



**Agenda
Gallatin Municipal-Regional Planning Commission**

**Monday, October 24, 2016
DR. J. DEOTHA MALONE COUNCIL CHAMBERS**

**Planning Commission – 5:00 p.m.
CITY HALL**

Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item, wishing to discuss an item listed on the Consent Agenda, may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- **Call to Order**
- **Invocation**
- **Pledge of Allegiance**
- **Roll Call**
- **Approval of Minutes: July 25, 2016 Planning Commission Regular Meeting, August 8, 2016 Planning Commission Work Session Meeting, August 22, Planning Commission Regular Meeting**
- **Public Comment on Agenda Related Items**

CONSENT AGENDA

- 1. GMRPC RESOLUTION NO. 2016-115** **7-171-16**
SURETY RENEWALS & EXTENSIONS
CITY OF GALLATIN

SURETY RENEWALS AND EXTENSIONS FOR OCTOBER 2016
- 2. GMRPC RESOLUTION NO. 2016-116** **1-2589-16C**
BAYWOOD POINTE, PHASE 4A; FINAL PLAT
BRUCE RAINEY & ASSOCIATES

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR BAYWOOD POINTE, PHASE 4A, A MAJOR SUBDIVISION, TO CREATE 17 ONE-FAMILY DETACHED LOTS, TWO (2) OPEN SPACE TRACTS, ONE (1) PUBLIC RIGHT-OF-WAY EXTENSION AND ONE (1) ADDITIONAL PUBLIC RIGHT-OF-WAY, ON 11.58 (+/-) ACRES, LOCATED NORTH AND WEST OF BAY POINT DRIVE AND EAST OF BLUE JAY WAY.
- 3. GMRPC RESOLUTION NO. 2016-117** **8-2591-16**
PURYEAR FARMS NURSERY; SITE PLAN
PURYEAR FARMS



APPLICANT REQUESTS APPROVAL OF A SITE PLAN TO CONSTRUCT A 6,060 SQUARE FOOT OPERATIONS CENTER WITH ASSOCIATED PARKING AND A 3,840 SQUARE FOOT ADDITION TO THE EXISTING SHOP BUILDING ON A 98.16 (+/-) ACRE PARCEL, LOCATED SOUTH OF PEACH VALLEY ROAD AND WEST OF CHEROKEE ROAD AT 1490 CHEROKEE ROAD.

- 4. GMRPC RESOLUTION NO. 2016-118** **8-2592-16**
KENNESAW FARMS, LOT 4; FMDP
ROGERS GROUP, INC.

DEFERRED

- 5. GMRPC RESOLUTION NO. 2016-119** **1-2602-16B**
RETREAT AT FAIRVUE, PHASE 4; PRELIMINARY PLAT
DEWEY ENGINEERING

OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR THE RETREAT AT FAIRVUE, PHASE 4, A MAJOR SUBDIVISION, TO CREATE 26 MULTI-FAMILY DWELLINGS, EIGHT (8) OPEN SPACE TRACTS, AND FOUR (4) PUBLIC RIGHTS-OF-WAY EXTENSIONS, ON 6.11 (+/-) ACRES, LOCATED ON CHLOE DRIVE SOUTH OF NOAH LANE.

- 6. GMRPC RESOLUTION NO. 2016-120** **8-2611-16**
KIDVILLE LEARNING CENTER; SITE PLAN
KIDVILLE LEARNING CENTER

OWNER AND APPLICANT REQUESTS APPROVAL OF A SITE PLAN FOR KIDVILLE LEARNING CENTER, ON A 0.275 (+/-) LOT, ZONED COMMERCIAL GENERAL (CG), LOCATED AT 551 BLYTHE AVENUE.

