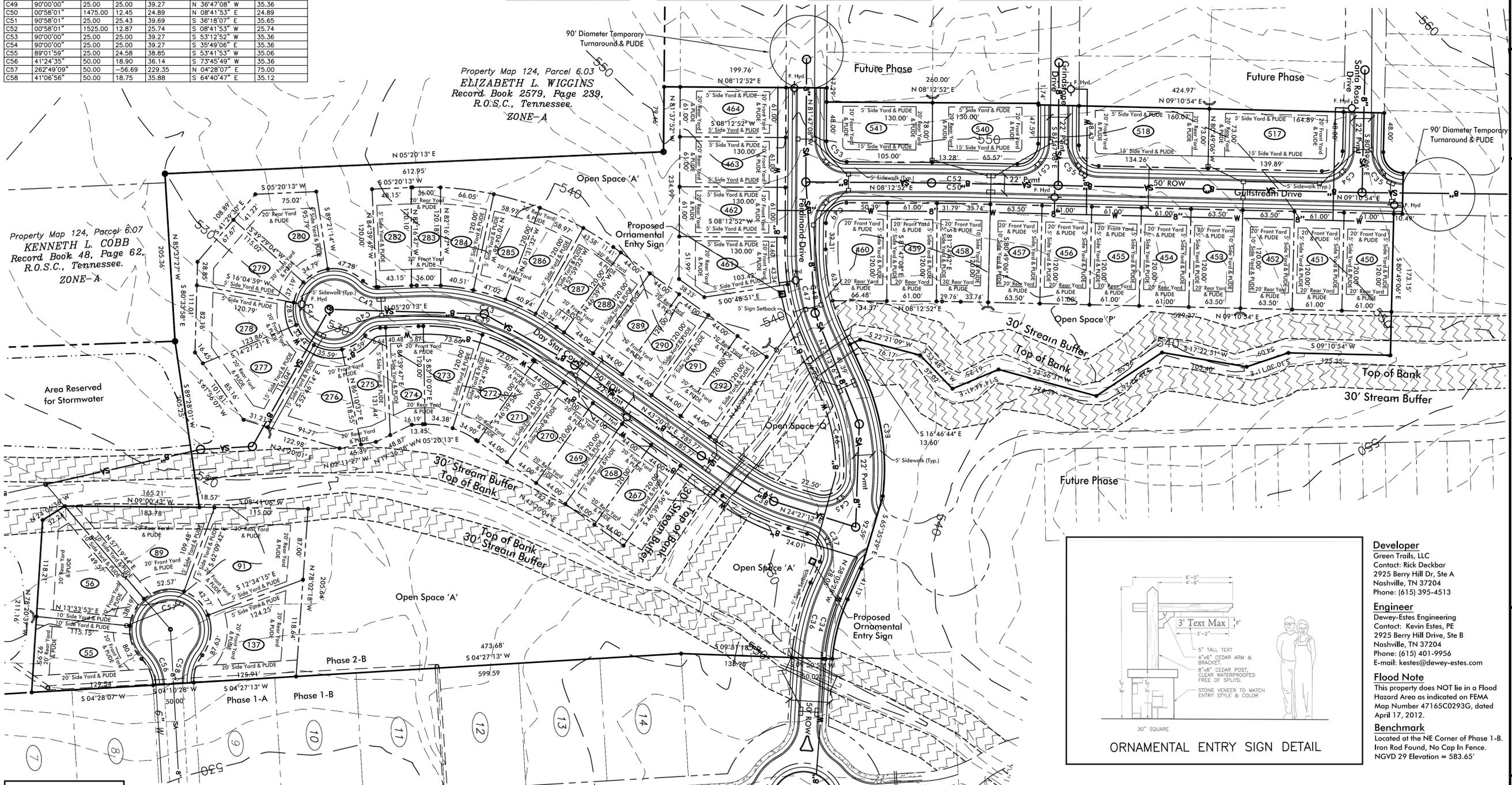
NAME	SQUARE FEET	ACRES
450	7320.00	0.17
451	7320.00	0.17
452	7620.00	0.17
453	7620.00	0.17
454	7320.00	0.17
455	7320.00	0.17
456	7320.00	0.17
457	7620.00	0.17
458	7742.18	0.18
459	7320.00	0.17

NAME	SQUARE FEET	ACRES
460	8727.42	0.20
461	8549.56	0.20
462	7930.00	0.18
463	7930.00	0.18
464	7930.00	0.18
465	11903.05	0.27
466	11511.09	0.26
467	9442.00	0.22
468	9355.87	0.21



Revisions:
Drawing Notes:

Date: July 17, 2014



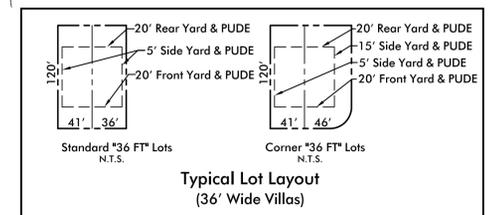
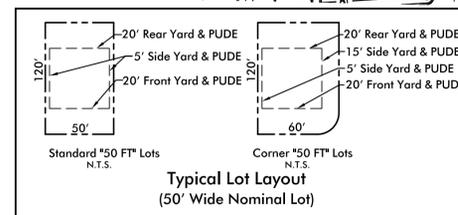
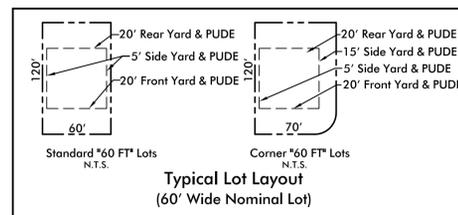
Developer
Green Trails, LLC
Contact: Rick Deckbar
2925 Berry Hill Dr, Ste A
Nashville, TN 37204
Phone: (615) 395-4513

Engineer
Dewey-Estes Engineering
Contact: Kevin Estes, PE
2925 Berry Hill Drive, Ste B
Nashville, TN 37204
Phone: (615) 401-9956
E-mail: kestes@dewey-estes.com

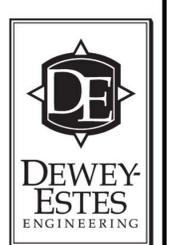
Flood Note
This property does NOT lie in a Flood Hazard Area as indicated on FEMA Map Number 47165C0293G, dated April 17, 2012.

Benchmark
Located at the NE Corner of Phase 1-B.
Iron Rod Found, No Cap In Fence.
NGVD 29 Elevation = 583.65'

- Headwall
- Storm Catch Basin
- Storm Pipe
- Fire Hydrant
- Water Main
- Sewer Manhole
- Sewer Main
- Concrete Monument
- Iron Rod



Carelton
Phase 2-B Preliminary Plat
Being Parcels 7.01, and 7.02 on Tax Map 124
Gallatin, Sumner County, Tennessee



Preliminary Plat

Job No. 12017

C1.0

2 of 2

ITEM 4

GMRPC Resolution No. 2014-68

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE HUNT CLUB PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR THE HUNT CLUB, PHASE 2, SECTION 4, PROPOSED LOT 2B CONTAINING 2.81 (+/-) ACRES LOCATED AT 1528 HUNT CLUB BOULEVARD (PC0310-14).

WHEREAS, the applicant has submitted an application for a minor amendment to the previously approved Hunt Club Preliminary Master Development Plans consistent with Section 12.02 and a Final Master Development Plan consistent with Section 12 of the City of Gallatin Zoning Ordinance, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the amended Preliminary Master Development Plan and the Final Master Development Plan submitted by the applicant, Perry Engineering, LLC, at its regular meeting on July 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, in the Amended Preliminary Master Development Plan/Final Master Development Plan, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations make the following findings pursuant to T.C.A. §13-3-310, §13-4-310, §13-7-201, and §13-7-202:

1. The proposed Amended Preliminary Master Development Plan/Final Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district.
2. The proposed changes shown in the Amended Preliminary Master Development Plan/Final Master Development Plan do not constitute a major amendment to the approved PMDP as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
3. The Amended PMDP/FMDP is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Commercial Corridor Community Character Area and the Gateway Corridor Overlay.

4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity. As designed, the proposed architecture and layout of the multi-tenant buildings will not change the essential character of the Hunt Club since this phase will match previously constructed phases of the project. An Alternative Type 50 Bufferyard will be installed at the rear property and a Type 15 Bufferyard will be installed on the western side of the proposed Lot 2B to protect adjacent properties. The project has also been designed to reflect the recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* and be consistent with the intent and purpose of the Gallatin Zoning Ordinance.
5. It has been determined that the legal purposes for which zoning regulations exist have not been contravened.
6. It has been determined that the Amended PMDP/FMDP will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. It has been determined that no one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended PMDP/FMDP has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a minor amendment to the Preliminary Master Development Plan for the Hunt Club and approval of a Final Master Development Plan for the Hunt Club, Phase 2, Section 4, Proposed Lot 2B, consisting of an 18 sheet plan, prepared by Perry Engineering, LLC of Goodlettsville, Tennessee, with job number 110-031, dated July 17, 2014, with the following conditions:

1. Planning Commission approves the proposed changes as a minor amendment to the approved Hunt Club Preliminary Master Development Plan.
2. Planning Commission approves the proposed architectural elevations as submitted.
3. Inspection of the exterior building façade materials by the Planning Department is required prior to the installation of the exterior building façade materials for both buildings.
4. The alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval.
5. Label the alternative bufferyard along the southern property line as an Alternative Type 50 Bufferyard.

6. Submit a site surety, in an amount to be determined by the applicant and approved by the Planning Department, to the Planning Department prior to the issuance of any building permits for proposed Lot 2B.
7. Submit details of all proposed permanent signs to the Planning Department for review and approval in compliance with G.Z.O. Section 13.07.065. F, Master Signage Plan. All signs shall comply with G.Z.O. Section 13.07, Sign Regulations. Sign permits shall be obtained prior to the installation of any signs on site.
8. Relocate the multi-tenant sign outside the water line easement along Hunt Club Boulevard.
9. Provide drainage easement to the stormwater detention pond including outfall area.
10. The Hunt Club, Phase 2, Section 4, Lots 2A and 2B minor subdivision plat shall be recorded prior to the issuance of any building permits for proposed Lot 2B.
11. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit copy of utility surety to the Planning Department if required by White House Utility District prior to the issuance of a building permit for proposed Lot 2B.
12. Provide sidewalks along private access easement per Gallatin Zoning Ordinance.
13. Eastern driveway does not meet minimum spacing requirements of *Gallatin on the Move 2020 General Development and Transportation Plan*. Minimum spacing from adjacent driveway is 225 ft. Revise plan to meet plan recommendation.
14. A stormwater maintenance agreement shall be recorded for this development.
15. Realign proposed outlet of 48-in CMP to reduce skew with existing swale grading to the satisfaction of the City Engineer.
16. Proposed swale behind construction phase 1 (building A) outlets at proposed transformer pad. Relocate pad or adjust swale outlet.
17. Provide permanent outlet protection (similar to TDOT Riprap Apron) at outlet of proposed 48-in CMP.
18. Add check dams to swale in Erosion Control Phase 1.
19. Provide detail for "Weighted Sediment Tubes".
20. Adjust shading/hatching of Erosion Control Phase 2; linework for grading is not visible.
21. Add the following note to plan: "Stormwater Detention Pond to be constructed during initial grade work and prior to building pads".
22. Add BMP's to proposed swales behind buildings on Erosion Control Phase 2.
23. Provide engineering analysis regarding capacity of existing 48-in CCP.
24. Provide engineering regarding tailwater conditions for proposed 48-in CMP and tie-in.
25. Submit three (3) corrected, folded copies of the Amended PMDP/FMDP to the Planning Department prior to the issuance of building permits for proposed Lot 2B.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 7/28/14

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney



ITEM 4

PLANNING DEPARTMENT STAFF REPORT

The Hunt Club, Phase 2, Section 4, Proposed Lot 2B, Amended PMDP & FMDP
(PC0310-14)

1528 Hunt Club Boulevard

Date: July 23, 2014

REQUEST: THE OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE HUNT CLUB PRELIMINARY MASTER DEVELOPMENT PLAN AND APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR THE HUNT CLUB, PHASE 2, SECTION 4, PROPOSED LOT 2B CONTAINING 2.81 (+/-) ACRES, LOCATED AT 1528 HUNT CLUB BOULEVARD (PC0310-14).

OWNER: A & R LAND INVESTMENTS, LLC

APPLICANT: PERRY ENGINEERING, LLC

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2014-68

STAFF CONTACT: KATHERINE SCHOCH, AICP

PC MEETING DATE: JULY 28, 2014

PROPERTY OVERVIEW:

The owner and applicant are requesting approval of a minor amendment to the Hunt Club Preliminary Master Development Plan and approval of a Final Master Development Plan for the Hunt Club, Phase 2, Section 4, proposed Lot 2B containing 2.81 (+/-) acres, located at 1528 Hunt Club Boulevard (Attachment 4-1 & Attachment 4-2).

The Preliminary Master Development Plan is being amended to change the building layouts shown in Phase 2, Section 4 to allow for the construction of two (2) separate multi-tenant office buildings with different construction schedules (shown as construction phases 1 & 2). Building A, adjacent to Hunt Club Boulevard, is shown at 10,678 square feet, and Building B, adjacent to the Stoneridge Farms Apartments site, will be slightly smaller at 7,730 square feet (Attachment 4-1; sheet C-2.1). The architecture for both buildings will match the office buildings already constructed in the Hunt Club, Phase 1 adjacent to Nashville Pike. There are no proposed architectural changes with this amendment. The property is currently zoned Mixed Use (MU). Financial, Consulting, and Administrative are permitted uses in the MU zone district. Since the end users of the multi-tenant buildings are unknown at this time, the applicant has also listed Place of Worship, Medical Office/Service, Business and Communication Services, General Personal Services, and Research Services as possible uses for the buildings, all of which are permitted in the MU zone district. The two (2) multi-tenant buildings will be located on proposed Lot 2B once a minor subdivision plat dividing Lot 2 of Section 2 of the Hunt Club Subdivision (P.B. 20; PG 364) into Lots 2A and Lot 2B is approved and recorded by the Planning Department (PC0311-14) (Attachment 4-3).

Staff recommends that the Planning Commission approve the proposed changes as a minor amendment to the approved PMDP and recommends approval of the FMDP with the conditions listed on pages 10 and 11 of the staff report and in GMRPC Resolution 2014-68.

CASE BACKGROUND:

Previous Approvals and Property History

At the March 26, 2001 meeting, the Planning Commission recommended approval of the rezoning and Preliminary Master Development Plan with conditions for the Hunt Club Development to rezone 51 (+/-) acres from Residential-20 (R20) to Mixed Use (MU) to build an office complex and Multi-family Dwelling (apartment) complex on Nashville Pike (PC File #3-1-01). This property is commonly known as the Avondale property. The original PMDP called for 18.1 (+/-) acres of office/retail uses, 30.5 (+/-) acres for Multi-family residential purposes, and the remaining 2.4 acres as right-of-way. The PMDP included an overall layout of the proposed buildings and featured conceptual architecture and bufferyards for the entire development. Ordinance #O0104-022 passed Second Reading at the May 15, 2001 City Council meeting. Since that time, several amendments to the approved PMDP have been approved along with Final Master Development Plans and final plats for various phases and sections of the development.

At the May 21, 2001 meeting, the Planning Commission approved a Final Site (Master) Development Plan for Stoneridge Farms at the Hunt Club for construction of a 364 unit apartment complex, with alternative architecture, on 30.5 (+/-) acres located at 2325 Nashville Pike just west of the subject property (PC File #8-24-01). Also at that meeting, the Planning Commission also approved with conditions a Final Site (Master) Development Plan showing the public road and utility infrastructure for the Hunt Club, Section 2, containing two (2) lots on 20.50 (+/-) acres located at 2229-2235 Nashville Pike (PC File #8-25-01).

A major subdivision final plat for the Hunt Club, Phase 1, Section 2 containing (1) lot on 30.50 (+/-) acres located off Nashville Pike was also approved with conditions at the May 21, 2001 Planning Commission meeting (PC File #1-6-01C1) (Attachment 4-4). This plat created Lots 2 and 3 on either side of Hunt Club Boulevard. A major subdivision preliminary plat for the Hunt Club containing three (3) lots on 50.9 (+/-) acres located off Nashville Pike was also approved with conditions at the May 21, 2001 Planning Commission meeting (PC File #1-6-01B). In addition, a major subdivision final plat for the Hunt Club, Phase 1, Section 2, containing two (2) lots on 20.50 (+/-) acres located off Nashville Pike was approved with conditions at the same meeting (PC File #1-6-01C). That plat was recorded on February 18, 2003 (P.B. 20; P.G. 364). This plat shows Lot 2, which is currently in the process of being resubdivided by the owner/developer into Lot 2A and Lot 2B, to accommodate the two (2) separate office buildings to be located at the rear (southerly portion) of the property (proposed Lot 2B).

At the October 22, 2001 meeting, the Planning Commission approved with conditions a request for a minor amendment to the Preliminary Master Development Plan for the Hunt Club, Phase 2, Section 2 containing 51 (+/-) acres located on Nashville Pike to make minor design changes on the site, including the size and orientations of some of the proposed office buildings (PC File #4-6-01). At that meeting, the Planning Commission also approved with conditions a Final Site (Master) Development Plan for a 14,272 square foot office building and an 11,878 square foot office building for the Hunt Club, Section 2, located on 4.2 acres off of Nashville Pike and Hunt Club Boulevard (PC File #8-51-01).

At the April 22, 2002 meeting, the Planning Commission approved with conditions a Final Site (Master) Development Plan for the signage and related landscaping for the entire Hunt Club Development located on Nashville Pike (PC File #8-14-02).

A minor subdivision final plat for the Hunt Club, Section 2, Lot 3 was approved with conditions at the March 24, 2003 Planning Commission meeting to subdivide Lot 3 into four (4) lots containing 7.735 (+/-) acres located on Nashville Pike and the west side of Hunt Club Boulevard (PC File #2-4-03). The plat was recorded on May 22, 2003 (P.B. 21; P.G. 45) (Attachment 4-4).

At the September 25, 2003 meeting, the Planning Commission approved with conditions a revision to the Final Site (Master) Development Plan for the Hunt Club, Phase 2, Section 2 to revise the landscape islands and the signage on property containing 4.2 (+/-) acres located at 2229-2235 Nashville Pike (PC File #8-51-01 and 8-14-02).

A Final Site (Master) Development Plan for two (2) additional office buildings containing 15,360 square feet on 2.9 (+/-) acres located in the Hunt Club Development off Nashville Pike was approved with conditions at the October 25, 2004 Planning Commission meeting (PC File 8-47-04).

Planning Commission recommended approval of a right-of-way acquisition and street acceptance request for Hunt Club Boulevard located off Nashville Pike (PC File #5-2-05). Resolution #R0510-33 passed First Reading at the October 18, 2005 Gallatin City Council meeting. Since that time, the maintenance surety has been released to the owner/developer and the street is maintained by the City of Gallatin.

Minor Subdivision Plat

A minor subdivision plat for the Hunt Club, Phase 2, Section 4, property was submitted to the Planning Department to subdivide Lot 2 into Lots 2A and 2B (PC0311-14) (Attachment 4-3). Lot 2B is the location of the two (2) proposed multi-tenant office buildings, south of the existing ingress/egress access easement that will be a part of the proposed Lot 2A north of the proposed Lot B. Since the property only contains two (2) lots and does not contain any public right-of-way, the plat may be approved by the Planning Department Staff in house and does not require Planning Commission approval. The minor subdivision plat shows the location of the 57-foot ingress/egress easement, the eight (8) inch sanitary sewer line within the 25-foot sewer easement along the front of the property, and the 12 inch water line within the 20-foot easement along Hunt Club Boulevard. The minor subdivision plat for this property shall be approved and recorded prior to the issuance of any building permits for the proposed Lot 2B.

Gallatin on the Move 2020 General Development and Transportation Plan

The Hunt Club property, and particularly the outparcels that front Nashville Pike, is located on a main gateway into the City of Gallatin and contains the Gateway Corridor overlay as shown on the *Gallatin on the Move 2020 General Development and Transportation Plan's* Community Character Area Map. Staff understands the importance of maintaining the open green space along Nashville Pike, which helps to distinguish this area from other entrances into the community.

Although the study area for the *Nashville Pike Corridor General Development and Transportation Plan Amendment*, approved by the Planning Commission on November 5, 2001 (PC File #7-9-01), did not extend all the way to Gallatin's western City limits line, Staff thinks many of the recommendations of

that plan amendment should also be applied to this area to encourage the use of high quality construction materials and design in order to maintain the unique character of the property in the same way parcels further east on Nashville Pike have development. Please refer to the information about the *Key Issues/Goals* of the Nashville Pike Corridor and the *Architectural Standards* described in the *Nashville Pike Corridor General Development and Transportation Plan Amendment* included as Attachment 4-5. The design of the Hunt Club project reflects the overall development strategies outlined in the *2020 Plan* for the Gateway Corridor Community Character Area, which encourages pedestrian-scaled buildings and the installation of adequate buffers to ensure compatibility with adjacent uses. Please refer to description of the Commercial Corridor Community Character Area included with this staff report as Attachment 4-6.

The *Nashville Pike Corridor General Development and Transportation Plan Amendment* is also referenced as a supporting document in the *Gallatin on the Move 2020 General Development and Transportation Plan* adopted by the Planning Commission in 2009. This property is also shown as part of the Commercial Corridor on the Community Character Area Map in the *2020 Plan*. One of the intentions of the Commercial Corridor Community Character Area is to provide for pedestrian-friendly areas that offers mixed-use services such as shopping, offices, restaurants, entertainment, as well as different types of residential uses (Attachment 4-7; page 3-48). The applicant shall install the sidewalk along the private access easement.

Natural Features

The Phase 2, Section 4 property is currently vacant and grassy. No portion of the subject property is located within a special flood hazard area according to FEMA FIRM map panel #471165C0408G; zone X (Attachment 4-1; sheet C-1.1). This site contains many mature trees most of which will be removed to accommodate construction. Trees being preserved at the back of the property have been property identified on the tree survey (Attachment 4-1; sheet C-1.1).

Surrounding Zoning

The Hunt Club Development lies in both the City of Gallatin and the City of Hendersonville between Nashville Pike and Shute Lane. The multi-family residential and commercial portions of the development will be constructed in Gallatin, while the single-family residential portions are in the City of Hendersonville.

The property inside the Gallatin City limits is all zoned Mixed Use (MU). Properties to the north side of Nashville Pike are zoned Residential-20 (R20) (low density residential). MU zoned property, included as part of the Hunt Club Preliminary Master Development Plan, adjoins this site to the east and west. The rear property line of this site also represents the Gallatin City limits line. The property to the south, in Hendersonville, is zoned General Commercial Services (GCS). An Alternative Type 50 Bufferyard will be installed to help screen the subject property from the adjoining undeveloped property to the south; the Hunt Club, Section 3, Lot 5 (Attachment 4-1; sheet C-2.1).

Access

The applicant has provided the required access management improvements contained in *Gallatin on the Move 2020 General Development and Transportation Plan* for this area. Traffic will access this property from Hunt Club Boulevard, a public right-of-way, and through the use of an existing 57-foot wide ingress/egress easement (private access) shown along the north side of proposed Lot 2B. The access

easement will remain private and does not currently have a name. According to the applicant, the private access easement will remain unnamed. The access easement also provides a secondary access to this development has been shown with a driveway connection from the adjacent multi-family residential area at the western side of the cul-de-sac. According to the original PMDP, Hunt Club Boulevard may be signalized in the future if traffic counts warrant the installation. The proposed office buildings will provide two (2) driveways to/from the access easement.

Architectural Elevations

Conceptual architectural elevations for the Hunt Club Development were approved as part of the original Preliminary Master Development Plan. The applicant is not proposing any changes to the approved architecture at this time; however, the layouts of the buildings and specific square footages have changed (Attachment 4-1; sheets A1.0 & A1.1).

The proposed architectural elevations for the office buildings are very similar and only differ in size. The proposed architecture also matches the existing buildings in the first phase of the Hunt Club Development with predominately red brick exteriors, columns, window dormers, asphalt shingles, and E.I.F.S. details. Both buildings exceed the minimum masonry requirements of the Gallatin Zoning Ordinance.

Building A, a 10,678 square foot multi-tenant building, and Building B, a 7,730 square foot multi-tenant building, both face north fronting on the ingress/egress easement. Both buildings feature a mixture of two (2) different styles of red brick, (Brick #1 Field brick/Boral and Brick #2 Access/Boral) with light gray colored (moondust) E.I.F.S. details at the top of the building. Black dimensional asphalt shingles will be used on the gable roofs, and gable window dormers will be used to give the buildings more interesting dimensions. Gable details, with a small amount of dark bronze standing seam metal along the bottom, are shown above each individual tenant spaces to indicate the main entrances. On Building A, 20 PVC columns, painted to match the trim color, will be installed on either side of the individual tenant space doors. Building B is shown with 16 PVC columns. Stone veneer details, in gray and tan colors to complement the red brick, will also be installed along the bottom of the columns on either side of the main entrance doors.

The side elevations, facing east and west, are mirror images and feature the same mixture of brick with E.I.F.S. details. E.I.F.S. gables will be used on the right and left side elevations and four (4) windows will be installed to break up the brick on the sides of the building. According to the calculations provided by the architect, the masonry on the sides is 79 percent with the remaining 11 percent being E.I.F.S. and trim.

The rear elevation of Building A, facing south, is shown with 88 percent brick with a small amount of trim. Twenty (20) windows are shown along the rear façade and a brick soldier course band will be installed above the windows to match the front façade. The rear elevation of Building B is very similar with 89 percent brick, 14 windows, and a brick soldier course band.

Although the buildings meet the basic design standards of the Gallatin Zoning Ordinance, the rear elevation of the buildings seem very plain. Staff recommends the applicant install window dormers, similar to the dormers used on the front façade or other architectural details to add visual interest to the rear of the buildings since they will be visible from the future areas of The Hunt Club Development in

the City of Hendersonville. Areas for future installation of HVAC units have been identified at the back of the building; one (1) per tenant space. The applicant shall provide landscaping screening around each of the individual HVAC units upon installation.

All four (4) façades of each of the proposed buildings exceed the 70 percent brick or stone requirement of Section 13.08 of the Gallatin Zoning Ordinance. The applicant has used earth tone colors and the proposed color scheme matches the existing buildings already constructed in other phases of the Hunt Club. The applicant has submitted a sample material and color board, which will be presented at the Planning Commission meeting for review and approval. The final architectural elevations for the multi-tenant buildings appear to reflect the overall intent of the design concept featured in the original Hunt Club Preliminary Master Development Plan. In addition, the height of the buildings are shown at 28 feet, two (2) inches each, which complies with the bulk regulations of the MU zone district and the buildings meet the 20-foot separation requirement of the Gallatin Zoning Ordinance.

Inspection of the exterior building façade materials by the Planning Department is required prior to the installation of the exterior building façade materials.

Construction Schedule

Building A will be constructed first with building commencing in September 2014. The expected completion date is March 2015. Construction on Building B will begin in June 2015 and is expected to be completed by December 2015.

Parking

The parking requirements for the site were based on the General Offices parking use, which requires one (1) parking space for every 300 square feet of building area. Based on this ratio, the site is required to provide a total of 61 parking spaces, three (3) of which must be handicap accessible. The applicant has shown a total of 90 parking spaces, including a total of four (4) handicap accessible spaces; two (2) at the front of each building. Since the end users of the multi-tenant buildings are unknown at this time, the applicant added a note to the FMDP stating that minimum parking requirements for each use will be provided as each unit is leased. Staff is comfortable that ample parking has been provided to accommodate any of the proposed uses listed on the Amended PMDP/FMDP.

Landscaping and Bufferyards

Bufferyards are required to be shown as part of the FMDP and are intended to minimize the potential impacts of the proposed development on the adjacent properties as outlined in the Gallatin Zoning Ordinance and the *2020 Plan*. The applicant has submitted a detailed landscaping and bufferyard plan, which includes some alternatives to the requirements of the Gallatin Zoning Ordinance.

The Hunt Club Preliminary Master Development Plan was originally approved with bufferyards shown around the entire perimeter of the property. Originally, a Type 50 bufferyard, including an opaque barrier, was shown along the rear property line of Phase 2, Section 4 adjacent to the Hendersonville property, zoned R1A (agricultural/low-density residential) at the time, to screen the residential property to the south. Since that time, the City of Hendersonville has rezoned the adjacent property from residential to General Commercial Services (GCS). The applicant is requesting approval of an Alternative Type 50 Bufferyard in this location to count some mature Hackberry trees on site to count towards the bufferyard requirement. The applicant will keep the 50-foot landscape strip, but wants to

reduce the number of required planting materials within the bufferyard. A tree survey has been included as part of the FMDP that shows all the trees measuring 4.5-inch caliper to be used toward the bufferyard requirement. Please note that if the adjacent property had been zoned General Commercial Services at the time the PMDP was initially approved; only a Type 25 Bufferyard would have been required, without an opaque barrier. The applicant is requesting approval to use the Type 15 Bufferyard planting requirements within a 50-foot landscaping strip along the back of the property.

The Planning Commission should determine if the alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval.

The previously approved Type 15 Bufferyards will be installed along the interior site property line and the applicant has provided a planting detail on the Amended PMDP/FMDP. No bufferyard was previously required for the side adjacent to Hunt Club Boulevard, since street trees are shown to be installed along Hunt Club Boulevard by the original developer.

In addition to the required bufferyards, greenspace has been provided within the development covering approximately 47 percent of the total site area, which exceeds the requirements of the Gallatin Zoning Ordinance. Evergreens are also shown on the landscaping plan to screen the parking area adjacent to Hunt Club Boulevard (Attachment 4-1; sheet L-1.1)

Dumpster Enclosures

One (1) dumpster will serve both buildings. The dumpster pad and dumpster enclosure have been shown on the west side of the parking lot (Attachment 4-1; sheet C-2.1). A six (6) foot tall concrete enclosure, with brick veneer to match the proposed buildings, will be used to screen the dumpster as required by the Gallatin Municipal Code. Details of the required opaque screening are also included with the plan (Attachment 4-1; sheet C-6.2).

Signs

The *2020 Plan* describes the important role signs play in the visual appearance and character of the Gateway Corridors and notes that signage should not detract from the continuity or identity of the streetscape. The *2020 Plan* also notes the importance of limiting large signs on Gateway Corridors.

The Hunt Club Signage Program approved as part of the first Final Master Development Plan describes specific signage standards and included sample renderings of individual freestanding monument signs limited to eight (8) feet, one (1) inch tall by 7.5 feet wide; and multi-tenant signs limited to eight (8) feet, one (1) inch tall by 13.5 feet wide (PC File #8-51-01 & 8-14-02). All sample signs were shown with Tennessee dry stack limestone details. Please refer to the previously approved signage details included with this staff report as Attachment 4-8 and Attachment 4-9, respectively.

The applicant has proposed a five (5) foot, eight (8) inch, multi-tenant sign at the northeast corner of the site, five (5) feet from the Hunt Club Boulevard right-of-way. The signs will have stone veneer to match the proposed buildings and will match other signs already constructed in the development. The multi-tenant sign shall be relocated outside the water line easement. Two (2) additional freestanding signs, also at a height of five (5) foot, eight (8) inch, are shown at the main driveway entrances to each of the separate tenant buildings.

Individual wall mounted signs are shown on the architectural elevations above the entrance to each individual tenant space on both buildings limited to 10 square feet [two (2) feet by five (5) feet]. Since the final tenants are unknown at this time, only sample wall mounted signs are shown on the architectural elevations. The final tenants of the building shall submit a Master Signage Package, including details of all the permanent signs on the property, to the Planning Department that complies with the sample renderings as well as G.Z.O., Section 13.07, Sign Regulations.

Photometric Plan

The applicant has submitted details of the proposed pole lighting fixtures as well as a photometric plan showing the location of each fixture (Attachment 4-1; sheet 16). The photometric plan complies with the requirements of G.Z.O., Section 13.02.080, Performance Standards Regulating Glare and Electromagnetic Interference.

Drainage and Detentioning

The applicant proposes a stormwater detention pond at the southwestern corner of proposed Lot 2B where stormwater naturally drains on site. This pond will serve storm water runoff from both proposed lots in Phase 2, Section 4. The applicant shall provide a drainage easement to and through the stormwater detention pond including outfall area. Trees will be installed along the banks of the detention pond to improve water quality and help screen the area.

Site Surety

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department. The applicant shall submit the site surety prior to recording of the minor subdivision plat for Phase 2, Section 4, Lots 2A and 2B.

Minor Amendment

G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan, lists specific items that would constitute a major amendment to an approved PMDP including an increase in density, substantial changes to access or site circulation, or substantial changes to approved architecture. Staff reviewed the approved PMDP for The Hunt Club (PC File #3-1-01) in detail and found no changes that would constitute a major amendment. Planning Commission should determine if the proposed changes to the building layout should be considered as a minor amendment to the approved Preliminary Master Development Plan for The Hunt Club.

Departmental Comments

- ***Engineering Division***

The Engineering Division divided their review comments into three (3) categories; transportation, drainage, and stormwater calculations. All Engineering review comments not addressed by the applicant in the resubmittal have been added as conditions of approval.

- ***Police Department***

The Police Department indicated that they had reviewed the plan, but provided no comments.

- **Department of Public Utilities**
This development is primarily served by the White House Utility District. The Gallatin Department of Public Utilities only provides gas service in this area.
- **White House Utility District**
The owner and applicant shall coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. The applicant shall submit copy of utility surety to the Planning Department if required by White House Utility District prior to the issuance of a building permit for proposed Lot 2B.
- **Industrial Pre-treatment Division**
Since this property is primarily served by White House Utility District, the Industrial Pre-treatment Department provided no comments.
- **Fire Department**
The Fire Department noted that vehicle access for firefighting shall be provided to all construction sites within 100 feet. All temporary and permanent roadways shall be capable of supporting all fire apparatuses.
- **Sumner County E-911**
The Sumner County E-911 Office did not review the Final Master Development Plan, but will review the minor subdivision plat for this property as part of the Departmental Review.
- **Codes Department**
The Codes Department provided no review comments on the plan.
- **Department of Electricity**
The Department of Electricity indicated that they were “OK” with the plan, but provided no additional comments.

Departmental comments not addressed by the resubmittal have been added as conditions of approval.

Findings

In keeping with the *2020 Plan*, the proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity. As designed, the proposed uses will not change the essential character of this area off Nashville Pike and Hunt Club Boulevard. The project has also been designed to reflect the recommendations of the *2020 Plan* and be consistent with the intent and purpose of the Gallatin Zoning Ordinance. Staff, therefore, makes the following findings:

1. The proposed Amended Preliminary Master Development Plan/Final Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district.

2. The proposed changes shown in the Amended Preliminary Master Development Plan/Final Master Development Plan do not constitute a major amendment to the approved PMDP as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
3. The Amended PMDP/FMDP is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Commercial Corridor Community Character Area and the Gateway Corridor Overlay.
4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity. As designed, the proposed architecture and layout of the multi-tenant buildings will not change the essential character of the Hunt Club since this phase will match previously constructed phases of the project. An Alternative Type 50 Bufferyard will be installed at the rear property and a Type 15 Bufferyard will be installed on the western side of the proposed Lot 2B to protect adjacent properties. The project has also been designed to reflect the recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* and be consistent with the intent and purpose of the Gallatin Zoning Ordinance.
5. It has been determined that the legal purposes for which zoning regulations exist have not been contravened.
6. It has been determined that the Amended PMDP/FMDP will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. It has been determined that no one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended PMDP/FMDP has been submitted to the City complying with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

RECOMMENDATION:

Based on the findings presented in the staff report, Staff recommends that the Planning Commission approve GMRPC Resolution 2014-68 for a minor amendment to the Preliminary Master Development Plan for the Hunt Club and approval of a Final Master Development Plan for the Hunt Club, Phase 2, Section 4, Lot 2B, consisting of an 18 sheet plan, prepared by Perry Engineering, LLC of Goodlettsville, Tennessee, with job number 110-031, dated July 17, 2014, with the following conditions:

1. Planning Commission approves the proposed changes as a minor amendment to the approved Hunt Club Preliminary Master Development Plan.
2. Planning Commission approves the proposed architectural elevations as submitted.
3. Inspection of the exterior building façade materials by the Planning Department is required prior to the installation of the exterior building façade materials for both buildings.
4. The alternative landscaping plan is acceptable and meets the intent of the Gallatin Zoning Ordinance, Section 13.04.100.C, Alternative Plan Approval.

