

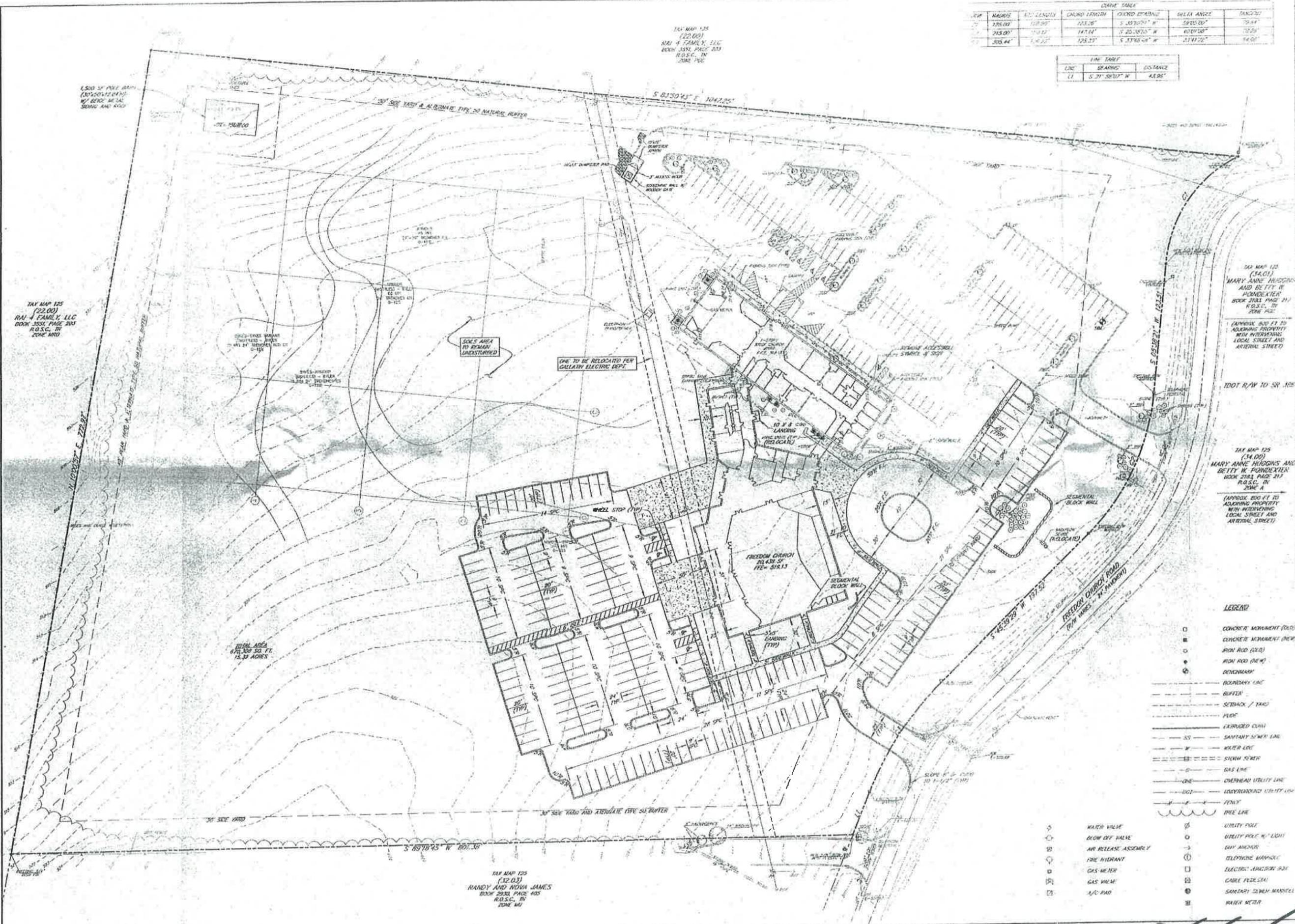


**Gallatin Municipal-Regional Planning Commission
Work Session Agenda**

Monday, May 4, 2015

Dr. J. Deotha Malone Council Chambers; 5 p.m.
Gallatin City Hall, 132 West Main Street

1. Discuss proposed Site Plan for Freedom Church for construction of a 20,438 square foot sanctuary addition and parking lot addition on 15.39 (+/-) acres located at 1010 Freedom Church Road (PC File #8-535-15).
2. Discuss proposed Site Plan for BMWG for construction of a 10,000 square foot building on 1.53 (+/-) acres located at 1205 Long Leaf Drive (PC File #8-538-15).
3. Discuss proposed Site Plan for two (2) building additions to Guild Elementary School totaling 21,704 square feet on 10.0 (+/-) acres located at 1018 South Water Avenue (PC File #8-545-15).
4. Discuss proposed revisions to approved Site Plan for Beretta, USA to change the bufferyards and landscaping plan, perimeter fencing, and exterior building elevations on 99.88 (+/-) acres located at 1399 Gateway Drive (PC File #8-550-15).
5. Discuss proposed rezoning request for 31.76 (+/-) acres from Residential-15 Planned Residential Development (R15 PRD) to Residential-20 (R20) located on East Broadway (PC File #3-562-15).
6. Discuss proposed changes to Gallatin Zoning Ordinance, Section 15.03.090, Temporary Use and Occupancy Permits.
7. Other Business



DECK TABLE

LINE	BEARING	DISTANCE
11	S 21° 50' 12" W	4.85'

LINE	BEARING	DISTANCE
11	S 21° 50' 12" W	4.85'

TAX MAP 125
(22.00)
RAI & FAMILY, LLC
BOOK 1551 PAGE 203
R.O.S.C. IN
ZONE A10

TAX MAP 125
(22.00)
RAI & FAMILY, LLC
BOOK 1551 PAGE 203
R.O.S.C. IN
ZONE A10

TAX MAP 125
(34.01)
MARY ANNE HUGGINS
AND BETTY H
PONDREXTER
BOOK 2181 PAGE 211
R.O.S.C. IN
ZONE A10

TAX MAP 125
(34.00)
MARY ANNE HUGGINS
AND BETTY H PONDREXTER
BOOK 2181 PAGE 211
R.O.S.C. IN
ZONE A10

(APPROX. 800 FT. TO
ADJOINING PROPERTY
WITH INTERSECTING
LOCAL STREET AND
ARTERIAL STREET)

LEGEND

- CONCRETE MOVEMENT (OLD)
- CONCRETE MOVEMENT (NEW)
- IRON ROD (OLD)
- IRON ROD (NEW)
- DIMENSION
- BOUNDARY LINE
- BUFFER
- SETBACK / YARD
- FLOOR
- EXPOSED CURB
- SANITARY SEWER LINE
- WATER LINE
- SEWER SEWER
- GAS LINE
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- FENCE
- TREE LINE
- WATER VALVE
- BLOW OFF VALVE
- AIR RELEASE ASSEMBLY
- FIRE HYDRANT
- GAS METER
- GAS VALVE
- A/C PAD
- UTILITY POLE
- UTILITY POLE W/ LIGHT
- DAY MARCH
- TELEPHONE MARKER
- ELECTRIC MARCHER BOX
- CABLE PULL BOX
- SANITARY SEWER MANHOLE
- WATER METER

ROGERS
ENGINEERING
GROUP



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

FREEDOM CHURCH
SANCTUARY ADDITION
SITE PLAN
1010 FREEDOM CHURCH ROAD
GALLATIN, 3RD CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE

ITEM!



SHEET NO
C 2.0

PROJECT #	DATE
15-015	22 APR 2015

8-535-15

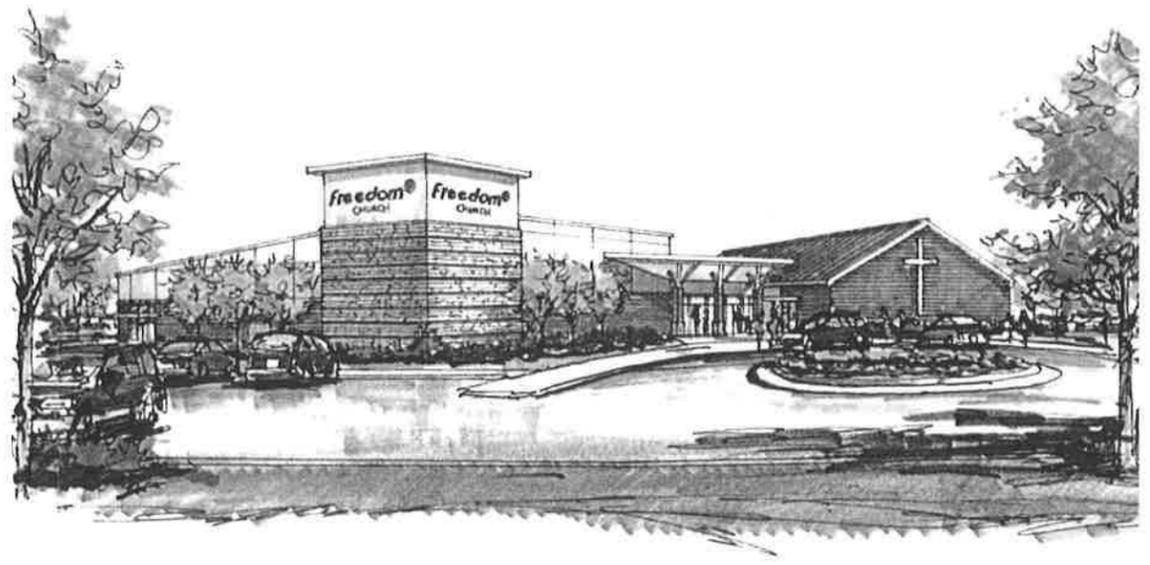


Exterior Concept Sketch

Aerial View Phase 1



VISIONEERING STUDIOS
@LIFEWAY

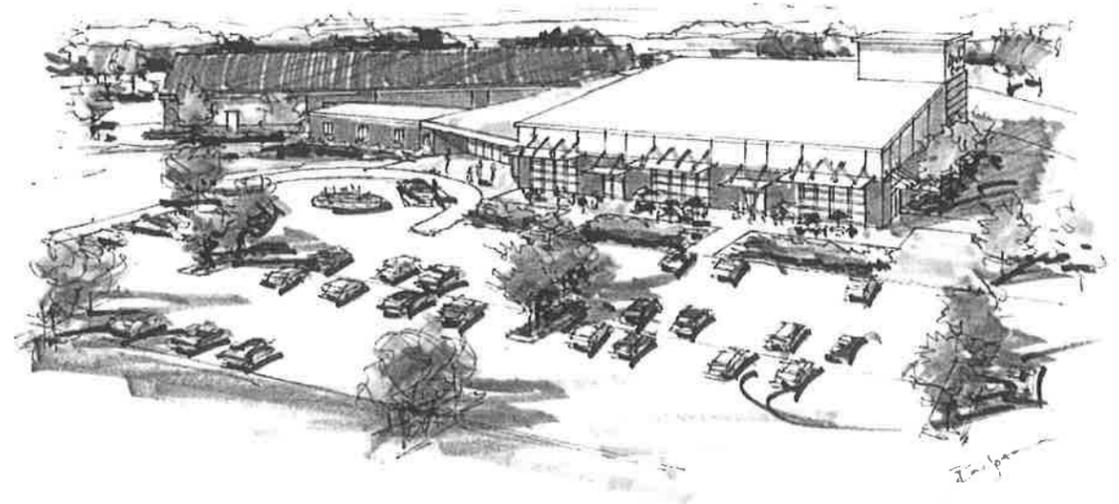


Exterior Concept Sketch

Phase 1



VISIONEERING STUDIOS
@LIFEWAY



Studio Oakley
Architects, LLC

233 Legends Drive Suite 102
Lebanon, Tennessee 37087
v) 615 466 8240
www.studio-oakley.com



PC Submittal

Freedom Church
2015 Worship Center
1010 Freedom Church Road
Gallatin, TN 37066

RECEIVED

APR 22 2015

GALLATIN PLANNING
& ZONING

Revisions		
Rev	Date	Remarks

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Job Number: 106415 Author: _____
Date: March 2015 Checker: _____