- 7. GMRPC RESOLUTION NO. 2016-121** **8-2606-16**
ENOCH HILLS; AMENDED PMDP/REVISED FMDP
H & M LOT DEVELOPMENT

OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN AND A REVISION TO THE FINAL MASTER DEVELOPMENT PLAN FOR ENOCH HILLS TO CHANGE THE ARCHITECTURE ON A 71.42 (+/-) ACRE PARCEL, LOCATED ON THE NORTH SIDE OF HARTSVILLE PIKE AND WEST OF WOODLANDS DRIVE.



REGULAR AGENDA

- 8. GMRPC RESOLUTION NO. 2016-122** **3-2443-16**
CHANDLER PARK GALLATIN; REZONING WITH PMDP
B.L. BENNETT & ASSOCIATES

OWNER AND APPLICANT REQUESTS REZONING 4.74 (+/-) ACRES (A PORTION OF TAX MAP 125 AND PARCEL 034.00) FROM PBP - PLANNED BUSINESS PARK TO MU - MIXED USE AND APPROVAL OF A PRELIMINARY MASTER DEVELOPMENT PLAN FOR CHANDLER PARK GALLATIN PHASE I AND II ON 32.39 (+/-) ACRES, TO CONSTRUCT 492 MULTI-FAMILY DWELLING UNITS (PHASE 1 - 384 UNITS AND PHASE 2 - 108 UNITS), LOCATED NORTH AND SOUTH OF HARRIS LANE AND EAST OF GREENLEA BOULEVARD.

- 9. GMRPC RESOLUTION NO. 2016-123** **3-2587-16**
SAVANNAH MARKETPLACE; AMENDED PMDP
(MAJOR AMENDMENT)
DOULGERAKIS CONSULTING ENGINEERING, INC.

OWNER AND APPLICANT REQUEST APPROVAL OF AN AMENDMENT TO THE AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR SAVANNAH MARKETPLACE TO ADD THE VEHICULAR, CRAFT & RELATED EQUIPMENT SALES USE, AMEND THE SIZE (ACREAGE) OF PHASES 3 AND 4, AMEND THE TOTAL BUILDING SQUARE FOOTAGE OF PHASES 3 AND 4, AMEND THE ARCHITECTURE OF PHASE 3, CONTAINING 9.27 (+/-) ACRES, LOCATED AT 2109 NASHVILLE PIKE.

- 10. GMRPC RESOLUTION NO. 2016-124** **8-2590-16**
VINTAGE AT FOXLAND HARBOR; FINAL MASTER DEVELOPMENT PLAN
SITE ENGINEERING CONSULTANTS

OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR VINTAGE AT FOXLAND HARBOR TO CONSTRUCT 206 MULTI-FAMILY DWELLING UNITS AND CREATE ONE (1) NEW PUBLIC RIGHT-OF-WAY, ON 14.27 (+/-) ACRES, LOCATED SOUTH OF NASHVILLE PIKE (U.S. HIGHWAY 31E) AND WEST OF DOUGLAS BEND ROAD.

- 11. GMRPC RESOLUTION NO. 2016-125** **3-2603-16**
HOLIDAY INN EXPRESS; REZONING WITH PMDP
DAVIS DRIVE GROUP, LLC

DEFERRED



**12. GMRPC RESOLUTION NO. 2016-126
FAR AWAY HILLS SUBDIVISION; SURETY DEMAND
CITY OF GALLATIN ENGINEERING DIVISION**

1-66-04C

DISCUSS DEMAND OF THE SURETY FOR FAR AWAY HILLS SUBDIVISION.

