



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, March 25, 2013
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the agenda applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda and placed on the Regular Agenda for discussion. The item will then be considered according to its printed order listed on the Regular Agenda.

CONSENT AGENDA

- * 4. **GMRPC Resolution No. 2013-20** **PC0104-13**
FOXLAND, PHASE 5, SECTION 1 AND 2
BARGE WAGGONER SUMNER & CANNON, INC.

Applicant requests approval of a preliminary plat for Foxland, Phase 5, Section 1 and 2, a major subdivision, in order to create 31 single family lots. Property contains 13.43 (+/-) acres and is located on Foxland Boulevard and Boardwalk Place.

- * 5. **GMRPC Resolution No. 2013-22** **PC0107-13**
BUTTERBEAN BISTRO
CARROLL CARMAN, SURVEYING

Applicant requests approval of a Change of Use Site Plan changing the use from Residential; One Family Detached Dwelling to Food Service. Property contains 7.9 (+/-) acres and is located at 210 Douglas Bend Road.

- * 7. **GMRPC Resolution No. 2013-23** **PC0108-13**
TWIN EAGLES, PHASE EIGHT
BLUE RIDGE SURVEYING, INC.

Applicant requests acceptance of the public improvements for Beacon Street, Wildcat Run and Osprey Drive containing 9.30 (+/-) acres located in Twin Eagles, Phase 8.

REGULAR AGENDA

1. **APPROVE PRIOR MINUTES**

February 11, 2013 Planning Commission Work Session
February 25, 2013 Planning Commission meeting

2. **GMRPC Resolution No. 2013-19** **PC0044-12**
FAIRWAY FARMS, PHASES 2 & 3
BRUCE RAINEY & ASSOCIATES

Public Comment

Applicant requests approval of an Amended Preliminary Master Development Plan for Fairway Farms, Phases 2 and 3, in order to amend the phase lines, lot layout, open space, design standards and increase the overall density and number of units in the development. Property contains 154 lots on 82.83 (+/-) acres and is located north of Long Hollow Pike (SR-174) and west of Wendling Drive.

3. **GMRPC Resolution No. 2013-21** **PC0105-13**
FOXLAND, AMENDED PMDP - PHASE 5 & 6, REVISED FMDP - PHASE 5
BARGE WAGGONER SUMNER & CANNON

Applicant requests approval to amended the Preliminary Master Development Plan for Foxland at Fairvue, in order to revise the phase line between Phase 5 and Phase 6 and to divide Phase 5 into sections, and to revise the Final Master Development Plan for Phase 5. Property contains 31.40 (+/-) acres and is located on Foxland Boulevard, Boardwalk Place, and Fenner Lane.

- * 4. **GMRPC Resolution No. 2013-20** **PC0104-13**
FOXLAND, PHASE 5, SECTION 1 AND 2
BARGE WAGGONER SUMNER & CANNON, INC.

Applicant requests approval of a preliminary plat for Foxland, Phase 5, Section 1 and 2, a major subdivision, in order to create 31 single family lots. Property contains 13.43 (+/-) acres and is located on Foxland Boulevard and Boardwalk Place.

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Applicant requests approval of a Change of Use Site Plan changing the use from Residential; One Family Detached Dwelling to Food Service. Property contains 7.9 (+/-) acres and is located at 210 Douglas Bend Road.

6. **GMRPC Resolution No. 2013-17** **PC0106-13**
TEXT AMENDMENT GZO SECTION 08.01.010 CORE COMMERCIAL
CITY OF GALLATIN

Public Comment

The City of Gallatin requests approval to amend the Gallatin Zoning Ordinance, Section 08.01.010, Uses and Structures, in order to add the Undertaking Service use to the Core Commercial (CC) zone district and update Section 11.02.010.C. Applicability of Regulations to Core Commercial District, in order to update parking requirements for the CC zone district.

- * 7. **GMRPC Resolution No. 2013-23** **PC0108-13**
TWIN EAGLES, PHASE EIGHT
BLUE RIDGE SURVEYING, INC.

Applicant requests acceptance of the public improvements for Beacon Street, Wildcat Run and Osprey Drive containing 9.30 (+/-) acres located in Twin Eagles, Phase 8.

8. **GMRPC Resolution No. 2013-25** **PC0111-13**
VILLAGE GREEN (PUD) AMENDMENT - O'CHARLEY'S
DESIGN AND ENGINEERING, INC.

Applicant requests approval of an amendment to the Village Green Planned Unit Development (PUD) Plan, Tract A-1a in order to revise the Architectural Elevations and Signage for O'Charley's restaurant. Property contains 1.58 (+/-) acres and is located at 1009 Village Green Crossing.

9. **OTHER BUSINESS**

1. **GMRPC Resolution No. 2013-26**
SURETY RENEWALS AND EXTENSIONS:

- Twin Eagles, Ph. 8; PC File #8-5-07, site surety one-year renewal and extension for \$8,100.
- Woods Commons, Sec. 1; PC9827-11, subdivision surety one-year renewal and extension for \$93,000. (*The LOC for Woods Commons, Sec. 1 may be combined with the LOC for The Drive In, Ph. 1 & Ph. 2 for a total surety amount of \$127,000.*)

- The Drive In, Ph. 1 & 2; PC File #1-23-04C, subdivision surety one-year renewal and extension for \$34,000. *(The LOC for Woods Commons, Sec. 1 may be combined with the LOC for The Drive In, Ph. 1 & Ph. 2 for a total surety amount of \$127,000.)*
 - Oak Hill, Ph. 1; PC File #1-53-06C, subdivision surety one-year renewal and extension for \$119,000.
 - Cambridge Farms, Ph. 7, Sec. 2; PC0027-12, maintenance surety one-year renewal and extension for \$49,000.
- 2. Update on proposed cul-de-sacs at Drivers Lane and Loraine Drive in conjunction with TDOT's SR 109 improvement project.**

10. MOVE TO ADJOURN

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
WORK SESSION

February 11, 2013

MEMBERS PRESENT

Dick Dempsey, Chair
James Robert Ramsey, Vice Chair
Johnny Wilson, Secretary
Mayor Jo Ann Graves
Councilman John D. Alexander
Dr. Rick Orgain
John Puryear

STAFF PRESENT

Jim Svoboda, Community Development Coord.
Robert Kalisz, Planner II
Denise Knight, Planner I
Nick Tuttle, City Engineer
Brad Simpson, Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Applicants
Josh Cross, *The News Examiner*

The Gallatin Municipal-Regional Planning Commission met in a regular work session on Monday, February 11, 2013, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Without objection, Chair Dempsey moved Item 1 to the third item on the agenda.

Item 2: Discuss proposed amended PMDP and revised FMDP for Fairway Farms, Phases 2 and 3 (PC0044-12).

Chair Dempsey reminded the audience that this is not a voting meeting.

Mr. Jim Svoboda, Community Development Coordinator, asked the applicant's representative to explain the changes to the plan.

Mr. Bruce Rainey, Bruce Rainey and Associates, represented the applicant and stated that the Planning Commission asked for several changes at the last Planning Commission Work Session meeting. Mr. Rainey reviewed the table and said he added trees in the open space between the proposed Phase 2 and Phase 3. Mr. Rainey said he also added examples of the proposed homes. Mr. Rainey said the home styles are the same as what is being built in Fairway Farms now. Mr. Rainey said the density is being increased, but the home sizes and styles, the square footage, and the restrictions remain unchanged.

Mr. Rainey said there was discussion at the previous Planning Commission Work Session meeting regarding a gated area and a connection to Cambridge Farms Subdivision. Mr. Rainey said he did not make any changes to that area and it is still open. Mr. Rainey said if the Planning Commission requires the connection, a full entry or a crash gate can be installed.

Mr. Rainey said, in answer to Mayor Graves question at the last Planning Commission Work Session meeting, the cost of topping the roads in the gated community would be approximately \$100,000.

Chair Dempsey asked why the applicant wanted a gated community within the subdivision. Mr. Rainey said the builders have received requests for homes in a secure, gated area. Mr. Rainey said other gated communities are selling because of the increased security, despite the added cost.

Chair Dempsey said he is not fond of the placement of the gated community in a corner of the subdivision.

Mr. Ramsey asked how many lots are proposed. Mr. Rainey said there are 358 - 9,000 square foot lots as opposed to 279 - 9,000 square foot lots previously approved.

Mayor Graves said the connectivity was originally recommended by the Planning Commission; however, the City Council did not require the connection. Mayor Graves said she believes Goodall Homes was required to build for connectivity in the Cambridge Farm subdivision. Mr. Svoboda said the road was constructed to the property line in accordance with the subdivision regulations.

Mayor Graves said the 138 existing residents in the Fairway Farms subdivision were surveyed and they do not want the gated community. Mayor Graves said the existing residents should have priority over potential buyers.

Mayor Graves asked if there would be a price change on the new homes with the smaller lots. Mr. Rainey said the price would remain the same.

Mr. Puryear said he would like to see the dimensions of the proposed homes and added that he is not in favor of the gated community. Mr. Puryear said he is concerned that there is potential for devalued property if a gated community fails.

Chair Dempsey asked about the landscape strip behind the homes that front Wendling Drive. Mr. Rainey said this is open space and would create a good barrier between the large lots and the new proposed smaller lots. Mr. Rainey said the open space is maintainable and trees would be planted in the space. Mr. Rainey said the open space meets all of the requirements. Mr. Svoboda said lots have been rearranged and prior open space has been eliminated and new open space has been created. Mr. Svoboda said the PRD requires 20 percent open space and the subdivision has 25.9 percent overall. Mr. Svoboda said the open space has been reduced from 31 percent open space.

Mr. Ramsey asked Staff to comment on gated communities. Mr. Svoboda said, from a planning standpoint, he is concerned about the number of lots involved and the cost of maintenance to the roads.

Mr. Ramsey asked Staff for their opinion on connectivity. Mr. Svoboda said Staff would always recommend connectivity; however, City Council would have to approve the connectivity.

Dr. Orgain asked Mr. Svoboda his opinion on the best use of open space. Mr. Svoboda said it is ideal to have walking trails. Dr. Orgain said this space seems to only benefit those homes on the open space. Mr. Svoboda said even though the applicant is meeting the open space requirement, there is a significant reduction and Staff

is recommending that the proposed changes be considered a major change to the approved Preliminary Master Development Plan.

Mr. Ramsey asked if the open spaces are going to be used for drainage. Mr. Rainey said drainage is just in the front of the subdivision and this open space is not intended to be used for drainage.

Mr. Nick Tuttle, City Engineer, pointed to the drainage area on Baggins Court and Goodman Drive. Mr. Rainey said this drainage area already existed; however, the applicant maintains it.

Mr. Svoboda reminded the Planning Commission that the original plan did not a landscape buffer where the homes backed up to Cambridge Farms because the lot sizes were compatible. Mr. Svoboda said now that the lots are smaller, the buffer requirement would have to be met.

Chair Dempsey said the applicant may address some of the issues presented by the Planning Commission or he may decide to present this item at the next Planning Commission regular meeting for a vote. Chair Dempsey said public comment would be held at that meeting.

Mr. Rainey said he would be making a revised submittal on Wednesday. Chair Dempsey said it is possible that with a new submittal, the Planning Commission may vote to defer the item to the next Planning Commission Work Session.

Item 3: Discuss proposed rezoning of 14.35 (+/-) acres from Agricultural (A) to Industrial General (IG) located at 420A and 420B Odom's Bend Road (PC0095-13).

Mr. Robert Kalisz, Planner II, said the applicant is requesting to rezone 14 acres from Agricultural (A) to Industrial General (IG). Mr. Kalisz said there are two tracts of property located at 420 Odom's Bend Road.

Mr. Kalisz said the applicant is currently using Corps of Engineer property for a dock where sand is loaded for the concrete plant. Mr. Kalisz explained "special areas" in the *Gallatin on the Move 2020/General Development and Transportation Plan*, which is a character area.

Mr. Svoboda said Industrial General (IG) does not require a Preliminary Master Development Plan as a part of the rezoning. Mr. Svoboda said any permitted use in the Industrial General (IG) zone may be located on the property.

Chair Dempsey said he is concerned with the connection to SR109 and the amount of traffic, including tractor trailers. Mr. Svoboda said this port has been in use for 30 years to offload sand and gravel. Mr. Svoboda said the port is on the Corps of Engineer property and is not zoned.

Mr. Ramsey asked what is around this property. Mr. Svoboda said very few people live in the area. Mr. Ramsey asked Staff to bring the list of Industrial General (IG) permitted uses.

Mr. Ramsey said he is not against this; however, he is not in favor of rezoning the property to Industrial General (IG). Mr. Ramsey asked Staff to inventory the amount of Industrial General (IG) zoned property in the City.

Mayor Graves said Garrott Brothers is a good corporate citizen to Gallatin. Mayor Graves said the only consideration is long-term and asked Staff to see if there is another zone that would work for this use.

Mr. Svoboda said it might be possible to consider rezoning to a Specific Plan Zone District, which would give the City more control over the permitted uses on the property.

Chair Dempsey asked Mr. Tuttle to look at the traffic on SR109 and any potential problems. Mr. Tuttle said Engineering comments have been made regarding further traffic study.

Mr. Kalisz said the plan shows the concrete plant closer to the road and there is a 100 foot setback adjacent to residential, so the setback would have to be 100 foot on the front and sides. Mr. Kalisz added that the area is heavily wooded.

Mr. Richard Jones, with Rogers Engineering, represented the applicant and said a site plan has been created. Mr. Jones said the sand offloading is a part of Garrott Brothers as it is for concrete plants in the area. Mr. Jones said a traffic study would be sent to Engineering Division in the near future. Mr. Jones said the intersection is going from a Class D to a Class C, which is an upgrade.

Dr. Orgain asked how long it takes to empty a barge. Mr. Daniel Bugby, with Garrott Brothers, said it takes four hours to empty a barge.

Mr. Svoboda asked the Planning Commission if they were comfortable that the plant is appropriate for the site. Mr. Svoboda said if the Planning Commission is comfortable, Staff could work with the applicant to find a zone other than Industrial General (IG) that would work for the plant.

Mr. Puryear asked if the neighbors would be notified. Mr. Svoboda said signs would be posted this week.

Mr. Svoboda said this item would be on the Planning Commission regular meeting agenda. Chair Dempsey said if necessary a special-called meeting could be called.

Mr. Ramsey left the meeting at 6:00 p.m.

Item 1: Discuss Stormwater Water Quality Design and Best Management Practices.

Mr. Tuttle said the City of Gallatin is an MS4 Community, meaning it has a permit to operate as a community that discharges storm water into waters of the State. Mr. Tuttle said requirements come with that permit, including establishing more stringent water quality regulations.

Mr. Tuttle said the first full inch of rainfall is to be taken care of on the site for every storm event. Mr. Tuttle said this would help with water quality and water quantity. Mr. Tuttle said this requirement would be adopted in 2015.

Mr. Tuttle reviewed two treatment methods that have already been adopted by cities such as Nashville. Mr. Tuttle said the two methods are Total Suspended Solids (TSS) Reduction Method and Runoff Reduction Method (Green Infrastructure).

Mr. Tuttle first reviewed the TSS Reduction Method (TRM) and said this method implements a water quality standard to meet 80 percent TSS capture. Mr. Tuttle said in addition the primary method of treatment is reduction of “settleable” solids by detaining/retaining a specific volume of runoff and releasing it slowly over a period of days/hours.

Mr. Tuttle discussed applications such as Stormwater Wet Ponds, Constructed Wetlands, Bioretention Area/Rain Gardens, Sand Filter, Water Quality Swales, Dry Extended Detention Basins, Filter Strips, Grass Channels, and Infiltration Trenches.

Mr. Tuttle reviewed the Runoff Reduction Method (RRM) and applications such as, Infiltration-based BMP’s, Rainwater Harvesting and Use, Evapotranspiration, Green Infrastructure BMPs, Bioretention, Tree Planters/Urban Bioretention, Permeable Pavement, Water Quality Swale, Downspout Disconnection, Sheet Flow, Urban Reforestation, Rain Tanks/Cisterns, and Green Roof.

Mr. Tuttle said the Total Suspended Solids (TSS) Reduction Method is the method that Engineering Department is interested in adopting immediately to be compliant with the permit that the City has with TDEC. Mr. Tuttle said the Engineering Division would like to incorporate the Runoff Reduction Method (RRM) to the document as an option to developers.

Mr. Tuttle invited the Planning Commission to review the BMP and make any suggestions. Mr. Tuttle said a meeting was held with developers and homebuilders last week. Mr. Tuttle said he would like to bring this to the next Planning Commission Work Session for further discussion and then to the Planning Commission meeting for adoption.

Item 4: Discuss proposed amendments to Gallatin Zoning Ordinance, Section 13.07, Sign Regulations (PC0031-12).

Chair Dempsey said he is concerned about the proposed monument sign regulations. Ms. Denise Knight, Planner I, said the City is very generous compared to other cities in the area. Ms. Knight said the proposed size is less than the existing regulation, but still very generous.

Mayor Graves suggested that this item be place on a special-called meeting agenda. Chair Dempsey called a Special-Called Planning Commission meeting for Monday, February 18, 2013.

Mr. Svoboda invited the Planning Commission to look through the tables supplied by Ms. Knight before the special-called meeting on February 18, 2013.

Item 5: Other Business

There was no other business to discuss.

Item 6: Adjourn

There being no further business, Chair Dempsey adjourned the meeting at 7:20 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Chair Dick Dempsey

Johnny Wilson, Secretary

EXHIBIT A



Gallatin Municipal-Regional Planning Commission Work Session Agenda

Monday, February 11, 2013

Dr. J. Deotha Malone Council Chambers; 5 p.m.
Gallatin City Hall, 132 West Main Street

1. Discuss Stormwater Water Quality Design and Best Management Practices.
2. Discuss proposed amended PMDP and revised FMDP for Fairway Farms, Phases 2 and 3 (PC0044-12).
3. Discuss proposed rezoning of 14.35 (+/-) acres from Agricultural (A) to Industrial General (IG) located at 420A and 420 B Odom's Bend Road (PC0095-13).
4. Discuss proposed amendments to Gallatin Zoning Ordinance, Section 13.07, Sign Regulations (PC0031-12).
5. Other Business

ORIGINAL

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
MEETING

February 25, 2013

MEMBERS PRESENT

Dick Dempsey, Chair
Johnny Wilson, Secretary
Mayor Jo Ann Graves
Councilman John D. Alexander
Dr. Rick Orgain
John Puryear

STAFF PRESENT

Katherine Schoch, Interim Director Codes/Planning
Jim Svoboda, Community Development Coord.
Kevin Chastine, Planner II
Robert Kalisz, Planner II
Denise Knight, Planner I
Nick Tuttle, City Engineer
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

James Robert Ramsey, Vice Chair

OTHERS

Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular meeting on Monday, February 25, 2013, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey, Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Chair Dempsey asked if any representative in the audience requested to remove any item from the Consent Agenda. No one in the audience requested to remove any item from the Consent Agenda. Chair Dempsey asked if any member of the Planning Commission requested to remove any item from the Consent Agenda. No member of the Planning Commission requested to remove any item from the Consent Agenda.

Mayor Graves motioned to approve the Consent Agenda. Mr. Puryear seconded the motion and the motion passed by unanimous vote.

Item 1
Approve Prior Minutes

Mr. Wilson motioned to approve the minutes from the January 7, 2013 Gallatin Municipal-Regional Planning, Commission work session, the January 14, 2013 special-called Planning Commission meeting, and the January 28, 2013 regular Planning Commission meeting. Councilman Alexander seconded the motion and the motion passed by unanimous vote.

Item 2

GMRPC Resolution 2013-08 – PC0092-13 – Stratford Park, Phase 3, Section 2 – Barge Waggoner Sumner Cannon, Inc. – Applicant requests approval of a final plat for Stratford Park, Phase 3, Section 2, a major subdivision containing 14 lots on 3.65 (+/-) acres located on Stratford Park Boulevard near Saxony Way.

This item was approved by Consent Agenda with the following conditions:

1. The applicant shall correct surrounding property owner for Tax Map 125, Parcel 19.04 from Capital Bank NA to Stratford Park, A Tennessee General Partnership Deed Book 3642, pages 52-59.
2. The applicant shall correct surrounding property owner for Tax Map 125B, Group B, Parcel 4.00 from Capital Bank NA to Stratford Park, A Tennessee General Partnership.
3. The applicant shall relocate the label Common Amenity Area/Open Space to its proper location further north.
4. The applicant shall relocate the label (Map 125B/Group B/Parcel 4.00) Stratford Park Zoned: MRO to its proper location further north.
5. The applicant shall submit an Offer of Irrevocable Dedication.
6. The applicant shall contribute a pro-rata contribution towards construction of left turn lane on Long Hollow Pike based upon TDOT estimate for construction. This contribution will be based on the number of units in the development and must be submitted prior to recording of the plat.
7. The applicant shall provide an as-built survey of the public improvements prior to the acceptance of the public improvements.
8. The applicant shall submit a subdivision surety, in the amount to be determined by the Engineering Division, to the Codes/Planning Department prior to recording of the final plat.
9. The applicant shall submit a signage check, in the amount determined by the Engineering Division, to the Engineering Division prior to the recording of the final plat.
10. The applicant shall submit a utility surety, in the amount to be determined by the Public Utilities Department, to the Codes/Planning Department prior to the recording of the final plat.
11. The applicant shall submit three (3) corrected, folded copies of the final plat to the Codes/Planning Department prior to submittal of mylars/vellum and fees for recording. Please submit three (3) 18" x 24" size sheets to the Codes/Planning Department.
12. The applicant shall submit two (2) mylars and one (1) vellum, with all of the necessary signatures and recording fee, to the Codes/Planning Department in order for the final plat to be recorded.

Item 3

GMRPC Resolution 2013-09 – PC0093-13 – Stratford Park, Phase 3, Section 3 – Barge Waggoner Sumner Cannon, Inc.- Applicant requests approval of a final plat for Stratford Park, Phase 3, Section 3, a major subdivision containing 18 lots on 5.78 (+/-) acres located on East Sagewood Drive near Stratford Park Boulevard.

This item was approved by Consent Agenda with the following conditions:

1. The applicant shall correct surrounding property owner for Tax Map 125, Parcel 19.04 from Capital Bank NA to Stratford Park, A Tennessee General Partnership Deed Book 3642, pages 52-59.
2. The applicant shall show and label surrounding property owners and zoning for Cambridge Farms. (Refer to latest approved Stratford Park Preliminary Plat)

3. The applicant shall show and label property owners and tax map and parcel numbers for Lots 65-68 and 80-81.
4. The applicant shall correct scale in notes to 1" = 60'.
5. The applicant shall show and label address for Barge, Waggoner, Sumner & Cannon, Inc.
6. The applicant shall submit an Offer of Irrevocable Dedication.
7. The applicant shall contribute a pro-rata contribution towards construction of left turn lane on Long Hollow Pike based upon TDOT estimate for construction. This contribution will be based on the number of units in the development and must be submitted prior to recording of the plat.
8. The applicant shall provide an as-built survey of the public improvements prior to the acceptance of the public improvements.
9. The applicant shall provide proper monumentation at all lot and right-of-way corners.
10. The applicant shall submit a subdivision surety, in the amount to be determined by the Engineering Division, to the Codes/Planning Department prior to recording of the final plat.
11. The applicant shall submit a signage check, in the amount determined by the Engineering Division, to the Engineering Division prior to the recording of the final plat.
12. The applicant shall submit a utility surety, in amount to be determined by the Public Utilities Department, to the Codes/Planning Department prior to the recording of the final plat.
13. The applicant shall submit three (3) corrected, folded copies of the final plat to the Codes/Planning Department prior to submittal of mylars/vellum and fees for recording. Please submit three (3) 18" x 24" size sheets to the Codes/Planning Department.
14. The applicant shall submit two (2) mylars and one (1) vellum, with all of the necessary signatures and recording fee, to the Codes/Planning Department in order for the final plat to be recorded.

Item 4

GMRPC Resolution 2013-10 – PC0095-13 – Garrott Brothers Continuous Mix – Rogers Engineering Group – Public Comment – Applicant requests approval of a Preliminary Master Development Plan to rezone 14.35 (+/-) acres from Agricultural (A) to Specific Plan District (SP) for the Garrott Brothers Continuous Mix Development located at 420A and 420B Odoms Bend Road.

Mr. Robert Kalisz, Planner II, presented the staff report and stated the applicant is requesting approval of a Preliminary Master Development Plan to rezone 14.35 acres (+/-) from Agricultural (A) to SP Specific Plan District (SP). Mr. Kalisz said the rezoning request is to construct a concrete ready-mix plant on the northern tract. Mr. Kalisz said an existing legal non-conforming use would also be brought into compliance with this request.

Mr. Kalisz said a limited amount of land uses would be approved as a part of the zoning plan. Mr. Kalisz said a cement or concrete plant is proposed on the northern tract. Mr. Kalisz said on the southeastern tract, the applicant is proposing a use of transport and warehousing and steelworks other than those listed.

Mr. Kalisz said Staff recommends that the Planning Commission recommend approval of the rezoning request and Preliminary Master Development Plan for the Garrott Brothers Continuous Mix Development to City Council with the conditions listed in the staff report.

Chair Dempsey asked Mr. Nick Tuttle, City Engineer, if he had any engineering concerns with the request. Mr. Tuttle said he had no engineering concerns with the request.

Mr. Andy Leath, with Rogers Engineering, represented the applicant and said he agreed with all comments.

Chair Dempsey opened public comment. No one came forward to speak; therefore, Chair Dempsey closed public comment.

Mayor Graves asked what uses are allowed in the SP Specific Plan (SP) zone. Ms. Katherine Schoch, Interim Director Codes/Planning, said the only uses allowed would be the ones approved at this meeting.

Mayor Graves motioned to recommend the approval of the rezoning request with the following conditions:

1. The Planning Commission approved the proposed architectural elevations as submitted. The applicant shall submit final architectural elevations of the proposed building as part of the Final Master Development Plan for Planning Commission approval.
2. The Planning Commission approved the proposed landscaping plan as submitted. The applicant shall submit a detailed landscaping plan as part of the Final Master Development Plan for Planning Commission approval.
3. The applicant shall submit a detailed sign package as part of the Final Master Development Plan for review and approval by the Planning Commission. A sign permit is required prior to the installation of any signage on site.
4. The applicant shall add Parcel 31.00 to the Bulk Regulations title.
5. The applicant shall correct Maximum Building Height in the Bulk Regulations from 80 feet to 45 feet.
6. The applicant shall correct the Minimum Building Setback (collector) to Minimum Building Setback Line in the Bulk Regulations.
7. The applicant shall correct the Minimum Building/Structure Setback along Residential to Minimum Building/Structure Setback along Residential Districts.
8. The applicant shall the proposed uses in the Site Data: ready mix concrete plant-cement and/or concrete plant; sand and pea gravel offloading and hauling; transport and warehousing.
9. The applicant shall change Extensive Manufacturing to Commercial for the sand and pea gravel offloading and hauling; transport and warehousing in the Site Data.
10. The applicant shall add the following note to the plan: "The applicant shall submit a Final Master Development Plan to the Planning Commission for review and approval for the portion of the development pertaining to the process of crushing non-hazardous material (steel slag) within three (3) months from approval of rezoning request and Preliminary Master Development Plan by City Council".
11. The applicant shall correct the zoning for TVA Steam Plant in the Surrounding Property Uses to Agriculture (A) zone district.
12. The applicant shall correct and label the location of the monument sign to be 15 feet from the property line/right-of-way.
13. The applicant shall remove the label 'Signage on Wall' from the 10' High Gravel/Sand Bins.
14. The applicant shall submit a copy of the signed affidavit that adjacent property owners have been notified by mail once letters are mailed. The deadline to mail the letters is 15 days before the Public Hearing is held at City Council (not counting that date).
15. The applicant shall submit four (14) corrected copies of the Preliminary Master Development Plan Documents to the Codes/Planning Department by Friday, March 1, 2013; 8 a.m.

Mr. Wilson seconded the motion and the motion passed by unanimous vote.

Item 5

GMRPC Resolution 2013-11 – PC0088-13 – RC Tenn, LLC – 23,000 SF Warehouse Addition – Rogers Engineering Group – Applicant requests approval of a 23,000 square foot warehouse addition to an existing building and an additional parking lot containing 20 spaces. Property is located at 241 Commerce Way and contains 11.62 (+/-) acres.

This item as approved by Consent Agenda with the following conditions:

1. Planning Commission approved the landscaping and bufferyard plan as submitted.
2. Planning Commission shall consider the proposed alternative architectural plan and make a determination if it meets the requirements for an alternative plan approval as permitted in Section 13.08.010.D.
3. The applicant shall understand that if the Planning Commission does not approve the proposed alternative architectural plans, as submitted, the architectural elevations shall be updated to meet the requirements of Section 13.08.010 of the Gallatin Zoning Ordinance.
4. The applicant shall submit a photometric plan and details for all lighting that is being proposed for both the building addition and new parking area. This photometric plan shall be in compliance with Section 13.02.080 and TABLE 13-04 of the Gallatin Zoning Ordinance.
5. The applicant shall understand a sign permit is required for any additional signage that may be requested in the future.
6. The applicant shall specify specific type and size of sock and add a standard detail for installation based on manufacturer specifications for the Filtrexx Filter Socks application.
7. The applicant shall submit a site surety in an amount to be determined by the applicant prior to the issuance of a building permit.
8. The applicant shall submit three (3) corrected and folded copies of the site plan to the Codes/Planning Department prior to the issuance of a building permit.

Item 6

GMRPC Resolution 2012-05 – PC0044-12 – Fairway Farms, Phase 2 & 3 – Bruce Rainey & Associates – Public Comment – Applicant requests approval of an Amended Preliminary Master Development Plan for Fairway Farms, Phase 2 and 3, in order to amend the phase lines, lot layout, open space, design standards and increase the overall density and number of units in the development. Property contains 164 lots on 82.83 (+/-) acres and is located north of Long Hollow Pike (SR-174) and west of Wendling Boulevard.

Mr. Jim Svoboda, Community Development Coordinator, presented the staff report and stated that some information has been clarified, which was discussed previously. Mr. Svoboda said staff recommends that this item be deferred to further discuss and gather more information.

Mr. Svoboda briefly discussed the history of this item. Mr. Svoboda said the density has increased with a change in the size of the lots. Mr. Svoboda said Staff believes the proposed smaller lots will have a greater impact on the currently approved plan. Mr. Svoboda said the applicant has removed the gated community section and has added the roadway connection into Cambridge Farms subdivision through Wentworth Drive. Mr. Svoboda said Staff is concerned with the visual change.

Mr. Svoboda said he is concerned about the landscape buffer along Cambridge Farms Subdivision. Mr. Svoboda said there is a Type-25 bufferyard required because of the change in lot size. Mr. Svoboda said the buffer is on individual properties and would not be able to be used by the homeowner.

Mr. Svoboda said Staff recommends that Chair Dempsey call public comment and the Planning Commission defer the item.

Chair Dempsey opened public comment.

Mr. Ron Gilliam, with Fox Ridge Homes, said Mr. Holcomb has maintained this community and has done a wonderful job. Mr. Gilliam said, despite the rumor, Fox Ridge Homes is building a minimum ground level of 2,000 square foot homes with prices starting at \$231,900. Mr. Gilliam said Fox Ridge is out of lots at the present time and he asked the Planning Commission to approve the plan so that they may move forward.

Mr. David Graves said he was the first homeowner in Fairway Farms. Mr. Graves said the Executive Summary provided to the Planning Commission at a previous meeting stated the facts of the subdivision. Mr. Graves said the original petition to the City had 135 signatures. Mr. Graves presented a new petition with over 204 signatures, which represents 90 percent of the community. A copy of the petition is attached to these minutes as Exhibit B. Mr. Graves said the covenants must be changed to match the new lot sizes. Mr. Graves said the green space behind homes cannot be used by other residents and the residents should not be charged to maintain this strip of property.

Mr. Terry Baldwin said he searched long and hard to find a place in Gallatin for his home. Mr. Baldwin said he was delighted with the homes and the lot sizes, as well as the amenities. Mr. Baldwin said Fox Ridge Homes was recently vilified by a local television station regarding inferior home construction. Mr. Baldwin said Fox Ridge Homes did not respond to the call.

Mr. Brian Crouse said he chose this development because of the distance between homes. Mr. Crouse said he moved here from southern Florida and is concerned the increased density would make this community look like those very small lots in Florida. Mr. Crouse said the developer does not give direct answers to questions.

Ms. Shanon Gamblin said she is concerned for her family and the increased traffic and the safety of the children.

Ms. Linda Dudley said she moved here from Dallas, Texas and chose this community because she and her husband are retired and liked the small community and the community pool. Ms. Dudley said her concern is that if the density increases, the pool would be crowded all the time, which would make it difficult to enjoy. Ms. Dudley said the roads are already in bad condition.

No one else came forward to speak; therefore, Chair Dempsey closed public comment.

Chair Dempsey asked Mr. Tuttle about the road. Mr. Tuttle said the top coat has not been applied to the road. Mr. Tuttle said the subdivision regulations allow the final acceptance of the road to occur four years or after 80 percent development. Mr. Tuttle said the development is not 80 percent complete.

Mr. Bruce Rainey, with Bruce Rainey and Associates, represented the applicant and said he had addressed all concerns of the Planning Commission at the previous meeting. Mr. Rainey said the proposed homes are built the same as what was built in the previous phase of this development. Mr. Rainey said the lot sizes are smaller; however, the prices are the same. Mr. Rainey said the homes would sell for \$275,000.

Mr. Rainey said the restrictive covenants of the community would not be changed. Mr. Rainey said the gated community was removed, and the connection to Cambridge Farms subdivision was added.

Mr. Rainey said there is a misconception that there would be zero lot lines; however, this is not the plan. Mr. Rainey said he could move the road over and move the buffer over to keep the buffer off individual properties. Mr. Rainey said the home sizes are the same as was previously built in Fairway Farms.

Mr. Rainey said he would be open to any other changes that the Planning Commission suggests.

Mayor Graves said the Preliminary Master Development Plan states all 9,000 square foot lots would have a ground floor foot print of 1,400 square feet, with a second floor minimum square footage of 300. Mayor Graves said Mr. Gilliam, with Fox Ridge Homes, said the minimum ground square footage would be 2,000.

Mr. Rainey said the square footage on the Preliminary Master Development Plan is what is recorded in the restrictive covenants. Mr. Rainey said Fox Ridge Homes builds a higher standard and is committed to 2,000 square feet. Mr. Rainey said the plan was not to change the restrictive covenants in any way.

Mayor Graves said the restrictive covenants should be changed to match Fox Ridge Homes plan to build 2,000 square feet so that a builder cannot build a 1400 square foot ground floor.

Mr. Rainey said he would discuss this with the developer.

Mr. Svoboda said the manor homes must be clarified because the minimum square footage on the Preliminary Master Development Plan says the manor homes and the village homes are the same. Mr. Svoboda said the home dimensions may not fit on the 9,000 square foot lots; therefore, it must be specified which homes go on which lots..

Mr. Puryear said he is concerned about the drainage issue between the lots that have a five (5) foot sideyard.

Chair Dempsey explained the difference between a major and minor amendment to the Preliminary Master Development Plan.

Chair Dempsey motioned to consider the changes to the Preliminary Master Development Plan a major amendment due to the increased density. Dr. Orgain seconded the motion and the motion passed by unanimous vote.

Mr. Svoboda said there are several factors that are confusing such as the size and style of the homes, the overall design. Mr. Svoboda said there are estate lots in the front of the plan and the new proposed lots are much smaller. Mr. Svoboda it may be appropriate to look at the density in the northern area. Mr. Svoboda said it is

required by State law to provide finding of facts. Mr. Svoboda said one thing to look at is “is one property owner going to benefit to the detriment of another property owner”.

Mr. Svoboda said he believes more input should be gathered from the existing residents. Mr. Svoboda said deferring tonight would allow more time to look into more beneficial changes.

Mr. Rainey said the applicant would like to ask for a deferral to allow the applicant to put together some changes based on Staff’s input.

Mr. Wilson motioned to defer this item to the next Planning Commission work session.

Chair Dempsey suggested the applicant look at the long strip of buffer used as open space, located behind the homes.

Mayor Graves reiterated that the restrictive covenants should be reviewed to match what is being proposed.

Chair Dempsey said he would be comfortable increasing 10 lots; however, more than 15 lots would be too much.

Councilman Alexander seconded the motion and the motion passed by unanimous vote.

Item 7
Other Business

GMRPC Resolution No. 2013-14 – Surety Renewals and Extensions

1. Ms. Schoch said Staff recommends approval of the one-year renewal and extension of the following:

- Estates of Fairway Heights, Phase 1; PC File #8-5-06, site surety one-year renewal and extension for \$7,500.
- Dr. Schuh’s Building; PC9932-11, site surety one-year renewal and extension for \$12,500.
- Baywood Pointe, Ph. 3 (Suggs); PC File #1-2-06C, subdivision surety one-year renewal and extension for \$40,750.
- Cairo Landing, Phase 1; PC9928-11, maintenance surety one-year renewal and extension for \$26,000.

Chair Dempsey motioned to approve the one-year renewal and extension. Mr. Wilson seconded the motion and the motion passed by unanimous vote.

2. GMRPC Resolution No. 2013-15 – Dover Cliff, Lot 3 – Aspen Dental Window Signage

Ms. Denise Knight, Planner I, presented the staff report and said the applicant is requesting approval to install interior mount window graphics to the windows on the front and right facades of the business. Ms. Knight said the zoning is Planned Neighborhood Commercial (PNC). Ms. Knight said the windows take up a large percent of the front and right facades; therefore, Staff feels the Planning Commission should review and approve the proposed window signage.

Ms. Knight said Staff recommends approval of the proposed window signage with the condition that the window graphics shall not exceed the square footage or percentage as presented.

Mr. Blake Taylor said he works for the sign company on this project and further explained the proposed signage.

Mr. Wilson motioned to approve the proposed window signage. Councilman Alexander seconded the motion and the motion passed by unanimous vote.

Item 8
Move to Adjourn

There being no further business, Vice Chair Ramsey adjourned the meeting at 6:15 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



EXHIBIT A

Agenda Gallatin Municipal-Regional Planning Commission

Monday, February 25, 2013
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission - 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the agenda applicant for that item that wishes to discuss an item listed on the Consent Agenda may request an item be removed from the Consent Agenda and placed on the Regular Agenda for discussion. The item will then be considered according to its printed order listed on the Regular Agenda.

CONSENT AGENDA

- * 2. **GMRPC Resolution 2013-08** **PC0092-13**
STRATFORD PARK, PHASE 3, SECTION 2
BARGE WAGGONER SUMNER CANNON, INC.

Applicant requests approval of a final plat for Stratford Park, Phase 3, Section 2, a major subdivision containing 14 lots on 3.65 (+/-) acres. Property is located on Stratford Park Boulevard near Saxony Way.

- * 3. **GMRPC Resolution 2013-09** **PC0093-13**
STRATFORD PARK, PHASE 3, SECTION 3
BARGE WAGGONER SUMNER CANNON, INC.

Applicant requests approval of a final plat for Stratford Park, Phase 3, Section 3, a major subdivision containing 18 lots on 5.78 (+/-) acres located on East Sagewood Drive near Stratford Park Boulevard.