Scale: Artist Renderings

Sheet Number: A5.0



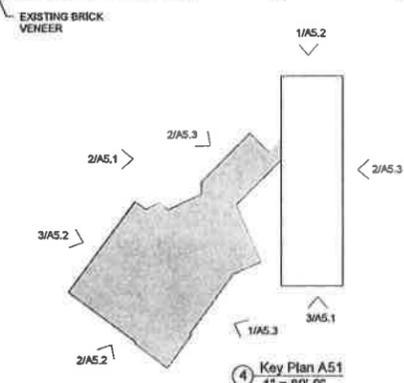
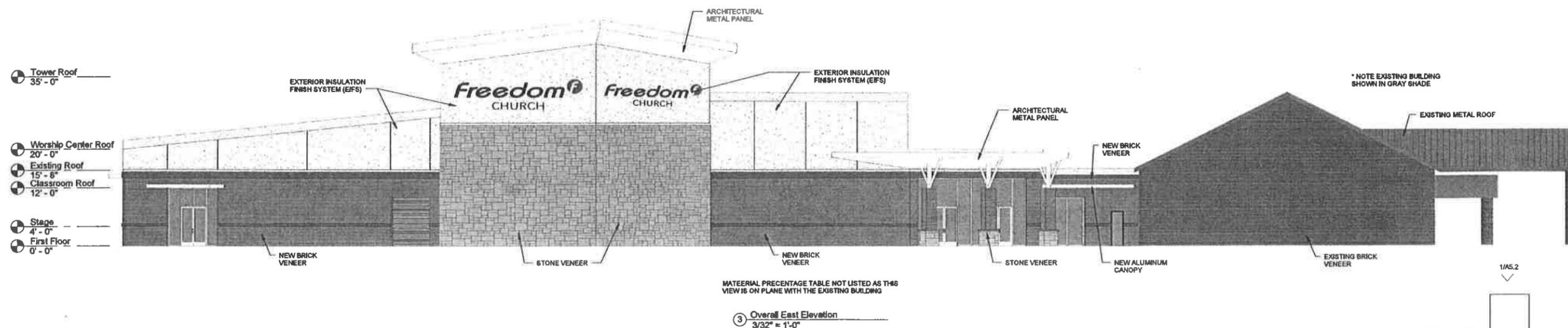
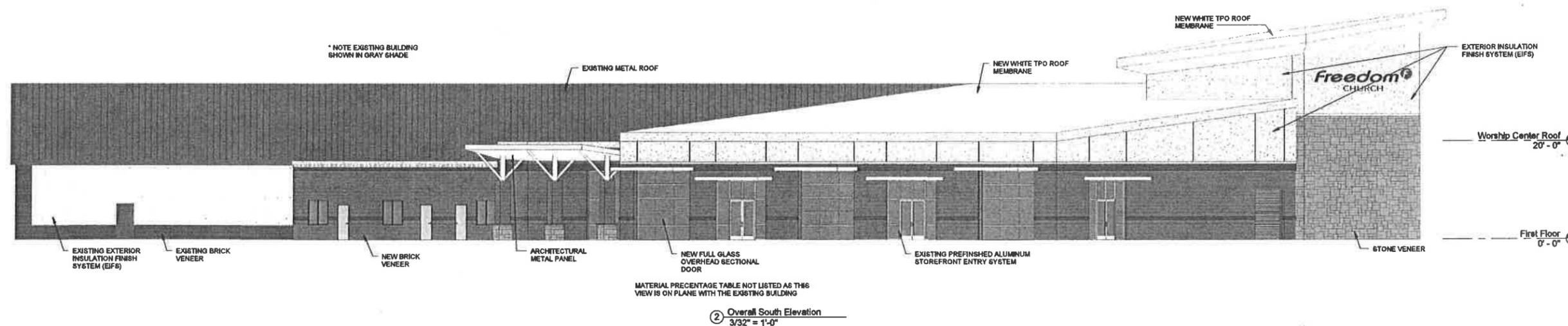
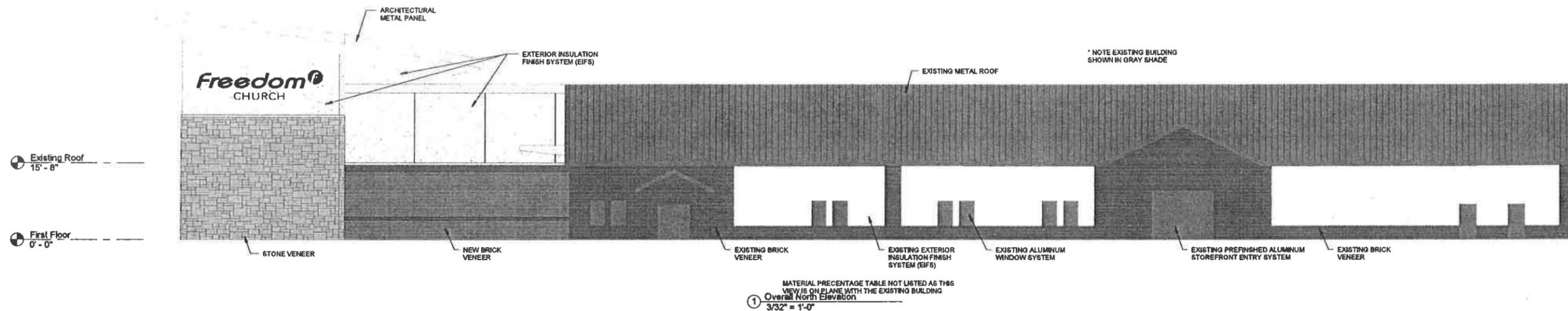
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233 Legends Drive, Suite 102
Lebanon, Tennessee 37087
t) 615.466.8940
www.studio-oakley.com



PC Submittal

**Freedom Church
2015 Worship Center**
1010 Freedom Church Road
Gallatin, TN 37066



Revisions		
Rev	Date	Remarks

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Job Number: 105415 Author: [blank] Drawn By: [blank]
Date: March 2015 Checker: [blank] Checked By: [blank]
Scale: As Indicated
Exterior Elevations

Sheet Number: **A5.1**



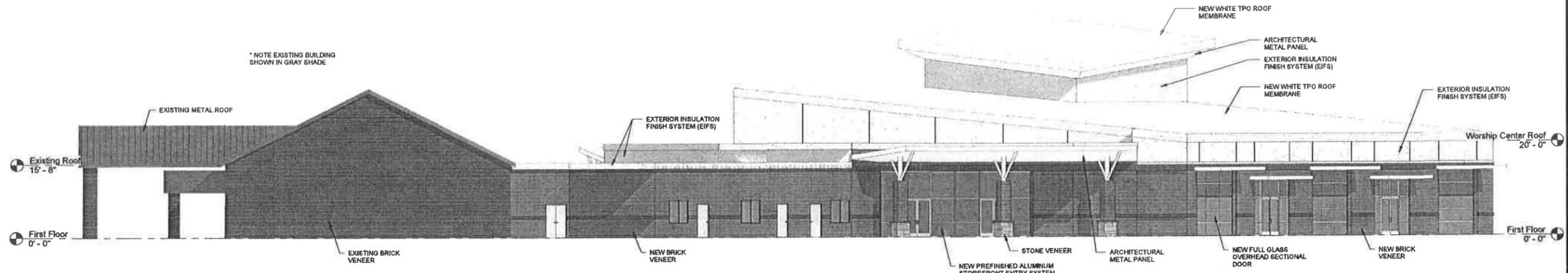
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233 Legends Drive Suite 102
Lebanon, Tennessee 37087
v) 615.466.8840
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PC Submittal

**Freedom Church
2015 Worship Center**
1010 Freedom Church Road
Gallatin, TN 37066



MATERIAL PERCENTAGE TABLE NOT LISTED AS THIS VIEW IS ON PLANE WITH THE EXISTING BUILDING
① Overall West Elevation
3/32" = 1'-0"



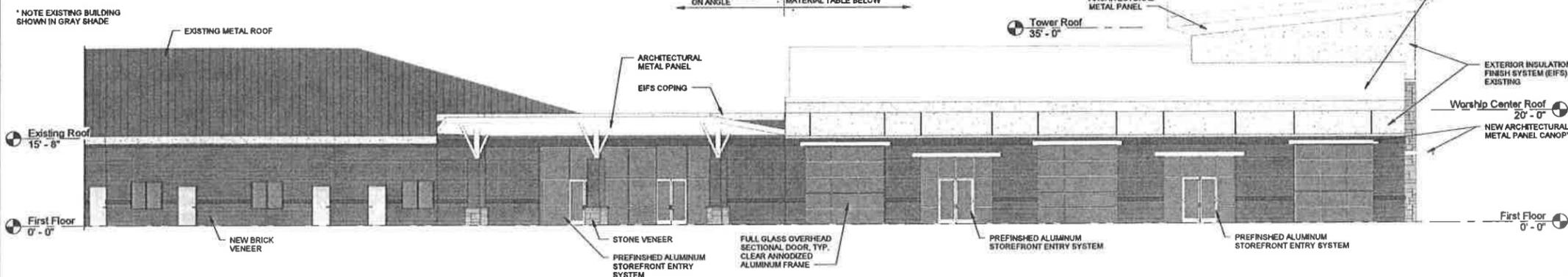
② Overall Southeast Elevation
3/32" = 1'-0"

SOUTHWEST ELEVATION			
	SURFACE AREA	PERCENT OF GROSS	PERCENT OF NET
GROSS WALL AREA	3,861 S.F.	N/A	N/A
NET WALL AREA*	3,589 S.F.	N/A	N/A
BRICK - NEW	994 S.F.	25.8%	27.8%
STONE - NEW	1,000 S.F.	25.9%	27.8%
EIFS - NEW	1,375 S.F.	35.6%	38.3%
ARCHITECTURAL METAL PANELS - NEW	220 S.F.	5.7%	6.1%
WINDOW/DOORS - NEW	272 S.F.	7.0%	N/A
BRICK - EXISTING	0 S.F.	0.0%	0.0%
EIFS - EXISTING	0 S.F.	0.0%	0.0%
WINDOW/DOORS - EXISTING	0 S.F.	0.0%	0.0%

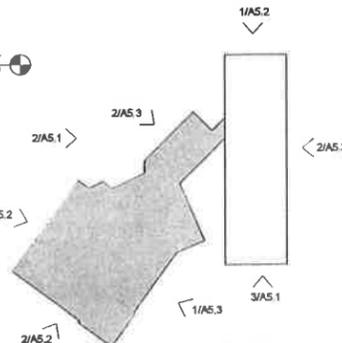
* NET AREA DOES NOT INCLUDE GLASS CURTAIN WALL SYSTEM, DOORS, OVERHEAD DOORS

SOUTHWEST ELEVATION			
	SURFACE AREA	PERCENT OF GROSS	PERCENT OF NET
GROSS WALL AREA	2,894 S.F.	N/A	N/A
NET WALL AREA*	2,002 S.F.	N/A	N/A
BRICK - NEW	796 S.F.	27.5%	39.8%
STONE - NEW	62 S.F.	1.8%	2.6%
EIFS - NEW	826 S.F.	32.0%	46.2%
ARCHITECTURAL METAL PANELS - NEW	229 S.F.	7.9%	11.4%
WINDOW/DOORS - NEW	892 S.F.	30.8%	N/A
BRICK - EXISTING	0 S.F.	0.0%	0.0%
EIFS - EXISTING	0 S.F.	0.0%	0.0%
WINDOW/DOORS - EXISTING	0 S.F.	0.0%	0.0%

* NET AREA DOES NOT INCLUDE GLASS CURTAIN WALL SYSTEM, DOORS, OVERHEAD DOORS



③ Overall Southwest Elevation
3/32" = 1'-0"



④ Key Plan A5.2
1" = 80'-0"

Revisions		
Rev	Date	Remarks

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Job Number 106415 Author Dan March 2015
Drawn By Dan March 2015
Checked By
As Indicated
Exterior Elevations

Sheet Number: **A5.2**



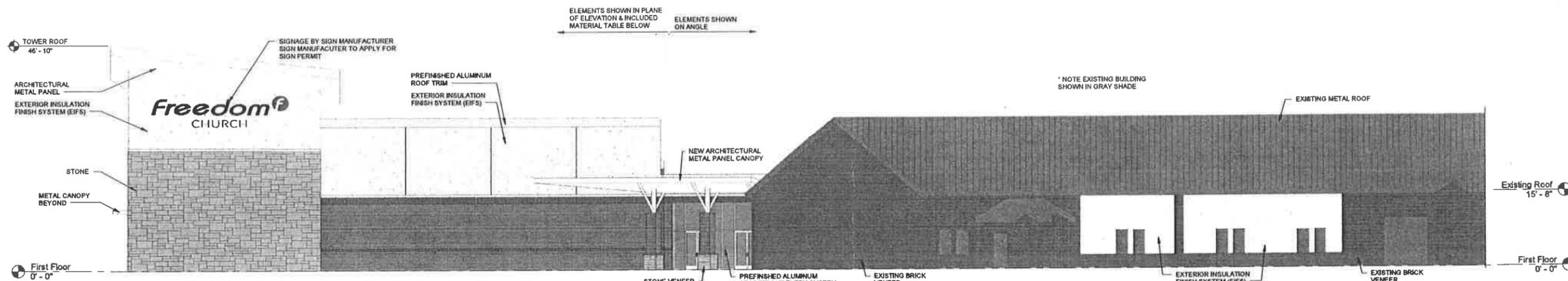
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PC Submittal

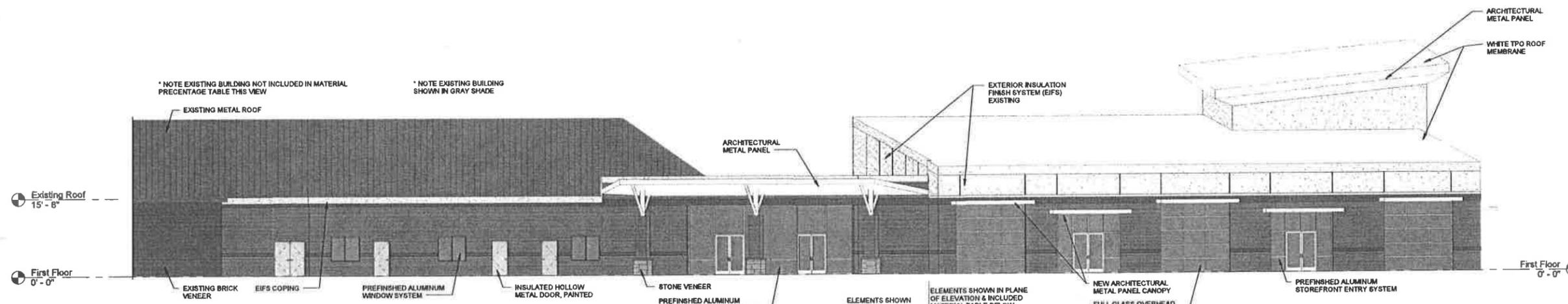
Freedom Church
2015 Worship Center
1010 Freedom Church Road
Gallatin, TN 37066



NORTHEAST ELEVATION			
	SURFACE AREA	PERCENT OF GROSS	PERCENT OF NET
GROSS WALL AREA	4,102 S.F.	N/A	N/A
NET WALL AREA*	4,102 S.F.	N/A	N/A
BRICK - NEW	1,104 S.F.	26.9%	26.9%
STONE - NEW	1,000 S.F.	24.4%	24.4%
EIFS - NEW	1,790 S.F.	43.6%	43.6%
ARCHITECTURAL METAL PANELS - NEW	209 S.F.	5.1%	5.1%
WINDOW/DOORS - NEW	0 S.F.	0.0%	0.0%
BRICK - EXISTING	0 S.F.	0.0%	0.0%
EIFS - EXISTING	0 S.F.	0.0%	0.0%
WINDOWS/DOORS - EXISTING	0 S.F.	0.0%	0.0%

* NET AREA DOES NOT INCLUDE GLASS CURTAIN WALL SYSTEM, DOORS, OVERHEAD DOORS

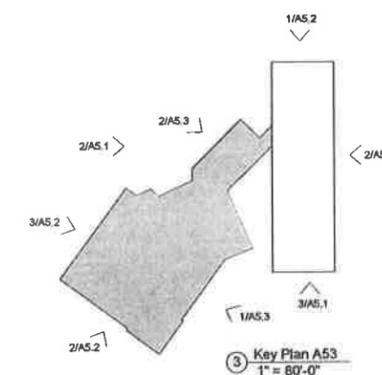
① Overall Northeast Elevation
3/32" = 1'-0"