13. OTHER BUSINESS

SUMNER COUNTY PLANNING COMMISSIONERS/BZA MEMBER TRAINING

14. ADJOURN

ORIGINAL

MINUTES OF THE GALLATIN
MUNICIPAL/REGIONAL
PLANNING COMMISSION MEETING

July 25, 2016

MEMBERS PRESENT

Chair Dick Dempsey
Johnny Wilson, Secretary
Mayor Paige Brown
Councilperson Brackenbury
Dr. Rick Orgain

STAFF PRESENT

William McCord, Director of Planning
Robert Kalisz, Assistant Director of Planning
Kevin Chastine, Planner II
Jillian Ogden, Planner II
Denise Brown, Planner I
Brian Reifschneider, Engineering Project Manager
Aaron Hixson, Engineering Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

James Robert Ramsey, Vice Chair
John Puryear

OTHERS

Applicants
News Examiner

The Gallatin Municipal-Regional Planning Commission met in a regular meeting on Monday, July 25, 2016, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Chairman Dick Dempsey called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A. Councilperson Brackenbury led the invocation and Chair Dempsey led the pledge of allegiance. Ms. Marianne Mudrak called the roll.

Approve Prior Minutes

Mr. Wilson motioned to approve minutes from the April 25, 2016, and the May 23, 2016, Planning Commission Regular Meeting, as presented. Councilperson Brackenbury seconded the motion and the motion passed 5 ayes; 0 nays.

Public Comment on Consent Agenda Items

Chair Dempsey called for public comment on consent agenda items. No one came forward to speak; therefore, Chair Dempsey closed public comment on consent agenda items.

Public Comment on Agenda Related Items

Chair Dempsey opened public comment on regular agenda related items. No one came forward to speak; therefore, Chair Dempsey closed public comment on regular agenda related items.

Chair Dempsey motioned to approve the consent agenda. Councilperson Brackenbury seconded the motion and the motion passed 5 ayes, 0 nays.

Item 1: GMRPC Resolution No. 2016-83 (7-171-16) – Surety Renewals & Extensions – City of Gallatin – Surety Renewals and Extension for July 2016.

This item was approved by consent agenda.

Item 2: GMRPC Resolution No. 2016-84 – (1-2164-16C) – Retreat at Fairvue, Phase 2 – Final Plat – CMH Parks, Inc., DBA Goodall Homes – The owner and applicant request approval of a Final Plat for The Retreat at Fairvue, Phase 2, a major subdivision, to create 32 multi-family lots, five (5) open space tracts, extend two (2) public rights-of-way and create two (2) alley public rights-of-way, on a 5.17 (+/-) acre parcel, located between Glennister Court and Bellingdon Drive, south of Noah Lane.

The item was approved by consent agenda with the following conditions:

1. Submit a street signage check in the amount of \$950.54, prior to the recording of the final plat.
2. Submit a subdivision surety in the amount of \$359,000 to the Planning Department prior to the recording of the final plat.
3. A Stormwater Maintenance Agreement for this phase will need to be signed, recorded and referenced on the plat prior to the plat being recorded
4. Submit a site surety for the street trees, in the amount to be calculated by the applicant and reviewed and approved by the Planning Department, to the Planning Department prior to recording of the Final Plat.
5. Water & sanitary sewer installations shall be installed to the satisfaction of the Gallatin Public Utilities.
6. Submit three (3) corrected, folded copies of the Final Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

Item 3: GMRPC Resolution No. 2016-88 – (3-2173-16) – Kennesaw Farms, Phase 6 – Amended Preliminary Master Development Plan – Morelock Engineering, LLC – Minor Amendment - The owner and applicant request approval of a minor amendment to the Kennesaw Farms Preliminary Master Development Plan for Kennesaw Farms, Phase 6 to increase the number of lots, revise the street layout and open space tracts, and add section lines, on a 69.80 (+/-) acre parcel, located north of Kennesaw Boulevard and northwest of Lt. Gibson Circle.

This item was approved by consent agenda with the following conditions:

1. Correct and verify yard setbacks and P.U.D.E with the preliminary plat.
2. Show and label the Rear P.U.D.E. on the Phase 6 Typical Lot Diagram.
3. Label the bufferyards surrounding the development on sheet 3 of 4. (Refer to sheet 2 of 4 for information)
4. Provide a tree survey of the existing mature trees over 4” caliper and located on the owner/developer property prior to staff approval of the Final Master Development Plan for Kennesaw Farms, Phase 6.