- * 5. **GMRPC Resolution 2013-11** **PC0088-13**
RC TENN, LLC - 23,000 SF WAREHOUSE ADDITION
ROGERS ENGINEERING GROUP

Applicant requests approval of a 23,000 square foot warehouse addition to an existing building and an additional parking lot containing 20 spaces. Property is located at 241 Commerce Way and contains 11.62 (+/-) acres.

REGULAR AGENDA

1. **APPROVE PRIOR MINUTES**

January 7, 2013 Planning Commission Special-Called meeting
January 14, 2013 Planning Commission Work Session
January 28, 2013 Planning Commission meeting

- * 2. **GMRPC Resolution 2013-08** **PC0092-13**
STRATFORD PARK, PHASE 3, SECTION 2
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- * 3. **GMRPC Resolution 2013-09** **PC0093-13**
STRATFORD PARK, PHASE 3, SECTION 3

BARGE WAGGONER SUMNER CANNON, INC.

Applicant requests approval of a final plat for Stratford Park, Phase 3, Section 3, a major subdivision containing 18 lots on 5.78 (+/-) acres located on East Sagewood Drive near Stratford Park Boulevard.

4. **GMRPC Resolution 2013-10** **PC0095-13**
GARROTT BROTHERS CONTINUOUS MIX
ROGERS ENGINEERING GROUP

Public Comment

Applicant requests approval of a Preliminary Master Development Plan to rezone 14.35 (+/-) acres from Agricultural (A) to Specific Plan District (SP) for the Garrott Brothers Continuous Mix Development located at 420A and 420B Odoms Bend Road.

- * 5. **GMRPC Resolution 2013-11** **PC0088-13**
RC TENN, LLC - 23,000 SF WAREHOUSE ADDITION
ROGERS ENGINEERING GROUP

Applicant requests approval of a 23,000 square foot warehouse addition to an existing building and an additional parking lot containing 20 spaces. Property is located at 241 Commerce Way and contains 11.62 (+/-) acres.

6. **GMRPC Resolution 2012-05** **PC0044-12**
FAIRWAY FARMS, PHASES 2 & 3
BRUCE RAINEY & ASSOCIATES

Public Comment

Applicant requests approval of an Amended Preliminary Master Development Plan for Fairway Farms, Phases 2 and 3, in order to amend the phase lines, lot layout, open space, design standards and increase the overall density and number of units in the development. Property contains 164 lots on 82.83 (+/-) acres and is located north of Long Hollow Pike (SR-174) and west of Wendling Boulevard.

7. **OTHER BUSINESS**

1. **GMRPC Resolution No. 2013-14**
SURETY RENEWALS AND EXTENSIONS:

1. Estates of Fairway Heights, Ph. 1; PC File #8-5-06, site surety one-year renewal and extension for \$7,500.
2. Dr. Schuh's Building; PC9932-11, site surety one-year renewal and extension for \$12,500.
3. Baywood Pointe, Ph. 3 (Suggs); PC File #1-2-06C, subdivision surety one-year renewal and extension for \$40,750.
4. Cairo Landing, Ph. 1; PC9928-11, maintenance surety one-year renewal and extension for \$26,000.

2. **GMRPC Resolution No. 2013-15**
Dover Cliff, Lot 3 – Aspen Dental Window Signage

The applicant is requesting approval to install interior mount window graphics to the windows on the front and right façades of the business. The window area on the front façade is 224.60 square feet with the proposed window graphics covering 34.8 square feet, or 15.5 percent of the windows. The window area on the right façade is 259.03 square feet with the proposed window graphics covering 44.96 square feet, or 17.3 percent of the windows. The window graphics conform to the current Gallatin Zoning Ordinance, which does not regulate interior window signage. The applicant has reduced the size of the proposed window graphics to conform to the regulations for interior window signage in the proposed sign ordinance, which states a maximum of 20 percent coverage of the window area per façade is permitted.

The property is zoned Planned Neighborhood Commercial (PNC). The development was approved as part of a preliminary master development plan. Attached is the architectural plan approved as part of the amended preliminary master development plan and revised final master development plan by Planning Commission at the April 23, 2012 meeting, and an illustration of the proposed window graphics. A detailed sign package was not submitted for Planning

EXHIBIT A

Commission approval at the time of the revised preliminary master development plan, and the window graphics were not part of the approved architectural plan. Since the front and right facades include a large percentage of windows, staff felt that the Planning Commission needed to review and approve the proposed window signage. The applicant will have a representative at the meeting to present the proposed window signs. The applicant shall obtain Planning Commission approval prior to the installation of the interior window graphics. The window graphics shall not exceed the square footage or percentage as presented.

8. MOVE TO ADJOURN

RESOLUTION RECOMMENDING APPROVAL OF AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR FAIRWAY FARMS, PHASES 2 AND 3, IN ORDER TO AMEND THE PHASE LINES, LOT LAYOUT, OPEN SPACE, DESIGN STANDARDS AND INCREASE THE OVERALL DENSITY AND NUMBER OF UNITS IN THE DEVELOPMENT. PROPERTY CONTAINS 154 LOTS ON 82.83 (+/-) ACRES AND IS LOCATED NORTH OF LONG HOLLOW PIKE (SR-174) AND WEST OF WENDLING BOULEVARD – PC0044-12

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the rezoning request submitted by the applicant, Bruce Rainey and Associates, at its regular meeting on March 25, 2013; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, attached hereto as Exhibit A, and the evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-103 and 13-4-102:

1. This zoning amendment is in agreement and consistent with the recommendations of the General Development and Transportation Plan for the area.
2. It has been determined that the legal purposes for which zoning regulations exists are not contravened.
3. It has been determined that there will not be an adverse effect upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
4. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby considers the zoning amendment to be a major amendment to the approved Preliminary Master Development Plan and hereby recommends approval of the Amended Preliminary Master Development Plan to the Gallatin City Council with the following conditions:

1. The Planning Commission approve the conceptual architectural elevations and photographs as submitted. The applicant shall submit final architectural elevations of the proposed building as part of the Final Master Development Plan for Planning Commission approval.

2. The Planning Commission approve the conceptual landscaping plan as submitted. The applicant shall submit a detailed landscaping plan as part of the Final Master Development Plan for Planning Commission approval.
3. The applicant shall submit detailed plans and specifications for the installation of the water and sanitary sewer infrastructure for approval by the Gallatin Public Utilities Department.
4. The applicant shall satisfactorily address the Engineering Division review comments as part of the approval of the Final Master Development Plan and Construction Plans for Phases 2 and 3.
5. The applicant shall submit a copy of the signed affidavit that adjacent property owners have been notified by mail once letters are mailed. The deadline to mail the letters is 15 days before the Public Hearing is held at City Council (not counting that date).

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 03/25/2013

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY

ITEM 2 3/25/13 GMRPC MEETING

Public Comment

Applicant requests approval of an Amended Preliminary Master Development Plan for Fairway Farms, Phases 2 and 3, in order to amend the phase lines, lot layout, open space, design standards and increase the overall density and number of units in the development. Property contains 154 lots on 82.83 (+/-) acres and is located north of Long Hollow Pike (SR-174) and west of Wendling Boulevard. (PC0044-12)

- Attachment 2-1 Amended Preliminary Master Development Plan
- Attachment 2-2 Fairway Farms Architectural Exhibit, Rev. 3/21/13
- Attachment 2-3 Email, J. Bruce Rainey, 3/22/13

ANALYSIS

The applicant is requesting approval of an Amended Preliminary Master Development Plan for Fairway Farms, Phases 2 and 3, in order to amend the phase lines, lot layout, open space, design standards and increase the overall density and number of units in the development. The property contains 154 lots on 82.83 (+/-) acres and is located north of Long Hollow Pike (SR-174) and west of Wendling Boulevard. The property is currently zoned R15 Planned Residential Development (R15 PRD) and One-Family Detached Dwellings are a permitted use in the R15 PRD zone district. A portion of the property is located in a special flood hazard area, Zone AE.

Previous Approvals

Rezoning and Approval of Preliminary Master Development Plan

- City Council originally approved the Preliminary Master Development Plan (PMDP) for Fairway Farms and rezoned the property from Agricultural (A) to Residential-R15 Planned Residential Development (R15 PRD) on January 4, 2005.
- The original PMDP that was submitted for consideration by the Planning Commission contained a total of 479 lots on 261.17 acres. The PMDP was divided into two parts, Area A and Area B. Area A contained a mixture of lot sizes ranging from 9,000 square feet to 18,000 square feet while Area B consisted entirely of 9,000 square foot lots. The PMDP included alley loaded lots in portions of Area A and roadway connections into Cambridge Farms and Eagle Creek. However, when the PMDP was considered by City Council, the Council approved the PMDP with revisions removing the connections into the adjoining subdivisions and required the developer to add a roadway and bridge crossing to connect areas A and B. The approved PMDP contained a total of 482 lots with a density of 1.85 dwelling units per acre and 27.7 percent open space.

Lot Count – Original PMDP Approved for Fairways Farms – January 2005

Number of Lots	Area “A”	Area “B”	Total
18,000 sq.ft.	62	0	62
15,000 sq.ft.	138	0	138
9,000 sq.ft.	119	163	282
Total	319	163	482

Revised Preliminary Master Development Plan

- The Planning Commission approved a minor amendment to the PMDP on November 28, 2005 to remove the alleys that were originally planned to serve the lots in Area A located in the front of the development. The Revised PMDP approved by Planning Commission contained a total of 472 lots with a density of 1.81 dwelling units per acre and 31.4 percent open space.

Lot Count – Revised PMDP Approved for Fairways Farms – November 2005

Number of Lots	Area “A”	Area “B”	Total
18,000 sq.ft.	62	0	62
15,000 sq.ft.	131	0	131
9,000 sq.ft.	116	163	279
Total	309	163	472

Final Master Development Plans, Preliminary and Final Plats

- Various Final Master Development Plans, Preliminary Plats and Final Plats have been approved by the Planning Commission for Phase 1, Sections 1 to 4 and Phase 3, Section 1. According to a summary submitted by the applicant, the following number of lots have been approved to date:

Lot Count – As-built for Fairway Farms Phase 1, Sections 1 – 4, and Phase 3, Section 1

Number of Lots	Area “A”	Area “B”	Total
18,000 sq.ft.	69	0	69
15,000 sq.ft.	75	0	75
**12,000 sq.ft.	13	0	13
9,000 sq.ft.	37	0	37
Total	194	0	194

** *The 12,000 sq.ft. lots are not shown as a separate lot size category on the approved Revised PMDP. The applicant is requesting approval to add the 12,000 sq.ft. lot category to the site data table as part of the proposed amendment to the PMDP.*

Major/Minor Amendment

As part of the zoning amendment to R15 PRD, the applicant was required to submit a PMDP to the Planning Commission and City Council for approval outlining the proposed improvements and development for the property. Any changes to the approved PMDP require review by the Planning Commission and any changes that the Planning Commission deems to be major amendments are required to be reviewed and approved by the City Council.

The property has been posted with Zoning Action Pending signs in case the Planning Commission determines that the proposed changes constitute a major amendment to the approved PMDP. If the Planning Commission decides to consider the proposed changes as a major amendment to the approved PMDP, Public Comment will be held at the Planning Commission meeting and the plan and Planning Commission recommendation will be forwarded to City Council for final action. If the project proceeds to City Council, the applicant is required to notify the adjoining property owners by mail regarding the required Public Hearing and notice of the Public Hearing for this project will be advertised in the newspaper.

Proposed Amendments to PMDP

The applicant is requesting approval to amend the PMDP for Fairway Farms in order to increase the overall density and number of units in the development, amend the phase lines for Phases 2 and 3 and revise the overall lot layout, lot sizes, amount of required open space and design standards for the development. The applicant made the following revisions to the proposed PMDP amendment based on staff review comments, comments received at several Planning Commission Work Sessions and a neighborhood meeting with residents in the development:

- The applicant has revised the proposed PMDP amendment to decrease the total number of additional number of lots from 49 to 29 lots.

- Thirty-three 9,000 square foot lots have been replaced with 15,000 square foot lots.
- The required open space for Phases 2 and 3 was reduced from 42.8 percent to 39.8 percent. The overall required open space exceeds the minimum 20 percent required by the Zoning Ordinance.
- The required bufferyard adjacent to Cambridge Farms was revised to show the existing trees located along this property line. The applicant has requested that the existing trees be counted towards meeting the required buffer yard requirements. The applicant shall be required to submit a tree survey as part of the approval of the Final Master Development Plan.
- Additional architectural plans were submitted and added to the architectural design standards booklet and the minimum requirements for the 9,000, 12,000, and 15,000 square foot lots were revised to increase the minimum house size to 1,800 square feet for ranch style houses and 2,000 square feet for a two story houses. The proposed changes have been noted in the General Design Notes on the Preliminary Master Development Plan and will only apply to the changes proposed in Phases 2 and 3.
- The Wentworth Drive connection that was previously added in response to staff review comments about the substantial increase in density has been removed. The applicant indicated that the connection was removed based on feedback received from existing residents in the development during the neighborhood meeting and is in keeping with the previously approved PMDP.
- Additional technical changes have been made to update the site data table and revise the typical road cross-section to match the previously approved section.
- The side yard requirement for the 9,000 square foot lots has been increased from 5-feet to 10-feet.

Engineering Division Comments

The Engineering Division had several comments during the initial review of the proposed amendment. The following items were not addressed as part of the resubmittal and need to still be addressed by the applicant:

- Provide street names for all proposed roadways.
- Updated drainage calculations will be required for Phases 2 and 3 at construction plan stage due to proposed changes.
- Label floodway as stream buffer as well. No disturbance will be allowed within stream buffer.
- Add note to PMDP that traffic calming measures will be required at construction plan stage.
- Remove paving schedule.

Other Departmental Review Comments

The following other departmental comments for this project will need to be addressed by the applicant and included as part of any conditions of approval.

Fire Department

- Location of fire hydrants needs to be shown.

Public Utilities/Industrial Pre-Treatment

- Approval for previously submitted water/sanitary sewer plans have expired.
- Detailed plans and specifications indicating new proposed phases shall be submitted to this Department for review and approval.

RECOMMENDATION

Staff recommends that the Planning Commission consider the proposed amendment to the Preliminary Master Development Plan a Major Amendment pursuant to Gallatin Zoning Ordinance Section 12.02.050 A and F.

Staff recommends that the Planning Commission recommend approval of the Amended Preliminary Master Development Plan for Fairway Farms Phase 2 and 3 to City Council with the following conditions of approval:

1. The Planning Commission approve the conceptual architectural elevations and photographs as submitted. The applicant shall submit final architectural elevations of the proposed building as part of the Final Master Development Plan for Planning Commission approval.
2. The Planning Commission approve the conceptual landscaping plan as submitted. The applicant shall submit a detailed landscaping plan as part of the Final Master Development Plan for Planning Commission approval.
3. The applicant shall submit detailed plans and specifications for the installation of the water and sanitary sewer infrastructure for approval by the Gallatin Public Utilities Department.
4. The applicant shall satisfactorily address the Engineering Division review comments as part of the approval of the Final Master Development Plan and Construction Plans for Phases 2 and 3.
5. The applicant shall submit a copy of the signed affidavit that adjacent property owners have been notified by mail once letters are mailed. The deadline to mail the letters is 15 days before the Public Hearing is held at City Council (not counting that date).

Tony Allers

Director

CITY OF GALLATIN, TENNESSEE

Gallatin Codes/Planning Department

Katherine Schoch

Assistant Director

Project Comments

Meeting Date: 03/25/2013

RE: FAIRWAY FARMS, PHASES 2 & 3, Preliminary Master Development Plan

Reference #: PC0044-12

Department of Public Utilities

Review Date:

2/4/2013: 2nd Amended Resubmittal:

Detailed plans and specifications for water and sanitary sewer installations must be submitted for approval.

01/03/2013: Amended Resubmittal:

Must submit detailed plans and specifications for water and sanitary sewer approval.

Resubmittal: 11/19/2012

1. Must submit detailed plans & specifications for water and wastewater installations for approval.

09/27/2012

1. Detailed plans and specifications for water and sanitary sewer installations must be submitted for approval.

Planning Department

Codes/Planning Department Project Manager: Jim Svoboda 2nd Amended Resubmittal

Review date: 2/12/2013

1. Correct site data table - site acreage in Revised Part A and B should be 261.70 (+/-) acres.
2. Note 6 says open space shall be owned and maintained by HOA. Has existing current open space been transferred to the HOA?
3. Remove gated section.
4. If Planning Commission recommends approval of revising plan, Staff recommends connection to Wentworth Drive by constructed due to increase in density.
5. What scale is being used: 1" = 100'?
6. Clarify in Ph. 2 & #, where changes are being proposed, the number of existing and proposed 18,000, 15,000, 12,000 and 9,000 to better be able to determine scope of proposed changes in Area A.
7. Type 25 foot buffer adjacent to Cambridge Farms is proposed in bufferyard easement. Add note stating buffers shall be maintained by property owner.

Tony Allers

Director

CITY OF GALLATIN, TENNESSEE

Gallatin Codes/Planning Department

Katherine Schoch

Assistant Director

8. Staff has concerns about the impact of the increased density and layout changes on the existing development especially from Turnbo Drive south on Goodman to Long Hollow Pike.
9. Reserved area shown on Nelms was part of required open space/clubhouse area. Explain Reserve category.
10. Resubmittal may be submitted by Monday, February 18, 2013 by 10 AM.
11. Made sure dimensions and square footages for proposed buildings/architectural plans are clearly labeled in pattern book.
12. Submit sixteen (16) full sized, corrected, folded copies of the resubmittal documents and 16 architectural elevations if needed.
13. Submit digital copies of plans and supporting information/correspondence pertaining to this project in the following formats: DGN or DWG file (MicroStation version "J" software) of subdivision plats, site plans, PMDP, and FMDP. Submit PDF files of all pages of subdivision plats, site plans, PMDP, and FMDP and submit PDF files of all supporting documents and correspondence. Label file formats on CD.
14. Submit a detailed response letter addressing all departmental review comments.
15. RETURN CHECKPRINT & CHECKLIST
16. Resubmittal documents must be turned in to the Codes/Planning Department by 10:00 AM on Monday, February 18, 2013.
17. Resubmittals must include the above information in order to be considered a complete resubmittal.

Codes/Planning Department Project Manager: Jim Svoboda Amended Resubmittal: 1/14/2013

1. Correct Site Data Table. Site Data Table needs to reflect totals for overall development including area "A" and "B". total site size is 261.17 (+/-) acres. See site data table from approved PMDP. If you want to still break down changes for areas "A", that is o.k.. Just make sure to include area "B" in table. New totals also need to reflect area "B".
2. Lots 96-101, 102 - 105 are new and resulted in open space being removed behind existing 139.
3. Must provide list of adjoining property owners either in table in plan or note on separate sheet. Include properties in Cambridge Farms and Fairway Farms.
4. Area shown as "gated" will not be accepted by City of Gallatin and will need to be maintained by HOA. Add to notes.
5. Villages of Fairway Farms is what area "B" was called. Either pick new name or call Villages area "A".
6. Increase in density and open space changes. Staff will recommend Planning Commission consider this a major change to PMDP.
7. Check with Engineering to see if updated traffic study will be required.
8. Type 25 and 35 bufferyards must be approved by Planning Commission at FMDP. No wood fence in Type 35; provide details of proposed fencing. Verify lot size compatibility requirement to determine bufferyard width required.
9. Additional comments to be provided after work session on 1/14/2013.
10. Submit sixteen (16) corrected, folded copies of the resubmittal documents (1 full size and 15 half size if original plans are greater than 18 x 24), and 16 architectural elevations if needed.

Tony Allers

Director

CITY OF GALLATIN, TENNESSEE

Gallatin Codes/Planning Department

Katherine Schoch

Assistant Director

11. Submit digital copies of plans and supporting information/correspondence pertaining to this project in the following formats: DGN or DWG file (MicroStation version "J" software) of subdivision plats, site plans, PMDP, and FMDP. Submit PDF files of all pages of subdivision plats, site plans, PMDP, and FMDP and submit PDF files of all supporting documents and correspondence. Label file formats on CD. 11. Submit a detailed response letter addressing all departmental review comments.

12. RETURN CHECKPRINT & CHECKLIST

13. Resubmittal documents must be turned in to the Codes/Planning Department by 4:30 PM on 1/18/2013.

14. Resubmittals must include the above information in order to be considered a complete resubmittal.

11/19/2012 Resubmittal review Date:

1. One-Family Attached Dwellings are not permitted in the R-15 PRD zone district as defined per Section 06.09.080.B2. However, use can be called One-family attached townhouse residential and be limited to 30 percent of the total lots in development. Since this will be considered a major change staff would recommend consider requesting a rezoning to R10 PRD.
2. Provide updated overall site data table for the proposed changes and remaining portions of the development. Must delineate lot count by lot sizes.
3. Provide lot data table establishing minimum required yards by type of use.
4. Overall design guidelines and typical architectural elevations have not been submitted as required. This application cannot be considered by PC without the required information. In addition, previous approvals have stipulated that certain percentages of lots be limited from having front loading gargages. Need to address how the proposed changes will impact these requirements. Provide updated design standard notes and building elevations. Changes that impact the portion of the development not included in this submittal cannot be changed unless the other owners in the development are included in the application.
5. Address Engineering Division comments concerning sink hole/drainage issues and provide typical cross sections for roads.
6. Provide typical lot configuration for one-family attached townhouses.
7. Add note that no construction is permitted within the regulatory floodway. Remove lots and proposed landscaping located within the floodway.
8. Provide information about how minimum recreation area is being provided. Overall recreation area is calculated on total area in the PRD, Provide calculations in site development table.
9. Correct FAR information.
10. Provide overall lot count for entire development.
11. Submit sixteen (16) corrected, folded copies of the resubmittal documents (1 full size and 15 half size if original plans are greater than 18 x 24), and 16 architectural elevations if needed. Submit digital copies of plans and supporting information/correspondence pertaining to this project in the following formats: DGN or DWG file (MicroStation version "J" software) of subdivision plats, site plans, PMDP, and FMDP. Submit PDF files of all pages of subdivision plats, site plans, PMDP, and FMDP and submit PDF files of all supporting documents and correspondence. Label file formats on CD.

Tony Allers

Director

CITY OF GALLATIN, TENNESSEE
Gallatin Codes/Planning Department

Katherine Schoch

Assistant Director

12. Submit a detailed response letter addressing all departmental review comments.
13. RETURN CHECKPRINT & CHECKLIST
14. Resubmittal documents must be turned in to the Codes/Planning Department by 2:00 PM on 12/03/2012.
15. Resubmittals must include the above information in order to be considered a complete resubmittal.

Codes Department

Review Date:

2/4/2013: 2nd Amended Resubmittal:

No comments

1/9/2013: Amended Resubmittal:

No comments

11/19/2012 Resubmittal:

1. Provide information on fire separation on attached units.

09/28/2012

No comments

Engineering Division

Review Date:

3-21-2013 JZW "4th Amended" Resubmittal:

1. Provide street names for all proposed roadways.
2. Be aware updated drainage calculations will be required for phases 2 and 3 at construction plan stage due to proposed changes.
3. Label floodway as stream buffer as well. Be aware, no disturbance will be allowed within stream buffer.
4. Be aware at construction plan stage, traffic calming measures will be required. Add note on PMDP indicating this.
5. Remove paving schedule.

2-18-2013 JZW "3rd Amended" Resubmittal:

1. Street x-section should match what has been previously approved and has already been built in existing subdivision.
2. Provide street names for all proposed roadways.
3. Be aware updated drainage calculations will be required for phases 2 and 3 at construction plan stage due to proposed changes.
4. Label floodway as stream buffer as well. Be aware, no disturbance will be allowed within stream buffer.
5. Be aware at construction plan stage, traffic calming measures will be required.

2-5-2013 JZW "2nd Amended" Resubmittal:

Tony Allers

Director

CITY OF GALLATIN, TENNESSEE
Gallatin Codes/Planning Department

Katherine Schoch

Assistant Director

1. Street x-section should match what has been previously approved and has already been built in existing subdivision.
2. Provide street names for all proposed roadways.
3. Designate gated area as having private roadways. Gates are not allowed within public ROW.
4. Be aware updated drainage calculations will be required for phases 2 and 3 at construction plan stage due to proposed changes.
5. Label floodway as stream buffer as well. Be aware, no disturbance will be allowed within stream buffer.
6. Be aware at construction plan stage, traffic calming measures will be required.

1-11-2013 JZW "Amended" Resubmittal:

1. Street x-section should match what has been previously approved and has already been built in existing subdivision.
2. Provide street names for all proposed roadways.
3. Designate gated area as having private roadways. Gates are not allowed within public ROW.
4. Be aware updated drainage calculations will be required for phases 2 and 3 at construction plan stage due to proposed changes.
5. Label floodway as stream buffer as well. Be aware, no disturbance will be allowed within stream buffer.
6. Be aware at construction plan stage, traffic calming measures will be required.

12-5-2012 JZW Resubmittal:

1. Provide street x-section. Section should match what has been previously approved and has already been built in existing subdivision.
2. Provide street names for all proposed roadways.
3. Provide sidewalk connection around proposed "hammerhead".
4. Be aware updated drainage calculations will be required for phases 2 and 3 at construction plan stage due to proposed changes.
5. Label floodway as stream buffer as well. Be aware, no disturbance will be allowed within stream buffer.
6. Be aware at construction plan stage, traffic calming measures will be required.

11-20-2012 JZW Revised:

1. Provide street x-section. Section should match what has been previously approved and has already been built in existing subdivision.
2. Phase 3 Section 1 drainage calculations utilize southern portion of subject property as injection well, assuming no runoff from 100yr storm or less to be discharged. Proposed layout would require substantial grading in area of injection well. Because the injection well throat has never been located, there is a good possibility any grading in area would slow down or stop water from being conveyed into well and/or decrease storage capacity causing flooding issues. Existing downstream issues exist, so no increase in volume, flow, or velocity will be allowed. Until detailed plans, calculations, and study is performed, Engineering recommends against proposed changes to southern portion of property.

Tony Allers

Director

CITY OF GALLATIN, TENNESSEE

Gallatin Codes/Planning Department

Katherine Schoch

Assistant Director

3. Provide street names for all proposed roadways.
4. Provide sidewalk connection around proposed "hammerhead".
5. Be aware updated drainage calculations will be required for phases 2 and 3 at construction plan stage due to proposed changes.
6. Show existing contours.
7. Show/label designated detention pond areas.
8. Label floodway as stream buffer as well. Be aware, no disturbance will be allowed within stream buffer.
9. Be aware at construction plan stage, traffic calming measures will be required.

10-3-2012 JZW:

1. Provide street x-section. Section should match what has been previously approved and has already been built in existing subdivision.
2. Label street name.
3. Phase 3 Section 1 drainage calculations utilize southern portion of subject property as injection well, assuming no runoff from 100yr storm or less to be discharged. Proposed layout would require substantial grading in area of injection well. Because the injection well throat has never been located, there is a good possibility any grading in area would slow down or stop water from being conveyed into well and/or decrease storage capacity causing flooding issues. Existing downstream issues exist, so no increase in volume, flow, or velocity will be allowed. Until detailed plans, calculations, and study is performed, Engineering recommends against proposed changes to southern portion of property.

Fire Department

Review Date:

2/5/2013: 2nd Amended Resubmittal:

Location of fire hydrants need to be shown.

1/11/2013: Amended Resubmittal:

No comment at this time.

11/19/2012 This department has no comments at this time.

Police Department

Review Date:

2/5/2013: 2nd Amended Resubmittal

Reviewed: no comments

1/7/2013: Amended Resubmittal Reviewed: no comments

11/15/2012 Resubmittal: Reviewed: no comments

09/28/2012 Reviewed: no comments

Jim Svoboda

From: J. Bruce Rainey [jbr823@bellsouth.net]
Sent: Friday, March 22, 2013 9:41 AM
To: Jim Svoboda
Cc: Katherine Schoch
Subject: Fw: agreed plan
Attachments: 090065_Fairway Farms Ph 2 & 3 Rev PMDP_3.15.13.pdf

----- Original Message -----

From: J. Bruce Rainey
To: Katherine Schoch
Cc: Rick Halcomb ; Mike Turturice ; Chuck & Shannon Allen ; Bridget Henneman ; David Graves ; Mike Greene ; Scott Schlarb ; Michael Colwell ; Anna Vale ; Jerry Lawless ; Judy Moore ; Brad Bestwina ; Julie Peters ; Jennifer Palsgrove ; Shana van Benschoten ; Tony Thomas ; Rob and April Schroeder ; Dave and Beth Porter
Sent: Friday, March 15, 2013 10:05 AM
Subject: agreed plan

Katherine,

Attached is the latest plan on Fairway Farms. This plan as amended represents an agreement between the Developer and a majority of the homeowners group of Fairway Farms.

The additional agreed changes are:

the minimum home size in the 9000 and 12,000 and 15000 sf lots has been increased to 1800 sf for a ranch style home and 2000 for a two story home.

Also in keeping with the previously Council approved plan, the connection into Cambridge farms has been eliminated and that area redistributed among the existing lots.

Additional technical changes have been made as follows:

With the revisions in number of lots have revised bufferyard note between Cambridge Farms and Fairway Farms

The Road cross-section has been revised to match the previously approved section

The Site Data table calculations have been corrected.

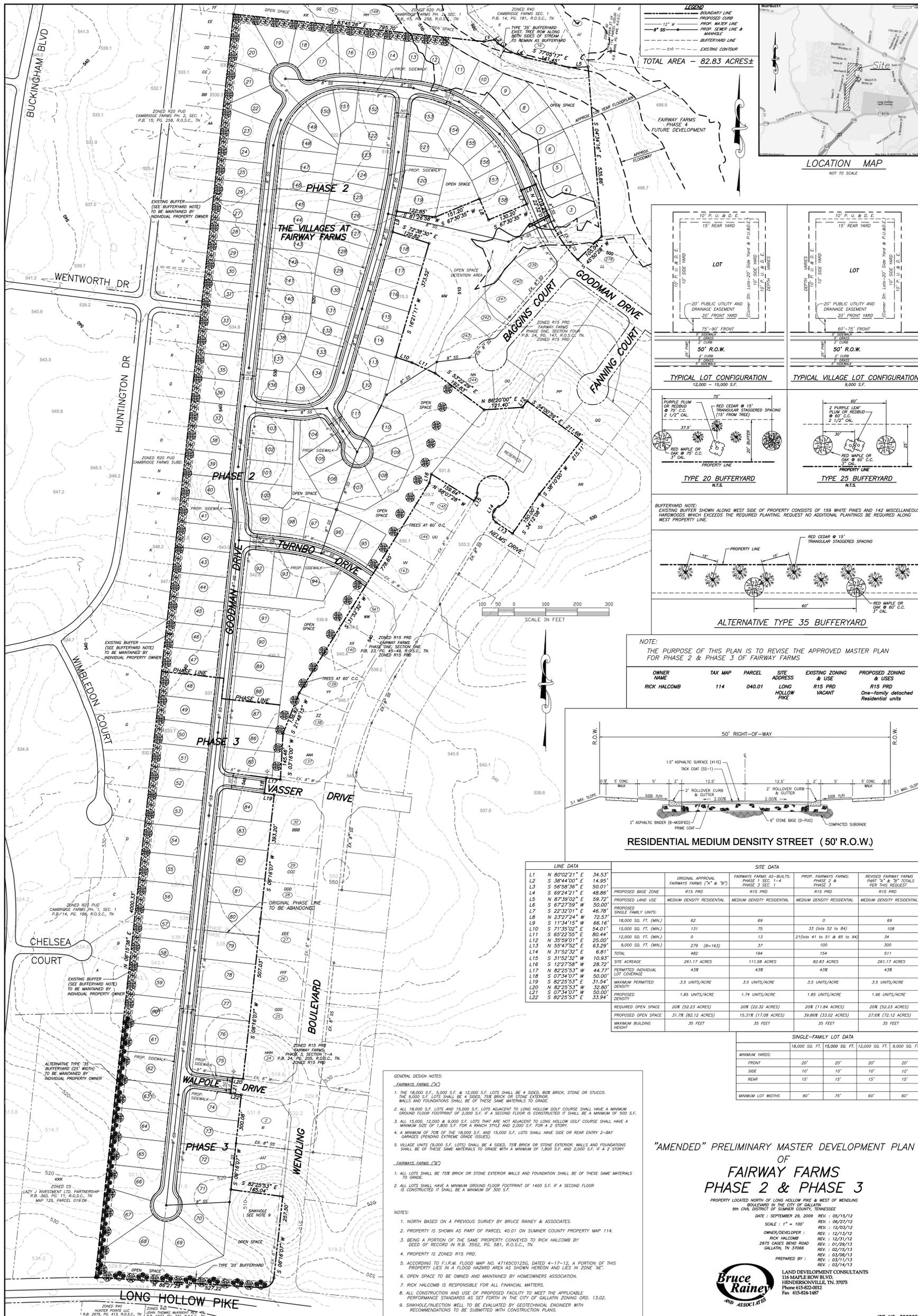
The sideyard requirement on 9000sf lots has been corrected to 10'

With these revisions and agreements I am asking that the revised plan of Fairway Farms be considered a minor change to the approved master plan and be considered for approval by the Gallatin Planning Commission March 25, 2013.

Please advise to the number of additional copies needed. Call if you have questions.

Thank you

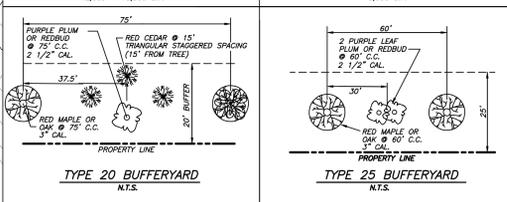
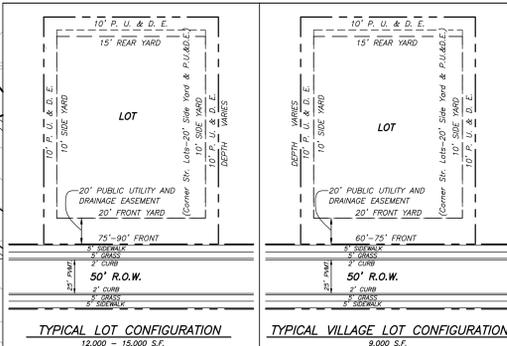
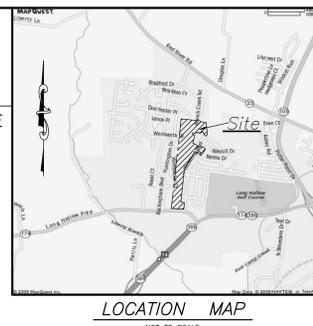
J. Bruce Rainey
Bruce Rainey & Associates
116 Maple Row Blvd.
Hendersonville, TN 37075



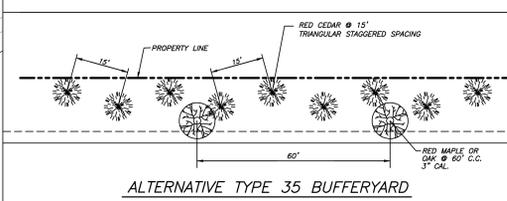
LEGEND

- BOUNDARY LINE
- PROPOSED CURB
- PROP. WATER LINE
- PROP. SEWER LINE & MANHOLE
- UTILITY
- BUFFERYARD
- EXISTING CONTOUR

TOTAL AREA - 82.83 ACRES±

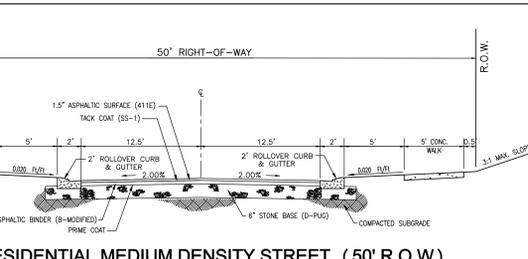


BUFFERYARD NOTE:
EXISTING BUFFER SHOWN ALONG WEST SIDE OF PROPERTY CONSISTS OF 150 WHITE PINES AND 140 MISCELLANEOUS HARDWOODS WHICH EXCEEDS THE REQUIRED PLANTING. REQUEST NO ADDITIONAL PLANTINGS BE REQUIRED ALONG WEST PROPERTY LINE.