NORTHWEST ELEVATION			
	SURFACE AREA	PERCENT OF GROSS	PERCENT OF NET
GROSS WALL AREA	2,568 S.F.	N/A	N/A
NET WALL AREA*	1,862 S.F.	N/A	N/A
BRICK - NEW	1,672 S.F.	65.1%	69.8%
STONE - NEW	0 S.F.	0.0%	0.0%
EIFS - NEW	190 S.F.	7.4%	10.2%
ARCHITECTURAL METAL PANELS - NEW	0 S.F.	0.0%	0.0%
WINDOW/DOORS - NEW	706 S.F.	27.5%	N/A
BRICK - EXISTING	0 S.F.	0.0%	0.0%
EIFS - EXISTING	0 S.F.	0.0%	0.0%
WINDOWS/DOORS - EXISTING	0 S.F.	0.0%	0.0%

* NET AREA DOES NOT INCLUDE GLASS CURTAIN WALL SYSTEM, DOORS, OVERHEAD DOORS

② Overall Northwest Elevation
3/32" = 1'-0"



③ Key Plan A53
1" = 80'-0"

Revisions		
Rev	Date	Remarks

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Job Number: 106415 Author: [blank]

Date: March 2015 Checker: [blank]

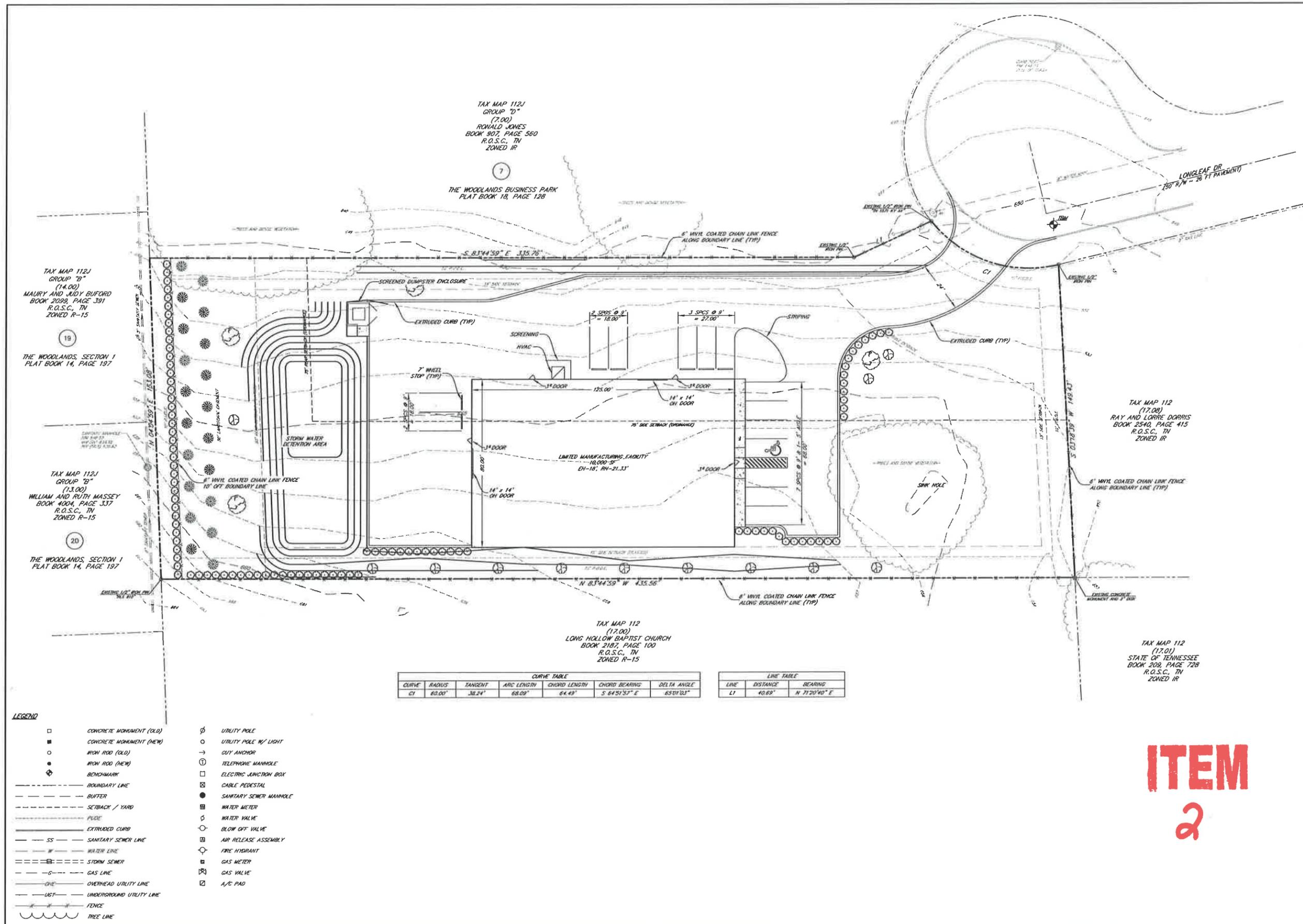
Scale: As Indicated

Exterior Elevations

Sheet Number:

A5.3

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TAX MAP 112J
GROUP "D"
(7.00)
RONALD JONES
BOOK 907, PAGE 560
R.O.S.C., TN
ZONED R-15

THE WOODLANDS BUSINESS PARK
PLAT BOOK 18, PAGE 128

TAX MAP 112J
GROUP "B"
(14.00)
MAURY AND JUDY BUFORD
BOOK 2098, PAGE 391
R.O.S.C., TN
ZONED R-15

THE WOODLANDS, SECTION 1
PLAT BOOK 14, PAGE 197

TAX MAP 112J
GROUP "B"
(13.00)
WILLIAM AND RUTH MASSEY
BOOK 4004, PAGE 337
R.O.S.C., TN
ZONED R-15

THE WOODLANDS, SECTION 1
PLAT BOOK 14, PAGE 197

TAX MAP 112
(17.00)
RAY AND LORRE DORRIS
BOOK 2540, PAGE 415
R.O.S.C., TN
ZONED R-15

TAX MAP 112
(17.00)
LONG HOLLOW BAPTIST CHURCH
BOOK 2187, PAGE 100
R.O.S.C., TN
ZONED R-15

TAX MAP 112
(17.01)
STATE OF TENNESSEE
BOOK 209, PAGE 728
R.O.S.C., TN
ZONED R-15

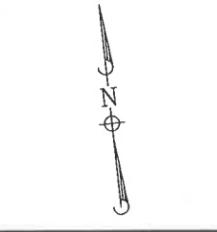
CURVE TABLE						
CURVE	RADIUS	TANGENT	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
CI	63.00'	38.24'	68.09'	64.49'	S 84°31'57" E	65°01'03"

LINE TABLE		
LINE	DISTANCE	BEARING
L1	40.89'	N 71°20'40" E

- LEGEND**
- CONCRETE MONUMENT (OLD)
 - CONCRETE MONUMENT (NEW)
 - IRON ROD (OLD)
 - IRON ROD (NEW)
 - ⊕ BENCHMARK
 - - - BOUNDARY LINE
 - - - BUFFER
 - - - SETBACK / YARD
 - - - PUDGE
 - - - EXTRUDED CURB
 - - - SS - - - SANITARY SEWER LINE
 - - - W - - - WATER LINE
 - - - S - - - STORM SEWER
 - - - G - - - GAS LINE
 - - - OHE - - - OVERHEAD UTILITY LINE
 - - - UGT - - - UNDERGROUND UTILITY LINE
 - - - FENCE
 - - - TREE LINE
 - ⊕ UTILITY POLE
 - UTILITY POLE W/ LIGHT
 - GUY ANCHOR
 - ⊙ TELEPHONE MANHOLE
 - ELECTRIC JUNCTION BOX
 - ⊕ CABLE PEDESTAL
 - SANITARY SEWER MANHOLE
 - ⊕ WATER METER
 - ⊕ WATER VALVE
 - BLOW OFF VALVE
 - ⊕ AIR RELEASE ASSEMBLY
 - ⊕ FIRE HYDRANT
 - ⊕ GAS METER
 - ⊕ GAS VALVE
 - ⊕ A/C PAD

ROGERS ENGINEERING GROUP
1148 WEST MAIN STREET
Gallatin, Tennessee 37065
TEL: 615-232-2088 FAX: 615-232-7271
rhenry@reng.com

IF YOU DIG IN TENNESSEE...
CALL US FIRST!
1-800-353-1111
1-615-368-1987
TENNESSEE ONE CALL
IT'S THE LAW



GRAPHIC SCALE
(1" = 20 FT)
1 inch = 20 ft

BMW SITE PLAN
SITE LAYOUT
1805 LONGLEAF DRIVE
CITY OF GALLATIN 3RD CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE



ITEM 2

SHEET NO. C 2.0

REVISIONS

SHEET 2 OF 8
PROJECT # 15-018
DATE 22 APRIL 2015

8-538-15

SITE PLAN

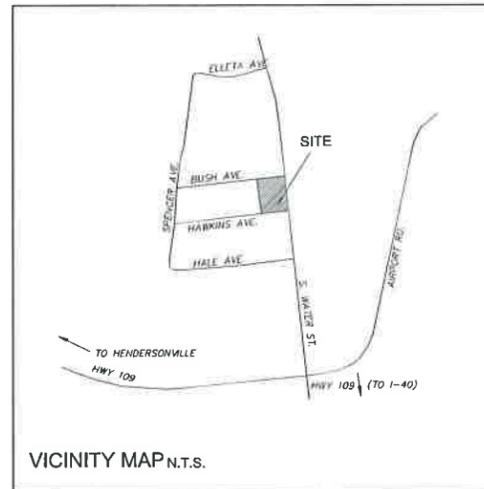
ADDITION TO

GUILD ELEMENTARY SCHOOL

1018 S. WATER AVE
 GALLATIN, SUMNER COUNTY, TENNESSEE

SHEET INDEX

- C0.01 COVER
- C0.02 OVERALL SITE MAP
- C0.02 EXISTING CONDITIONS & DEMOLITION PLAN
- C1.00 SITE LAYOUT & UTILITY PLAN
- C2.00 SITE GRADING & DRAINAGE PLAN
- C2.01 STORMWATER POLLUTION PREVENTION PLAN
- C3.00 CIVIL DETAILS
- L1.00 LANDSCAPE & SITE LIGHTING PLAN



OWNER / DEVELOPER

SUMNER COUNTY BOARD OF EDUCATION
 695 E. MAIN STREET
 GALLATIN, TENNESSEE 37066
 PH: (615) 451-5243
 CONTACT: TIM WILLIAMS

ENGINEER

CIVIL SITE DESIGN GROUP
 630 SOUTHGATE AVE, SUITE A
 NASHVILLE, TENNESSEE 37203
 PH: (615) 248-9999
 CONTACT: JOE HADDIX

ITEM 3



KAATZ, BINKLEY, JONES & MORRIS ARCHITECTS, INC.

KNOXVILLE NASHVILLE
 2128 CLINCH AVE., KNOXVILLE, TN 37916 1008 CHARLE DANIELS PKY., MT. JULIET, TN 37122
 P.O. BOX 1007, KNOXVILLE, TN 37901 P.O. BOX 713, MT. JULIET, TN 37122
 PHONE: (865) 837-4166 FAX: (865) 873-4945 PHONE: (615) 754-5303 FAX: (615) 754-5340



CIVIL SITE DESIGN GROUP

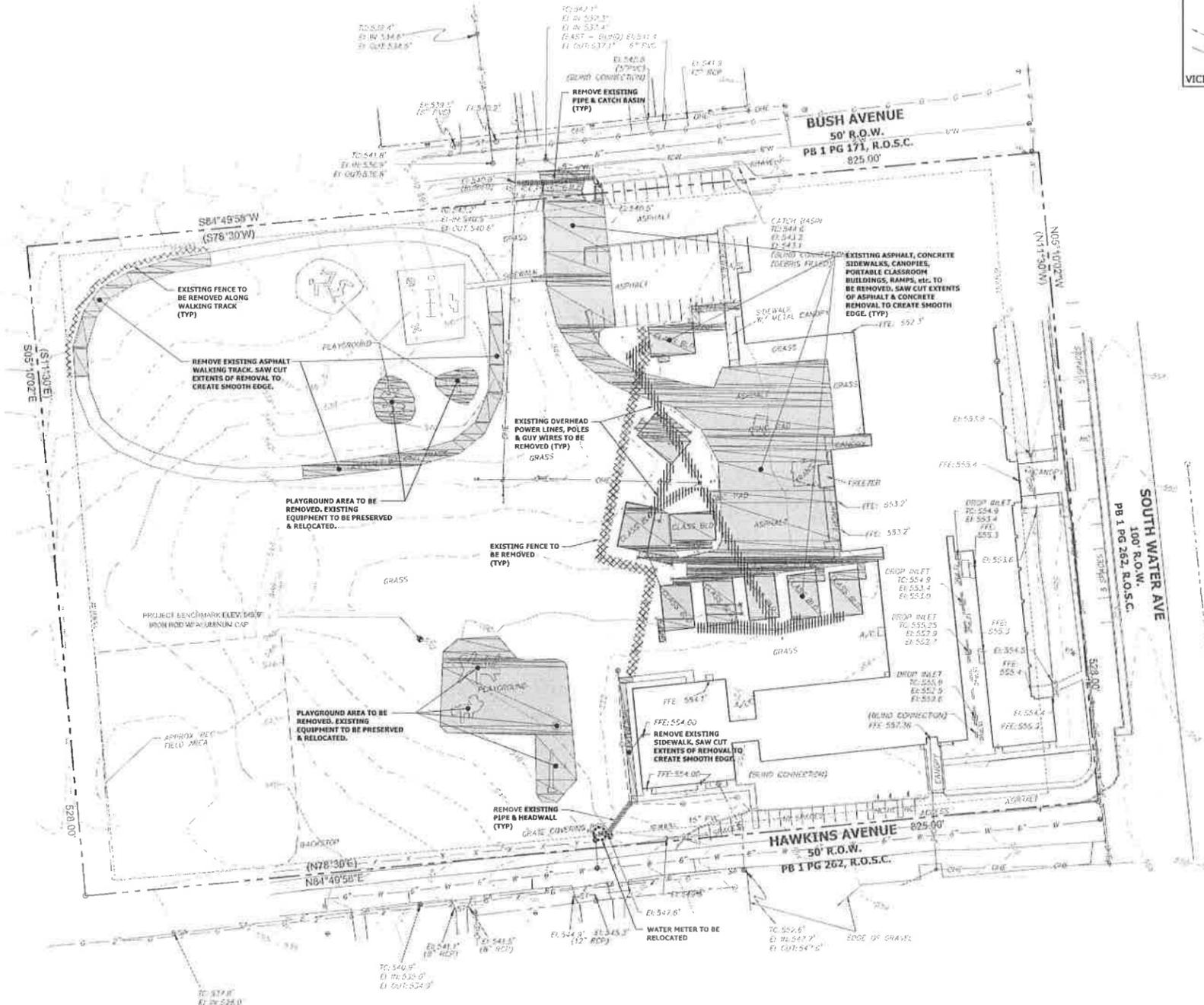
630 SOUTHGATE AVENUE, SUITE A, NASHVILLE, TN 37203
 615.248.9999 WWW.CIVIL-SITE.COM