5. Submit three (3) corrected and folded copies, one (1) full size and two (2) half-size, of the Amended Preliminary Master Development Plan for Kennesaw Farms, Phase 6 to the Planning Department.

Item 4: GMRPC Resolution No. 2016-99 – (8-2176-16) – Kennesaw Farms, Phase 6, Final Master Development Plan – Morelock Engineering, LLC – The owner and applicant request approval of a Final Master Development Plan for Kennesaw Farms, Phase 6 containing 121 lots, five (5) open space tracts and public rights-of-way on a 69.80 (+/-) acre parcel, located north of Kennesaw Boulevard and northwest of Lt. Gibson Circle.

This item was approved by consent agenda with the following conditions:

1. The Final Master Development Plan is subject to approval of a PMDP for Kennesaw Farms, Phase 6.
2. Correct and verify yard setbacks and P.U.D.E widths with the preliminary plat.
3. Show and label the rear P.U.D.E. on the Phase 6 Typical Lot Diagram.
4. Correct Bufferyard Type “20” to “Alternative Bufferyard Type “20”.
5. Provide a tree survey of the existing mature trees over 4” caliper and located on the owner/developer property.
6. Label the width of the walking trail easement.
7. Correct and verify the width of grass strip between the Typical Road Section detail and the note on site plan (Sheet 1 of 2).
8. Coordinate with E-911 for approval of road names and label road names.
9. Submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance, in an amount to be determined by the owner and applicant and approved by the Planning Department. A site surety, in the form of cash, certified check, or Irrevocable Letter of Credit, shall be submitted to the Planning Department prior to the recordings of the final plats.
10. Submit three (3) corrected and folded copies, one (1) full size and two (2) half-size, of the Final Master Development Plan for Kennesaw Farms, Phase 6 to the Planning Department.

Item 5: GMRPC Resolution No. 2016-85 – (1-2168-16B) – Kennesaw Farms, Phase 6, Section 1 – Preliminary Plat – Cherry Land Surveying, Inc. – The owner and applicant request approval of a Preliminary Plat for Kennesaw Farms, Phase 6, Section 1, a major subdivision, to create 45 one-family detached dwelling lots, three (3) open space tracts and dedicate five (5) public rights-of-way, on a 28.54 (+/-) acre parcel, located north of Kennesaw Boulevard and northwest of Lt. Gibson Circle.

This item was approved by consent agenda with the following conditions:

1. The Preliminary Plat is subject to approval of an Amended PMDP and FMDP for Kennesaw Farms, Phase 6.
2. Correct and verify yard setbacks and P.U.D.E. in Typical Lot Details with FMDP and add side yard note to Typical Lot Details from FMDP.
3. Label the width of the walking trail easement.
4. Correct and verify width of grass strip with FMDP.
5. Coordinate with E-911 for approval of road names and label road names.
6. Correct Certification to Certificate of Planning Commission Approval.

7. Add Stormwater Management Area to Open Space III tract.
8. Provide elevation (i.e. 500') labels to the contour lines.
9. Show and label a 48' radius for the temporary turn around and label the temporary turn around as an easement.
10. Add a note to the plat to state, 'Kennesaw Farms H.O.A. will assume full responsibility for the long term care and maintenance of the landscape areas and trees planted within the rights-of-way. Replacement of plant material lost through normal attrition, or any other cause, will be at the expense of the H.O.A. Trees will be pruned on an annual basis to the satisfaction of the Engineering Department, to ensure branches do not pose any problem to the flow of traffic on the roadway and sidewalks.'
11. Detailed plans and specifications for water and sanitary sewer installations shall be submitted to Gallatin Public Utilities for approval.
12. Submit three (3) corrected, folded copies of the Preliminary Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

Item 6. GMRPC Resolution No. 2016-101 – (1-2183-16B) – Carellton, Phase 3B – Preliminary Plat – Land Solutions Company, LLC – The owner and applicant request approval of a Preliminary Plat for Carellton Phase 3-B, a major subdivision, to create 55 single family lots, 21 multi-family lots, create six (6) public rights-of-way, extend one (1) right-of-way, and create four (4) open space tracts on a 18.02 (+/-) acre parcel, located on Carellton Drive, north of Long Hollow Pike.