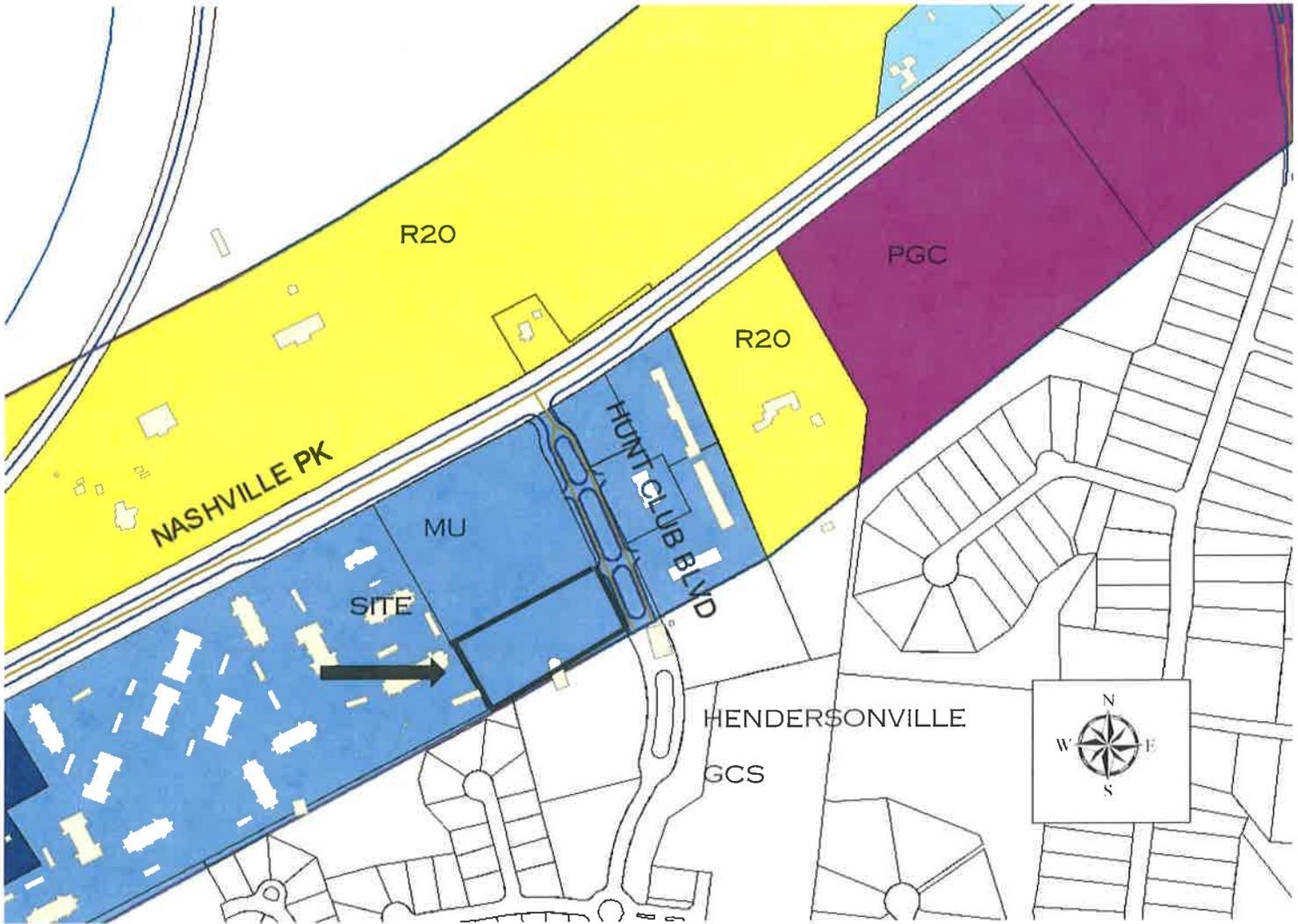
5. Label the alternative bufferyard along the southern property line as an Alternative Type 50 Bufferyard.
6. Submit a site surety, in an amount to be determined by the applicant and approved by the Planning Department, to the Planning Department prior to the issuance of any building permits for proposed Lot 2B.
7. Submit details of all proposed permanent signs to the Planning Department for review and approval in compliance with G.Z.O. Section 13.07.065. F, Master Signage Plan. All signs shall comply with G.Z.O. Section 13.07, Sign Regulations. Sign permits shall be obtained prior to the installation of any signs on site.
8. Relocate the multi-tenant sign outside the water line easement along Hunt Club Boulevard.
9. Provide drainage easement to the stormwater detention pond including outfall area.
10. The Hunt Club, Phase 2, Section 4, Lots 2A and 2B minor subdivision plat shall be recorded prior to the issuance of any building permits for proposed Lot 2B.
11. Coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to the satisfaction of the White House Utility District. Submit copy of utility surety to the Planning Department if required by White House Utility District prior to the issuance of a building permit for proposed Lot 2B.
12. Provide sidewalks along private access easement per Gallatin Zoning Ordinance.
13. Eastern driveway does not meet minimum spacing requirements of *Gallatin on the Move 2020 General Development and Transportation Plan*. Minimum spacing from adjacent driveway is 225 ft. Revise plan to meet plan recommendation.
14. A stormwater maintenance agreement shall be recorded for this development.
15. Realign proposed outlet of 48-in CMP to reduce skew with existing swale grading to the satisfaction of the City Engineer.
16. Proposed swale behind construction phase 1 (building A) outlets at proposed transformer pad. Relocate pad or adjust swale outlet.
17. Provide permanent outlet protection (similar to TDOT Riprap Apron) at outlet of proposed 48-in CMP.
18. Add check dams to swale in Erosion Control Phase 1.
19. Provide detail for "Weighted Sediment Tubes".
20. Adjust shading/hatching of Erosion Control Phase 2; linework for grading is not visible.
21. Add the following note to plan: "Stormwater Detention Pond to be constructed during initial grade work and prior to building pads".
22. Add BMP's to proposed swales behind buildings on Erosion Control Phase 2.
23. Provide engineering analysis regarding capacity of existing 48-in CCP.
24. Provide engineering regarding tailwater conditions for proposed 48-in CMP and tie-in.
25. Submit three (3) corrected, folded copies of the Amended PMDP/FMDP to the Planning Department prior to the issuance of building permits for proposed Lot 2B.

ATTACHMENTS:

- | | | |
|-------------------|------------|--|
| Attachment | 4-1 | The Hunt Club Amended PMDP/FMDP & Architectural Elevations |
| Attachment | 4-2 | The Hunt Club, Ph. 2, Sec. 4, Proposed Lot 2B Location Map |
| Attachment | 4-3 | The Hunt Club, Ph. 2, Sec. 4, Lots 2A & 2B Minor Sub. Plat (unapproved) |
| Attachment | 4-4 | The Hunt Club, Phase 1, Section 2 Final Plat (P.B. 20; P.G. 364) |
| Attachment | 4-5 | <i>Nashville Pike Corridor General Dev. & Trans. Plan Amendment</i> |
| Attachment | 4-6 | <i>2020 Plan Commercial Corridor Description</i> |

- Attachment 4-7 2020 Plan Gateway Corridor Description**
- Attachment 4-8 THC Signage Program: Individual Freestanding Sign Detail**
- Attachment 4-9 THC Signage Program: Multi-tenant Freestanding Sign Detail**

THE HUNT CLUB, PH. 2, SEC. 4, PROPOSED LOT 2B
LOCATION MAP



1528 HUNT CLUB BOULEVARD
TAX MAP #146F/A/005.00
ZONED MU

COMMERCIAL CORRIDOR COMMUNITY CHARACTER
AREA & GATEWAY CORRIDOR OVERLAY

PC0310-14

PG FILE # 1-6-OIC THE HUNT CLUB, PH. 1, SEC. 2; LOTS 2 + 3



GENERAL NOTES

1. Bearing shown herein are based on Geodetic North.
2. Subject property is shown as Parcel 38.01 on Summer County Tax Map 146.
3. Subject property is currently zoned M.U. (Mixed Use).
Yard Requirements are as follows:
Front Yard - 25 Feet
Side Yard - 10 Feet
Rear Yard - 20 Feet

4. This surveyor has not physically located all underground utilities. Above grade and underground utilities shown were taken from visible opportunities, public records, and/or maps prepared by others. The surveyor makes no guarantee that the underground utilities complete of such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location as indicated. Therefore, reliance upon the type, size and location of utility shown should be done so with the circumstances considered. Detailed verification of existence, location and depth should also be made prior to any decision relative thereto. Availability and cost of service should be confirmed with the appropriate utility company in Tennessee. It is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners no less than three (3) nor more than ten (10) working days prior to the date of their intent to excavate and also to avoid any possible hazard of conflict. Tennessee Code Title 1-600-351-1111 or 1-615-366-1887.

5. By posting map location and graphic plotting only, this property lies within Zone "C" as shown on current Federal Emergency Management Agency maps which make up a part of the National Flood Insurance Administration Report, County No. 47024, Flood No. 0145 and 0145 R, effective date June 19, 1985, and Community Flood No. 470245, Flood No. 0013 B, effective date August 3, 1981, which in the current Flood Insurance Rate Map for the community in which said premises is situated.

6. Maintenance of the Common Open Space shown on this plat will not be the responsibility of the City of Gallatin. Said maintenance should be the responsibility of the Developer or appropriate Property Owners Association.

CURVE DATA

NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	01°07'44"	3083.72	76.52	38.26	N61°30'35"E	76.52
C2	07°53'51"	3083.72	64.97	47.89	N62°14'14"E	85.97
C3	06°39'02"	3083.72	450.80	225.68	N56°17'19"E	450.80
C4	17°56'51"	30.50	4.99	2.51	S23°23'58"E	4.98
C5	28°40'16"	85.56	39.80	20.27	S43°42'31"E	39.44
C6	30°07'28"	114.50	60.20	30.81	S41°36'55"E	58.51
C7	01°50'53"	1081.50	34.24	17.12	S20°58'44"E	34.24
C8	03°14'56"	1081.50	570.52	285.23	S20°26'50"E	570.44
C9	01°04'01"	838.50	29.78	14.88	N02°58'40"E	29.78
C10	23°29'20"	114.50	50.84	28.84	N41°02'09"E	50.42
C11	28°52'25"	85.56	43.16	22.05	N19°54'41"E	42.70
C12	81°08'03"	35.50	37.86	20.07	N60°58'25"W	36.11
C13	48°27'28"	20.00	40.54	21.46	S08°45'21"W	38.44
C14	145°05'21"	40.00	101.29	127.21	S30°26'24"W	76.32
C15	44°13'12"	50.00	36.98	20.31	S10°59'40"W	37.84
C16	17°24'21"	125.00	13.59	6.80	N17°16'18"E	27.02
C17	43°29'06"	50.80	36.56	20.26	N31°19'32"E	37.64
C18	35°31'54"	40.80	25.30	13.07	N37°12'08"E	24.90
C19	48°05'25"	50.76	40.83	21.59	N42°28'54"E	39.74
C20	03°14'56"	9038.50	563.54	281.85	N03°28'50"W	563.47
C21	05°06'11"	4463.72	417.76	208.72	S07°44'28"W	417.02
C24	01°30'34"	4463.72	123.88	61.88	S01°02'07"W	123.88
C25	00°14'02"	4463.72	16.11	8.56	S01°35'34"W	16.11
C26	02°06'45"	9838.50	372.20	188.12	N02°59'25"W	372.18
C27	00°46'28"	9938.50	134.33	67.16	N22°12'36"W	134.32

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS ENCLOSED IN BOOK NUMBER 1138E - PAGE 222, COUNTY RECORDS' OFFICE AND THAT I HEREBY ACCEPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE UNWAIVER RESTRICTION LINES, AND THAT OFFERS OR PROPOSABLE OFFERS FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED, AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.

DATE: Jan 15, 2003
 [Signature]
 OWNER

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED, AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.

DATE: Jan 15, 2003
 [Signature]
 ROGER FUJUA, L.S. 16102

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAN ENTITLED "SECTION TWO, THE HUNT CLUB" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

WATER SYSTEM: 16" 16" 20"
 DATE: 1/16/03
 [Signature]
 PAT HARRELL, WHITE HOUSE UTILITY DISTRICT

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAN ENTITLED "SECTION TWO, THE HUNT CLUB" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

SEWER SYSTEM: 16" 16" 20"
 DATE: 1/16/03
 [Signature]
 PAT HARRELL, WHITE HOUSE UTILITY DISTRICT

CERTIFICATE OF THE APPROVAL OR BONDING OF ROADS

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAN ENTITLED "SECTION TWO, THE HUNT CLUB" HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT BOND OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE: 2/17/03
 [Signature]
 CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAN SHOWN HEREON HAS BEEN TOOK TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH UNWAIVERED, IF ANY, AS ARE NOTED IN THE WRITERS' OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE: 2/17/03
 [Signature]
 CHAIRMAN'S INITIALS

ATTACHMENT 4-5

areas have been designated to provide land area for new services in convenient, accessible locations. The Plan discourages the widespread commercialization of City roadways due to its negative effect on the character of surrounding residences.

- A principle aspect of the commercial concept for the planning area is the strong support for “nodal” commercial development patterns centered on major street intersections and freeway interchange areas. Limiting commercial development where it already exists is strongly encouraged. The principle implementation tool to carry out “nodal” development is a set of design guidelines for commercial development. These guidelines are proposed to permit the commercialization of existing and emerging arterial roadways, but with effective access control and design standards to shape this growth.

Land Use Map Notes

The City of Gallatin General Development Plan, Future Land Use Map, stipulates the following policy statements that are applicable to the study area:

- Mixed Use areas along Nashville Pike provide for non-residential office development or higher density residential. Preserves gateway effect but also provides for reasonable use of property. Commercial uses are not permitted.
- Commercial development at this location to be designed to buffer existing residential areas with limited highway access; landscaping, screening, architectural compatibility and other bulk/density and site development measures.

KEY ISSUES/GOALS

The majority of the existing land use goals are still applicable to the Nashville Pike General Development Plan Amendment study area. In addition, the Planning Commission identified the following key issues/goals that the Nashville Pike Corridor General Development Plan Amendment should address:

1. The City should take a proactive approach to responding to development requests in the Nashville Pike Corridor.
2. The City should promote the orderly growth and development of the Nashville Pike Corridor by providing development standards and regulations that reflect the importance of this area as a gateway into Gallatin.
3. The City should develop a comprehensive access management plan in the Nashville Pike Corridor in order to minimize negative impacts on the existing transportation network.
4. New development should be sensitive to the surrounding neighborhoods and reflect the importance of this area as a major gateway into Gallatin.
5. New development should be required to provide a high quality of site design through effective architectural design, landscaping, screening and buffering, signage standards, and lighting standards.
6. Existing trees should be preserved whenever possible.

ATTACHMENT 4-5

Recommended Changes to the Zoning Ordinance

The Planning Commission discussed various changes to the Planned Neighborhood Commercial (PNC) and Planned General Commercial (PGC) zoning districts during the review of this amendment to the General Development Plan. It is recommended that both districts be revised to provide planned commercial zoning districts that are more flexible and user friendly than the existing planned commercial districts. The proposed revisions will make the planned commercial districts more attractive to potential developers and provide the City with additional land use and design control than conventional commercial zoning districts.

Architectural Standards

The existing residential character of the Nashville Pike Corridor is one of the greatest assets of this area. This corridor serves as an impressive gateway into the heart of Gallatin. New development should be compatible in form with this character as well as with the character of the surrounding residential neighborhoods.

Peninsula Drive to East Camp Creek

- The Plan envisions that the area from Peninsula Drive to East Camp Creek will develop through the adaptive reuse of the existing residential structures. The Plan supports the conversion of the existing residences into non-residential uses. This will permit the development of the property while maintaining the unique character of this area. The Plan does not support the demolition of the existing structures. However, any new construction in this area should be designed to match the established residential character.

State Route 109 to Peninsula Drive

- The Plan envisions that the area from State Route 109 to Peninsula Drive will redevelop through both the adaptive reuse of existing residential structures and new construction. New construction should be designed to be compatible with the surrounding residential areas.

General Architectural Policies and Standards

- Building forms should be tailored to be compatible with surrounding residential buildings with regard to massing, scale, proportion of openings, roof types and degree of detail.
- The use of bright colors is discouraged. In addition, it is recommended that the Architectural Character and Compatibility Standards in the Zoning Ordinance be strictly followed. The use of alternative materials should be closely scrutinized for compatibility with surrounding buildings.
- Prototypical designs should be adapted to reflect the character of Nashville Pike by the use of compatible materials and designs so that they blend in with the surrounding area.
- Facades should be treated in a manner that enhances interests. Particular attention should be paid to facades that face streets and adjoining residential properties.
- Building service areas or loading areas shall not be visible from public streets or from adjacent residential areas; they should be located away from streets and/or adequately screened.

COMMERCIAL CORRIDOR

General Description of Existing Development Patterns

These Commercial Corridors include a mix of larger-scale commercial development that fronts the corridor, with undeveloped farmland and rapidly-developing residential areas located behind commercial frontage. Buildings are typically single-story, single-use and are generally separated from the street and sidewalk by parking lots.

Location

Areas within this character area include the following:

- US-31E/Nashville Pike from SR-25 to SR-109 Bypass
- US-31E/Nashville Pike from the west city limits (City of Hendersonville border) to SR-109 Bypass
- US-31E/East Broadway between Triple Creek Park and Reynolds Street (north side of the street)
- Hancock Street south of US-31E/Nashville Pike to SR-109 Bypass

Intent

The development pattern for established and emerging corridors should seek to:

- Provide through transportation, land use and other physical enhancements an environment that provides a distinct sense of place, not just another commercial strip
- Discourage continuous ribbons of automobile-oriented commercial development along major corridors
- Organize nodal commercial development opportunities at intersections with major streets and new secondary roads
- Permit development of suburban commercial and residential development along arterial roadways with master planning to address access management and design that is consistent with community character
- Improve traffic flow by consolidating driveways and encouraging interparcel access
- Provide sidewalks and a more pedestrian-friendly environment by incorporating landscaped buffers between the roadway and sidewalks, placing buildings closer to the street, and locating parking to the rear of buildings
- Encourage mixed use development
- Reflect quality materials and design (related to the building, the site, and signage)

COMMERCIAL CORRIDOR

- Medium to High

Transportation

- Medium level of service
- Medium level of connectivity
- Properties accessed by public roads
- Regular-shaped, medium-to-long blocks
- Roads characterized by a mix of curb, gutter with sidewalk and grassy swales all with a low-to-medium level of pedestrian orientation
- Bike lanes/routes

Infrastructure

- Public water and sewer available
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood and pocket parks
- Community gardens

Primary Land Uses

- Small and large-scale apartments and townhomes
- Office
- Vertical Mixed Use
- Commercial/Retail (including grocery stores, home improvement stores, restaurants, hotels)

Appropriate Intensity

- 0.75 FAR

Applicable Zoning Districts

Existing Zoning Districts

- PGC, MU, MRO, GO

Proposed Zoning Districts

- Mixed-Use Node (new)
- CS, CG with Corridor Overlay (new)

General Development and Transportation Plan

- Provide shade, reduce impervious surfaces, shield parking areas, and improve the appearance of individual sites and the entire corridor with quality landscaping

Development Strategies

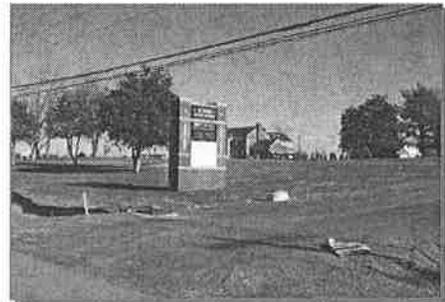
- Encourage retrofitting of existing strip development into pedestrian-scale interconnected nodes
- Limit signs and billboards
- Cluster high-density development at nodes along the corridor, such as major intersections
- Depict clear physical boundaries and transitions between the edge of the character area and adjacent character areas, in particularly those that include residential uses
- Strengthen pedestrian connections to adjacent residential areas
- Increase landscaping along the corridor, including in and along parking lots to provide shade, reduce impervious surfaces, shield parking areas, and improve the appearance of individual sites and the entire corridor
- Plan for community street network that creates rather than hinders opportunities for walking, biking and providing future public transit
- Establish pedestrian-oriented building setbacks
- Guide building and site design, including parking lot configuration and streetscape features
- Find an appropriate balance between residential and commercial uses within mixed use developments
- Organize new development a nodal fashion with nodal commercial/mixed use development opportunities at intersections with major streets and new secondary roads. Areas between these development nodes along the corridor provide opportunities for development of higher intensity residential uses that would create more housing choices for the City that are in proximity to commercial areas and major transportation arteries.

Implementation Measures

- ☞ Amend Mixed-Use districts
- ☞ Mixed-Use Node zoning district (new)
- ☞ Corridor Overlay District



Existing commercial corridor area along Nashville Pike near Vol State



Emerging commercial corridor along Nashville Pike west of Gallatin



Quality office development along the Commercial Corridor on Nashville Pike includes quality building materials, landscaping and preservation of mature trees

GATEWAY CORRIDOR

General Description of Existing Development Patterns

Gateway Corridor is an **overlay character area** representing developed or undeveloped land paralleling the route of a major thoroughfare that serves as an important entrance or means of access to the community. In addition to meeting area residents' shopping needs, the corridor acts as a gateway to the City. Community recognizes that these corridors should provide a more pleasant appearance to those entering the City than currently presented.

Gateway Corridors are developed as a continuous system along a highway, street, or greenway. The appearance of these visual corridors is an important first impression of the Gallatin's character. The major gateways into Gallatin along main travel corridors can convey the City's identity by utilizing characteristic design elements that reflect Gallatin's character. Defining elements of Gateway Corridors may include landscaping, unique signage, banners, lighting and other streetscape elements in addition to landmark elements. This gateway is often developed to signify a high-profile corridor or district.

Through proper design, the entrances or gateway treatments should provide a strong sense of identity and arrival to the City.

Locations

Several main entrance corridors warrant consideration. These include:

- SR-109 Bypass and portions of the corridor north of the intersection with North Water Avenue in North Gallatin and south of the intersection with Airport Road in South Gallatin.
- North Water Avenue from SR-109 to Hatten Track Road
- US-31E/Nashville Pike from the west city limits to Station Camp Creek
- US-31E/East Broadway East Jackson Street
- SR-25/Hartsville Pike from Cairo Road to the east city limits
- SR-25/Red River Road from Bradford Drive to East Camp Creek
- SR-174/Long Hollow Pike from Station Camp Creek to SR-109 Bypass
- SR-386/Vietnam Veterans Boulevard
- Airport Road (US-31E to Bypass)
- GreenLea Boulevard from SR-386 interchange to US-31E/Nashville Pike

GATEWAY CORRIDOR

Anticipated level of change:

- Low

Transportation

- High level of service
- High level of connectivity
- Properties accessed by individual easements, private driveways, public roads
- Shared driveways/access management
- Roads characterized by combination of grassy swales and curb-and-gutter cross sections

Infrastructure

- Public water available
- Public sewer available or planned

Greenspace

- Adjacent Preserve areas
- Provided typically via large-scale private properties

Primary Land Uses

- Not applicable

Appropriate Intensity

- 0.75 FAR

Applicable Zoning Districts

Existing Zoning Districts

- Not applicable

Proposed Zoning Districts

- Gateway Corridor Overlay (new)

Intent

- Provide for interesting, attractive entrances into the City that set Gallatin apart and provide a quality sense of place

Development Strategies

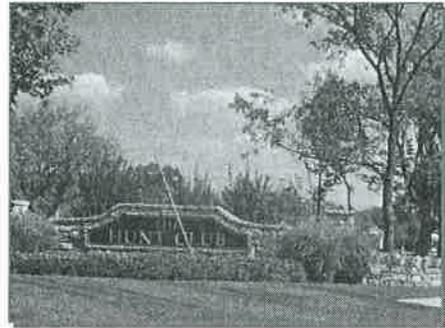
- Incorporate streetscape enhancements such as landscaping and decorative streetlights to improve the overall appearance of the corridors
- Focus on appearance with appropriate signage, landscaping and other beautification measures
- Manage access to keep traffic flowing using wayfinding signage to clustered developments
- Retrofit or mask existing strip development or other unsightly features as necessary

Implementation Strategies

- ☛ Gateway Corridor Overlay District



Kennesaw Farms development located on Nashville Pike in west Gallatin



Entrance to the Hunt Club office development on Nashville Pike provides a good example of quality development along the Gateway Corridor

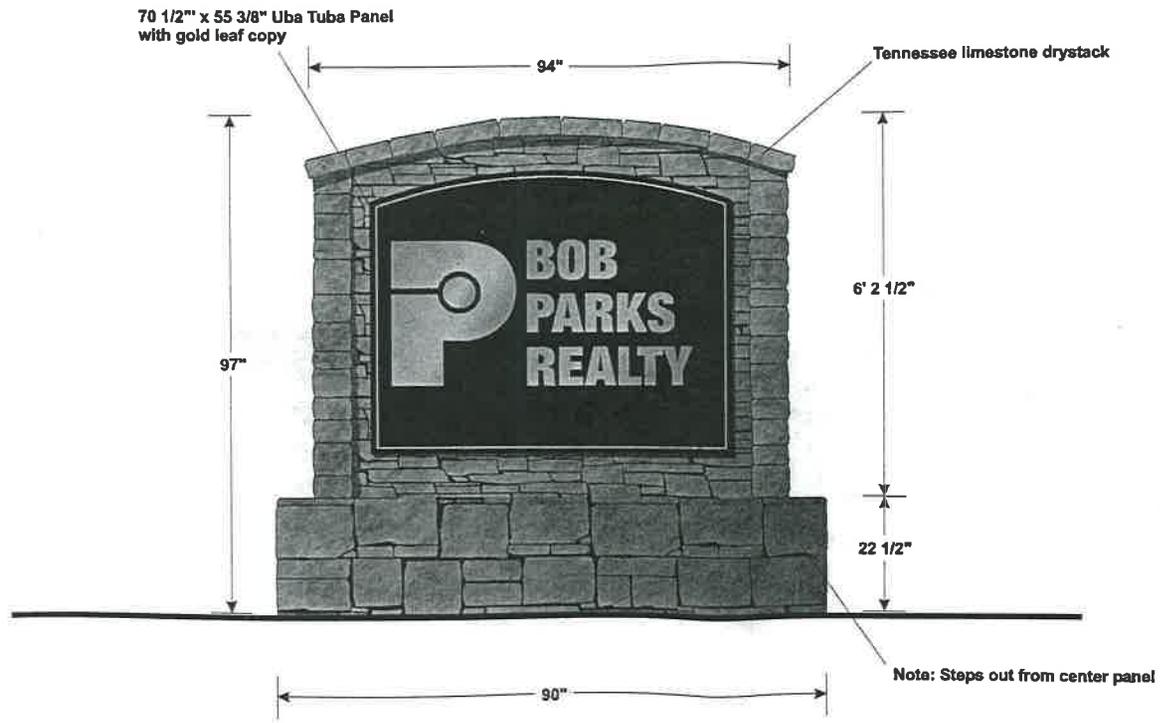
Commercial Monument

The Hunt Club

Commercial Monument

scale: 1/2" = 1'

date: 3/4/03



APPROVED BY:

DATE:

ALLISON
SIGNS & MARKETING

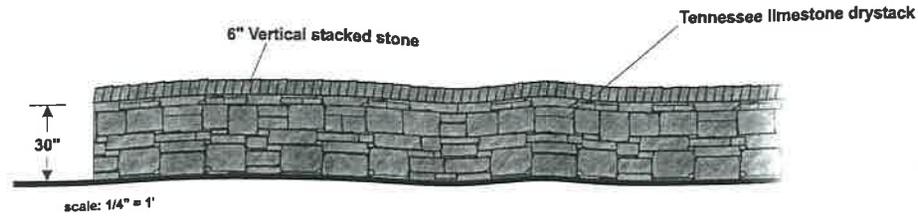
P.O. BOX 648 GOODLETTSVILLE, TN 37070
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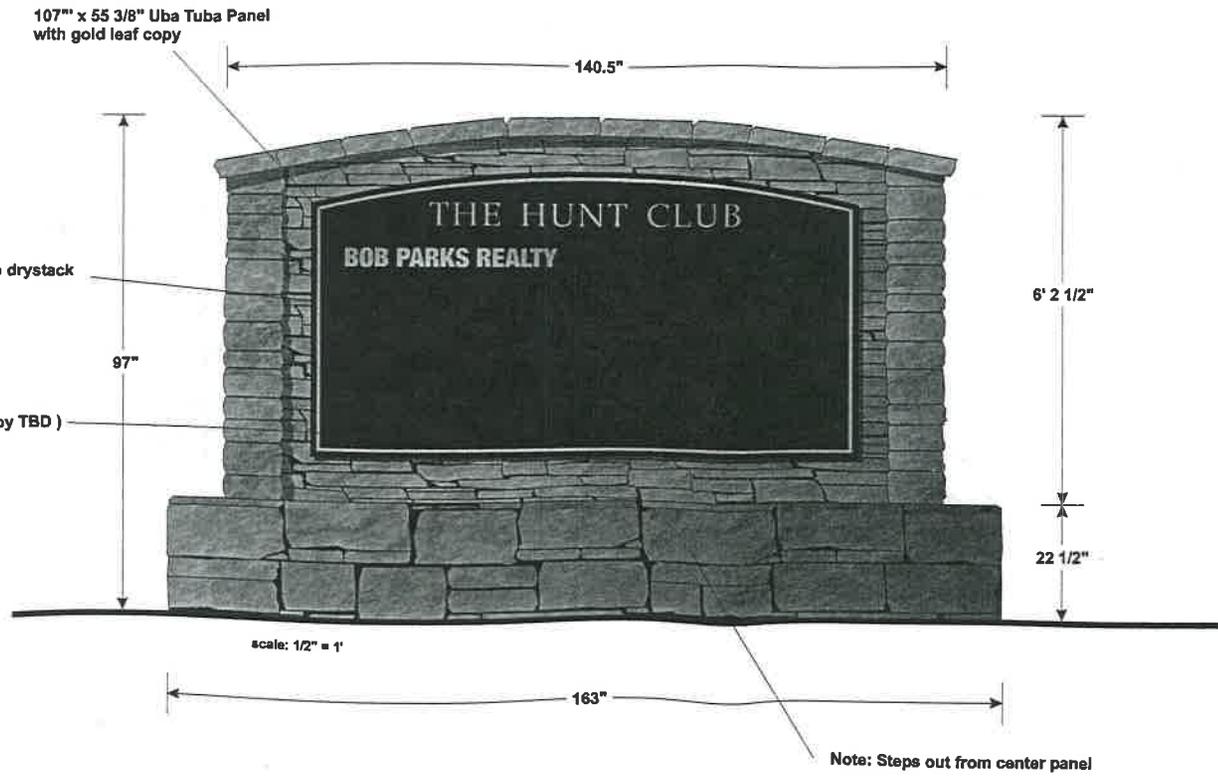
ATTACHMENT

4-9

Freestanding dry stack wall



Directory



The Hunt Club

Directory/
freestanding wall

scale: see art

date: 3/4/03

Directory to be placed 15'
from row in median
green space

APPROVED BY:

DATE:

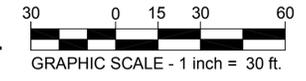
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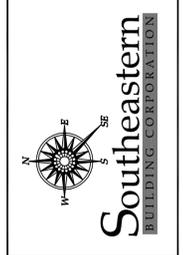
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Know what's below. Call before you dig.



PERRY ENGINEERING, LLC
100 NORTH MAIN STREET, SUITE F
GODDLETTSVILLE, TENNESSEE 37072
PH 615-855-2220 FAX 615-855-2221



FINAL MASTER DEVELOPMENT PLANS:
THE HUNT CLUB
1528 HUNT CLUB BOULEVARD
GALLATIN, TENNESSEE 37066

Table with 2 columns: REVISIONS, PROJ. NO. (110-031)

Site Plan

C-2.1

DATE: JULY 17, 2014
SUBM: FMPD RESUBM.

SITE KEY NOTES:

- 1 PROPOSED TRASH ENCLOSURE & GATES
2 R1-1 "STOP" SIGN
3 INDICATES PARKING COUNT PER BAY (TYP)
4 24" WHITE STOP BAR & "STOP"
5 4" PAINTED SINGLE SOLID WHITE LINE (TYP)
6 4" PAINTED SINGLE SOLID WHITE LINE, 5" O.C. @ 45°
7 WHITE PAINTED H.C. SYMBOL & 24" "VAN" (REF. C-6.1)
8 VAN ACCESSIBLE HC SIGN (REF. C-6.1)
9 CONCRETE WHEELSTOP (TYP) (REF. C-6.1)
10 INTEGRAL CONCRETE CURB AND SIDEWALK
11 EXISTING CONCRETE CURB TO REMAIN
12 PROPOSED 12" MOUNTABLE CURB (TYP)
13 TIE PROPOSED MOUNTABLE CURB TO EXISTING
14 PROPOSED CONCRETE SIDEWALK (TYP)
15 EXISTING SIDEWALK TO REMAIN
16 TIE PROPOSED CONCRETE SIDEWALK TO EXISTING CONCRETE SIDEWALK
17 PROPOSED MONUMENT SIGN
18 PARALLEL ADA RAMP (REF. C-6.1)
19 2" CHAMFER
20 HEAVY DUTY CONCRETE PAVEMENT SECTION
21 ASPHALT PAVEMENT SECTION (REF. C-6.1)
22 2" WIDE CONCRETE DRAINAGE CHANNEL
23 11 - 7" RISERS WITH 12" TREADS AND 6" LANDING AT MID-POINT
24 SIDEWALK CONNECTIONS TO BE FLUSH WITH DRIVE AISLE PAVEMENT AT CONNECTION. TAPER CURBS ON EITHER SIDE, FROM 6" HEIGHT TO FLUSH OVER A 3' TAPER
25 PROPOSED HVAC UNITS AT GRADE (1 UNIT PER TENANT)

SITE DATA TABLE

Table with 2 columns: GENERAL DATA, APPLICANT, DEVELOPER, STATEMENT OF FINANCIAL RESPONSIBILITY, TIME SCHEDULE FOR COMPLETION, PROPERTY OWNER, FLOODPLAIN NOTE.

LOT 2
SECTION TWO, THE HUNT CLUB
P.B. 20, PG. 364
R.O.S.C., TN
TAX MAP 146F, GROUP A, PARCEL 5
A & R LAND INVESTMENTS, LLC
R.B. 3325, PG. 527
R.O.S.C., TN
(ZONED MU)

LOT 1, SECTION ONE
THE HUNT CLUB
P.B. 19, PG. 330
R.O.S.C., TN
TAX MAP 146
PARCEL 39.02
STONERIDGE
NASHVILLE, LLC
R.B. 3648, PG. 504
R.O.S.C., TN
(ZONED MU)

OPEN SPACE
THE HUNT CLUB
SECTION FOUR
P.B. 23, PG. 351
R.O.S.C., TN
TAX MAP 146K
GROUP A, PARCEL 45
HUNT CLUB HOA, INC.
R.B. 3430, PG. 38
R.O.S.C., TN

LOT 5
THE HUNT CLUB, SECTION THREE
P.B. 23, PG. 268
R.O.S.C., TN
TAX MAP 146K, GROUP A, PARCEL 1
A & R LAND INVESTMENTS, LLC
R.B. 3325, PG. 527
R.O.S.C., TN
(ZONED GCS)
(CITY OF HENDERSONVILLE ZONING)

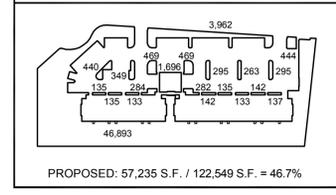
TRAFFIC CONTROL NOTES:

- 1. WHENEVER CONSTRUCTION OPERATIONS ENCR OACH ON THE RIGHT OF WAY OF ADJACENT ROADWAYS, TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS.
2. NO MATERIALS OR EQUIPMENT SHALL BE STORED OR STOCKPILED WITHIN THE RIGHT-OF-WAY OF ADJACENT ROADWAYS.
3. ALL TRAFFIC CONTROL, INCLUDING MARKINGS, SIGNS, ETC. SHALL FOLLOW THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. EXCAVATION AND LANE CLOSURE PERMITS ARE REQUIRED FOR ALL WORK DONE WITHIN THE PUBLIC RIGHT RIGHT OF WAY.

GENERAL SITE NOTES:

- 1. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
3. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
5. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
6. DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, AND ALL RADII ARE 3', UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
8. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
9. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AOC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
10. ALL HANDICAP PARKING SPACES ARE TO RECEIVE A HANDICAP SIGN AND HANDICAP SYMBOL PAINTED ON THE PAVEMENT. STALLS ADJACENT TO WIDE STRIPED AISLES ARE TO RECEIVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE ABOVE.
11. ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR GALLATIN BUILDING CODE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
12. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
13. THE ENGINEER AS REPRESENTATIVE OF THE OWNER, SHALL NOT GUARANTEE THE WORK OF ANY CONTRACTOR OR SUB-CONTRACTOR. SHALL HAVE NO AUTHORITY TO STOP WORK, SHALL NOT HAVE CHARGE OF THE WORK, SHALL NOT BE RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE JOB SITE, OR HAVE ANY CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENT, SCAFFOLDING, SUPPORTS, FORMS OR OTHER WORK AIDS.
14. ALL SIDEWALKS, EXISTING AND PROPOSED, ARE TO BE CONSTRUCTED AND OR LEFT IN A CONDITION THAT MEETS OR EXCEEDS THE CITY OF GALLATIN PUBLIC WORKS STANDARDS.
15. ALL WORK IN THE RIGHT OF WAY MUST COMPLY WITH I.D.O.T. AND CITY OF GALLATIN PUBLIC WORKS STANDARDS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING WORK.
16. ALL CONSTRUCTION AND USE OF PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.

GREENSPACE CALCULATIONS



PAVING LEGEND:

- HEAVY DUTY CONCRETE PAVEMENT SECTION
CONCRETE SIDEWALK SECTION
ASPHALT PAVEMENT SECTION

CURVE TABLE

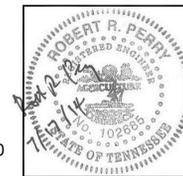
Table with 6 columns: CURVE, LENGTH, RADIUS, CHORD, DIRECTION, DELTA

LINE TABLE

Table with 3 columns: LINE, LENGTH, BEARINGS



Know what's below.
Call before you dig.



PERRY
ENGINEERING, LLC
100 NORTH MAIN STREET, SUITE F
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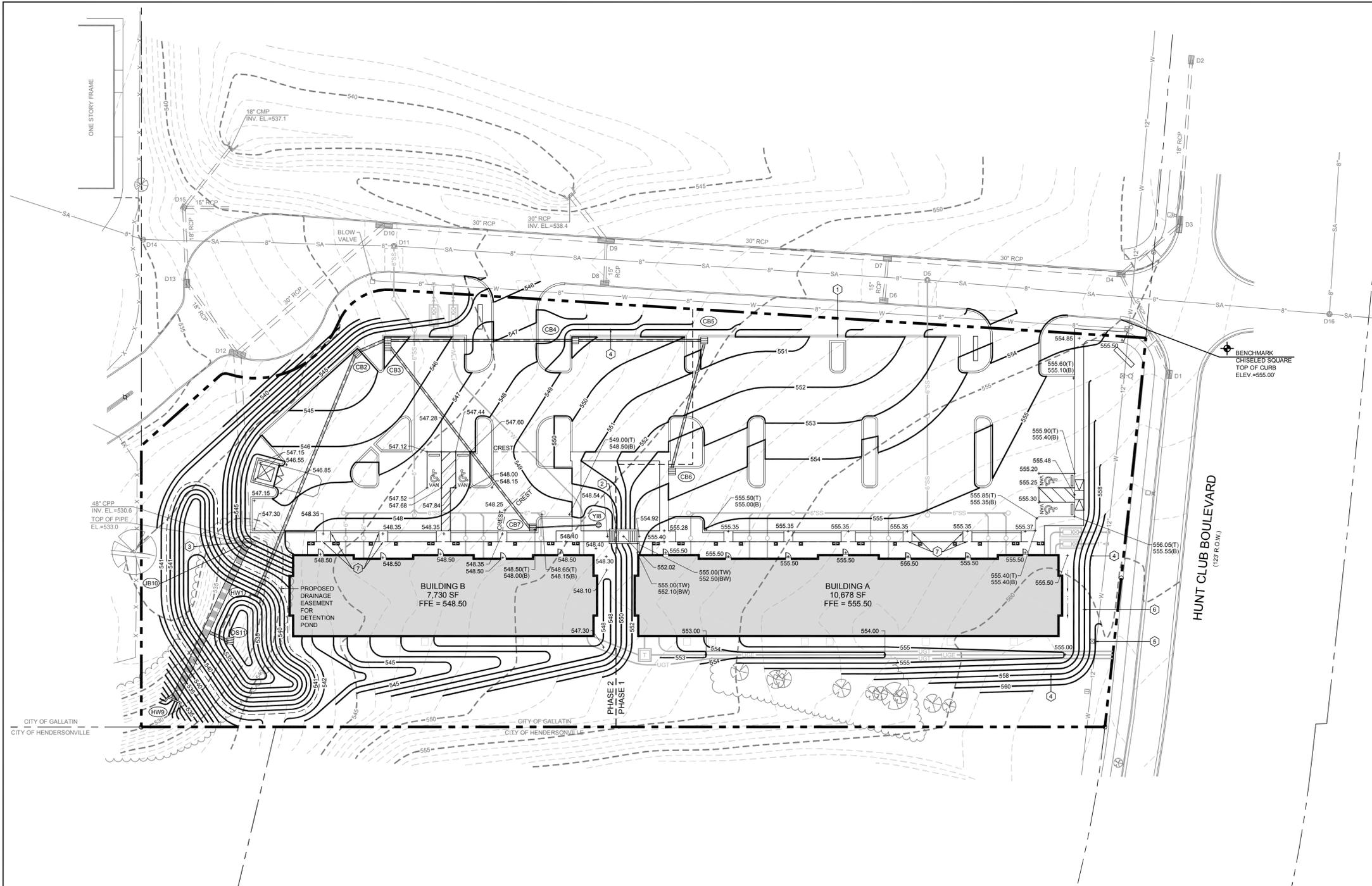
Southeastern
BUILDING CORPORATION

FLOODPLAIN NOTE:

THIS PARCEL DESCRIBED HEREON DOES NOT LIE WITHIN FLOOD HAZARD AREAS IN ACCORDANCE WITH "INSURANCE RATE MAP PANEL NUMBER 47165C0408 G", DATED: APRIL 17, 2012. FLOOD ZONE "X".