DATE	COMMENT
04/22/15	INITIAL PC SUBMITTAL
DATE: APRIL 22, 2015 JOB NO.: 15-013-01	

8-545-15

Site Demolition Notes:

1. Basic information was taken from a survey prepared by Crawford & Cummings, P.C., Dated March 25, 2015. Civil Site Design Group, P.L.L.C., and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information shown hereon or any errors or omissions resulting from such.
2. The contractor shall call Tennessee One Call (811) 72 hours prior to proceeding with any excavation.
3. The contractor shall field verify the limits of demolition with the owner's representative prior to commencement of work.
4. The contractor shall obtain all local codes, obtain all permits and give all notices required for a demolition of work.
5. Cavities left by structure removal shall be suitably backfilled and compacted in accordance with these plans and specifications.
6. The contractor is responsible for all demolition and removal necessary to accomplish the proposed improvements shown on these plans.
7. The contractor is responsible for locating all charted and uncharted utilities. Take care to protect utilities that are to remain. Repair any damage according to local standards and at the contractor's expense. Coordinate all construction with the appropriate utility company.
8. In areas where existing pavement, walls, or curbs are to be removed, saw cut to provide a clean edge. Coordinate extent of pavement demolition with the list of new improvements on the site layout plan.
9. All materials being removed and not relocated under the new construction, including trees and shrubs, signs, utility structures, etc., shall be first offered to the owner's representative and if not accepted shall then be properly disposed of by the contractor.
10. The contractor shall use water sprinkling and other suitable methods as necessary to control dust and dirt caused by the demolition work.
11. The contractor shall preserve and protect survey control points and shall be responsible for replacement of any disturbed control points.
12. No utility or storm sewer lines shall be demolished until the new lines have been installed and are placed into operation.
13. Contractor shall coordinate phasing of the demolition with the owner's representative and local governing agency prior to beginning work. Disruption of existing utility services and traffic patterns shall be minimized to the extent possible and initiated only after approval by the local governing agency and the utility companies.
14. Where water line and sewer line abandonment is planned, the contractor may abandon water lines and sewer lines in place where they occur at least 24" (to top of the pipe) below final topographic elevations. All utility lines being abandoned in place shall have all ends permanently closed using a concrete plug. Existing lines within the proposed building footprint (and 10 feet beyond the building footprint) shall be removed.
15. Existing lights and poles being removed shall be first offered to the owner's representative prior to beginning of work. Coordinate lighting demolition and layout with the electrical drawings.
16. Existing trees to be preserved are to be barricaded before beginning construction, in accordance with the tree preservation notes and detail on the landscape plan.
17. The contractor shall incorporate into his work any isolation valves or temporary plugs required to construct new utility lines and demolish existing utility lines.
18. Existing irrigation lines lie within the area affected by the proposed construction. The contractor shall remark the existing irrigation systems in accordance with directives noted on the landscape plan. Service shall be maintained during construction to the landscaped areas currently irrigated.
19. Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on the site.
20. Selective clearing consisting of removal of vines, saplings under 1" diameter and underbrush shall be performed in tree preservation areas internal to the project and noted on plans.



NOTES:
 1) IF ANY UNDERGROUND CONNECTIONS ARE DISCOVERED DURING DEMOLITION, NOTIFY ENGINEER IMMEDIATELY. UNDERGROUND CONNECTION SHALL BE EXTENDED TO CONNECT TO NEW SERVICE LINES.

MAP 126 PARCEL 01.00

PROJECT BENCHMARK:
 DESCRIPTION: IRON ROD w/
 ALUMINUM CAP
 ELEVATION: 549.9 (NAVD 1988)

PROJ. NO. 2714-14
 DATE 04/22/15
 DWG. NO.
C0.02

CIVIL SITE DESIGN GROUP
 ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
 630 SOUTH WATER AVENUE, SUITE 100, WASHINGTON, TN 37397
 615.740.5994 • WWW.CIVIL-SITE.COM

GRAPHIC SCALE: 1" = 40'



ADDITION TO
 GUILD ELEMENTARY



KAATZ, BINKLEY, JONES & MORRIS ARCHITECTS, INC.

INDYVILLE, TN 37036
 200 BUCKNER E. INDIANVILLE, TN 37036
 PHONE: (865) 637-4956 FAX: (865) 973-4945

REVISIONS	
NO.	DATE

DWN. TWG
 CHK'D. JMH
 APP'D. JMH



Joseph M. Haddock
 State of Tennessee
 Professional Engineer

EXISTING CONDITIONS &
 DEMOLITION PLAN

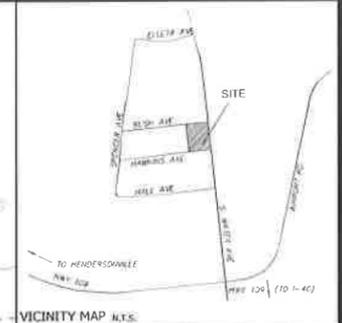
PROJ. NO. 2714-14
 DATE 04/22/15
 DWG. NO.
C0.02

8-545-15

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
	8	Acer rubrum 'October Glory'	'October Glory' Red Maple	12'-14'	6'-7'	2.5"	3" Clear Trunk

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
	74	Ilex glabra 'Shamrock'	Inkberry	18"-24"	12'-18"	F.T.B.	



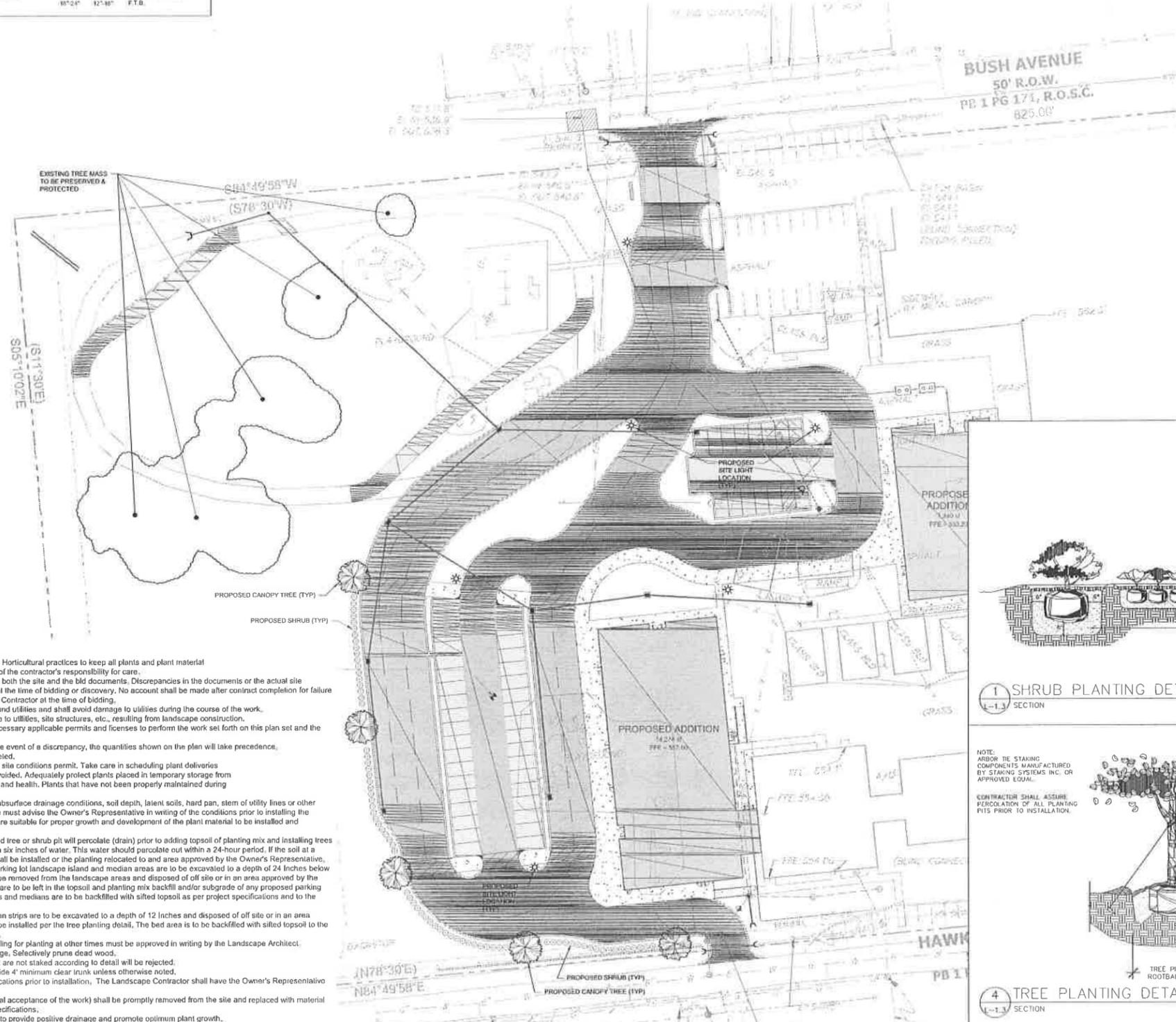
ADDITION TO
GUILD ELEMENTARY

GALLATIN, SUMNER COUNTY, TENNESSEE



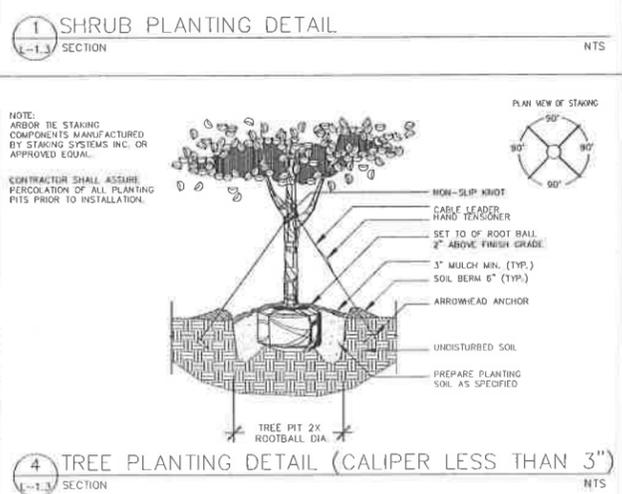
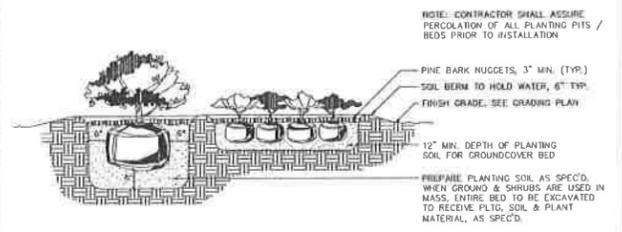
KAATZ, BINKLEY, JONES & MORRIS ARCHITECTS, INC.

318 CLINTON AVENUE
KNOXVILLE, TN 37906
P.O. BOX 1007, KNOXVILLE, TN 37201
PHONE: (865) 937-1156 FAX: (865) 937-1145



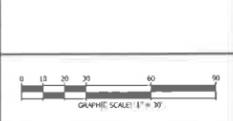
Landscape Notes:

- All work shall be performed by fully qualified Plantsmen. Use good Horticultural practices to keep all plants and plant material installed in a living, healthy condition up to the date of termination of the contractor's responsibility for care.
- The Landscape Contractor shall be responsible for examining fully both the site and the bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor is responsible for locating all underground utilities and shall avoid damage to utilities during the course of the work.
- The Landscape Contractor is responsible for repairing any damage to utilities, site structures, etc., resulting from landscape construction.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth on this plan set and the specifications.
- The Landscape Contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- No material shall be planted before finish grading has been completed.
- The plants delivered to the project site shall be planted as soon as site conditions permit. Take care in scheduling plant deliveries and the size of the deliveries so that long periods of storage are avoided. Adequately protect plants placed in temporary storage from the sun and wind; water plants so as to maintain their appearance and health. Plants that have not been properly maintained during temporary storage may be rejected by the Landscape Architect.
- Should the Contractor encounter unsatisfactory surface or other subsurface drainage conditions, soil depth, latent soils, hard pan, stem of utility lines or other conditions that will jeopardize the health and vigor of the plants, he must advise the Owner's Representative in writing of the conditions prior to installing the plants. Otherwise the Contractor warrants that the planting areas are suitable for proper growth and development of the plant material to be installed and contractor shall take responsibility for the cost of any revision.
- It is the responsibility of the Contractor to verify that each excavated tree or shrub pit will percolate (drain) prior to adding topsoil of planting mix and installing trees or shrubs. The Contractor shall fill the bottom of selected holes with six inches of water. This water should percolate out within a 24-hour period. If the soil at a given area does not drain properly, a PVC drain or gravel sump shall be installed or the planting relocated to and area approved by the Owner's Representative.
- Prior to installation of plant materials, the width and length of all parking lot landscape island and median areas are to be excavated to a depth of 24 inches below the proposed top of pavement elevation. Excavated material is to be removed from the landscape areas and disposed of off site or in an area approved by the Project Engineer. No asphaltic construction trash and/or materials are to be left in the topsoil and planting mix backfill and/or subgrade of any proposed parking area islands and/or planting medians and strips. Parking lot islands and medians are to be backfilled with sifted topsoil as per project specifications and to the elevations indicated on the grading plans.
- All shrub and ground cover beds not in parking lot islands or median strips are to be excavated to a depth of 12 inches and disposed of off site or in an area approved by the Project Engineer. Trees in these bed areas shall be installed per the tree planting detail. The bed area is to be backfilled with sifted topsoil to the elevations indicated on the grading plans as per the specifications.
- The optimum time for planting is from October 1 to April 1. Scheduling for planting at other times must be approved in writing by the Landscape Architect.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- New tree plantings are to be staked per planting details. Trees that are not staked according to detail will be rejected.
- All deciduous trees, existing and proposed shall be pruned to provide 4" minimum clear trunk unless otherwise noted.
- The Landscape Contractor shall stake or mark all plant material locations prior to installation. The Landscape Contractor shall have the Owner's Representative approve all staking prior to installation.
- All plant material which dies, turns brown, or defoliates (prior to total acceptance of the work) shall be promptly removed from the site and replaced with material of the same species quantity and size and meeting all plant list specifications.
- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- Chemical Weed Control (pre-emergent, i.e., Treflan) shall be applied to all landscape areas prior to any plant installation.
- All planting areas shall receive a 3" layer of the mulch as specified in the materials schedule, which is to be watered-in after installation.
- All plants shall be vigorous, healthy material, free of pests and disease.
- All plants and trees must meet all requirements specified in the plant list, details, and specifications.
- The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- Existing sod shall be removed as necessary to accommodate new plantings.
- Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be resodded to match existing.
- The Landscape Contractor is responsible for completely maintaining the work (including but not limited to: watering, mulching, spraying, fertilizing, of all planting areas and lawns per project specifications until total acceptance of the work by the owner.
- The Landscape Contractor shall completely guarantee all work for a period of one year beginning at the date of total acceptance.
- The Landscape Contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.