NOTE:
THE PURPOSE OF THIS PLAN IS TO REVISE THE APPROVED MASTER PLAN FOR PHASE 2 & PHASE 3 OF FAIRWAY FARMS

OWNER	TAX MAP	PARCEL	SITE ADDRESS	EXISTING ZONING	PROPOSED ZONING & USES
RICK HALCOMB	114	040.01	LONG HOLLOW PIKE	R15 PRD VACANT	R15 PRD One-family detached Residential units



LINE DATA

LINE	DESCRIPTION	LENGTH	BEARING
L1	N 80°02'21" E	34.53'	
L2	S 38°44'00" E	14.95'	
L3	S 56°58'36" E	50.01'	
L4	S 69°24'21" E	48.86'	
L5	N 67°39'02" E	59.72'	
L6	S 67°27'59" W	50.00'	
L7	S 22°32'01" E	46.78'	
L8	N 23°27'24" W	72.57'	
L9	S 11°34'15" W	68.16'	
L10	S 71°35'02" E	54.01'	
L11	S 65°22'35" E	80.44'	
L12	N 30°59'01" E	29.00'	
L13	N 55°47'52" E	63.29'	
L14	N 31°52'32" E	6.81'	
L15	S 15°52'32" W	10.33'	
L16	S 12°27'08" W	28.72'	
L17	N 62°25'53" W	44.77'	
L18	S 07°34'07" W	50.00'	
L19	S 82°25'53" E	31.54'	
L20	N 82°25'53" E	32.80'	
L21	S 07°34'07" W	50.00'	
L22	S 82°25'53" E	33.94'	

SITE DATA

	ORIGINAL APPROVAL FAIRWAYS FARMS ("A" & "B")	FAIRWAYS FARMS AS-BUILT: PHASE 1 SEC. 1-4 PHASE 3 SEC. 1	PROP. FAIRWAYS FARMS: PHASE 2 & PHASE 3	REVISED FAIRWAYS FARMS: PHASE 2 & PHASE 3 PER THIS REQUEST
PROPOSED BASE ZONE	R15 PRD	R15 PRD	R15 PRD	R15 PRD
PROPOSED LAND USE	MEDIUM DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL
PROPOSED SINGLE FAMILY UNITS:				
L1	62	69	0	69
L2	131	75	33 (lots 52 to 84)	108
L3	0	13	21 (lots 41 to 51 & 85 to 94)	34
L4	279 (B=16.3)	37	100	300
TOTAL	482	194	154	511
SITE ACREAGE	261.17 ACRES	111.58 ACRES	82.83 ACRES	261.17 ACRES
PERMITTED INDIVIDUAL LOT COVERAGE	43%	43%	43%	43%
MAXIMUM PERMITTED DENSITY	3.5 UNITS/ACRE	3.5 UNITS/ACRE	3.5 UNITS/ACRE	3.5 UNITS/ACRE
PROPOSED DENSITY	1.85 UNITS/ACRE	1.74 UNITS/ACRE	1.85 UNITS/ACRE	1.86 UNITS/ACRE
REQUIRED OPEN SPACE	20% (52.23 ACRES)	20% (22.32 ACRES)	20% (11.84 ACRES)	20% (52.23 ACRES)
PROPOSED OPEN SPACE	31.7% (82.12 ACRES)	15.31% (17.08 ACRES)	39.86% (33.02 ACRES)	27.6% (72.12 ACRES)
MAXIMUM BUILDING HEIGHT	35 FEET	35 FEET	35 FEET	35 FEET

SINGLE-FAMILY LOT DATA

MINIMUM YARDS:	18,000 SQ. FT.	15,000 SQ. FT.	12,000 SQ. FT.	9,000 SQ. FT.
FRONT	20'	20'	20'	20'
SIDE	10'	10'	10'	10'
REAR	15'	15'	15'	15'
MINIMUM LOT WIDTHS	90'	75'	60'	60'

GENERAL DESIGN NOTES:

FAIRWAYS FARMS ("A")

- THE 18,000 S.F., 5,000 S.F. & 12,000 S.F. LOTS SHALL BE 4 SIDED, 80% BRICK, STONE OR STUCCO. THE 9,000 S.F. LOTS SHALL BE 4 SIDED, 75% BRICK OR STONE EXTERIOR WALLS AND FOUNDATIONS SHALL BE OF THESE SAME MATERIALS TO GRADE.
- ALL 18,000 S.F. LOTS AND 15,000 S.F. LOTS ADJACENT TO LONG HOLLOW GOLF COURSE SHALL HAVE A MINIMUM GROUND FLOOR FOOTPRINT OF 2,000 S.F. IF A SECOND FLOOR IS CONSTRUCTED IT SHALL BE A MINIMUM OF 500 S.F.
- ALL 15,000, 12,000 & 9,000 S.F. LOTS THAT ARE NOT ADJACENT TO LONG HOLLOW GOLF COURSE SHALL HAVE A MINIMUM SIZE OF 1,800 S.F. FOR A BRANCH STOLE AND 2,000 S.F. FOR A 2 STORY.
- A MINIMUM OF 70% OF THE 18,000 S.F. AND 15,000 S.F. LOTS SHALL HAVE SIDE OR REAR ENTRY 2-BAY GARAGES (ENDING EXTREME GRADE ISSUES).
- VILLAGE UNITS (9,000 S.F. LOTS) SHALL BE 4 SIDED, 75% BRICK OR STONE EXTERIOR WALLS AND FOUNDATIONS SHALL BE OF THESE SAME MATERIALS TO GRADE WITH A MINIMUM OF 1,800 S.F. AND 2,000 S.F. IF A 2 STORY

FAIRWAYS FARMS ("B")

- ALL LOTS SHALL BE 75% BRICK OR STONE EXTERIOR WALLS AND FOUNDATION SHALL BE OF THESE SAME MATERIALS TO GRADE.
- ALL LOTS SHALL HAVE A MINIMUM GROUND FLOOR FOOTPRINT OF 1,400 S.F. IF A SECOND FLOOR IS CONSTRUCTED IT SHALL BE A MINIMUM OF 300 S.F.

NOTES:

- NORTH BASED ON A PREVIOUS SURVEY BY BRUCE RAINEY & ASSOCIATES.
- PROPERTY IS SHOWN AS PART OF PARCEL 40.01 ON SUMNER COUNTY PROPERTY MAP 114.
- BING A PORTION OF THE SAME PROPERTY CONVEYED TO RICK HALCOMB BY DEED OF RECORD IN P.B. 3552, PG. 581, R.O.S.C., TN.
- PROPERTY IS ZONED R15 PRD.
- ACCORDING TO F.I.R.M. FLOOD MAP NO. 4716501250, DATED 4-17-12, A PORTION OF THIS PROPERTY LIES IN A FLOOD HAZARD AREA AS SHOWN HEREON AND LIES IN ZONE "AE".
- OPEN SPACE TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
- RICK HALCOMB IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.
- ALL CONSTRUCTION AND USE OF PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORD. 130.02.
- SINKHOLE/AUCTION WELL TO BE EVALUATED BY GEOTECHNICAL ENGINEER WITH RECOMMENDATIONS TO BE SUBMITTED WITH CONSTRUCTION PLANS.

"AMENDED" PRELIMINARY MASTER DEVELOPMENT PLAN OF FAIRWAY FARMS PHASE 2 & PHASE 3

PROPERTY LOCATED NORTH OF LONG HOLLOW PIKE & WEST OF WENDLING BOULEVARD IN THE CITY OF GALLATIN, 9th CIV. DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE: SEPTEMBER 29, 2009 REV: 05/15/12
 SCALE: 1" = 100' REV: 06/21/12
 OWNER/DEVELOPER: RICK HALCOMB REV: 12/03/12
 2975 CAGES BEND ROAD REV: 12/31/12
 GALLATIN, TN 37066 REV: 01/29/13
 REV: 02/15/13
 REV: 03/08/13
 REV: 03/11/13
 REV: 03/14/13



LAND DEVELOPMENT CONSULTANTS
 116 MAPLE BOW BLVD.
 HENDERSONVILLE, TN, 37075
 Phone 615-824-0012
 Fax 615-824-1487

Fairway Farms

REV. 02/15/2013

REV. 02/21/13

RECEIVED
FEB 18 2013

GALLATIN PLANNING
& ZONING

4th

~~3RD~~

~~REVISED~~ REVISED

RESUBMITTAL

MANOR HOME

EXAMPLE

TO BE USED IN ALL BUT THE
VILLAGES



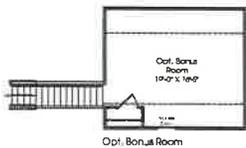
ELEVATION A



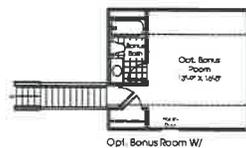
ELEVATION B



ELEVATION D

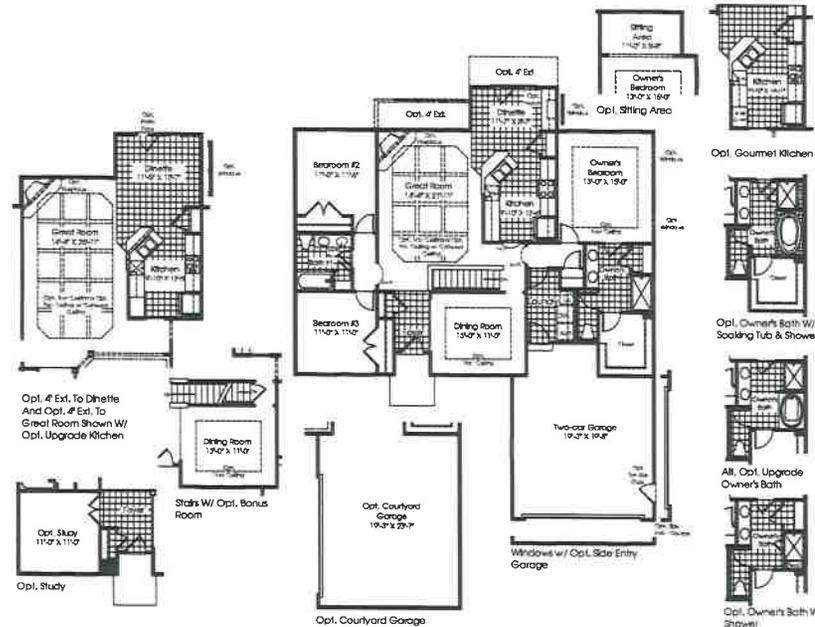


Opt. Bonus Room

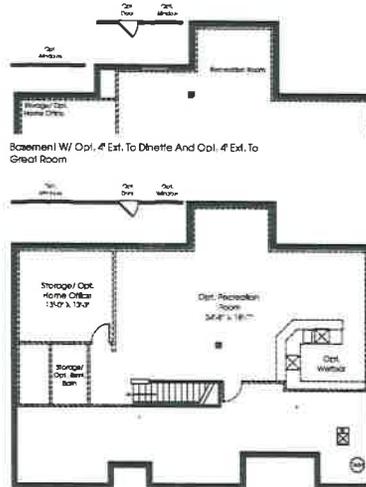


Opt. Bonus Room W/ Bath

OPT. BONUS ROOM
ELEVATION A



MAIN LEVEL
ELEVATION A



LOWER LEVEL
ELEVATION A

The Carolina

Product Line: Carolina
Series: Signature
Footprint Min: 50' 0" X 60' 0"
Footprint Max*: 50' 8" X 64' 8"
Height: 17' 4"
Sq. Ft. Min: 1716
Sq. Ft. Max:** 2209
Avail. Fnd Types: Basement, Crawl, Slab

First Floor Owner's: **ADA Adaptable**

Bedrooms: Std: 3 Opt: 0

Full Baths: Std: 2 Opt: 1

Half Baths: Std: 0 Opt: 1

Ceiling Height Bsmt: 9

Ceiling Height 1st floor: 9

Ceiling Height 2nd floor: 9

Roof Pitch: 6/12, 8/12

Roof Load: Std Corporate Exposure B

Northeast Exposure B

Corporate Exposure C

Wind Load: 90 MPH

100 - 120MPH

Available Veneers: Brck Stucco/Stone

Siding Stucco

Stone

Partial Stone

Partial Brick

Stone/Brick

Resort/Cottage

MidAtlantic

Garages Available: 2 Car Courtyard, Front & Side Garage

*Brick front may add 8" to width of house See blueprints for details

**Maximum square feet does not include basement. Information provided for townhomes is for base condition.

FOR INTERNAL USE ONLY. Although all information is believed to be correct at publication, please refer to most current blueprints to ensure accuracy.

THE CAROLINA
RY0212CARO14BSMT



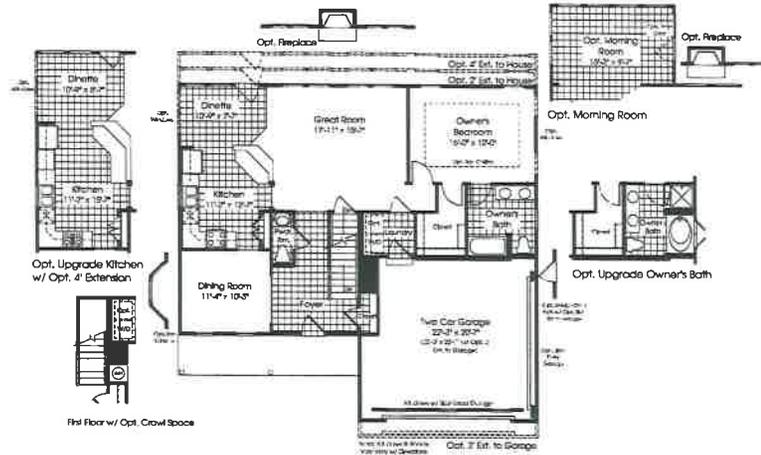
ELEVATION A



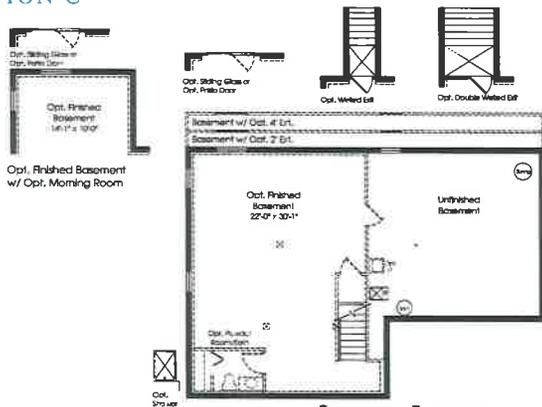
ELEVATION B



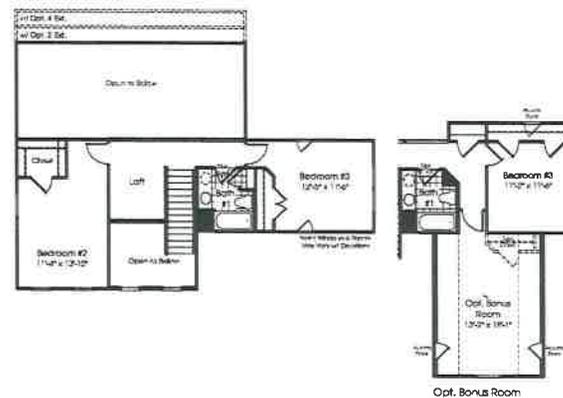
ELEVATION C



MAIN LEVEL
ELEVATION A



LOWER LEVEL
ELEVATION A



UPPER LEVEL
ELEVATION A

The Esquire

Product Line: Ryan Comerstone
Series: Signature
Footprint Min: 46' 0" X 43' 0"
Footprint Max*: 46' 4" X 60' 4"
Height: 21' 9"
Sq. Ft. Min: 1924
Sq. Ft. Max:** 2656
Avail. Fnd Types: Basement or Crawl

- First Floor Owner's:** **ADA Adaptable**
- Bedrooms:** Std: 3 Opt: 0
Full Baths: Std: 2 Opt: 1
Half Baths: Std: 1 Opt: 1
- Ceiling Height Bsmt:** 8
Ceiling Height 1st floor: 8
Ceiling Height 2nd floor: 8
Roof Pitch: 8/12
Roof Load: Std. Corporate Exposure B
 Northeast Exposure B
 Corporate Exposure C
- Wind Load:** 90 MPH
 100 - 120MPH
- Available Veneers:** Brick
 Siding
 Stone
 Partial Stone
 Partial Brick
 Stone/Brick
 Resort/Cottage
 MidAtlantic
- Garages Available:** Two Car Garage - Contiguous

*Brick front may add 8" to width of house. See blueprints for details.

**Maximum square feet does not include basement. Information provided for townhomes is for base condition.

FOR INTERNAL USE ONLY. Although all information is believed to be correct at publication, please refer to most current blueprints to ensure accuracy.

THE ESQUIRE
RY011ESQU11



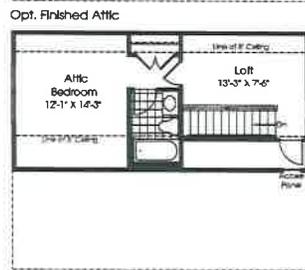
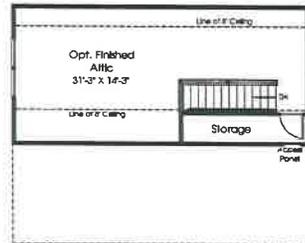
ELEVATION A



ELEVATION B



ELEVATION C



Opt. Attic Bedroom

OPT. ATTIC LEVEL ELEVATION A



The Lincolnshire

Product Line: Cornerstone
Series: Signature
Footprint Min: 52' 0" X 46' 0"
Footprint Max*: 54' 4" X 64' 4"
Height: 21' 11"
Sq. Ft. Min: 2656
Sq. Ft. Max:** 3719
Avail. Fnd Types: Basement, Crawl, Slab

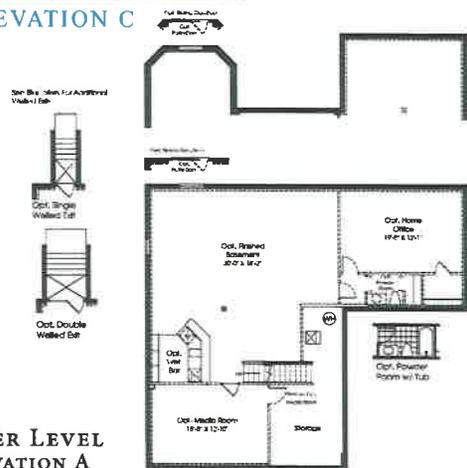
- First Floor Owner's:** **ADA Adaptable**
- Bedrooms:** Std: 4 Opt: 2
Full Baths: Std: 2 Opt: 4
Half Baths: Std: 1 Opt: 1
- Ceiling Height Bsmt:** 8
Ceiling Height 1st floor: 9
Ceiling Height 2nd floor: 8
Roof Pitch: 8/12
Roof Load: Std. Corporate Exposure B
 Northeast Exposure B
 Corporate Exposure C
- Wind Load:** 90 MPH
 100 - 120MPH
- Available Veneers:** Brick Stucco/Stone
 Siding Stucco
 Stone
 Partial Stone
 Partial Brick
 Stone/Brick
 Resort/Cottage
 MidAtlantic
- Garages Available:** Attached side and front

*Brick front may add 8" to width of house. See blueprints for details.

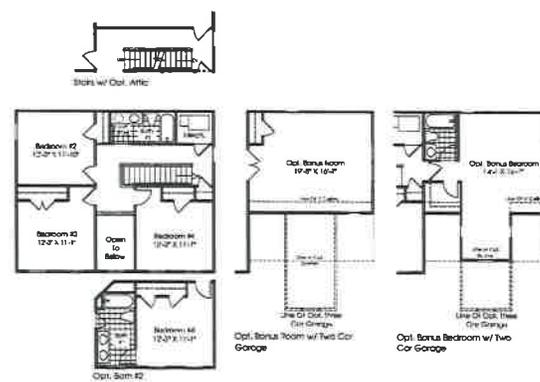
**Maximum square feet does not include basement information provided for townhomes is for base condition.

FOR INTERNAL USE ONLY. Although all information is believed to be correct at publication, please refer to most current blueprints to ensure accuracy.

LOWER LEVEL ELEVATION A



UPPER LEVEL ELEVATION A



THE LINCOLNSHIRE
RY1012LINS01



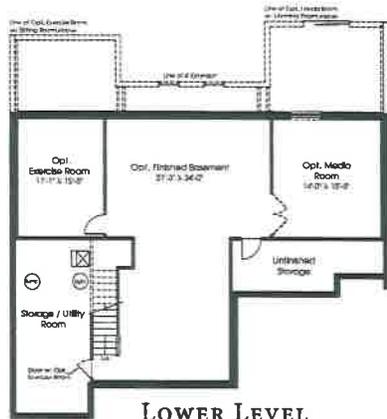
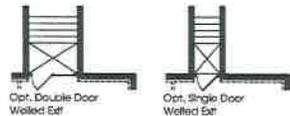
ELEVATION A



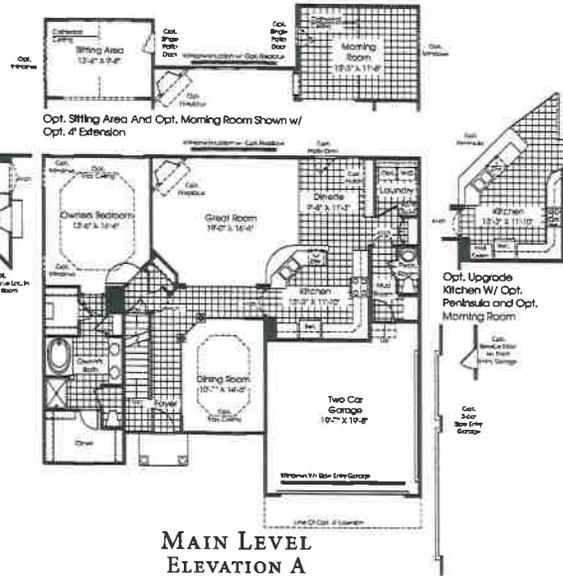
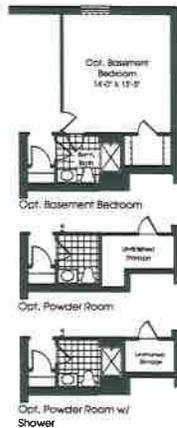
ELEVATION B



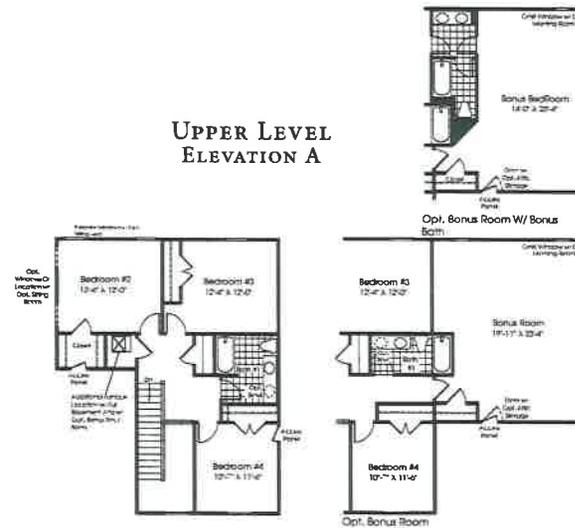
ELEVATION C



LOWER LEVEL ELEVATION A



MAIN LEVEL ELEVATION A



UPPER LEVEL ELEVATION A

The Sheffield

Product Line: Cornerstone
Series: Signature
Footprint Min: 49' 0" X 44' 0"
Footprint Max*: 49' 8" X 64' 4"
Height: 17' 10"
Sq. Ft. Min: 2341
Sq. Ft. Max:** 3245
Avail. Fnd Types: Basement Crawl/Slab

- First Floor Owner's:** ADA Adaptable
- Bedrooms:** Std: 4 Opt: 1
- Full Baths:** Std: 2 Opt: 2
- Half Baths:** Std: 1 Opt: 1
- Ceiling Height Bsmt:** 8
- Ceiling Height 1st floor:** 9
- Ceiling Height 2nd floor:** 8
- Roof Pitch:** 8/12
- Roof Load:**
- Std. Corporate Exposure B
 - Northeast Exposure B
 - Corporate Exposure C
- Wind Load:**
- 90 MPH
 - 100 - 120MPH
- Available Veneers:**
- Brick Stucco/Stone
 - Siding Stucco
 - Stone
 - Partial Stone
 - Partial Brick
 - Stone/Brick
 - Resort/Cottage
 - MidAtlantic
- Garages Available:** 2-Car Front or Side Entry, 2-Car Side Entry

*Brick front may add 8" to width of house. See blueprints for details.

**Maximum square feet does not include basement. Information provided for townhomes is for base condition.

FOR INTERNAL USE ONLY. Although all information is believed to be correct at publication, please refer to most current blueprints to ensure accuracy.

THE SHEFFIELD
RY0612SHEF01



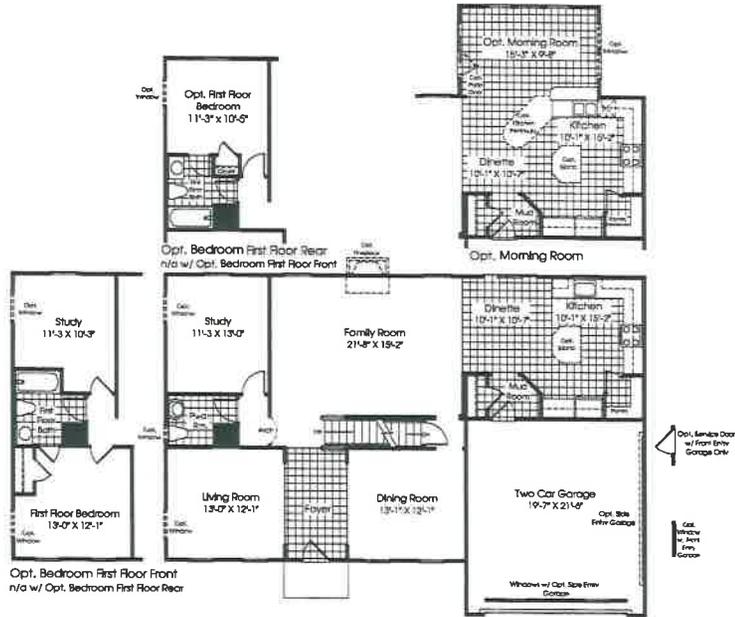
ELEVATION A



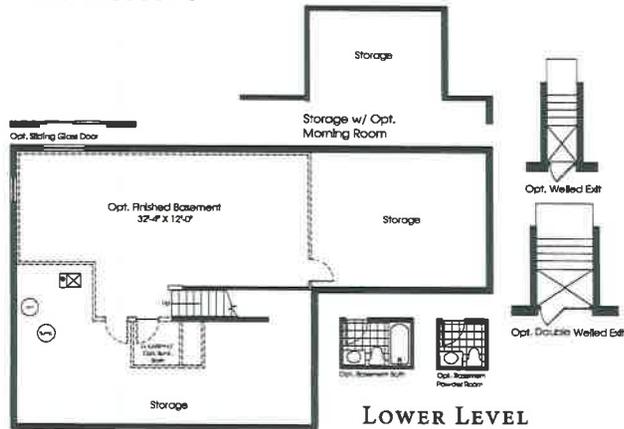
ELEVATION B



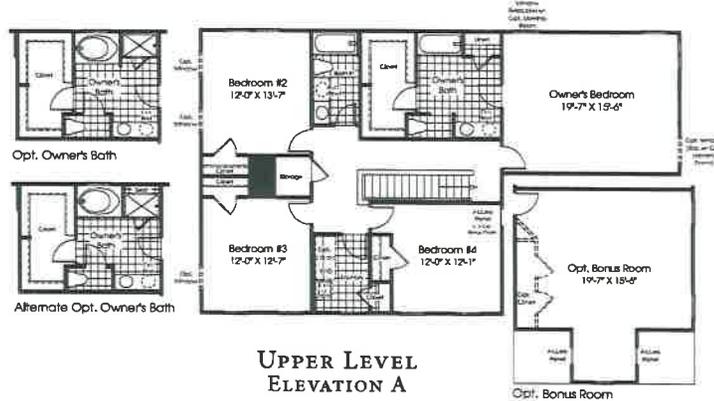
ELEVATION C



MAIN LEVEL ELEVATION A



LOWER LEVEL ELEVATION A



UPPER LEVEL ELEVATION A

The Verona

Product Line: Cornerstone
 Series: Renaissance
 Footprint Min: 54' 0" X 38' 0"
 Footprint Max*: 54' 0" X 48' 4"
 Height: 25' 1"
 Sq. Ft. Min: 2822
 Sq. Ft. Max**: 3345
 Avail. Fnd Types: Basement, crawl, slab

- First Floor Owner's: ADA Adaptable
- Bedrooms: Std: 4 Opt: 2
 Full Baths: Std: 2 Opt: 2
 Half Baths: Std: 1 Opt: 1
- Ceiling Height Bsmt: 8
 Ceiling Height 1st floor: 9
 Ceiling Height 2nd floor: 8
 Roof Pitch: 6/12, 8/12
 Roof Load: Std. Corporate Exposure B
 Northeast Exposure B
 Corporate Exposure C
- Wind Load: 90 MPH
 100 - 120MPH
- Available Veneers: Brick Stucco/Stone
 Siding Stucco
 Stone
 Partial Stone
 Partial Brick
 Stone/Brick
 Resort/Cottage
 MidAtlantic
- Garages Available: Two Car Front or Side Entry

*Brick front may add 8" to width of house. See blueprints for details.

**Maximum square feet does not include basement. Information provided for townhomes is for base condition.

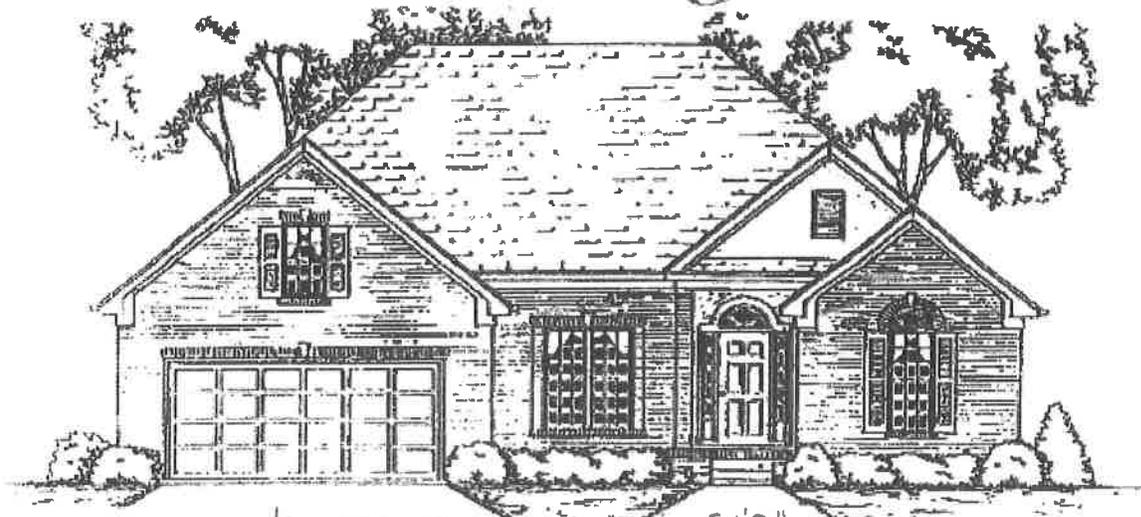
FOR INTERNAL USE ONLY. Although all information is believed to be correct at publication, please refer to most current blueprints to ensure accuracy.

THE VERONA
 RY1111VERO02





The Huntington



Options

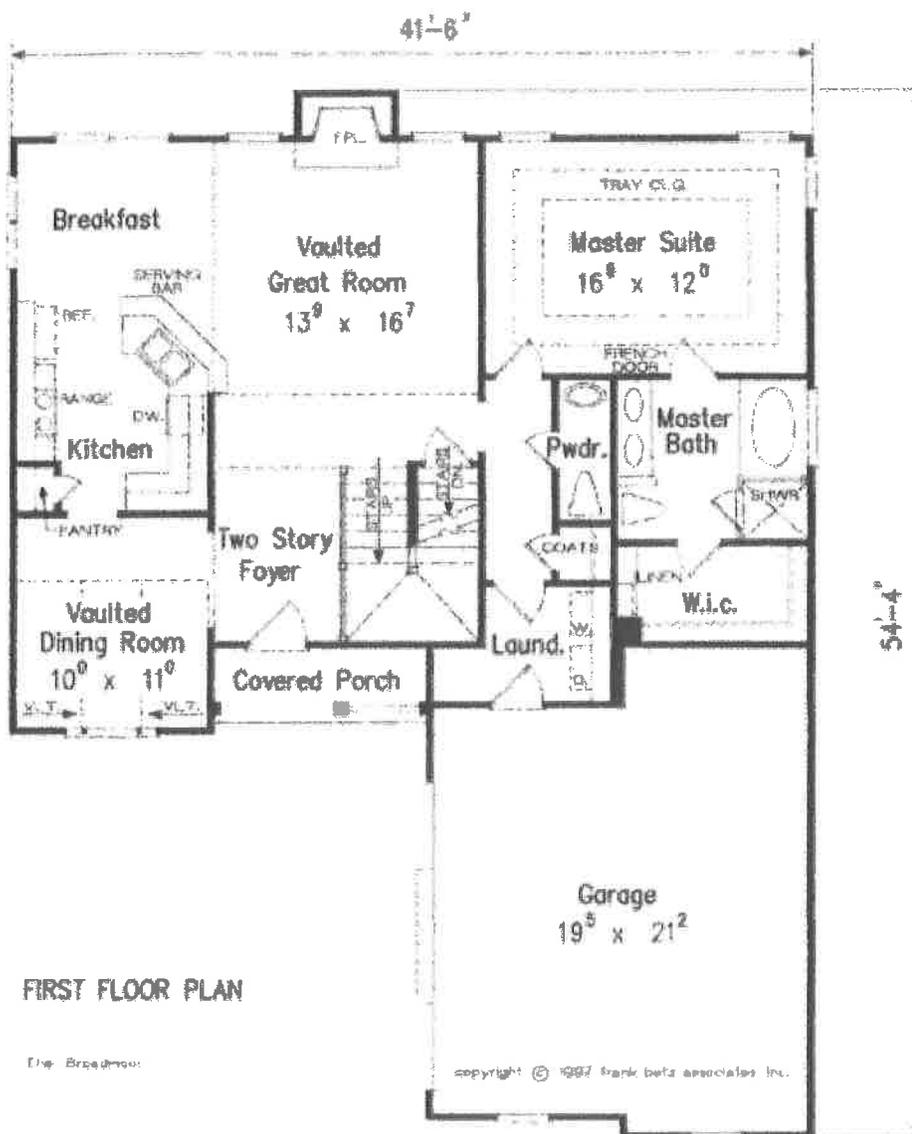
- 2 Car Front Entry 2,372 Sq. Ft. Living
- 2 Car Side Entry 2,372 Sq. Ft. Living
- 3 Car Full Bonus RM 2,636 Sq. Ft. Living
- 3 Car 14' Wide Bonus 2,338 Sq. Ft. Living

Halcomb Homes, LLC.
2975 Cages Bend Road
Gallatin, TN 37066
Ph. 615-824-3154 Fx. 824-8962

VILLAGE HOME

EXAMPLES

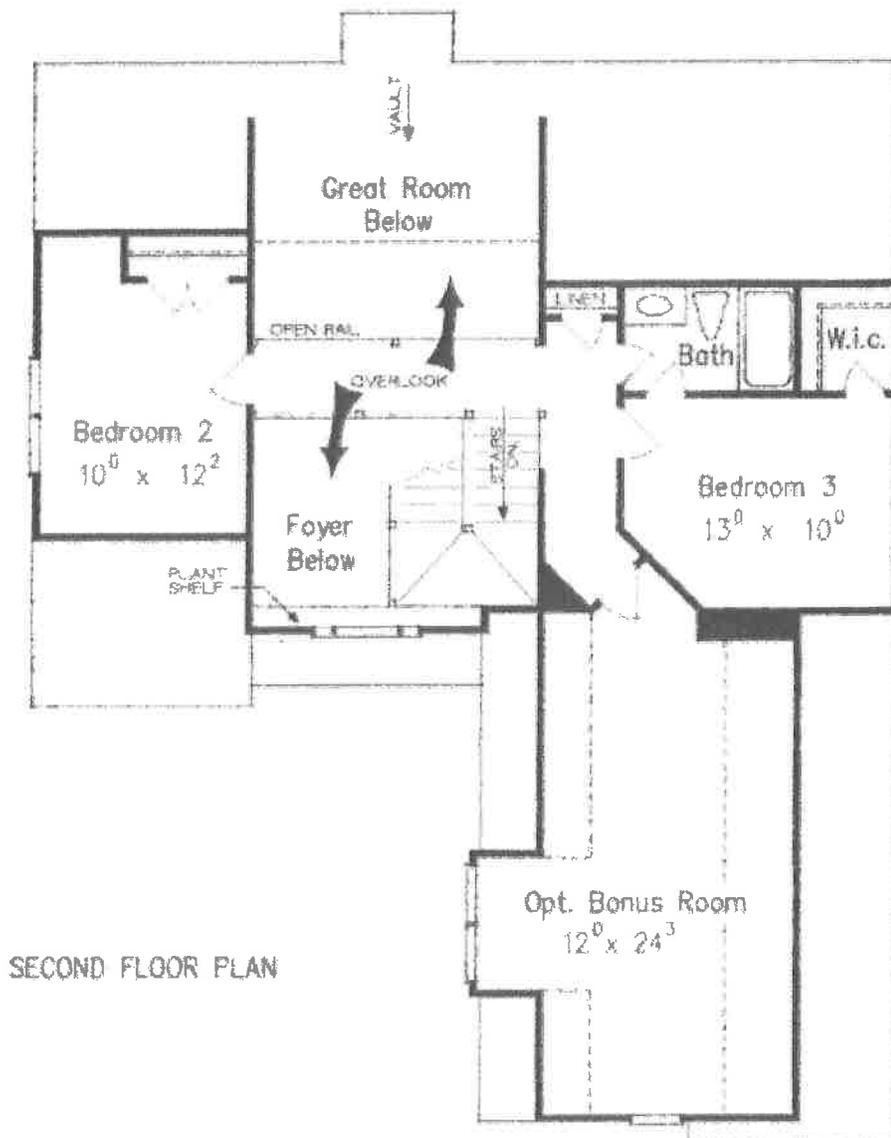




FIRST FLOOR PLAN

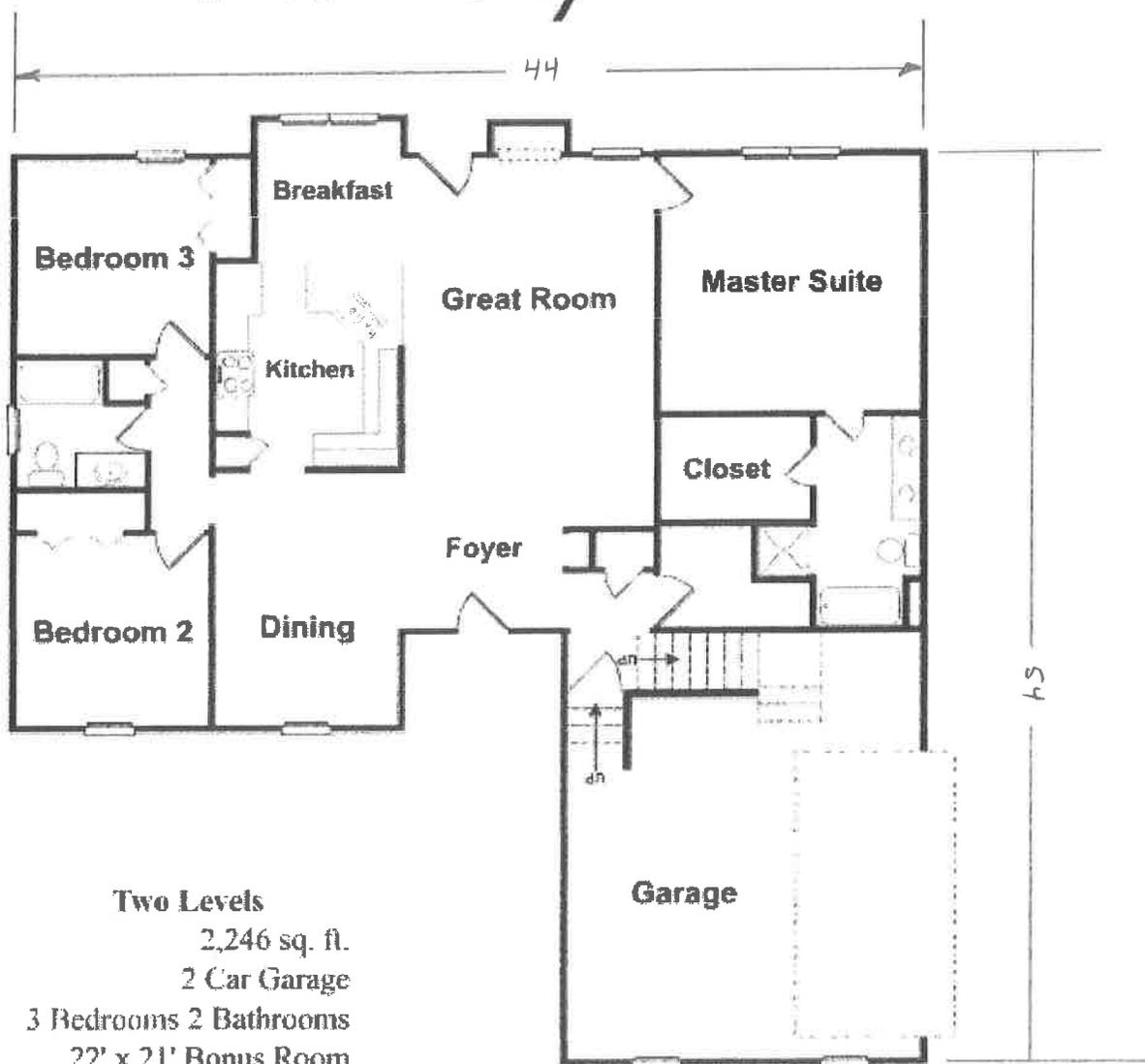
The Bedroom:

copyright © 1997 Frank Betz Associates Inc.