CONTRACTOR KEY NOTES:

- 2" WIDE CONCRETE DRAINAGE CHANNEL
- 11 - 7" RISERS WITH 12" TREADS AND 6" LANDING AT MID-POINT
- REPLACE HEADWALL WITH JUNCTION BOX AND RELOCATE HEADWALL TO HW11 LOCATION
- 3:1 SLOPE
- ADJUST VALVE BOX TO FINISH GRADE
- 1% MIN. SLOPE GRASSSED SWALE
- SIDEWALK CONNECTIONS TO BE FLUSH WITH DRIVE AISLE PAVEMENT AT CONNECTION. TAPER CURBS ON EITHER SIDE, FROM 6" HEIGHT TO FLUSH OVER A 3" TAPER



EXISTING DRAINAGE TABLE

NUMBER	STRUCTURE	T.O.C.	INVERT
D1	CURB INLET	556.5	551.3
D2	CURB INLET	556.9	551.9
D3	CURB INLET DBL.	555.5	550.9
D4	CURB INLET	554.4	549.6 (IN) 548.9 (OUT)
D5	MANHOLE	552.0	543.0 (IN) 542.8 (OUT)
D6	CURB INLET	551.4	548.6
D7	CURB INLET	551.5	547.9 (IN) 544.6 (OUT)
D8	CURB INLET	546.9	544.2
D9	CURB INLET DBL.	546.9	542.0 (IN) 538.9 (OUT)
D10	CURB INLET DBL.	542.7	535.1
D11	MANHOLE	543.0	532.8 (IN) 530.2 (OUT)
D12	CURB INLET DBL.	535.7	531.3 (IN) 530.8 (IN) 530.2 (OUT)
D13	CURB INLET	535.6	531.9
D14	MANHOLE	535.5	528.5 (IN) 527.9 (OUT)
D15	CATCH BASIN	539.3	533.3
D16	MANHOLE	557.9	547.9

STRUCTURE CHART

NO.	TYPE	CASTING	ELEVATIONS		
			T.C.	IN F.L.	OUT F.L.
HW1	E.D.H.W.*	-	-	537.50	537.50
CB2	SINGLE CURB INLET	JB 3103	544.44	540.76	540.76
CB3	DOUBLE CURB INLET	JB 3103	544.44	540.94	540.94
CB4	SINGLE CURB INLET	JB 3103	548.70	545.20	545.20
CB5	SINGLE CURB INLET	JB 3103	550.40	547.15	547.15
CB6	SINGLE CURB INLET	JB 3103	553.20	549.95	549.95
CB7	SINGLE CURB INLET	JB 3103	548.00	544.75	544.75
Y18**	YARD INLET	12" STD	548.09	545.09	545.09
HW9	RELOCATED E.D.H.W.	-	-	529.64	529.64
JB10	JUNCTION BOX	JB 1110	546.00	530.60	530.60
OS11	OUTLET STRUCTURE	-	540.50	532.00	532.00
TIE	18" RCP TO 48" CMP	-	-	531.10	531.10

* E.D.H.W. = ENERGY DISSIPATING HEADWALL
** NYLOPLAST 12" DRAIN BASIN

PIPE CHART

LINE	SIZE (INCHES)	LENGTH (FEET)	SLOPE (%)
HW1-CB2	18"	144	2.26
CB2-CB3	18"	18	1.00
CB3-CB4	15"	105	4.06
CB4-CB5	15"	72	2.71
CB5-CB6	15"	76	3.68
CB3-CB7	15"	132	2.89
CB7-Y18	6**	35	1.00
HW9-JB10	48***	88	1.0
TIE-OS11	18"	16	5.50

* CLASS III RCP
** SCHEDULE 40 PVC
*** CMP

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- CONSTRUCT EROSION CONTROL AS SHOWN ON DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS.
- ALL NEW STRUCTURES AND EXISTING STRUCTURES SHALL HAVE SEDIMENT REMOVED PRIOR TO ACCEPTANCE.
- SILT BARRIERS SHALL BE CLEANED OF ACCUMULATED SEDIMENT WHEN APPROXIMATELY 33% FILLED WITH SUCH SEDIMENT.
- ALL DIMENSIONS AND LOCATIONS OF TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE OWNER'S REPRESENTATIVE AND CITY ENGINEER.
- WHEN THE TEMPORARY SOIL EROSION AND WATER POLLUTION DEVICES ARE NO LONGER REQUIRED FOR THE INTENDED PURPOSE IN THE OPINION OF THE OWNER'S REPRESENTATIVE AND CITY ENGINEER, THEY SHALL BE REMOVED.
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- CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK.
- CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF A DETAILED ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ENGINEER SHOULD BE CONTACTED IMMEDIATELY PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL REFER TO AND ADHERE TO THE RECOMMENDATIONS IN THE GEOTECHNICAL ENGINEERING REPORT.
- ALL SLOPES 3:1 OR STEEPER SHALL BE STABILIZED WITH EROSION CONTROL MATTING INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
- ANY MUD/CONSTRUCTION DEBRIS THAT MAY BE TRANSPORTED TO PUBLIC ROADS OR PARKING AREAS SHALL BE CLEANED UP IMMEDIATELY.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY OWNER'S REPRESENTATIVE AND CITY ENGINEER.
- TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM OF 6".

GRADING, DRAINAGE, AND EROSION CONTROL NOTES:

- NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V UNLESS SPECIFICALLY NOTED ON THE PLANS.
- CONSTRUCTION ENTRANCE SHALL BE IN PLACE PRIOR TO ANY COMBUSTIBLES, I.E. CONSTRUCTION TRAILER, LUMBER, ETC. BEING PRESENT ON JOB SITE. IN ADDITION TO THE CONSTRUCTION ENTRANCE, AN ALL WEATHER DRIVE MUST BE IN PLACE AND ACCESSIBLE TO ALL AREAS OF THE CONSTRUCTION SITE THAT WILL CONTAIN COMBUSTIBLES THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROCESS. THE ALL WEATHER DRIVE SHALL BE NO LESS THAN 20 FEET OF UNOBSTRUCTED WIDTH WITH ADEQUATE TURNING RADIUS CAPABLE OF SUPPORTING THE IMPOSED LOADS OF THE FIRE DEPARTMENT PROCESS.
- SITE GRADES AROUND THE BUILDING AND PAVEMENT AREAS SHALL BE GRADED DURING CONSTRUCTION TO PREVENT PONDING. ANY SURFACE WATER ACCUMULATION IN THE BUILDING AND PAVEMENT AREAS SHALL BE DRAINED IMMEDIATELY TO AVOID SATURATION OF THE SUBGRADE SOILS.
- ENGINEERED FILL SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR DENSITY IN BUILDING PAD AREAS AND 95% IN PARKING AND DRIVE AREAS. VEGETATED AREAS SHOULD BE COMPACTED TO A MINIMUM OF 92% OF STANDARD PROCTOR DENSITY.
- GRADE LINES SHOWN ARE FINISHED GRADE. CONTRACTOR SHOULD SEE DETAIL SHEET FOR APPROPRIATE PAVEMENT TYPE TO DETERMINE SUB-GRADE ELEVATIONS FOR PAVING AREAS.
- CONTRACTOR IS ADVISED THAT FINAL GRADING AND CURB PLACEMENT SHALL BE COMPLETED TO ACCOMMODATE THE FOLLOWING:
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- ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE. SPOT ELEVATIONS SHOWN ALONG GUTTER LINE ARE FLOW ELEVATIONS FOR FACE OF CURB.
- SITE INSPECTIONS WILL BE MADE AT LEAST TWICE PER WEEK AT LEAST 72 HOURS APART. A RAIN GAUGE IS TO BE MAINTAINED ON SITE AND CHECKED AT EVERY INSPECTION. THE RAINFALL AND TIME FOR EACH EVENT IS TO BE RECORDED BY INSPECTOR AND MADE AVAILABLE WITH SWPPP INSPECTION RECORDS.
- EROSION CONTROL MUST BE IN PLACE AND INSPECTED BY THE CITY OF GALLATIN ENGINEERING DIVISION PRIOR TO GRADING.
- CONTRACTOR IS TO OBTAIN LAND DISTURBANCE PERMIT PRIOR TO GRADING.
- CONTRACTOR TO CLEAR OUT EXISTING STORM SYSTEM

LEGEND

541	PROPOSED CONTOUR	SF	TEMPORARY SILT FENCE
541	EXISTING CONTOUR	SF	TEMPORARY INLET PROTECTION
545	EXISTING INDEX CONTOUR		CONSTRUCTION ENTRANCE
542.55(T)	TOP OF CURB ELEVATION		LAYDOWN AREA
542.05(B)	BOTTOM OF CURB ELEVATION		LANDSCAPING
542.55(TO)	TOP OF ISLAND		
542.05(TOP)	TOP OF FOOTING		
	FLOW DIRECTION ARROW		
	SINGLE INLET STRUCTURE		

FINAL MASTER DEVELOPMENT PLANS:
THE HUNT CLUB
1528 HUNT CLUB BOULEVARD
GALLATIN, TENNESSEE 37066

REVISIONS:

PROJ. NO.: 110-031

Grading Plan
C-3.1
DATE: JULY 17, 2014
SUBM: FMPD RESUBM.



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PERRY
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- USE A DOZER TO TRACK UP AND DOWN SLOPES TO LESSEN SEDIMENT TRANSPORT, AND PROVIDE A BETTER ENVIRONMENT FOR THE SEED TO GROW (REF. DETAIL ON SHEET C-5.3)

CONTRACTOR KEY NOTES:

- CONTRACTOR TO INSTALL AND MAINTAIN CONSTRUCTION ENTRANCE/EXIT FOR VEHICLE TRACKING CONTROL (TO BE REMOVED FOLLOWING BUILDING COMPLETION) (REF. C-5.3)
- SWPPP NOTICE SIGNAGE (REF. C-5.3)
- PROPOSED CONSTRUCTION TRAILER LOCATION
- TREE PROTECTION FENCE
- CONTRACTOR TO INSTALL AND MAINTAIN SILT FENCE (REF. C-5.3)
- INLET PROTECTION - WEIGHTED SEDIMENT TUBE

LEGEND			
	EXISTING CONTOUR		FLOW DIRECTION ARROW
	EXISTING INDEX CONTOUR		SINGLE CURB INLET STRUCTURE
	PROPOSED CONTOUR		DOUBLE CURB INLET STRUCTURE
	SILT FENCE		CONSTRUCTION ENTRANCE/ LAYDOWN AREA
	TREE PROTECTION		TEMPORARY INLET PROTECTION
	TEMPORARY ROCK CHECK DAM		WEIGHTED SEDIMENT TUBE
	FINAL STABILIZATION (SEED AND STRAW ALL DISTURBED AREAS NOT OTHERWISE STABILIZED)		
	LANDSCAPING OR EROSION CONTROL MATTING		

FLOODPLAIN NOTE:

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FINAL MASTER DEVELOPMENT PLANS:

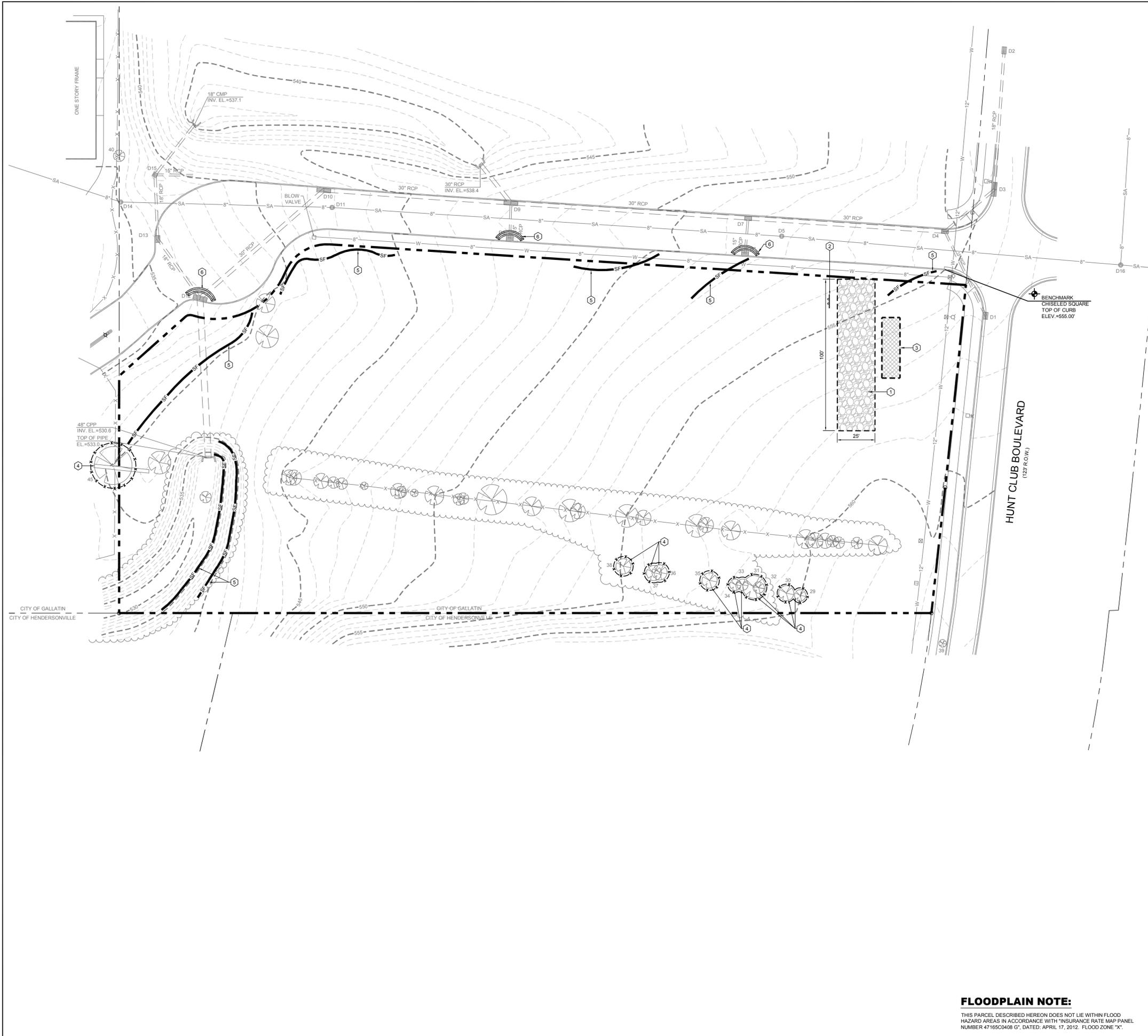
THE HUNT CLUB
1528 HUNT CLUB BOULEVARD
GALLATIN, TENNESSEE 37066

REVISIONS:	
PROJ. NO.:	110-031

Erosion Control Phase I

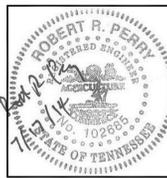
C-5.1

DATE: JULY 17, 2014
SUBM: FMDP RESUBM.

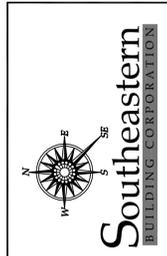




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- USE A DOZER TO TRACK UP AND DOWN SLOPES TO LESSEN SEDIMENT TRANSPORT, AND PROVIDE A BETTER ENVIRONMENT FOR THE SEED TO GROW (REF. DETAIL ON SHEET C-5.3)

CONTRACTOR KEY NOTES:

- CONTRACTOR TO PERMANENTLY STABILIZE ALL DISTURBED AREAS WITH SEED / MULCH OR LANDSCAPING AS SPECIFIED ON THE LANDSCAPE PLAN
- CONTRACTOR TO INSTALL AND MAINTAIN STORM DRAIN INLET PROTECTION (REF. C-5.3)
- TEMPORARY ROCK CHECK DAM
- INLET PROTECTION - WEIGHTED SEDIMENT TUBE

LEGEND			
	EXISTING CONTOUR		FLOW DIRECTION ARROW
	EXISTING INDEX CONTOUR		SINGLE CURB INLET STRUCTURE
	PROPOSED CONTOUR		DOUBLE CURB INLET STRUCTURE
	SILT FENCE		RIP RAP APRON
	TREE PROTECTION		TEMPORARY INLET PROTECTION
	TEMPORARY ROCK CHECK DAM		WEIGHTED SEDIMENT TUBE
	FINAL STABILIZATION (SEED AND STRAW ALL DISTURBED AREAS NOT OTHERWISE STABILIZED W/ LANDSCAPING OR EROSION CONTROL MATTING)		

FLOODPLAIN NOTE:

THIS PARCEL DESCRIBED HEREON DOES NOT LIE WITHIN FLOOD HAZARD AREAS IN ACCORDANCE WITH "INSURANCE RATE MAP PANEL NUMBER 47165C0408 G", DATED: APRIL 17, 2012. FLOOD ZONE "X".

FINAL MASTER DEVELOPMENT PLANS:

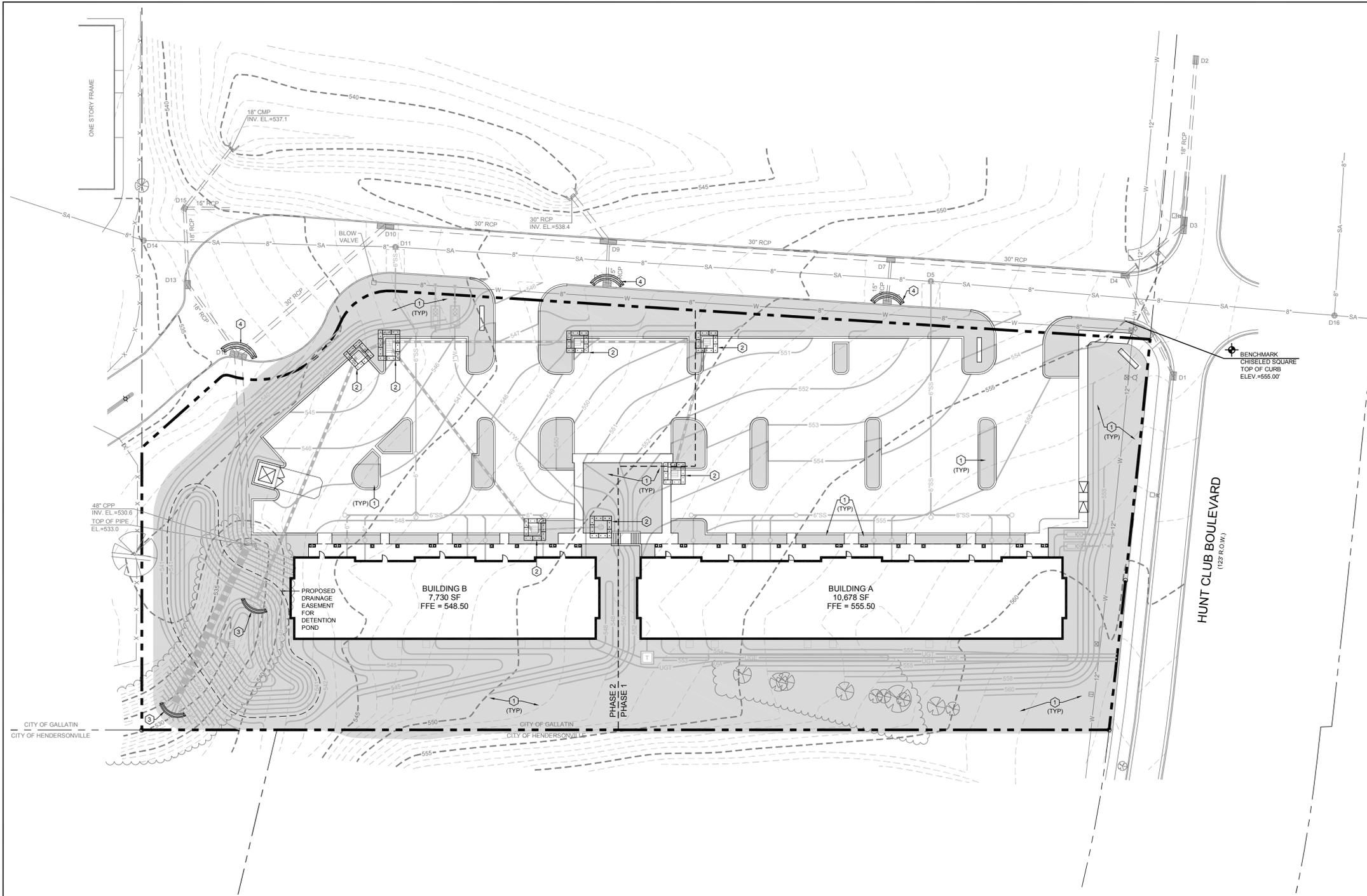
THE HUNT CLUB
1528 HUNT CLUB BOULEVARD
GALLATIN, TENNESSEE 37066

REVISIONS:	
PROJ. NO.:	110-031

Erosion Control Phase II

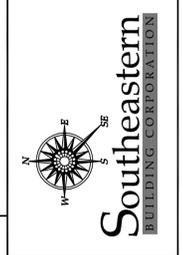
C-5.2

DATE: JULY 17, 2014
SUBM: FMPD RESUBM.





PERRY
ENGINEERING, LLC
100 NORTH MAIN STREET, SUITE F
GODDLETTSVILLE, TENNESSEE 37072
PH 615-665-2220 FAX 615-665-2221



FINAL MASTER DEVELOPMENT PLANS:
THE HUNT CLUB
1528 HUNT CLUB BOULEVARD
GALLATIN, TENNESSEE 37066

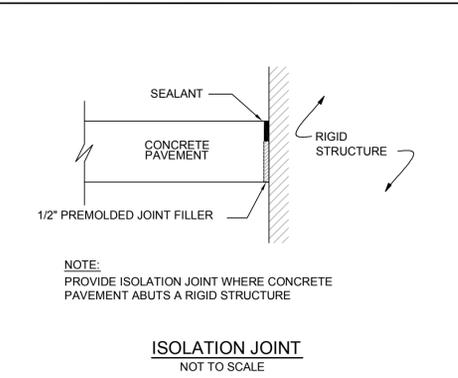
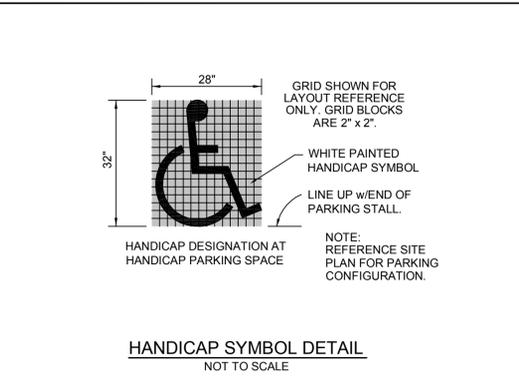
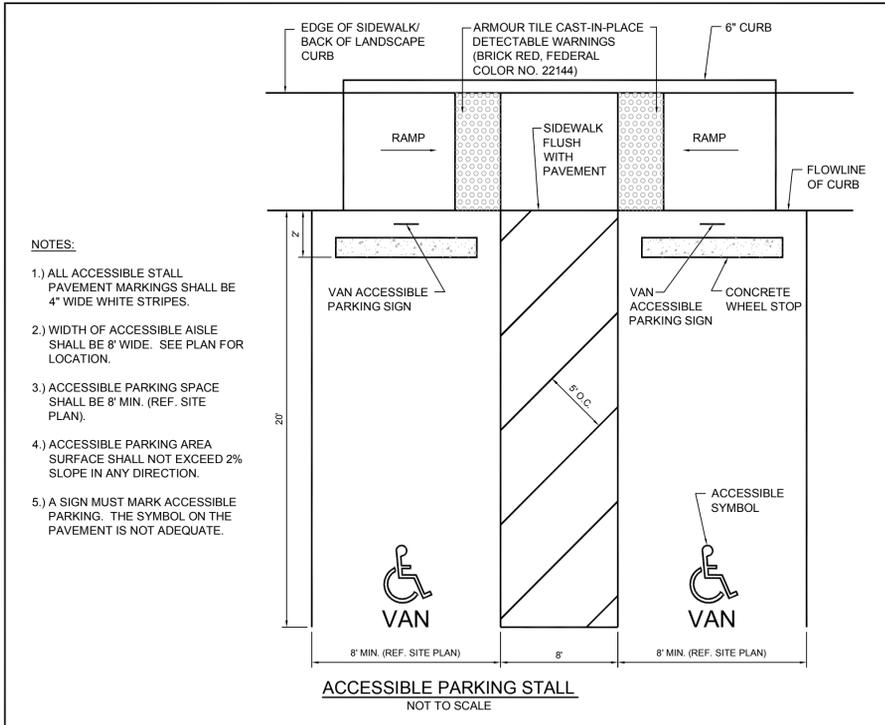
REVISIONS:

PROJ. NO.: 110-031

Details

C-6.1

DATE: JULY 17, 2014
SUBM: FMPD RESUBM.



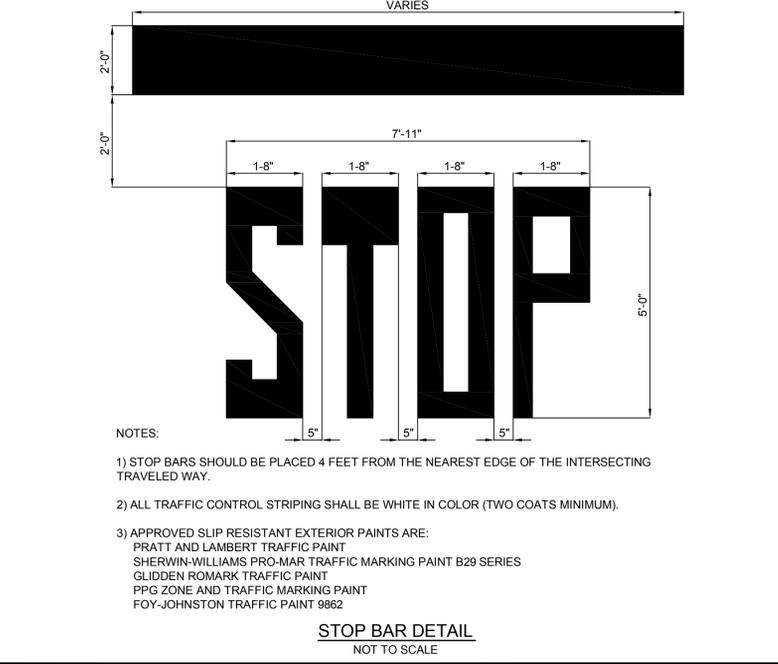
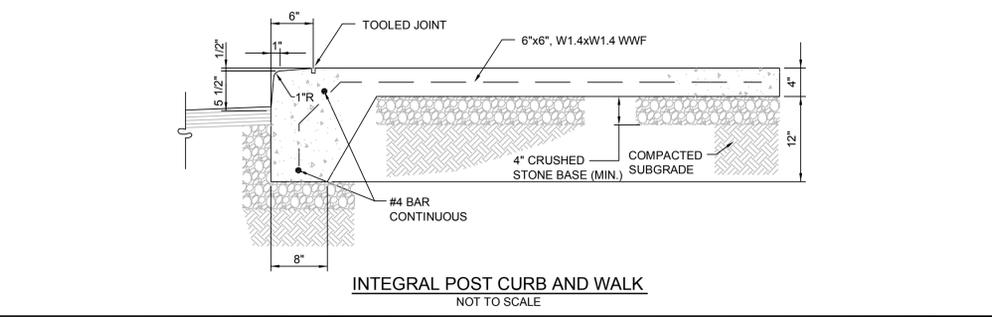
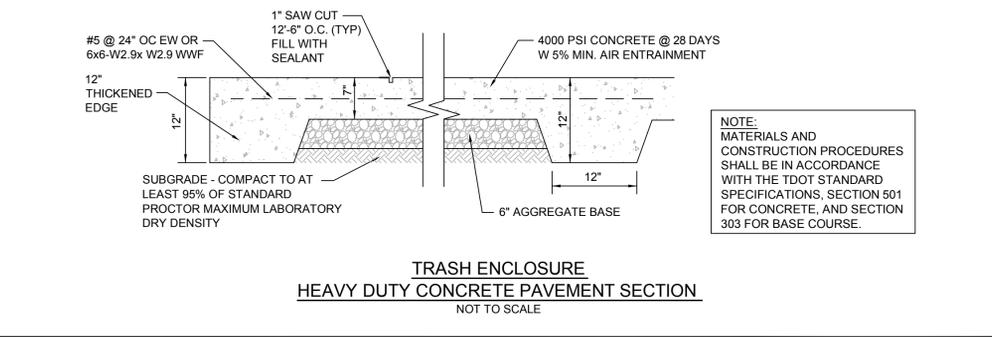
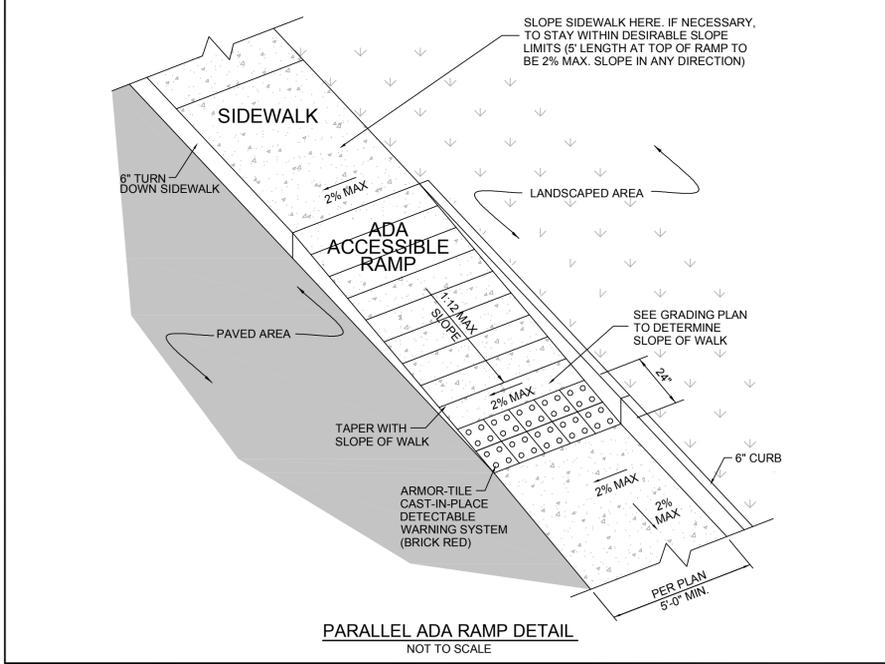
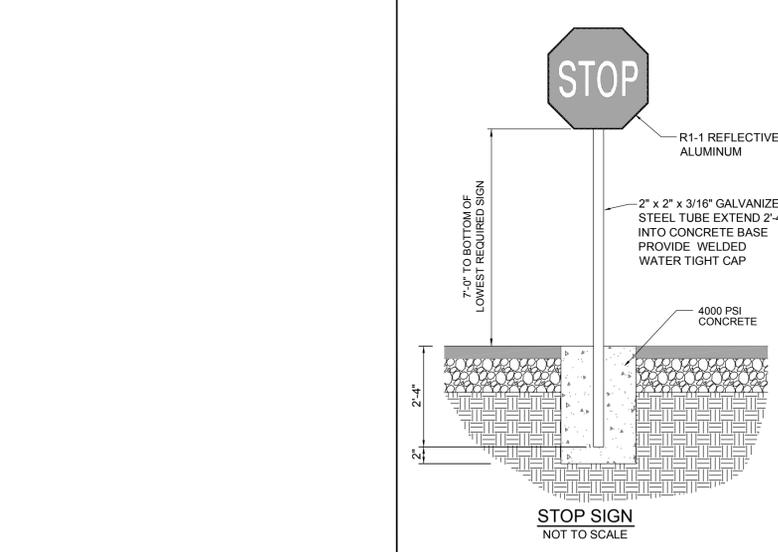
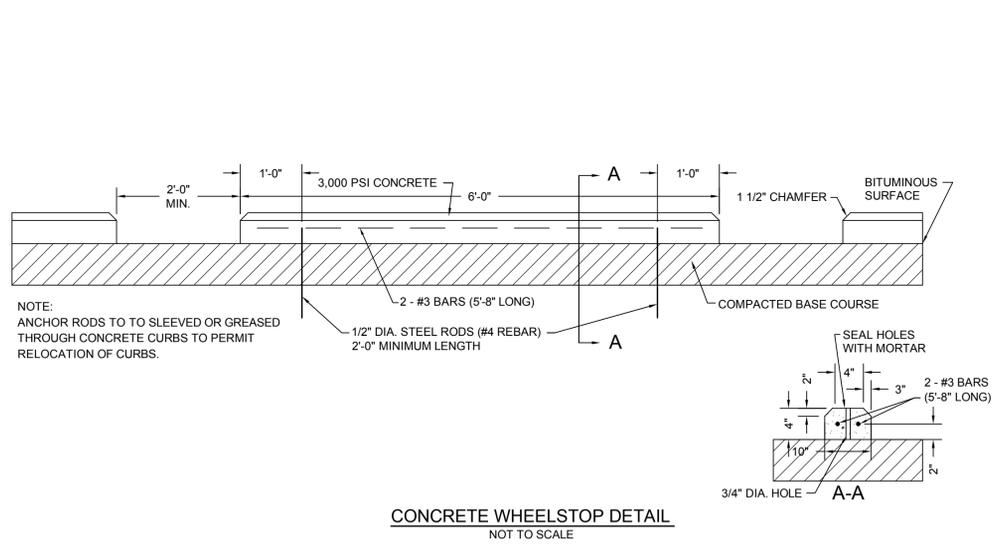
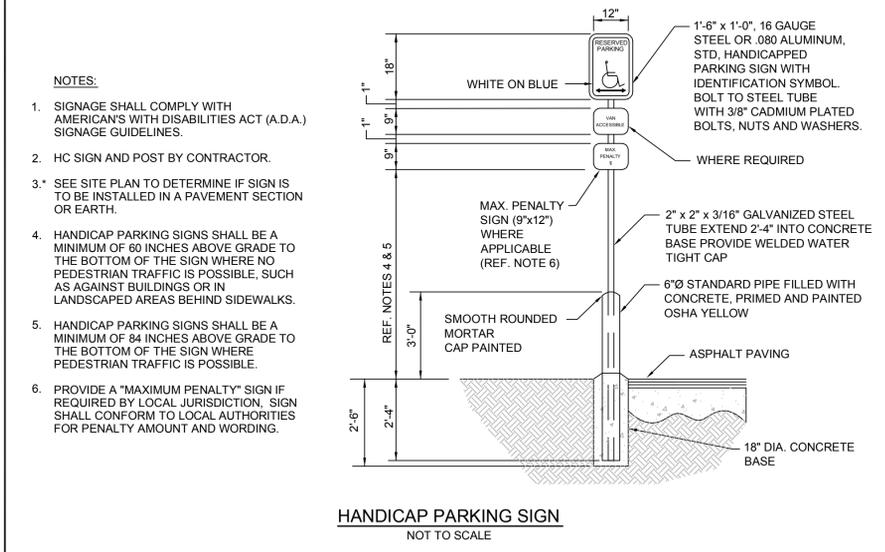
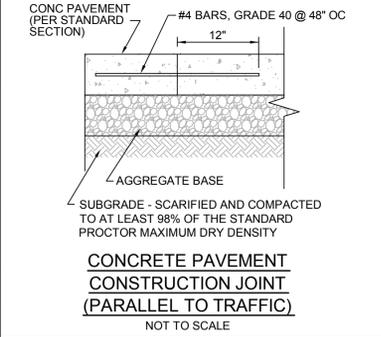
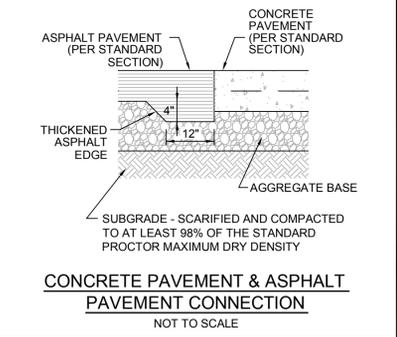
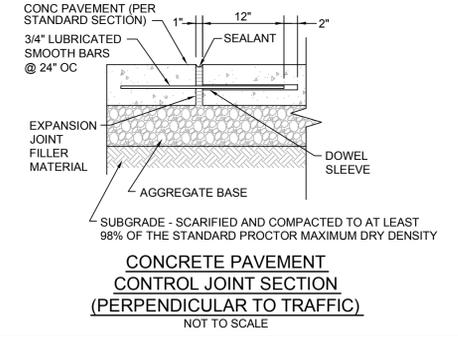
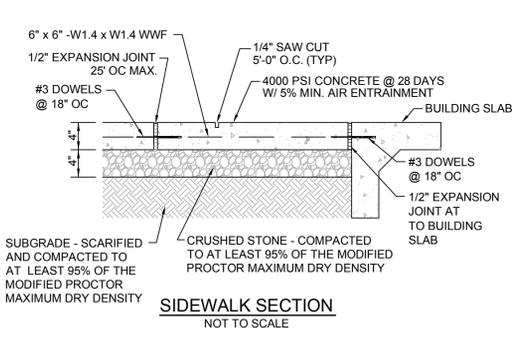
NOTE: MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH THE TDOT STANDARD SPECIFICATIONS, SECTION 903.05 FOR AGGREGATE BASE COURSE MATERIAL; SECTION 903.06 FOR HOT MIX ASPHALT BASE COURSE; AND SECTION 903.11 FOR SURFACE COURSE.