MAP 126 PARCEL 01.00

PROJECT BENCHMARK:
DESCRIPTION: IRON ROD W/
ALUMINUM CAP
ELEVATION: 549.9 (NAVD 1988)



CIVIL SITE DESIGN GROUP
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
430 SOUTHGATE AVENUE, SUITE A - NASHVILLE, TN 37203
615.246.8888 WWW.CIVILSITE.COM

REVISIONS

NO.	DATE

DWN: TWG
CHK'D: JMH
APP'D: JMH



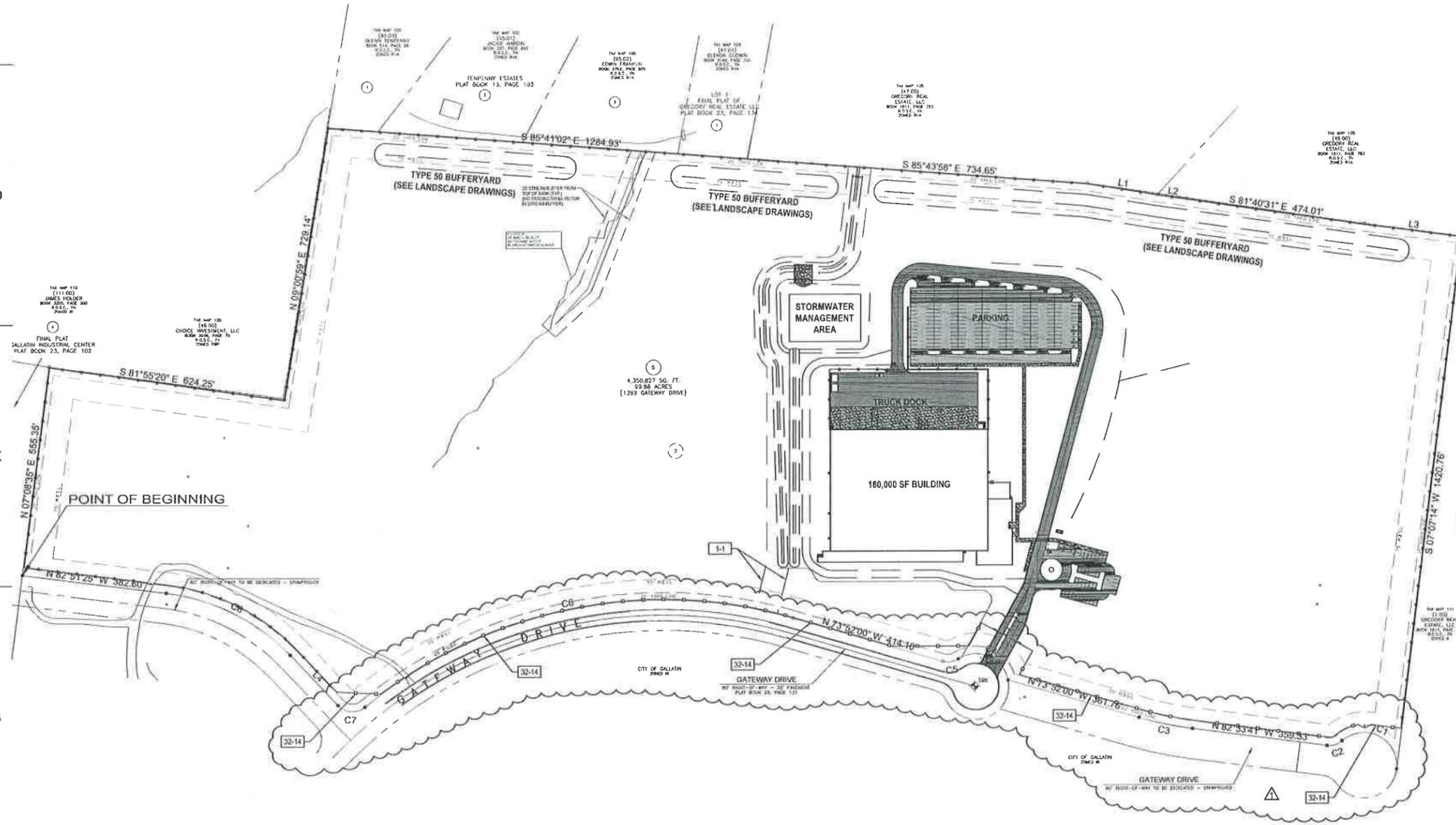
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JOSEPH M. HAINLEY, JAMES A. MORRIS
ARCHITECTS INC.

LANDSCAPE & SITE
LIGHTING PLAN

PROJ. NO. 2714-14
DATE 04/22/15
DWC. NO.
L1.00
GUL_D
EL ELEMENTARY

8-545-15

E
D
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B
A



SITE DATA TABLE:
 PROJECT NAME: NEW FACILITY AT GALLATIN INDUSTRIAL CENTER PHASE 5, LOT 4 - BERETTA, USA
 TAX MAP AND PARCEL NUMBER: PARCELS 12.00, 12.01, AND 12.03 ON TAX MAP NO. 112, AND PARCEL 1.00 ON TAX MAP 111.
 PROJECT ADDRESS: 1399 GATEWAY DRIVE
 PROPERTY OWNER NAME: CITY OF GALLATIN
 PROPERTY OWNER ADDRESS: 132 WEST MAIN STREET | GALLATIN, TN 37066
 BUILDING OWNER NAME: BERETTA, USA
 BUSINESS OWNER ADDRESS: 11501 BERETTA DRIVE, ACCOKEE, MD 20847
 DEVELOPER NAME: PATTILLO CONSTRUCTION CORPORATION
 DEVELOPER ADDRESS: 3030 S. PONCE DE LEON AVENUE, STONE MOUNTAIN, GA 30083
 CURRENT ZONING: I-1
 REQUIRED MINIMUM BUILDING SETBACK LINES: 50' PROVIDED 127'
 REQUIRED YARDS:
 FRONT: 20' PROVIDED 127'
 SIDES: 15' PROVIDED 32'
 REAR: 20' PROVIDED 53'
 MAXIMUM LOT COVERAGE: 45%
 PROPOSED USE: INTERMEDIATE MANUFACTURING
 EXISTING USE: VACANT
 BUILDING AREA: 150,000 SF
 FUTURE BUILDING WEST: 133,000 SF
 FUTURE BUILDING EAST A: 175,000 SF
 FUTURE BUILDING EAST B: 145,000 SF
 (ADDITIONAL 453,000 SF IN FUTURE PHASES)
 PARKING CALCULATIONS:
 REGULAR AND HANDICAPPED SPACES REQUIRED: REGULAR 250 HANDICAPPED 7
 EXISTING: 0
 PROPOSED: REGULAR 250 HANDICAPPED: 5
 PARKING LOT IS STRIPED: YES
 OFF-STREET LOADING REQUIRED: 4 PROVIDED 6 (10x50' SPACES LOCATED AT REAR OF BUILDING)
 BUILDING HEIGHT AND DESCRIPTION OF BUILDING/ROOF MATERIALS: 5' BUILDING HEIGHT
 GROUND COVERAGE: SEED AND MULCH OR SOO ALL DISTURBED AREAS
 FEMA NOTE:
 A REVIEW OF F E M A FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47165C031FG SHOWS NO PART OF THIS PROPERTY TO BE LOCATED WITHIN THE 100-YEAR FLOODPLAIN, ZONE "X". EFFECTIVE DATE 04/17/12.
 PERFORMANCE STANDARDS NOTE: ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH BY THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
 STATEMENT OF FINANCIAL RESPONSIBILITY: THE OWNER / DEVELOPER OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.

NOTES:
 1-1 PROVIDE 6" WIDE DRAINAGE AND MAINTENANCE EASEMENT ACROSS THE SITE. RECORD THE EASEMENT AFTER THE SWALE IS CONSTRUCTED. INCLUDE A NOTE IN THE RECORDING DOCUMENT THAT THIS EASEMENT WILL BE RELOCATED AT A LATER DATE WHEN FUTURE BUILDING PHASES ARE CONSTRUCTED.
 32-14 PROVIDE CHAINLINK FENCE WITH BARBED WIRE. SEE DETAIL ON DRAWING C-518

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 Melbourne | FL | 32940 | 321-254-7666
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 West Palm Beach, Atlanta, Charleston
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 ISSUE _____
 ISSUE FOR CONSTRUCTION _____
 REVISION Δ _____
 1 FENCE REVISION TO CITY 04/21/2015

BERETTA
PATTILLO
 Construction Corporation

NEW MANUFACTURING FACILITY
 GALLATIN, TENNESSEE
 BERETTA, USA

ITEM 4

ARCHITECT OF RECORD
 MICHAEL C. SPURLOCK
 TN PE No. 111823
 DESIGNED BY
 YORIO
 DRAWN BY
 YORIO
 CHECKED BY
 SPURLOCK
 PROJECT NO./CAD CODE
 C0705 002G-121-SITE DWP3
 DATE
 01 - 20 - 2015
 TITLE
OVERALL SITE PLAN
 DRAWING NO.
C-121

KEY MAP

 SCALE: 1" = 150'

OVERALL SITE PLAN
 1"=150'

8-550-15

1 | 2 | 3 | 4 | 5 | 6

ISSUE

REVISION	DESCRIPTION
4-20-2015	PROPOSED VEGETATIVE BUFFER AT EASTERN EDGE OF PROPERTY WAS REMOVED FROM DRAWING, PLANT LIST AND CALCULATIONS REFLECT THIS CHANGE.



NEW MANUFACTURING FACILITY
GALLATIN, TENNESSEE
BERETTA, USA

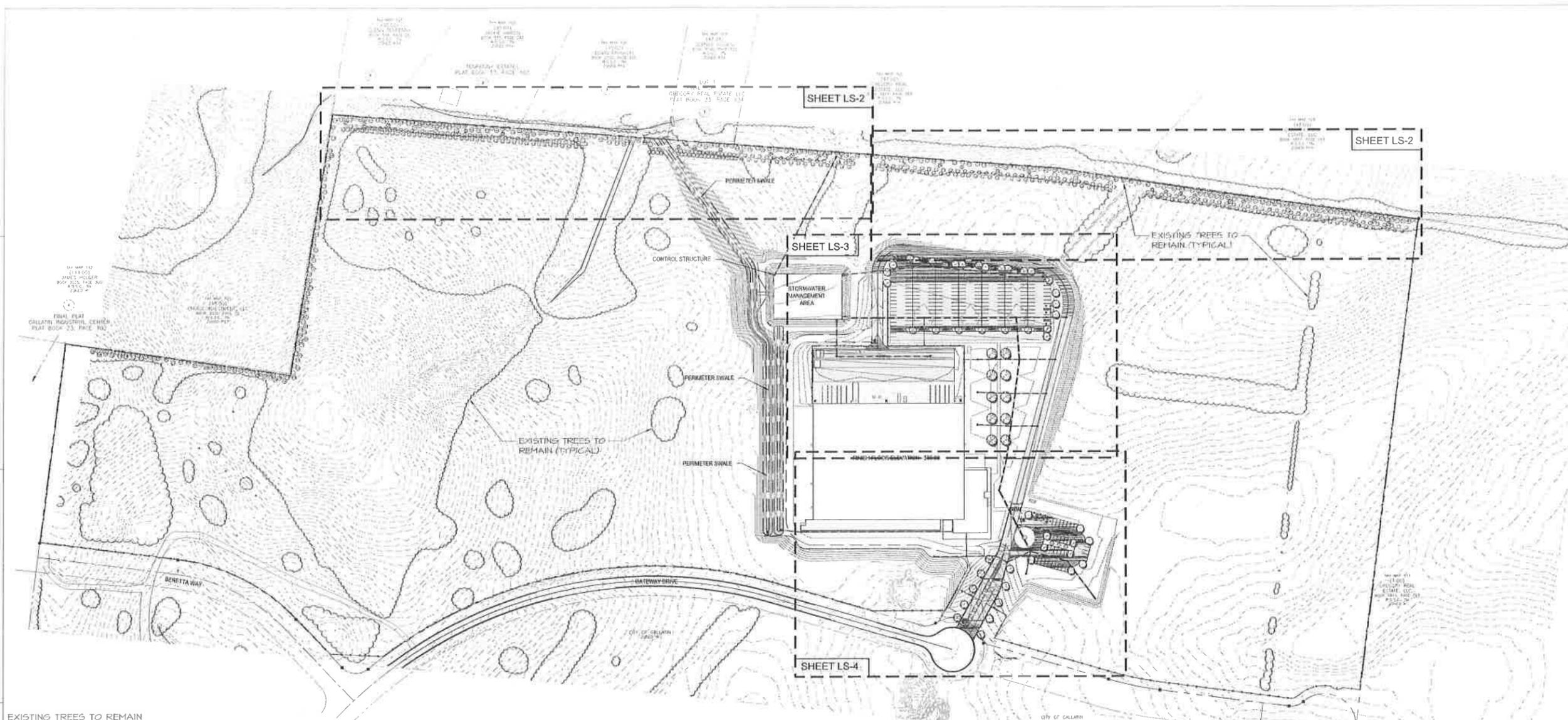


ARCHITECT OF RECORD
KEVIN WILLIAMSON
TFLA No. 995
DESIGNED BY
MILLER
DRAWN BY
MILLER
CHECKED BY
WILLIAMSON
PROJECT NO./YEAR CODE
07105.001/14021_LS12.DWG