SECOND FLOOR PLAN

The Newport



Two Levels

2,246 sq. ft.

2 Car Garage

3 Bedrooms 2 Bathrooms

22' x 21' Bonus Room

Halcomb Homes, LLC.
2975 Cages Bend Road
Gallatin, TN 37066
Ph. 615-824-3154 Fx. 824-8962

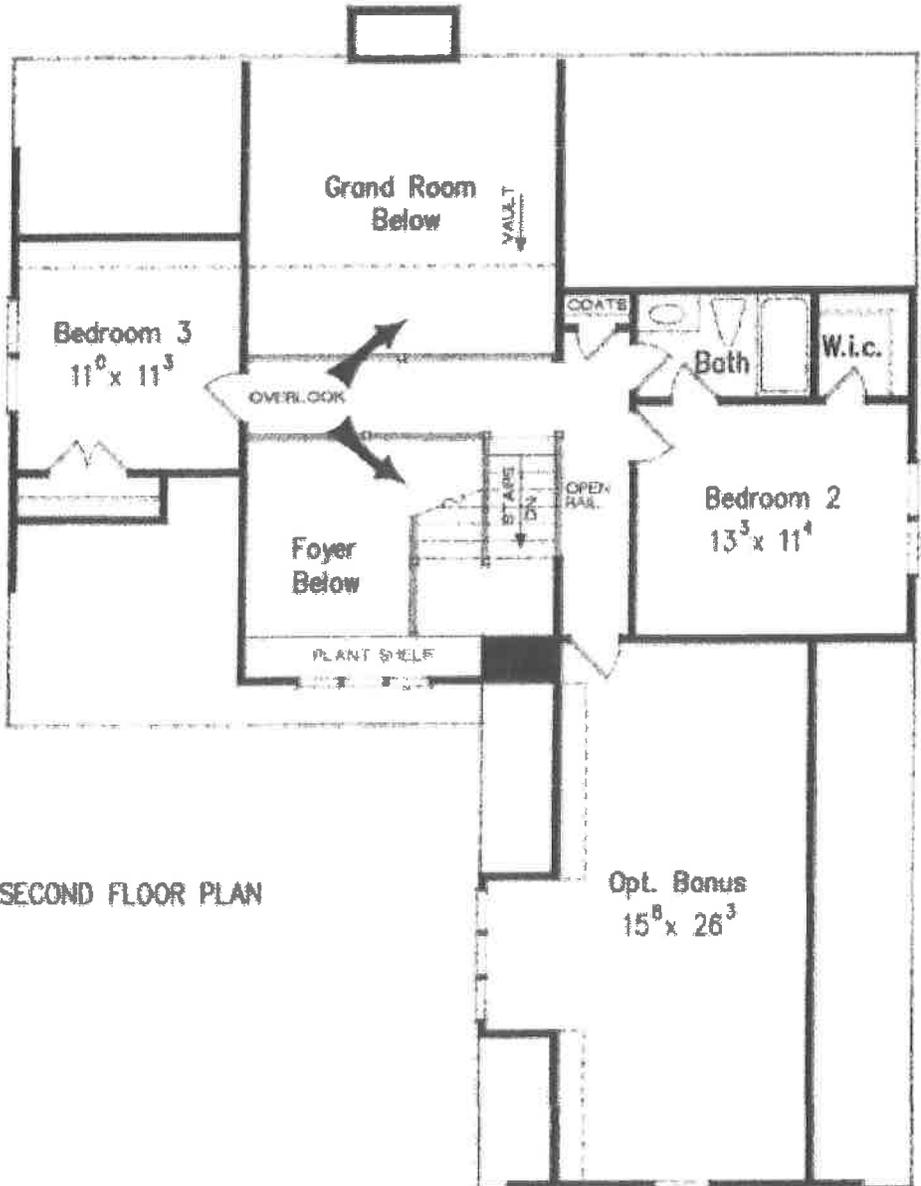








FIRST FLOOR PLAN

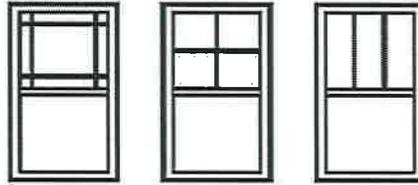


SECOND FLOOR PLAN



OleSouthTM
Built It.

OleSouth.com



OPTIONAL WINDOW
GRID PATTERNS

Scottish Glen
2151 Plan



ITEM 2

PC 0044-12



OleSouth.com

Scottish Glen 2151 Plan



Approximate Living Area

First Floor 1,624

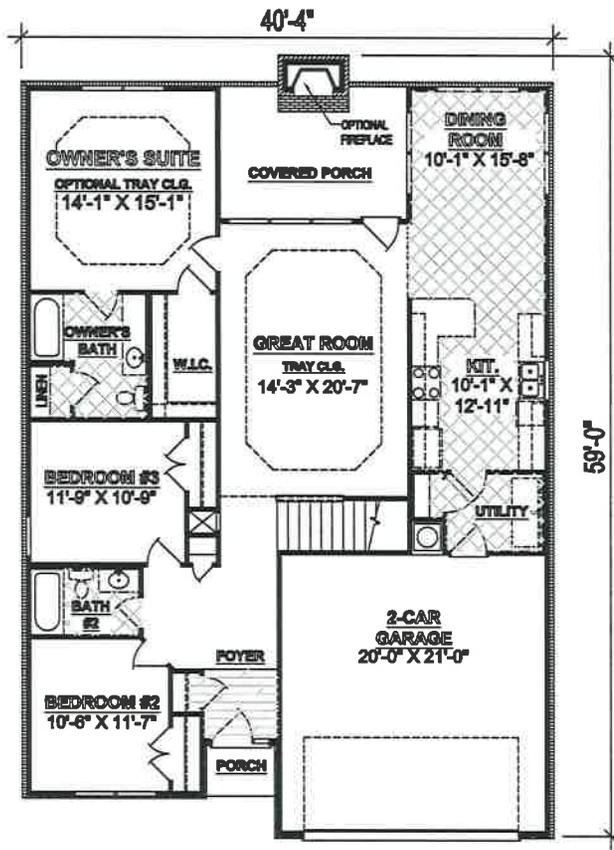
Second Floor 527

Total Heated 2,151

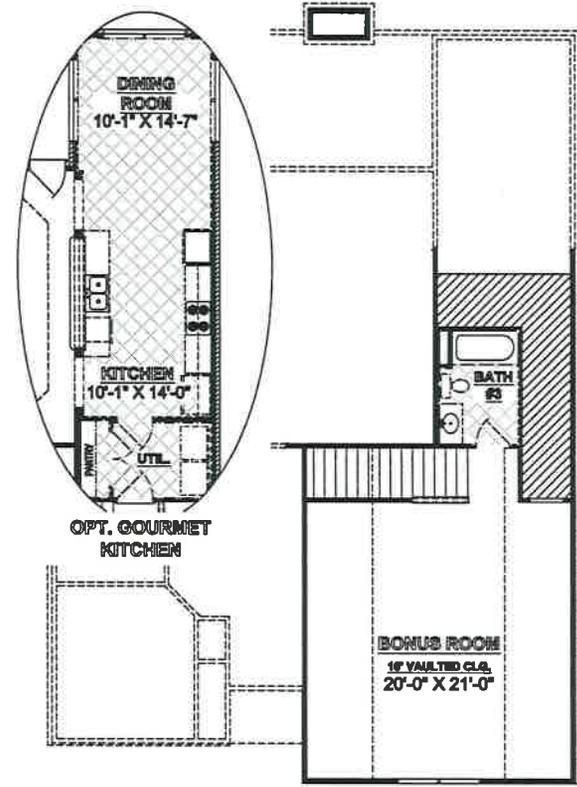
Communications

Cable 5

Phone 5



First Floor



Second Floor

ITEM 2

All sizes and dimensions are approximate. All features, designs and prices are subject to change without notice. Floor plans may vary with select elevations

PC 0044-12



OleSouthTM
Built It.

OleSouth.com

Benevento East
2259 Plan



ITEM 2

PC 0044-12



OleSouth.com

Approximate Living Area

First Floor 1,649

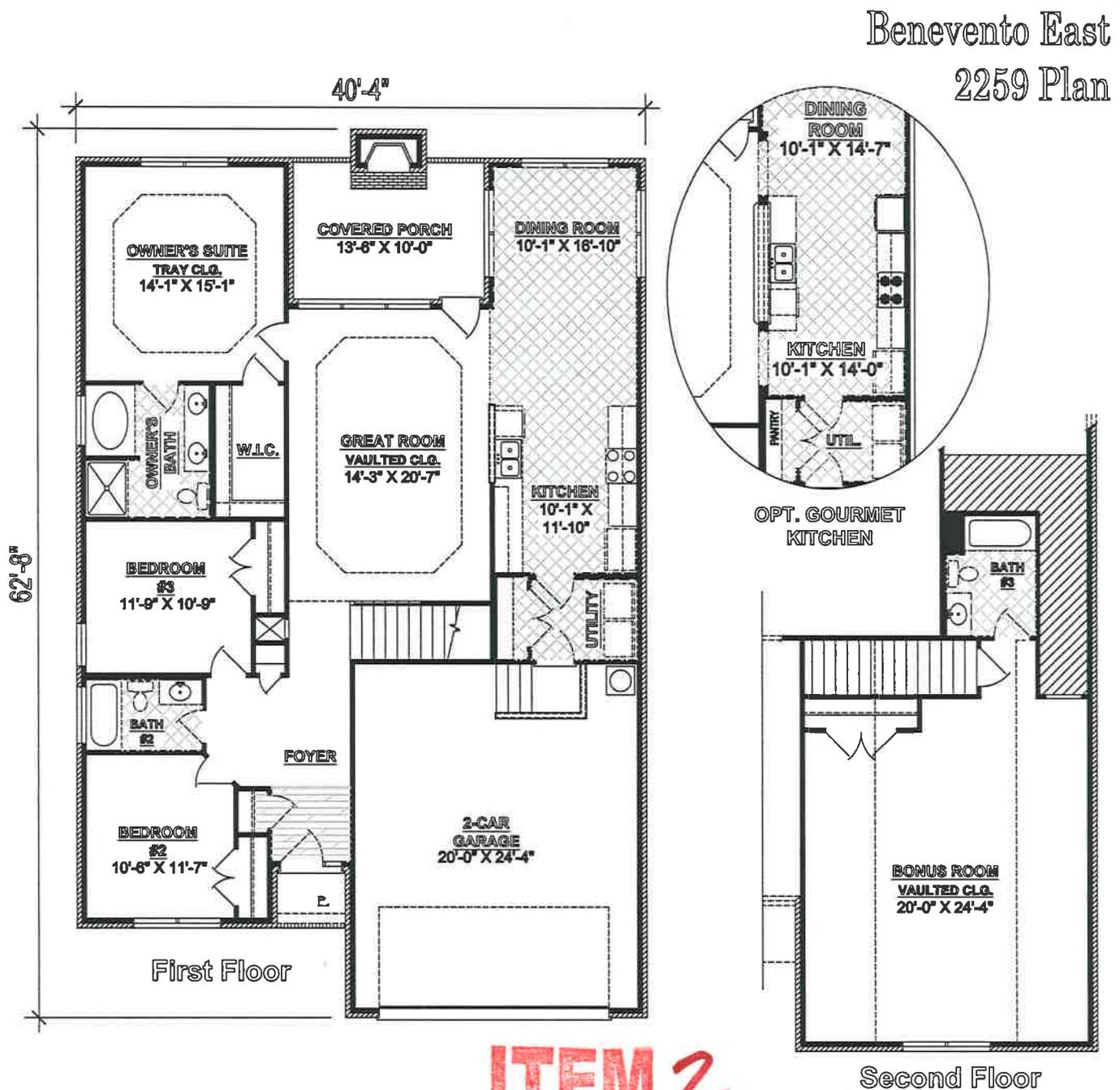
Second Floor 610

Total Heated 2,259

Communications

Cable 6

Phone 6



ITEM 2

All sizes and dimensions are approximate. All features, designs and prices are subject to change without notice. Floor plans may vary with selected elevations

PC044-12



OleSouthTM
Built It.

OleSouth.com

Benevento East
2108 Plan

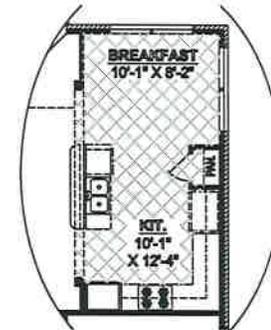
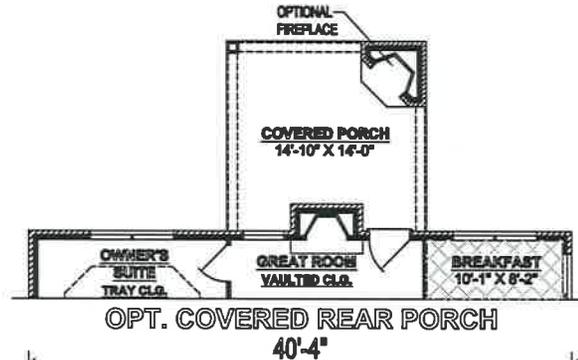


ITEM 2 PC 0044-12



OleSouth.com

Benevento East 2108 Plan



OPT. GLAMOUR
KITCHEN

Approximate Living Area

First Floor 1,534

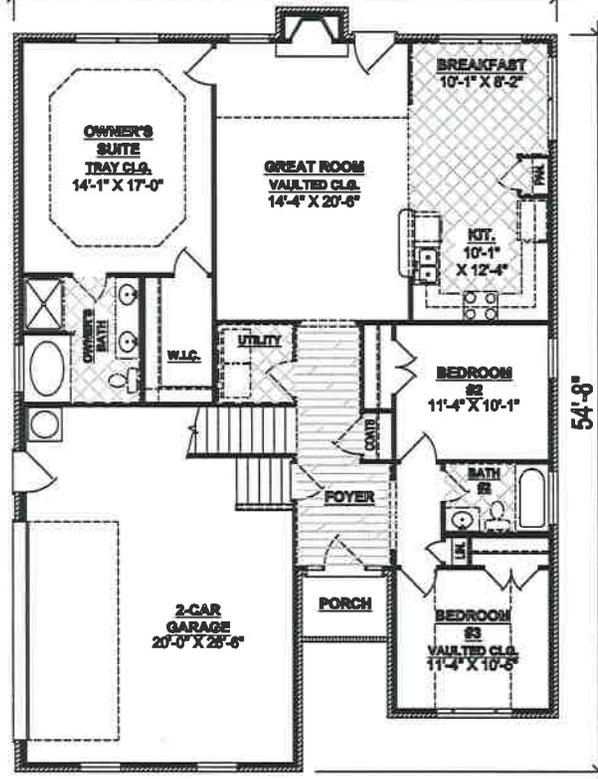
Second Floor 574

Total Heated 2,108

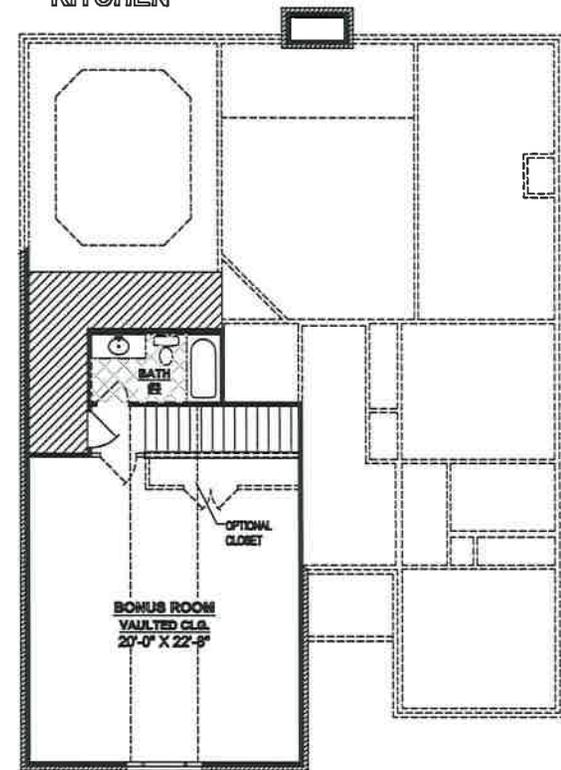
Communications

Cable 5

Phone 5



First Floor



Second Floor

ITEM 2

PC 0044 17

All sizes and dimensions are approximate. All features, designs and prices are subject to change without notice. Floor plans may vary with selected elevations



OleSouthTM
Built It.

OleSouth.com

Benevento East
2894 Plan



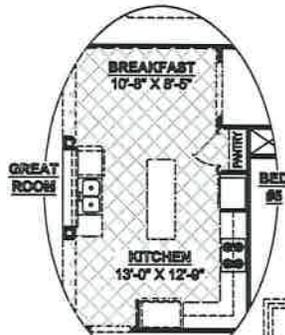
ITEM 2

PC 0044-12

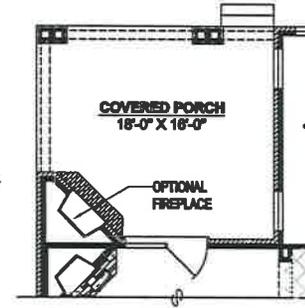


OleSouth.com

Benevento East 2894 Plan



OPT. GLAMOUR
KITCHEN



OPT. COVERED
REAR PORCH

Approximate Living Area

First Floor 1,882

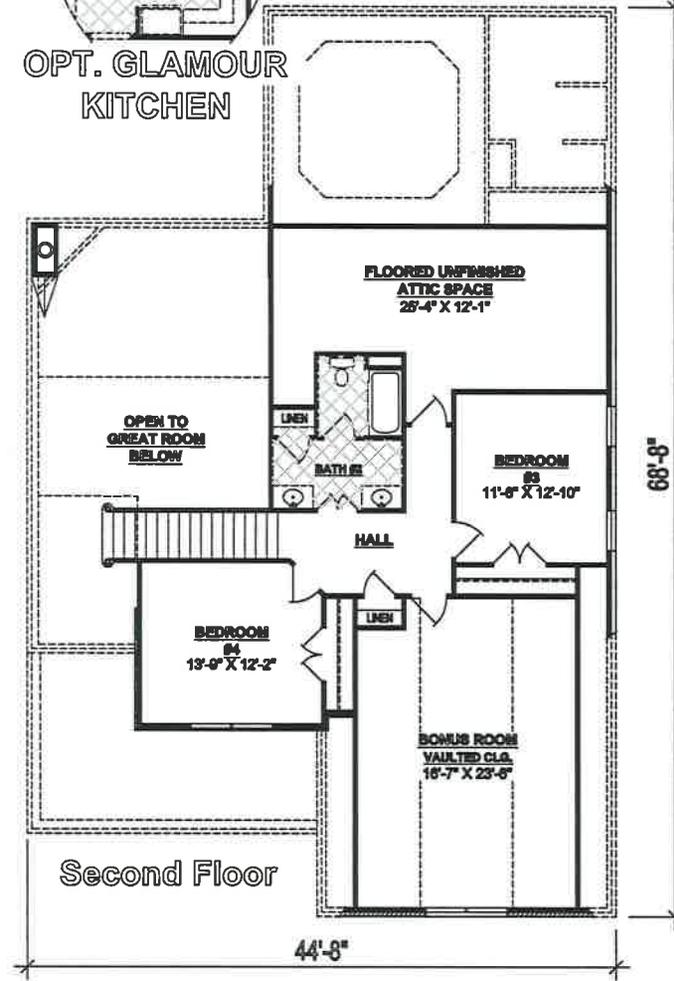
Second Floor 1,012

Total Heated 2,894

Communications

Cable 7

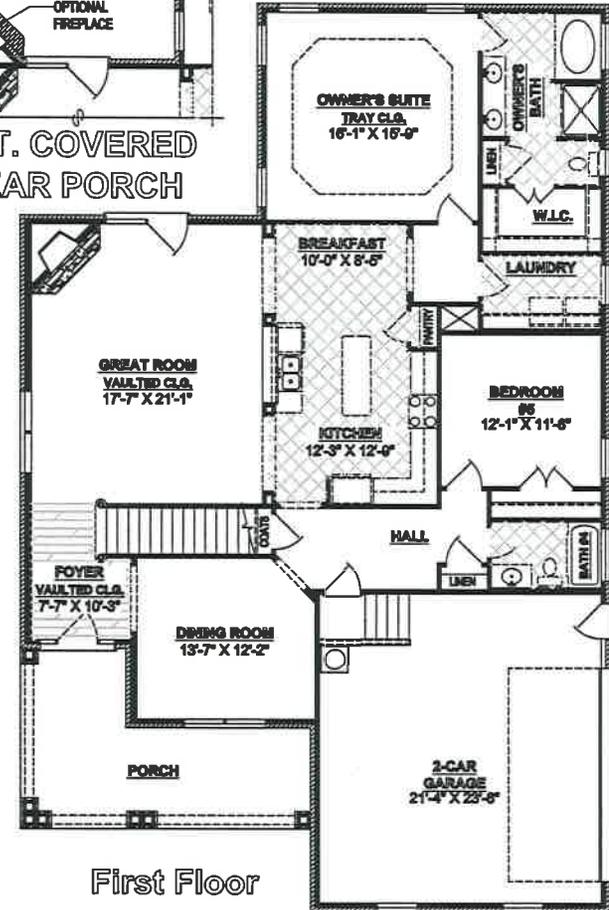
Phone 7



Second Floor

68'-8"

44'-8"



First Floor

ITEM 2
PC 0044-12

All sizes and dimensions are approximate. All features, designs and prices are subject to change without notice. Floor plans may vary with selected elevations



OleSouthTM
Built It.

OleSouth.com

Benevento East
3224 Plan



ITEM 2

PC 0044-12



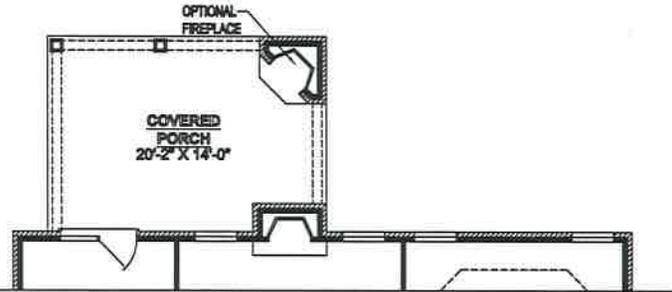
OleSouth.com

Benevento East 3224 Plan

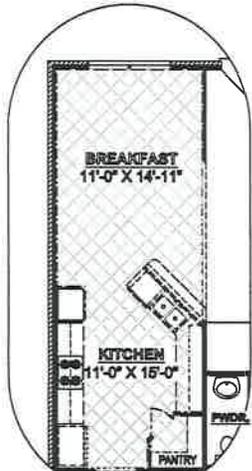
Communications

Cable 7

Phone 7



OPT. COVERED REAR PORCH



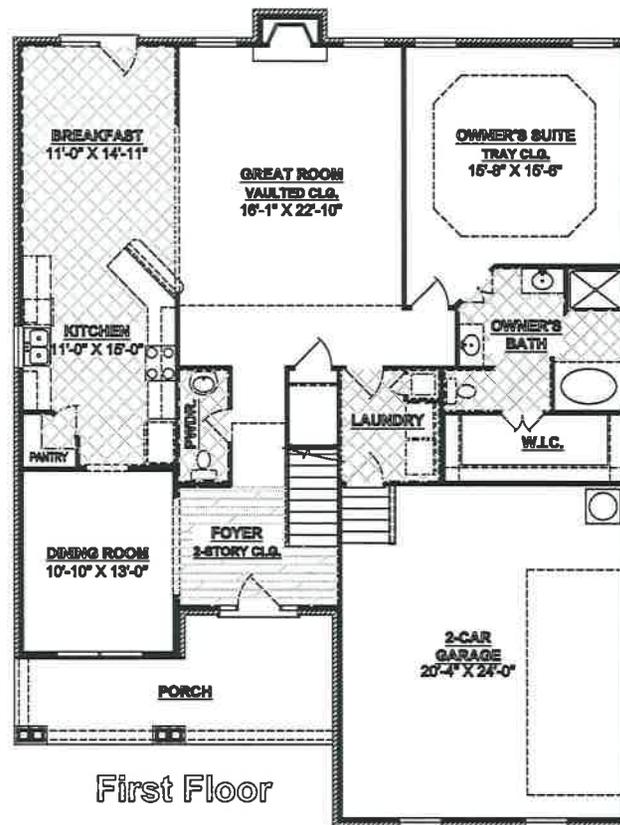
Opt. Gourmet Kitchen

Approximate Living Area

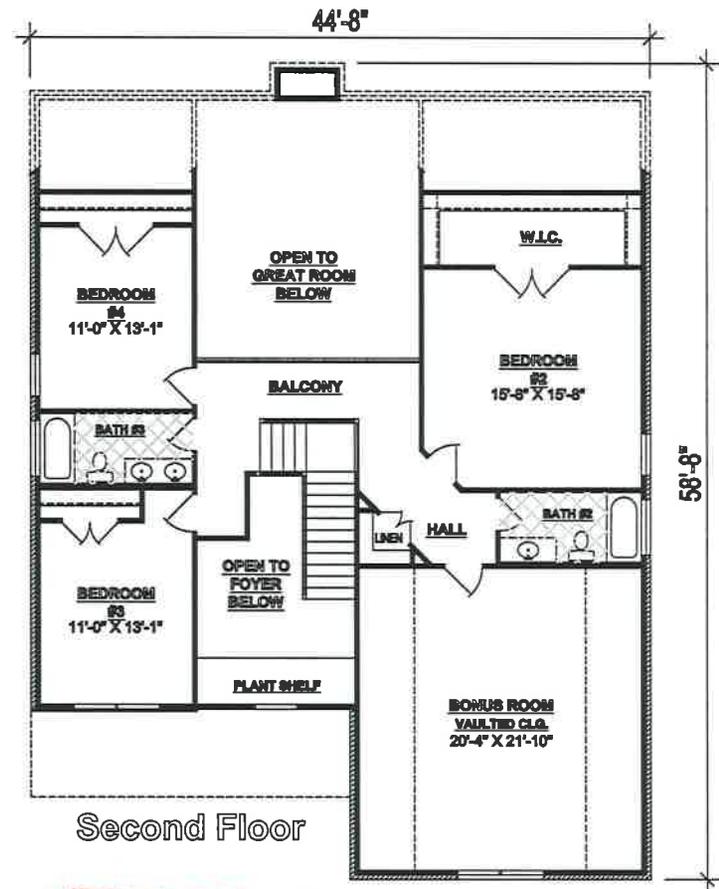
First Floor 1,687

Second Floor 1,537

Total Heated 3,224



First Floor



Second Floor

ITEM 2

PC 0044912

All sizes and dimensions are approximate. All features, designs and prices are subject to change without notice. Floor plans may vary with selected elevations

RESOLUTION RECOMMENDING APPROVAL OF AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR FOXLAND AT FAIRVUE, PHASES 5 AND 6, IN ORDER TO REVISE THE PHASE LINE BETWEEN PHASES 5 AND 6 AND TO DIVIDE PHASE 5 INTO SECTIONS, AND TO REVISE THE FINAL MASTER DEVELOPMENT PLAN FOR PHASE 5. PROPERTY CONTAINS 31.40 (+/-) ACRES AND IS LOCATED ON FOXLAND BOULEVARD, BOARDWALK PLACE, AND FENNER LANE – PC0105-13

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Amended Preliminary Master Development Plan/Revised Final Master Development Plan submitted by the applicant, Barge Waggoner Sumner & Cannon, Inc., at its regular meeting on March 25, 2013; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, attached hereto as Exhibit A, and the evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-103 and 13-4-102:

1. The minor amendment to the Preliminary Master Development Plan and the Revised Final Master Development Plan are in agreement and consistent with the recommendations of the General Development and Transportation Plan for the area.
2. It has been determined that the legal purposes for which zoning regulations exists are not contravened.
3. It has been determined that there will not be an adverse effect upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
4. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a minor amendment to the Preliminary Master Development Plan and approves a Revised Final Master Development Plan with the following conditions:

1. The Planning Commission approve the architectural elevations and photographs as submitted for the Final Master Development Plan, Phase 5.
2. The Planning Commission approve the landscaping plan as submitted for the Final Master Development Plan, Phase 5.

3. The Planning Commission approve the conceptual architectural elevations for Phase 6 with the understanding that the applicant will provide 40 percent front loading garages and 60 percent side or rear loading garages for the One-family Detached Dwelling units throughout the entire development. Staff also recommends that the applicant use an architectural dimension shingle on the single-family homes. Final architectural elevations shall be approved at the Final Master Development Plan stage for Phase 6.
4. The applicant shall correct sheet C1.00 from submitted PMDP (PC0103-13):
 - a) The applicant shall verify and correct the densities and unit counts for the original PMDP and proposed PMDP in the Site Data table and proposed density.
 - b) The applicant shall correct all the Community Panel Numbers in Notes #1 from 'E' to 'G'.
 - c) The applicant shall add 'Per Section 07.02.020.A of the Gallatin Zoning Ordinance minimum lot size for residential development in a MRO zoned district is 6,000 s.f.' in the notes.
 - d) The applicant shall correct the title block to read 'Amended Preliminary Master Development Plan-Phase 5 and Phase 6/Revised Final Master Development Plan-Phase 5'.
5. The applicant shall correct the cover sheet from submitted FMDP (PC0105-13):
 - a) The applicant shall correct the title and title block to read 'Amended Preliminary Master Development Plan-Phase 5 and Phase 6/Revised Final Master Development Plan-Phase 5'.
6. The applicant shall correct sheet C1.00 from submitted FMDP (PC0105-13):
 - a) The applicant shall correct note #6 to 'The Planning Commission approved side yards to be reduced from 20' to 15' on Lot 1253'.
 - b) The applicant shall correct 'Type 15 Landscape Buffer' to 'Type 15 Alternative Bufferyard'.
 - c) The applicant shall show and label 'Phase 5, Section 1: 29 Single-Family Lots, 15,000 S.F. Average' on the site plan.
 - d) The applicant shall show and label 'Phase 5, Section 2: 2 Single-Family Lots, 15,000 S.F. Average' on the site plan
7. The applicant shall submit a tree survey for Phase 5 to the Codes/Planning Department.
8. The applicant shall submit a Developers Agreement, committing to the installation of the water and sanitary sewer infrastructure, to the White House Utility District prior to the recording of the final plats for these phases.
9. The applicant shall submit detailed plans and specifications (construction plans) for the installation of the water and sanitary sewer infrastructure to the White House Utility District prior to the recording of the final plats for Phase 5 and Phase 6.
10. The applicant shall submit a utility surety, in an amount to be determined by White House Utility District, prior to the recording of final plats for Phase 5 and Phase 6.
11. The applicant shall submit a copy of the utility surty to the Codes/Planning Department.
12. The applicant shall submit a site surety, in the amount to be determined by the applicant per the site surety calculation sheet, to the Codes/Planning Department prior to issuance of any building permits.
13. The applicant shall submit three (5) corrected, folded copies of the Amended Preliminary Master Development Plan/Revised Final Master Development Plan to the Codes/Planning Department. Please submit one (1) full size plan and four (4) half size plans to the Codes/Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 03/25/2013

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY

EXHIBIT A

ITEM 3 3/25/13 GMRPC MEETING

Applicant requests approval to amend the Preliminary Master Development Plan for Foxland at Fairvue, in order to revise the phase line between Phase 5 and Phase 6 and to divide Phase 5 into sections, and to revise the Final Master Development Plan for Phase 5. Property contains 31.40 (+/-) acres and is located on Foxland Boulevard, Boardwalk Place, and Fenner Lane. (PC0105-13)

- Attachment 3-1 Amended Preliminary Master Development Plan**
- Attachment 3-2 Revised Final Master Development Plan**
- Attachment 3-3 Proposed Architectural Elevations Phase 5**
- Attachment 3-4 Approved Architectural Elevations Phase 5**
- Attachment 3-5 Conceptual Architectural Elevations Phase 6**
- Attachment 3-6 Response letter from Jennifer Speich, PE, PMP, dated March 11, 2013**
- Attachment 3-7 Response letter from Jennifer Speich, PE, PMP, dated March 18, 2013**

ANALYSIS

The applicant is requesting approval to amend the Preliminary Master Development Plan (PMDP) for Foxland at Fairvue, in order to revise the phase line between Phase 5 and Phase 6 and to divide Phase 5 into sections, and to revise the Final Master Development Plan (FMDP) for Foxland at Fairvue, Phase 5. Property contains 31.40 (+/-) acres and is located on Foxland Boulevard, Boardwalk Place, and Fenner Lane. A portion of the Foxland at Fairvue property is located in a flood hazard area. Construction on lots located in the 100-year floodplain will require elevation certificates and development permits. No portion of Phase 5 is located in the floodplain. This property is currently zoned Multiple Residential and Office (MRO) and One-family Detached Dwelling is a permitted use in the MRO zone district.

The applicant submitted a separate PMDP for Foxland at Fairvue, Phase 5 and Phase 6 (PC0103-13), and a FMDP for Foxland at Fairvue, Phase 5 (PC0105-13). Since there were no density changes or any significant changes to the PMDP, except to revise the phase line between Phase 5 and Phase 6, Staff combined the two (2) separate plans into one (1) plan under the title of Amended Preliminary Master Development Plan/ Revised Final Master Development Plan for Foxland at Fairvue (PC0105-13). Staff will work with the applicant to combine the necessary drawings from the submitted PMDP and FMDP into the newly combined PMDP/FMDP.

A preliminary plat for Foxland at Fairvue, Phase 5 was submitted to the Codes/Planning Department for review and placed on this month's Planning Commission meeting agenda. The preliminary plat is the next item on the Planning Commission's agenda.

Previous Approvals

At the November 28, 2005 meeting, the Planning Commission recommended approval of a Preliminary Master Development Plan (PC File #3-16-05) to rezone 416.87 (+/-) acres, known as the Foxland property, from Residential-15 Planned Unit Development (R15 PUD) and Multiple Residential and Office Planned Unit Development (MRO PUD) to Mixed Use (MU) and MRO. The plan called for 81.37 (+/-) acres to be rezoned to MU and 335.50 (+/-) acres to be rezoned to MRO. The Preliminary Master Development Plan (PC File #3-16-05) and rezoning request passed Second Reading at the February 7, 2006 City Council meeting. At that time the applicant featured

the proposed MU portion of the property as future development and a separate Preliminary Master Development Plan will be required. The Preliminary Master Development Plan (PC File #3-12-08) for the future development, Phases 11 to 16, was submitted and passed Second Reading at the July 15, 2008 City Council meeting.

At the May 22, 2007 meeting the Planning Commission approved a Final Master Development Plan for Foxland at Fairvue, Phase 5 containing 68 lots on 22.06 (+/-) acres (PC File #8-49-07).

At the May 19, 2008 meeting, the Planning Commission approved a Revised Preliminary Master Development Plan for Foxland at Fairvue, Phase 2, Phase 9, and the Clubhouse area (PC File #3-14-08). Phase 2 was approved with seven (7) buildings for a total of 300 waterfront condominium units along Old Hickory Lake. The Revised Preliminary Master Development Plan also included plans for Foxland Harbor, a mixed-use development with a commercial section and a public waterfront along Old Hickory Lake. The Revised Preliminary Master Development Plan (PC File #3-14-08) passed Second Reading at the July 15, 2008 City Council meeting.

At the May 23, 2011 meeting, the Planning Commission approved an amended Preliminary Master Development Plan (PC9814-11) for Foxland at Fairvue, Phase 3, Section 1, Phase 7, and Phase 9 in order to change density, lot sizes, uses, street design, and architecture. The amended Preliminary Master Development Plan (PC9814-11) passed Second Reading at the August 2, 2011 City Council meeting.

A density adjustment was also approved at that time. The density for the project was based on the total area of the development (not individual phases) and was approved at 2.51 units per acre. A clerical error on the calculations listed in the Site Data table listed the density as 2.51 units per acre, which needs to be corrected. The applicant shall verify and correct the densities and unit counts for the original PMDP and proposed PMDP in the Site Data table and proposed density. The proposed (corrected) density for the Amended Preliminary Master Development Plan is 2.56 units per acre. Staff recommends that the Planning Commission use the same density adjustment for this amended Preliminary Master Development Plan (PC0105-13) and approve the density calculation based on the entire acreage of the development.

Amended Preliminary Master Development Plan/Revised Final Master Development Plan

The purpose of the amended Preliminary Master Development Plan (PMDP) and the revision to the Final Master Development Plan (FMDP) is to revise the phase line between Phase 5 and Phase 6 and to divide Phase 5 into sections. This change resulted in different lot counts and lot sizes for the single-family homes proposed from the approved PMDP for each Phase. Due to the changes to the amended PMDP and revised FMDP, Staff will address each proposed change individually by Phase.

Phase 5

The proposed changes include dividing Phase 5 into two (2) sections, Section 1 and Section 2, and a substantial decrease in density from 3.08 units per acre to 2.31 units per acre due to the reduction of lots and acreage. The amended Preliminary Master Development Plan shows a total of 31 single-family lots at an average of 15,000 square feet each on 13.43 (+/-) acres. This area was previously approved for 33 single-family lots at an average of 15,000 square feet each and 35 single-family lots at an average of 6,000 square feet each for a total of 68 single-family lots on 22.06 (+/-) acres. This would result in a reduction of 37 single-family lots and 8.63 (+/-) acres. The applicant is proposing

to relocate two (2) of the 15,000 square feet lots and 35 of the 6,000 square feet lots Phase 5 to Phase 6. These lots are located primarily along Fenner Lane.

The applicant submitted photographs, as part of the original approved FMDP for Phase 5 (PC File # 8-49-07), of single-family homes constructed in Fairvue Plantation that will be similar to the style homes to be constructed in Phase 5 of Foxland. The applicant has submitted additional architectural elevations and floor plans of the proposed single-family homes that are similar to the submitted photographs of homes approved in the original FMDP for Phase 5. The 15,000 square feet lots have a minimum requirement of 3,000 square feet for each home and that the single-family homes be limited to 30 percent front loading garages and 70 percent side or rear loading garages per the original approved PMDP for Foxland at Fairvue (PC File #3-16-05). All construction must meet the general design guidelines approved as part of the Preliminary Master Development Plan. Furthermore, all house plans must be approved by the Architectural Review Board.

The homes feature a mixture of brick and stone on all four (4) sides. Please note that the elevations provided only feature side loading garages. Please refer to the proposed architectural elevations for Phase 5, which have been included with this staff report as Attachments 3-3 and 3-4.

Staff recommends that the Planning Commission approve the architectural elevations and photographs as submitted for the Final Master Development Plan, Phase 5.