This item was approved by consent agenda with the following conditions:

1. This preliminary plat is subject to approval of an Amended Preliminary Master Development Plan for the Carellton Subdivision and Final Master Development Plan for Phase 3-B (File# 8-2007-16).
2. Label all future open space tracts as 'Future' on non-platted properties and label all adjacent platted subdivisions.
3. All construction plan comments need to be addressed (i.e. stream buffer widths) before the Preliminary Plat can be approved.
4. Submit an intersection/traffic signal plan for the intersection of Long Hollow Pike and Carellton Drive, for review by the Engineering Division.
5. The stream buffers must meet TDEC and Engineering Division requirements.
6. Submit three (3) corrected and folded copies of Preliminary Plat.

Item 7: GMRPC Resolution No. 2016-89 – (4-2178-16) – Lackey PUD, Lot 3 – PUD Amendment with Final Master Development Plan – Rogers Engineering Group – The owner and applicant request approval of an amendment to the Lackey Planned Unit Development (PUD) Plan and Revised Final Master Development Plan for Lot 3, consisting of 2.16 (+/-) acres.

This item was approved by consent agenda with the following conditions:

1. Update Parking Requirements table on Sheet 1 to match number of parking spaces shown on site plan on Sheet 2.
2. In Note # 15, update FEMA flood insurance rate map to "47165C0314G."

3. Correct Plat Information for Note #14 on Sheet 1 and data on Sheet 2 for Lot 2 to read as follows: Plat Book 12, Page 285.
4. Submit three (3) corrected and folded copies, of the Revised Final Master Development Plan for Lackey PUD Lot 3, including one (1) full size and two (2) half size copies to the Planning Department.

Item 8: GMRPC Resolution No. 2016-76 – (8-1993-16) – Cumberland Place North, Phase 5, Section 2 – Amended Preliminary Master Development Plan and Final Master Development Plan – The owner and applicant request approval of an amendment to the Cumberland Place North Preliminary Master Development Plan and a Final Master Development Plan for Phase 5, Section 2, a major subdivision, to create 20 single family residential lots, construct a section of the public greenway, extend one (1) public right-of-way and create one (1) public right-of-way, on a 5.951 (+/-) acre parcel, located east of Lock 4 Road and northeast of Smoky Mountains Drive.

This item was approved by consent agenda with the following conditions:

1. Amend the plan by establishing a 20 foot wide common area tract adjacent to lots 55-64 to contain the 20 foot wide greenway easement. The Alternative Type 20 landscape buffer may be installed within the common area tract
2. Provide the Engineering Division a copy of the TDEC Notice of Coverage permit.
3. Submit construction plans to the Engineering Division for review.
4. Submit three (3) corrected, folded copies of the Amended PMDP and Final Master Development Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

Item 9: GMRPC Resolution No. 2016-97 – (8-2152-16) – Northfield Church – Alternative Sign - Site Plan – Image 360/Hendersonville – The owner and applicant request approval of an alternative sign plan to install two (2) wall-mounted signs totaling 197 square feet for Northfield Church on a 15.1 (+/-) acre parcel, zoned Residential-20 (R20) Low Density Residential District, located at 2100 Nashville Pike.

This item was approved by consent agenda with the following conditions:

1. The applicant shall obtain an approved sign permit prior to installation of the signs.

Item 10: GMRPC Resolution 2016-100 – (8-2186-16) – 879 GreenLea Boulevard – Final Master Development Plan – Rogers Engineering Group – The owner and applicant request approval of a Final Master Development Plan for 879 GreenLea Boulevard, to construct an 11,625 square foot General Retail Sales and Service facility, on a 1.60 (+/-) acre lot, located south of GreenLea Boulevard and north of Chloe Drive.