DATE
4 - 20 - 2015
TITLE
**TREE PROTECTION -
LANDSCAPE PLAN**

DRAWING NO.
LS-1

E
D
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EXISTING TREES TO REMAIN

ID #	Tree Species	DBH	ID #	Tree Species	DBH	ID #	Tree Species	DBH	ID #	Tree Species	DBH	ID #	Tree Species	DBH	ID #	Tree Species	DBH
1	Hackberry(Dead)	17	81	Hackberry	21	151	Hickory	7	231	Hackberry	6	311	Hickory	8	391	Hackberry	6
2	Red Oak	35	82	Hackberry	18	152	Hackberry	25	232	Hackberry	8	312	Hackberry	6	392	Hackberry	6
3	Hackberry	43	83	Hackberry	14	153	Hickory	31	233	Hackberry	14	313	Hackberry	6	393	Hackberry	6
4	Hackberry	46	84	Hackberry	6	154	Hackberry	39	234	Hackberry	9	314	Hackberry	6	394	Hackberry	6
5	Hackberry	12	85	Red Oak	18	155	Hackberry	30	235	Hackberry	18	315	Hackberry	6	395	Red Cedar	6
6	Hackberry	35	86	Elm	14	156	Hackberry	30	236	Hackberry	14	316	Hackberry	6	396	Hackberry	6
7	Hackberry	18	87	Hackberry	25	157	Hackberry	25	237	Hackberry	10	317	Hackberry	6	397	Hackberry	6
8	Hackberry	35	88	Hackberry	20	158	Hackberry	22	238	Hackberry	16	318	Hackberry	6	398	Hackberry	6
9	Hackberry	20	89	Hackberry	25	159	Hackberry	20	239	Hackberry	15	319	Hackberry	6	399	Red Cedar	7
10	Walnut	24	90	Hackberry	20	160	Chop Orange	12	240	Hackberry	6	320	Hackberry	6	400	Hackberry	6
11	Hackberry	8	91	Hickory	10	161	Hackberry	24	241	Hackberry	10	321	Hickory	6	401	Hickory	6
12	Hackberry	14	92	Hickory	8	162	Walnut	22	242	Walnut	16	322	Hickory	8	402	Hickory	6
13	Hickory	15	93	Hackberry	26	163	Hackberry	24	243	Walnut	18	323	Hickory	7	403	Hickory	6
14	Hackberry	6	94	Hackberry	20	164	Hackberry	35	244	Hackberry	18	324	Hickory	8	404	Hickory	6
15	Elm	14	95	Elm	22	165	Hackberry	18	245	Walnut	17	325	Hickory	6	405	Hickory	6
16	Hackberry	6	96	Elm	8	166	Hackberry	34	246	Hackberry	8	326	Hickory	4	406	Hickory	4
17	Hackberry	30	97	Elm	8	167	Chop Orange	20	247	Elm	18	327	Hickory	8	407	Hickory	8
18	Hackberry	8	98	Hackberry	16	168	Hackberry	14	248	Hackberry	16	328	Hackberry	12	408	Hickory	8
19	Hackberry	8	99	Hickory	28	169	Hackberry	16	249	Hackberry	18	329	Hickory	11	409	Hickory	6
20	Hackberry	20	100	Hackberry	16	170	Hackberry	34	250	Hackberry	10	330	Hickory	12	410	Hickory	6
21	Hackberry	18	101	Hackberry	12	171	Hickory	10	251	Hackberry	10	331	Hickory	11	411	Hickory	6
22	Hackberry	6	102	Hackberry	30	172	Elm	8	252	Hackberry	14	332	Hackberry	6	412	Hackberry	6
23	Hackberry	12	103	Hackberry	25	173	Hackberry(Dead)	17	253	Hackberry	17	333	Hackberry	4	413	Hackberry	4
24	Hackberry	10	104	Hackberry	8	174	Hackberry	8	254	Hackberry	14	334	Hackberry	6	414	Hackberry	6
25	Hackberry	35	105	Hackberry	21	175	Hackberry	8	255	Hackberry	8	335	Hackberry	6	415	Hackberry	6
26	Hackberry	39	76	Elm	21	176	Walnut	30	256	Hackberry	18	336	Elm	7	416	Hackberry	6
27	Hackberry	12	77	Hackberry	30	177	Hackberry	15	257	Chop Orange	22	337	Hackberry	10	417	Hackberry	10
28	Hackberry	30	78	Hackberry	12	178	Hackberry	22	258	Hackberry	18	338	Hackberry	12	418	Hackberry	12
29	Hackberry	34	79	Hackberry	31	179	Hackberry	26	259	Hackberry	18	339	Hackberry	10	419	Hackberry	10
30	Hackberry	16	80	Hackberry	6	180	Hackberry	20	260	Hackberry	12	340	Hackberry	12	420	Hackberry	12
31	Walnut	26	81	Hackberry	25	181	Hackberry	18	261	Walnut	35	341	Hackberry	9	421	Hackberry	9
32	Hackberry	16	82	Hackberry	24	182	Hackberry	30	262	Hackberry	11	342	Hickory	14	422	Hackberry	14
33	Hackberry	31	83	Elm	14	183	Hackberry	30	263	Hackberry	18	343	Red Cedar	8	423	Hackberry	8
34	Hackberry	35	84	Elm	17	184	Hackberry	17	264	Elm	5	344	Elm	12	424	Hackberry	12
35	Hackberry	35	85	Hickory	6	185	Hackberry	21	265	Elm	5	345	Hackberry	6	425	Hackberry	6
36	Walnut	20	86	Hackberry	16	186	Hackberry	12	266	Hackberry	10	346	Hackberry	17	426	Hackberry	17
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38	Hackberry	32	88	Hackberry	10	188	Hackberry	31	268	Hackberry	12	348	Hackberry	12	428	Hackberry	12
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42	Hackberry	34	92	Hackberry	38	192	Hackberry	31	272	Elm	18	352	Hackberry	10	432	Hackberry	10
43	Hackberry	31	93	Hackberry	28	193	Red Oak	8	273	White Oak	14	353	Hackberry	8	433	Hackberry	8
44	Elm	16	94	Hackberry	40	194	Hackberry	12	274	Hackberry	26	354	Red Cedar	7	434	Red Cedar	7
45	Hackberry	21	95	Elm	6	195	Hackberry	10	275	Hackberry	8	355	Red Cedar	6	435	Red Cedar	6
46	Hackberry	42	96	Hackberry	19	196	Elm	12	276	Hackberry	12	356	Hickory	10	436	Hickory	10
47	Hackberry	8	97	Elm	48	197	Hickory	26	277	Elm	4	357	Chop Orange	10	437	Chop Orange	10
48	Hackberry	28	98	Hackberry	14	198	Hackberry	21	278	Sugar Maple	18	358	Hackberry	8	438	Hackberry	8
49	Hackberry	32	99	Hackberry	15	199	Hackberry	32	279	Hackberry	8	359	Hackberry	20	439	Hackberry	20
50	Elm	6	100	Hackberry	7	200	Hackberry	18	280	Chop Orange	24	360	Chop Orange	8	440	Chop Orange	8

CITY OF GALLATIN
LANDSCAPE REQUIREMENTS

TYPE 50 BUFFER REQUIREMENTS - NORTHERN PROPERTY LINE

LENGTH OF BUFFER	≥ 3025 L.F.
EVERGREEN TREES REQUIRED	≥ 5025
TREE FOOTPRINT/TRANSVERSE SPACING (200' / 10' = 2025)	
EVERGREEN TREES PROVIDED	≥ 555
LEAFY DECIDUOUS TREES PROVIDED	≥ 57.6
TREE / 20 L.F. (200' / 20' = 10)	
TREES REQUIRED NET BY EXISTING TREES	
SMALL DECIDUOUS TREES REQUIRED (200' / 20' = 10)	≥ 57.6
SMALL DECIDUOUS TREES PROVIDED	≥ 72

NOTE:
IN ADDITION TO THE TREES LISTED ABOVE, IF ACCORDANCE WITH SECTION 204.02(A) A BUFFER OF 10' PLUS HEIGHT SHALL BE INSTALLED WITHIN THE BUFFER. THE LANDSCAPE MATERIAL SHALL BE PLANTED ON THE SIDE OF THE BUFFER WHICH ASSURES THE BEST VISIBILITY ZONING.

SEE SHEET LS-2 FOR PLANT LIST

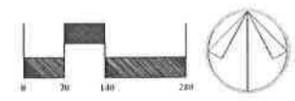
REQUIRED LANDSCAPE, NORTHERN PARKING LOT

INTERIOR LANDSCAPE REQUIREMENTS	
NUMBER OF PARKING SPACES	≥ 252
LANDSCAPE AREA / 50 PARKING SPACES (2252 / 40 = 283 TREES)	≥ 252
LANDSCAPE TREES PROVIDED	≥ 28
GROSS PARKING AREA	≥ 1910 SF
INTERIOR LANDSCAPE AREA REQUIRED (60' x 40' = 2400 SF)	≥ 5.50 x 12 SF
INTERIOR LANDSCAPE AREA PROVIDED	≥ 930 SF

REQUIRED LANDSCAPE, EASTERN PARKING LOT

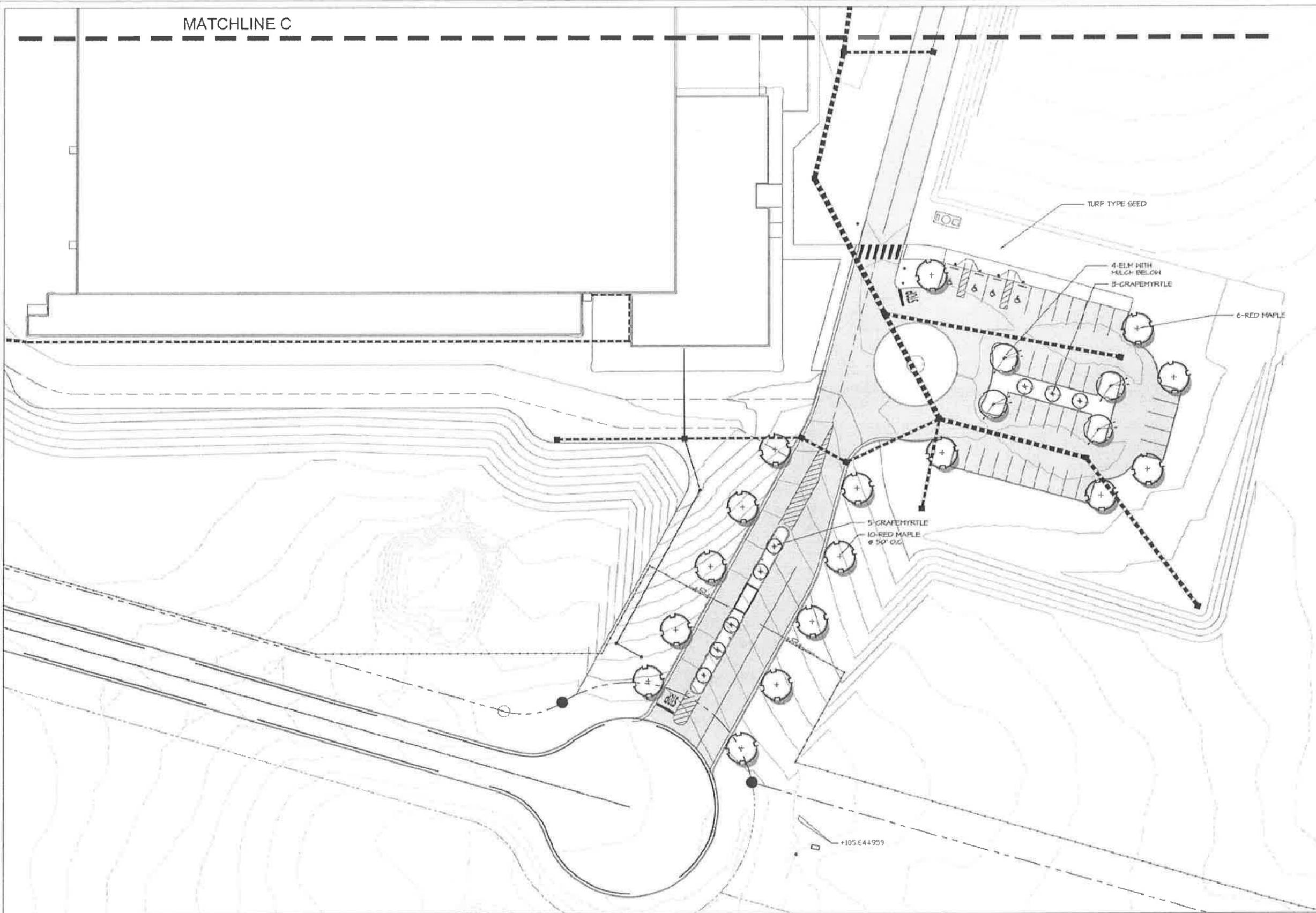
INTERIOR LANDSCAPE REQUIREMENTS	
NUMBER OF PARKING SPACES	≥ 38
LANDSCAPE AREA / 50 PARKING SPACES (26 / 10 = 5.2 TREES)	≥ 38
LANDSCAPE TREES PROVIDED	≥ 4
GROSS PARKING AREA	≥ 2430 SF
INTERIOR LANDSCAPE AREA REQUIRED (26' x 24' = 624 SF)	≥ 1.44 x 10 SF
INTERIOR LANDSCAPE AREA PROVIDED	≥ 44 SF

8-550-15



MATCHLINE C

E
D
C
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A



ENLARGEMENT D
SCALE: 1" = 30'-0"

8-550-15



Architects, Engineers, Constructors
 3700 West 19th Parkway, Suite 1000
 Melbourne, FL 32903 | 321-254-7669

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ISSUE

REVISION
 4.20.15W. PREPARE VEGETATIVE BUFFER AT EDGE OF PROPERTY WAS REMOVED FROM GRAN NO. PLANT LIST AND CALCULATIONS REFLECT THIS CHANGE.