Phase 6

The proposed changes in Phase 6 include a decrease in density from 4.60 units per acre to 4.45 units per acre due to the increase in lots and acreage. The amended Preliminary Master Development Plan shows two (2) single-family lots at an average of 15,000 square feet each and 78 single-family lots at an average of 6,000 square feet for a total of 80 single-family lots on 17.97 (+/-) acres. This area was previously approved for 43 single-family lots at an average of 6,000 square feet on 9.34 (+/-) acres. This would result in an increase of 37 lots and 8.63 (+/-) acres. The applicant is proposing to add two (2) of the 15,000 square feet lots and 35 of the 6,000 square feet lots from Phase 5 to Phase 6. These lots are located primarily along Fenner Lane.

The applicant submitted conceptual architectural elevations of the village homes to be constructed in Phase 6. The 6,000 square feet lots have a minimum requirement of 1,600 square feet for each home and that the single-family homes be limited to 30 percent front loading garages and 70 percent side or rear loading garages per the original approved PMDP for Foxland at Fairvue (PC File #3-16-05). All construction must meet the general design guidelines approved as part of the Preliminary Master Development Plan. Furthermore, all house plans must be approved by the Architectural Review Board.

The homes feature a mixture of brick, stone, and Hardie Board siding. Please note that the architectural elevations provided only feature front loading garages. Please refer to the conceptual architectural elevations for Phase 6, which have been included with this staff report as Attachment 3-5.

The Planning Commission should discuss the architecture for this area. If the Planning Commission approves the conceptual architectural elevations for Phase 6, Staff recommends that the Planning Commission amend the condition that the front loading garages be limited to 40 percent of the single-family homes. This would allow the village homes with the front loading garages in Phase 6

to be constructed. Staff also recommends that the applicant use an architectural dimension shingle on the houses in this area. Final architectural elevation shall be approved at the Final Master Development Plan stage.

Construction Schedule

Construction on the single-family homes in Phase 5 is scheduled to begin in July of 2013 and is expected to be completed in July of 2014. Construction on the single-family homes in Phase 6 is scheduled to begin in June of 2014 and is expected to be completed in June of 2016.

Major/Minor Amendment

Gallatin Zoning Ordinance Section 12.02.050, *Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan*, lists certain criteria that would constitute a major amendment. There are no criteria items that apply to this Amended Preliminary Master Development Plan that would qualify for a major amendment, except to revise the phase line between Phase 5 and Phase 6 and add sections to Phase 5. Staff recommends that the Planning Commission consider the proposed revisions as a minor amendment to the Preliminary Master Development Plan.

Landscaping and Bufferyards

A Type 15 Alternative Bufferyard was previously approved along the backs of lots 1239-1253 in Phase 5 and a Type 40 Bufferyard approved along the backs of lots 1223-1238 in portion of Phase 5 and Phase 6. The Type 15 Alternative Bufferyard will be located in Phase 5 and the Type 40 Bufferyard will be located in Phase 6. The applicant would like to utilize the existing mature trees in this area toward the Type 15 Alternative Bufferyard and Type 40 Bufferyard requirement. A note was added to the original Preliminary Master Development Plan that the Planning Commission could require additional plantings in this area if extra screening is necessary. Staff reviewed the details of the alternative bufferyard and was satisfied with the alternative bufferyard as long as the applicant submits a tree survey. The applicant shall understand that any existing trees removed or missing along the bufferyards that the trees shall be replaced or filled in with the proper landscaping as noted in the landscape plan as submitted. The Type 15 Alternative Bufferyard and Type 40 Bufferyard are a supplement the existing mature trees located along the property line. The applicant shall submit a tree survey for Phase 5 to the Codes/Planning Department. The applicant shall submit a detailed landscaping plan and tree survey at the Final Master Development Plan stage for Phase 6. The applicant shall submit a site surety for Phase 5, in the amount to be determined by the applicant per the site surety calculation sheet, to the Codes/Planning Department prior to issuance of any building permits.

Combining PMDP and FMDP

The applicant shall take sheet C1.00 from the submitted PMDP drawings with the noted corrections and combine it (inserted) with the submitted FMDP drawings (all sheets) with the noted corrections and resubmit the combined plans.

1. Correction to sheet C1.00 from submitted PMDP (PC0103-13)
 - a. The applicant shall verify and correct the densities and unit counts for the original PMDP and proposed PMDP in the Site Data table and proposed density.
 - b. The applicant shall correct all the Community Panel Numbers in Notes #1 from 'E' to 'G'.

EXHIBIT A

- c. The applicant shall add 'Per Section 07.02.020.A of the Gallatin Zoning Ordinance minimum lot size for residential development in a MRO zoned district is 6,000 s.f.' in the notes.
 - d. The applicant shall correct the title block to read 'Amended Preliminary Master Development Plan-Phase 5 and Phase 6/Revised Final Master Development Plan-Phase 5'.
2. Correction to cover sheet from submitted FMDP (PC0105-13)
 - a. The applicant shall correct the title and title block to read 'Amended Preliminary Master Development Plan-Phase 5 and Phase 6/Revised Final Master Development Plan-Phase 5'.
 3. Correction to sheet C1.00 from submitted FMDP (PC0105-13)
 - a. The applicant shall correct note #6 to 'The Planning Commission approved side yards to be reduced from 20' to 15' on Lot 1253'.
 - b. The applicant shall correct 'Type 15 Landscape Buffer' to 'Type 15 Alternative Bufferyard'.
 - c. The applicant shall show and label 'Phase 5, Section 1: 29 Single-Family Lots, 15,000 S.F. Average' on the site plan.
 - d. The applicant shall show and label 'Phase 5, Section 2: 2 Single-Family Lots, 15,000 S.F. Average' on the site plan.

Engineering Division Comments

The Engineering Division had no comments on this project.

Other Departmental Comments

The majority of the other City Departments had no comments on this project. However; the Gallatin Public Utilities stated that the applicant shall coordinate for any natural gas main and service installation and the Fire Department stated that all roads and turn around shall be able to accommodate all fire equipment.

White House Utility District Comments

This area is serviced by the White House Utility District (WHUD) and during their review of this plan WHUD made comments:

1. The developer shall understand that water or sanitary sewer infrastructure has not been installed for Phase 5 or Phase 6.
2. The developer shall submit a request for availability of water and sanitary sewer services.
3. The developer shall enter into a Developers Agreement committing to the installation of the water and sanitary sewer infrastructure shall be submitted to the White House Utility District prior to the recording of the final plats for these phases.
4. The developer shall connect the water line from the south end of Foxland Boulevard to the existing water line on Lee Etta Drive.
5. The developer shall install the water taps on the existing main line for Lots 1386 and 1174.
6. The developer shall submit to WHUD the fire hydrant flows to be supplied.
7. The developer shall submit a utility surety, in an amount to be determined by White House Utility District, prior to the recording of final plats for Phase 5 and Phase 6.
8. The applicant shall submit detailed plans and specifications (construction plans) for the installation of the water and sanitary sewer infrastructure to the White House Utility District prior to the recording of the final plats for Phase 5 and Phase 6.

EXHIBIT A

RECOMMENDATION

Staff recommends that the Planning Commission consider the proposed changes as a minor amendment to the Preliminary Master Development Plan.

In addition, staff recommends that the Planning Commission approve the Amended Preliminary Master Development Plan/Revised Final Master Development Plan with the following conditions:

1. The Planning Commission approve the architectural elevations and photographs as submitted for the Final Master Development Plan, Phase 5.
2. The Planning Commission approve the landscaping plan as submitted for the Final Master Development Plan, Phase 5
3. If the Planning Commission approves the conceptual architectural elevations for Phase 6, Staff recommends that the Planning Commission amend the limited condition that the front loading garages be limited from 30 to 40 percent of the single-family homes. This would allow the village homes with the front loading garages in Phase 6 to be constructed. Staff also recommends that the applicant use an architectural dimension shingle on the houses in this area. Final architectural elevation shall be approved at the Final Master Development Plan stage.
4. The applicant shall correct sheet C1.00 from submitted PMDP (PC0103-13):
 - a) The applicant shall verify and correct the densities and unit counts for the original PMDP and proposed PMDP in the Site Data table and proposed density.
 - b) The applicant shall correct all the Community Panel Numbers in Notes #1 from 'E' to 'G'.
 - c) The applicant shall add 'Per Section 07.02.020.A of the Gallatin Zoning Ordinance minimum lot size for residential development in a MRO zoned district is 6,000 s.f.' in the notes.
 - d) The applicant shall correct the title block to read 'Amended Preliminary Master Development Plan-Phase 5 and Phase 6/Revised Final Master Development Plan-Phase 5'.
5. The applicant shall correct the cover sheet from submitted FMDP (PC0105-13):
 - a) The applicant shall correct the title and title block to read 'Amended Preliminary Master Development Plan-Phase 5 and Phase 6/Revised Final Master Development Plan-Phase 5'.
6. The applicant shall correct sheet C1.00 from submitted FMDP (PC0105-13):
 - a) The applicant shall correct note #6 to 'The Planning Commission approved side yards to be reduced from 20' to 15' on Lot 1253'.
 - b) The applicant shall correct 'Type 15 Landscape Buffer' to 'Type 15 Alternative Bufferyard'.
 - c) The applicant shall show and label 'Phase 5, Section 1: 29 Single-Family Lots, 15,000 S.F. Average' on the site plan.
 - d) The applicant shall show and label 'Phase 5, Section 2: 2 Single-Family Lots, 15,000 S.F. Average' on the site plan.
7. The applicant shall submit a tree survey for Phase 5 to the Codes/Planning Department.
8. The applicant shall submit a Developers Agreement, committing to the installation of the water and sanitary sewer infrastructure, to the White House Utility District prior to the recording of the final plats for Phase 5 and Phase 6.
9. The applicant shall submit detailed plans and specifications (construction plans) for the installation of the water and sanitary sewer infrastructure to the White House Utility District prior to the recording of the final plats for Phase 5 and Phase 6.

EXHIBIT A

10. The applicant shall submit a utility surety, in an amount to be determined by White House Utility District, prior to the recording of final plats for Phase 5 and Phase 6.
11. The applicant shall submit a copy of the utility surety to the Codes/Planning Department.
12. The applicant shall submit a site surety, in the amount to be determined by the applicant per the site surety calculation sheet, to the Codes/Planning Department prior to issuance of any building permits.
13. The applicant shall submit three (5) corrected, folded copies of the Amended Preliminary Master Development Plan/Revised Final Master Development Plan to the Codes/Planning Department. Please submit one (1) full size plan and four (4) half size plans to the Codes/Planning Department.

Tony Allers
Director

CITY OF GALLATIN, TENNESSEE
Gallatin Codes/Planning Department

Katherine Schoch
Assistant Director

Project Comments

Meeting Date: 03/25/2013

RE: FOXLAND, PHASE 5 & 6 AMENDED PMDP, ACTIVITY, Preliminary Master Development Plan

Reference #: PC0103-13

Department of Public Utilities

Review Date: 03/01/2013

water & sanitary sewer service provided by WHUD

Planning Department

Review Date: 03/11/2013

Codes/Planning Department Project Manager: Katherine Schoch

Review Date: 3/11/13

1. Submit agent letters for all property owners.
2. Add group letters to tax map numbers for property owners.
3. Amend location map.
4. Add column to site data chart with number and size of lots originally approved and number and size proposed. Also list previously approved density.
5. Approved PMDP shows 68 lots in Phase 5 and 43 lots in Phase 6 for a total of 111 lots. Approved FMDP for Phase 5 shows 68 lots total; 33 lots approximately 15,000 s.f. average and 35 lots 6,000 s.f. average.
6. Provide lot size chart similar to chart shown on approved PMDP.
7. Change "average size" to "minimum size" in lot data table.
8. Show alternative Type 15 bufferyard as previously approved along back of lots 1239-1253.
9. Show acreage in Phase 5 and in Phase 6.
10. Staff will recommend proposed changes be considered as a minor amendment to the approved PMDP.
11. Add statement of financial responsibility.
12. Update FEMA note with 4/17/12 effective date.
13. Add missing information to typical lot drawing.
14. Label Sumner County zoning for adjacent property to west.
15. Please submit sample architectural elevations for types of houses that will fit on the 15,000 and s.f. lots and the 6,000 s.f. lots. Final architecture elevations will be approved as part of the revised Final Master Development Plan.

Tony Allers

Director

Katherine Schoch

Assistant Director

CITY OF GALLATIN, TENNESSEE
Gallatin Codes/Planning Department

16. Site surety for landscaping improvements will be required as part of revised Final Master Development Plan.
17. Submit sixteen (16) corrected, folded copies of the resubmittal documents (1 full size and 15 half size), and 16 architectural elevations.
18. Submit digital copies of plans and supporting information/correspondence pertaining to this project in the following formats: DGN or DWG file (MicroStation version "J" software) of subdivision plats, site plans, PMDP, and FMDP. Submit PDF files of all pages of subdivision plats, site plans, PMDP, and FMDP and submit PDF files of all supporting documents and correspondence. Label file formats on CD.
19. Submit a detailed response letter addressing all departmental review comments. RETURN CHECKPRINT & CHECKLIST
20. Resubmittal documents must be turned in to the Codes/Planning Department by 4:30 PM on 3/18/2013. Resubmittals must include the above information in order to be considered a complete resubmittal.

Codes Department

Review Date: 03/11/2013

No comments

Engineering Division

Review Date: 03/07/2013

No comments

Fire Department

Review Date: 03/07/2013

All roads and turn around shall be able to accommodate all fire equipment

Police Department

Review Date: 03/04/2013

Reviewed: No comments

Gallatin Department of Electricity

Review Date: 03/04/2013

OK

Sumner County, E-911

Review Date:

Industrial Pre-treatment Department

Review Date:

Tony Allers
Director

CITY OF GALLATIN, TENNESSEE
Gallatin Codes/Planning Department

Katherine Schoch
Assistant Director

Project Comments

Meeting Date: 03/25/2013

RE: FOXLAND, PHASE 5, SECTION 1 AND SECTION 2, ACTIVITY, Final Master Development Plan

Reference #: PC0105-13

Department of Public Utilities

Review Date: 03/01/2013

water and sanitary sewer service provided by WHUD

Planning Department

Review Date: 03/11/2013

Codes/Planning Department Project Manager: Robert Kalisz

Review Date: 03/11/2013 (Also Reference PC File #8-49-07-FMDP Phase 5)

1. Correct titles to 'Phase 5-Section 1 and Section 2'.
2. Add location in title 'Foxland Boulevard and Boardwalk Place'.
3. Correct city limits in location map.
4. Show and label Boardwalk Place in site layout.
5. Correct FEMA note to 47165C0409G dated April 17, 2012.
6. Correct Note #6 to Planning Commission approved side yards...
7. Correct 20' Front Yard Easement to 20' Front Yard and P.U.D.E. in site layout.
8. Correct 10' Side Yard Easement to 10' Side Yard in site layout.
9. Correct 15' Rear Yard Easement to 15' Rear Yard and P.U.D.E. in site layout.
10. Correct surrounding property owner 'M' to John Van Dyke ...
11. Correct PMDP Type 10 Alternative Bufferyard to reflect Type 15 Bufferyard as indicated on FMDP and approved in PC File #8-49-07.
12. Applicant shall provide architectural plans (floor plans) and elevations (photographs of model homes).
13. Applicant shall note or provide a letter of statement of adequate surety.
14. Submit sixteen (16) corrected, folded copies of the resubmittal documents (1 full size and 15 half size if original plans are greater than 18 x 24), and 16 architectural elevations if needed.
15. Submit digital copies of plans and supporting information/correspondence pertaining to this project in the following formats: DGN or DWG file (MicroStation version "J" software) of subdivision plats, site plans, PMDP, and FMDP. Submit PDF files of all pages of subdivision plats, site plans, PMDP, and FMDP and submit PDF files of all supporting documents and correspondence. Label file formats on CD.

Tony Allers

Director

Katherine Schoch

Assistant Director

CITY OF GALLATIN, TENNESSEE
Gallatin Codes/Planning Department

16. Submit a detailed response letter addressing all departmental review comments.
17. RETURN CHECKPRINT & CHECKLIST
18. Resubmittal documents must be turned in to the Codes/Planning Department by 4:30 PM on 3/14/2013. Resubmittals must include the above information in order to be considered a complete resubmittal.

Codes Department

Review Date:

No comments

Engineering Division

Review Date: 03/07/2013

No comments

Fire Department

Review Date: 3/7/2013

All roads and turn around shall be able to accommodate all fire equipment.

Police Department

Review Date: 03/04/2013

Reviewed: No comments

Gallatin Department of Electricity

Review Date: 03/04/2013

OK

Sumner County, E-911

Review Date:

N/A

Industrial Pre-treatment Department

Review Date: 03/01/2013

Water/sanitary sewer by WHUD Developer shall coordinate with Gallatin Public Utilities for natural gas main and service installation.

White House Utility District

3/4/2013: WHUD

Regarding Foxland Phase 5 Section 1 and 2 Final Master Development Plan AND Foxland Phase 5 and 6 Preliminary Master Development Plan:

Developer needs to request availability for water and sewer.

EXHIBIT A

Tony Allers

Director

CITY OF GALLATIN, TENNESSEE

Gallatin Codes/Planning Department

Katherine Schoch

Assistant Director

They will need to connect the water line from the south end of Foxland Blvd to the existing water line on Lee Etta Drive.

WHUD needs to know what fire hydrant flows will be needed.

Developer will need to enter into a Developer Agreement with WHUD.

Foxland Phase 5 Section 2 will need to install water taps on the existing main for lots 1386 and 1174.

EXHIBIT A

ATTACHMENT 3-4



03/24/2006

EXHIBIT A

0007/007

3-4



10/16/2007 TUE 14:32 FAX

03/24/2006

10/16/2007 TUE 14:31 FAX

0006/007

EXHIBIT A

ATTACHMENT

3-4



03/24/2006

0005/007

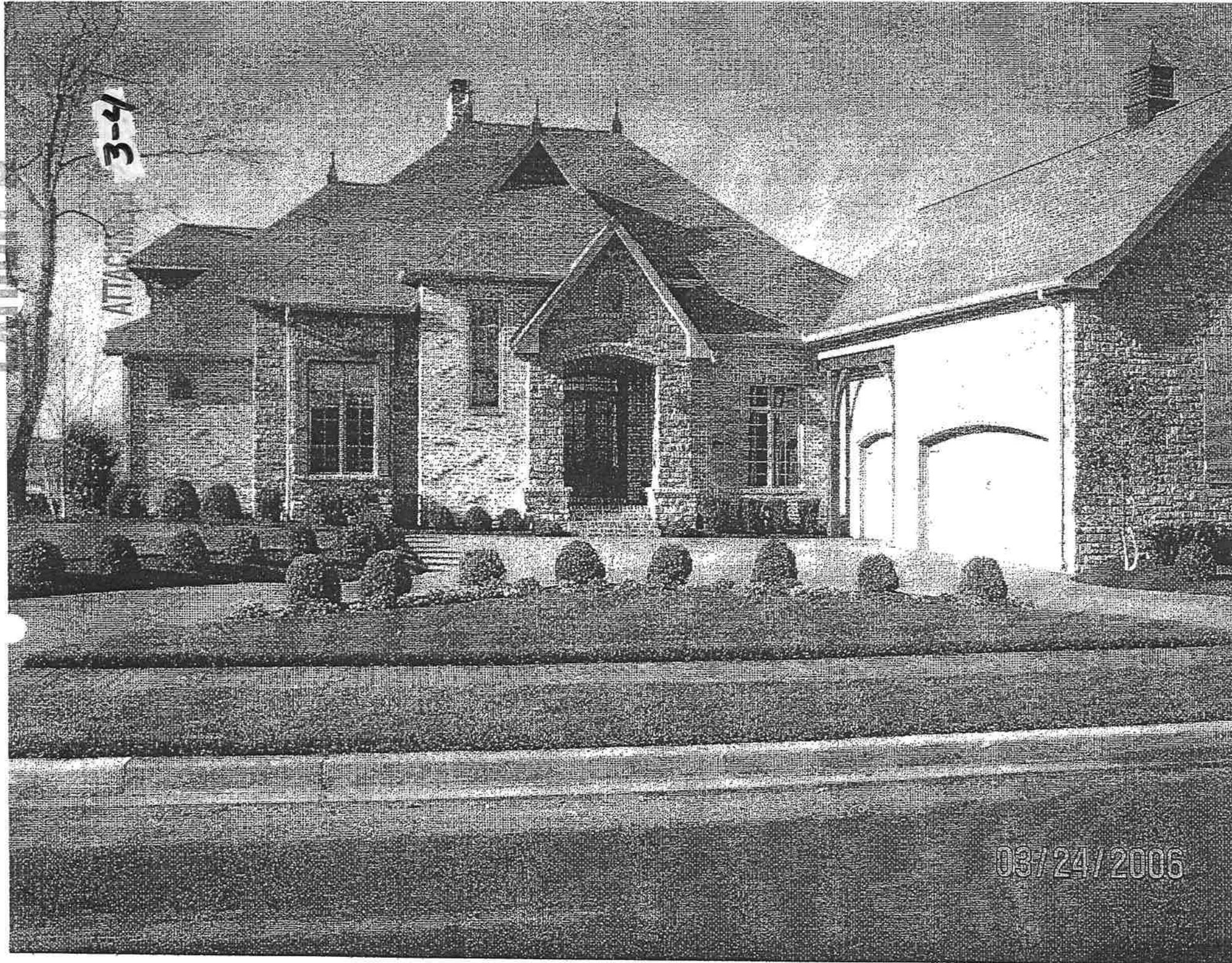
EXHIBIT A

3-4

ATTACHED

10/16/2007 TUE 14:29 FAX

03/24/2006



March 11, 2013
File No. 32003-29

Ms. Katherine Schoch, AICP
Assistant Director of Codes and Planning
CITY OF GALLATIN
132 West Main Street, Room 201
Gallatin, Tennessee 37066

RE: FOXLAND AT FAIRVUE
FINAL MASTER DEVELOPMENT PLAN
PHASE 5, SECTIONS 1 & 2 PC0105-13

Dear Katherine:

On behalf of our Client, Joe Godfrey of Foxland Development Properties, we respectfully submit the following comments from the respective departments:

Department of Public Utilities

Review Date: 03/01/2013

1. Water and sanitary sewer service provided by WHUD.

Planning Department

Review Date: 03/11/2013

Codes/Planning Department Project Manager: Robert Kalisz

Review Date: 03/11/2013

(Also Reference PC File #8-49-07-FMDP Phase 5)

1. Correct titles to 'Phase 5-Section 1 and Section 2'.
The title on the cover and in the title block has been changed to Phase 5 – Section 1 and Section 2.
2. Add location in title 'Foxland Boulevard and Boardwalk Place'.
'Foxland Boulevard and Boardwalk Place' has been added in title.

Ms. Katherine Schoch
March 15, 2013
File No. 32003-29
Page 2

3. Correct city limits in location map.
The city limits have been updated in the location map.
4. Show and label Boardwalk Place in site layout.
A label has been added on Boardwalk Place above Section 2.
5. Correct FEMA note to 47165C0409G dated April 17, 2012.
The FEMA note has been updated to reflect this.
6. Correct Note #6 to Planning Commission approved side yards.
Note #6 has been updated.
7. Correct 20' Front Yard Easement to 20' Front Yard and P.U.D.E. in site layout.
This correction has been made.
8. Correct 10' Side Yard Easement to 10' Side Yard in site layout.
This correction has been made.
9. Correct 15' Rear Yard Easement to 15' Rear Yard and P.U.D.E. in site layout.
This correction has been made.
10. Correct surrounding property owner 'M' to John Van Dyke ...
Property owner 'M' has been corrected.
11. Correct PMDP Type 10 Alternative Bufferyard to reflect Type 15 Bufferyard as indicated on FMDP and approved in PC File #8-49-07.
This change has been made on the PMDP.
12. Applicant shall provide architectural plans (floor plans) and elevations (photographs of model homes).
As noted.
13. Applicant shall note or provide a letter of statement of adequate surety.
As noted.

Ms. Katherine Schoch
March 15, 2013
File No. 32003-29
Page 3

14. Submit sixteen (16) corrected, folded copies of the resubmittal documents (1 full size and 15 half size if original plans are greater than 18 x 24), and 16 architectural elevations if needed.
Enclosed.
15. Submit digital copies of plans and supporting information/correspondence pertaining to this project in the following formats: DGN or DWG file (MicroStation version "J" software) of subdivision plats, site plans, PMDP, and FMDP. Submit PDF files of all pages of subdivision plats, site plans, PMDP, and FMDP and submit PDF files of all supporting documents and correspondence. Label file formats on CD.
Enclosed.
16. Submit a detailed response letter addressing all departmental review comments.
As noted.
17. RETURN CHECKPRINT & CHECKLIST
Enclosed.
18. Resubmittal documents must be turned in to the Codes/Planning Department by 4:30 PM on 3/15/2013. Resubmittals must include the above information in order to be considered a complete resubmittal.
As noted.

Codes Department

Review Date:

Comments forthcoming once received if necessary

Fire Department

Review Date:

Comments forthcoming once received if necessary

Industrial Pre-treatment Department

Review Date: 03/01/2013

Water/sanitary sewer by WHUD

Ms. Katherine Schoch
March 15, 2013
File No. 32003-29
Page 4

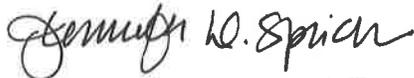
1. Developer shall coordinate with Gallatin Public Utilities for natural gas main and service installation.
We understand.

White House Utility District

Comments forthcoming once received if necessary

If you have any questions, please call me at (615) 252-4331.

Sincerely,



Jennifer D. Speich, PE, PMP

F:\32\32003\3200329\Admin\Correspondence\3200329_LTR019_Ph5Sc1&2_FMDP.doc

Enclosures

cc: Joe Godfrey, Foxland Development Properties

March 18, 2013
File No. 32003-29

Ms. Katherine Schoch, AICP
Assistant Director of Codes and Planning
CITY OF GALLATIN
132 West Main Street, Room 201
Gallatin, Tennessee 37066

RECEIVED
MAR 18 2013
GALLATIN PLANNING
& ZONING

**RE: FOXLAND AT FAIRVUE
PHASE 5 AND 6 AMENDED PMDP** *PC 0103-13*

Dear Katherine:

On behalf of our Client, Joe Godfrey of Foxland Development Properties, we have addressed the following comments from the respective departments:

Department of Public Utilities

Review Date: 03/01/2013

Water and sanitary sewer service provided by WHUD

Planning Department

Review Date: 03/11/2013

Codes/Planning Department Project Manager: Katherine Schoch

Review Date: 3/11/2013

1. Submit agent letters for all property owners.
Will be provided by owner.
2. Add group letters to tax map numbers for property owners.
Group letter 'D' has been added where appropriate.
3. Amend location map.
Updated city limits and site location hatching on site location map.

RESUBMITTAL

PC 0103-13

Ms. Katherine Schoch
March 18, 2013
File No. 32003-29
Page 2

4. Add column to site data chart with number and size of lots originally approved and number and size proposed. Also list previously approved density.
Table updated to include original approval.
5. Approved PMDP shows 68 lots in Phase 5 and 43 lots in Phase 6 for a total of 111 lots. Approved FMDP for Phase 5 shows 68 lots total; 33 lots approximately 15,000 SF average and 35 lots SF average
Changed note to correct number of lots from previously approved phases and added the area size of the lots.
6. Provide lot size chart similar to chart shown on approved PMDP.
Lot size chart provided.
7. Change "average size" to "minimum size" in lot data table.
"Average size" has been changed to "minimum size" on the lot yard table.
8. Show Alternative Type 15 bufferyard as previously approved along back of lots 1239-1253.
Alternative Type 15 bufferyard is now shown for the back of lots 1239-1253.
9. Show acreage in Phase 5 and in Phase 6.
Phase areas have been added to the site data chart.
10. Staff will recommend proposed changes be considered as a minor amendment to the approved PMDP.
We understand.
11. Add statement of financial responsibility.
Statement has been added.
12. Update FEMA note with 4/17/12 effective date.
Dates in note 1 have been update to reflect this date.
13. Add missing information to typical lot drawing.
Size of yards has been added to the typical lot.
14. Label Sumner County zoning for adjacent property to west.
Zoning has been changed to R1A.



RESUBMITTAL

PC0103-13

Ms. Katherine Schoch
March 18, 2013
File No. 32003-29
Page 3

15. Please submit sample architectural elevations for types of houses that will fit on the 15,000 SF lots and the 6,000 SF lots. Final architecture elevations will be approved as part of the revised Final Master Development Plan.
Developer to submit by close of business Monday under separate cover.
16. Site surety for landscaping improvements will be required as part of revised Final Master Development Plan.
We understand.
17. Submit sixteen (16) corrected, folded copies of the resubmittal documents (1 full size and 15 half size), and 16 architectural elevations.
Find enclosed.
18. Submit digital copies of plans and supporting information/correspondence pertaining to this project in the following formats: DGN or DWG file (MicroStation version "J" software) of subdivision plats, site plans, PMDP, and FMDP. Submit PDF files of all pages of subdivision plats, site plans, PMDP, and FMDP and submit PDF files of all supporting documents and correspondence. Label file formats on CD.
Find enclosed.
19. Submit a detailed response letter addressing all departmental review comments.
RETURN CHECKPRINT & CHECKLIST
As noted.
20. Resubmittal documents must be turned in to the Codes/Planning Department by 4:30 PM on 3/18/2013. Resubmittals must include the above information in order to be considered a complete resubmittal.
We understand.

Fire Department

Review Date: 03/07/2013

1. All roads and turn around shall be able to accommodate all fire equipment.
We understand.

Ms. Katherine Schoch
March 18, 2013
File No. 32003-29
Page 4

If you have any questions, please call me at (615) 252-4331.

Sincerely,



Jennifer D. Speich, PE, PMP

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Enclosures

cc: Joe Godfrey, Foxland Development Properties

RECEIVED
MAR 18 2013

GALLATIN PLANNING
& ZONING

RESUBMITTAL

PC0103-13

ITEM 4

GMRPC Resolution No. 2013-20

RESOLUTION APPROVING A PRELIMINARY PLAT FOR FOXLAND PHASE 5, SECTION 1 AND 2 IN ORDER TO CREATE 31 SINGLE FAMILY LOTS- PC0104-13

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Preliminary Plat submitted by the applicant, Barge, Waggoner, Sumner & Cannon, Inc., at its regular meeting on March 25th, 2013; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, attached hereto as Exhibit A, and the evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-103 and 13-4-102:

1. The Preliminary Plat is in agreement and consistent with the policies and recommendations in the General Development and Transportation Plan.
2. It has been determined that the legal purposes for which zoning and subdivision regulations exists have not been contravened.
3. It has been determined that there will not be an adverse effect upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
4. It has been determined that no one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Preliminary Plat with the following conditions of approval:

1. The applicant shall understand that upon recording of the final plat(s), an easement shall be provided on golf course property for proposed storm water ditches.
2. The applicant shall understand that modifications may be required to prevent erosion issues at the inlet where all drainage combines at the existing pipe under

the golf course. This will be addressed in depth during the review of the construction plans.

3. The applicant shall understand that water and sanitary sewer is provided by the White House Utility District and the applicant shall address all water and sewer infrastructure issues to the satisfaction of the White House Utility District including legal agreements and payment of all applicable fees.
4. The applicant shall understand that no utilities have been installed in Phase 5, Section 1 and 2.
5. The applicant shall either sign a Developer's Agreement and post and appropriate surety or enter into a Developer's Agreement and install the utilities and post a surety for maintenance.
6. The applicant shall apply all conditions of approval from Foxland, Phase 5 Amended Preliminary and Final Master Development Plan (PC0105-13) to the Preliminary Plat in order for all documents to match.
7. The applicant shall submit a subdivision surety, in an amount to be determined by the Gallatin Engineering Division, to the Codes/Planning Department prior to recording of the final plat for Foxland, Phase 5, Section 1 and 2.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 3/25/13

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY

**ITEM 4
3/25/13 GMRPC MEETING**

Applicant requests approval of a Preliminary Plat for Foxland, Phase 5, Section 1 and 2, a major subdivision, in order to create 31 single family lots. Property contains 13.43 (+/-) acres and is located on Foxland Boulevard and Boardwalk Place. (PC0104-13)

Attachment 4-1 Preliminary Plat

Attachment 4-2 Response Letter from Jennifer D. Speich, P.E., dated 3/11/2013

ANALYSIS

The applicant is requesting approval of a Preliminary Plat for Foxland, Phase 5, Section 1 and 2, a major subdivision, in order to create 31 single family lots. The property contains 13.43 (+/-) acres and is located on Foxland Boulevard and Boardwalk Place. The property is currently zoned Multiple Residential and Office (MRO) and Dwelling: One Family Detached is a permitted use in the MRO zone district. No portion of Phase 5 is located within a flood hazard area.

Previous Approvals

At the November 28, 2005 meeting, the Planning Commission recommended approval of a Preliminary Master Development Plan to rezone 416.87 (+/-) acres, known as the Foxland property, from Residential-15 Planned Unit Development (R15 PUD) and Multiple Residential and Office Planned Unit Development (MRO PUD) to Mixed Use (MU) and MRO. The plan called for 81.37 (+/-) acres to be rezoned to MU and 335.50 (+/-) acres to be rezoned to MRO. At that time the applicant featured the proposed MU portion of the property as future development and did not submitted any details or plans for that property. The Preliminary Master Development Plan and rezoning request passed Second Reading at the February 7, 2006 City Council meeting. A Final Master Development Plan (FMDP) for Foxland Phase 5 was approved, with conditions, at the October 22, 2007 Planning Commission meeting. The FMDP was followed by a Preliminary Plat for Phase 5 that was approved, with conditions, at the same meeting. A Final Plat for Foxland Phase 5 was approved, with conditions, at the April 22, 2008 Panning Commission meeting. The Final Plat was never recorded.

The combined Amended Preliminary Master Develop Plant for Phase 5 and 6 and the revised Final Master Development Plan for Phase 5 (PC0105-13) was the previous item on this agenda. This Preliminary Plat and future Final Plat shall match the Preliminary Master Development Plan and Final Master Development Plans for Phase 5 of the Foxland Development.

Lot Sizes and Layout

The lot sizes and layout for this Preliminary Plat are consistent with lot sizes and layouts approved in the Final Master Development Plan (PC0105-13), which was the previous item on the agenda.

Landscaping

The applicant has shown and labeled the Alternative Type 15 Bufferyard along the rear property lines of lots on the west side of Foxland Boulevard. This Alternative Type 15 Bufferyard is shown on the Preliminary and Final Master Development Plans. There are no other bufferyards or open spaces located within Phase 5, Section 1 and 2.

Other Departmental Comments

All other departmental comments have been satisfied except the following:

1. The applicant shall understand that water and sanitary sewer is provided by the White House Utility District.
2. The applicant shall understand that no utilities have been installed in Phase 5, Section 1 and 2.
3. The applicant shall either sign a Developer's Agreement and post and appropriate surety or enter into a Developer's Agreement and install the utilities and post a surety for maintenance.

Engineering Division Comments

All other engineering comments have been satisfied except the following:

1. The applicant shall understand that upon recording of the final plat(s), an easement shall be provided on golf course property for proposed storm water ditches.
2. The applicant shall understand that modifications may be required to prevent erosion issues at the inlet where all drainage combines at the existing pipe under the golf course. This will be addressed in depth during the review of the construction plans.

RECOMMENDATION

Staff recommends approval of the major subdivision preliminary plat with the following conditions:

1. The applicant shall understand that upon recording of the final plat(s), an easement shall be provided on golf course property for proposed storm water ditches.
2. The applicant shall understand that modifications may be required to prevent erosion issues at the inlet where all drainage combines at the existing pipe under the golf course. This will be addressed in depth during the review of the construction plans.
3. The applicant shall understand that water and sanitary sewer is provided by the White House Utility District and the applicant shall address all water and sewer infrastructure issues to the satisfaction of the White House Utility District including legal agreements and payment of all applicable fees.
4. The applicant shall understand that no utilities have been installed in Phase 5, Section 1 and 2.
5. The applicant shall either sign a Developer's Agreement and post and appropriate surety or enter into a Developer's Agreement and install the utilities and post a surety for maintenance.
6. The applicant shall apply all conditions of approval from Foxland, Phase 5 Amended Preliminary and Final Master Development Plan (PC0105-13) to the Preliminary Plat in order for all documents to match.
7. The applicant shall submit a subdivision surety, in an amount to be determined by the Gallatin Engineering Division, to the Codes/Planning Department prior to recording of the final plat for Foxland, Phase 5, Section 1 and 2.
8. The applicant shall submit a utility surety, in an amount to be determined by White House Utility District, to the Codes/Planning Department prior to the recording of the final plats for Foxland, Phase 5, Section 1 and 2.

EXHIBIT A

9. The applicant shall submit a site surety, in an amount to be determined by the the applicant, to the Codes/Planning Department prior to the issuance of building permits for Foxland, Phase 5, Sections 1 and 2.



March 11, 2013
File No. 32003-29

Ms. Katherine Schoch, AICP
Assistant Director of Codes and Planning
CITY OF GALLATIN
132 West Main Street, Room 201
Gallatin, Tennessee 37066

RE: FOXLAND AT FAIRVUE
PRELIMINARY PLAT
PHASE 5, SECTIONS 1 & 2 *PC0104-13*

RECEIVED
MAR 15 2013
GALLATIN PLANNING
& ZONING

Dear Katherine:

On behalf of our Client, Joe Godfrey of Foxland Development Properties, we respectfully submit the following comments from the respective departments:

Department of Public Utilities

Review Date: 03/01/2013

Water and sanitary sewer service provided by WHUD

Planning Department

Codes/Planning Department Project Manager: Kevin Chastine

Review Date: 3/6/2013

1. Show correct City Limit lines in the Location Map.
The city limits have been updated in the location map.
2. Provide a property location and/or address in the title block.
'Foxland Boulevard and Boardwalk Place' has been added to title block.
3. Provide a date of preparation for this plat.
The date is in the title block.
4. Provide dimensions for the southern property boundaries on both Section 1 and 2.
Dimensions have been added for the new boundaries.

RESUBMITTAL

PC0104-13

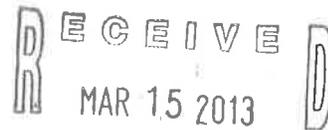
Ms. Katherine Schoch
March 11, 2013
File No. 32003-29
Page 2

5. Correct the owner information for Parcel 'M'. It should be the same owner as Parcel 'L'.
Property owner 'M' has been corrected.
6. Correct the FEMA note to show the latest information, as shown on check print.
The FEMA note has been updated.
7. Provide addresses for all lots in both sections.
Address numbers have been added to all lots in both sections.
8. Provide a copy of the restrictive covenants for these sections.
As noted.
9. Submit sixteen (16) corrected, folded copies of the resubmittal documents (1 full size and 15 half size if original plans are greater than 18 x 24), and 16 architectural elevations if needed. Submit digital copies of plans and supporting information/correspondence pertaining to this project in the following formats: DGN or DWG file (MicroStation version "J" software) of subdivision plats, site plans, PMDP, and FMDP. Submit PDF files of all pages of subdivision plats, site plans, PMDP, and FMDP and submit PDF files of all supporting documents and correspondence. Label file formats on CD.
Enclosed.
10. Submit a detailed response letter addressing all departmental review comments.
As noted.
11. RETURN CHECKPRINT & CHECKLIST
As noted.
12. Resubmittal documents must be turned in to the Codes/Planning Department by 4:30 PM on 3/15/2013.
Resubmittal enclosed.
13. Resubmittals must include the above information in order to be considered a complete resubmittal.
We understand.