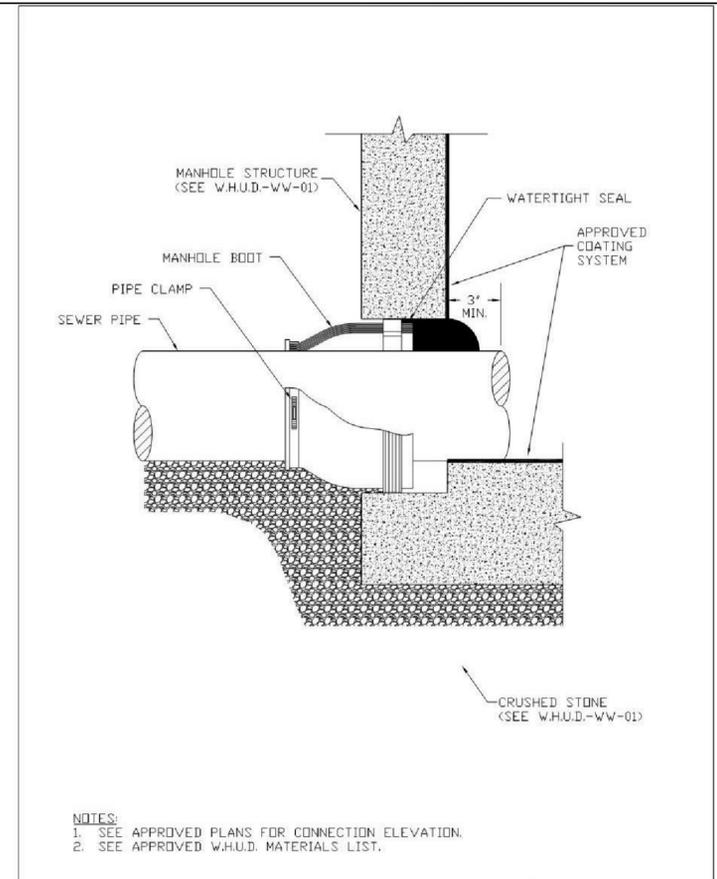
MATERIALS	FLEXIBLE PAVEMENT RECOMMENDATIONS		TENNESSEE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS
	ASPHALT PAVEMENT SECTION THICKNESS (INCHES)	PARKING LOT DRIVES	
ASPHALTIC CONCRETE SURFACE COURSE	X=1-1/2"		SECTION 411, GRADING E
ASPHALTIC CONCRETE BINDER COURSE	Y=2"		SECTION 307, GRADING B-M2
AGGREGATE BASE COURSE	Z=8"		SECTION 303 CLASS A, GRADING D

(a) COMPACTION DENSITY REQUIREMENTS BY MARSHALL METHOD SECTION 407

ASPHALT PAVING DETAIL
NOT TO SCALE

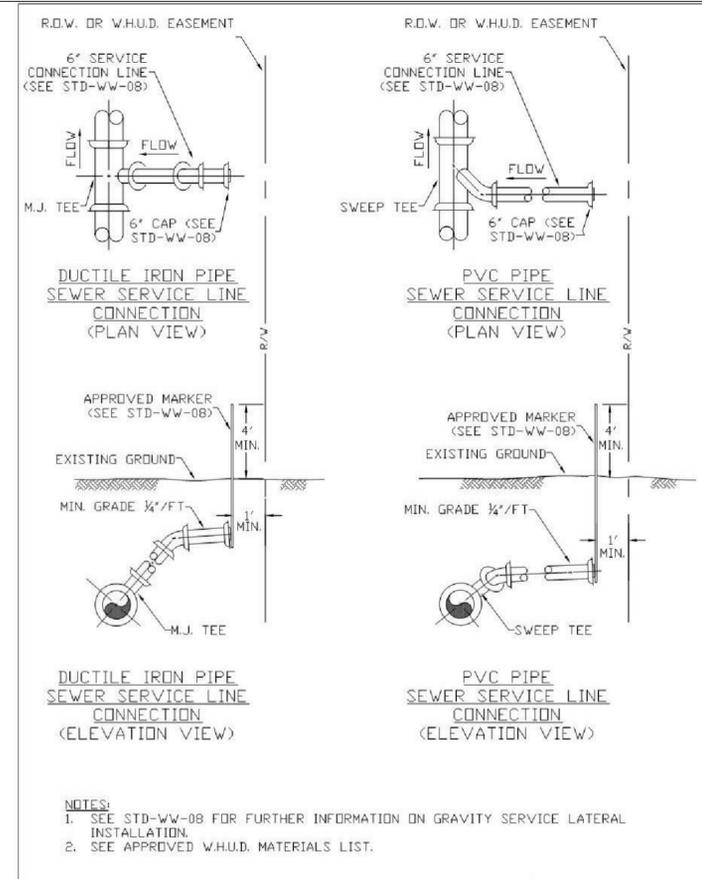
PRIME COAT
TACK COAT
X
Y
Z





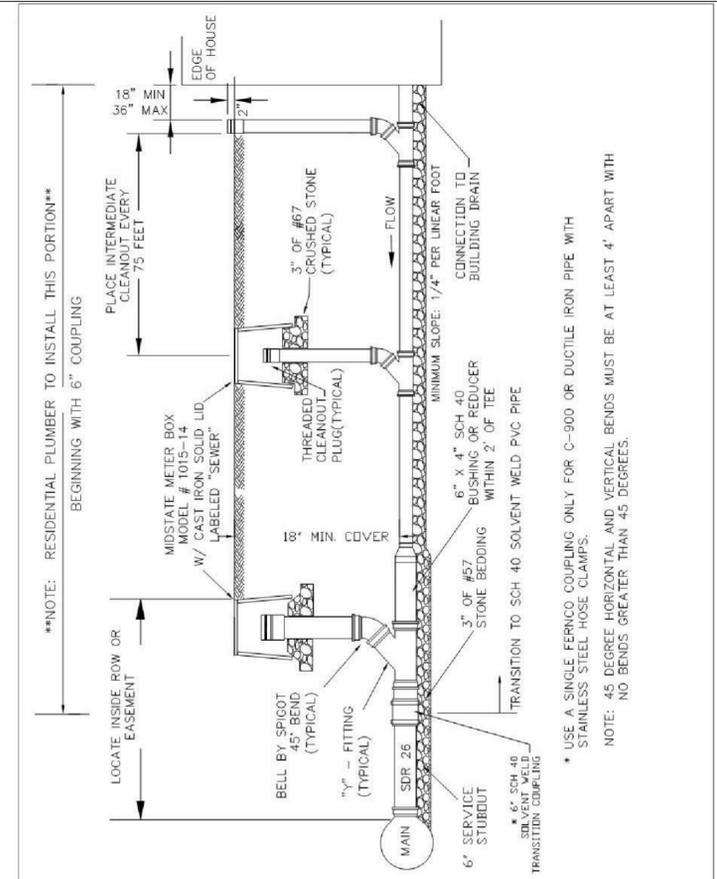
NOTES:
 1. SEE APPROVED PLANS FOR CONNECTION ELEVATION.
 2. SEE APPROVED W.H.U.D. MATERIALS LIST.

	WHITE HOUSE UTILITY DISTRICT	DATE : AUG 2008
	PRE-CAST CONCRETE MANHOLE CONNECTION DETAIL - MANHOLES WITH NO INTERNAL COATING	SCALE : N.T.S.
		STD-WW-04



NOTES:
 1. SEE STD-WW-08 FOR FURTHER INFORMATION ON GRAVITY SERVICE LATERAL INSTALLATION.
 2. SEE APPROVED W.H.U.D. MATERIALS LIST.

	WHITE HOUSE UTILITY DISTRICT	DATE : AUG 2008
	GRAVITY SEWER MAIN LATERAL SERVICE STUB-OUT SCHEMATIC DETAIL	SCALE : N.T.S.
		STD-WW-07

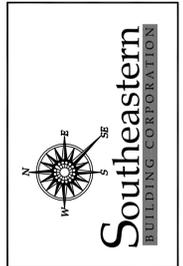


NOTE: RESIDENTIAL PLUMBER TO INSTALL THIS PORTION
 * USE A SINGLE FERNCO COUPLING ONLY FOR C-900 OR DUCTILE IRON PIPE WITH STAINLESS STEEL HOSE CLAMPS.
 NOTE: 45 DEGREE HORIZONTAL AND VERTICAL BENDS MUST BE AT LEAST 4' APART WITH NO BENDS GREATER THAN 45 DEGREES.

	WHITE HOUSE UTILITY DISTRICT	DATE : FEB 2012
	GRAVITY SEWER SERVICE BUILDING PLUMBING CONNECTION DETAIL	SCALE : N.T.S.
		STD-WW-09



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FINAL MASTER DEVELOPMENT PLANS:
THE HUNT CLUB
 1528 HUNT CLUB BOULEVARD
 GALLATIN, TENNESSEE 37066

REVISIONS:	
PROJ. NO.:	110-031

Details

C-6.4
 DATE: JULY 17, 2014
 SUBM: FMPD RESUBM.

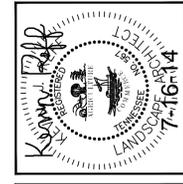


Know what's below.
Call before you dig.

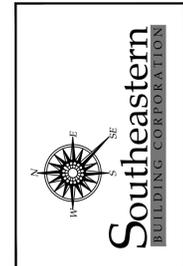


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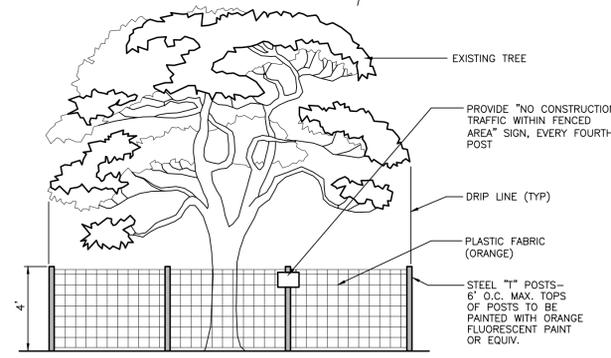
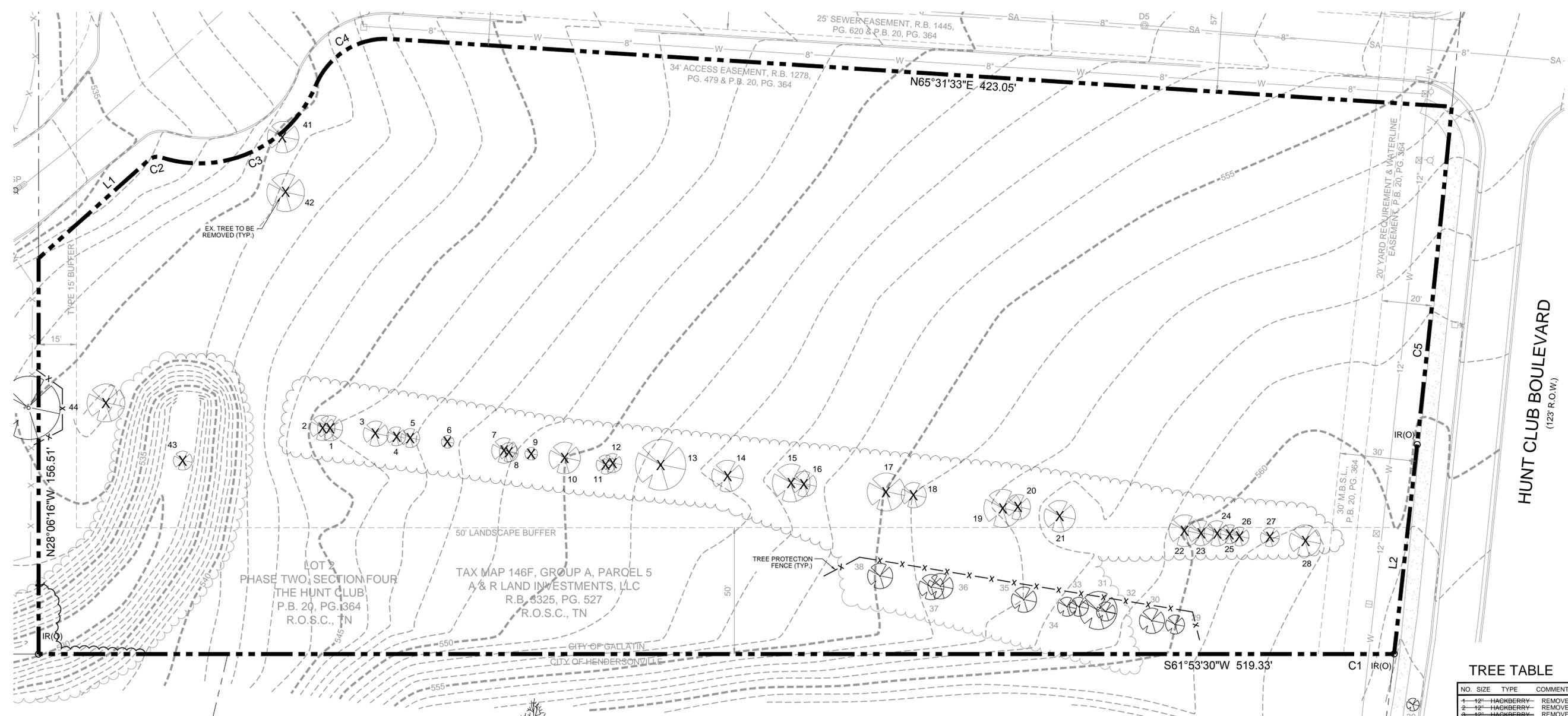
GRAPHIC SCALE - 1 inch = 20 ft.



KITA
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Email: krea@kitadesign.biz



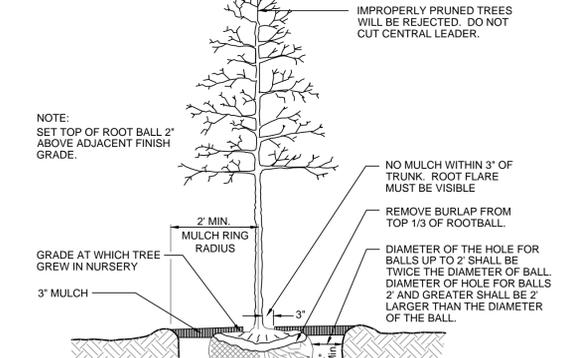
SITE IMPROVEMENT PLANS FOR:
THE HUNT CLUB
1528 HUNT CLUB BOULEVARD
GALLATIN, TENNESSEE 37066



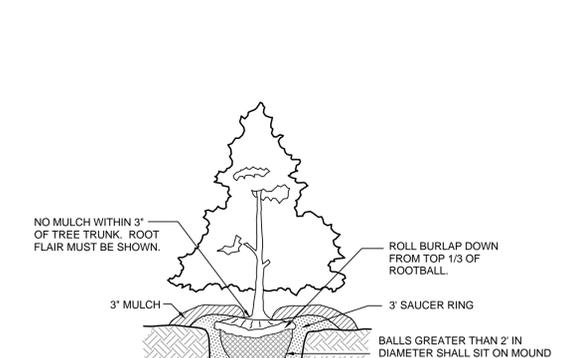
TREE PROTECTION DETAIL
NOT TO SCALE

NOTE:
ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT.

NOTE:
POSTS TO BE PLACED AT DRIP LINE - SEE PLANS FOR FENCE LOCATION.



DECIDUOUS TREE PLANTING
NOT TO SCALE



EVERGREEN PLANTING
NOT TO SCALE

TREE TABLE

NO.	SIZE	TYPE	COMMENTS
1	12"	HACKBERRY	REMOVE
2	12"	HACKBERRY	REMOVE
3	12"	HACKBERRY	REMOVE
4	9"	HACKBERRY	REMOVE
5	9"	HACKBERRY	REMOVE
6	6"	HACKBERRY	REMOVE
7	12"	HACKBERRY	REMOVE
8	9"	HACKBERRY	REMOVE
9	6"	HACK-TRPL	REMOVE
10	15"	HACKBERRY	REMOVE
11	9"	HACKBERRY	REMOVE
12	9"	HACKBERRY	REMOVE
13	24"	HACKBERRY	REMOVE
14	15"	HACKBERRY	REMOVE
15	18"	HACKBERRY	REMOVE
16	12"	HACKBERRY	REMOVE
17	10"	HACKBERRY	REMOVE
18	12"	HACK-TRPL	REMOVE
19	18"	HACKBERRY	REMOVE
20	12"	HACKBERRY	REMOVE
21	15"	HACKBERRY	REMOVE
22	15"	HACKBERRY	REMOVE
23	12"	HACKBERRY	REMOVE
24	12"	HACK-DBL	REMOVE
25	9"	HACKBERRY	REMOVE
26	9"	HACKBERRY	REMOVE
27	9"	HACKBERRY	REMOVE
28	15"	HACKBERRY	REMOVE
29	9"	HACKBERRY	REMOVE
30	12"	HACKBERRY	REMOVE
31	18"	HACKBERRY	REMOVE
32	9"	HACKBERRY	REMOVE
33	9"	HACKBERRY	REMOVE
34	9"	HACKBERRY	REMOVE
35	12"	HACKBERRY	REMOVE
36	12"	HACKBERRY	REMOVE
37	12"	HACKBERRY	REMOVE
38	12"	HACKBERRY	REMOVE
39	6"	OAK	REMOVE
40	9"	ASH	REMOVE
41	15"	HACKBERRY	REMOVE
42	10"	HACKBERRY	REMOVE
43	9"	TREE	REMOVE
44	18"	HACKBERRY	REMOVE
45	30"	HACKBERRY	REMOVE

REVISIONS:

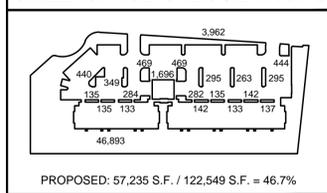
PROJ. NO.: 110-031

Tree Removal Plan

L-1.0

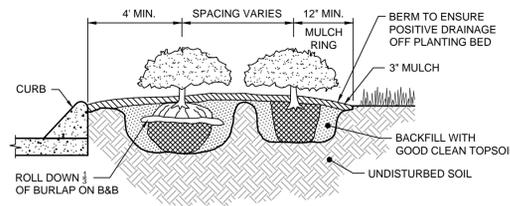
DATE: JULY 17, 2014
SUBM: FMDP RESUBM.

GREENSPACE CALCULATIONS



EX. TREE TABLE

NO.	SIZE	TYPE	COMMENTS
29	9"	HACKBERRY	S. BUFFER
30	12"	HACKBERRY	S. BUFFER
31	18"	HACKBERRY	S. BUFFER
32	9"	HACKBERRY	S. BUFFER
33	9"	HACKBERRY	S. BUFFER
34	9"	HACKBERRY	S. BUFFER
35	12"	HACKBERRY	S. BUFFER
36	12"	HACKBERRY	S. BUFFER
37	12"	HACKBERRY	S. BUFFER
38	12"	HACKBERRY	S. BUFFER



INTERIOR PLANTING

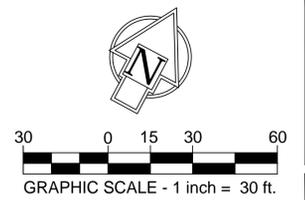
INTERIOR PARKING SPACES:	REQUIRED	PROVIDED
1 TREE/10 SPACES:	4.5	5
CANOPY TREES:	4.5	5
INTERIOR PARKING AREA:	41,535 S.F.	
41,535 x 0.06 =	2,492 S.F.	
INTERIOR PLANTING AREA:	2,492 SF	2,872 SF

LANDSCAPE CALCULATIONS

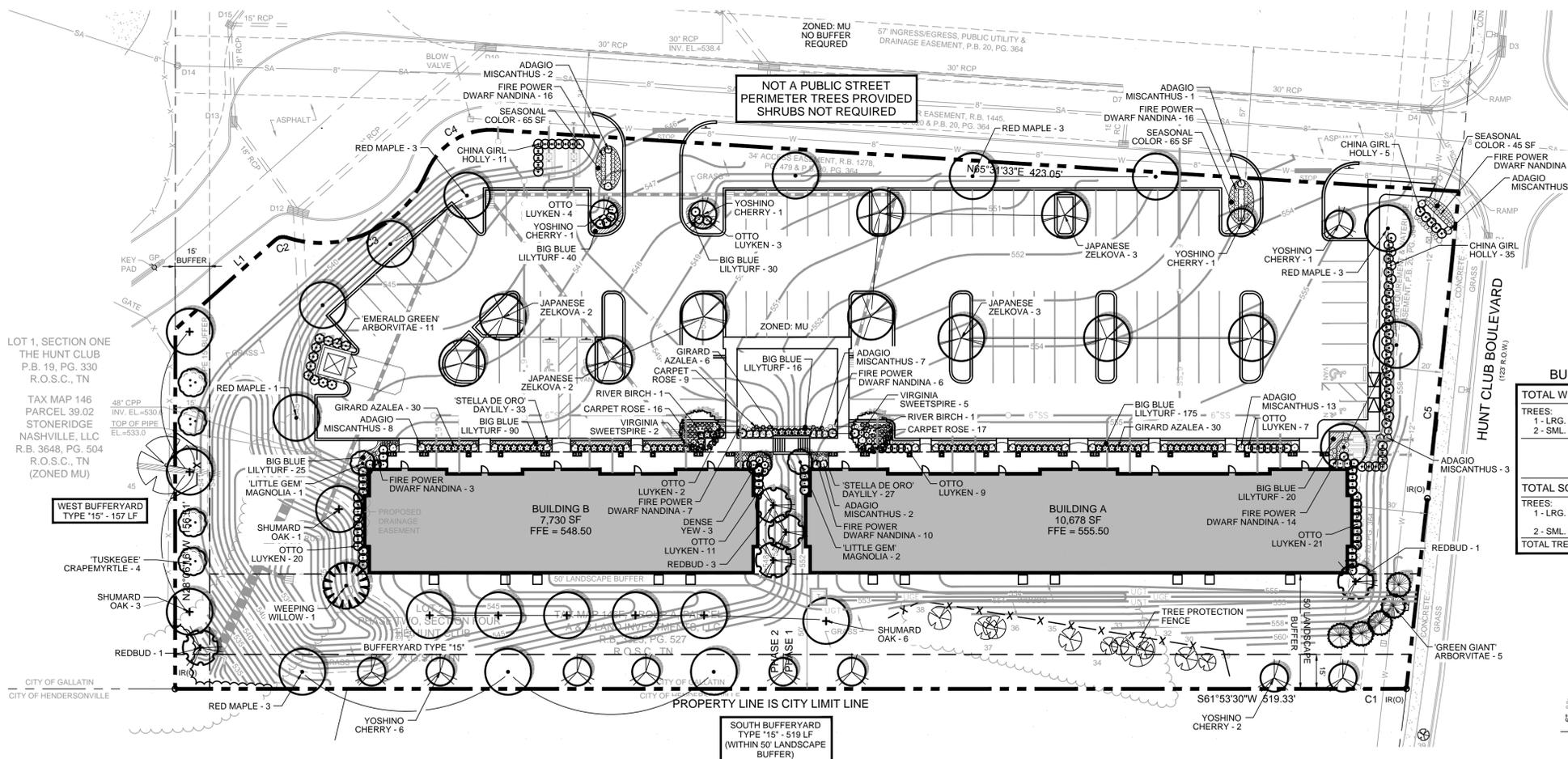
SITE AREA:	(122,549 SF)	2.81 AC.
SITE LANDSCAPING AREA: (EXCLUDING BUFFERYARDS) (SQ. FT.)	7.5% (9,191 SF)	PROVIDED 46.7% (57,235 SF)
SITE TREES: (1/500 SF) (Red Maple and Crapemyrtle)	18.4	19 (12 + 1)
SITE SHRUBS: (50/A/C) (Buffer/Perimeter Shrubs) (as required)	140.5	141+
LOADING AREA SCREENING	YES	YES
MECH. EQUIP. SCREENING	YES	YES



Know what's below. Call before you dig.

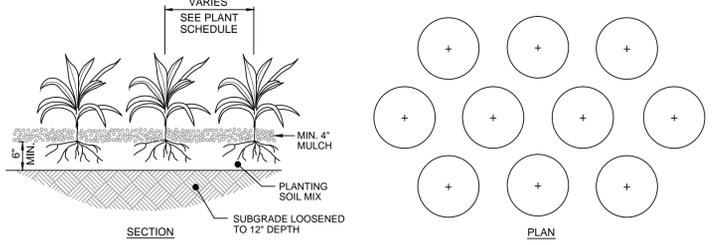


SHRUB / GROUND COVER PLANTING NOT TO SCALE

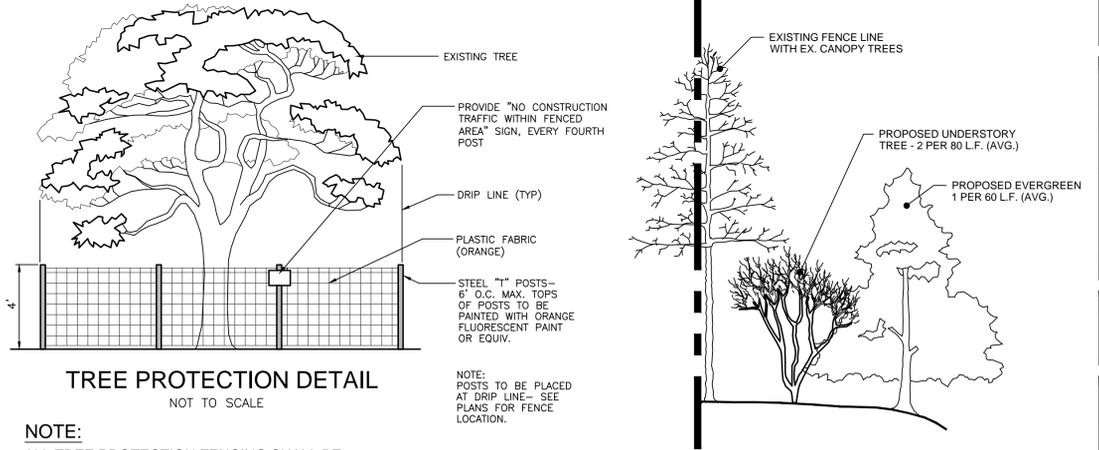


BUFFERYARD CALCULATIONS

TOTAL WEST BUFFERYARD - TYPE "15"	157 LF
TREES:	
1 - LRG. CANOPY/60 LF	REQUIRED 2.6 PROVIDED 3
2 - SML. UNDERSTORY/60 LF	REQUIRED 5.2 PROVIDED 5
TOTAL SOUTH BUFFERYARD - TYPE "15"	519 LF
TREES:	
1 - LRG. CANOPY/60 LF	REQUIRED 8.7 PROVIDED 10
2 - SML. UNDERSTORY/60 LF	REQUIRED 17.3 PROVIDED 14
TOTAL TREES IN S. BUFFERYARD:	26 TREES 33



GROUND COVER / PERENNIAL PLANTING NOT TO SCALE



TREE PROTECTION DETAIL NOT TO SCALE

NOTE: ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT.

TYPE 15' BUFFER NOT TO SCALE

TREE SELECTION SPECIFICATIONS

- There shall be no circling or girdling roots. Circling roots should be cut in at least one place.
- Trees should be rooted into the rootball so that soil or media remains intact and trunk and rootball move as one when lifted, but not root bound. The trunk should bend when gently pushed and should not be loose so it pivots at or below soil line.
- The point where the top-most root in the rootball emerges from the trunk shall be within two inches of the soil surface. It can be exposed and visible at the soil surface. If it is not within the top low inches of soil, gently remove the top layer of soil from the rootball until the first major root flare is visible.
- The relationship between caliper, height and rootball size shall meet the ANSI Z60.1 standard, latest edition.
- There should be one dominant leader to the top of the tree with the largest branches spaced at least 6 inches apart. There can be two leaders in the top 25% of the tree if it is otherwise of good quality.
- The tree canopy should be mostly symmetrical and free of large voids. Clear trunk should be no more than 40% of tree height unless otherwise specified in the planting specifications.
- Open trunk and branch wounds shall be less than 10% of the circumference at the wound and no more than 2 inches tall. Properly made pruning cuts are not considered open trunk wounds. There should be no conks or bleeding, and there should be no signs of insects or disease on more than 5% of the tree.
- If any of the above conditions are not met, trees may be rejected.

TREE PLANTING SPECIFICATIONS

- The depth of the hole dug should be about 10% than the distance from the top-most root (measured where it joins the trunk) to the bottom of the rootball. The width of the hole shall be at least 1.5 times the width of the rootball.
- Cut away burlap and wire so that at least 1/2 of the rootball is exposed. Synthetic burlap shall be removed entirely. All twine and rope shall be removed from the base of the tree and from any branches.
- After planting, the topmost root shall be no more than 2 inches below the soil surface. Additional soil should be removed. The surrounding grade should be even with or slightly lower than the top root. Please note: some trees will arrive from the nursery with too much soil covering the first major root flare. This soil should be removed. The resulting soil line should be even with or above the surrounding grade.
- 2 - 3 inches of mulch should be applied to cover the sides of the rootball to a point even with the drip line. Do not add any soil to the top of the rootball. Do not add more than 1 inch of mulch to the top of the rootball.
- In poorly drained soil, position the top of the rootball 10% or more above the surrounding grade. No more than 20% of the rootball should be above the surrounding grade.
- If trees are staked, stakes shall not come into contact with the rootball. Guy wires shall not be drawn taut, but should supply just enough tension to prevent the tree from swaying a great deal. All stakes, wiring and harnesses shall be removed within one year unless otherwise specified.

PLANT SCHEDULE					
QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	TRUNK	COMMENTS
CANOPY TREES					
5	'Green Giant' Arborvitae	Thuja standishii x plicata 'Green Giant'	8' Min.	2.5" Cal.	Full to ground, well formed
10	Japanese Zelkova	Zelkova serrata	12' - 14'	2.5" Cal.	Well formed
3	'Little Gem' Magnolia	Magnolia grandiflora 'Little Gem'	8' Min.	2.5" Cal.	Limb up
13	Red Maple	Acer rubrum	14' - 16'	3" Cal.	Strong Central Leader
2	River Birch	Betula nigra	12' - 14'	2.5" Cal.	Multi-trunk - (3) 1" canes min.
10	Shumard Oak	Quercus shumardii	12' - 14'	2.5" Cal.	Strong Central Leader
1	Weeping Willow	Salix babylonica	12' - 14'	2.5" Cal.	Strong Central Leader
44	TOTAL - CANOPY TREES				
UNDERSTORY TREES					
4	'Tuskegee' Crapemyrtle	Lagerstroemia indica 'Tuskegee'	7' - 8'	2" Cal.	Multi-trunk, (3) 1/2" canes min.
11	'Emerald Green' Arborvitae	Thuja occidentalis 'Emerald Green'	8' Min.	2.5" Cal.	Full to ground, well formed
5	Redbud	Cercis canadensis	8' - 10'	2" Cal.	Well formed
12	Yoshino Cherry	Prunus yedoensis	8' - 10'	2" Cal.	Well formed, MATCHED
32	TOTAL - UNDERSTORY TREES				
76	TOTAL - ALL TREES				
SHRUBS					
68	Girard Azalea	Azalea x 'Girard'	18" Min.	3 Gal.	Full and Heavy - Hardy variety
42	Carpet Rose	Rosa x (varies)	12" Min.	3 Gal.	Peach or Pink color
51	China Girl Holly	Ilex x meserveae 'China Girl'	18" Min.	3 Gal.	Full and Heavy
77	Otto Luyken	Prunus laurocerasus 'Otto Luyken'	18" Min.	3 Gal.	Full and Heavy
89	'Fire Power' Dwarf Nandina	Nandina domestica 'Fire Power'	12"	3 Gal.	Well formed/Full
3	Dense Yew	Taxus x media 'Densiformis'	18" Min.	3 Gal.	Well formed/Full
7	Virginia Sweetspire	Itea virginiana 'Henry's Garnet'	18" Min.	3 Gal.	Well formed/Full
337	TOTAL - SHRUBS				
ORNAMENTAL GRASSES					
39	'Adagio' Miscanthus	Miscanthus sinensis 'Adagio'	30" Min.	5 Gal.	Full and Heavy
GROUND COVER/PERENNIAL FLOWERS					
60	Stella De Oro Daylily	Hemocalis x 'Stella De Oro'	8"	4" Pots	Plant 12" o.c.
396	'Big Blue' Lilyturf	Liloupe muscari 'Big Blue'	8"	4" Pots	Plant 12" o.c.
200 sf	Seasonal Color	Various annual flowers	8"	4" Pots	Change flowers each season



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FINAL MASTER DEVELOPMENT PLANS:
THE HUNT CLUB
1528 HUNT CLUB BOULEVARD
GALLATIN, TENNESSEE 37066

REVISIONS:

NO.	DESCRIPTION

PROJ. NO.: 110-031
Landscape Plan

L-1.1
DATE: JULY 17, 2014
SUBM: FMDP RESUBM.



Plan View
Scale: 1" = 35'

Description	Symbol	Avg	Max	Max/Min	Avg/Min	Avg/Max	Min
Parking Lot	+	2.1 Fc	3.6 Fc	7.2:1	4.2:1	0.6:1	0.5 Fc
Property Line	+	0.5 Fc	0.5 Fc	N/A	N/A	0.0:1	0.0 Fc

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	C	2	Holophane	MGLED 4 SK AS F L A K SSS3055G D1 R3 BK	Mongoose LED (MGLED), MGLED, 4 Modules, 5000K CCT, Auto-Dimming (120-277V), Forward Throw (Type V), Low, 1 to 18 Degree, Architectural Arm, Wirecoat, Super Durable Black (SS3055G) Square Gauge Steel Pole 30FT, 5.0 Square x 7 Gauge Wall, SSS3055 5.0 Square, Drilling for 3 Unis, 3 hole 60° pattern 3.00 from top, Black, Anchor Bolts	LED	1	MGLED_4_SK_A_S_S_S3055G	15759.45	0.95	168
	C2	3	Holophane	MGLED 4 SK AS A L A K SSS3055G D2 R3 BK	Mongoose LED (MGLED), MGLED, 4 Modules, 5000K CCT, Auto-Dimming (120-277V), Area (Type V), Low, 1 to 18 Degree, Architectural Arm, Wirecoat, Super Durable Black (SS3055G) Square Gauge Steel Pole 30FT, 5.0 Square x 7 Gauge Wall, SSS3055 5.0 Square, Drilling for 2 Unis at 180 degrees, 1 hole 60° pattern 3.00 from top, Black, Anchor Bolts	LED	1	MGLED_4_SK_A_L_A_K_S_S3055G	17091.83	0.95	336

Weight of 347V-480V Version: 60 lbs
120V-277V Version: 50 lbs
EPA = 2.05

MGLED

Series Code	Number of LEDs	Color Temperature	Voltage
4 = 4 COB	4	4K= 4000 Kelvin	AS= 120V-277V
5 = 5 COB	5	5K= 5000 Kelvin	AH= 347V-480V
6 = 6 COB	6		
7 = 7 COB	7		
8 = 8 COB	8		
9 = 9 COB	9		

Optics
N = Narrow Roadway
M = Medium Roadway
W = Wide Roadway
F = Forward Throw (Type 4)
A = Area (Type 5)

Tilt Range
H = High (27° - 45°)
L = Low (0° - 18°)

Mounting
V = Vertical Tension
H = Horizontal Arm
A = Architectural

Color
G = Gray
H = Graphite
K = Black
B = Brown
W = White
Z = Bronze

ORDERING INFORMATION

Standard Options
 NL = NEMA Label
 P3 = 3 PIN NEMA Photocontrol Receptacle
 DM = DIM - 10V dimmable driver
 DE = ROAM Concierge/Enterprise
 VE = ROAMview
 PCSS = DSS 120-277V Photocontrol
 PCL1 = DLL 120V Photocontrol
 PCL3 = DLL 347V Photocontrol
 PCL4 = DLL 480V Photocontrol
 SP= Individual unit/sample pack
 US = Uplight Skirt (DLC Approved)

Special Options *
 ML=Multi-Level Dimming
 CLO = Constant Lumen Output

*Additional information is required from the customer. Please contact Infrastructure TSG for assistance.

MONGOOSE LED™
LED Roadway Lighting

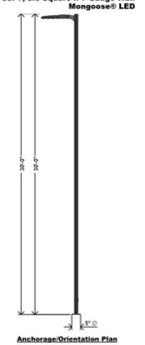
Infrastructure
Outdoor

DATE: 12/21/14
DRAWN BY: JMW
DWG #: MONGOOSE LED
1 of 4



SPECIFICATIONS
FIGURE
 Mongoose LED (MGLED)
 Performance Package: 4 Modules
 Color Temperature: 5000K CCT
 Voltage: Auto-Dimming (120-277V)
 Output: Forward Throw (Type F)
 Tilt Range: Low, 1 to 18 Degree
 Arm Mounting: Architectural Arm
 Finish: Wirecoat Super Durable Black
 NEMA Label: None
 Photocontrol Receptacle: None
 Dimming: None
 NEMA: None
 Photocontrol: None
 Light Track: Sample Pack: None
 Uplight Skirt: None
 Multi-Level Dimming: None
 Constant Lumen Output: None

Catalog Number: MGLED 4 SK AS F L A K SSS3055G D1 R3 BK (AS)
 Type: Notes:



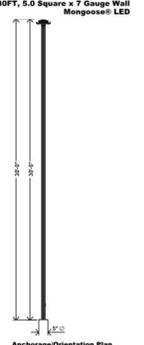
Anchorage/Orientation Plan

No Anchorage/Orientation Image is Available.