NEW MANUFACTURING FACILITY
 GALLATIN, TENNESSEE
 BERETTA, USA



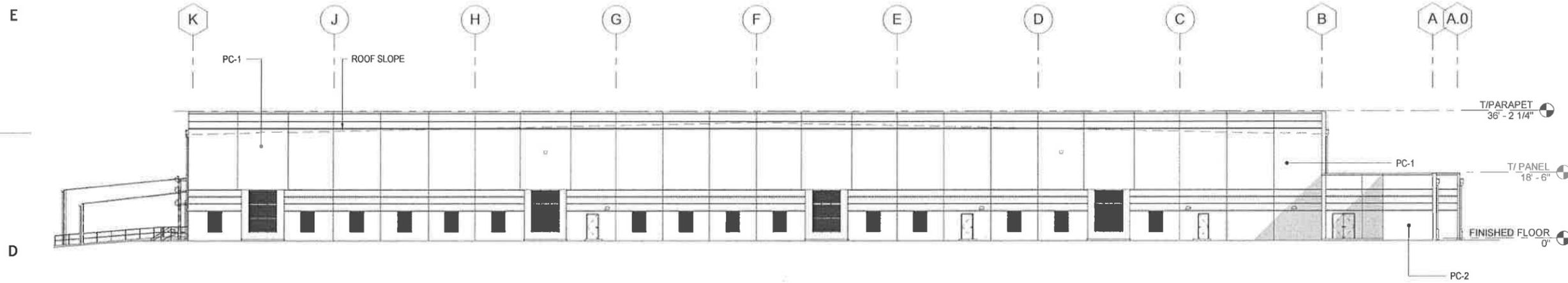
ARCHITECT OF RECORD
 W. S. WILLIAMS
 TENNESSEE
 DESIGNED BY
 MUELLER
 DRAWN BY
 MUELLER
 CHECKED BY
 WILLIAMS
 PROJECT NO. 1458-000
 02/20/05-11/20/12/09

DATE
 4-23-2015
 TITLE
 PARKING LOT AND
 OFFICE AREA
 ENLARGEMENT

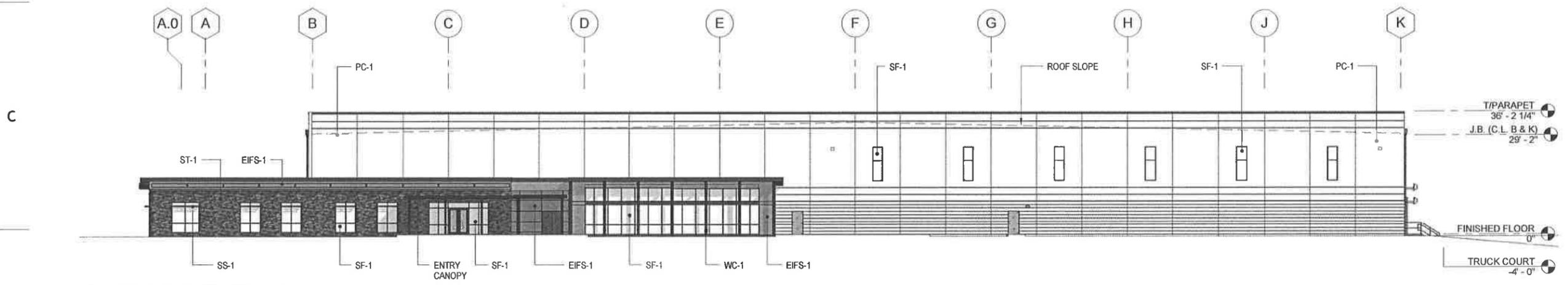
LEADING NO
 LS4

1 2 3 4 5 6

NO.	DESCRIPTION



② West Building Elevation
100% Architectural Precast



① East Building Elevation
77% Architectural Precast
9% Glass
7.5% Stone
6.5% EIFS

MATERIALS

PC-1 ARCHITECTURAL PRECAST (INSULATED), PAINTED	SS-1 ALUMINUM SUNSHADE DEVICE (SINGLE WINDOW SPAN)
PC-2 ARCHITECTURAL PRECAST (INSULATED), PAINTED (ACCENT COLOR)	SS-2 PREFINISHED METAL DOCK CANOPY, 1'-0" TALL x 4'-0" DEEP
ST-1 ADHERED STONE VENEER SYSTEM, DRYSTACK APPEARANCE	SS-3 PREFINISHED FREESTANDING ALUMINUM CANOPY
EIFS-1 EXTERIOR SYNTHETIC STUCCO SYSTEM	
SF-1 ALUMINUM STOREFRONT SYSTEM (2" SIGHTLINE WITH 1" INSULATED GLAZING)	
WC-1 WOOD COLUMNS & BEAMS ON STEEL STRUCTURE, STAINED	

ARCHITECT OF RECORD
SCOTT J DREAS TN# 102815

DESIGNED BY

DRAWN BY

CHECKED BY

PROJECT NUMBER

C07005.000.01

DATE

17 APR 2015

TITLE

**BUILDING
ELEVATIONS**

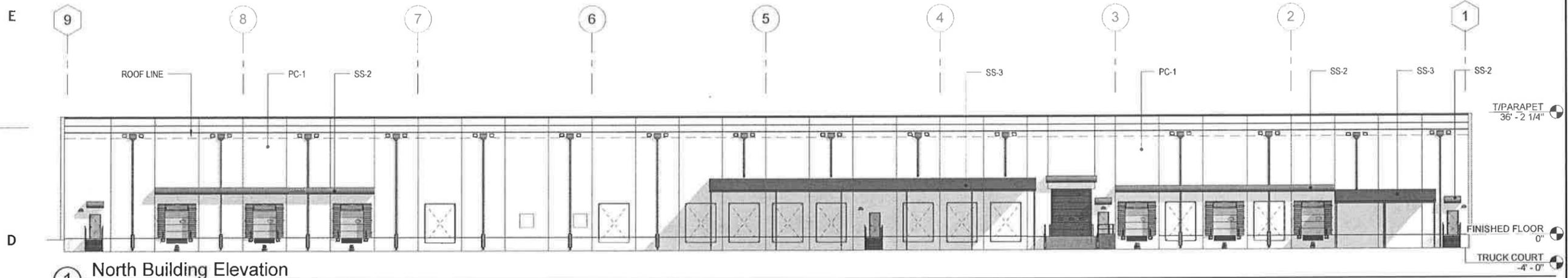
DRAWING NO.

A-001

NEW MANUFACTURING FACILITY
Gallatin, Tennessee
BERETTA USA

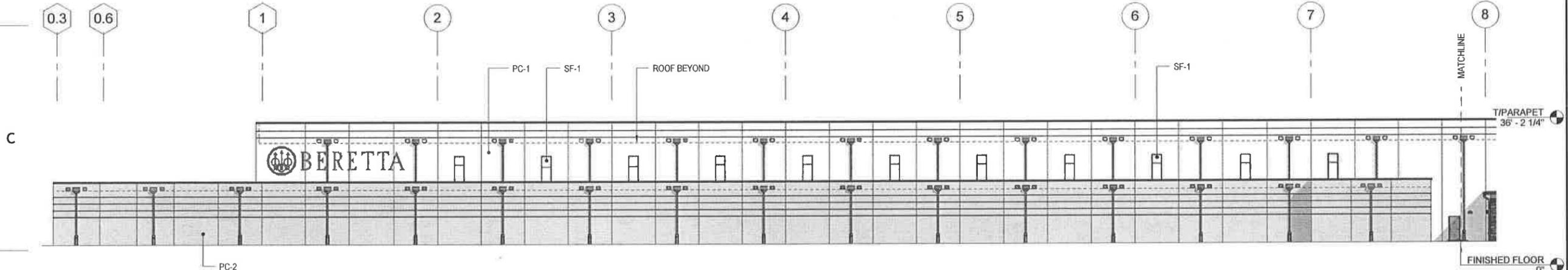
8-550-15

4/21/2015 9:37:55 AM
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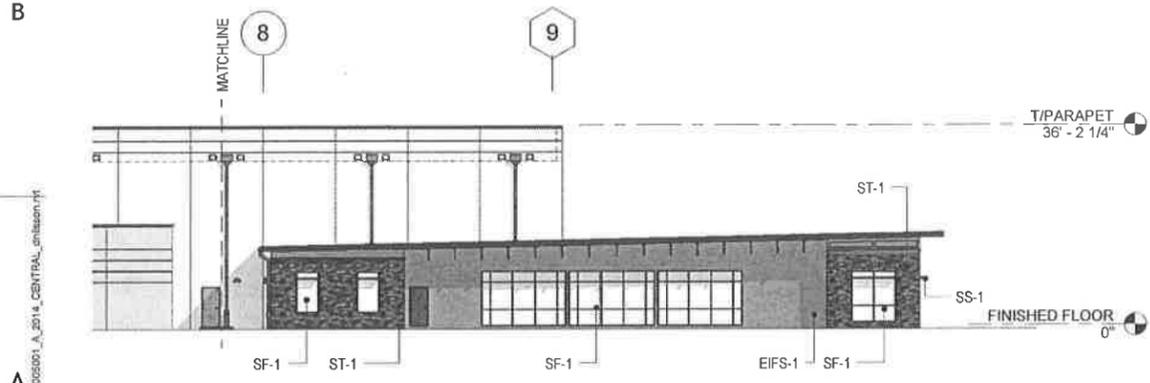
1 North Building Elevation

100% Architectural Precast



2 Partial South Building Elevation

89% Architectural Precast
 4.5% Glass
 4.5% EIFS
 2% Stone



3 Partial South Building Elevation

MATERIALS

- | | |
|--|---|
| PC-1 ARCHITECTURAL PRECAST (INSULATED), PAINTED | SS-1 ALUMINUM SUNSHADE DEVICE (SINGLE WINDOW SPAN) |
| PC-2 ARCHITECTURAL PRECAST (INSULATED), PAINTED (ACCENT COLOR) | SS-2 PREFINISHED METAL DOCK CANOPY, 1'-0" TALL x 4'-0" DEEP |
| ST-1 ADHERED STONE VENEER SYSTEM, DRYSTACK APPEARANCE | SS-3 PREFINISHED FREESTANDING ALUMINUM CANOPY |
| EIFS-1 EXTERIOR SYNTHETIC STUCCO SYSTEM | |
| SF-1 ALUMINUM STOREFRONT SYSTEM (2" SIGHTLINE WITH 1" INSULATED GLAZING) | |
| WC-1 WOOD COLUMNS & BEAMS ON STEEL STRUCTURE, STAINED | |

ARCHITECT OF RECORD
 SCOTT J DREAS TN# 102815

DESIGNED BY
 DRAWN BY
 CHECKED BY

PROJECT NUMBER
 C07005.000.01
 DATE
 17 APR 2015

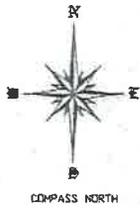
TITLE
BUILDING ELEVATIONS

DRAWING NO.
A-002

NEW MANUFACTURING FACILITY
 Gallatin, Tennessee
BERETTA USA

8-550-15

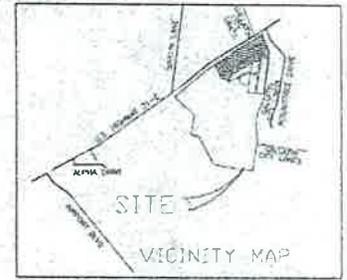
4/21/2015 9:38:10 AM
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COMPASS NORTH

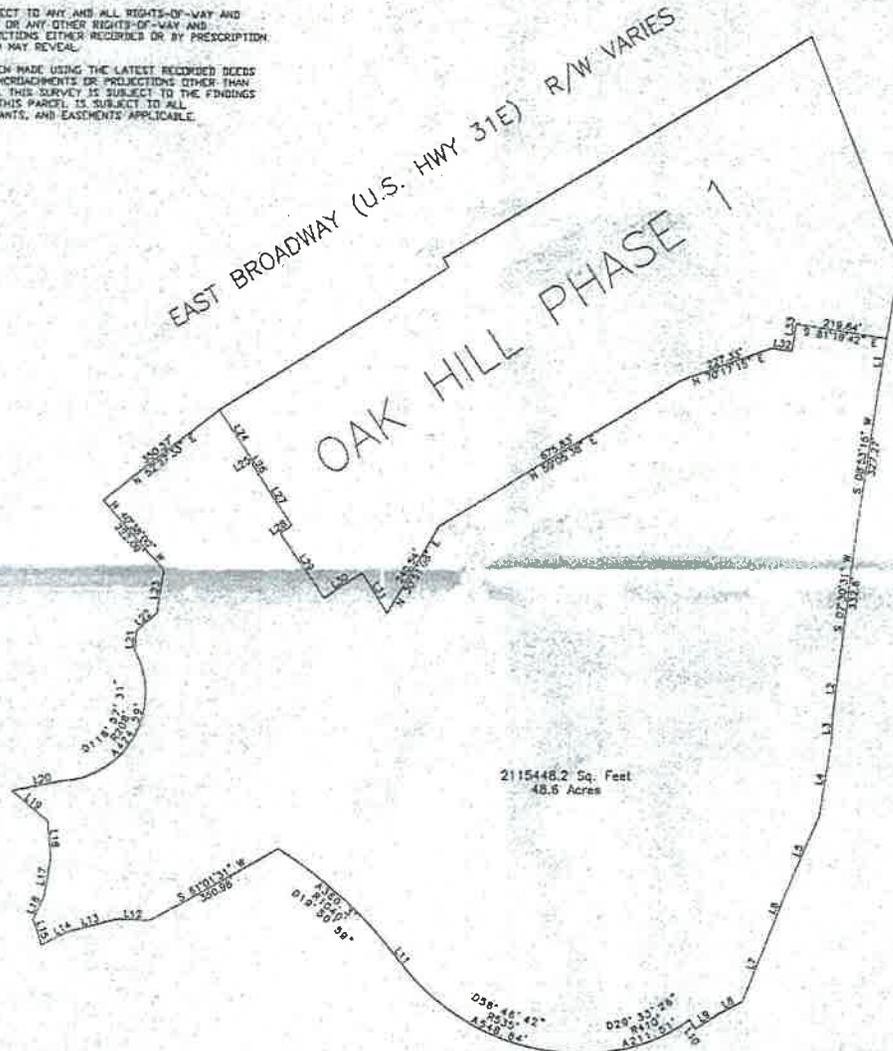
GENERAL NOTES:

1. THIS PARCEL IS SUBJECT TO ANY AND ALL RIGHTS-OF-WAY AND EASEMENTS AS SHOWN OR ANY OTHER RIGHTS-OF-WAY AND EASEMENTS OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A TITLE SEARCH MAY REVEAL.
2. THIS SURVEY HAS BEEN MADE USING THE LATEST RECORDED DEEDS AND THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THAN THOSE SHOWN HEREON. THIS SURVEY IS SUBJECT TO THE FINDINGS OF A TITLE REPORT. THIS PARCEL IS SUBJECT TO ALL RESTRICTIONS, COVENANTS, AND EASEMENTS APPLICABLE.