Codes Department

Review Date:

Comments forthcoming once received if necessary



GALLATIN PLANNING
& ZONING

RESUBMITTAL

PC0104-13

Ms. Katherine Schoch
March 11, 2013
File No. 32003-29
Page 3

Engineering Division

Review Date: 03/07/2013 JZW

1. Upon recording of final plat(s), easement shall be provided on golf course property for proposed storm water ditches.
We understand.
2. Construction plans are currently being reviewed. It appears where all the drainage combines at the existing pipe under the golf course modifications may be required to prevent erosion issues at the inlet. This will be addressed more in depth on the construction plan review.
We understand.

White House Utility District

Comments forthcoming once received if necessary

If you have any questions, please call me at (615) 252-4331.

Sincerely,



Jennifer D. Speich, PE, PMP

F:\32\32003\3200329\Admin\Correspondence\3200329_LTR018_Ph5Sc1&2_PPlat.doc

Enclosures

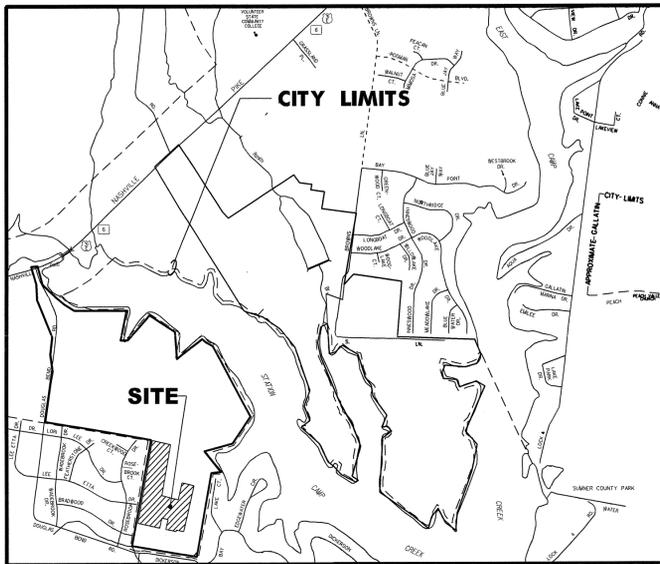
cc: Joe Godfrey, Foxland Development Properties

RECEIVED
MAR 15 2013

GALLATIN PLANNING
& ZONING

RESUBMITTAL

PC0104-13



LOCATION MAP
NOT TO SCALE

SURROUNDING PROPERTY OWNERS TABLE

L	JOHN VAN DYKE ETUX ELLEN S DEED BOOK 494, PAGE 74
M	JOHN VAN DYKE ETUX ELLEN S DEED BOOK 494, PAGE 74
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O	RURAL DEVELOPMENT GROUP, LLC DEED BOOK 3269, PAGE 557
P	RICHARD BURNETT ETUX BRENDA DEED BOOK 376, PAGE 97
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R	DENNIS G WHITE ETUX VICKIE E DEED BOOK 2696, PAGE 438
S	JOHN W NUTTER ETUX JANICE M DEED BOOK 3271, PAGE 668
T	JAMES R SHELTON ETUX KAREN W DEED BOOK 1789, PAGE 610

NOTES:

- SIDEWALKS TO BE PROVIDED ON ALL STREETS IN ACCORDANCE WITH THE STREET CROSS SECTIONS SHOWN.
- IRON PINS TO BE SET ON ALL PROPERTY CORNERS AS SHOWN ON FINAL PLAT.
- THIS SITE WILL COMPLY WITH THE PERFORMANCE AND DESIGN STANDARDS WITHIN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
- A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ZONE AE ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FLOOD INSURANCE RATE MAP) COMMUNITY PANEL NO. 47165C0409G, DATED APRIL 17, 2012. THE 100-YEAR FLOOD ELEVATION IS 452.0. NO PORTION OF THIS PHASE 5 IS LOCATED IN THE FLOODPLAIN.
- COMMON AREAS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PLANNING DIVISION APPROVED SIDE YARDS TO BE REDUCED FROM 20' TO 15' ON LOT 1253.
- EXISTING USE: VACANT
PROPOSED USE: ONE-FAMILY DETACHED DWELLINGS

THE PURPOSE OF THIS PRELIMINARY PLAT IS TO CREATE 31 SINGLE FAMILY LOTS.

CONSTRUCTION SCHEDULE:
BEGIN: JULY 2013
END: JULY 2014

LEGEND

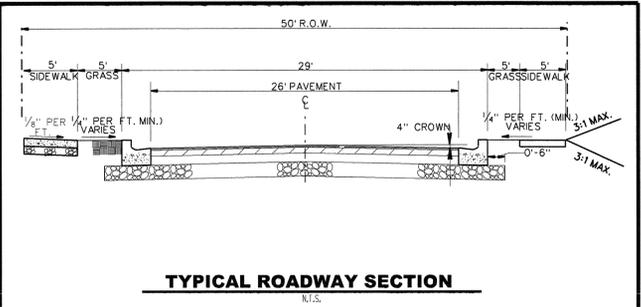
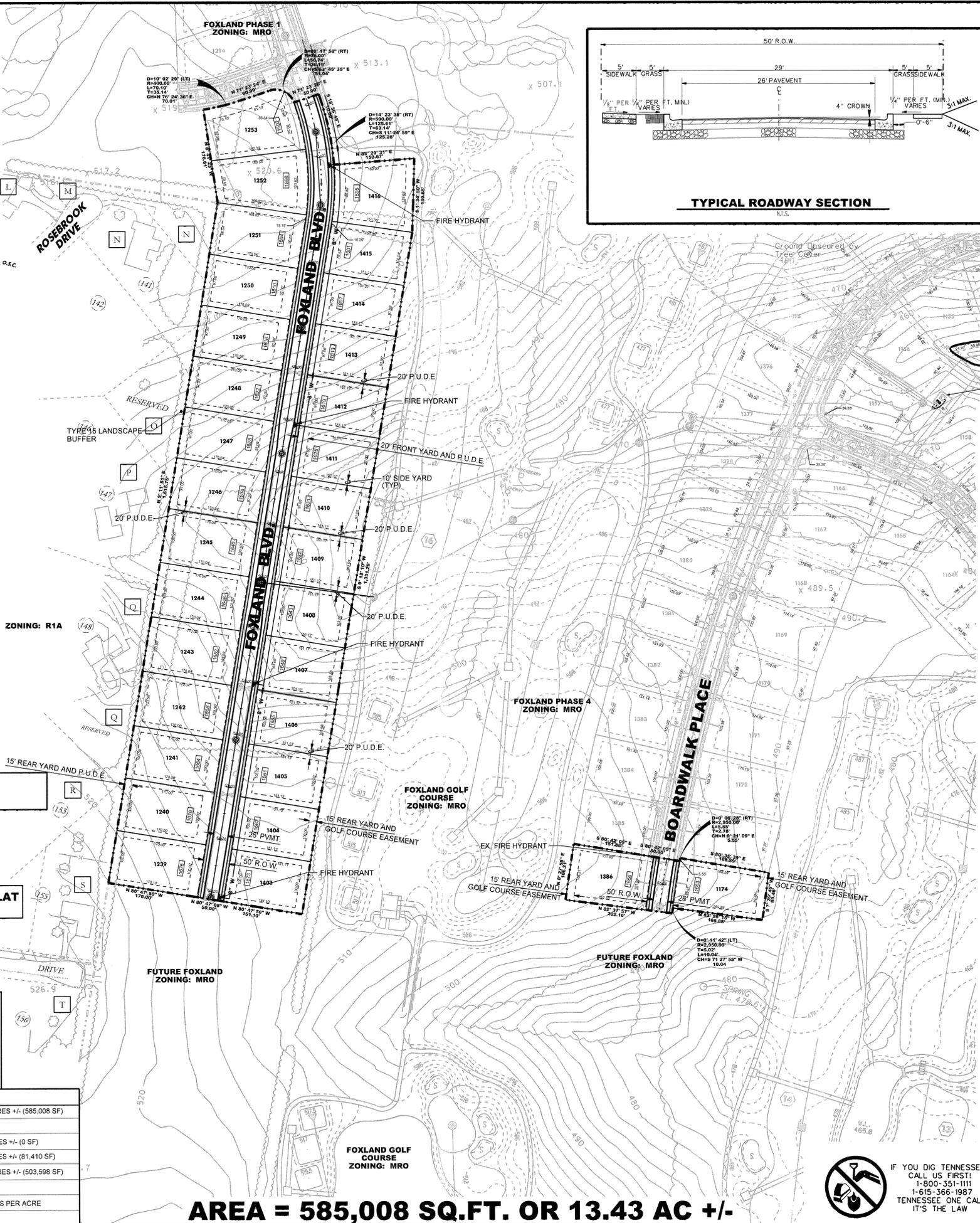
- OVERALL PROJECT BOUNDARY
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- PROPOSED SINGLE CATCH BASIN
- PROPOSED DOUBLE CATCH BASIN
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING PROPERTY BOUNDARY CORNER (IRON PIN OLD)

APPROVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION, WITH SUCH EXCEPTIONS OR CONDITIONS AS ARE INDICATED IN THE MINUTES OF THE COMMISSION ARE.

THIS PRELIMINARY PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THIS SUBDIVISION IN FINAL FORM AND DOES NOT CONSTITUTE APPROVAL FOR RECORDING OF THE PLAT.

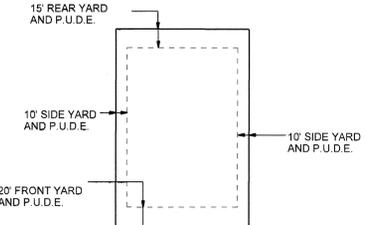
SITE DATA

SITE ACREAGE	13.43 ACRES +/- (585,008 SF)
PROPOSED LOTS	31 LOTS
AREA IN OPEN SPACE	0.00 ACRES +/- (0 SF)
AREA IN R.O.W.	1.87 ACRES +/- (81,410 SF)
AREA IN RESIDENTIAL LOTS	11.56 ACRES +/- (503,598 SF)
MAX BUILDING HEIGHT	35 FEET
GROSS DENSITY	2.31 UNITS PER ACRE
BASE ZONING	MRO



LOT AREA TABLE

LOT #	AREA (SF)	LOT #	AREA (SF)
1174	15,625	1386	15,722
1239	16,998	1403	15,111
1240	17,000	1404	15,112
1241	17,000	1405	15,113
1242	17,605	1406	15,652
1243	17,595	1407	15,643
1244	17,595	1408	15,645
1245	17,595	1409	15,645
1246	16,490	1410	14,664
1247	16,490	1411	14,665
1248	16,490	1412	14,665
1249	16,490	1413	14,666
1250	16,490	1414	14,667
1251	17,001	1415	15,030
1252	17,892	1416	18,288
1253	18,958		



* LOTS 1174, 1239-1253, 1386, 1403-1416
* LOTS ON GOLF COURSE HAVE A 15' REAR YARD AND GOLF COURSE EASEMENT

TYPICAL LOT
OWNER:

OAKBROOK REALTY/ ROYCE INVESTMENTS II, LLC
1000 ROYCE BLVD
OAKBROOK TERRACE IL 60181

DEVELOPER:

FOXLAND DEVELOPMENT PROPERTIES, LLC
1445 FOXLAND BLVD
GALLATIN, TN 37066
CONTACT: JOE GODFREY
PHONE: (615) 451-0909

AREA = 585,008 SQ.FT. OR 13.43 AC +/-

MAP 147 PARCEL 10.05

BENCHMARK
SEE AERIAL TARGETS
NAD 83

SCALE: 1" = 100'

BARGE WAGGONER SUMNER & CANNON, INC.
BWSC
ENGINEERS ARCHITECTS AND SURVEYORS
LANDSCAPE ARCHITECTS AND PLANNERS
211 Commerce Street, Suite 600, Nashville, Tennessee 37203
Phone (615) 254-1500 Fax (615) 255-6572



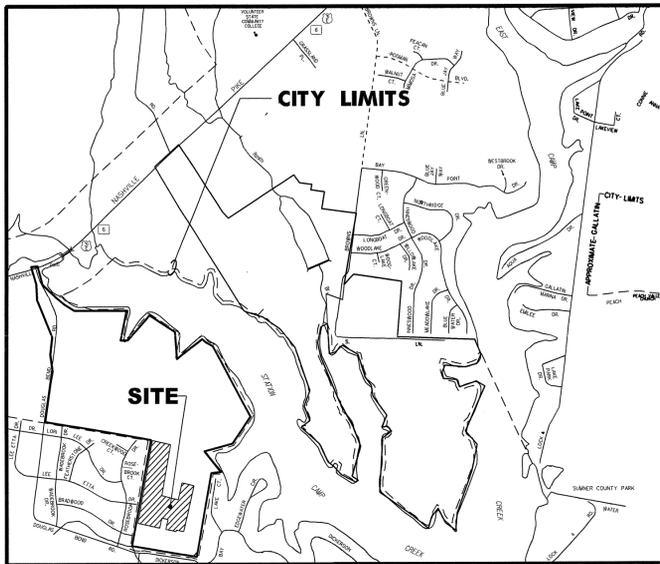
PRELIMINARY PLAT
FOXLAND
PHASE 5 - SECTION 1 AND SECTION 2, WHUD# 15432
FOXLAND BLVD. AND BOARDWALK PLACE
GALLATIN, SUMNER COUNTY, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
MCK	JOS	02/27/2013	SUBMIT TO CITY
MCK	JOS	02/27/2013	ADDRESS CITY COMMENTS

PP.01

PROJECT NO. - 32003-29





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CONSTRUCTION SCHEDULE:
BEGIN: JULY 2013
END: JULY 2014

LEGEND

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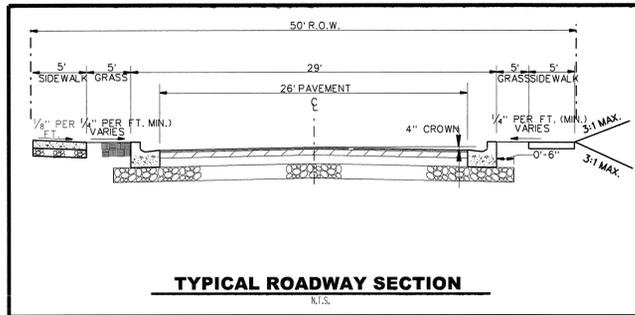
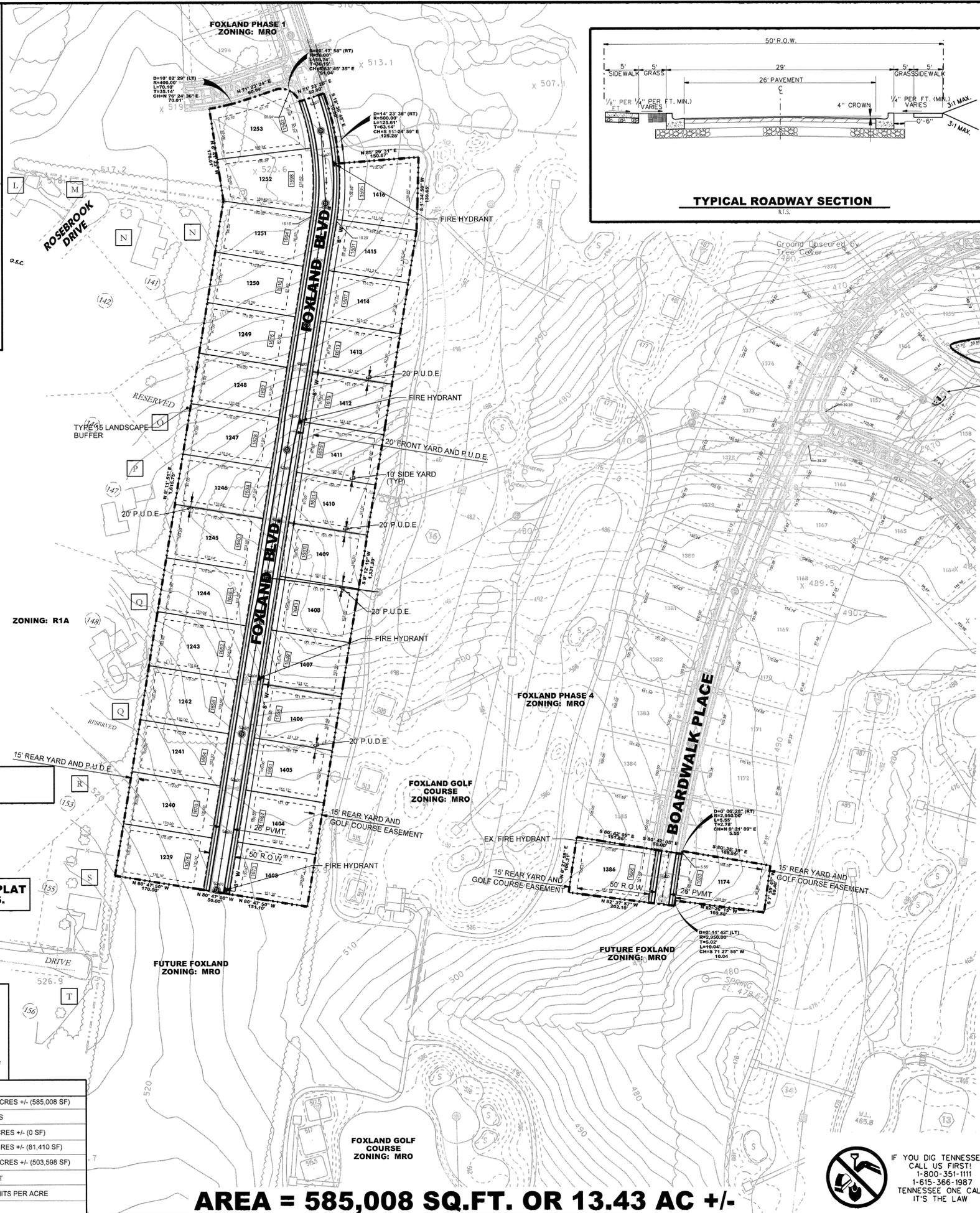
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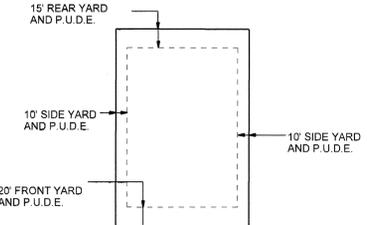
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BASE ZONING	MRO

AREA = 585,008 SQ.FT. OR 13.43 AC +/-



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PRELIMINARY PLAT
FOXLAND
PHASE 5 - SECTION 1 AND SECTION 2, WHUD# 15432
FOXLAND BLVD. AND BOARDWALK PLACE
GALLATIN, SUMNER COUNTY, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
MCK	JOS	02/27/2013	SUBMIT TO CITY
MCK	JOS	02/27/2013	ADDRESS CITY COMMENTS

PP.01

PROJECT NO. - 32003-29



ITEM 5

GMRPC Resolution No. 2013-22

RESOLUTION APPROVING A CHANGE OF USE SITE PLAN FOR THE CONVERSION
OF AN EXISTING SINGLE FAMILY RESIDENSE TO A FOOD SERVICE USE,
AT 210 DOUGLAS BEND ROAD – PC0107-13

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Site Plan submitted by the applicant, Carroll Carman, Surveying, at its regular meeting on March 25th, 2013; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, attached hereto as Exhibit A, and the evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-103 and 13-4-102:

1. The site plan is in agreement and consistent with the policies and recommendations in the General Development and Transportation Plan.
2. It has been determined that the legal purposes for which zoning and subdivision regulations exists have not been contravened.
3. It has been determined that there will not be an adverse effect upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
4. It has been determined that no one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the site plan with the following conditions of approval:

1. Planning Commission approve the landscaping plan as submitted.
2. Planning Commission approve the existing architectural design as proposed.
3. The applicant shall add 'Butter Bean Bistro' to the plan as part of the title.
4. The applicant shall show and label a sign for the handicapped parking space.

5. The applicant shall submit a sign detail for review and approval of a sign permit prior to the installation of the sign.
6. The applicant shall add a Financial Responsibility Note: "The [Owner/Developer] of this property is responsible for all financial matters."
7. The applicant shall provide a typical section and material details of pervious pavers to be used for parking areas as recommended in drainage calculations.
8. The applicant shall contact White House Utility District in regards to blackflow services because of the change to a commercial use.
9. The applicant shall submit a site surety in an amount to be determined by the applicant prior to the issuance of a building permit.
10. The applicant shall submit three (3) corrected and folded copies of the site plan to the Codes/Planning Department prior to the issuance of a building permit.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.
IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 3/25/2013

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON CITY ATTORNEY

ITEM 5 3/25/13 GMRPC MEETING

Applicant requests approval of a Change of Use Site Plan changing the use from Residential; One Family Detached Dwelling to Food Service. Property contains 7.9 (+/-) acres and is located at 210 Douglas Bend Road. (PC0107-13)

Attachment 5-1 Site Plan
Attachment 5-2 Photographs of Existing Structures
Attachment 5-3 Lighting Fixtures Information Sheets
Attachment 5-4 Response Letter, dated 3/15/13, from Clay Haynes

ANALYSIS

The applicant is requesting approval of a Change of Use Site Plan in order to change the use from Residential; One Family Detached Dwelling to Food Service. The property contains 7.9 (+/-) acres and is located at 210 Douglas Bend Road. The property is currently zoned Multiple Residential and Office (MRO) and Food Service is a permitted use in the MRO zone district. No portion of this property is located within a special flood hazard area.

Architectural Elevations

The project is utilizing an existing mid-nineteenth century residence as well as an existing accessory structure that will be a future office. The residence is 1,770 square feet and the accessory structure is 640 square feet. The residence is a one-and-a-half story home that sits atop a raised basement. The raised basement walls are brick and the main floor of the residence is sheathed in cypress wood siding. The residence is topped by a side gable roof, covered with asphalt shingles and has a brick chimney on both end elevations. The front elevation of the house is symmetrical in its design with a central doorway and flanked on each side by two (2) one-over-one double hung windows. The front door is accessed by a set of welcoming arms staircase, which are brick and matches the brick on the raised basement. The owner has made a 250 square foot kitchen addition to the side elevation of the residence and its design matches the design of the original residence.

Bufferyards/Landscaping/Fencing

The project site is a small portion of a larger 7.19(+/-) tract of land, which itself is part of a larger 33 acre undeveloped site. Along Douglas Bend Road there is an existing stone wall and stone columns located at each of the entrances. Also, the project site is encircled by an existing wooden plank fence. Both the plank fencing and stone walls and columns will remain as part of this project.

With the property being zoned MRO and the surrounding property also zoned MRO, Type 10 bufferyards would normally be required. However, Section 13.04.020.C of the Gallatin Zoning Ordinance does not required bufferyards when an addition is being made to an existing building and the addition is less than 20 percent of the existing structure. For this project the kitchen addition is 250 square feet, which is only 14 percent of the existing residence.

The MRO zone district requires six (6) percent of the site to be landscaped and in this situation the applicant is utilizing a combination of existing mature trees as well as new plantings. The plan shows 10 knockout rose bushes, five (5) dwarf nandinas, and 18 Helleri Holly bushes planted around the front elevation of the residence, along the parking area, and around the accessory

structure. The site contains numerous large mature evergreen and deciduous trees that form a tree canopy over a majority of the site.

Staff recommends the Planning Commission approve the landscaping plan as proposed.

Parking/Access

The project is proposing a 56 seat restaurant and the parking requirements are one (1) parking space for every four (4) seats of capacity. Therefore, this project is required 14 parking spaces of which one (1) space must be a handicapped parking space. The applicant has shown the required 14 parking spaces and one (1) handicapped parking space. The parking area is located behind the existing structure and will be paved with pervious pavers. The site as it exists today has a circular driveway that is paved with gravel and the applicant has indicated the existing driveway will be paved in concrete and will allow a one-way traffic flow through the site.

Signage

The project shows a proposed sign along Douglas Bend Road. The sign location exceeds the required 15 foot setback from the right-of-way, but the applicant has not provided a detail of the proposed sign. The applicant shall submit a sign detail for review and approval of a sign permit prior to the installation of the sign.

Site Lighting

The applicant is proposing to install 18 sets of lights, which are all wall mounted. There will be three (3) installed on the accessory structure while the remaining 15 lights will be installed on the main structure. Due to the low wattage of these lights and the long distances to the nearest property lines these proposed lights meet the photometric standards found within Section 13.02.080 and TABLE 13-04 of the Gallatin Zoning Ordinance.

Engineering Departmental Comments

The applicant has satisfactorily addressed all Engineering Division review comments except the following:

1. The applicant shall provide a typical section and material details of pervious pavers to be used for parking areas as recommended in drainage calculations.

Other Departmental Comments

The applicant has satisfactorily addressed all other departmental review comments except the following:

1. The applicant shall contact White House Utility District in regards to blackflow services because of the change to a commercial use.

RECOMMENDATION

Staff recommends that the Planning Commission approve the Change of Use Site Plan with the following conditions:

1. Planning Commission approve the landscaping plan as submitted.
2. Planning Commission approve the existing architectural design as proposed.

3. The applicant shall add 'Butter Bean Bistro' to the plan as part of the title.
4. The applicant shall show and label a sign for the handicapped parking space.
5. The applicant shall submit a sign detail for review and approval of a sign permit prior to the installation of the sign.
6. The applicant shall add a Financial Responsibility Note: "The [Owner/Developer] of this property is responsible for all financial matters."
7. The applicant shall provide a typical section and material details of pervious pavers to be used for parking areas as recommended in drainage calculations.
8. The applicant shall contact White House Utility District in regards to blackflow services because of the change to a commercial use.
9. The applicant shall submit a site surety in an amount to be determined by the applicant prior to the issuance of a building permit.
10. The applicant shall submit three (3) corrected and folded copies of the site plan to the Codes/Planning Department prior to the issuance of a building permit.

EXHIBIT A

Tony Allers

Director

CITY OF GALLATIN, TENNESSEE

Gallatin Codes/Planning Department

Katherine Schoch

Assistant Director

Project Comments

Meeting Date: 03/25/2013

RE: BUTTERBEAN BISTRO, Site Plan

Reference #: PC0107-13

Department of Public Utilities

Review Date: 03/05/2013

Water and sanitary sewer service by WHUD

Planning Department

Review Date: 03/07/2013

Codes/Planning Department Project Manager: Katherine Schoch

Review Date: 3/7/2013

1. Add title regarding proposed project; Butter Bean Bistro.
2. Is office on site an access use to the restaurant or this that a separate use for the property?
3. List property address.
4. List building heights and sizes.
5. Provide legend.
6. Show existing use as One-family Detached Residential and proposed use as Food Service.
7. Add note about seating capacity of building.
8. Parking calculations are based on seating capacity at 1 space per 4 person capacity. Please list number of spaces required and proposed. Please add required number of handicapped parking spaces at 13 X 20 feet. Regular spaces are 9 X 20 feet.
9. Show interior landscaping materials in parking areas and parking area screening per G.Z.O. Sec. 13.05. 6% of parking areas shall be landscaped. 1 tree per 10 parking spaces.
10. Are both driveways existing? Add note about driveway materials; driveways and parking areas shall be dust-free.
11. Show P.U.D.E.'s on property if any.
12. Submit architectural elevations for proposed addition to building. Label percentages of each building material to be used on exterior façade. Add note about existing buildings including sizes and building materials.
13. Sign shall be 15 feet from right-of-way. Submit full sign package for review and approval by Planning Commission. Sign permits are required prior to the installation of any signage on site.
14. Applicant shall submit site surety calculation with resubmittal. Please refer to attached spreadsheet. Site surety for landscaping shall be submitted prior to issuance of use and occupancy permit and building permit.

EXHIBIT A

Tony Allers

Director

CITY OF GALLATIN, TENNESSEE

Gallatin Codes/Planning Department

Katherine Schoch

Assistant Director

15. Show location of any property lighting fixtures and submit details. Submit photometric plan that meets G.Z.O. Section 13.02.080.
16. Add note regarding existing fence material.
17. Address trash removal on site. If dumpster will be used, show location and required screening.
18. Show HVAC unit screening. Submit detail of HVAC unit.
19. Add Performance Standards note; G.Z.O. Sec. 13.02; "All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02".
20. Add Statement of Financial Responsibility: "The Owner/Developer of this property is responsible for all financial matters".
21. Add FEMA note.
22. Label all adjacent property owners and developments even across rights-of-way.
23. Label zoning of all surrounding zoning even across rights-of-way.
24. Show location of retention/detention areas and submit drainage calculations.
25. Submit sixteen (16) corrected, folded copies of the resubmittal documents and 16 architectural elevations.
26. Submit digital copies of plans and supporting information/correspondence pertaining to this project in the following formats: DGN or DWG file (MicroStation version "J" software) of subdivision plats, site plans, PMDP, and FMDP. Submit PDF files of all pages of subdivision plats, site plans, PMDP, and FMDP and submit PDF files of all supporting documents and correspondence. Label file formats on CD.
27. Submit a detailed response letter addressing all departmental review comments.
28. RETURN CHECKPRINT & CHECKLIST
29. Resubmittal documents must be turned in to the Codes/Planning Department by 4:30 PM on 3/15/2013. Resubmittals must include the above information in order to be considered a complete resubmittal.

Codes Department

Review Date: 3/11/13

Provide handicap parking space details - dimensions, van accessible, cross slopes, running slopes, sign - for one space

Engineering Division

3-21-2013 Resubmittal JZW:

1. Provide typical section and material details of pervious pavers to be used for parking areas as recommended in drainage calculations.

Review Date: 03/07/2013

3-7-2013 JZW:

1. Provide typical section and material details of "pervious material" to be used for parking areas.
2. Provide any appropriate EPSC measures.

EXHIBIT A

Tony Allers

Director

Katherine Schoch

Assistant Director

CITY OF GALLATIN, TENNESSEE

Gallatin Codes/Planning Department

Fire Department

Review Date: 03/07/2013

All roads shall be able to accommodate all fire equipment. All life safety inspections shall be done before opening.

Police Department

Review Date: 03/04/2013

Reviewed: No comments

Gallatin Department of Electricity

Review Date: 03/05/2013

OK

Sumner County, E-911

Review Date:

N/A

Industrial Pre-treatment Department

Review Date: 03/05/2013

Water/sanitary sewer by WHUD Natural gas service available

White House Utility District:

3/4/2013 WHUD:

Regarding the Butterbean Bistro:

If the restaurant is going to need fire protection, they need to contact WHUD with water flows. The property currently has a 3/4" meter. Will this meter size meet your needs?
Going from residential to commercial, they will need to contact WHUD for backflow services.

EXHIBIT A

ATTACHMENT 5-2



R E C E I V E D
MAR 15 2013

GALLATIN PLANNING
& ZONING

RESUBMITTAL

PC0107-13

EXHIBIT A

ATTACHMENT 5-2



R E C E I V E D
MAR 15 2013

GALLATIN PLANNING
& ZONING

REQUIREMENTAL

PC0107-13

EXHIBIT A

ATTACHMENT 5-2



R E C E I V E D
MAR 15 2013
GALLATIN PLANNING
& ZONING

RESUBMITTAL

PC 0107-13

EXHIBIT A

ATTACHMENT 5-2



R E C E I V E D
MAR 15 2013

GALLATIN PLANNING
& ZONING

RESUBMITTAL

PC 0187-13

EXHIBIT A



ATTACHMENT 5-3

Catalog Number	RECEIVED
Notes	MAR 15 2013
Type	GALLATIN PLANNING & ZONING

FEATURES & SPECIFICATIONS

INTENDED USE

Provides maintenance-free general and security illumination for outdoor use in residential and light commercial applications. Ideal illumination for walkways, yards, patios, play areas and driveways creating an inviting exterior space as well as providing safety and security.

CONSTRUCTION

Three tool-free adjustable heads allow for easy aiming up/down or side to side. Rugged cast aluminum, corrosion-resistant housing in bronze or white. Clear acrylic lenses are fully gasketed to keep out moisture, dirt and bugs.

Each head contains (3) 5700K* high performance LEDs which maintain a total of 1,636 lumen output at 50,000 hour life. LED driver is 120V and operates at 60Hz.

Dusk-to-dawn photocell automatically turns light on at dusk and off at dawn for convenience and energy savings.

* Nominal correlated color temperature per ANSI C78-377-2008.

INSTALLATION

Wall or eave mount.

All mounting hardware included.

LISTINGS

UL/C-UL Certified to US and Canadian safety standards. Wet location listed.

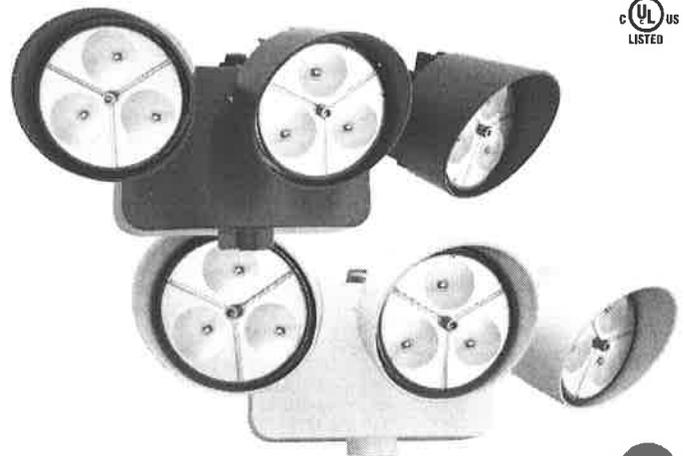
WARRANTY

Five-year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Outdoor General Purpose

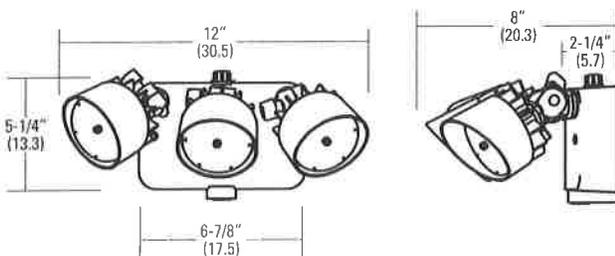
Dusk-to-Dawn LED Floodlight 3 Adjustable Heads

High Performance LED



Dimensions

All dimensions are inches (centimeters)



ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: **OFLR 9LC 120 P BZ**

OFLR	9LC	120	P	
Series	No. of LEDs	Ballast/Voltage	Features	Finish
OFLR LED Floodlight	9LC 9 LEDs, 3 heads	120 120V residential electronic ballast	P Dusk-to-dawn photocell	BZ Bronze WH White

RESUBMITTAL

PC 0109-13

Catalog Number	RECEIVE
Notes	MAR 15 2013
Type	GENERAL PURPOSE DOWNLIGHT

FEATURES & SPECIFICATIONS

INTENDED USE

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION

Cast-aluminum housing with corrosion-resistant paint in either dark bronze or white finish.

ADA compliant.

OPTICS

4000K CCT LEDs.

Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V

Operating temperature -30°C to 40°C.

1KV surge protection standard.

INSTALLATION

Surface mounts to universal junction box (provided by others).

LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY

Five-year limited warranty. Full warranty terms located at www.AcuityBrands.com/CustomResources/Terms_and_Conditions.aspx.

Note: Specifications are subject to change without notice.

Actual performance may differ as a result of end-user environment and application.

Outdoor General Purpose

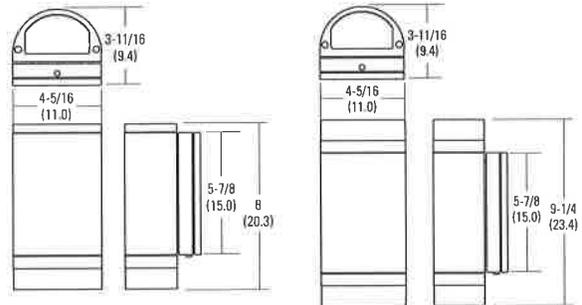
OLLWD & OLLWU

LED WALL CYLINDER LIGHT



Specifications

All dimensions are inches (centimeters)



ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: OLLWD

Series	Color temperature (CCT)	Voltage	Finish
OLLWD Downlight	(blank) 4000K	(blank) MVOLT (120V-277V)	DDB Dark bronze
OLLWU Up & downlight			WH White

RESUBMITTAL

PC0107-13



3/15/2013

Katherine Schoch, Interim Director
City of Gallatin, Tennessee
Codes/Planning Department

RECEIVED
MAR 15 2013

GALLATIN PLANNING
& ZONING

RE: Oak Tree Partners, LLC, Site Plan, Food Services Change-of-Use
Reference #: PC0107-13

Dear Ms. Schoch,

Per your request, please accept the following resubmission for the above referenced site plan. Listed below, you will find responses to the items enumerated in the Project Comments review.

Planning Department

- Item 1. Oak Tree Partners, LLC is the designer, owner, and applicant for this project.
- Item 2. This is an existing historical residential dwelling that has been updated to serve as an-site office when the remainder of the property is developed.
- Item 9. There are extensive old growth trees on the property that account for the required tree calculations. Additional bushes will be planted for parking screening as shown on revised site plan.
- Item 10. The circular driveway was existing.
- Item 12. Please refer to the attached pictures regarding your request for architectural elevations. The existing home dates to the mid-1800's and is constructed of the brick and old growth Cyprus plank siding. The 250 square foot kitchen addition was constructed to match the existing structure using roughly 40% salvaged brick and 60% painted Cyprus plank siding.
- Item 14. Because surety is only required for drainage and bufferyard landscaping, no site surety is required at this time.
- Item 17. On site waste will be separated and disposed of through three channels, composting, recycling, and landfill. The landfill waste will utilize the standard city container.
- Item 18. HVAC screening is accounted for by the elevated handicap ramp and the proposed garden.
- Item 24. See attached letter from project engineer.



Codes Department

Item 1. Handicap Parking spaces will meet or exceed all local ordinances and Code Requirements.

Engineering Department

Item 1. PaveStone Eco-Envirostone 80MM. Please refer to the attached engineering report for typical cross section and material details.

We very much appreciate your consideration of the historic nature of this structure as well the existing conditions present at the time of development.

Best,
Clay

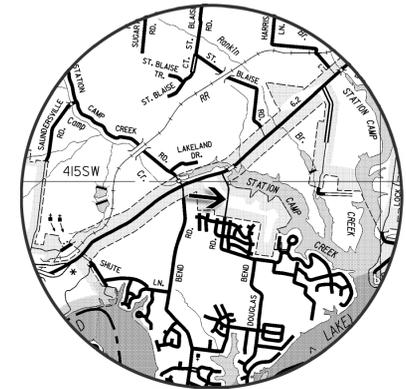
Managing Partner
Oak Tree Properties
335 West Main Street
Gallatin, TN 37066

SITE PLAN OF

OAK TREE PARTNERS, LLC

LOCATED IN THE 4TH CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

LOCATION SKETCH n.t.s.