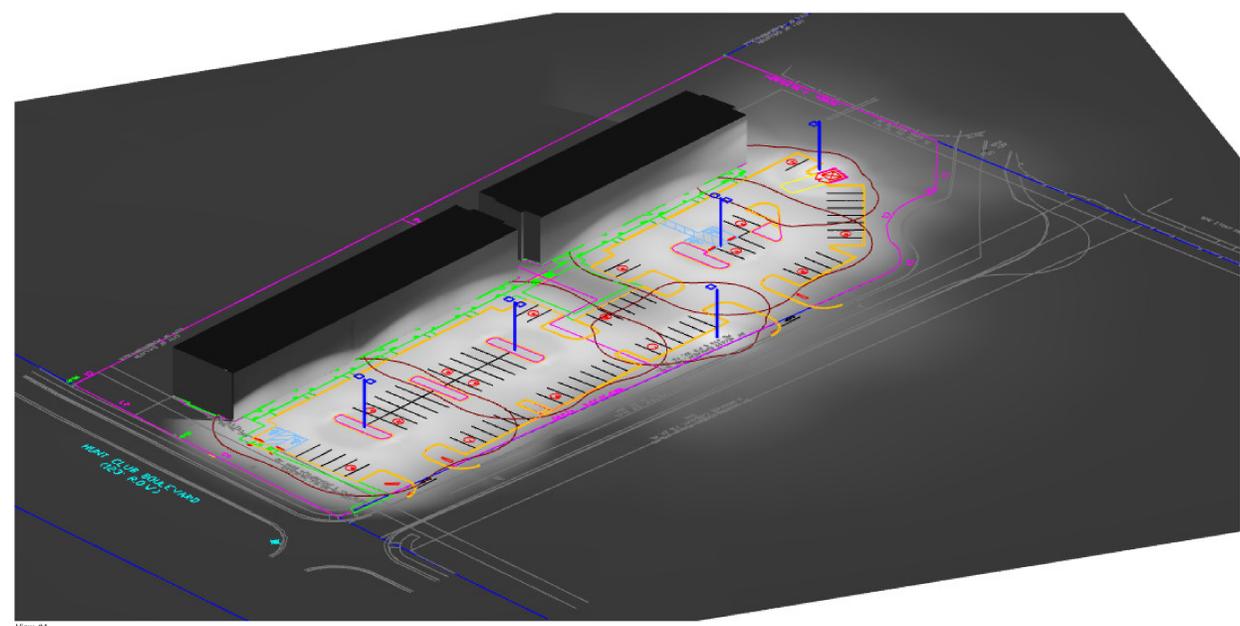
SPECIFICATIONS
FIGURE
 Mongoose LED (MGLED 4 SK AS A L A K)
 Performance Package: 4 Modules
 Color Temperature: 5000K CCT
 Voltage: Auto-Dimming (120-277V)
 Output: Area (Type V)
 Tilt Range: Low, 1 to 18 Degree
 Arm Mounting: Architectural Arm
 Finish: Wirecoat Super Durable Black
 NEMA Label: None
 Photocontrol Receptacle: None
 Dimming: None
 ROAM: None
 Photocontrol: None
 Light Track: Sample Pack: None
 Uplight Skirt: None
 Multi-Level Dimming: None
 Constant Lumen Output: None

Catalog Number: MGLED 4 SK AS A L A K SSS3055G D2 R3 BK (AS)
 Type: Notes:

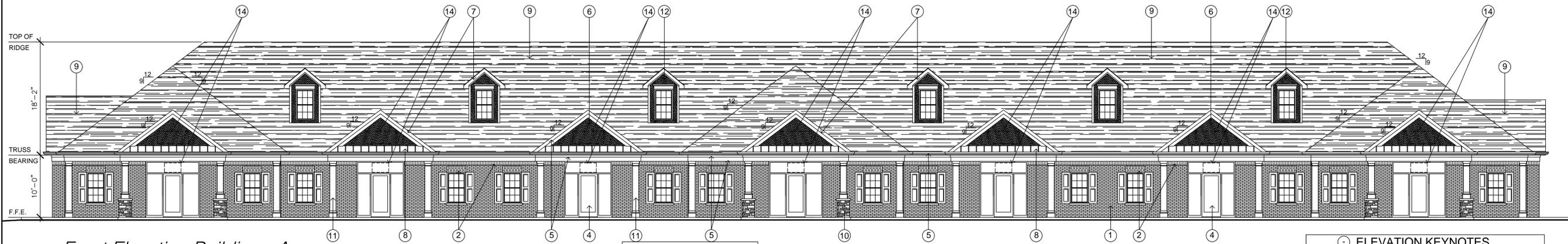


Anchorage/Orientation Plan

No Anchorage/Orientation Image is Available.



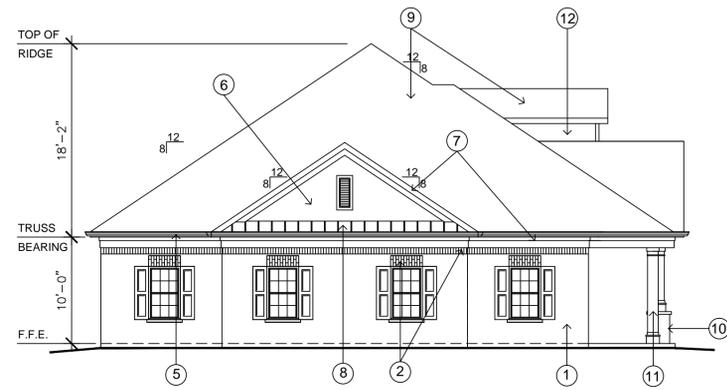
View #1



Front Elevation Building - A

SCALE: 1/8" = 1'-0"

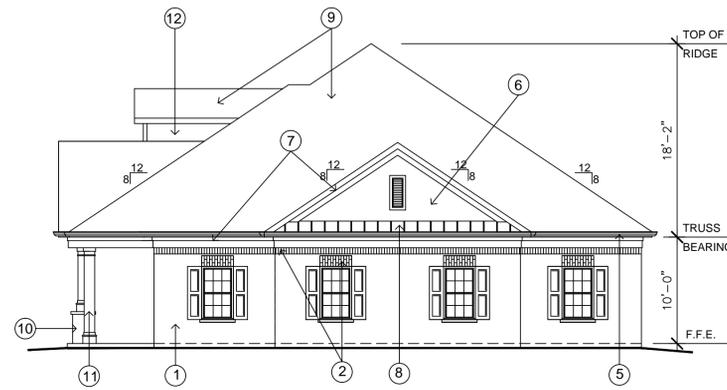
TOTAL AREA LESS GLAZING = 1,921 S.F.
EIFS = 279 S.F. - 14.6%
TRIM = 240 S.F. - 12.4%
MASONRY = 1402 S.F. - 73%



Left Side Elevation Building - A

SCALE: 1/8" = 1'-0"

TOTAL AREA LESS GLAZING = 470 S.F.
EIFS = 52 S.F. - 11%
TRIM = 46 S.F. - 9%
MASONRY = 372 S.F. - 79%

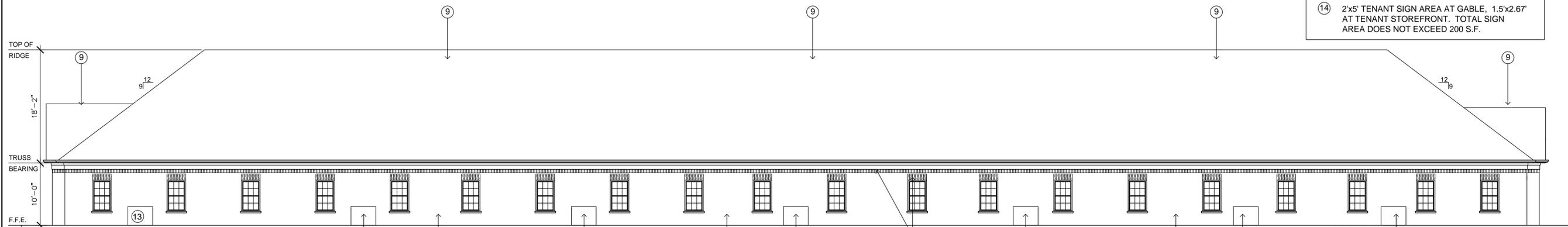


Right Side Elevation Building - A

SCALE: 1/8" = 1'-0"

TOTAL AREA LESS GLAZING = 470 S.F.
EIFS = 52 S.F. - 11%
TRIM = 46 S.F. - 9%
MASONRY = 372 S.F. - 79%

- ELEVATION KEYNOTES**
- 1 BRICK VENEER (FIELD BRICK) BORAL -
 - 2 BRICK SOLDIER (ACCENT) BORAL -
 - 3 BRICK MORTAR CEMEX - COLOR: BUFF
 - 4 ALUMINUM STOREFRONT - LINTEC COLOR: SANDSTONE
 - 5 PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT - PAC-CLAD KYNAR 500 - COLOR: ALMOND
 - 6 EXTERIOR INSULATION FINISHING SYSTEM (EIFS) - STO CORPORATION - FINISH: STD LIT 1.0 COLOR: MOONDUST
 - 7 ALUMINUM FASCIA AND FRIEZE TRIM - PAC-CLAD KYNAR 500 COLOR: ALMOND
 - 8 STANDING SEAM METAL ROOF -
 - 9 DIMENSIONAL ASPHALT SHINGLES - GAF TIMBERLINE COLOR:
 - 10 STONE VENEER - SOUTHERN STONE COLOR:
 - 11 PVC COLUMNS COLOR TO MATCH TRIM FINISH
 - 12 CEMENTITIOUS FIBER BOARD COLOR TO MATCH EIFS MOONDUST
 - 13 FUTURE HVAC UNIT. SEE LANDSCAPE PLAN FOR SCREENING
 - 14 2x5' TENANT SIGN AREA AT GABLE. 1.5x2.67' AT TENANT STOREFRONT. TOTAL SIGN AREA DOES NOT EXCEED 200 S.F.



Rear Elevation Building - A

SCALE: 1/8" = 1'-0"

TOTAL AREA LESS GLAZING = 2,100 S.F.
EIFS = 0 S.F. - 0%
TRIM = 240 S.F. - 12%
MASONRY = 1860 S.F. - 88%



SITE IMPROVEMENT PLANS FOR:

THE HUNT CLUB
1500 HUNT CLUB BOULEVARD
GALLATIN, TENNESSEE 37066

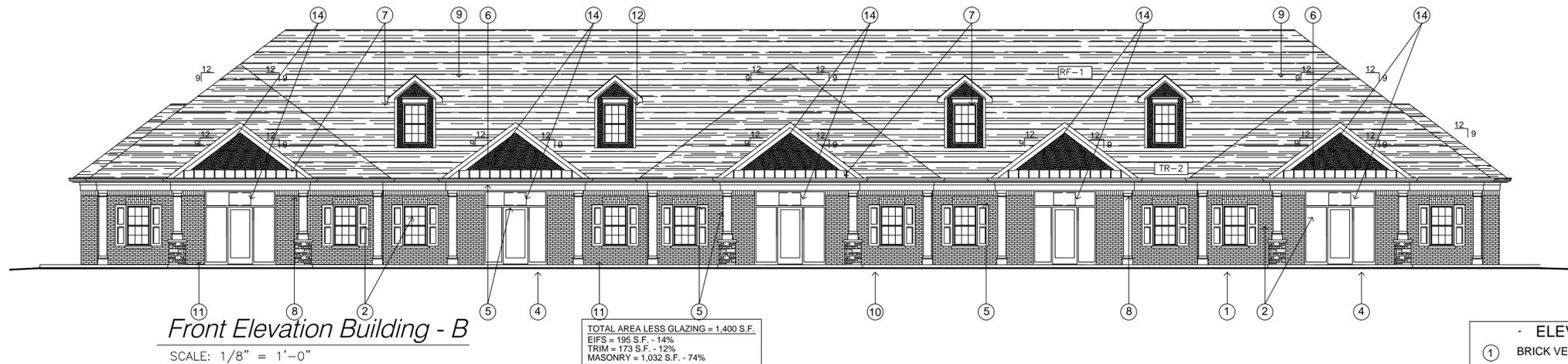
REVISIONS:

PROJ. NO.: 110-031

ARCHITECTURAL
ELEVATIONS BLDG 'B'

A-1.0

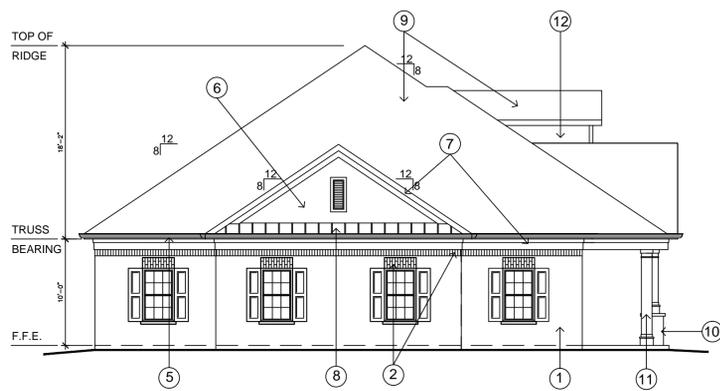
DATE: JULY 17, 2014
SUBM: P.C. RE-SUBM.



Front Elevation Building - B

SCALE: 1/8" = 1'-0"

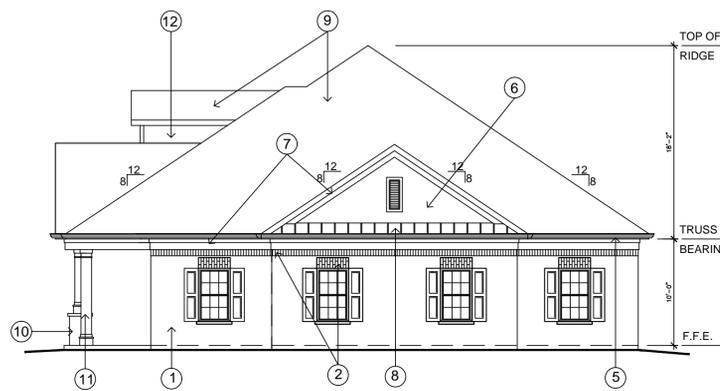
TOTAL AREA LESS GLAZING = 1,400 S.F.
 EIFS = 195 S.F. - 14%
 TRIM = 173 S.F. - 12%
 MASONRY = 1,032 S.F. - 74%



Left Side Elevation Building - B

SCALE: 1/8" = 1'-0"

TOTAL AREA LESS GLAZING = 470 S.F.
 EIFS = 52 S.F. - 11%
 TRIM = 46 S.F. - 9%
 MASONRY = 372 S.F. - 79%

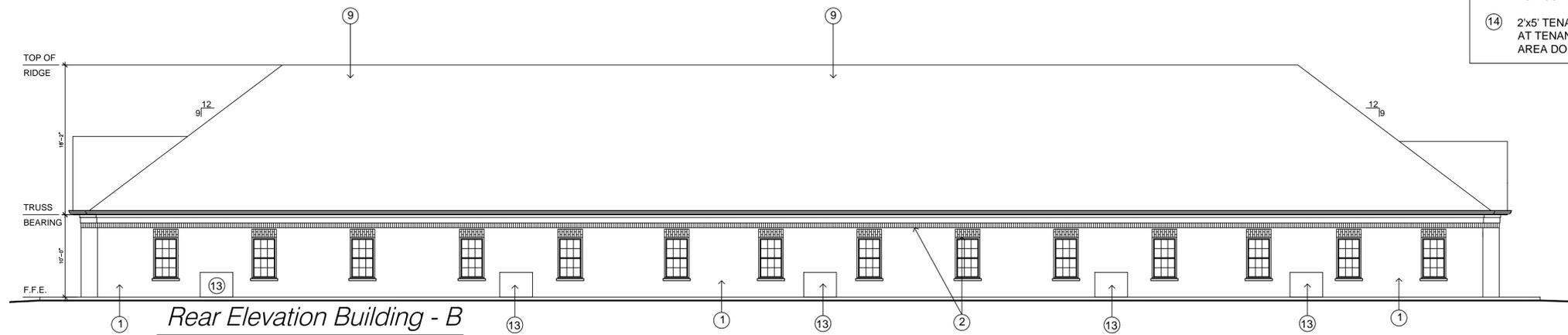


Right Side Elevation Building - B

SCALE: 1/8" = 1'-0"

TOTAL AREA LESS GLAZING = 470 S.F.
 EIFS = 52 S.F. - 11%
 TRIM = 46 S.F. - 9%
 MASONRY = 372 S.F. - 79%

- ELEVATION KEYNOTES**
- ① BRICK VENEER (FIELD BRICK) BORAL -
 - ② BRICK SOLDIER (ACCENT) BORAL -
 - ③ BRICK MORTAR CEMEX - COLOR: BUFF
 - ④ ALUMINUM STOREFRONT - LINTEC COLOR: SANDSTONE
 - ⑤ PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT - PAC-CLAD KYNAR 500 - COLOR: ALMOND
 - ⑥ EXTERIOR INSULATION FINISHING SYSTEM (EIFS) - STO CORPORATION - FINISH: STD LIT 1.0 COLOR: MOONDUST
 - ⑦ ALUMINUM FASCIA AND FRIEZE TRIM - PAC-CLAD KYNAR 500 COLOR: ALMOND
 - ⑧ STANDING SEAM METAL ROOF -
 - ⑨ DIMENSIONAL ASPHALT SHINGLES - GAF TIMBERLINE COLOR:
 - ⑩ STONE VENEER - SOUTHERN STONE COLOR:
 - ⑪ PVC COLUMNS COLOR TO MATCH TRIM FINISH
 - ⑫ CEMENTITIOUS FIBER BOARD COLOR TO MATCH EIFS MOONDUST
 - ⑬ FUTURE HVAC UNIT. SEE LANDSCAPE PLAN FOR SCREENING
 - ⑭ 2'x5' TENANT SIGN AREA AT GABLE, 1.5'x2.67' AT TENANT STOREFRONT. TOTAL SIGN AREA DOES NOT EXCEED 200 S.F.



Rear Elevation Building - B

SCALE: 1/8" = 1'-0"

TOTAL AREA LESS GLAZING = 1,520 S.F.
 EIFS = 0 S.F. - 0%
 TRIM = 173 S.F. - 11%
 MASONRY = 1,347 S.F. - 89%



SITE IMPROVEMENT PLANS FOR:

THE HUNT CLUB
 1500 HUNT CLUB BOULEVARD
 GALLATIN, TENNESSEE 37066

REVISIONS:

PROJ. NO.: 110-031

ARCHITECTURAL ELEVATIONS BLDG 'B'

A-1.1

DATE: JULY 17, 2014
 SUBM: P.C. RE-SUBM.

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL PLAT FOR ODRIC GREGORY INDUSTRIAL PARK, PHASE 4, TO CREATE THREE (3) LOTS AND DEDICATE A RIGHT-OF-WAY ON 9.20 (+/-) ACRES LOCATED ON HOPE COURT. (PC0312-14)

WHEREAS, City of Gallatin-Municipal-Regional Planning Commission considered the Final Plat submitted by the applicant, Blue Ridge Surveying, Inc. at its regular meeting on July 28, 2014; and

WHEREAS, the City of Gallatin-Municipal-Regional Planning Commission has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-402, §13-3-404, §13-4-302, and §13-4-304 and the City of Gallatin Subdivision Regulations:

1. The Final Plat is in agreement and consistent with the intent and recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan for the area, and in particular, the Airport Road Industrial Character Area.
2. The Final Plat is consistent with the Policy and Procedures of the Subdivision Regulations as described in Chapter 1, Section 1-104, items 1-11,
3. The Final Plat complies with the submittal and review requirements of Chapter 2, Section 2-105 of the City of Gallatin Subdivision Regulations.
4. The Final Plat is consistent with the purpose and intent of the Industrial Restrictive (IR) Zoning District.
5. The Final Plat is consistent with T.C.A. Sections 13-3-402, 13-3-404, 13-4-302 and 13-4-304.
6. The Final Plat is consistent with the approved Preliminary Plat for Odric Gregory Industrial Park, Phase 4.
7. The legal purposes for which zoning and subdivision regulations exist have not been contravened.
8. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
9. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Plat for Odric Gregory Industrial Park, Phase 4, consisting of a one (1) sheet plat, prepared by Blue Ridge Surveying, Inc. of Gallatin, Tennessee, survey dated May 6, 2014 and drawing dated June 26, 2014, with the following conditions:

1. Provide an Offer of Irrevocable Dedication for the right-of-way prior to the recording of the final plat.
2. Preliminary Plat shall be staff approved prior to staff approval of Final Plat.
3. Provide a signed and recorded Stormwater Maintenance Agreement prior to recording of the final plat.
4. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval for Lots 13 and 14 prior to recording of the final plat.
5. Submit a utility surety, in the amount to be determined by the Gallatin Public Utilities Department, to the Planning Department prior to recording of the final plat.
6. Submit a subdivision surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to recording of the final plat.
7. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 07/28/2014

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-McAULEY
CITY ATTORNEY



ITEM 5

PLANNING DEPARTMENT STAFF REPORT

Final Plat for Odric Gregory Industrial Park, Phase 4 – Resubdivision of Lot 11, Odric Gregory Industrial Park, Phase 3 and Parcel 5.11, Plat Book 27, Page 307 (PC0312-14)

Hope Court and Caroline Way off of Gregory Drive

Date: July 18, 2014

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR ODRIC GREGORY INDUSTRIAL PARK, PHASE 4, A MAJOR SUBDIVISION, TO CREATE THREE (3) LOTS AND DEDICATE A RIGHT-OF-WAY ON 9.20 (+/-) ACRES LOCATED ON HOPE COURT.

OWNER: GREGORY REAL ESTATE, LLC

APPLICANT: BLUE RIDGE SURVEYING, INC.

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2014-64

STAFF CONTACT: ROBERT J. KALISZ

PLANNING COMMISSION DATE: JULY 28, 2014

PROPERTY OVERVIEW: The owner and applicant is requesting approval of a Final Plat for Odric Gregory Industrial Park, Phase 4, a major subdivision, to create three (3) lots and dedicate a right-of-way by subdividing Lot 11 of Odric Gregory Industrial Park, Phase 3 and Parcel 5.11 consisting of 9.20 (+/-) acres located on Hope Court. The property is currently zoned Industrial Restrictive (IR). A portion of this property is located within a flood hazard area. (Attachment 5-1)

CASE BACKGROUND:

Previous Approvals

On November 23, 2009, the Planning Commission approved the preliminary plat for Odric Gregory Industrial Park, Phase 3 containing five (5) lots on 21.87 (+/-) acres.

On January 25, 2010, the Planning Commission approved the final plat for Odric Gregory Industrial Park, Phase 3 containing five (5) lots on 21.87 (+/-) acres, which included Lot 11. The final plat was recorded on May 5, 2010 at the Sumner County Register of Deeds office (Plat Book 26, Page 323). (Attachment 5-2)

On April 22, 2013, the City of Gallatin Planning Department approved the minor subdivision final plat to resubdivide Lot 11 of Odric Gregory Industrial Park, Phase 3 and add Tax Map 127 and Parcel 5.11. Parcel 5.11 was incorporated as part of Odric Gregory Industrial Park, Phase 3 as Lot 12. The final plat was recorded on May 2, 2013 at the Sumner County Register of Deeds office (Plat Book 27, Page 307). (Attachment 5-3)

On June 23, 2014, the Planning Commission approved the preliminary plat for Odric Gregory Industrial Park, Phase 4 – Resubdivision of Lot 11, Odric Gregory Industrial Park, Phase 3 and Parcel 5.11 containing three (3) lots and dedicate a right-of-way.

On June 23, 2014, the Planning Commission approved the Site Plan for Odric Gregory Industrial Park Lot 1 Site Plan, Phase 4, to construct a 25,300 square foot building on Lot 1 and a shared detention pond on 9.20 (+/-) acres.

DISCUSSION:

Proposed Development

The owner and applicant are subdividing Lot 11 of Odric Gregory Industrial Park, Phase 3 and Parcel 5.11 Subdivision to create three (3) lots and dedicate a right of way consisting of 9.20 (+/-) acres for future industrial activities. The resubdivision of Lot 11 will become Odric Gregory Industrial Park, Phase 4. (Attachment 5-4)

Natural Features

The natural topography for the existing vacant industrial property is relatively flat with a gentle slope starting from the westerly property boundary and sloping towards the southeast corner of the property. There is existing vegetation and mature trees located along the southern and western property boundaries. Albright Creek Left Bank Tributary is located along the eastern property boundary. The southeasterly portion of proposed Lot 14 of the Odric Gregory Industrial Park, Phase 4 Subdivision is located within a flood hazard area (Flood Zone 'A').

Adjacent or Area Uses

The area to the north and west of the Odric Gregory Industrial Park, Phase 4 development is existing industrial uses and zoned Industrial Restrictive (IR). The Rolling Acres and Cairo Landing Subdivisions, consisting of one-family detached dwellings, are located to the east and southeast of this subdivision, zoned Residential-20 (R-20), and the proposed Cairo Estates Subdivision, zoned Multiple Residential and Office (MRO), are located to the south of the subdivision.

Lot Layout

The Industrial Restrictive (IR) zoning requires that individual building sites shall be of such size that structures will have architectural unity and flexibility in arrangements. The lot sizes and layout of the final plat are consistent with the intent of the area regulations as set forth in Gallatin Zoning Ordinance Section 09.02.030.

The lots are designed to accommodate and align with the natural topography of the land to reduce impact of stormwater runoff to each adjoining lots within this development and adjacent properties. The lots are situated to access Caroline Way with stormwater drainage located along the rear of Lots 11 and 13 and located on the sides and rear of Lot 14 to allow stormwater runoff to naturally flow into the proposed shared storm water detention area located on the southeasterly portion of Lot 14.

Rights-of-Way/Streets/Roads

There will be a 50 foot wide, 600 linear feet of public right of way to be dedicated to be named Caroline Way. The owner and applicant have stated that two (2) proposed access points will be provide to Caroline Way: One (1) access point will provide access for Lot 11 and a shared access point will be provided for Lots 13 and 14. Since the property is zoned industrial no proposed public sidewalks will be constructed in the public right of way.

Easements (P.U.D.E's)

All lots will include 10 foot wide P.U.D.E's along the front property lines and along the side and rear property lines. All easements shall be considered "Public" in accordance with the City of Gallatin Subdivision Regulations.

A 40 foot wide stormwater drainage easement is located along the southern property boundary connecting to a 1.45 (+/-) acre (275 foot by 230 foot) common drainage easement located in the southeast corner of Lot 14. A 12 foot wide drainage access easement is located along the northern property boundary of Lot 14 to allow access to the greenway/stream buffer and drainage easement. A 25 foot wide utility easement is located along the southern property boundaries to allow for an extension of the eight (8) inch sanitary sewer line.

Open Space and Bufferyard

The final plat shows no proposed open space tracts, but indicates a 50 foot wide Greenway Easement located along the eastern property boundary consistent with the Gallatin on the Move 2020 Plan.

Proposed public utility and drainage easements located in the required bufferyards, per Gallatin Zoning Ordinance Section 13.04.050.A. states when a required drainage, utility, or other easement is partially or wholly within in a required bufferyard, the developer shall design the buffer to minimize plantings within the required easement.

The bufferyards shall be maintained by the owner/developer who shall retain the right to access the bufferyards located along the south and east property boundaries of the lots to install landscaping and maintain in the bufferyards.

Gallatin Public Utilities Department Comments

This development is served by the Gallatin Public Utilities Department. The owner and applicant shall coordinate all development with Gallatin Public Utilities Department to ensure all future utility infrastructures are installed to the satisfaction of the Gallatin Public Utilities Department standards. The Gallatin Public Utilities Department reviewed the final plat and made the following comment:

1. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval for Lots 13 and 14 prior to recording of the final plat.
2. Submit a utility surety, in the amount to be determined by the Gallatin Public Utilities Department, to the Planning Department prior to recording of the final plat.

Planning Department Comments

The Planning Department reviewed and commented on the final plat. The owner and applicant satisfactorily addressed most of the Planning Department comments; however, the owner and applicant shall provide documentation and comply with the following:

1. Provide an Offer of Irrevocable Dedication for the right-of-way prior to the recording of the final plat.
2. Preliminary Plat shall be staff approved prior to staff approval of Final Plat.
3. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

Engineering Division Comments

The Engineering Division reviewed and commented on the final plat. The owner and applicant have submitted construction plans and drainage calculations for Odric Gregory Industrial Park, Phase 4 to Engineering Division for review. Any Engineering Division comments on the construction plans and drainage calculations will be sent to applicant. The applicant satisfactorily addressed most of the Engineering Division comments; however the applicant shall provide documentation and comply with the following:

1. Provide a signed and recorded Stormwater Maintenance Agreement prior to recording of the final plat.
2. Submit a subdivision surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to recording of the final plat.

Other Departmental Comments

Other City Departments reviewed and commented on the final plat. The applicant satisfactorily addressed the Other Departmental Comments.

Findings

1. The Final Plat is in agreement and consistent with the intent and recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan for the area, and in particular, the Airport Road Industrial Character Area.
2. The Final Plat is consistent with the Policy and Procedures of the Subdivision Regulations as described in Chapter 1, Section 1-104, items 1-11,
3. The Final Plat complies with the submittal and review requirements of Chapter 2, Section 2-105 of the City of Gallatin Subdivision Regulations.
4. The Final Plat is consistent with the purpose and intent of the Industrial Restrictive (IR) Zoning District.
5. The Final Plat is consistent with T.C.A. Sections 13-3-402, 13-3-404, 13-4-302 and 13-4-304.
6. The Final Plat is consistent with the approved Preliminary Plat for Odric Gregory Industrial Park, Phase 4.
7. The legal purposes for which zoning and subdivision regulations exist have not been contravened.
8. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.

9. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-64, Final Plat for Odric Gregory Industrial Park, Phase 4, consisting of a one (1) sheet plat, prepared by Blue Ridge Surveying, Inc. of Gallatin, Tennessee, survey dated May 6, 2014 and drawing dated July 17, 2014, with the following conditions:

1. Provide an Offer of Irrevocable Dedication for the right-of-way prior to the recording of the final plat.
2. Preliminary Plat shall be staff approved prior to staff approval of Final Plat.
3. Provide a signed and recorded Stormwater Maintenance Agreement prior to recording of the final plat.
4. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval for Lots 13 and 14 prior to recording of the final plat.
5. Submit a utility surety, in the amount to be determined by the Gallatin Public Utilities Department, to the Planning Department prior to recording of the final plat.
6. Submit a subdivision surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to recording of the final plat.
7. Submit two (2) mylars and one (1) vellum copies of the Final Plat, including all original signatures, along with the recording fee to the Planning Department for recording.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

Attachment 5-1 Location Map

Attachment 5-2 Final Plat for Odric Gregory Industrial Park, Phase 3 (P.B. 26, pg. 323)

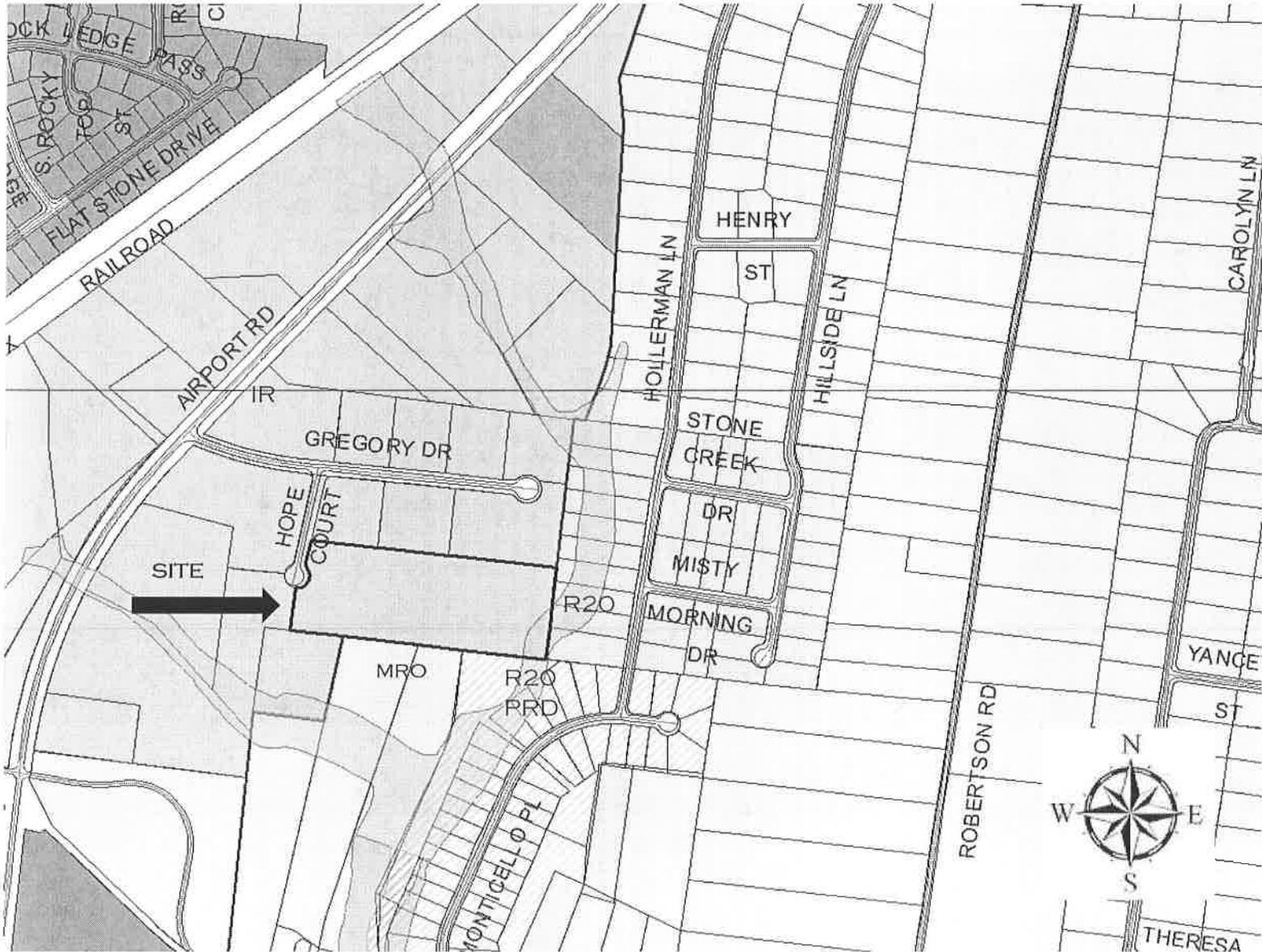
Attachment 5-3 Final Plat for Odric Gregory Industrial Park, Phase 3 and Parcel 5.11 (P.B. 27, pg. 307)

Attachment 5-4 Final Plat for Odric Gregory Industrial Park, Phase 4 (PC0312-14)

ATTACHMENT 5-1

ODRIC GREGORY INDUSTRIAL PARK, PHASE 4

LOCATION MAP



110-130 HOPE COURT
TAX MAP #127//006.03
ZONED IR

PC0312-14

AIRPORT ROAD
50' RIGHT-OF-WAY = 28' PAVEMENT

LINE TABLE

LINE	BEARING	DISTANCE
1	S 89° 52' 12" E	38.38'
2	S 89° 52' 12" E	38.38'

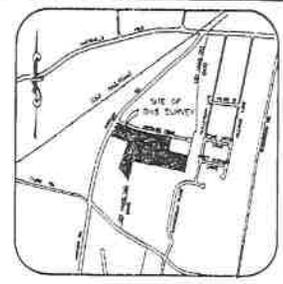
ENTRUSTED
John C. Isard
Property Assessor
MAY 6 2010

CURVE TABLE

CURVE	ADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	1223.00	590.54	120.48	N 40° 20' 24" E	18° 28' 24"	128.42
C2	1223.00	18.28	17.97	S 22° 31' 54" E	18° 28' 24"	31.00
C3	45.00	42.00	17.22	S 20° 32' 52" E	20° 32' 52"	17.22
C4	25.00	21.36	20.54	S 31° 02' 00" E	42° 00' 00"	19.58
C5	52.00	16.77	16.48	S 18° 12' 00" E	36° 24' 00"	27.00
C6	52.00	11.54	11.28	S 18° 12' 00" E	36° 24' 00"	17.00
C7	52.00	16.11	15.81	S 22° 31' 54" E	18° 28' 24"	15.82
C8	52.00	21.36	20.54	S 31° 02' 00" E	42° 00' 00"	19.59
C9	25.00	21.36	20.54	S 31° 02' 00" E	42° 00' 00"	19.59
C10	25.00	21.36	20.54	S 31° 02' 00" E	42° 00' 00"	19.59
C11	25.00	21.36	20.54	S 31° 02' 00" E	42° 00' 00"	19.59

SURVEYOR'S NOTES:

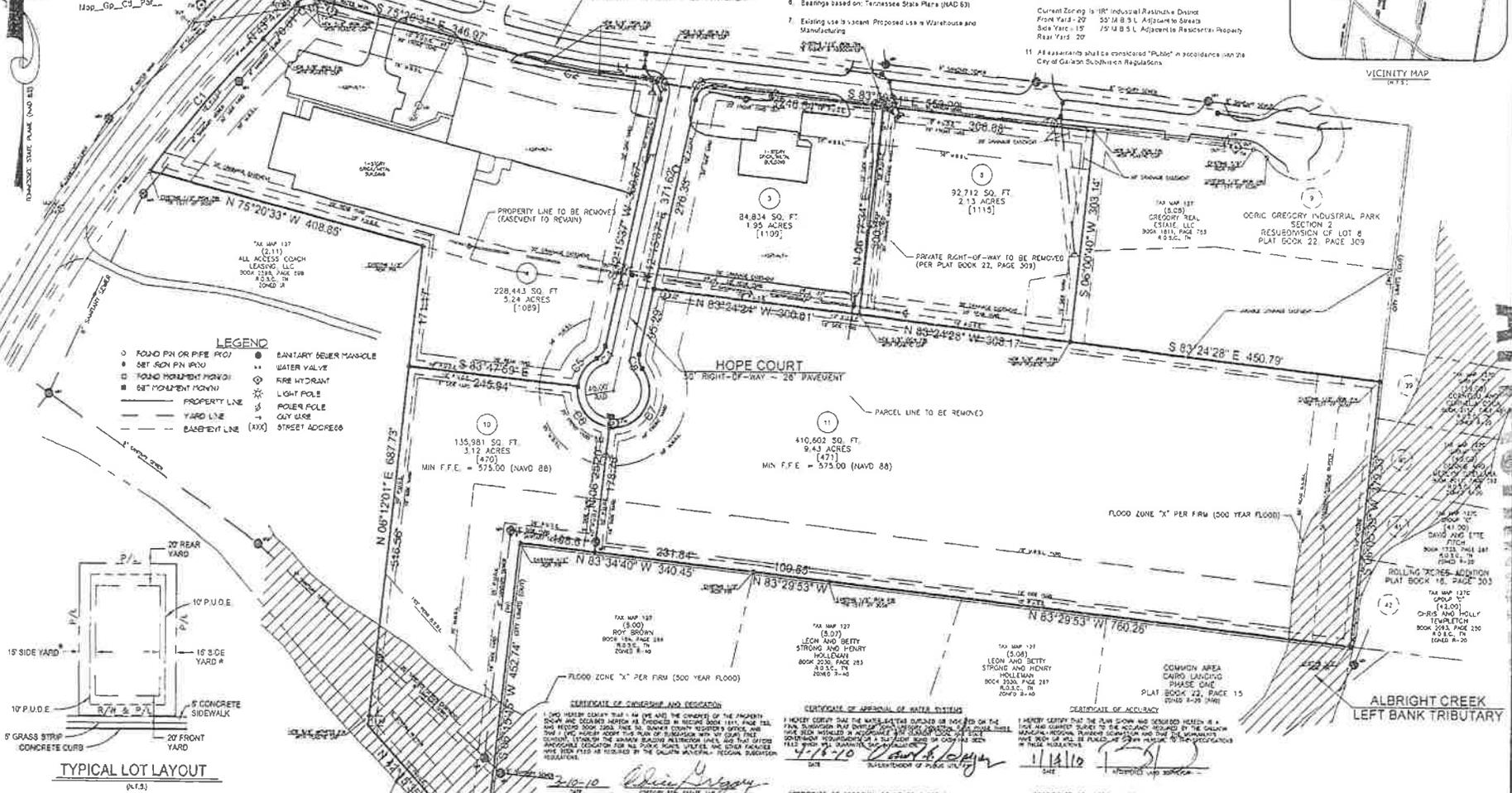
- The purpose of this plat is to divide these lots and create the lots.
- The recording of this plat vacates and supersedes the recording of Lots 3 and 4 of Odric Gregory Industrial Park Book 17, Page 184 and Lot 8 of Odric Gregory Industrial Park Section 2 Resubdivision of Lot 8 in Plat Book 22, Page 309 as recorded in the Registrar's Office of Sumner County, Tennessee.
- The local area shown herein is 21 87 1/2 Acres or 952,572.2 Square Feet.
- This property currently identified as Parcel 2 00, 2 07, 2 08, 8 03 and 8 15 on Tax Map No. 127. The designation shown on 2000 indicates Parcel Numbers for said map.
- See reference Record Book 1811, Page 753, and Record Book 3203, Page 50, as recorded in the Registrar's Office, Sumner County, Tennessee.
- Settling based on Tennessee State Plans (MAD 63).
- Existing use is vacant. Proposed use is Warehouse and Manufacturing.
- By my review of available information, which is subject to map inaccuracies and scaling, this property is in Zone 21 of the Flood Insurance Rate Map Community Panel Number 411060001000, effective 08/01/2005, with an effective date of 08/01/2005. Only an official hydrologic map delineates the exact design water elevation for the entire portion of this property as shown in an "OTHER FLOOD AREA".
- The survey is in compliance with standards of practice for the State of Tennessee, Board of Examiners for Land Surveyors, Chapter 0200-3. The work of course for the ungraded traverse is 1110.000. This survey is classified as a:
 - Urban and Suburban (Category I)
 - Suburban and Subdivision (Category II)
 - Other (Category III)
- All construction and use of the proposed plat is to meet the applicable performance standards as set forth in the City of Galatin Zoning Ordinance Section 13.22.
- Current Zoning is 10R Industrial Residential District. Front Yard - 20', 50' to 8' S.L. Adjacent to Streets. Side Yard - 15', 75' to 8' S.L. Adjacent to Residential Property. Rear Yard - 20'.
- All easements shall be considered "Public" in accordance with the City of Galatin Subdivision Regulations.