LOCATION MAP

NOT TO SCALE

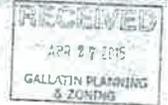


ENCROACHMENTS
AS SHOWN
ON THIS SURVEY
ARE NOT TO BE
CONSIDERED
AS PART OF
THIS SURVEY

ENCROACHMENTS
AS SHOWN
ON THIS SURVEY
ARE NOT TO BE
CONSIDERED
AS PART OF
THIS SURVEY

ITEM 5

LINE	BEARING	DISTANCE
1	N 29° 00' 00" E	100.00
2	N 89° 59' 59" W	100.00
3	S 89° 59' 59" W	100.00
4	S 00° 00' 00" E	100.00
5	N 00° 00' 00" E	100.00
6	N 89° 59' 59" W	100.00
7	N 29° 00' 00" E	100.00
8	N 29° 00' 00" E	100.00
9	N 89° 59' 59" W	100.00
10	N 89° 59' 59" W	100.00
11	S 89° 59' 59" W	100.00
12	S 89° 59' 59" W	100.00
13	S 00° 00' 00" E	100.00
14	S 00° 00' 00" E	100.00
15	N 00° 00' 00" E	100.00
16	N 00° 00' 00" E	100.00
17	N 89° 59' 59" W	100.00
18	N 89° 59' 59" W	100.00
19	S 89° 59' 59" W	100.00
20	S 89° 59' 59" W	100.00
21	S 00° 00' 00" E	100.00
22	S 00° 00' 00" E	100.00
23	N 00° 00' 00" E	100.00
24	N 00° 00' 00" E	100.00
25	N 89° 59' 59" W	100.00
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27	S 89° 59' 59" W	100.00
28	S 89° 59' 59" W	100.00
29	S 00° 00' 00" E	100.00
30	S 00° 00' 00" E	100.00
31	N 00° 00' 00" E	100.00
32	N 00° 00' 00" E	100.00
33	N 89° 59' 59" W	100.00
34	N 89° 59' 59" W	100.00
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36	S 89° 59' 59" W	100.00
37	S 00° 00' 00" E	100.00
38	S 00° 00' 00" E	100.00
39	N 00° 00' 00" E	100.00
40	N 00° 00' 00" E	100.00
41	N 89° 59' 59" W	100.00
42	N 89° 59' 59" W	100.00
43	S 89° 59' 59" W	100.00
44	S 89° 59' 59" W	100.00
45	S 00° 00' 00" E	100.00
46	S 00° 00' 00" E	100.00
47	N 00° 00' 00" E	100.00
48	N 00° 00' 00" E	100.00
49	N 89° 59' 59" W	100.00
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52	S 89° 59' 59" W	100.00
53	S 00° 00' 00" E	100.00
54	S 00° 00' 00" E	100.00
55	N 00° 00' 00" E	100.00
56	N 00° 00' 00" E	100.00
57	N 89° 59' 59" W	100.00
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63	N 00° 00' 00" E	100.00
64	N 00° 00' 00" E	100.00
65	N 89° 59' 59" W	100.00
66	N 89° 59' 59" W	100.00
67	S 89° 59' 59" W	100.00
68	S 89° 59' 59" W	100.00
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87	N 00° 00' 00" E	100.00
88	N 00° 00' 00" E	100.00
89	N 89° 59' 59" W	100.00
90	N 89° 59' 59" W	100.00
91	S 89° 59' 59" W	100.00
92	S 89° 59' 59" W	100.00
93	S 00° 00' 00" E	100.00
94	S 00° 00' 00" E	100.00
95	N 00° 00' 00" E	100.00
96	N 00° 00' 00" E	100.00
97	N 89° 59' 59" W	100.00
98	N 89° 59' 59" W	100.00
99	S 89° 59' 59" W	100.00
100	S 89° 59' 59" W	100.00
101	S 00° 00' 00" E	100.00
102	S 00° 00' 00" E	100.00
103	N 00° 00' 00" E	100.00
104	N 00° 00' 00" E	100.00
105	N 89° 59' 59" W	100.00
106	N 89° 59' 59" W	100.00
107	S 89° 59' 59" W	100.00
108	S 89° 59' 59" W	100.00
109	S 00° 00' 00" E	100.00
110	S 00° 00' 00" E	100.00
111	N 00° 00' 00" E	100.00
112	N 00° 00' 00" E	100.00
113	N 89° 59' 59" W	100.00
114	N 89° 59' 59" W	100.00
115	S 89° 59' 59" W	100.00
116	S 89° 59' 59" W	100.00
117	S 00° 00' 00" E	100.00
118	S 00° 00' 00" E	100.00
119	N 00° 00' 00" E	100.00
120	N 00° 00' 00" E	100.00



I HEREBY CERTIFY THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION FOR THE UNADJUSTED SURVEY IS GREATER THAN 1:10,000 AS SHOWN HEREON.

Doyle Elkins
Professional Land Surveyor
Registered in TN & AL
632 West College St., Suite 125
Madisonville, TN 37050
Phone: (615) 907-8825
Fax: (615) 905-9999
Cell: (615) 426-2414
Email: ed@doyleelkins.com

BOUNDARY SURVEY
OAK HILL SUBD.
EAST BROADWAY, GALLATIN
10TH CIVIL DIST., SUMNER CO., TN
PREPARED FOR: TOMMY STRICKLAND

DATE	SCALE	SHEET	DRAWN BY	CHECKED
APR 23, 2015	1" = 300'	1 OF 1	TME	LM22

3-562-15

and sewer installation, parking lot and driveway paving, construction of border barriers, site grading, erosion control, screening and landscaping.

Any private section of a development will also be required to submit a surety in the amount of the estimated cost of site improvements including, but not limited to, water and sewer installation, parking lot and driveway paving, construction of border barriers, site grading, erosion control, screening and landscaping. If an extension of the surety is permitted, as provided below, a new estimate to reflect an updated cost of completion shall be performed by the Codes/Planning Department and established as the estimate for such extension. The amount of the surety initially, and for any extension, shall be set in the amount of one hundred ten percent (110%) of the estimate by the Codes/Planning Department. The expiration date of the surety initially, and for any extension, shall be set as one (1) year from the initial date of submission of the surety.

The surety shall be in the form of cash, a certified check, or an Irrevocable Letter of Credit. All Irrevocable Letters of Credit submitted to the City must either be payable at a local bank within a 50-mile radius of the corporate limits of the City of Gallatin or specifically state that the letter of credit can be drawn upon by certified mail.

The surety shall name the City of Gallatin as obligee, shall comply with all statutory requirements and shall be satisfactory to the City Attorney as to form, sufficiency of surety, and manner of execution. All Irrevocable Letters of Credit shall be issued for such time as the planning commission deems is necessary for the completion of the improvements enumerated in the first paragraph of this section, but shall in no event exceed one (1) year and must contain automatic renewal provisions, in language satisfactory to the City Attorney, that provide for automatic renewal of the Irrevocable Letter of Credit unless the City is provided at least sixty (60) days' notice of non-renewal by the issuer of said Irrevocable Letter of Credit.

Upon proof of difficulty, the developer may petition the City for an extension of time for completion of the improvements. The petition must be in writing on forms provided by the Codes/Planning Department. The Planning Commission may, upon proof of difficulty, grant additional one (1) year extensions.

A surety may be reduced by the City upon actual completion and inspection of site improvements and then only to the ratio that the improvements completed bears to the total improvements for the plan. In no event shall a surety be reduced below fifteen percent (15%) of the principal amount prior to final acceptance of all items covered under the surety. A surety reduction shall be approved a maximum of twice a year and not more than once in any three (3) month period.

15.03.090 Temporary Use and Occupancy Permits

Nothing in this ordinance shall prevent the issuance of a temporary use and occupancy permit, as provided herein. A temporary use and occupancy permit is to be issued for a

time period not to exceed one (1) year. In no instance shall a temporary use and occupancy permit be issued for a longer time period than the surety required to secure completion of all site improvements and off-site improvements.

A. Temporary Use and Occupancy Permit – Partially Completed Buildings

Temporary use and occupancy permits may be issued for a portion of a building or structure in process of erection or alteration, provided that such temporary use permit shall not be effective for a time period in excess of six (6) months, and provided further that such portion of the building, structure, or premises is in conformity with the provisions of this ordinance.

B. Temporary Use Permit – Necessary or Seasonal Uses Temporary in Nature

The provisions of this section are necessary to govern the operation of certain seasonal and other temporary uses. Application for a temporary use permit shall be made to the Zoning Administrator. The application shall contain information as to the nature of the proposed use, the anticipated period of operation, the number and location of parking spaces and sanitary facilities. No permit issued, herein under, shall be for a time period in excess of that stipulated below for the individual activity indicated.

1. Circuses, Carnivals and Haunted Houses: May be permitted in the following districts:

Commercial Districts – CG and CS

Industrial Districts - IR and IG

Such permit may be issued for a period not to exceed fifteen (15) days. The time of operation need not be fifteen (15) consecutive days; however, the site must be vacated within thirty (30) days after initiating operation. Such use shall only be permitted on lots where adequate off-street parking can be provided. An adequate form of surety which meets the provisions of Section 15.03.080 shall be posted prior to issuance of a permit to assure clean-up and maintenance of the site. The amount of surety shall be determined by the Zoning Administrator; however, the amount of surety shall be no less than one thousand dollars (\$1,000).

2. Christmas Tree Sales: May be permitted in any district. Such temporary use permit may be issued for a period no longer than thirty (30) days.
3. Religious Tent Meetings: May be permitted in any district. Such permit shall be issued for no more than a thirty (30) day period. Such activity shall be permitted only on lots where adequate off-street parking can be provided.

4. Special Civic or Non-profit Events Including Festivals, Bazaars, etc.: May be permitted in any district. Such permit may be issued for a period no longer than fifteen (15) days. Such activity shall be permitted only on lots where adequate off-street parking can be provided.
5. Temporary Construction Offices: In any district, a temporary use permit may be issued for a contractor's temporary office and equipment sheds incidental to a construction project. Such permit shall not be valid for more than one (1) year, but may be renewed for six (6) month extensions for a particular use granted. Such use shall be removed immediately upon expiration of the temporary use permit, whichever occurs sooner.
6. Temporary Dwelling Unit in Cases of Special Hardship: In any residential district, a temporary use permit may be issued to place a mobile home temporarily on a lot in which the principal structure was destroyed by fire, explosion or natural phenomena. The purpose of such temporary placement shall be to provide shelter for only the residents of the principal structure during the period of reconstruction and to prevent an exceptional hardship. Placement of such structure must not represent a hazard to the safety, health, or welfare of the community. An applicant for temporary use permit as provided under this subsection must produce a written statement from the appropriate regulatory authority approving the water supply and sewage disposal systems of the temporary structure. Such a permit may be initially issued for nine (9) months. A permit may be renewed for up to six (6) months at a time, the total time for all permits not exceeding eighteen (18) months.
7. Temporary Borrow Pits: In any district, a temporary use permit may be issued for the operation of a temporary borrow pit from which soil may be removed to other locations to be utilized as fill material. Such permit may only be issued with an approved site utilization and reclamation plan as the basis for such action. The period of operation shall be as specified in the approved plan. Such permit shall not be valid for more than one (1) year, but may be renewed for six (6) month extensions for particular use granted. Such use shall be removed immediately upon expiration of the temporary use permit, whichever occurs sooner.
8. Temporary Tent Type Sales:
 - a. Any permit issued shall be for a maximum time period of thirty (30) consecutive days per zone lot. Only one such permit will be issued for each zone lot during a calendar year.
 - b. This permit is limited to vacant lots with no other uses or structure of any kind present.
 - c. This permit is limited to tents, awnings and/or open air activities; specifically excluding any structure or building.

- d. Adequate off-street parking must be available.
 - e. All setback provisions established for the district shall be met.
 - f. Any violation of these standards shall be considered a zoning violation, punishable as provided herein.
9. Structures for Temporary Sales: A temporary use permit may be issued by the Zoning Administrator for placement of a structure for temporary sales on a zone lot for a maximum of four (4) months in a calendar year. This structure shall meet the following criteria as determined by the Zoning Administrator:
- a. Structure shall have public water service.
 - b. Structure shall have public electrical service.
 - c. Structure shall be served by sanitary sewer or septic system.
 - d. Structure shall be securely anchored to the site.
 - e. Supports and anchors must be screened from public view.
 - f. Upon removal of the temporary structure, all evidence shall be totally removed from the premises from which the activity is conducted.
10. Model Homes and Subdivision/Builder Information and Sales Offices

In any residential or mixed use district, a temporary use permit may be issued by the Zoning Administrator to allow the use of a dwelling unit or club house as a model home and/or Subdivision and/or building information and sales office. This permit may be modified to reflect moving the model home or information and sales office to a new location in the same subdivision. Said use shall be discontinued when all homes in the subdivision, except the model, have been sold. All regulations pertaining to signs as contained in Article 13.07 shall apply. Any parking lots or other parking areas, other than driveways and parking which are accessory to the dwelling, shall require the submittal of a site plan for review and approval of the Code/Planning Department.