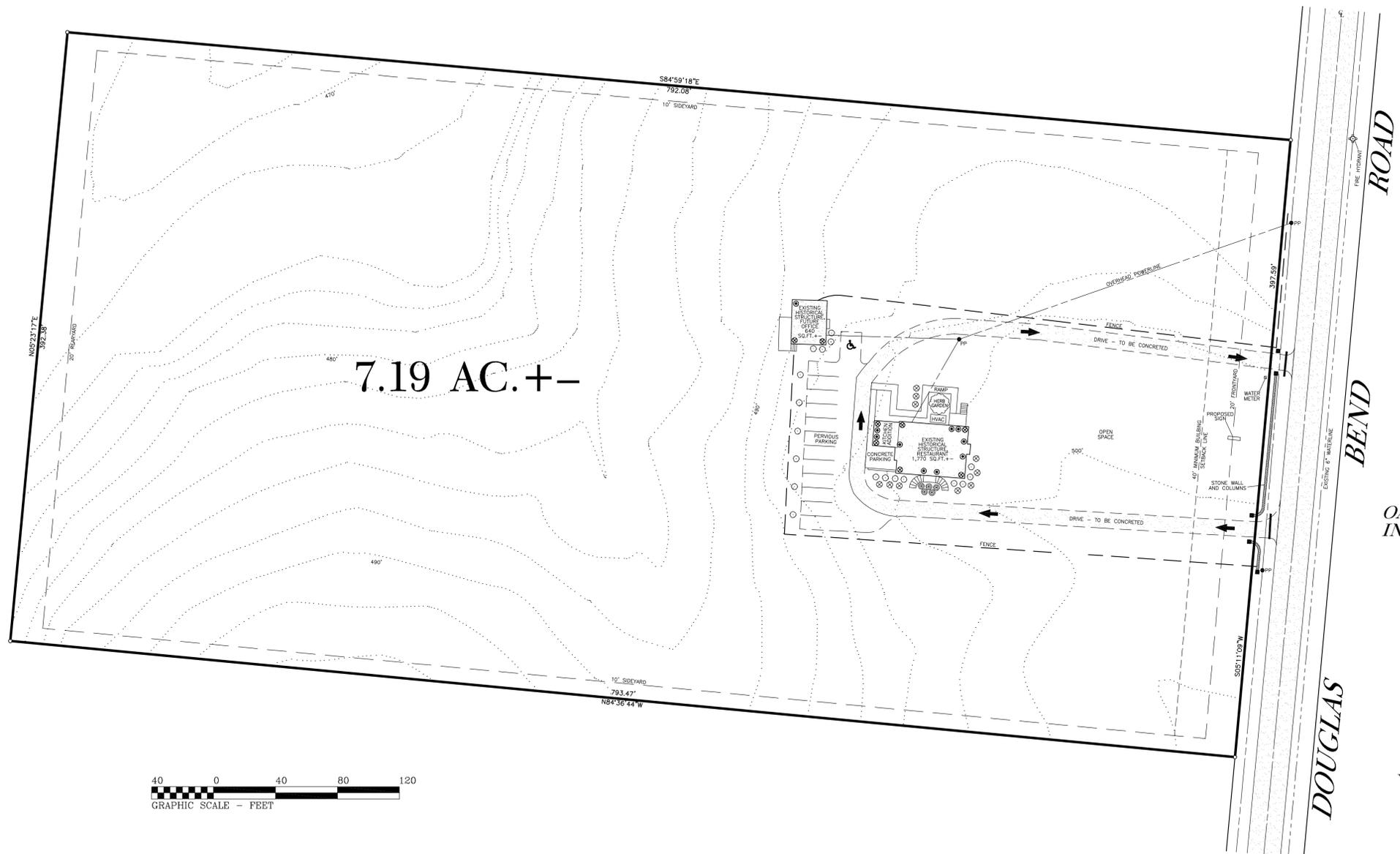
LEGEND

POWER POLE	• PP
POWERLINE	----
WATERLINE	----
FENCE	----
MINIMUM YARD LINES	----
MINIMUM SETBACK LINES	----

NOTES:

- OWNER: OAK TREE PARTNERS, LLC
P.O. BOX 1987
GALLATIN, TENNESSEE, 37066
- THIS PROPERTY IS ZONED "MRO".
- MINIMUM BUILDING SETBACKS:
FRONT - 40 FEET
SIDE - 10 FEET
REAR - 20 FEET
- MINIMUM YARDS:
FRONT - 20 FEET
SIDE - 10 FEET
REAR - 20 FEET
- PROPERTY ADDRESS:
210 DOUGLAS BEND ROAD
GALLATIN, TN 37066
- EXISTING USE: ONE-FAMILY DETACHED RESIDENTIAL
PROPOSED USE: FOOD SERVICE
- PROPOSED MAXIMUM SEATING CAPACITY: 56 PEOPLE
- PARKING SPACES REQUIRED FOR
PROPOSED CAPACITY: 14 SPACES
PROPOSED PARKING SPACES: 14 SPACES
- TYPICAL PARKING SPACES ARE 9X20.
HANDICAP PARKING SPACES ARE 13X20.
- DRIVEWAYS AND PARKING ARE TO BE DUST-FREE.
- THE EXISTING FENCES SHOWN ARE PLANK FENCES.
- ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY IS TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
- THIS PROPERTY DOES NOT LIE IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD". SEE COMMUNITY PANEL NUMBER 4716004009 WITH AN EFFECTIVE DATE OF APRIL 17, 2012.
- HEIGHT OF EXISTING RESTAURANT IS 28 FEET.
HEIGHT OF EXISTING OFFICE IS 18 FEET.

SCALE : 1" = 40'
 DATE : FEBRUARY 5, 2013
 SIZE : 7.19 AC.+--
 DEED : R. B. 3450, PG. 866, R.O.S.C.T.
 MAP : MAP 147, PAR. 3.00, T.A.O.S.C.T.



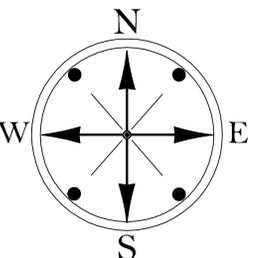
LEGEND

SYMBOL	PROPOSED TYPE (PLACEMENT T.B.D.)	PROPOSED QUANTITY
⊗	KNOCKOUT ROSES	10
⊙	DWARF NANDINA	5
○	BELLER HOLLY BUSH	18
⊕	TYPE 1-HIGH OUTPUT LED FLOOD LIGHT	10
⊗	TYPE 2-HIGH OUTPUT LED CAN LIGHT	8

OAK TREE PARTNERS, LLC
 RECORD BOOK 3450, PAGE 866
 MAP 147, PARCEL 3.00
 ZONED "MRO"

OAKBROOK REALTY & INVESTMENTS II, LLC
 RECORD BOOK 3385, PAGE 103
 MAP 147, PARCEL 10.03
 ZONED "MRO"

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1 : 10,000 AS SHOWN HEREON.



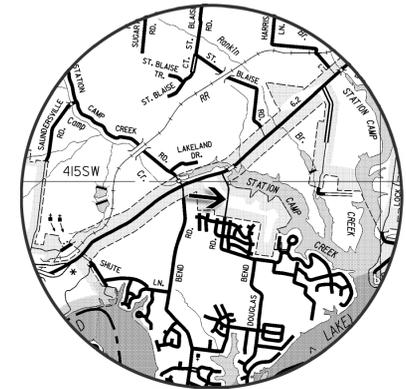
CARROLL CARMAN, SURVEYING
 150 HUSKIE FORK ROAD
 MARTINSVILLE, TENNESSEE
 PHONE: (615) 374-3344

SITE PLAN OF

OAK TREE PARTNERS, LLC

LOCATED IN THE 4TH CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

LOCATION SKETCH n.t.s.



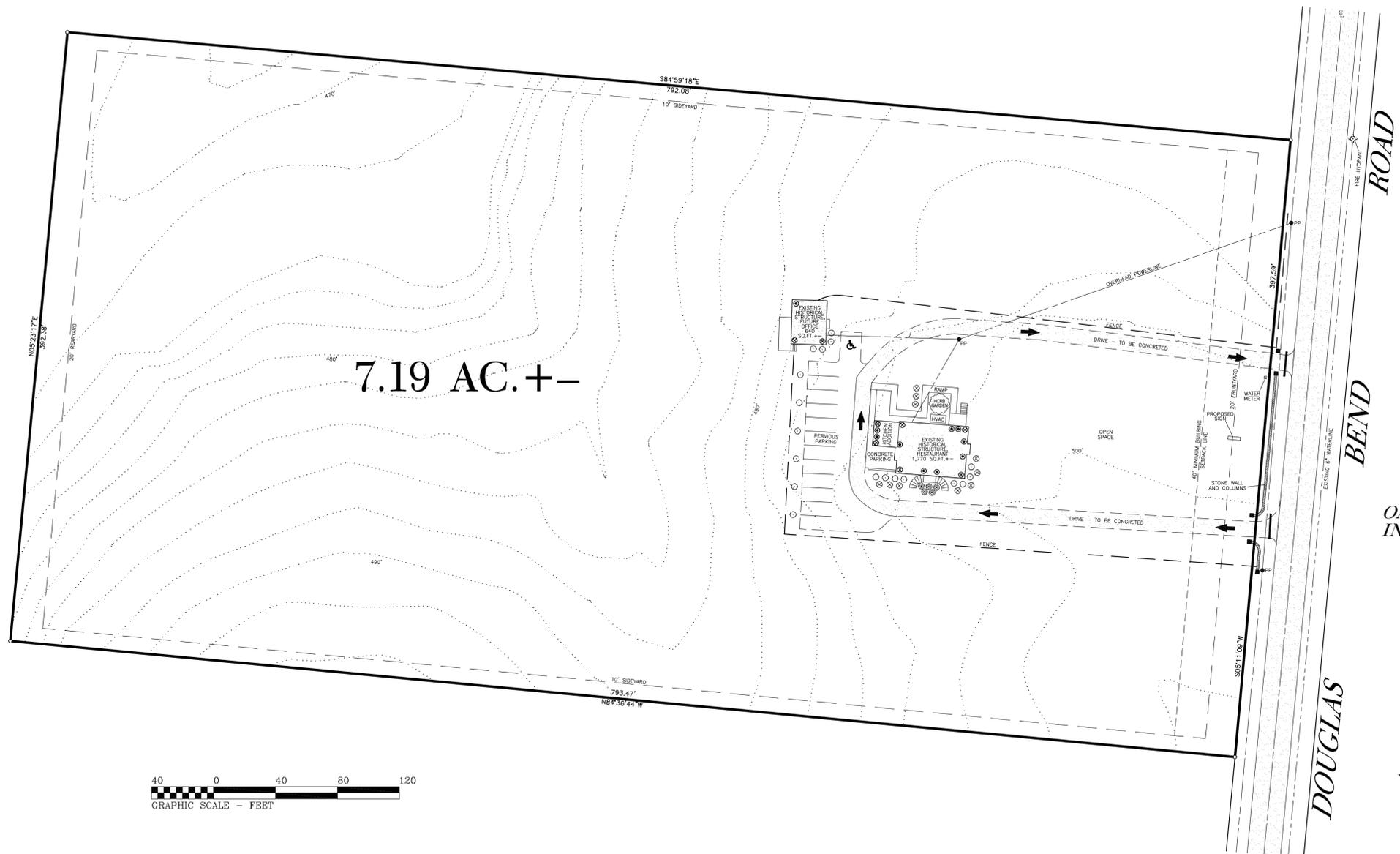
LEGEND

POWER POLE	• PP
POWERLINE	---
WATERLINE	---
FENCE	---
MINIMUM YARD LINES	---
MINIMUM SETBACK LINES	---

NOTES:

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SIDE - 10 FEET
REAR - 20 FEET
- MINIMUM YARDS:
FRONT - 20 FEET
SIDE - 10 FEET
REAR - 20 FEET
- PROPERTY ADDRESS:
210 DOUGLAS BEND ROAD
GALLATIN, TN 37066
- EXISTING USE: ONE-FAMILY DETACHED RESIDENTIAL
PROPOSED USE: FOOD SERVICE
- PROPOSED MAXIMUM SEATING CAPACITY: 56 PEOPLE
- PARKING SPACES REQUIRED FOR
PROPOSED CAPACITY: 14 SPACES
PROPOSED PARKING SPACES: 14 SPACES
- TYPICAL PARKING SPACES ARE 9X20.
HANDICAP PARKING SPACES ARE 13X20.
- DRIVEWAYS AND PARKING ARE TO BE DUST-FREE.
- THE EXISTING FENCES SHOWN ARE PLANK FENCES.
- ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY IS TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
- THIS PROPERTY DOES NOT LIE IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD".
SEE COMMUNITY PANEL NUMBER 4716004098 WITH AN EFFECTIVE DATE OF APRIL 17, 2012.
- HEIGHT OF EXISTING RESTAURANT IS 28 FEET.
HEIGHT OF EXISTING OFFICE IS 18 FEET.

SCALE : 1" = 40'
 DATE : FEBRUARY 5, 2013
 SIZE : 7.19 AC.+--
 DEED : R. B. 3450, PG. 866, R.O.S.C.T.
 MAP : MAP 147, PAR. 3.00, T.A.O.S.C.T.



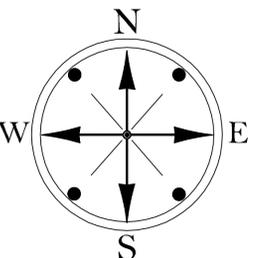
LEGEND

SYMBOL	PROPOSED TYPE (PLACEMENT T.B.D.)	PROPOSED QUANTITY
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⊗	TYPE 1-HIGH OUTPUT LED FLOOD LIGHT	10
⊙	TYPE 2-HIGH OUTPUT LED CAN LIGHT	8

OAK TREE PARTNERS, LLC
 RECORD BOOK 3450, PAGE 866
 MAP 147, PARCEL 3.00
 ZONED "MRO"

OAKBROOK REALTY & INVESTMENTS II, LLC
 RECORD BOOK 3385, PAGE 103
 MAP 147, PARCEL 10.03
 ZONED "MRO"

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1 : 10,000 AS SHOWN HEREON.



CARROLL CARMAN, SURVEYING
 150 HUSKIE FORK ROAD
 MARTINSVILLE, TENNESSEE
 PHONE: (615) 374-3344

RESOLUTION RECOMMENDING APPROVAL OF AN ORDINANCE TO THE GALLATIN CITY COUNCIL AMENDING ARTICLE 8.00, PROVISIONS FOR COMMERCIAL DISTRICTS, AND ARTICLE 11, OFF-STREET PARKING AND LOADING REGULATIONS, OF THE ZONING ORDINANCE OF THE CITY OF GALLATIN, TENNESSEE BY AMENDING, SECTION 08.01.010, USES AND STRUCTURES, IN ORDER TO ADD THE UNDERTAKING SERVICE USE AND SECTION 11.02.010.C APPLICABILITY OF REGULATIONS TO CORE COMMERCIAL DISTRICT, IN ORDER TO AMEND CORE COMMERCIAL PARKING REQUIREMENTS – PC0106-13

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the zoning amendment submitted by the applicant, City of Gallatin, at its regular meeting on March 25th, 2013; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, attached hereto as Exhibit A, and the evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-103 and 13-4-102:

1. This zoning amendment is in agreement and consistent with the recommendations of the General Development and Transportation Plan for the area.
2. It has been determined that the legal purposes for which zoning regulations exists are not contravened.
3. It has been determined that there will not be an adverse effect upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
4. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby recommends approval of the zoning amendment to the Gallatin City Council.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 3/25/13

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY

ITEM 6 3/25/13 GMRPC MEETING

Public Comment

The City of Gallatin requests approval to amend the Gallatin Zoning Ordinance, Section 08.01.010, Uses and Structures, in order to add the Undertaking Service use to the Core Commercial (CC) zone district and update Section 11.02.010.C, Applicability of Regulations to Core Commercial District, in order to update parking requirements for the CC zone district. (PC0106-13)

Attachment 6-1 Ordinance No. O13Ø3-11

Attachment 6-2 Proposed Changes to GZO Section 08.01.010 and 11.02.010.C

ANALYSIS

The City of Gallatin is requesting a recommendation of approval to amend Gallatin Zoning Ordinance Section 08.01.010, Uses and Structures, in order to add the Undertaking Service use to the Core Commercial (CC) zone district and update Section 11.02.010.C, Applicability of Regulations to Core Commercial District, in order to update parking requirements for the CC zone district.

Staff was asked whether or not a funeral home was a permitted use within the CC zone district and Staff realized it was not a permitted or conditional use. Upon further investigation, Staff realized that Undertaking Service is a permitted use in both the Commercial General (CG) and Commercial Services (CS) zone districts. Staff spoke with the Fire Marshall to determine if potential fire hazards with crematoriums was a reasoning for excluding the Undertaking Service use from the CC zone district due to the more compact building pattern of the core commercial area. The Fire Marshall said there would be no fire hazards associated with a crematorium due to the regulations place on the installation and operation of a crematorium. Staff thinks the use was inadvertently left out of the CC zone district and should be added since it is consistent with the other types of permitted uses in the zone district. Additionally, there is very little property zoned CC in the City, most of which is located in downtown Gallatin.

The Gallatin Zoning Ordinance, in Section 11.02.010.C, provides regulations for parking within the Core Commercial zone district. This section states that no parking is required within the CC zone district whether it is a permitted or a conditional use. This section does provide a cap or maximum on how much parking is allowed if a project proposes parking within the CC zone district. This amendment will amend the wording of this section to include parking requirements that are based on the capacity of assembly spaces, such as a funeral home. There are other existing permitted uses within the CC zone district that have parking based on capacity, such as Place of Worship, Community Assembly, and Food Service. The amended wording is shown below.

C. Applicability of Regulations to Core Commercial District – Accessory off-street parking spaces within the Core Commercial District shall be provided as follows:

- 1. For any activity permitted as of right in the Core Commercial District, accessory off-street parking shall not be required and in no case shall the number permitted exceed 50 percent (50%) of the gross floor area of a building, 50 percent (50%) of the maximum capacity in largest the place of public assembly, or 200 spaces*

EXHIBIT A

per zone lot, whichever requires fewer spaces, provided, however, on a zone lot containing eighty thousand (80,000) square feet or more, the maximum permitted floor area for accessory off-street parking may be fifty percent (50%) of the gross floor area but may not exceed 300 spaces.

2. *For activities permitted by a conditional use permit, the Board of Appeals shall specify the maximum number of accessory off-street parking spaces permitted, and in no case shall the amount of space for accessory use exceed fifty percent (50%) of the gross floor area of any building, **50 percent (50%) of the maximum capacity in largest the place of public assembly**, or 200 spaces for any zone lot, whichever requires fewer spaces.*

RECOMMENDATION

Staff recommends that the Planning Commission recommend approval of the proposed amendment to City Council.

ORDINANCE AMENDING ARTICLE 8.00, PROVISIONS FOR COMMERCIAL DISTRICTS, AND ARTICLE 11, OFF-STREET PARKING AND LOADING REGULATIONS, OF THE ZONING ORDINANCE OF THE CITY OF GALLATIN, TENNESSEE BY AMENDING, SECTION 08.01.010, USES AND STRUCTURES, IN ORDER TO ADD THE UNDERTAKING SERVICE USE AND SECTION 11.02.010.C APPLICABILITY OF REGULATIONS TO CORE COMMERCIAL DISTRICT, IN ORDER TO UPDATE PARKING REQUIREMENTS

WHEREAS, the Gallatin Municipal-Regional Planning Commission, pursuant to Section 15.07.040 of the Gallatin Zoning Ordinance has reviewed and recommended approval of this amendment in GMRPC Resolution No. 2013-17, attached hereto as Exhibit A; and

WHEREAS, notice and public hearing before the Gallatin City Council has or will occur before final passage of this amendment pursuant to Section 15.07.060 of the Gallatin Zoning Ordinance.

NOW THEREFORE BE IT ORDAINED BY THE CITY OF GALLATIN, TENNESSEE that Section 08.01.010, Uses and Structures, shall be amended by deleting the section in its entirety and replacing it with the following:

08.01.010 Uses and Structures

A. Principal Permitted Uses and Structures - Within the Core Commercial District as shown on the Gallatin Municipal Zoning Map, the following activities are permitted:

Residential Activities

- Single Family Dwelling
- Attached Dwelling
- Multi-Family Dwellings, subject to the requirements contained in Articles 12.00 and 13.00.

Community Facility Activities

- Place of Worship
- Essential Service
- Community Assembly
- Non-assembly Cultural
- Administrative
- Utility
- Vehicular

Commercial Activities

- Convenience Sales and Service - Two-Pump Maximum
- Automotive Parking (Limited Lot)
- Transient Habitation
- Food Service
- General Personal Service
- Financial, Consulting and Administrative

Business and Communication Service
General Retail Sales and Service
Consumer Laundry and Repair
Retail Business Supply
Group Assembly – Limited
Medical Services
Undertaking Services

BE IT FURTHER ORDAINED BY THE CITY OF GALLATIN, TENNESSEE that Section 11.02.010.C, Applicability of Regulations to Core Commercial District, shall be amended by deleting the section in its entirety and replacing it with the following:

C. Applicability of Regulations to Core Commercial District – Accessory off-street parking spaces within the Core Commercial District shall be provided as follows:

1. For any activity permitted as of right in the Core Commercial District, accessory off-street parking shall not be required and in no case shall the number permitted exceed 50 percent (50%) of the gross floor area of a building, **50 percent (50%) of the maximum capacity in the largest place of public assembly**, or 200 spaces per zone lot, whichever requires fewer spaces, provided, however, on a zone lot containing eighty thousand (80,000) square feet or more, the maximum permitted floor area for accessory off-street parking may be fifty percent (50%) of the gross floor area but may not exceed 300 spaces.
2. For activities permitted by a conditional use permit, the Board of Appeals shall specify the maximum number of accessory off-street parking spaces permitted, and in no case shall the amount of space for accessory use exceed fifty percent (50%) of the gross floor area of any building, **50 percent (50%) of the maximum capacity in the largest place of public assembly**, or 200 spaces for any zone lot, whichever requires fewer spaces.

BE IT FURTHER ORDAINED BY THE CITY OF GALLATIN, TENNESSEE, that this Ordinance shall take effect upon final passage, the public welfare requiring such.

PASSED FIRST READING:

PASSED SECOND READING:

MAYOR JO ANN GRAVES

EXHIBIT A

ATTEST:

ATTACHMENT 6-1

CONNIE KITTRELL
CITY RECORDER

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY

08.01.010 Uses and Structures

A. Principal Permitted Uses and Structures - Within the Core Commercial District as shown on the Gallatin Municipal Zoning Map, the following activities are permitted:

Residential Activities

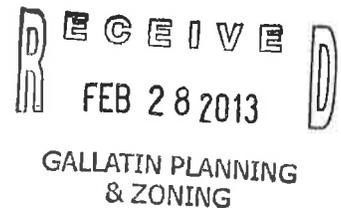
- Single Family Dwelling
- Attached Dwelling
- Multi-Family Dwellings, subject to the requirements contained in Articles 12.00 and 13.00.

Community Facility Activities

- Place of Worship
- Essential Service
- Community Assembly
- Non-assembly Cultural
- Administrative
- Utility
- Vehicular

Commercial Activities

- Convenience Sales and Service - Two-Pump Maximum
- Automotive Parking (Limited Lot)
- Transient Habitation
- Food Service
- General Personal Service
- Financial, Consulting and Administrative
- Business and Communication Service
- General Retail Sales and Service
- Consumer Laundry and Repair
- Retail Business Supply
- Group Assembly – Limited
- Medical Services
- Undertaking Services**



PC 0106-13

11.02 General Regulations; Off-Street Parking

11.02.010 Applicability

Off-street parking shall be provided for any new building constructed; for new uses or conversions of existing, conforming buildings; or for enlargements of existing structures.

C. Applicability of Regulations to Core Commercial District – Accessory off-street parking spaces within the Core Commercial District shall be provided as follows:

1. For any activity permitted as of right in the Core Commercial District, accessory off-street parking shall not be required and in no case shall the number permitted exceed 50 percent (50%) of the gross floor area of a building, **50 percent (50%) of the maximum capacity in largest the place of public assembly**, or 200 spaces per zone lot, whichever requires fewer spaces, provided, however, on a zone lot containing eighty thousand (80,000) square feet or more, the maximum permitted floor area for accessory off-street parking may be fifty percent (50%) of the gross floor area but may not exceed 300 spaces.
2. For activities permitted by a conditional use permit, the Board of Appeals shall specify the maximum number of accessory off-street parking spaces permitted, and in no case shall the amount of space for accessory use exceed fifty percent (50%) of the gross floor area of any building, **50 percent (50%) of the maximum capacity in largest the place of public assembly**, or 200 spaces for any zone lot, whichever requires fewer spaces.

RECEIVED
FEB 28 2013
GALLATIN PLANNING
& ZONING

PC0106-13

RESOLUTION RECOMMENDING ACCEPTANCE OF THE PUBLIC IMPROVEMENTS
FOR BEACON STREET, WILDCAT RUN AND OSPREY DRIVE LOCATED IN TWIN
EAGLES, PHASE 8, TO THE GALLATIN CITY COUNCIL – PC0108-13

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the request to accept public improvements in Twin Eagles, Phase 8 submitted by the applicant, Blue Ridge Surveying, at its regular meeting on March 25, 2013; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, attached hereto as Exhibit A, and the evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-103 and 13-4-102:

1. The request for acceptance of public improvements described above is in agreement with the requirements of the Gallatin Subdivision Regulations.
2. It has been determined that the legal purposes for which zoning and subdivision regulations exists are not contravened.
3. It has been determined that there will not be an adverse effect upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
4. It has been determined that no one property owner or small group of property owners will benefit materially from the acceptance to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby recommends approval of the request to accept public improvements in Twin Eagles, Phase 8 to the Gallatin City Council with the following conditions:

1. The applicant shall submit a copy of Tennessee Department of Environment and Conservation (T.D.E.C.) Notice of Termination (N.O.T.) prior to the City Council meeting.

2. The applicant shall submit a signed/notarized Quit Claim Deed prior to the City Council meeting.
3. The applicant shall submit a maintenance surety in the amount of \$34,000 to the Codes/Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 03/25/2013

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY

ITEM 7 03/25/13 GMRPC MEETING

Applicant requests acceptance of the public improvements for Beacon Street, Wildcat Run and Osprey Drive containing 9.30 (+/-) acres located in Twin Eagles, Phase 8. (PC0108-13)

- Attachment 7-1 City Council Resolution No. R1303-15**
- Attachment 7-2 Twin Eagles, Phase 8, Final Plat**
- Attachment 7-3 Surveyor's Certificate of Correction, Recorded 11/3/09**
- Attachment 7-4 Plat Amendment, Recorded 12/30/10**

ANALYSIS

The applicant is requesting acceptance of the public improvements for Beacon Street, Wildcat Run and Osprey Drive containing 9.30 (+/-) acres located in Twin Eagles, Phase 8. This property is zoned Mixed Use (MU) and no portion of this property is located in a flood hazard area.

The Engineering Division has certified that the applicant has submitted all the necessary documents concerning the acceptance of public improvements for the transportation, utilities, rights-of-way, and public easements as outlined in the resolutions, located in Twin Eagles, Phase 8 as identified in Attachments 7-2, 7-3 and 7-4.

The Engineering Staff completed a final inspection and reported that the applicant has satisfactorily addressed all engineering issues.

Section 3-102 of the City of Gallatin Subdivision Regulations, Maintenance Surety, requires that the applicant post a maintenance surety set at 10 percent of the completed roadway and drainage costs. Engineering staff has determined the required maintenance surety to be \$34,000, which must be approved by the Planning Commission and City Council as part of this acceptance. The applicant shall submit a maintenance surety in the amount of \$34,000 to the Codes/Planning Department.

RECOMMENDATION

Staff recommends the Planning Commission recommend acceptance of the public improvements in Twin Eagles, Phase 8 to the City Council with the following conditions:

1. The applicant shall submit a copy of Tennessee Department of Environment and Conservation (T.D.E.C.) Notice of Termination (N.O.T.) prior to the City Council meeting.
2. The applicant shall submit a signed/notarized Quit Claim Deed prior to the City Council meeting.
3. The applicant shall submit a maintenance surety in the amount of \$34,000 to the Codes/Planning Department.

RESOLUTION ACCEPTING PUBLIC IMPROVEMENTS BY
THE CITY OF GALLATIN, TENNESSEE
TWIN EAGLES, PHASE 8

WHEREAS, THE CITY OF GALLATIN PLANNING COMMISSION has recommended acceptance by the City of Gallatin of the public improvements in the development hereinafter named Twin Eagles, Phase 8;

WHEREAS, THE CITY OF GALLATIN ENGINEERING DIVISION hereby certifies that the public drainage infrastructure, rights-of-way, and public easements identified on the plat of the subdivision described above have been satisfactorily completed and have been installed in accordance with the approved plans and specifications and that there has been full compliance with the City of Gallatin Subdivision Regulations;

WHEREAS, THE CITY OF GALLATIN PUBLIC UTILITIES DEPARTMENT hereby certifies that the public utility improvements in the development described hereafter have been satisfactorily completed and have been installed in accordance with the approved plans and specifications and that there has been full compliance with the City of Gallatin Subdivision Regulations and City of Gallatin Municipal Code.

NOW THEREFORE BE IT RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, pursuant to Chapter 3, Section 3-105, et seq. of the Subdivision Regulations of Gallatin, Tennessee, that the public drainage infrastructure, rights-of-way, public easements, and public utility improvements described in the Twin Eagles, Phase 8, Plat Book 26, Page(s) 194-196, Recorded July 20, 2009; Surveyor's Certificate of Correction Final Plat, Twin Eagles, Phase 8, Record Book 3206, Page(s) 439-441, Recorded on November 3, 2009; and Twin Eagles, Phase 8, Plat Amendment, Record Book 3374, Page(s) 840-843, Recorded December 30, 2010 in the Register's Office for Sumner County, are hereby accepted by the City of Gallatin, Tennessee.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, that this Resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING:

AYE:

NAY:

DATED:

MAYOR JO ANN GRAVES

ATTACHMENT 7-3

EXHIBIT A

3:00

October 20, 2009

SURVEYOR'S CERTIFICATE OF CORRECTION
FINAL PLAT
TWIN EAGLES SUBDIVISION
PHASE 8
GALLATIN, SUMNER COUNTY, TENNESSEE
PLAT BOOK 26, PAGE 194

Since this plat was recorded, the following error has been discovered:

1. The driveway access limit of Lot 236 of Twin Eagles Subdivision Phase 8 will be set at 10.00' to 40.00' from the common property line with Lot 237 not including flares into the pavement. (See Attached Exhibit "A")

Prepared by


 Brian Reifschneider, RLS
 Blue Ridge Surveying, Inc.
 GALLATIN, TN 37066



Subscribed to and sworn to before me this 29th day of October, 2009


 Patricia C. Byars
 Notary Public

My Commission Expires April 18, 2011

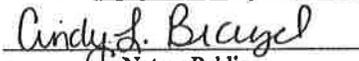


Approval for Recording

Date 10-30-09


 Jody Nelson
 City of Gallatin
 Secretary of Planning Commission

Subscribed to and sworn to before me this 30 day of October, 2009


 Cindy L. Brazel
 Notary Public

My Commission Expires 1-29-2013



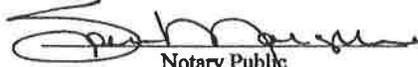
Owner Approval

Date 10/26/09


 Randall R. Jones, Owner



Subscribed to and sworn to before me this 26 day of October, 2009


 Sandra Margeon
 Notary Public

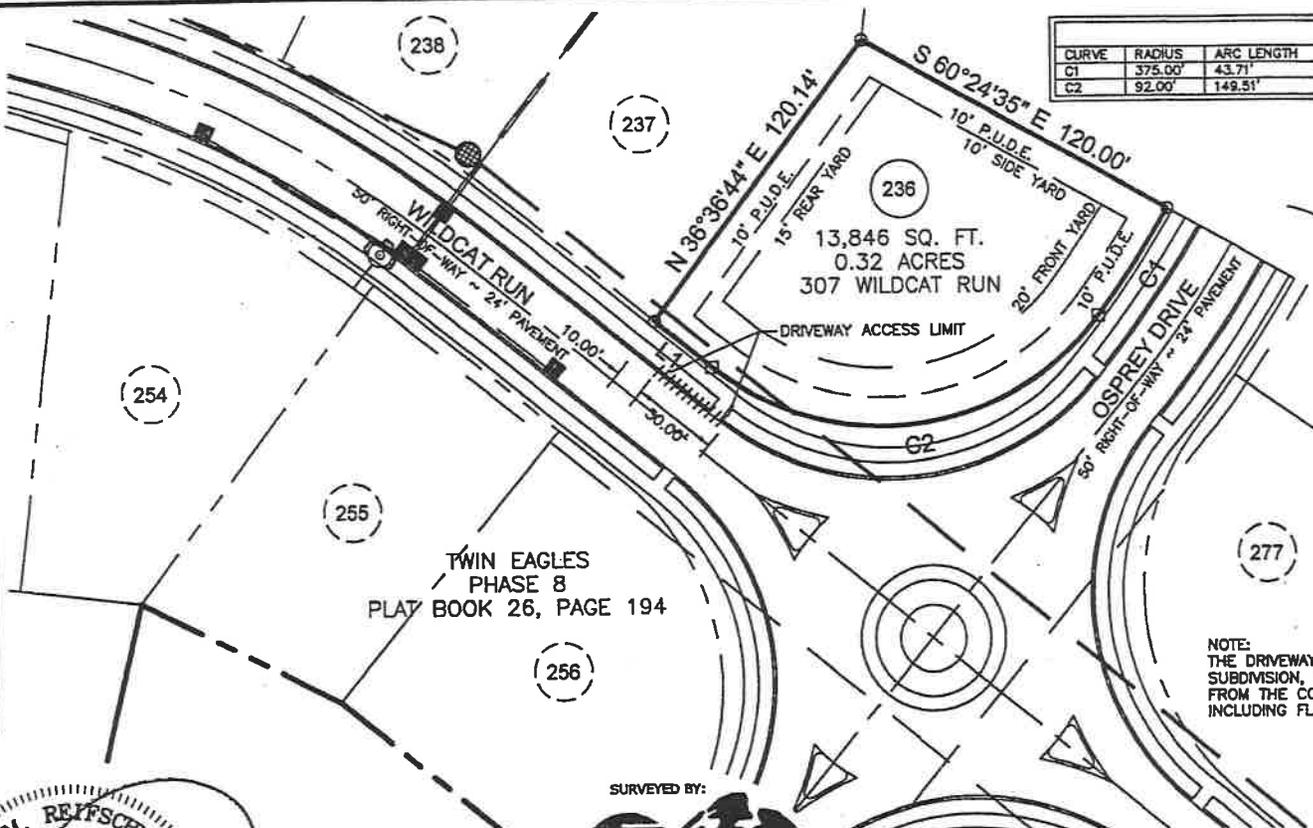
My Commission Expires 7/23/2013

Patricia L. Whitaker, Register
Sumner County Tennessee

Rec #:	732453	Instrument #:	934549
Rec'd:	15.00		
State:	0.00		
Clerk:	0.00	Recorded	
EDP:	2.00	11/3/2009 at 3:00 PM	
Total:	17.00	in	
		Record Book 3206 Pgs 439-441	

1-9-08c

ATTACHMENT 7-3 EXHIBIT "A" EXHIBIT A



CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	375.00'	43.71'	43.69'	S 32°55'47\" W	08°40'45\"
C2	92.00'	149.51'	133.59'	S 82°49'33\" W	93°06'48\"

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 50°37'03\" W	25.49'

TAX MAP 113
(2.04)
RANDALL AND
BARBARA JONES
BOOK 1590, PAGE 582
R.O.S.C., TN

FUTURE DEVELOPMENT

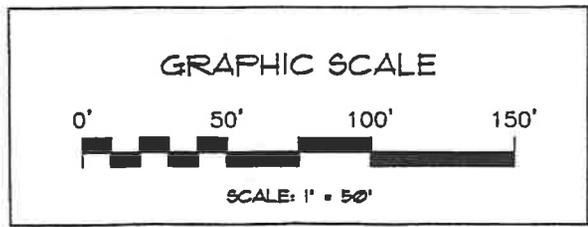
NOTE:
THE DRIVEWAY ACCESS LIMIT OF LOT 236 OF TWIN EAGLES
SUBDIVISION, PHASE 8 WILL BE SET AT 10.00' TO 40.00'
FROM THE COMMON PROPERTY LINE WITH LOT 237 NOT
INCLUDING FLARES INTO THE PAVEMENT.



BLUE RIDGE SURVEYING, INC.

231 WITHERSPOON AVENUE GALLATIN, TENNESSEE
OFFICE (615) 431-6139 CELL (615) 426-4449
BLUERIDGE@SURVEYING@YAHOO.COM

DATE OF SURVEY: OCTOBER 19, 2009 DATE OF DRAWING: OCTOBER 20, 2009



TENNESSEE STATE PLANE (NAD 83) PAGE 3

ATTACHMENT 7-4

EXHIBIT A

Amendment to the recorded subdivision plat of
LOT 248

TWIN EAGLES, PHASE 8, FINAL PLAT
GALLATIN, SUMNER COUNTY, TENNESSEE

Of Record in Plat Book 26, Pages 194, Register's Office Sumner County, Tennessee

Document Prepared by:
Blue Ridge Surveying, Inc.
231 Witherspoon Avenue
Gallatin, Tennessee 37066

Pamela L. Whitaker, Register	
Sumner County Tennessee	
Rec #: 755512	Instrument #: 969958
Rec'd: 20.00	Recorded
State: 0.00	12/30/2010 at 1:53 PM
Clerk: 0.00	in Record Book
EDP: 2.00	3374
Total: 22.00	Pgs 840-843

Owners:
Randall and Barbara Jones
312 North Durham Avenue
Gallatin, Tennessee 37066

WHEREAS, the plat of Lot 248 as shown on the subdivision plat of Twin Eagles Subdivision, Phase 8, Final Plat, as of record in Plat Book 26, Pages 194, Register's Office Sumner County, Tennessee is amended to provide the following changes:

1. The 10' P.U.D.E. along the easterly side of Lot 248 shall be revised to include the "Easement Area" as shown in Exhibit "A".

WHEREAS, the present owner of Lot 248 wishes to amend said plat to show the above changes as per Exhibit "A" and,

WHEREAS, the Gallatin Municipal-Regional Planning Commission has consented to said amendment,

NOW THEREFORE, it is provided that the subdivision plat of Lot 248 as shown on the subdivision plat of Twin Eagles Subdivision, Phase 8, Final Plat, as of record in Plat Book 26, Page 194, Register's Office Sumner County, Tennessee is amended as stated above.