VICINITY MAP
DATE: 1/14/10

GREGORY DRIVE
50' RIGHT-OF-WAY = 28' PAVEMENT

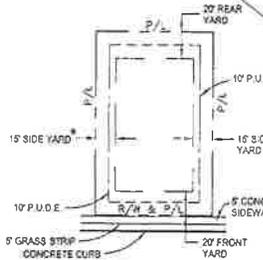
HOPE COURT
50' RIGHT-OF-WAY = 28' PAVEMENT



LEGEND

- FOUND PN OR PIPE (P)
- SET. SON PN (W)
- FOUND MONUMENT (M)
- SET. MONUMENT (M)
- PROPERTY LINE
- YARD LINE
- EASEMENT LINE
- BANQUET LINE (XXX)
- BANTRY SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- LIGHT POLE
- POLE POLE
- GUY WIRE
- STREET ADDRESS

TYPICAL LOT LAYOUT
(P.13)



*NOTE:
SIDE YARD IS DOUBLED
WHEN ADJACENT TO STREET

UNNAMED TRIBUTARY
TO ALBRIGHT CREEK

TAX MAP 127
(2.09)
JOSEPH WARDLO
BOOK 1178, PAGE 256
8.23, 76
ZONED A

PANSEY INDUSTRIAL CENTER
SECTION 2
PLAT BOOK 19, PAGE 53

BLUE RIDGE SURVEYING, INC.



731 WATERSHOON AVENUE GALLATIN, TENNESSEE 37066
OFFICE (615) 481-6735 CELL (615) 410-4448
BLUESURV@AOL.COM



OWNER / DEVELOPER
GREGORY REAL ESTATE, LLC
145 ZIEGLERS FORT ROAD
GALLATIN, TENNESSEE 37066
(615) 452-4012

**ODRIC GREGORY
INDUSTRIAL PARK
PHASE THREE
FINAL PLAT**

2ND AND 3RD CIVIL DISTRICTS
GREGORY DRIVE AND HOPE COURT
GALLATIN, SUMNER COUNTY, TENNESSEE
DATE OF SURVEY JUNE 19, 2009
DATE OF DRAWING JANUARY 14, 2010

ATTACHMENT 5-2

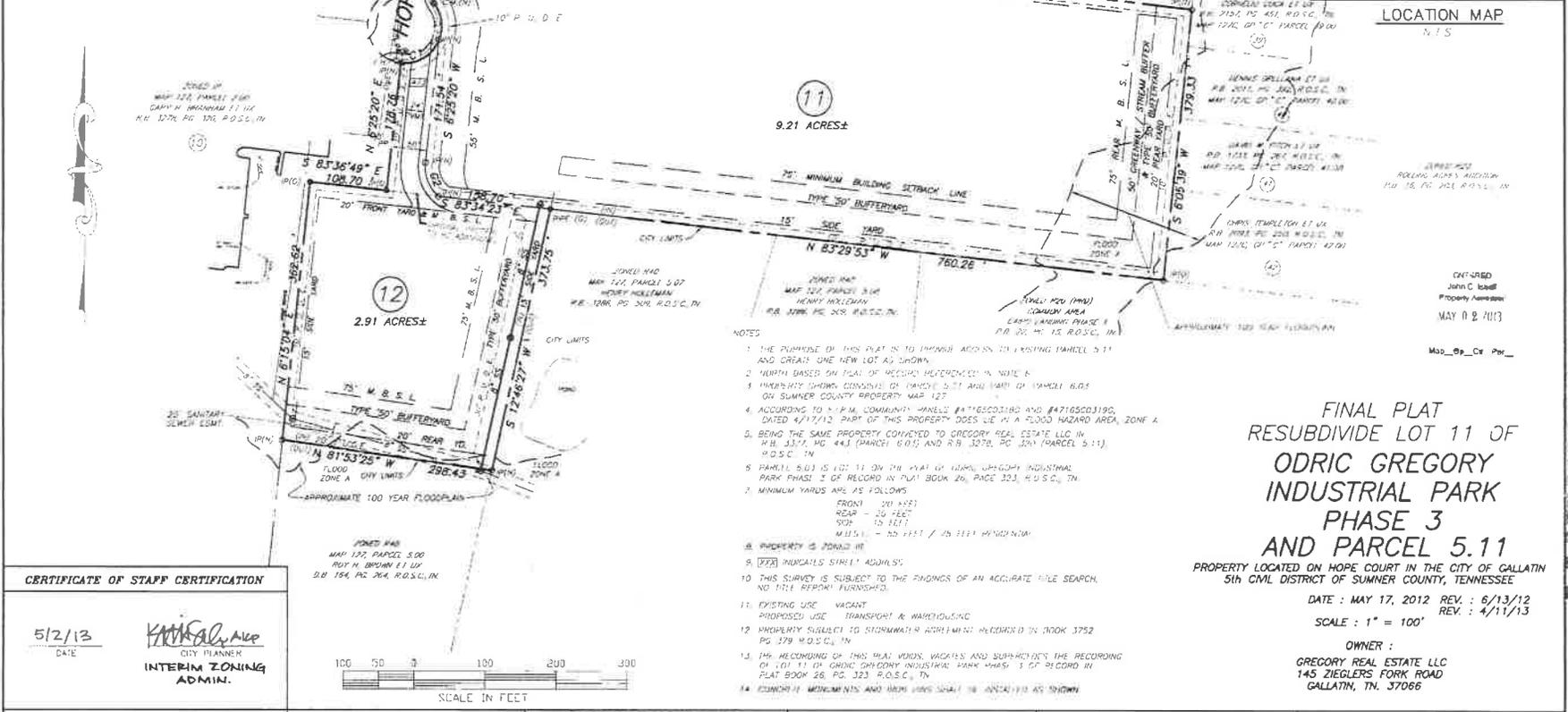
ATTACHMENT 5-3

LEGEND

	BOUNDARY LINE
	CURB
	SANITARY SEWER LINE & MANHOLE
	WATER LINE & FIRE HYDRANT
	OVERHEAD UTILITY LINE
	EASEMENT LINE
	MIN. BLDG. SETBACK LINE
	YARD LINE
	UTILITY POLE
	FENCE
	IRON PIN (OLD)
	IRON PIN (NEW)
	CONCRETE MONUMENT (NEW)

PLAT CONTAINS - 12.12 ACRES±

NUMBER	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD DIRECTION
G1	74°04'33"	52.80	87.23	62.64	39.24	N 59°22'39" E
G2	54°50'49"	55.00	52.65	50.66	28.54	S 21°00'04" E



- NOTES**
- THE PURPOSE OF THIS PLAT IS TO IMPROVE ACCESS TO EXISTING PARCEL 5.11 AND CREATE ONE NEW LOT AS SHOWN.
 - APRTHA BASED ON PLAT OF RECORD REFERENCED IN NOTE #1.
 - PROPERTY SHOWN CONTAINED BY PARCELS 5.11 AND PART OF PARCEL 6.05 ON SUMNER COUNTY PROPERTY WAS 127.
 - ACCORDING TO N.E.P.M. COMMUNITY PANEL #47165003190 AND #47165003190, DATED 4/7/12 PART OF THIS PROPERTY DOES LIE IN A FLOOD HAZARD AREA, ZONE A.
 - BEING THE SAME PROPERTY CONVEYED TO GREGORY REAL ESTATE LLC IN R.B. 337, PG. 443 (PARCEL 6.05) AND R.B. 3278, PG. 304 (PARCEL 5.11), R.O.S.C., TN.
 - PARCEL 5.03 IS LOT 11 ON THE PLAT OF OGDON OGDON INDUSTRIAL PARK PHASE 3 OF RECORD IN PLAT BOOK 26, PAGE 323, R.O.S.C., TN.
 - MINIMUM YARDS ARE AS FOLLOWS:
FRONT 20 FEET
REAR 25 FEET
SIDE 15 FEET
M.B.S.L. - 25 FEET / 25 FEET PERPENDICULAR
 - PROPERTY IS ZONED IN:
 UNCLASSIFIED STREET ADDRESS
 - THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH, NO TITLE REPORT FURNISHED.
 - EXISTING USE VACANT
PROPOSED USE TRANSPORT & WAREHOUSING
 - PROPERTY SUBJECT TO STORMWATER AGREEMENT RECORDED IN BOOK 3752 PG. 379, R.O.S.C., TN.
 - THE RECORDING OF THIS PLAT, VENDOR, WITNESS AND SUPERVISOR'S RECORDING OF LOT 11 OF OGDON OGDON INDUSTRIAL PARK PHASE 3 OF RECORD IN PLAT BOOK 26, PG. 323, R.O.S.C., TN.
 - EXISTING UTILITY MONUMENTS AND IRON PINS SHALL BE MAINTAINED AS SHOWN.

**FINAL PLAT
RESUBDIVIDE LOT 11 OF
ODRIC GREGORY
INDUSTRIAL PARK
PHASE 3
AND PARCEL 5.11**

PROPERTY LOCATED ON HOPE COURT IN THE CITY OF GALLATIN
5th CML DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE : MAY 17, 2012 REV : 6/13/12
SCALE : 1" = 100' REV : 4/11/13

OWNER :
GREGORY REAL ESTATE LLC
145 ZIEGLERS FORK ROAD
GALLATIN, TN. 37066

CERTIFICATE OF STAFF CERTIFICATION

5/2/13
DATE

Kenneth A. Rice
CITY PLANNER
INTERIM ZONING
ADMIN.

CERTIFICATE OF OWNERSHIP & DEDICATION

I (We), hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in record book 3277 page 443 and in record book 3278 page 320, R.O.S.C., TN, and that I (we) hereby accept this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.

DATE 4-26-13 OWNER *Odric Gregory*
TITLE C/M

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown herein, to the specifications in these regulations.

I hereby certify that this is a category 1 survey & the value of precision of the anticipated survey is 1:10,000.

DATE 4-17-13
John C. Bessell
SUPERVISOR OF PUBLIC UTILITIES, GALLATIN, TN

CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS

I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled *Resubdivide Lot 11 of Odric Gregory Industrial Park Phase 3 & Parcel 5.11* have been installed in accordance with current local and state engineering requirements, will be sufficient survey of each lot been filed which will guarantee said installation.

WATER SYSTEM 4-26-13 *John C. Bessell*
Date Superintendent of Public Utilities, Gallatin, TN

SEWER SYSTEM 4-26-13 *John C. Bessell*
Date Superintendent of Public Utilities, Gallatin, Tennessee

CERTIFICATE OF THE APPROVAL OR SURVEY FOR COMPLETION OF ROADS

I hereby certify: (1) that all designated roads on this final subdivision plat have been installed on an acceptable manner as occurring in the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance surety has been posted with the Planning Commission to assure completion of all required improvements in case of default.

DATE 05/01/13
John C. Bessell
CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown herein has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register.

5-1-13 *John Wilson*
DATE, Secretary, Planning Commission

5-1-13 *DD*
DATE, Chairman's initials

RECORD

SEARCHED INDEXED SERIALIZED FILED
MAY 17 2012
CLERK OF COUNTY REGISTER
GALLATIN, TN

BOOK 307-307

Bruce Rainey
400 ASHLI DRIVE

LAND DEVELOPMENT CLASS LICENSE
THOMAS BERRYMAN
HENDERSONVILLE, TN 37075
TENN. REG. # 2002
FBI # HNS200482

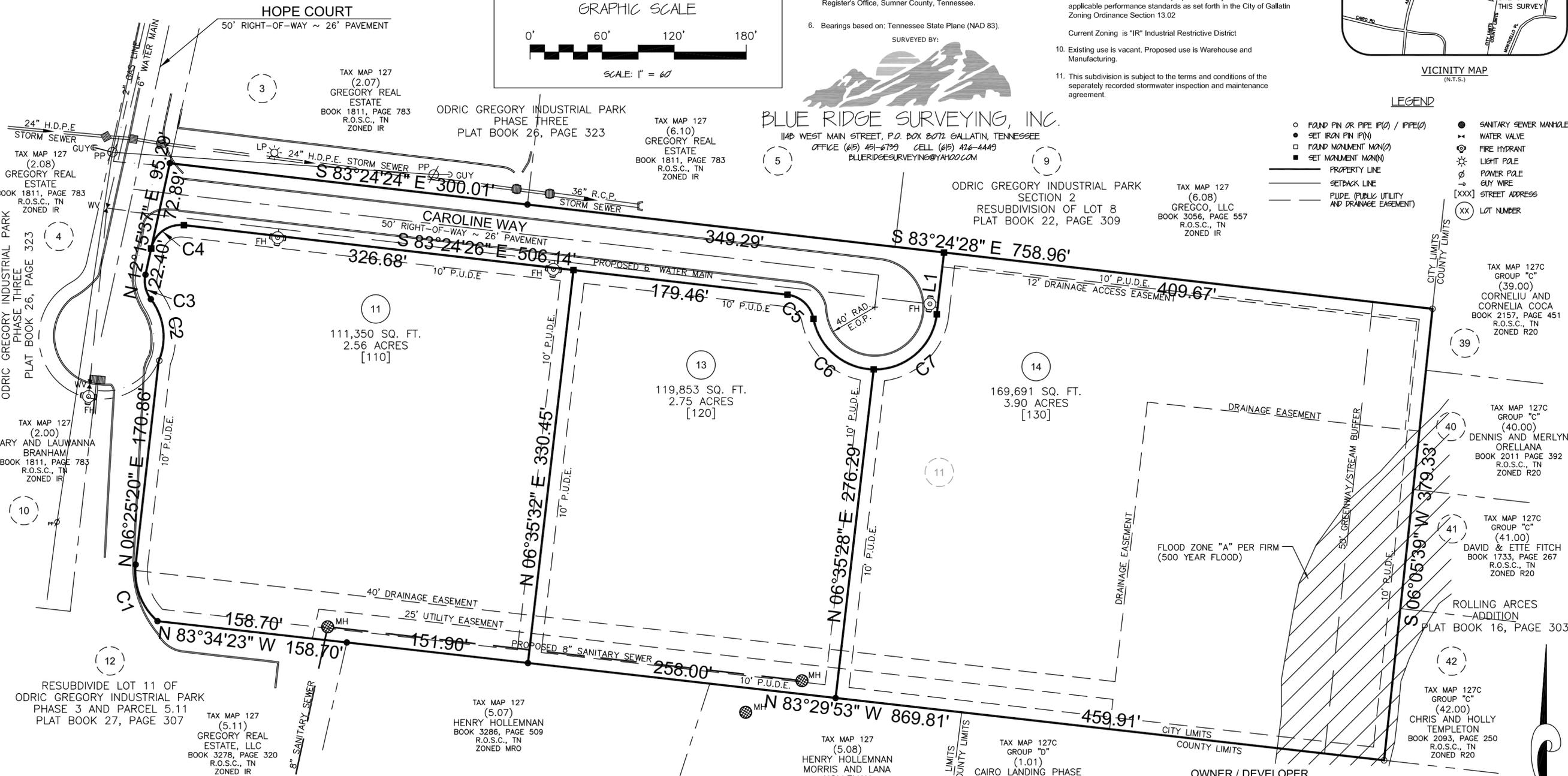
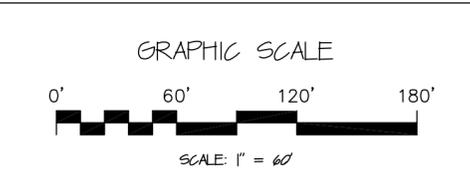
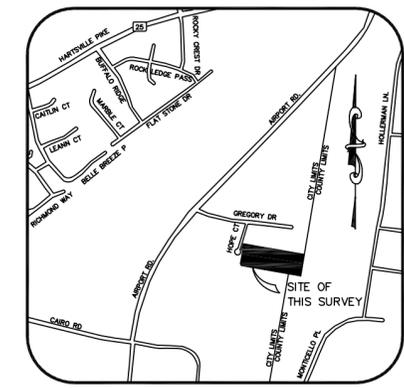
JOB NO. 11-0138

CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	55.00'	52.65'	50.66'	N 21°00'00" W	54°50'48"	28.54'
C2	52.00'	54.77'	52.27'	N 07°04'30" W	60°20'39"	30.23'
C3	25.00'	21.60'	20.94'	N 12°29'36" W	49°30'26"	11.53'
C4	25.00'	36.80'	33.56'	N 54°25'36" E	84°19'59"	22.64'
C5	25.00'	31.69'	29.61'	S 47°05'52" E	72°37'13"	18.37'
C6	52.00'	70.97'	65.59'	S 49°53'03" E	78°11'36"	42.25'
C7	52.00'	76.62'	69.88'	N 48°48'21" E	84°25'38"	47.17'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 06°35'32" E	52.00'

SURVEYOR'S NOTES:

- The purpose of this plat is to create three lots and dedicate right-of-way.
 - The recording of this plat voids, vacates, and supersedes the recording of Lot 11 of Resubdivide Lot 11 of Odric Gregory Industrial in Phase 3 and Parcel 5.11, Plat Book 27, Page 307, as recorded in the Register's Office of Sumner County, Tennessee.
 - The total area shown hereon is 9.20± Acres or 400,894± Square feet.
 - This property currently identified as Parcel 6.03 on Tax Map No. 127. For designation shown thus (XXX) indicates Parcel Numbers for said map.
 - Deed reference: Record Book 3377, Page 443, as recorded in the Register's Office, Sumner County, Tennessee.
 - Bearings based on: Tennessee State Plane (NAD 83).
- By my review of available information, which is subject to map inaccuracies and scaling, this property is in Zone "X" of the Flood Insurance Rate Map Community Panel Number 47165C0318G and 47165C0319G with an effective date of April 17, 2012. Only an elevation certificate can determine the exact designation. Based on the information a portion of this property is located in an "OTHER FLOOD AREA".
- This survey is in compliance with standards of practice for the State of Tennessee, Board of Examiners for Land Surveyors, Chapter 0820-3. The error of closure for the unadjusted traverse is 1:10,000. This survey is classified as a:
 - Urban and Subdivision (Category I)
 - Suburban and Subdivision (Category II)
 - Other Land Surveys (Category III)
 - All construction and use of the proposed facility to meet the applicable performance standards as set forth in the City of Gallatin Zoning Ordinance Section 13.02. Current Zoning is "IR" Industrial Restrictive District.
 - Existing use is vacant. Proposed use is Warehouse and Manufacturing.
 - This subdivision is subject to the terms and conditions of the separately recorded stormwater inspection and maintenance agreement.



BLUE RIDGE SURVEYING, INC.
 1149 WEST MAIN STREET, P.O. BOX 8072 GALLATIN, TENNESSEE
 OFFICE (615) 451-6799 CELL (615) 476-4449
 BLUERIDGESURVEYING@YAHOO.COM

- LEGEND**
- FOUND PIN OR PIPE P(O) / PPE(O)
 - SET IRON PIN P(N)
 - FOUND MONUMENT MON(O)
 - SET MONUMENT MON(N)
 - PROPERTY LINE
 - SETBACK LINE
 - PIPE (PUBLIC UTILITY AND DRAINAGE EASEMENT)
 - SANITARY SEWER MANHOLE
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ LIGHT POLE
 - ⊕ POWER POLE
 - ⊕ GUY WIRE
 - [XXX] STREET ADDRESS
 - (XX) LOT NUMBER

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN RECORD BOOK 3377, PAGE 443, SUMNER COUNTY REGISTER'S OFFICE, AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

DATE _____ ODRIC GREGORY

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED ODRIC GREGORY INDUSTRIAL PARK, PHASE 4, FINAL PLAT, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE _____ SUPERINTENDENT OF PUBLIC UTILITIES

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE _____ SECRETARY OF PLANNING COMMISSION

DATE _____ CHAIRMAN'S INITIALS

TAX MAP 127 (5.08) HENRY HOLLEMAN MORRIS AND LANA HOLLEMAN BOOK 3286, PAGE 509 R.O.S.C., TN ZONED MRO

TAX MAP 127C GROUP "D" (1.01) CAIRO LANDING PHASE ONE HOMEOWNERS ASSOCIATION, INC. BOOK 2984, PAGE 160 R.O.S.C., TN ZONED R20 (PRD)

OWNER / DEVELOPER
GREGORY REAL ESTATE, LLC
 145 ZIEGLERS FORT ROAD
 GALLATIN, TENNESSEE 37066
 (615) 452-4012

**ODRIC GREGORY INDUSTRIAL PARK
 PHASE FOUR
 FINAL PLAT**

RESUBDIVISION OF LOT 11 OF PHASE 3
 HOPE COURT AND CAROLINE WAY
 GALLATIN, SUMNER COUNTY, TENNESSEE
 DATE OF SURVEY: MAY 6, 2014
 DATE OF DRAWING: JULY 17, 2014



CERTIFICATE OF THE APPROVAL OR SURETY FOR COMPLETION OF ROADS
 I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, OR (2) THAT A PERFORMANCE SURETY HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE _____ CITY ENGINEER

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED ODRIC GREGORY INDUSTRIAL PARK, PHASE 4, FINAL PLAT, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

DATE _____ SUPERINTENDENT OF PUBLIC UTILITIES

CERTIFICATE OF ACCURACY
 I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED, AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.

DATE _____ REGISTERED LAND SURVEYOR

TENNESSEE STATE PLANE (NAD 83)

ITEM 6

GMRPC Resolution No. 2014-66

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION RECOMMENDING THAT THE GALLATIN CITY COUNCIL ACCEPT THE PUBLIC IMPROVEMENTS FOR SAVANNAH AVENUE AND CALLIE AVENUE LOCATED IN ELK ACRES, SECTION 3A SUBDIVISION- (PC0229-14)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION approved the final plat for Elk Acres, Section 3A on March 22, 2010 and recorded in Plat Book 26, page 301, R.O.S.C., Tennessee; and

WHEREAS, the subject public improvements have been completed and the City has determined that the public improvements were constructed to the design standards and specifications of the City; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the request to accept public improvements in Elk Acres, Section 3A submitted by the applicant, Goodall Inc. Builders, at its regular meeting on July 28, 2014; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, attached hereto as Exhibit A, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-4-307:

1. The request for acceptance of public improvements described above is in agreement with the requirements of the Gallatin Subdivision Regulations.
2. It has been determined that the legal purposes for which zoning and subdivision regulations exists are not contravened.
3. It has been determined that there will not be an adverse effect upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.

4. It has been determined that no one property owner or small group of property owners will benefit materially from the acceptance to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby recommends that the Gallatin City Council accept public improvements in Elk Acres, Section 3A Subdivision as recorded in Plat Book 26, page 301, R.O.S.C. Tennessee with the following conditions:

1. Verify and correct Record Book 2377, Page 57 to Record Book 2377, Pages 75-80 in the Quitclaim Deed.
2. The owner and applicant shall submit a maintenance surety in the amount of \$24,200 to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 07/28/2014

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-McAULEY
CITY ATTORNEY



Item 6

PLANNING DEPARTMENT STAFF REPORT

Public Improvement Acceptance for Elk Acres, Section 3A (PC0229-14)

Savannah Avenue and Callie Avenue

Date: July 18, 2014

REQUEST: OWNER AND APPLICANT REQUEST THE CITY OF GALLATIN TO ACCEPT THE PUBLIC IMPROVEMENTS FOR SAVANNAH AVENUE AND CALLIE AVENUE LOCATED IN ELK ACRES, SECTION 3A SUBDIVISION. THE PROPERTY CONTAINS 21 LOTS ON 6.01 (+/-) ACRES.

OWNER: GOODALL INC. BUILDERS

APPLICANT: GOODALL INC. BUILDERS

STAFF RECOMMENDATION: RECOMMEND PLANNING COMMISSION RECOMMEND TO THE CITY COUNCIL APPROVAL WITH CONDITIONS

STAFF CONTACT: ROBERT J. KALISZ

PLANNING COMMISSION DATE: JULY 28, 2014

PROPERTY OVERVIEW: The owner and applicant are requesting the City of Gallatin to accept the public improvements for Savannah Avenue and Callie Avenue and public easements located in Elk Acres, Section 3A Subdivision. The property contains 21 lots on 6.01 (+/-) acres and all lots located in Section 3A are developed. The property is currently zoned Residential 15 – Planned Unit Development (R-15 PUD). No portion of this property is located within a flood hazard area. (Attachment 6-1)

CASE BACKGROUND:

Previous Approvals

The Planning Commission approved the Final Plat for Elk Acres, Section 3A (PC File #1-3-10C) containing 21 lots on 6.01 (+/-) acres at the March 22, 2010 meeting.

DISCUSSION:

The owner and applicant is requesting approval of Resolution 2014-66 accepting public improvements constructed in Elk Acres, Section 3A Subdivision.

By approval of the Resolution, the Planning Commission recommends that the City Council also adopt a Resolution (Attachment 6-2) accepting the public improvements and execute the Quitclaim Deed accepting the public improvements (Attachment 6-3). The public improvements are to be accepted in accordance with Sections 1-113.107 and 3-105.5 of the Subdivision Regulations.

Engineering Division

The Engineering Division has certified that the applicant submitted all the necessary documents concerning the acceptance of public improvements for the transportation,

utilities, rights-of-way, and public easements located in Elk Acres, Section 3A Subdivision as identified in Attachment 6-4.

The Engineering Staff completed a final inspection and reported that the applicant has satisfactorily addressed all engineering issues as required by Section 3-105.6 and 3-105.7 of the Subdivision Regulations.

The subdivision is completed to the standards as required by Section 3-105.1 of the Subdivision Regulations and over 80 percent of the lots are fully developed.

Section 3-102 of the City of Gallatin Subdivision Regulations, Maintenance Surety, requires that the applicant post a maintenance surety in the amount of 10 percent of the completed roadway and drainage costs. Engineering staff has determined the required maintenance surety to be \$24,200, which must be approved by the Planning Commission and City Council as part of this acceptance. The applicant shall submit a maintenance surety in the amount of \$24,200 to the Planning Department.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-66, recommending that the City of Gallatin accept the public improvements in Elk Acres, Section 3A Subdivision, as recorded in Plat Book 26, Page 301, in the Register's Office of Sumner County with the following conditions:

1. Verify and correct Record Book 2377, Page 57 to Record Book 2377, Pages 75-80 in the Quitclaim Deed.
2. The owner and applicant shall submit a maintenance surety in the amount of \$24,200 to the Planning Department.

ATTACHMENTS:

Attachment 6-1 Location Map

Attachment 6-2 Draft City Council Resolution Number R1407-39

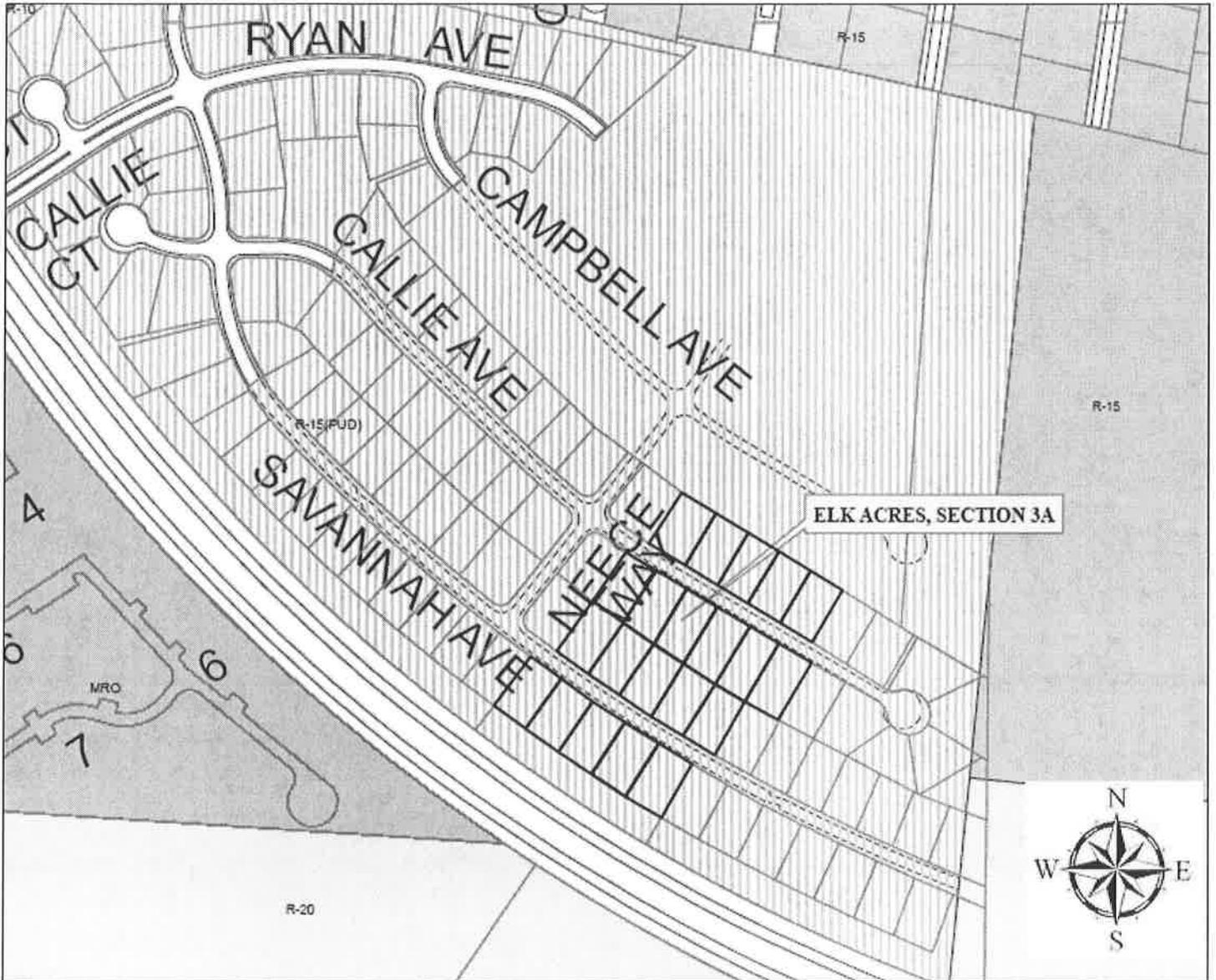
Attachment 6-3 Copy of Quitclaim Deed conveying public improvements to the City of Gallatin

Attachment 6-4 Elk Acres, Section 3A Recorded Final Plat

ATTACHMENT 6-1

ELK ACRES, SECTION 3A

LOCATION MAP



SAVANNAH AVENUE AND CALLIE AVENUE
TAX MAP #135//001.04
ZONED R15 PUD

PC0229-14

ATTACHMENT 6-2

RESOLUTION NO. R1407-39

**RESOLUTION ACCEPTING PUBLIC IMPROVEMENTS BY
THE CITY OF GALLATIN, TENNESSEE
ELK ACRES SUBDIVISION, SECTION 3A**

WHEREAS, THE CITY OF GALLATIN PLANNING COMMISSION has recommended acceptance by the City of Gallatin of the public improvements for Savannah Avenue and Callie Avenue located in the development hereinafter named Elk Acres Subdivision, Section 3A;

WHEREAS, THE CITY OF GALLATIN ENGINEERING DIVISION hereby certifies that the public drainage infrastructure, rights-of-way, and public easements described above have been satisfactorily completed and have been installed in accordance with the approved plans and specifications and that there has been full compliance with the City of Gallatin Subdivision Regulations;

WHEREAS, THE CITY OF GALLATIN PUBLIC UTILITIES DEPARTMENT hereby certifies that the public utility improvements in the development described hereafter have been satisfactorily completed and have been installed in accordance with the approved plans and specifications and that there has been full compliance with the City of Gallatin Subdivision Regulations and City of Gallatin Municipal Code.

NOW THEREFORE BE IT RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, pursuant to Chapter 3, Section 3-105, et seq. of the Subdivision Regulations of Gallatin, Tennessee, that the transportation, rights-of way and public easements described in Elk Acres Subdivision, Section 3A, Plat Book 26, Page 301, Recorded April 1, 2010 in the Register's Office for Sumner County are hereby accepted by the City of Gallatin, Tennessee.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, that this Resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING:

AYE:

NAY:

DATED:

MAYOR JO ANN GRAVES

ATTACHMENT 6-2

ATTEST:

CONNIE KITTRELL
CITY RECORDER

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY

ATTACHMENT 6-3

This instrument prepared by:
 Kay B. Housch, Esq., BPR #010995
 Kay B. Housch, P.C.
 222 Second Ave. North, Suite 310
 Nashville, TN 37201

THIS INSTRUMENT IS PREPARED BASED UPON INFORMATION PROVIDED BY THE PARTIES. NO TITLE SEARCH WAS DONE IN CONNECTION WITH THE PREPARATION OF THIS DOCUMENT. THE PREPARER MAKES NO REPRESENTATION AS TO THE STATUS OF TITLE OR THE ACCURACY OF THE LEGAL DESCRIPTION OF THE PROPERTY SHOWN HEREIN.

QUITCLAIM DEED

Address New Owner(s) as follows:	Send Tax Bills To:	Map Parcel Numbers
(NAME) City of Gallatin, Tennessee	(NAME) SAME AS NEW OWNER	Map 135
(STREET ADDRESS) 132 West Main Street	(STREET ADDRESS)	Parcels 1.04 and 2.04
(CITY) (STATE) (ZIP) Gallatin, TN 37066	(CITY) (STATE) (ZIP)	

FOR AND IN CONSIDERATION of the sum of Ten dollars and no/100 (\$10.00), cash in hand paid by the Grantee and other good and valuable consideration accepted as cash, the receipt and sufficiency of which is hereby acknowledged **Goodall Inc. Builders, a Tennessee corporation**, Grantor, does hereby quitclaim and convey unto **City of Gallatin, Tennessee**, the Grantee herein, its successors, heirs and assigns, all of Grantor's right, title and interest in and to the following described real property in Sumner County, Tennessee, as follows:

Tract 1: All street right-of-ways, utilities, and drainage easements described on the Final Plat of Elk Acres Section 3A recorded in Plat Book 26, page 301, Register's Office of Sumner County Tennessee, to which plat reference is made for a more complete description.

Tract 2: All street right-of-ways, utilities, and drainage easements described on the Final Plat of Elk Acres Section 3B recorded in Plat Book 27, page 3, Register's Office of Sumner County Tennessee, to which plat reference is made for a more complete description.

Being part of the same property conveyed to Goodall Inc. Builders, a Tennessee corporation by deed recorded in Record Book 2377, page 57, Register's Office of Sumner County, Tennessee.

STATE OF TENNESSEE COUNTY OF SUMNER	The actual consideration for this transfer is \$ 0.00
Subscribed and sworn to before me this the <u>12th</u> day of December, 2013.	
My commission expires: <u>7/20/2015</u> (Affix Seal)	Affiant  Notary Public



Witness my hand this ___ day of December, 2013.

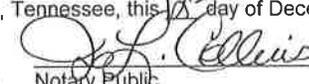
GOODALL INC. BUILDERS, a Tennessee corporation

By: 
 Robert H. Goodall, Jr., President

STATE OF TENNESSEE
COUNTY OF SUMNER

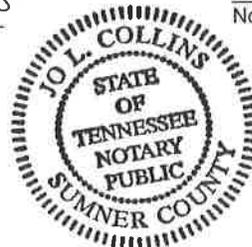
Before me, the undersigned, a Notary Public of the State and County aforesaid, personally appeared Robert H. Goodall, Jr., with whom I am personally acquainted or proved to me on the basis of satisfactory evidence, and who, upon oath, acknowledged himself to be the President of Goodall Inc. Builders, a Tennessee corporation, within named bargainor, and that he, being authorized so to do, executed the foregoing instrument for the purposes therein contained on behalf of Goodall Inc. Builders, a Tennessee corporation, as President.

Witness my hand and official seal, at office in Gallatin, Tennessee, this 12th day of December, 2013.