This item was approved by consent agenda with the following conditions:

1. The multi-tenant sign shall have a setback of at least 10 feet from the right-of-way. Show the dimension of the monument sign setback.
2. Provide more information about the proposed bio-retention area.
3. Label proposed pavement surfaces.
4. Add a double row of silt fence or add silt fence with wire backing along the 100 year flood line.

5. Provide a detailed storm water drainage analysis report, signed and sealed by a licensed engineer, to accompany the site plan resubmittal. As a minimum, the report must contain the following: cover sheet with project name, narrative of existing site conditions, pre-construction drainage patterns (drainage areas, runoff flows, soil conditions, curve numbers, etc.), post construction drainage conditions; detailed calculations for time(s) of concentration, curve numbers, pipe and structure size; any assumptions made for calculation; and peak flow hydrographs.
6. Add a note about pavement repair for the gas service on sheet C2.0 and add the City of Gallatin standard road trench/pavement repair detail.
7. A Storm Water Maintenance agreement will need to be signed, recorded and referenced for final approval.
8. A site surety, in an amount to be determined by the applicant, shall be submitted prior to the issuance of a building permit.
9. Submit three (3) corrected folded copies of the Amended PMDP and Final Master Development Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

Item 11: GMRPC Resolution 2016-90 – (5-1801-16) - ABC Technologies – Street Acceptance – ABC Technologies – The owner and applicant request the City of Gallatin accept the public improvements for ABC Group Properties, Inc. Subdivision, located west of Steam Plant Road and north of Airport Road.

This item was approved by consent agenda with the following conditions:

1. The owner and applicant shall submit a maintenance surety in the amount of \$13,000 to the Planning Department.

Item 12: GMRPC Resolution 2016-93 – (5-2187-16) – Stratford Park, Phase 3, Section 2; Street Acceptance – Barge Waggoner Sumner and Cannon – The owner and applicant request the City of Gallatin accept the public improvements for Stratford Park Boulevard, located in Stratford Park, Phase 3, Section 2.

This item was approved by consent agenda with the following conditions:

1. Repair the broken curb between 299 and 303 Stratford Park Boulevard.
2. Provide a maintenance surety (\$15,700) per Section 3-102, Gallatin Subdivision Regulations.

Item 13: GMRPC Resolution 2016-94 – (5-2188-16) – Stratford Park, Phase 3, Section 3 – Street Acceptance – Barge Waggoner Sumner and Cannon – The owner and applicant request the City of Gallatin to accept the public improvements located in Stratford Park, Phase 3, Section 3

1. Reset the catch basin hood between 1034 and 1038 East Sagewood Drive.
2. Repair and backfill the washout between 1020 and 1026 East Sagewood Drive.
3. Provide a maintenance surety (\$20,600) per Section 3-102, Gallatin Subdivision Regulations.

This item was approved by consent agenda with the following conditions:

Item 14: GMRPC Resolution 2016-96 – (5-2192-16) – Stratford Park, Phase 4, Section 2 – Street Acceptance – Barge Waggoner Sumner and Cannon – The owner and applicant request the City of Gallatin accept the public improvements for Stratford Park, Phase 4, Section 2.

This item was approved by consent agenda with the following conditions:

1. Provide a maintenance surety (\$8,500) per Section 3-102, Gallatin Subdivision Regulations.

Regular Agenda

Item 15: GMRPC Resolution 2016- 87 – (3-2170-16) – Patterson Farm – Rezoning with PMDP – CMH Parks, Inc., DBA Goodall Homes – Public Comment – The owner and applicant requests rezoning a 63.19 (+/-) acre parcel from Residential-10 (R10) and Residential-20 (R20) to Multiple Residential and Office (MRO) and approval of a Preliminary Master Development Plan for Patterson Farm, to construct 206 dwelling units located south of State Route 109, west of Clear Lake Meadows Boulevard and north of Nichols Lane.