 12-23-2010
 Randy Jones Date

 12-23-2010
 Barbara Jones Date

ENTERED
 John C. Isbell
 Property Assessor
 94 DEC 30 2010
 : 114D - A. 15
 Map_Gp_Cu_Par_

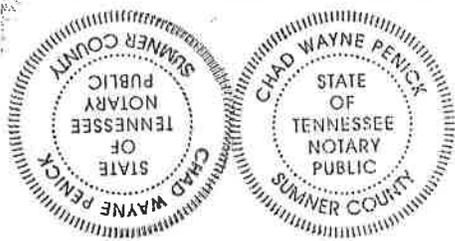
STATE OF TENNESSEE
SUMNER COUNTY

Before me, the undersigned as Notary Public of the State and County aforesaid, personally appeared CHAD W. PENICK with whom I am personally acquainted and who upon oath, acknowledged themselves to be the owner of Lot 248 as shown on the subdivision plat of Twin Eagles, Phase 8, Final Plat, who executed the foregoing instrument for the purpose herein contained.

IN WITNESS WHEREOF the party hereto has set their signature this the 23 day of DEC, 2010,


 Notary Public

My Commission Expires 11/17/14



ATTACHMENT 7-4

EXHIBIT A

Amendment to the recorded subdivision plat of
LOT 248

TWIN EAGLES, PHASE 8, FINAL PLAT
GALLATIN, SUMNER COUNTY, TENNESSEE

Of Record in Plat Book 26, Pages 194, Register's Office Sumner County, Tennessee

Document Prepared by:
Blue Ridge Surveying, Inc.
231 Witherspoon Avenue
Gallatin, Tennessee 37066

Owners:
Randall and Barbara Jones
312 North Durham Avenue
Gallatin, Tennessee 37066

The Gallatin Municipal-Regional Planning Commission joins in this instrument for the purposes of approving said amendment.

Gallatin Municipal-Regional Planning Commission

Johnny Wilson 12-29-10
Johnny Wilson, Secretary Date

Gallatin Municipal-Regional Planning Commission

Dick Dempsey 12-29-10
Dick Dempsey, Chairman Date

STATE OF TENNESSEE
SUMNER COUNTY

Before me, the undersigned as Notary Public of the State and County aforesaid, personally appeared Johnny Wilson with whom I am personally acquainted and who upon oath, acknowledged himself to be the acting Secretary of the Gallatin Municipal-Regional Planning Commission, by the sign _____, as such Secretary.

IN WITNESS WHEREOF the party hereto has set their signature this the 29 day of Dec., 2010,

Cindy L. Brazel
Notary Public



My Commission Expires 1-29-2013

STATE OF TENNESSEE
SUMNER COUNTY

Before me, the undersigned as Notary Public of the State and County aforesaid, personally appeared Dick Dempsey with whom I am personally acquainted and who upon oath, acknowledged himself to be the Chairman of the Gallatin Municipal-Regional Planning Commission, by the sign _____, as such Chairman.

IN WITNESS WHEREOF the party hereto has set their signature this the 29 day of Dec., 2010,

Cindy L. Brazel
Notary Public



My Commission Expires 1-29-2013

Amendment to the recorded subdivision plat of
LOT 248
TWIN EAGLES, PHASE 8, FINAL PLAT
GALLATIN, SUMNER COUNTY, TENNESSEE
Of Record in Plat Book 26, Pages 194, Register's Office Sumner County, Tennessee

Document Prepared by:
Blue Ridge Surveying, Inc.
231 Witherspoon Avenue
Gallatin, Tennessee 37066

Blue Ridge Surveying

Brian Reifschneider, RLS

12/20/10
Date

STATE OF TENNESSEE
SUMNER COUNTY

Before me, the undersigned as Notary Public of the State and County aforesaid, personally appeared ~~Brian Reifschneider~~ with whom I am personally acquainted and who upon oath, acknowledged himself to be the acting Surveyor of Blue Ridge Surveying, Inc., by the sign _____, as such.

IN WITNESS WHEREOF the party hereto has set their signature this the 20 day of Dec, 2010,

Glenda Trout
Notary Public

My Commission Expires 4/23/14



ATTACHMENT 7-4 EXHIBIT "A"

EXHIBIT "A"

248
TWIN EAGLES SUBDIVISION
PHASE 8
PLAT BOOK 26, PAGE 194

139
TAX MAP 114D
GROUP "E"
(20.00)
MARTHA FERGUSON
BOOK 3021, PAGE 474
R.O.S.C., TN

140
TWIN EAGLES SUBDIVISION
PHASE 6
PLAT BOOK 24, PAGE 232

TAX MAP 114D
GROUP "E"
(19.00)
TINA HARRINGTON
BOOK 2997, PAGE 612
R.O.S.C., TN

249
TWIN EAGLES SUBDIVISION
PHASE 8
PLAT BOOK 26, PAGE 194

141

BEACON STREET
50' RIGHT-OF-WAY ~ 24' PAVEMENT

1-STORY
BRICK
RESIDENCE
#100

20' FRONT YARD

10' P.U.D.E.

CONCRETE
DRIVEWAY

STONE/CONCRETE DITCH

15' P.U.D.E. AND REAR YARD

N 21°52'20" W 63.34'

S 39°22'57" W 45.00'

S 50°37'03" E 52.05'

CURB INLETS

L=15.00'
R=53.00'
Δ=16°12'57"
C LEN=14.95'
BRG=N 52°50'03" E

MH

EASEMENT AREA
1,623 SQ. FT.
0.04 ACRES

TAX MAP 114D
GROUP "A"
(16.00)
RANDALL AND
BARBARA JONES
BOOK 1590, PAGE 582
R.O.S.C., TN



SURVEYED BY:



BLUE RIDGE SURVEYING, INC.

231 WITHERSPOON AVENUE GALLATIN, TENNESSEE
OFFICE (615) 451-6733 CELL (615) 426-4443
BLUERIDGESURVEYING@YAHOO.COM

DATE OF DRAWING: OCTOBER 18, 2010

GRAPHIC SCALE



SCALE: 1" = 20'

RESOLUTION APPROVING A MINOR AMENDMENT TO THE VILLAGE GREEN PLANNED UNIT DEVELOPMENT (PUD) PLAN, TRACT A-1a AND A REVISED FINAL MASTER DEVELOPMENT PLAN, IN ORDER TO REVISE THE ARCHITECTURAL ELEVATIONS AND SIGNAGE FOR O'CHARLEY'S RESTAURANT. PROPERTY CONTAINS 1.58 (+/-) ACRES AND IS LOCATED AT 1009 VILLAGE GREEN CROSSING - PC0111-13

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the minor amendment to the Village Green Planned Unit Development (PUD) Plan and Revised Final Master Development Plan submitted by the applicant, Design and Engineering, Inc., at its regular meeting on March 25, 2013; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, attached hereto as Exhibit A, and the evidence and testimony presented during the meeting.

NOW THEREFORE BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-103 and 13-4-102:

1. The minor amendment to the Village Green Planned Unit Development (PUD) Plan and Revised Final Master Development Plan are in agreement and consistent with the recommendations of the General Development and Transportation Plan for the area.
2. It has been determined that the legal purposes for which zoning regulations exists are not contravened.
3. It has been determined that there will not be an adverse effect upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.
4. It has been determined that no one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a minor amendment to the Village Green Planned Unit Development (PUD) Plan and approves a Revised Final Master Development Plan for O'Charley's Restaurant with the following conditions:

1. The Planning Commission shall approve the architectural elevations as submitted.

2. The applicant shall obtain a Certificate of Occupancy permit from the Codes/Planning Department prior to opening for business.
3. The applicant shall submit a sign permit application prior to the installation of signage.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 3/25/2013

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY

ITEM 8 3/25/13 GMRPC MEETING

Applicant requests approval of an amendment to the Village Green Planned Unit Development (PUD) Plan, Tract A-1a in order to revise the Architectural Elevations and Signage for O'Charley's restaurant. Property contains 1.58 (+/-) acres and is located at 1009 Village Green Crossing. (PC0111-13)

Attachment 8-1 Color Illustrations of Proposed Elevations

Attachment 8-2 Photograph of Existing Building

Attachment 8-3 Detailed Sign Package

ANALYSIS

The applicant requests approval of an amendment to the Village Green Planned Unit Development (PUD) Plan, Tract A-1a in order to revise the Architectural Elevations for the O'Charley's restaurant. Property contains 1.58 (+/-) acres and is located at 1009 Village Green Crossing. No portion of this property is located in a special flood hazard area. The property is zoned Multiple Residential and Office Planned Unit Development (MRO-PUD) and Food Services is a permitted use in the MRO zone district.

Previous Approvals

Since its original approval in 1984, many amendments to the Village Green (PUD) Plan have been approved by the Planning Commission and City Council. In 1997 a major amendment to the Village Green (PUD) Plan was approved by Planning Commission to add three (3) Food Service sites and one (1) Transient Habitation site labeled as Tract A-1a, 1b, 1c, 1d (PC File# 4-6-97); Tract A-1a is the site of O'Charley's. The original Final Master Development Plan (Site Plan) for O'Charley's was approved by Planning Commission at the September 22, 1997 meeting. A 626 square foot addition was approved by Planning Commission at the August 20, 2000 meeting. It has come to the attention of Staff, architectural changes were made to the facility in 2006 without seeking Planning Commission approval; a portion of the brick tower, which is the main entrance, was partially covered with E.F.I.S. Refer to Attachment 8-2.

Minor Amendment

Typically, revised architectural elevations are considered minor amendments to existing buildings. In addition, the architecture shown for the project is consistent and comparable with the building materials used on the commercial properties located in the Village Green (PUD). Although the amount of brick is being reduced, it still exceeds the 70 percent brick or stone requirement of the Gallatin Zoning Ordinance. The only architectural changes are to the entrance tower.

For these reasons, Staff is comfortable recommending that the Planning Commission consider the proposed changes as a minor amendment to the approved Village Green PUD Plan.

Architectural Elevations

The architectural changes only pertain to the entrance tower; all other elevations will remain the same with the exception of recovered awnings. The proposed architectural changes can be seen in Attachment 8-1. The proposed changes are as follows:

- The background of the sign display area near the top of the tower is proposed to be a green metal panel.
- Below the sign area, a new E.I.F.S. crown molding will be added.
- Existing arched canopies will be replaced with flat canopies with internally illuminated signage.
- A “toasty gray” colored E.I.F.S. is proposed to be applied over all the existing brick on the tower.
- “Spice” colored tile will be installed at the base of the tower, and will be capped with a precast stone sill.

The north elevation currently contains 92.6 percent brick and the proposed changes will cover 12.6 percent of the existing brick. The east elevation currently contains 93 percent brick and the proposed changes will cover 10 percent of the existing brick. The proposed changes would reduce the percentage on both elevations to approximately 80 percent, which still exceeds the Gallatin Zoning Ordinance requirement of 70 percent brick or stone. Staff recommends Planning Commission approve the Architectural changes as submitted.

Landscaping and Bufferyards

No changes are proposed for the landscaping or bufferyards.

Access and Parking

No changes are proposed for the access or parking.

Signage

A detailed sign package was submitted and meets the requirements of the Gallatin Zoning Ordinance.

Green & Little, LP

Green & Little, LP has submitted a set of stamped approved plans to the Codes/Planning Department dated March 21, 2013 consenting to the proposed architectural elevations and wall mounted signs.

Engineering Division Comments

The Engineering Division had no comments concerning the proposed architectural changes.

Other Departmental Comments

There were no other departmental comments concerning the proposed architectural changes.

RECOMMENDATION

Staff recommends that the Planning Commission consider the proposed changes to the Village Green Planned Unit Development (PUD) Plan as a minor amendment.

Staff recommends that the Planning Commission approve the Revised Final Master Development Plan with the following conditions:

1. The Planning Commission shall approve the Architectural changes as submitted.

2. The applicant shall obtain a Certificate of Occupancy permit from the Codes/Planning Department prior to opening for business.
3. The applicant shall submit a sign permit application prior to the installation of signage.

ATTACHMENT 8-1

NEW MATERIALS

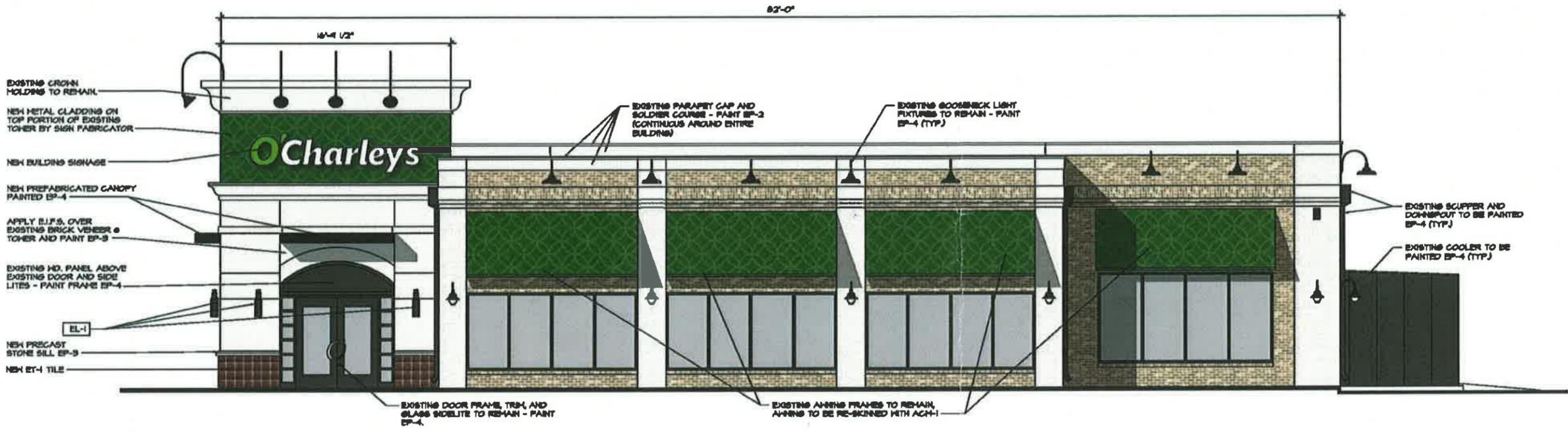
ACM SIGN BAND
ACM-1
PAINTED ALUMINUM
COMPOSITE

EXTERIOR TILE
ET-1
COLOR TDO1 SPICE

CORNICES AND TOP CAP
EP-2
TREASURED MOMENT

STUCCO PAINTED
EP-3
COLOR TOASTY GREY

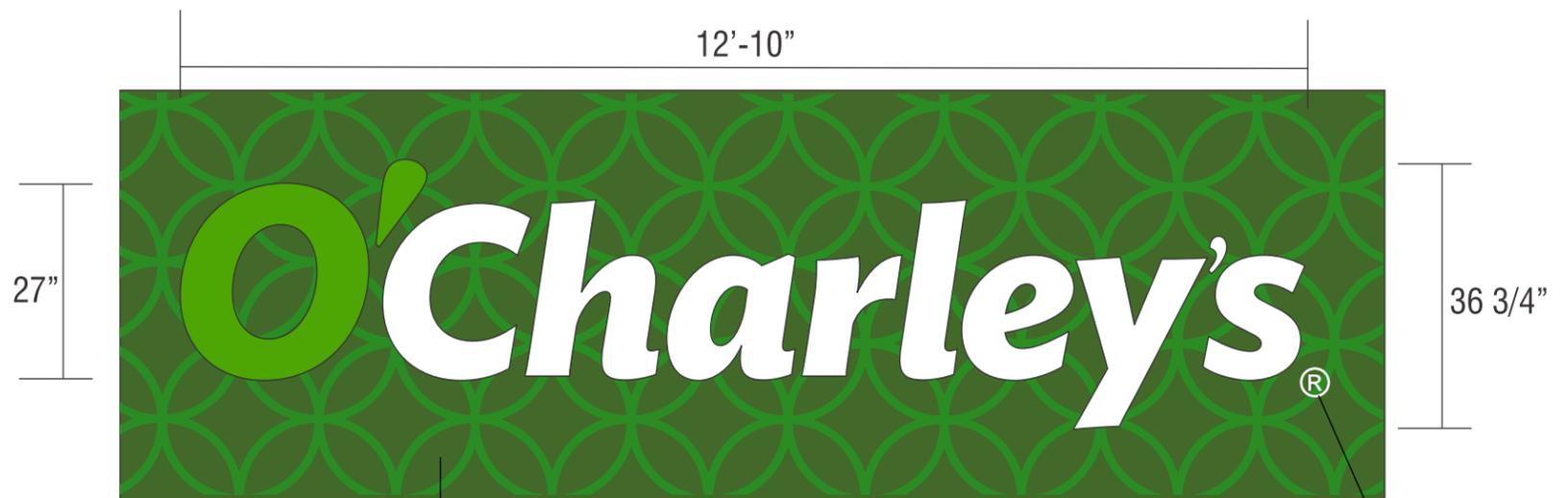
ALL EXISTING METAL
EP-4
DARK SECRET



RECEIVED
MAR 21 2013
GALLATIN PLANNING
& ZONING

NOTE: SEE SHEET A601 FOR TOWER SECTION AND DETAILS.

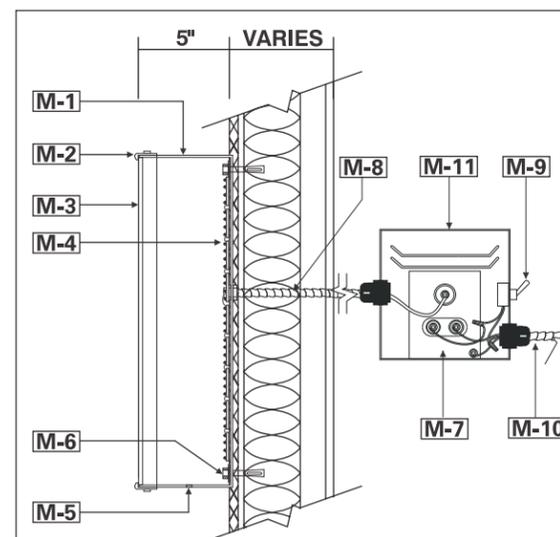




BACKER PANEL

white vinyl first surface

TWO (2) REQUIRED



2 LETTER SECTION
SCALE: NOT TO SCALE

SIGN MUST BE GROUNDED IN COMPLIANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRIC CODE.

SPECIFICATIONS:
PLEX FACE CHANNEL LETTERS WITH REMOTE TRANSFORMERS.

MATERIAL	DESCRIPTION
M1	ALUMINUM RETURNS AND BACKS FINISH TO BE DARK GREEN . INSIDE OF LETTERS TO BE WHITE.
M2	1" WHITE JEWELITE TRIM-CAPS.
M3	WHITE PLASTIC FACES, "O" TO HAVE 3630-136 LIME GREEN TRANSLUCENT VINYL APPLIED TO FIRST SURFACE.
M4	WHITE LED ("O" TO HAVE GREEN LED) MOUNTED TO BACK OF CHANNEL LETTERS W/ VBS DOUBLE SIDED TAPE AND SILICONE
M5	1/4" WEEP HOLES AS REQUIRED.
M6	MOUNTING HARDWARE (TYPE DEPENDS ON WALL CONSTRUCTION).
M7	120 VOLT POWER SUPPLIES.
M8	1/2" FLEX CONDUIT.
M9	DISCONNECT SWITCH ON END OF RACEWAYS.
M10	PRIMARY ELECTRICAL LEADS. POWER TO SIGN BY OTHERS.
M11	REMOTE METAL TRANSFORMER BOXES IF EXPOSED TO THE WEATHER.



CIRCUITS REQUIRED
ONE (1) 20 AMP. (120 VOLT) CIRCUIT DEDICATED TO SIGN ONLY

- 3M LIME GREEN 3630-136
- PMS #7743



Charles Hampton's
A-1 Signs
INCORPORATED

www.a-1signs.com

HIGHWAY 96 .PO.BOX 247 DICKSON, TN 37055

U.S. (800) 446-0066 office@a-1signs.com
DICKSON (615) 446-2856 FAX (615) 446-6616

THIS DESIGN IS THE PROPERTY OF A-1 SIGNS

SCALE: 1/2" = 1'-0"	DRAWN BY: KHBurns
DATE: 03/05/13	DRAWING #: OC Gallatin
LOCATION: Gallatin, TN.	JOB TITLE: O'Charley's
	TRACKING #: OC GT TN 03 05 13 JC 1
	SALES: Jack Cannon



ROUTED BACKED W/ WHITE PLEX

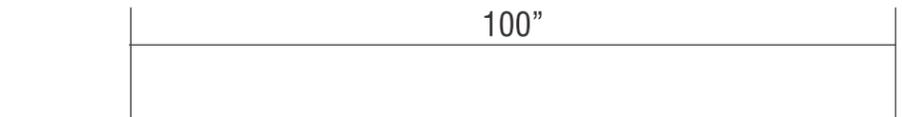
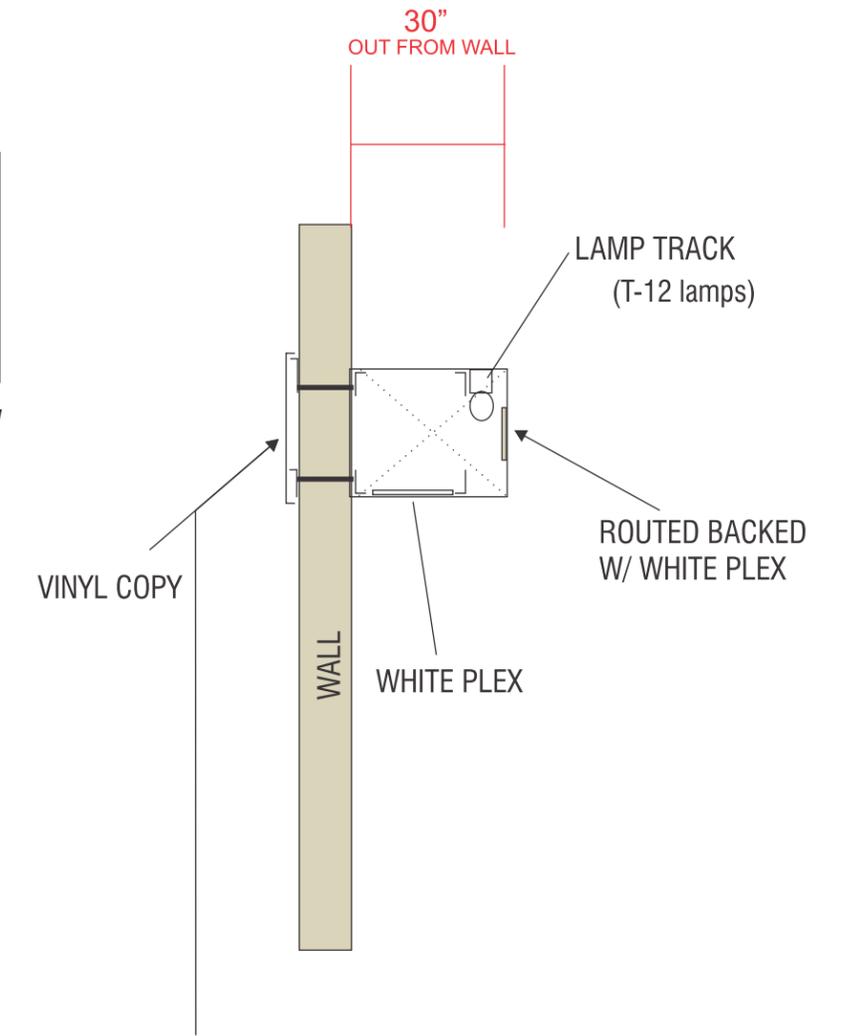
TWO (2) REQUIRED



CEILING VIEW

WHITE PLEX

CANOPY PAINTED BLACK



INSIDE VIEW

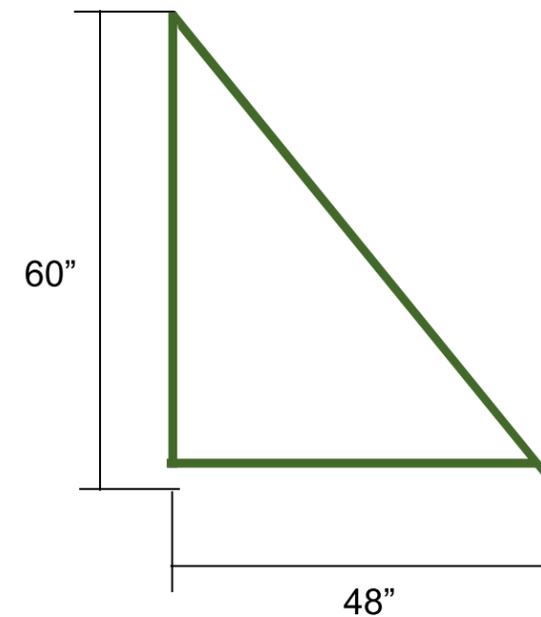
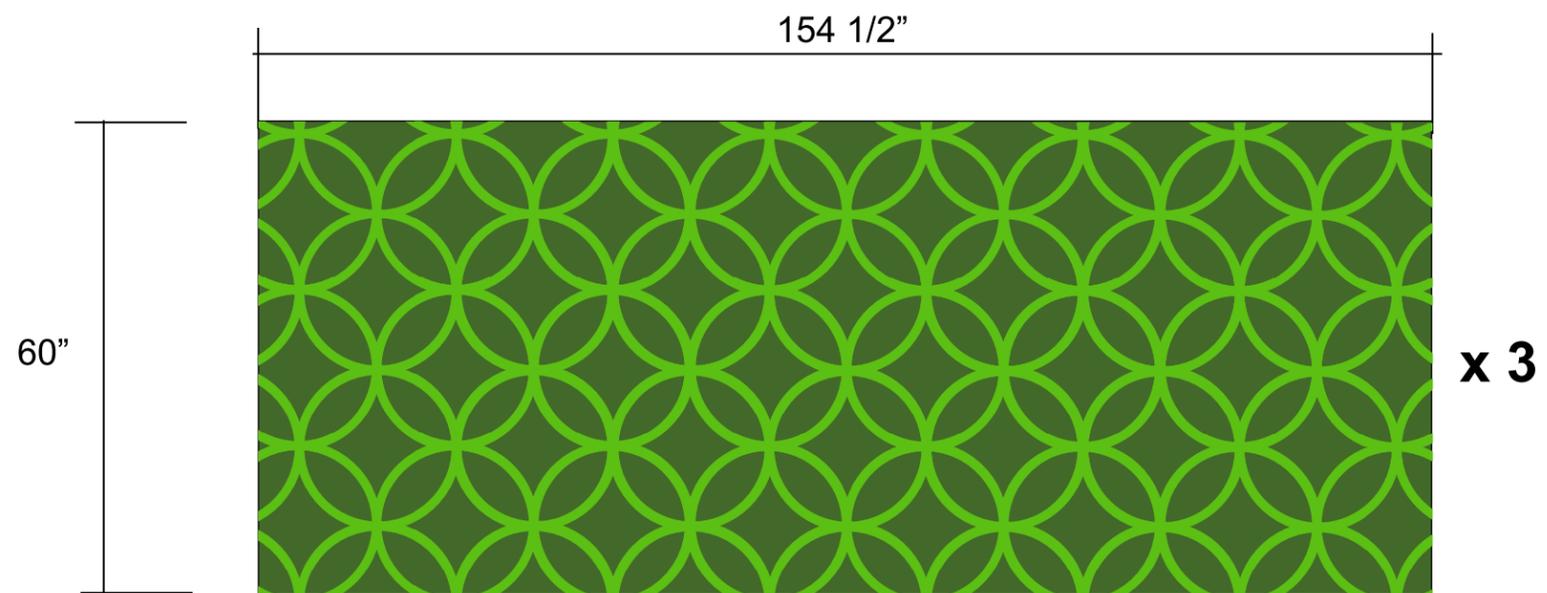


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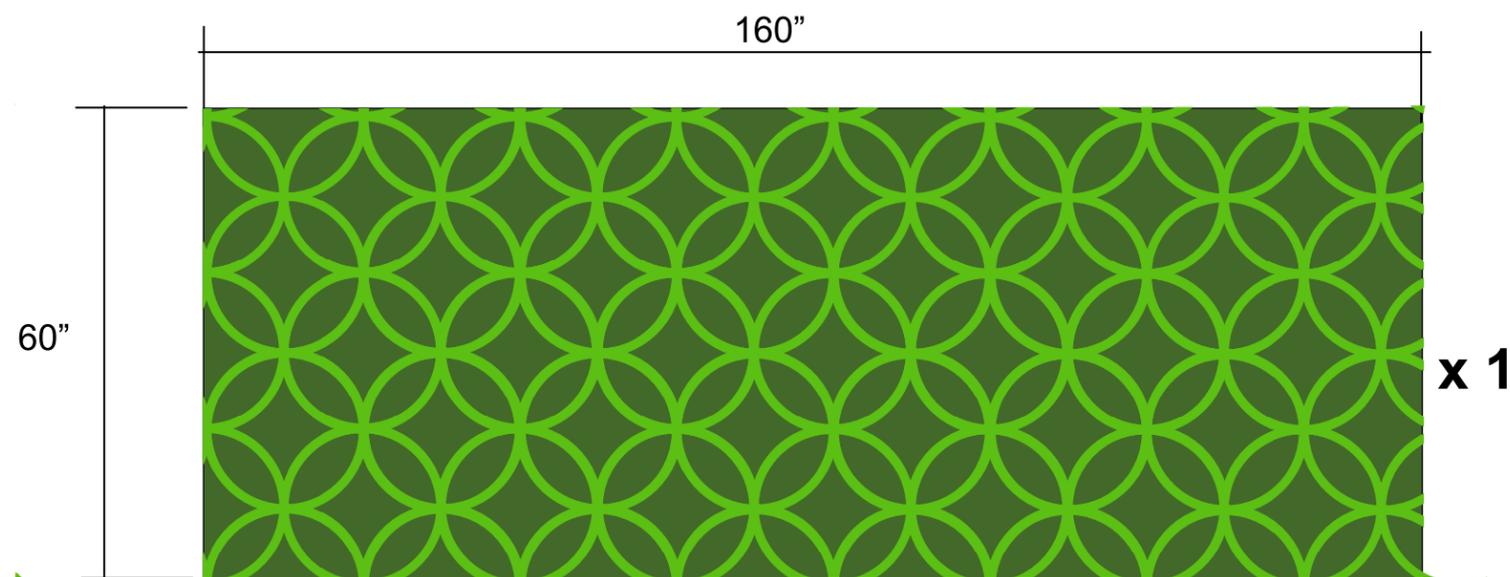


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LOCATION: Gallatin, TN.	JOB TITLE: O'Charley's
	TRACKING #: OC GT TN 03 05 13 JC 2
	SALES: Jack Cannon



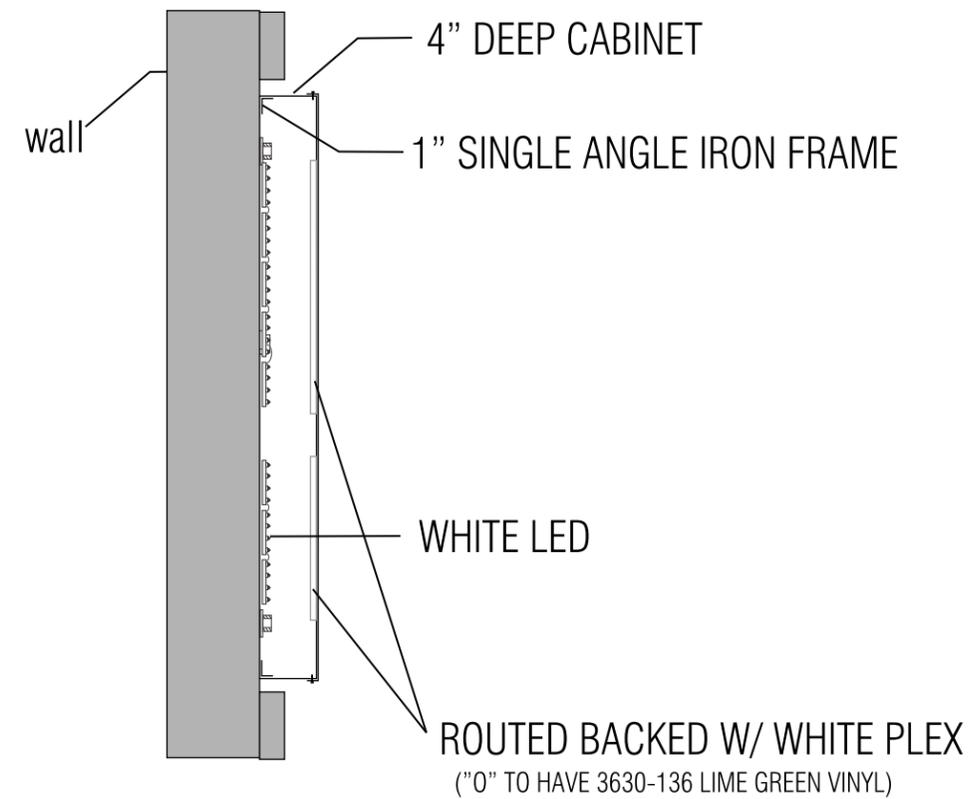
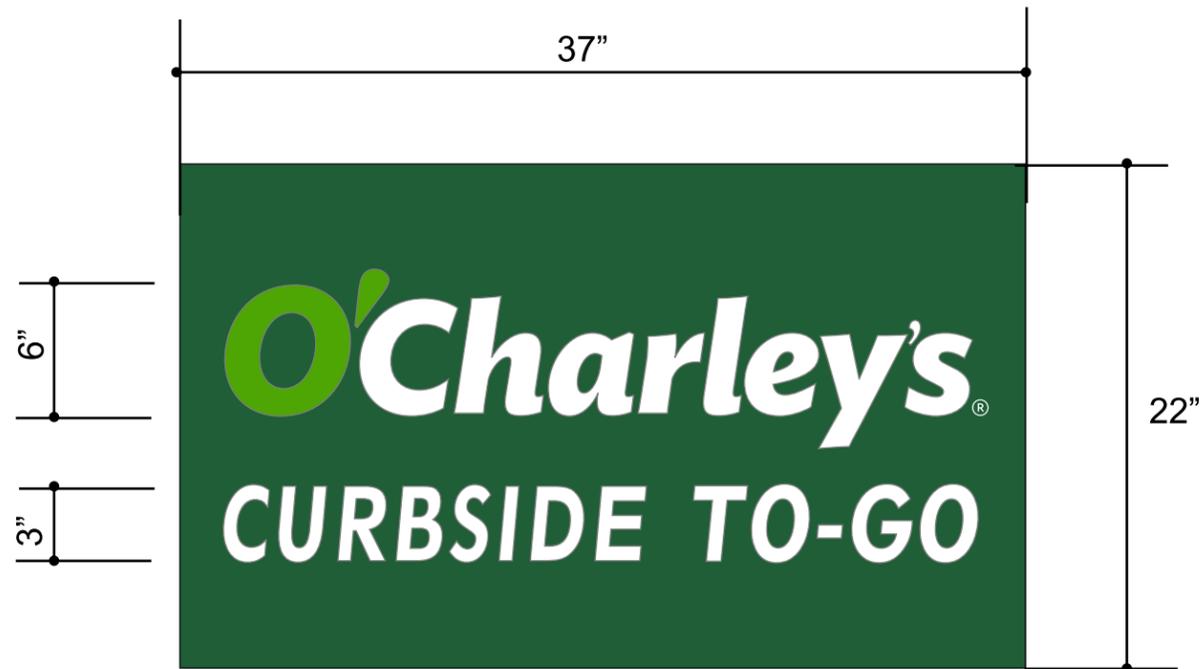
 3M LIME GREEN 3630-136
 PMS #7743



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LOCATION: Gallatin, TN.	JOB TITLE: O'Charley's
	TRACKING #: OC GT TN 03 05 13 JC 3
	SALES: Jack Cannon



S/F ILLUMINATED DISPLAY

- 3630-136 LIME GREEN
- PMS #7743
- WHITE

FABRICATED OF .080 ALUMINUM CABINET
 PRIMED AND PAINTED W/ POLYURETHANE ACRYLIC -
 CABINET PMS #7743 GREEN
 ROUTED ALUMINUM FACE W/ BACKED WHITE PLEX
 "O" TO HAVE 3630-136 LIME GREEN VINYL APPLIED FIRST SURFACE
 TO BE WHITE VINYL APPLIED TO FIRST SURFACE OF CABINET
 INTERNALLY ILLUMINATED WITH WHITE LEDS



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THIS DESIGN IS THE PROPERTY OF A-1 SIGNS

SCALE: 1 1/2" = 1'-0"	DRAWN BY: KHBurns
DATE: 03/05/13	DRAWING #: OC Gallatin
LOCATION: Gallatin, TN.	JOB TITLE: O'Charley's
	TRACKING #: OC GT TN 03 05 13 JC 4
	SALES: Jack Cannon

RESOLUTION APPROVING OTHER BUSINESS ITEM #1 – ONE-YEAR RENEWAL AND EXTENSION OF THE PERFORMANCE SURETIES FOR TWIN EAGLES, PH. 8; PC FILE #8-5-07 – WOODS COMMONS, SEC. 1; PC9827-11– THE DRIVE IN, PH. 1 & 2; PC FILE #1-23-04C – OAK HILL, PH. 1; PC FILE #1-53-06C – CAMBRIDGE FARMS, PH. 7, SEC. 2; PC0027-12

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the one-year renewal and extension of the performance sureties for Twin Eagles, Ph. 8; PC File #8-5-07 – Woods Commons, Sec. 1; PC9827-11– The Drive In, Ph. 1 & 2; PC File #1-23-04C – Oak Hill, Ph. 1; PC File #1-53-06C – Cambridge Farms, Ph. 7, Sec. 2; PC0027-12 submitted by the applicant, City of Gallatin, under Other Business at its regular meeting on March 25, 2013; and;

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the information presented by City Staff and evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-103 and 13-4-102:

1. The request to renew and extend the performance sureties is consistent with the policies and recommendations in the General Development and Transportation Plan.
2. It has been determined that the legal purposes for which zoning and subdivision regulations exists are not contravened.
3. It has been determined that there will not be an adverse effect upon adjoining property owners or any such adverse effect is justified by the public good or welfare.
4. It has been determined that no one property owner or small group of property owners will benefit materially from the renewal and extension of the performance sureties to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a one-year renewal and extension of the performance sureties as follows:

- Twin Eagles, Ph. 8; PC File #8-5-07, site surety one-year renewal and extension for \$8,100.

- Woods Commons, Sec. 1; PC9827-11, subdivision surety one-year renewal and extension for \$93,000. (*The LOC for Woods Commons, Sec. 1 may be combined with the LOC for The Drive In, Ph. 1 & Ph. 2 for a total surety amount of \$127,000.*)
- The Drive In, Ph. 1 & 2; PC File #1-23-04C, subdivision surety one-year renewal and extension for \$34,000. (*The LOC for Woods Commons, Sec. 1 may be combined with the LOC for The Drive In, Ph. 1 & Ph. 2 for a total surety amount of \$127,000.*)
- Oak Hill, Ph. 1; PC File #1-53-06C, subdivision surety one-year renewal and extension for \$119,000.
- Cambridge Farms, Ph. 7, Sec. 2; PC0027-12, maintenance surety one-year renewal and extension for \$49,000.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 3/25/13

Dick Dempsey, Chair

Johnny Wilson, Secretary

APPROVED AS TO FORM:

JOE H. THOMPSON
CITY ATTORNEY