My commission expires: 7/20/2015

 Notary Public

R E C E I V E D
 JAN 02 2014

GALLATIN PLANNING
& ZONING



PC0229-13

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	06°23'38"	3744.72'	417.90'	S58°08'29"E	417.68'	209.17'
C2	01°16'45"	3684.72'	82.27'	S55°35'02"E	82.27'	41.14'
C3	01°16'43"	3684.72'	82.23'	S56°51'47"E	82.23'	41.12'
C4	01°16'43"	3684.72'	82.23'	S58°08'30"E	82.23'	41.12'
C5	01°16'43"	3684.72'	82.23'	S59°25'13"E	82.23'	41.12'
C6	01°16'43"	3684.72'	82.23'	N60°41'57"W	82.23'	41.12'
C7	00°34'09"	3559.72'	35.36'	N55°13'44"W	35.36'	17.68'
C8	00°42'36"	3559.72'	44.12'	N55°52'07"W	44.12'	22.06'
C9	01°16'43"	3559.72'	79.44'	S56°51'47"E	79.44'	39.72'
C10	01°16'43"	3559.72'	79.44'	S58°08'30"E	79.44'	39.72'
C11	01°16'43"	3559.72'	79.44'	N59°25'13"W	79.44'	39.72'
C12	01°16'43"	3559.72'	79.44'	N60°41'57"W	79.44'	39.72'
C13	00°30'36"	3559.72'	31.69'	S61°35'30"E	31.69'	15.84'
C14	01°19'01"	3519.72'	80.90'	S56°10'19"E	80.90'	40.45'
C15	01°16'59"	3519.72'	78.82'	S57°28'19"E	78.81'	39.41'
C16	01°12'57"	3519.72'	74.69'	S58°43'17"E	74.69'	37.35'
C17	01°17'40"	3519.72'	79.51'	N59°57'57"W	79.51'	39.76'
C18	01°13'22"	3519.72'	75.11'	S61°14'06"E	75.11'	37.56'
C19	00°58'35"	1668.52'	28.43'	N57°57'37"W	28.43'	14.22'
C20	01°31'04"	1668.52'	44.20'	S59°12'27"E	44.20'	22.10'
C21	00°58'35"	1668.52'	28.43'	S60°27'16"E	28.43'	14.22'
C22	02°29'07"	1628.52'	70.64'	S59°41'28"E	70.63'	35.33'

- NOTES:
- BEARINGS ARE CORRELATED TO PLAT NORTH ELK ACRES SECTION ONE IN PLAT BOOK 16, PAGE 103 R.O.S.C.T.
 - SUBJECT PROPERTY DOES NOT LIE IN A FEMA/FIRM "SPECIAL FLOOD HAZARD AREA" PER MAP NUMBER 47165C0427E DATED SEPTEMBER 20, 2006.
 - ALL DISTANCES ARE IN U.S. FEET.
 - CONCRETE MONUMENTS SHOWN THUS: (■). IR(O) DEPICTS IRON ROD (OLD) IR(N) DEPICTS IRON ROD (NEW) ALL NEW LOTS CORNERS MARKED WITH IRON RODS (NEW).
 - GEOTECHNICAL EVALUATIONS OF ANY DEPRESSIONS SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF GRADING OR BUILDING PERMITS IN THE AFFECTED AREAS.
 - THE OWNER/DEVELOPER SHALL HAVE THE FINANCIAL RESPONSIBILITY FOR THE DEVELOPMENT OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
 - ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
 - THIS IS A CATEGORY 1 SURVEY, AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1:10,000 AS SHOWN HEREON.
 - ALL EASEMENTS SHALL BE CONSIDERED "PUBLIC" IN ACCORDANCE WITH THE CITY OF GALLATIN SUBDIVISION REGULATIONS.
 - OPEN SPACES AND DETENTION AREAS ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

GOODALL INC., BUILDERS
RECORD BOOK 2377, PAGES 75-83
R15(PUD)
ELK ACRES SECTION 2
PLAT BOOK 25, PAGE 120

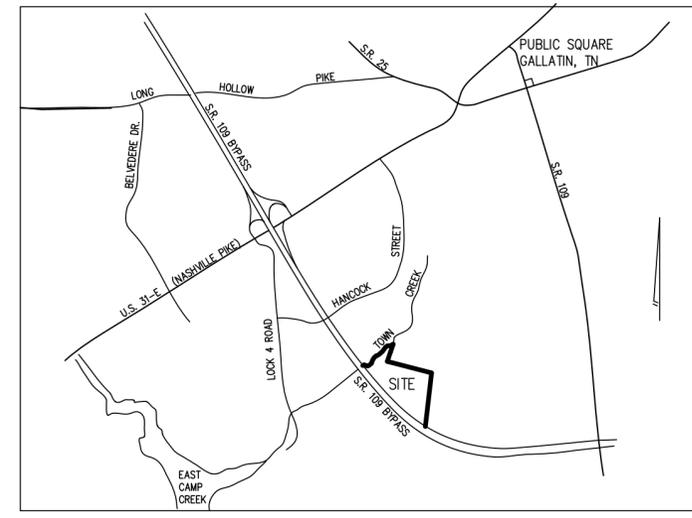
MRO
MAP 135 PARCEL 1.03
LENOX PLACE HPR
GOODALL, INC. BUILDERS
RECORD BOOK 2099, PAGE 205
393 MAPLE STREET
GALLATIN, TN 37066

R20
MAP 135 PARCEL 2.05
SUMNER ACADEMY, INC
RECORD BOOK 821, PAGE 528
464 NICHOLS LANE
GALLATIN, TN 37066

R20
MAP 135 PARCEL 2.03
TARA INTERESTS, INC.
RECORD BOOK 1806, PAGE 372
P.O. BOX 72, 107 SHADWELL
FRIENDSWOOD, TX 77549

GOODALL INC., BUILDERS
RECORD BOOK 2377, PAGES 75-83
R15(PUD)
ELK ACRES FUTURE DEVELOPMENT

GOODALL INC., BUILDERS
RECORD BOOK 2377, PAGES 75-83
R15(PUD)
ELK ACRES FUTURE DEVELOPMENT



VICINITY MAP NTS

SECTION 3A SITE DATA TABLE

OWNER: GOODALL INC., BUILDERS
DBA: GOODALL HOMES & COMMUNITIES
RECORD BOOK 2377, PAGES 75-83
LOTS: 21 ONE-FAMILY DETACHED RESIDENTIAL LOTS
ZONING: R15(PUD)
AREA: 6.01 ACRES
MAP 135 PART OF PARCEL 1.04
ADDRESS: SAVANNAH AVENUE AND CALLIE AVENUE
YARD REQUIREMENTS:
FRONT: 25'
SIDE: 10'
REAR: 15'
TOTAL ROW AREA: 0.74 ACRE
TOTAL OPEN SPACE: 0.57 ACRES
TO BE OWNED AND MAINTAINED BY THE ELK ACRES HOMEOWNER'S ASSOCIATION
MAX. FLOOR AREA: 21 x 2000 = 0.96 ACRES
BUILDING HEIGHT: 1 & 2 STORY (MAXIMUM HEIGHT: 35')
LOT WIDTH RANGE: 72'-87.4'
LOT AREA RANGE: 9,000 S.F.-11,512 S.F.
EXISTING USE: VACANT
PROPOSED USE: ONE-FAMILY DETACHED
OVERALL DENSITY: 3.5 UNITS/ACRE
GROUND COVERAGE: GRASS

CERTIFICATE OF OWNERSHIP AND DEDICATION
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in book number 2377, page 75-83, County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.

Date: _____ Owner: _____
Title: _____

CERTIFICATE OF ACCURACY
I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown hereon, to the specifications of these regulations; that the survey shown hereon meets the requirements of a "Category I" survey and the ratio of precision of the unadjusted survey is at least 1:10,000 as set forth in the Standards of Practice for Land Surveyors in Tennessee.

Date: 3/18/10 By: *J.M.C.*

CERTIFICATE OF APPROVAL OR BONDING OF ROADS
I hereby certify (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance bond has been posted with the Planning Commission to assure completion of all required improvements in case of default.

Date: _____ By: _____
City Engineer

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
I hereby certify that the water systems outlined or indicated on the final subdivision plat entitled: ELK ACRES SECTION 3A have been installed in accordance with current local and state government requirements or a sufficient bond or cash has been filed which will guarantee said installation.

Date: _____ By: _____
Superintendent of Public Utilities, Gallatin, Tennessee

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
I hereby certify that the sewer systems outlined or indicated on the final subdivision plat entitled: ELK ACRES SECTION 3A have been installed in accordance with current local and state government requirements or a sufficient bond or cash has been filed which will guarantee said installation.

Date: _____ By: _____
Superintendent of Public Utilities, Gallatin, Tennessee

CERTIFICATE OF COMMON AREAS DEDICATION
GOODALL INC, BUILDERS in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in ELK ACRES, SECTION 3A for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in ELK ACRES, SECTION 3A as more fully provided in Article II Declaration of Covenants, Conditions and Restrictions, applicable to ELK ACRES (PLANNED UNIT DEVELOPMENT), dated _____ and recorded in Record Book _____, Page _____ and said Article II is hereby incorporated and made part of this plat.

Date: _____ By: _____

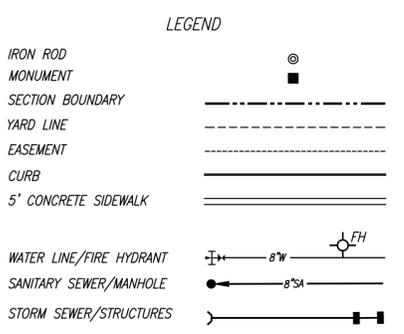
CERTIFICATE OF APPROVAL FOR RECORDING
I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the planning commission, and that it has been approved for recording in the office of the county register.

Date: _____ By: _____
Sec'y, Planning Commission
Date: _____ By: _____
Chairman's Initials

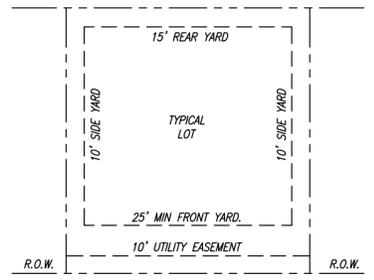
THE PURPOSE OF THIS PLAT IS TO CREATE 21 NEW ONE-FAMILY DETACHED RESIDENTIAL LOTS.

FINAL PLAT
ELK ACRES
SECTION 3A

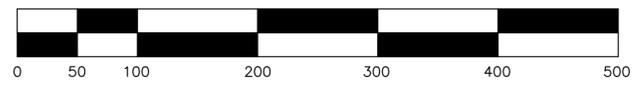
SAVANNAH AVENUE AND CALLIE AVENUE
THIRD CIVIL DISTRICT
GALLATIN, SUMNER COUNTY, TENNESSEE
GOODALL INC., BUILDERS
DBA: GOODALL HOMES & COMMUNITIES
OWNER/DEVELOPER
393 MAPLE STREET
GALLATIN, TN 37066
SCALE: 1" = 100' DATE: MARCH 18, 2010



THE CUMMINGS GROUP, INC.
5574 POWELL SULLIVAN ROAD
FRANKLIN, TN 37064
(615) 415-1764
jmcurveyor@gmail.com
JOB NO. 05-040



TYPICAL LOT YARD DISTANCES
1. ALL SIDE YARDS ARE 20' ON CORNER LOTS AT SIDE STREET.
2. 10' UTILITY EASEMENT TYPICAL ON ALL SIDE YARDS ADJACENT TO ROADWAYS.



RECORD NORTH

ITEM 7

GMRPC Resolution No. 2014-67

RESOLUTION TO AMEND THE GALLATIN ON THE MOVE 2020 – CITY OF GALLATIN GENERAL DEVELOPMENT AND TRANSPORTATION PLAN UPDATE 2008-2020 -- COMMUNITY CHARACTER MAP, BY CHANGING THE LAND USE DESIGNATION ON A PORTION OF ONE PARCEL, COMPRISING 9.34± ACRES, FROM THE RURAL COMMUNITY CHARACTER AREA TO THE AIRPORT ROAD INDUSTRIAL CHARACTER AREA , AMENDING THE MAJOR THOROUGHFARE MAP SERIES TO EXTEND GATEWAY DRIVE APPROXIMATELY 1066 FEET, RELOCATING THE GREENWAY WITHIN THE GALLATIN INDUSTRIAL PARK, PHASE 2, ALL LOCATED EAST OF GATEWAY DRIVE, NORTH OF HARTSVILLE PIKE AND SOUTH OF ROUDTREE DRIVE AND AMENDING THE NARRATIVE SECTIONS OF CHAPTER 4 AND CHAPTER 6 OF THE PLAN TO SUPPORT THE PROPOSED MAP CHANGES.

WHEREAS, pursuant to TCA § 13-3-104, §13-3-301, § 13-3-302, §13-3-303, §13-4-201 and §13-4-202, it is the function and duty of the City of Gallatin Municipal-Regional Planning Commission to make and adopt an official general plan for the physical development of the City of Gallatin and the area outside of the City which bears relation to the planning of the City of Gallatin and its planning region; and

WHEREAS, the City of Gallatin, Tennessee Municipal-Regional Planning Commission approved GMRPC Resolution No. 2009-01 adopting the *Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020* on February 23, 2009, approved Resolution No. 2010-02 amending the *Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020* on March 22, 2010, and approved Resolution No. 2014-28 amending the *Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020* on April 28, 2014; and

WHEREAS, the *Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020* is intended to be a guide and assist the public, city staff, Planning Commission, Historic District Commission and Board of Mayor and Alderman regarding a variety of community planning matters such as community character, land use, transportation, community design, historic preservation, and community development and zoning; and

WHEREAS, the Community Character Map in Chapter 3 of the *Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020* - is intended to implement the Community Vision for the City of Gallatin by incorporating Community Character Areas and the City's plans for future development expressed in the Community Character Map; and

WHEREAS, the City of Gallatin, Tennessee Municipal-Regional Planning Commission may from time to time adopt amendments to part or parts of the plan; and

WHEREAS, the owner of property subject to development has requested the Municipal-Regional Planning Commission to amend the *Gallatin on the Move 2020 General Development and Transportation Plan Update 2008 – 2020*, Chapter 3, Community Character Map by changing the land use designation on a portion of one parcel comprising 9.34± acres from the Rural Community Character Area to the Airport Road Industrial Character Area, amending Chapter 4, the Major Thoroughfare Map series by extending Gateway Drive approximately 1066 feet and relocating the

greenway in the Gallatin Industrial Park, Phase 2 and amending the narrative sections of Chapters 4 and 6 to support the proposed map changes as indicated in the attached Exhibit 'A', and

WHEREAS, notice and public hearing before the Gallatin Municipal-Regional Planning Commission has or will occur before final passage of this amendment pursuant to TCA § 13-3-303 and § 13-4-202; and

WHEREAS, the Gallatin Municipal-Regional Planning Commission finds that is in the best interest of the City of Gallatin and its planning region to amend the *Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020*, Chapter 3, Community Character Map, Chapter 4 the Major Thoroughfare Map series by extending Gateway Drive approximately 1066 feet, and relocating the greenway in the Gallatin Industrial Park, Phase 2 and amending the narrative sections of Chapters 4 and 6 to support the proposed map changes as indicated in the attached Exhibit 'A'.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that the *Gallatin on the Move 2020 – General Development and Transportation Plan Update 2008-2020* is hereby amended by changing Chapter 3, Community Character Map, land use designation on a portion of one parcel comprising 9.34± acres from the Rural Community Character Area to the Airport Road Industrial Character Area, amending Chapter 4, the Major Thoroughfare Map series by extending Gateway Drive approximately 1066 feet, and relocating the greenway in the Gallatin Industrial Park, Phase 2, and amending the narrative sections of Chapters 4 and 6 to support the proposed map changes as indicated in the attached Exhibit 'A'.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 7/28/2014

Dick Dempsey, Chair

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-McCAULEY, CITY ATTORNEY

**GMRPC Resolution #2014-67
EXHIBIT 'A'**

Amended Plan Map Exhibit 3-1, Community Character Area Map

**Amended Plan Map Exhibit 4-2: Functional Classification, Number of
Lanes and Traffic Signal Locations of Existing Roadways**

Amended Plan Map Exhibit 4-8: Proposed Roadway Projects

Amended Plan Map Exhibit 4-9: Major Thoroughfare Plan

Amended Plan Map Exhibit 4-12: Proposed Bike/Ped Projects

Amended Chapter 4, Page 4-25, Gallatin on the Move 2020 Plan as follows:

~~44. Extension of Gateway Drive — upgrade and improve the existing roadway section between Airport Road and Commerce Way and construct the extension of the roadway into the 200 acres recently purchased by the City of Gallatin for the expansion of the Gallatin Industrial Center. This improvement project would most likely be funded by the City or with possible grant funding available for infrastructure and roadway projects. As part of the development of the overall Industrial Center project, the City is also evaluating opportunities to connect the industrial park road system to US 31E/SR-6, SR-25 or Airport Road south of the existing Gateway Drive location.~~

44. Extension of Gateway Drive— Extend Gateway Drive as a collector road from the easterly terminus approximately 1066 feet to serve additional phases of the Gallatin Industrial Park. Future extension of Gateway Drive will most likely be funded by the City or with possible grant funding available for infrastructure and roadway projects.

Amended Chapter 4, Page 4-33, Gallatin on the Move 2020 Plan as follows:

8. Bledsoe Creek Trail: A trail approximately 2.5 miles long that would connect near the medical center to the north around Stuart Vena Elementary School and end at the trail head east of Airport Road and north of Hartsville Pike. Future minor collectors (branch greenway corridors) are expected to connect this trail to the future rails to trails collectors. The extension of the greenway trail along the former L & N Railroad right-of-way north of Hartsville Pike may be located outside of the former right-of-way to accommodate development of the industrial park. However, the greenway may be included in a portion of the park, or future park expansion, in an alignment east or west of the location of the former railroad right-of-way. The intention is to realign the greenway with the former railroad right-of-way at a location north of the industrial park.

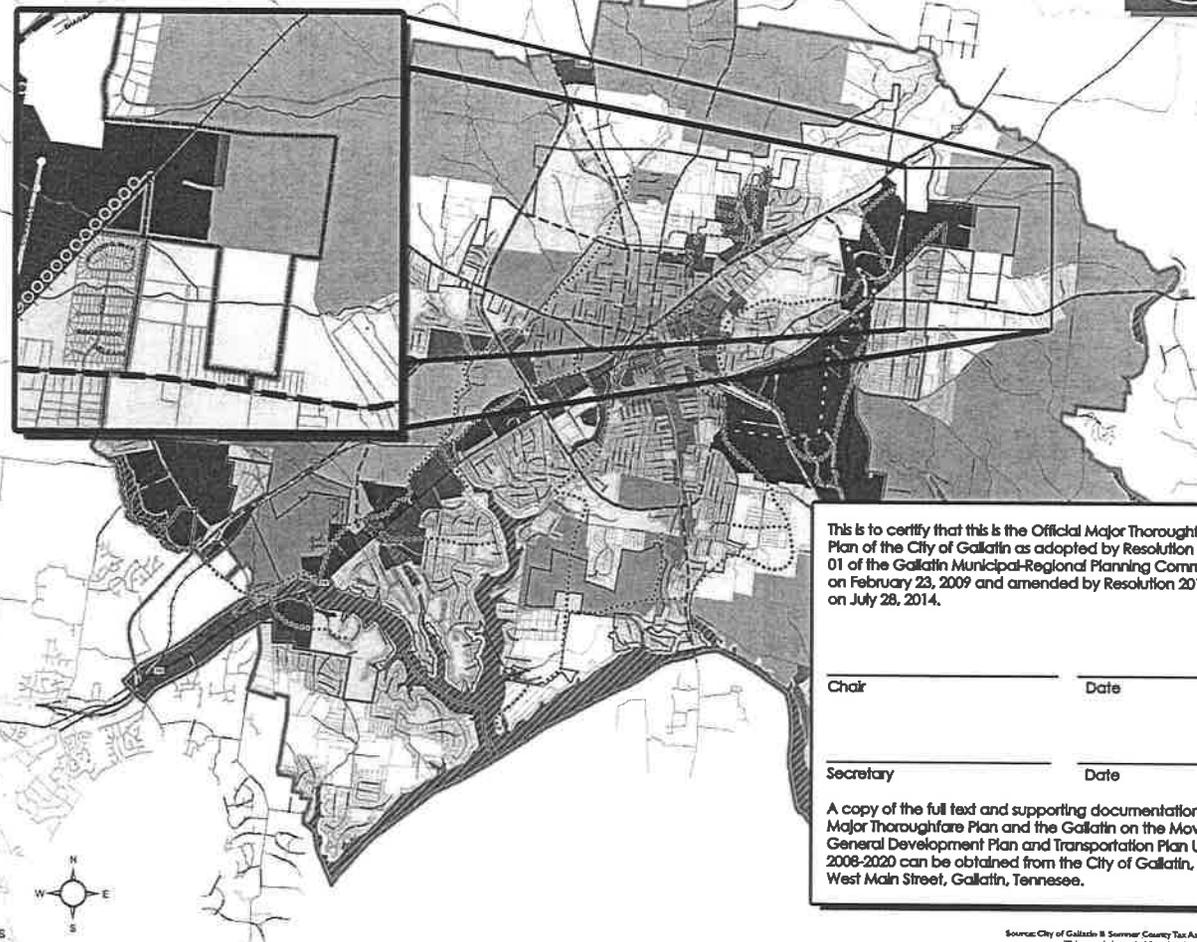
Amended Chapter 6, Page 6-25, Table 6-2 Gallatin on the Move 2020 Plan as follows:

Project Type	Project No.	Project Name	Brief Description	Origin of Project	Responsible Parties	Study/Project	Opinion of Probable Cost*	Priority
<u>Roadway</u>	<u>44</u>	<u>Gateway Drive</u>	<u>Extend Gateway Drive to serve additional industrial properties in the Gallatin Industrial Park</u>	<u>City EDA</u>	<u>TDOT/City</u>	<u>Expansion of Industrial Park</u>	<u>TBD</u>	<u>Top/High</u>

Exhibit 3.1: Community Character Map



- Legend**
- Railroad
 - Major Road
 - Street
 - Stream
 - Lake
 - Park
 - City Limit
 - Urban Growth Boundary
 - Planning Region
 - Community Character Area
 - Patterns**
 - Placemaking
 - Parks and Open Space
 - Greenways
 - Corridors**
 - Commercial Corridor
 - Commercial Corridor - MainStreet
 - East Main Street Corridor
 - Nashville Pike Office Corridor
 - Rural Corridor
 - Gateway Corridor
 - Neighborhood Transitway Corridor
 - Centers**
 - Breakout/Master Warehouse
 - Village
 - Downtown
 - Medical Center
 - Neighborhood Center
 - Regional Activity Center
 - Neighborhoods**
 - Suburban Neighborhood Emerging
 - Suburban Neighborhood Established
 - Suburban Neighborhood Reinhabited
 - Town Neighborhood Reinhabited
 - Town Neighborhood Established
 - Town Neighborhood Preservation
 - Emerging Village Community
 - Rural Community
 - Special Districts**
 - Airport Road Industrial
 - Downtown Business Center
 - North Capitol Emerging Business Park
 - State Park



This is to certify that this is the Official Major Thoroughfare Plan of the City of Gallatin as adopted by Resolution 2009-01 of the Gallatin Municipal-Regional Planning Commission on February 23, 2009 and amended by Resolution 2014-67 on July 28, 2014.

Chair

Date

Secretary

Date

A copy of the full text and supporting documentation of the Major Thoroughfare Plan and the Gallatin on the Move 2020 General Development Plan and Transportation Plan Update 2008-2020 can be obtained from the City of Gallatin, 132 West Main Street, Gallatin, Tennessee.



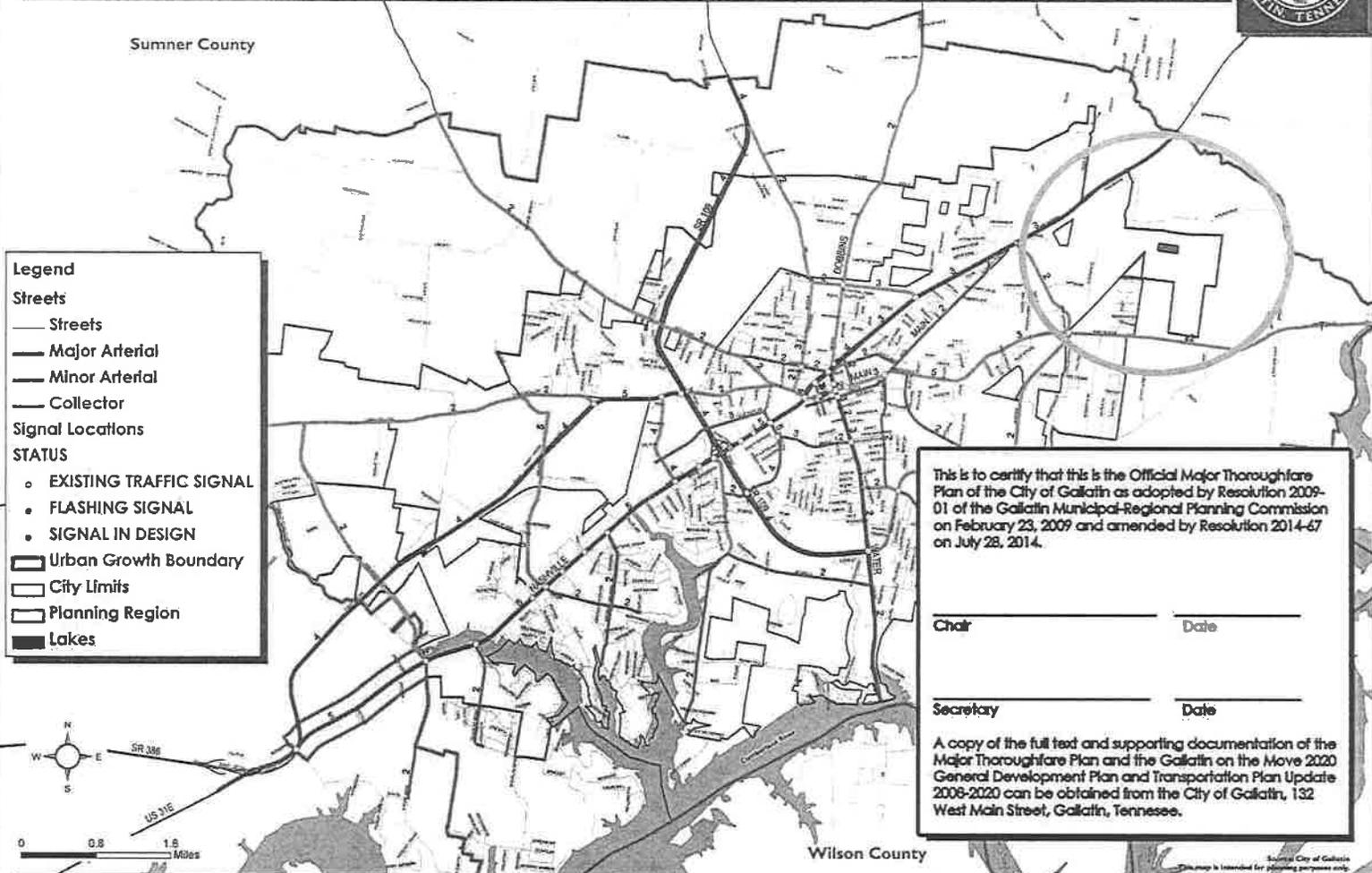
Source: City of Gallatin & Summit County Tax Assessor's Office
This map is intended for planning purposes only.

Prepared by
MACTEC

Gallatin On The Move 2020
General Development & Transportation Plan

PC0305-14

Exhibit 4-2: Functional Classification, Number of Lanes, and Traffic Signal Locations of Existing Roadways



This is to certify that this is the Official Major Thoroughfare Plan of the City of Gallatin as adopted by Resolution 2009-01 of the Gallatin Municipal-Regional Planning Commission on February 23, 2009 and amended by Resolution 2014-67 on July 28, 2014.

Chair _____ Date _____

Secretary _____ Date _____

A copy of the full text and supporting documentation of the Major Thoroughfare Plan and the Gallatin on the Move 2020 General Development Plan and Transportation Plan Update 2008-2020 can be obtained from the City of Gallatin, 132 West Main Street, Gallatin, Tennessee.

Prepared by: **MACTEC & CBB** Consultants, Design, Engineering, Construction Management

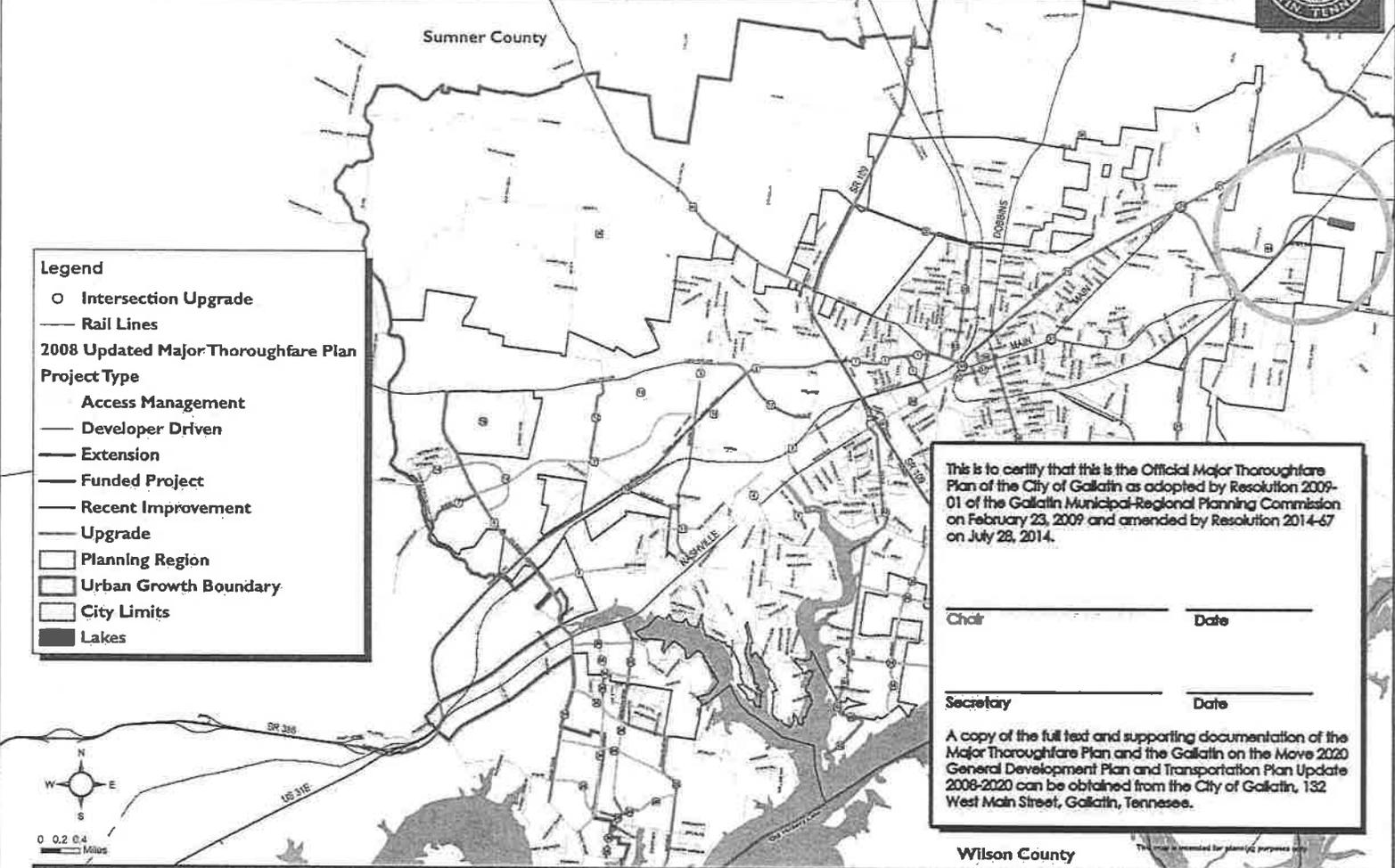
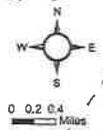
Gallatin On The Move 2020
General Development & Transportation Plan

PC0305-14

Exhibit 4-8: Proposed Roadway Projects



- Legend**
- Intersection Upgrade
 - Rail Lines
 - 2008 Updated Major Thoroughfare Plan**
 - Project Type**
 - Access Management
 - Developer Driven
 - Extension
 - Funded Project
 - Recent Improvement
 - Upgrade
 - Planning Region
 - Urban Growth Boundary
 - City Limits
 - Lakes



This is to certify that this is the Official Major Thoroughfare Plan of the City of Gallatin as adopted by Resolution 2009-01 of the Gallatin Municipal-Regional Planning Commission on February 23, 2009 and amended by Resolution 2014-67 on July 28, 2014.

Chair _____ Date _____

Secretary _____ Date _____

A copy of the full text and supporting documentation of the Major Thoroughfare Plan and the Gallatin on the Move 2020 General Development Plan and Transportation Plan Update 2008-2020 can be obtained from the City of Gallatin, 132 West Main Street, Gallatin, Tennessee.

Prepared by **MACTEC & CBB** Consulting Design, Engineering, and Transportation Engineers

Wilson County
Gallatin On The Move 2020
 General Development & Transportation Plan

PC 0305-14

Exhibit 4-9: Major Thoroughfare Plan



Functional Classification	Type	Travel Lane	Design Speed (mi/h)	Design Volume (ADT)	Lane Width (ft)	Shoulder Width (ft)	Right-of-Way (ft)	Accession	Future Lane	Notes
Major Arterial	Urban	2-4-6	45-55	100-150	12	10	100-150	10-15	2-4-6	Urban
Minor Arterial	Urban	2-4	45-55	40-60	12	10	100-150	10-15	2-4	Urban
	Rural	3-5	45-55	40-60	12	10	100-150	10-15	3-5	Rural
	Intermodal	2-4	45-55	40-60	12	10	100-150	10-15	2-4	Intermodal
	Suburban	2-4	45-55	40-60	12	10	100-150	10-15	2-4	Suburban
Collector	Urban	2-3	45-55	40-60	12	10	100-150	10-15	2-3	Urban
	Rural	2-3	45-55	40-60	12	10	100-150	10-15	2-3	Rural
	Intermodal	2-3	45-55	40-60	12	10	100-150	10-15	2-3	Intermodal
Local	Urban	2-3	45-55	40-60	12	10	100-150	10-15	2-3	Urban

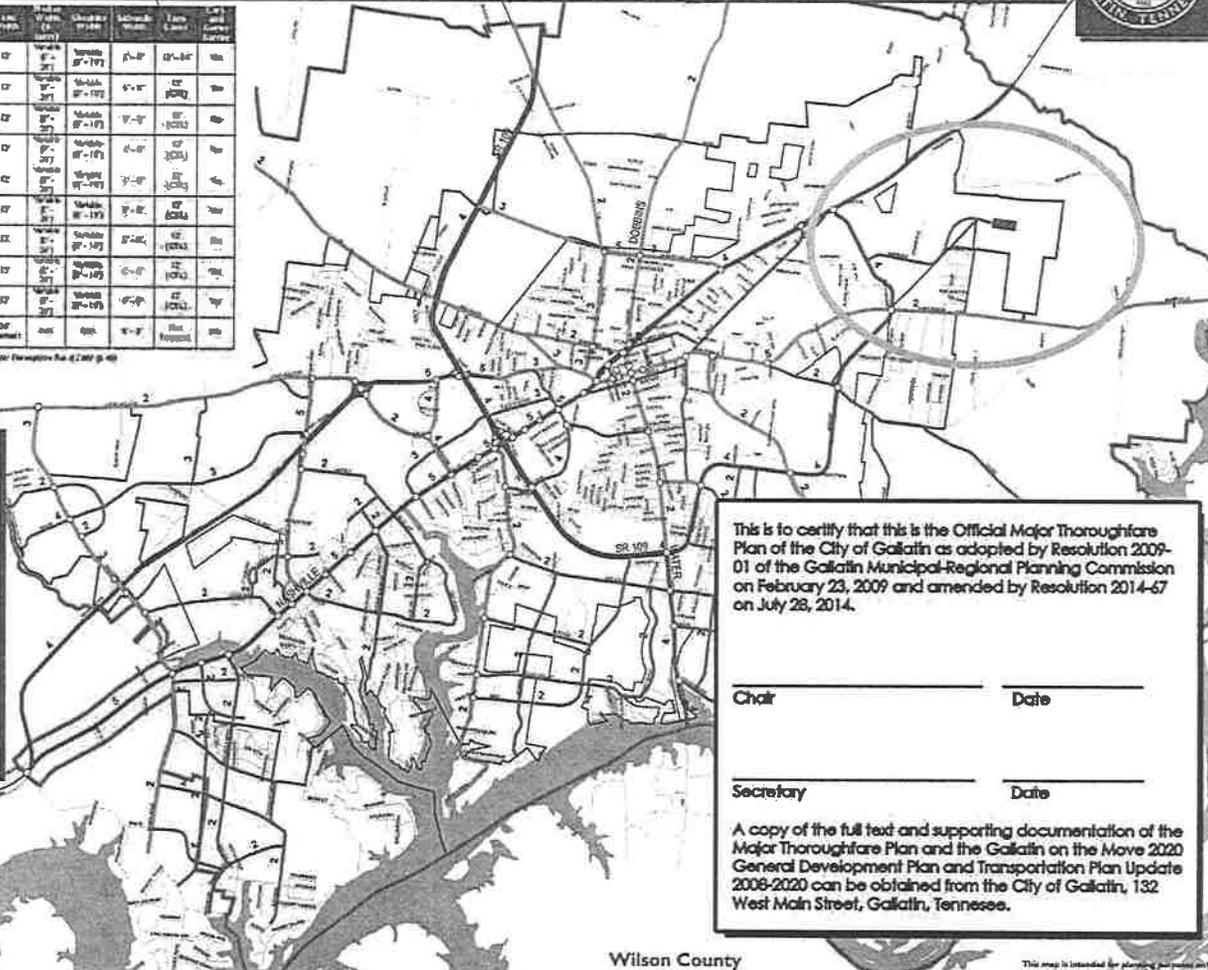
Source: Transportation and Urban Design Inc. (2009) Major Thoroughfare Plan 4/2009 p. 48

Legend

2030 Roadway Network

Functional Classifications

- Major Arterial
- Minor Arterial
- Collector
- Local Road
- Likely Future Signal Locations
- ▭ Urban Growth Boundary
- ▭ City Limits
- ▭ Planning Region
- ▭ Lakes



This is to certify that this is the Official Major Thoroughfare Plan of the City of Gallatin as adopted by Resolution 2009-01 of the Gallatin Municipal-Regional Planning Commission on February 23, 2009 and amended by Resolution 2014-67 on July 28, 2014.

Chair _____ Date _____

Secretary _____ Date _____

A copy of the full text and supporting documentation of the Major Thoroughfare Plan and the Gallatin on the Move 2020 General Development Plan and Transportation Plan Update 2008-2020 can be obtained from the City of Gallatin, 132 West Main Street, Gallatin, Tennessee.