Mr. Kevin Chastine, Planner II, said the owner and applicant request rezoning of 63.19 (+-) acres from Residential-10 (R10) Medium Density Residential and Residential-20 (R20) Low Density Residential-10 (R10) and Residential-20 (R20) to Multiple Residential and Office (MRO) district, and approval of a Preliminary Master Development Plan for Patterson Farm. The plan includes construction of 206 dwelling units (146 single family homes and 60 townhomes). Materials proposed include brick and masonry siding. Staff recommends approval of Resolution 2016-87 with the conditions listed in the staff report.

Chair Dempsey asked Mr. Brian Reifschneider, Engineering Project Manager, if there are any Engineering Division concerns with the project. Mr. Reifschneider said there are no Engineering Division concerns with the project.

Chair Dempsey said the proposed plan creates a second connection to Nichols Lane and alleviates some of the traffic through the old subdivision and the new subdivision.

Mr. Koby Dumont, with Goodall Inc. Builders, representing the applicant, agreed with all staff conditions and said the applicant purchased section six (6) of Clear Lake Meadows, the last phase of the project. A contract will be signed to begin section six (6) road grading very soon.

Mr. Reifschneider said the applicant agreed to do a traffic study at the Final Master Development Plan stage. The study will include analysis of the intersection of SR109 and Clear Lake Meadows Boulevard. The study will begin when school starts to get an accurate traffic count.

Councilperson Brackenbury asked about prices of homes. Mr. Dumont said the townhomes will be priced from \$180,000 to \$200,000 and the single family homes will be below \$250,000.

Mr. Wilson motioned to approve Resolution 2016-87 with the following conditions:

1. Update the acreage totals to be rezoned and the boundary survey on Sheet PM 2.1 to remove the Commercial Services (CS) zoned property at the corner of Clear Lake Meadows Boulevard and State Route 109.

2. Modify the plan to indicate all greenway extensions consistent with the Gallatin on the Move 2020 Plan. This includes a greenway within the Type 40 Bufferyard on the west side of the development and extending a walkway connection from the cul-de-sac between Lots 57 and 58 to the proposed greenway to the south boundary of the development.
3. Show and label a pedestrian walkway to connect with the greenway shown along the property boundary with Lenox Place, Phase 4.
4. A sign package, including conceptual elevations, shall be included with the Final Master Development Plan.
5. Change the asphalt binder layer from a 2.0 inch section to a 2.5 inch section.
6. On the 50' public R.O.W. roadway section drawing, the crushed stone base section should be 8" instead of 6" in the "typical curb and pavement detail".
7. Change the reference note on the plan view about the one-way public street to say 30' to match the 30' public R.O.W. roadway section (18' pavement) one-way section detail.
8. Submit one (1) full-sized and two (2) half-sized, corrected folded copies of the Preliminary Master Development Plan.

Councilperson Brackenbury seconded the motion and the motion passed by 5 ayes, 0 nays.

Item 16: GMRPC Resolution 2016-81 – (8-2007-16) – Carellton, Phase 3B – Amended PMDP/FMDP – Green Trails, LLC – The owner and applicant request approval to amend the Preliminary Master Development Plan for Carellton Subdivision and Final Master Development Plan for Carellton Phase 3-B, on an 18.02 (+/-) acre parcel located north of Ferdinand Drive and west of Black Thorn Lane.

Mr. Chastine said the Preliminary Plat for this project was approved under the consent agenda. The owner and applicant request approval of an amendment to the latest Preliminary Master Development Plan for Carellton Phase 3C and a Final Master Development Plan for Carellton Phase 3B. Phase 3B contains single family and attached dwelling units. The amendment includes changing the number of phase from 12 to 8 phases, reducing the open space, which still exceeds the minimum requirement, and the reducing the lot types from eight (8) to seven (7) lot types. There are some minor changes to the proposed roadways. The architecture has not changed.