Wilson County

Gallatin On The Move 2020
General Development & Transportation Plan

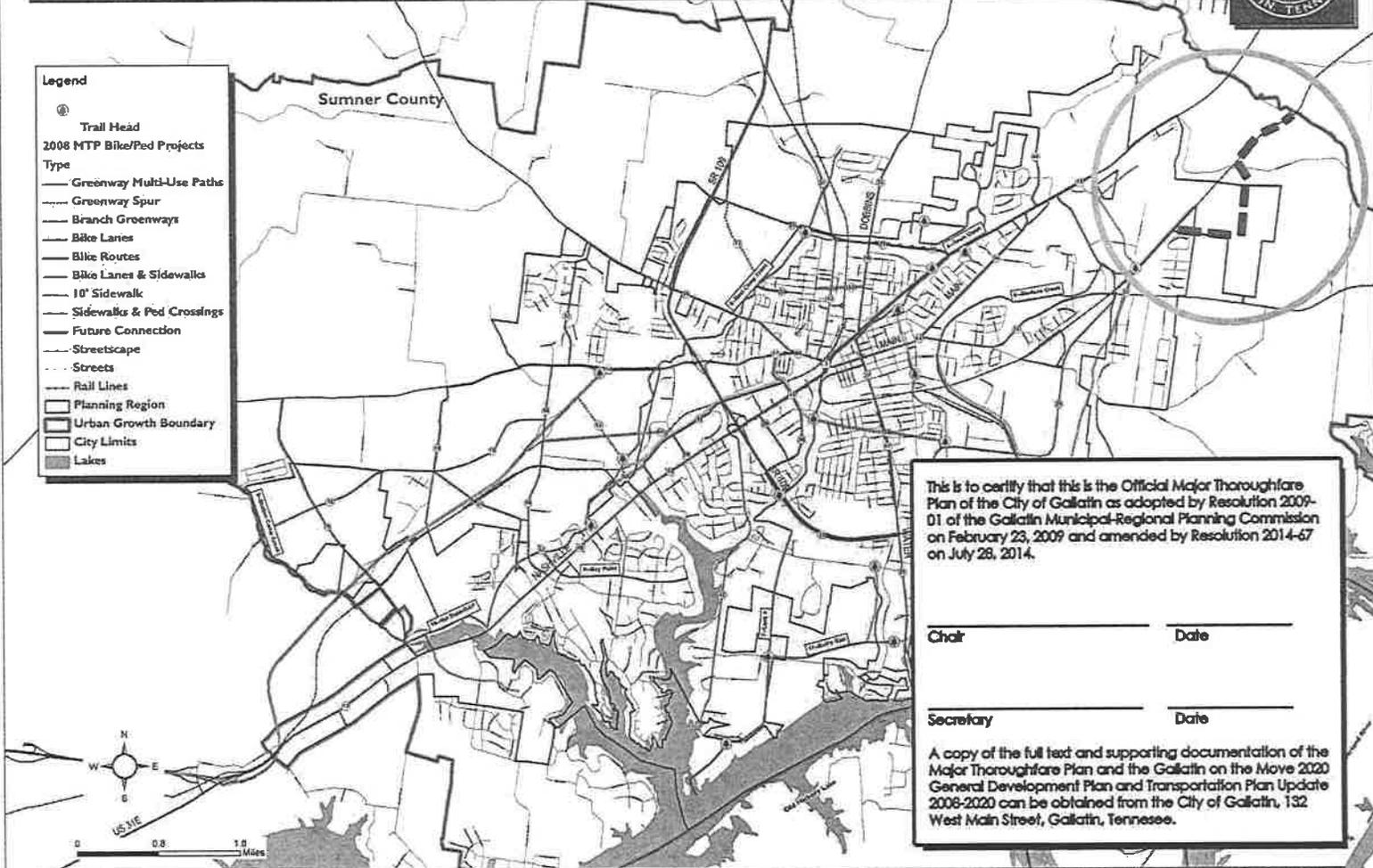
This map is intended for planning purposes only. NOTE: Please refer to Exhibit 4.8.

PC0305-14

Exhibit 4-12: Proposed Bike/Ped Projects



- Legend**
- Trail Head
 - 2008 MTP Bike/Ped Projects
 - Type
 - Greenway Multi-Use Paths
 - Greenway Spur
 - Branch Greenways
 - Bike Lanes
 - Bike Routes
 - Bike Lanes & Sidewalks
 - 10' Sidewalk
 - Sidewalks & Ped Crossings
 - Future Connection
 - Streetscape
 - Streets
 - Rail Lines
 - Planning Region
 - Urban Growth Boundary
 - City Limits
 - Lakes



This is to certify that this is the Official Major Thoroughfare Plan of the City of Gallatin as adopted by Resolution 2009-01 of the Gallatin Municipal-Regional Planning Commission on February 23, 2009 and amended by Resolution 2014-67 on July 28, 2014.

 Chair Date

 Secretary Date

A copy of the full text and supporting documentation of the Major Thoroughfare Plan and the Gallatin on the Move 2020 General Development Plan and Transportation Plan Update 2008-2020 can be obtained from the City of Gallatin, 132 West Main Street, Gallatin, Tennessee.



Gallatin On The Move 2020
 General Development & Transportation Plan

PC0305-14



ITEM 7

PLANNING DEPARTMENT STAFF REPORT

Gallatin on the Move 2020 Amendment (PC0305-14)

Located East of Gateway Drive, north of Hartsville Pike and south of Roundtree Road

Date: July 22, 2014

PUBLIC HEARING

REQUEST: THE OWNERS/APPLICANT HAVE REQUESTED TO CHANGE THE *GALLATIN ON THE MOVE 2020 – CITY OF GALLATIN GENERAL DEVELOPMENT AND TRANSPORTATION PLAN UPDATE 2008-2020 – COMMUNITY CHARACTER AREA MAP* BY CHANGING THE LAND USE DESIGNATION OF A PORTION OF A PARCEL COMPRISING 9.34 (+-) ACRES, FROM THE RURAL COMMUNITY CHARACTER AREA TO THE AIRPORT ROAD INDUSTRIAL CHARACTER AREA, AMENDING THE MAJOR THOROUGHFARE PLAN TO EXTEND GATEWAY DRIVE APPROXIMATELY 1066 FEET TO THE EAST AND RELOCATING THE DESIGNATED ALIGNMENT OF A PROPOSED GREENWAY, ALL LOCATED EAST OF GATEWAY DRIVE, NORTH OF HARTSVILLE PIKE AND SOUTH OF ROUNDTREE ROAD, AND AMENDING THE PLAN NARRATIVE TO SUPPORT THE PROPOSED CHANGES.

OWNER: CITY OF GALLATIN AND ORDRIC GREGORY
APPLICANT: CITY OF GALLATIN ECONOMIC DEVELOPMENT AGENCY
STAFF RECOMMENDATION: APPROVAL OF GMRPC RESOLUTION 2014-67
STAFF CONTACT: WILLIAM D. McCORD, AICP
PLANNING COMMISSION DATE: JULY 28, 2014

PROPERTY OVERVIEW:

The applicant is requesting approval of a resolution to amend the *Gallatin On the Move 2020* plan (The City of Gallatin General Development and Transportation Plan Update 2008-2020) by changing the Character Area designation on a 9.34± acre portion of a 177.71 acre parcel from the Rural Community Character Area to the Airport Road Industrial Character Area. The proposed amendment will also amend several maps of the transportation system map series, including the Major Thoroughfare Plan, to extend Gateway Drive and modify a proposed greenway alignment extending into the City's industrial park (Attachment 7-1). Select plan narrative sheets will also be amended to address the map changes. This change is requested to establish a land use/character area to accommodate the proposed expansion of the Gallatin Industrial Park which will include an extension of the Gateway Drive and the relocation of a future greenway.

CASE BACKGROUND:

Previous Approvals

The areas subject to the proposed land use change was annexed in 2007 (Ordinance O0706-42). The City of Gallatin Planning Commission adopted the *Gallatin on the Move 2020* Plan on February 23, 2009 (GMRPC Resolution# 2009-01) and has amended the plan twice since. The Rural Community Land Use was assigned upon adoption of the *Gallatin on the Move 2020* plan by the Planning Commission. The Agriculture-Residential Zoning was established on the land when the original zoning was established for this portion of the planning area prior to annexation.

The first amendment to the plan included an extension of Gateway Drive into the Industrial classified lands to its current terminus in July, 2010 (GMRPC Resolution# 2010-02).

More recently, the Planning Commission approved the final plat for the Gallatin Industrial Center, Phase 2 on January 27, 2014 which included two (2) lots and the existing Gateway Drive right-of-way totaling 222.32 (+/-) acres (Plat Book 28, Page 131-132 R.O.S.C.). On June 23, 2014 the Planning Commission approved a re-plat of Phase 2, which included the property subject to the character area change and the proposed roadway extension which is currently owned by Ordric Gregory.

DISCUSSION:

Natural Features of the Site

No portions of the property contain steep slopes of greater than 20 percent, which may prevent development. The properties now consist of relatively level to gently sloping lands previously used for agricultural purposes. It is currently planted with grass/hay.

Floodplain and Floodway

No portion of the property is located within a special flood hazard area according to the Flood Insurance Rate Map (Map Number 47165C0317G, Panel 317 of 477, dated April 17, 2012).

Drainage and Retention

The property is along a ridge of two (2) tributaries which flow into the Bledsoe Creek drainage basin and eventually to Old Hickory Lake. A portion of a small pond is included in the area subject to the land use change. The applicant had requested the whole pond be included with Lot 7 of the approved plat.

Adjacent development and zoning

The property to the west is undeveloped, but platted as the Gallatin Industrial Park, Phase 2 and is designated as Airport Road Industrial Character Area/land use and is zoned IR (Industrial Restrictive). The property to the south and east has a land use of Rural Community and is zoned Agriculture-Residential (A). The property to the north is in the county and has a Sumner County zoning of R1A (General Residential) (Attachment 7-2) and is currently used for agricultural purposes.

Character Area Change Request-Proposed Land Use Change

The applicant is proposing to amend the Community Character Area Map of the *Gallatin on the Move 2020 Plan* by changing the Character Area designation on a 9.34 ± acre portion of a larger 177.71 acre parcel from the Rural Community Character Area to the Airport Road Industrial Character Area. The owner/applicant requests the land use change to develop the property for the expansion of the Gallatin Industrial Park, Phase 2. The character area/land use change will include portions of lots 5 and 7 and right-of-way for Gateway Drive of the subdivision. The land use change is needed to ensure consistency with the land use, zoning and the development that will occur on the property. The additional property is needed to provide land necessary to serve the proposed Beretta manufacturing facility and to include all of an existing pond in the industrial land use category. Beretta requires a specific amount of property to develop their manufacturing facility which cannot be completely contained in the area within the existing Airport Road Industrial Character Area. The proposed amendment will help to meet the need for additional industrial land uses in the City.

The amendment also includes a proposed change to the transportation system map series including the Major Thoroughfare Plan to extend Gateway Drive and change the location of a designated greenway alignment. The applicant will be requesting a zoning change on the same property at a later time. The property is located in the Gallatin City Limits.

The property is located between areas designated as Airport Road Character Area to the west and the Rural Community to the east and south and is currently zoned Agriculture-Residential (A). The current zoning allows for agriculture use and the development of single family homes on minimum of 2.5 acre lots.

If the land use amendment is approved it would result in a reduction of 9.34± acres of land designated for the Rural Community Character Area and add the same acreage to the Airport Road Industrial Character Area.

The Gallatin Economic Development Agency had previously indicated that the development of Lot 2 of the existing plat would be divided and sold into tracts, a minimum of 5+ acres, as future development demands. This was partially accomplished with the recently approved re-plat. This amendment will include a portion of future lots 5 and 7 (Attachment 7-3).

The Gallatin on the Move 2020 plan, Chapter 6, Implementation Plan, Plan Maintenance states:

Minor amendments to the General Development and Transportation Plan provide the opportunity for relatively minor updates and revisions such as changes in Character Area designation, implementation actions, or for the annual review of Plan consistency with ordinances and regulations. Minor Plan Amendments should be processed throughout the year and be prepared and distributed in the form of addenda to the adopted plan. The Planning Commission should review and consider proposed amendments and hold a public hearing on the proposed amendments according to the standard plan adoption procedures.

The proposed change in character area, the major transportation map series and the greenway system designation together with related text amendments will act to implement

several objectives of the plan including one related to Business and Employment as described in Chapter 6, Page 6-9, the transportation map and greenways map.

The City is processing the application as an administrative application since the City will be acquiring the 9.34 acre Gregory property as part of the industrial park expansion. This should be considered a minor amendment to the plan.

State Statute authorizes the Planning Commission to consider amendments to the plan and describes the approval process. A plan amendment procedure and plan consistency review is provided in Attachment 7-4. Chapter 6, Page 6-26 describes the process for maintaining the plan including annual and minor plan amendments. The Plan Maintenance section of the *Gallatin on the Move 2020* plan is provided in Attachment 7-5.

Public Infrastructure

The City of Gallatin obtained a Tennessee Department of Transportation (TDOT) grant for the extension of Gateway Drive to the existing terminus, which was completed in 2013. A similar grant may be requested for the extension of Gateway Drive as proposed with this amendment to the 2020 Plan. Central water and sewer service is being extended to the properties.

Existing Access/ Roadway Extension

Public access to the property is available only from Gateway Drive. Gateway Drive was recently extended and terminates in a cul de sac west of the subject property. The proposed amendment will create additional right-of-way for Gateway Drive providing additional access to the property including to all portions of the platted lots fronting the roadway extension. The amendment will modify the transportation system map series, Exhibits 4-2, 4-8 and 4-9 and includes the extension in the list of roadway projects as described in GMRPC Resolution 2014-67, Exhibit 'A'. The approximately 1066 feet eastwardly extension of Gateway Drive will include a collector roadway within an 80 foot wide right-of-way from end of the current cul de sac. The further extension of this roadway is anticipated with future amendments to the plan.

Greenway Alignment

The Community Character Map, Exhibit 3.1, and the Proposed Bike/Ped Projects Map, Exhibit 4-12, of the *Gallatin on the Move 2020* plan indicates a greenway (Bledsoe Creek greenway¹) extending along the former L & N Railroad right-of-way to a point approximately at the intersection of the former railroad and the current Gateway Drive. Due to the placement of lots within the industrial park, the greenway would split proposed lot 7. The City's Bicycle and Pedestrian Master Plan, the Sumner County Bike-Ped Plan and the Nashville Area MPO Regional Bicycle and Pedestrian Plan indicates all of the former L & N Railroad right-of-way as a future trail including portions extending outside the City Limits (Attachment 7-6). The Planning Commission should determine if continuing the

¹ The Bledsoe Creek Greenway is described as project #8 in the list of Greenway Trunk Line Corridors in the *Gallatin On the Move 2020* plan.

trail in this alignment is desirable or if moving the alignment of the trail to accommodate the industrial development should be included in future plans for the development of this area. It may be possible to relocate the trail alignment through the industrial park, or to a future phase of the industrial park, and join the trail back to the former right-of-way in an area east of the current alignment. This option is suggested in the narrative amendment to Chapter 4, page 4-33, included as part of Exhibit 'A' of the Resolution. The trail alignment could also be amended by terminating the trail at a point on the south end of the Gallatin Industrial Center subdivision where Gateway Drive is adjacent to the former right-of-way.

Traffic Generation

The proposed character area/land use change would create a negligible effect on trip generation to/from the industrial park. While up to 9 acres of additional industrial land could be developed as a result of the amendment, knowing the specific use/user of the property and anticipated layout to the development, most of the property will not be used for trip generation activity. Therefore, no additional trip generation is expected as a result of the amendment.

Public Hearing and Notification

A public hearing is required when considering an amendment to the comprehensive plan. The proposed amendment was published in the *Gallatin News* on June 26, 2014, which is thirty (30) days prior to the Planning Commission meeting in accordance with T.C.A., Title 13, §13-3-303. The statute requires a thirty (30) day period after initial advertising of the amendment before the Planning Commission may consider this comprehensive plan amendment.

Findings

The authority to review and approve proposed changes to the plan by the regional planning commission is authorized by T.C.A. § 13-3-104 and §13-3-301, §13-3-302, and §13-3-303. The item has been properly advertised and public notice given concerning this proposed plan amendment.

Other industrial designated land use exists adjacent to the subject property, including the Gallatin Industrial Center, Phase 2 subdivision. The portion of the property to the east will remain as Rural Community Character Area but the long term prospects for this property may also be to convert it to industrial type use. The proposed land use amendments will not promote uses or create a conflict of uses that would generate nuisance characteristics for the existing or future residents of the area. All properties adjacent to the subject property are vacant or are used for agricultural purposes.

The proposed character area/land use change will provide additional lands for industrial development in the rapidly developing employment hub of the community and provide a use compatible to adjacent uses. The proposed amendment will promote the health, safety, morals, order, convenience, prosperity and welfare of the community and also promote efficiency and the economy by specifically providing for the uses of land for

urbanization, trade, industry for this property which and is suitable for industrial development and the City is able to serve the property with utility infrastructure to accommodate development that could occur under the proposed land use/character area. Utility expansion is now on-going in the existing industrial property to the west.

1. The proposed plan amendment is consistent with the purpose and intent of the *Gallatin on the Move 2020* plan and will further the purposes of the Implementation Program, Business and Employment objectives of the plan.
2. The proposed amendment is in keeping with and consistent with authority promulgated by T.C.A. §13-3-104, §13-3-301, § 13-3-302, §13-3-303, §13-4-104, § 13-4-201, and §13-4-202.
3. The proposed changes to the *Gallatin on the Move 2020* plan constitute a minor amendment to the plan.
4. The proposed character area/land use change will provide additional lands for industrial development in the rapidly developing hub of employment in the community and provide a use compatible to adjacent uses.
5. The plan amendment will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare and the greenway alignment modification will continue to provide future transportation and recreation resources for the community.
6. The proposed amendment will promote the health, safety, morals, order, convenience, prosperity and welfare of the community and also promote efficiency and economy by specifically providing for the uses of land for urbanization, trade, industry and the property is suitable for industrial development.
7. The City is able to serve the property with utility infrastructure to accommodate development that could occur under the proposed land use/character area.

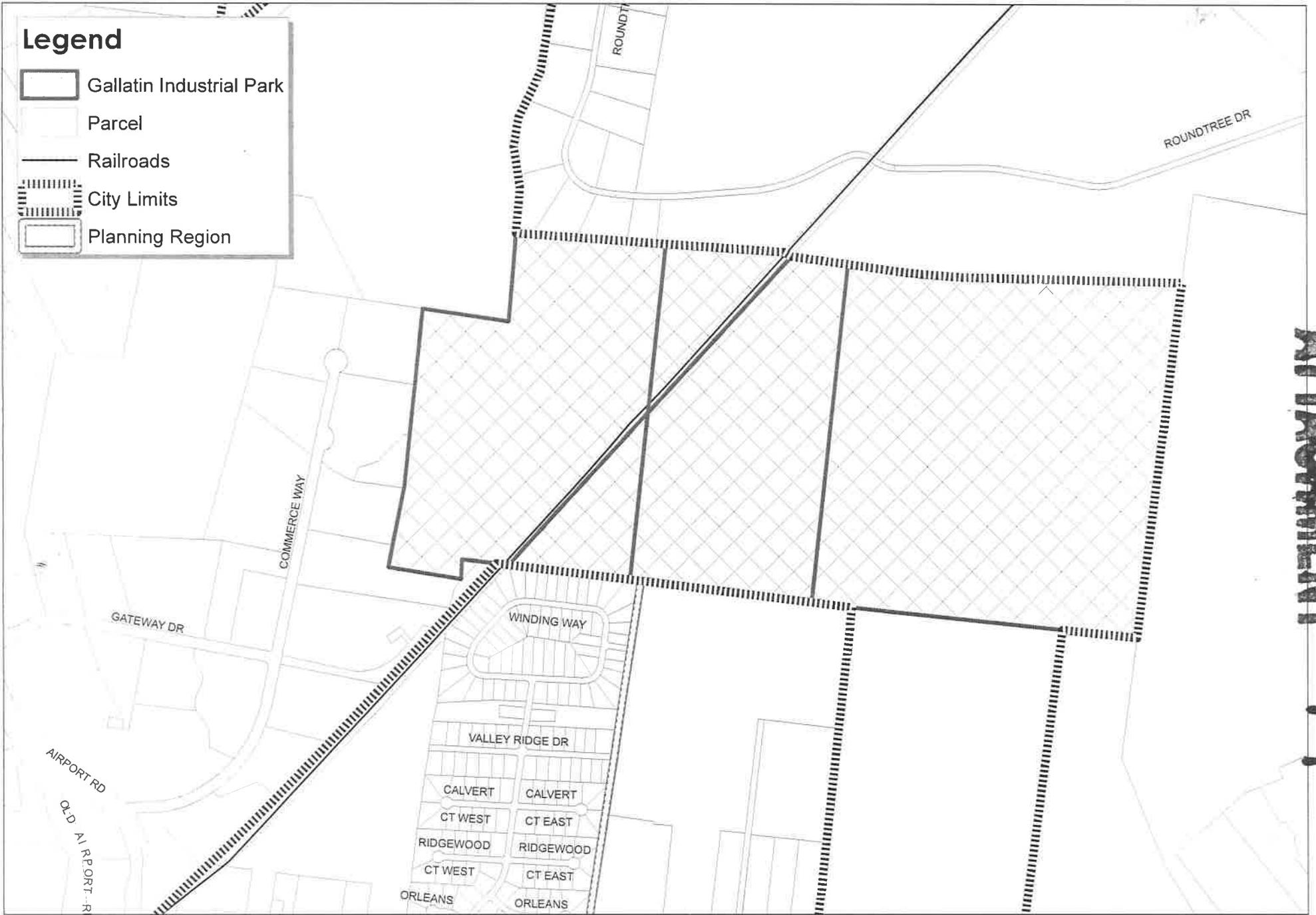
RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2014-67 changing the character area designation on a 9.34± acre portion of Tax Map 111, Parcel 001.00 000, of the *Gallatin On the Move 2020* plan (The City of Gallatin General Development and Transportation Plan Update 2008-2020) Community Character Area Map (Exhibit 3.1) from the Rural Community Character Area to the Airport Road Industrial Character Area, amending Chapter 4, the Multi-Modal Transportation Plan, Project #44, trail Project #8 and Chapter 6, Table 6-2, Project #44 to change the description of the Extension of Gateway Drive Roadway project and modifying Plan Exhibits 4-2, 4-8 and 4-9 to include the roadway extension project, and amending the Plan Exhibits 3.1 and 4-12 to change the location of the Bledsoe Creek Greenway as indicated in Exhibit "A" of the Resolution.

- | | |
|-----------------------|--|
| Attachment 7-1 | Location Map/Existing Character Area Maps |
| Attachment 7-2 | Existing Land Use Map and Zoning Map of the Area |
| Attachment 7-3 | Approved Plat for Gallatin Industrial Park, Phase 2 Re-plat |
| Attachment 7-4 | Plan amendment procedure and plan consistency review |
| Attachment 7-5 | Plan Maintenance section of the <i>Gallatin on the Move 2020</i> plan |
| Attachment 7-6 | City's Bicycle and Pedestrian Master Plan |
| | Airport Road Industrial Character Area and Rural Community Character Area |

Legend

-  Gallatin Industrial Park
-  Parcel
-  Railroads
-  City Limits
-  Planning Region



ATTACHMENT 7-1



Prepared By: Kevin Chastine, AICP
Prepared On: July 22, 2014

LocationMap Gallatin on the Move 2020 - Land Use Amendment PC0305-14

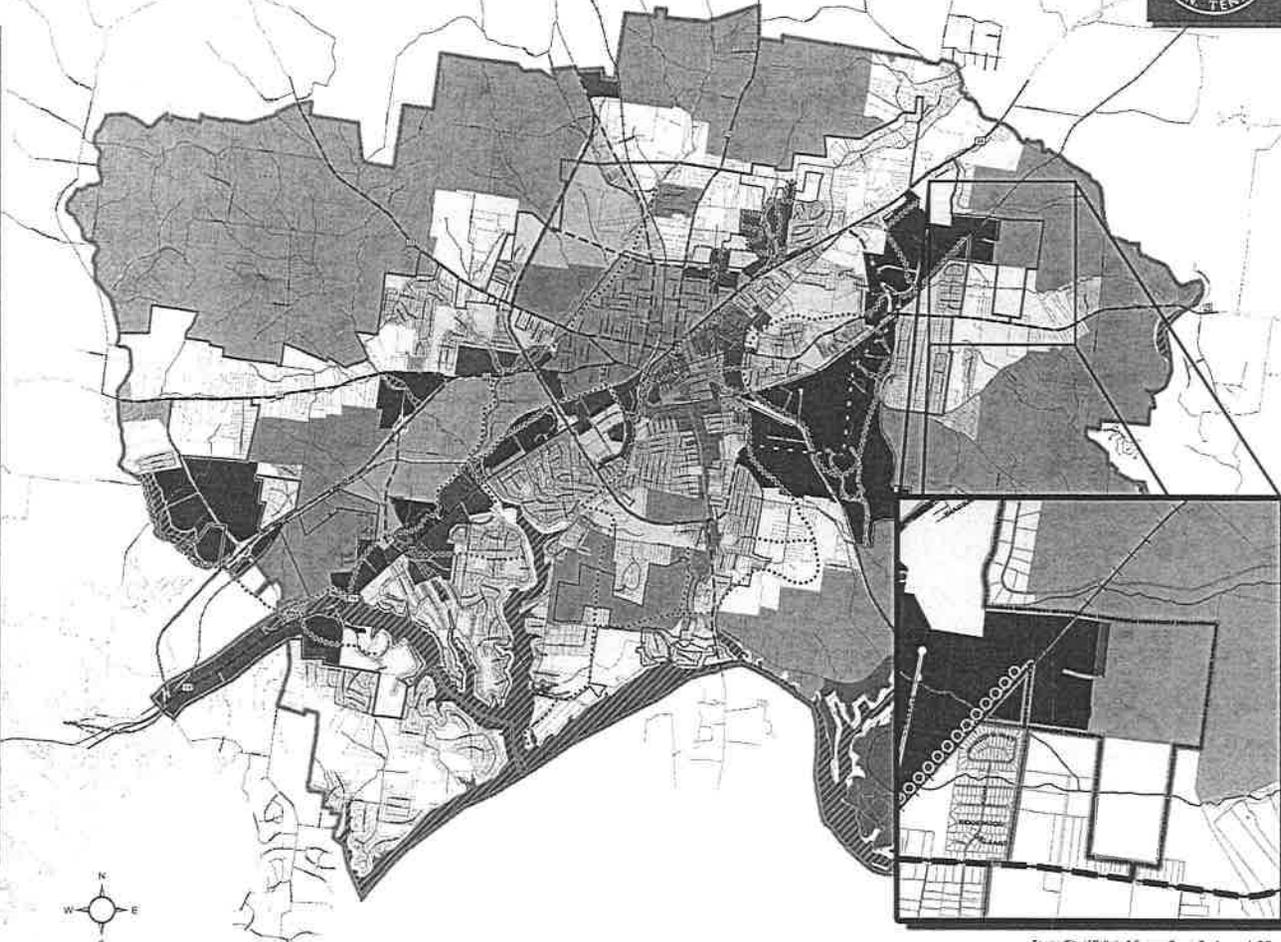
0 0.05 0.1 0.2 Miles



Exhibit 3.1: Community Character Map



- Legend**
- Railroad
 - Major Road
 - Stream
 - Stream
 - Lake
 - Park
 - City Limits
 - Urban Growth Boundary
 - Planning Region
 - Community Character Area
 - Precinct
 - Planatkin
 - Parks and Open Space
 - Greenways
 - Corridors
 - Commercial Corridor
 - Commercial Corridor - Bank/Postoffice
 - East Main Street Corridor
 - Nashville Pike Office Corridor
 - Rural Corridor
 - Gateway Corridor
 - Neighborhood Transition Corridor
 - Centers
 - Breakup/Division Warehouse
 - College
 - Downtown
 - Medical Center
 - Neighborhood Center
 - Regional Activity Center
 - Neighborhoods
 - Suburban Neighborhood Emerging
 - Suburban Neighborhood Established
 - Suburban Neighborhood Remotivated
 - Town Neighborhood Bank/Postoffice
 - Town Neighborhood Established
 - Town Neighborhood Preservation
 - Emerging Walkable Community
 - Rural Community
 - Special Districts
 - Alpine Road Industrial
 - GreenLeaf Business Center
 - Horch Gallatin Emerging Business Park
 - Seven Pines



Prepared by: **MACTEC**

Gallatin On The Move 2020
General Development & Transportation Plan

PC0305-14

Final Document: C:\Users\mchase\Documents\Gallatin\Gallatin On The Move 2020\Gallatin On The Move 2020.mxd
11/11/2019

ATTACHMENT 7-4

Gallatin Industrial Park Land Use (Character Area) Amendment (PC0305-14) – Future Land Use Amendment Consistency Review

Existing Land Use: Rural Community (vacant land)

Proposed Land Use: Airport Road Industrial Character Area for a proposed additional to the industrial park, Extension of Gateway Drive to the major thorough fare maps and relocation of the greenway in the Gallatin Industrial Park, Phase 2.

Acres: 9.34

Location: North Side of Gateway Drive and Gateway Drive Extension (Tax Parcel # xxx//00x.00 000)

Amending the Comp Plan: Chapter 6, Page 6-26.

Annual Amendments

Minor Plan Amendments

Adoption Procedures:

T.C.A. §13-3-104. Powers and functions of commission.

(a) It is the further duty of a regional planning commission to promote the mutual cooperation of the planning commissions of municipalities within the region, and the coordination of the plans of such municipalities with the plan of the region, and generally to confer with and advise municipal and county executives and legislative bodies and officials for the purpose of promoting a coordinated and adjusted development of the region. Any such commission may also advise county and municipal legislative bodies with respect to the formulation of public improvement programs and the financing of such programs. It may also cooperate with the planning, legislative or executive authorities of neighboring states, regions, counties or municipalities for the purpose of promoting coordination between the development of the region and adjoining or neighboring territory.

(b) All municipal, county and other local public officials shall, upon request, furnish to the commission, within a reasonable time, such available information as it may require for its work.

(c) The commission, its members and employees, in the performance of its functions, may enter upon any land and make examinations and surveys and place and maintain necessary monuments and marks on such land.

(d) In general, the commission has such powers as may be necessary for it to perform its functions and to promote regional planning.

T.C.A. §13-3-301 Making and adopting a general regional plan, states that the “regional plan, with accompanying maps, plats, charts, and descriptive matter, shall show the regional planning commission’s recommendations for the development of the territory covered by the plan, and may include ...a land classification and utilization program; and a zoning plan for the regulation of the height, area, bulk, location and uses of buildings, the distribution of population, and the uses of the land for trade, industry, habitation, recreation, agriculture, forestry, soil and water conservation and other purposes.”

Staff believes it is in the best interest of the City and the general public to operate on an adopted land use (general regional) plan. However, the City Council has not adopted the existing land use and development plan adopted by Resolution by the Planning Commission (The Gallatin on the Move 2020 Plan, City of Gallatin General Development and Transportation Plan Update 2008-2020).

The property is vacant and used for agricultural purposes.

The Multi-modal Transportation Plan, Exhibit 4-12, indicates a future greenway extending thorough a portion of the property from northeast to southwest. The proposed amendment proposes to modify or eliminate this future greenway.

NOT APPLICABLE: Contact Sumner County Schools to determine if the land use amendment would adversely affect future school facilities per INTERGOVERNMENTAL and REGIONAL COORDINATION Strategies, Objective: Work together with Sumner County Schools to achieve the mutual goals and policies and to efficiently plan for development in the community as a whole and not as individual parts.

NOT APPLICABLE FOR THIS AMENDMENT: Objective: Develop mechanisms designed to coordinate with the applicable portions of its Community Character Map with the plans of Hendersonville, Sumner County, Sumner County Schools and other entities. These mechanisms will be designed to ensure compatibility with various plans and will coordinate the locations of new facilities that affect land use patterns and services.

Several Comprehensive Plan objectives, as described in Chapter 6, would be met by considering and approving the land use change including:

Land Use and Growth Management:

Chapter 6, Implementation Program:

Land Use and Growth Management; Page 6-2:

Promote desired development patterns with incentives and preparation of master plans for large undeveloped areas where growth is expected over the next 20 years.

Encourage new employment centers and industry by providing the necessary infrastructure, while also remaining flexible to address future economic shifts and needs.

Preserve rural character by encouraging development in locations better suited to accommodate urban and suburban growth and adopting development regulations that preserve rural development patterns.

Fully recognize the economic and cultural value of preserving farming and agriculture in areas not designated for urban or suburban growth.

Natural Resources and Environment, Objectives, Page 6-4

Develop a comprehensive greenway and pocket park system.

Set aside land as development occurs in areas included in the City's Greenway Plan with the use of conservation easements, etc.

With the proposed Airport Road Industrial District land use, one strategy mentioned in the plan is that there should be increased street connection provided with this land use. The property to the east is now vacant agriculture land and is not platted. An extension of Gateway Drive is also proposed in conjunction with the land use/character area change and will be platted as part of an amendment or re-plat of the Gallatin Industrial Center Phase 2. A future extension of this roadway may occur.

The land use amendment and recently approved plat will affect the proposed placement of a greenway extending through the property as shown on the Exhibit 4-12, Proposed Bike/Ped Projects and Exhibit 3-1, Community Character Map. The proposed greenway partially extends through a portion of the Gallatin Industrial Park Phase 2. This amendment will reroute the alignment of the greenway through a portion of the area to allow facilitate the proposed development. The Greenway can be extended along the southerly boundary of the plat and industrial Area. The County greenway system is shown along the alignment of the former L & N Railroad right-of-way. The alignment will need to be relocated to accommodate future development of the industrial lots but consideration should be given to connecting the long term greenway alignment following the former railroad right-of-way to the north and east of the industrial area.

Retaining the greenway in proximity to the corridor, including modifying the location of the greenway in this area, will ensure that this objective is met.

ATTACHMENT 7-5

PLAN MAINTENANCE

The Gallatin Municipal-Regional Planning Commission is responsible for maintaining the plan to accurately reflect current community conditions and the community's vision and priorities for the future. Maintenance of the plan includes minor plan amendments, progress reports and significant plan updates, each of which is described in more detail below. In addition, the General Development Plan Amendment checklist is located in Appendix E.

ANNUAL AMENDMENTS

Annual plan amendments will provide opportunity for relatively minor updates and revisions such as changes in Character Area designations, implementation actions, and review of plan consistency with ordinances and regulations. Annual amendments should be an ongoing process throughout the year and be prepared and distributed in the form of addenda to the adopted plan. Planning Commission should review and approve proposed changes following plan adoption procedures.

MINOR PLAN AMENDMENTS

Minor amendments to the General Development and Transportation Plan provide the opportunity for relatively minor updates and revisions such as changes in Character Area designations, implementation actions, or for the annual review of Plan consistency with ordinances and regulations. Minor Plan Amendments should be processed throughout the year and be prepared and distributed in the form of addenda to the adopted plan. The Planning Commission should review and consider proposed amendments and hold a public hearing on the proposed amendments according to the standard plan adoption procedures.

PROGRESS REPORTS

The Planning Commission and its staff should prepare an Annual Report for submittal and presentation to the City Council. The report should contain the status of implementation, significant actions and accomplishments, as well as recommendations for needed actions and programs to be developed and implemented in the coming year. The time schedule for preparing the Annual Report should be coordinated with the preparation of the annual budget for the City of Gallatin so that the recommendations will be available early in the budgeting process.

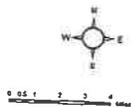
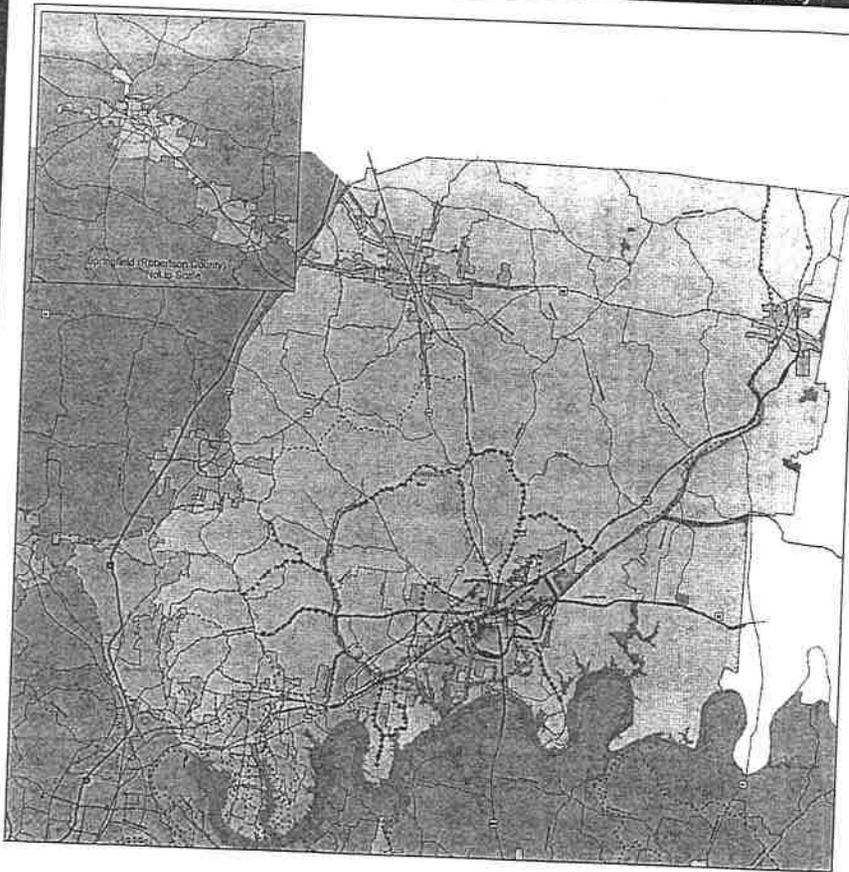
SIGNIFICANT PLAN UPDATES

Significant updates to the plan should occur at least every five years. These updates will ensure continued usefulness of the plan for use by public officials, staff, and others. Annual plan amendments from the previous years should be incorporated into the next major plan update. Plan updates will be a significant undertaking involving public officials, departments, and citizens and consultant services may be utilized if necessary. As part of a plan update, the base data including population projections and existing land use should be reviewed and updated. Additionally, the goals, objectives and policies of the plan should be analyzed and reviewed to determine their effectiveness and relevance to current conditions. Goals, objectives, and policies that were not previously achieved should be identified and new or modified elements should be developed as necessary. The result of a significant plan update will be a new plan for the City of Gallatin, including identification of current goals, objectives, and actions.

Regional Bicycle and Pedestrian Plan

A Strategic Vision for Bicycle and Pedestrian Transportation in the Greater Nashville Region

Existing and Planned Bicycle and Pedestrian Facilities in Sumner County



- Legend**
- Planned Bike Lane
 - Existing Greenway
 - Planned Greenway
 - Greenway Linear Construction
 - Major Roadways
 - Interstate
 - Railroad
 - Schools
 - Parks
 - University/College
 - Section of Water
 - MPO Planning Boundary
 - City Limits

Sumner County

Existing Facilities

- 520 Miles of Major Roadways
- 0 Miles of Signed Bike Routes
- 0 Miles of Signed Bike Lanes
- 21 Miles of Greenways & Multi-Use Paths
- Hundreds of Miles of Sidewalk

Important Facts

- 153,000 - Estimated Population
- 8th Most Populace and 4th Fastest Growing County in TN
- 21,000 (14%) Children Between the Age 5 and 14
- 18,000 (12%) Adults Over 65
- 2,500 (5.0%) Households Without an Automobile



Bike Route



Bike Lane



Greenway