Mr. Chastine said Staff recommends approval of Resolution 2016-81 with the conditions listed in the Staff report.

Chair Dempsey asked Mr. Reifschneider if there were any Engineering Division concerns with the project. Mr. Reifschneider said the Engineering Division would like to add two conditions. Submit a traffic intersection plan at the intersection of Carellton Drive and Long Hollow Pike, for approval and, the City and TDEC must agree on the compliant buffer zone along the stream.

In addition, Subdivision Regulations require sidewalks be installed on both sides of the public right-of-way. An alternative pedestrian plan along open space G is requested. Sidewalks are not proposed along the alleyways. Engineering Division has no concerns with the sidewalk plan.

Chair Dempsey reiterated that the two Engineering Division conditions be added to the staff conditions.

Chair Dempsey motioned to approve Resolution 2016-81 with the following conditions:

1. Label all future open space tracts as 'Future' on non-platted properties and label all adjacent platted subdivisions.
2. Submit an intersection/traffic signal plan for the intersection of Long Hollow Pike and Carellton Drive, for review by the Engineering Division.
3. The stream buffers must meet TDEC and Engineering Division requirements.
4. Submit three (3) corrected and folded Preliminary Plats.

Mr. Wilson seconded the motion and the motion passed 5 ayes, 0 nays.

Item 17: GMRPC Resolution 2016-98 – (8-2169-16) Twice Daily – Final Master Development Plan – Perry Engineering, LLC – The owner and applicant request approval of a Final Master Development Plan for Twice Daily Convenience Market, Lot 1, to construct a 4,800 square foot Convenience Sales and Service with Gas Pumps and Food Service building on a 3.00 (+/-) acre portion of an 18.990 (-) acre parcel, located south of the intersection of Long Hollow Pike (SR 174) and Vietnam Veterans Boulevard.

Mr. Robert Kalisz, Assistant Director of Planning, said the owner and applicant request approval of a Final Master Development Plan for Twice Daily Convenience Market, Lot 1 to construct a 4,800 square foot Convenience Sales and Service with Gas Pumps and Food Service Building. The architectural elevations for the building do not meet the Basic Design Criteria of the Gallatin Zoning Ordinance. An alternative plan is requested for approval. In addition, the applicant is requesting an alternative Bufferyard Plan.

Mr. Kalisz said the applicant has noted that only three lanes would be built on Long Hollow Pike extension, at this time; however, the Preliminary Master Development Plan shows four (4) lanes. It is noted on the plan that when future development occurs a fourth lane would be constructed.

Mr. Kalisz said that if a future driveway is installed upon development of the adjacent property to the east, any parking spaces that are removed shall be relocated on the Lot to provide the required amount of parking spaces.

A brief discussion was held on the corporate colors for the building and canopy.

Mr. Kalisz said Staff recommends approval of Resolution 2016-98, with the conditions listed in the staff report.

Mr. Randy Perry, with Perry Engineering, representing the applicant, said the yellow color band is three and one-half (3 ½) to four (4) feet tall. The yellow band is closer to white in color than it appears in the plan.

Chair Dempsey asked what would trigger building the fourth lane. Mr. Perry said Twice Daily will build three (3) lanes to serve this building. The road plan is to widen to a fourth lane and taper back to three (3) lanes. There is extra width for a bike lane. There is a very wide right-of-way. The next developer will be responsible to add the extra lane.

Mr. Reifschneider said the Engineering Division concurs with three (3) lanes at this point. He added that a (northbound) double left requirement would trigger the fourth lane, which would be the responsibility of the next developer.

Chair Dempsey asked if Twice Daily is responsible for road improvements. Mr. Perry said Twice Daily is making improvements at the intersection and other improvements. Mr. Reifschneider said Twice Daily would have to pay for the right-in/right-out removal, when necessary.

Chair Dempsey asked if City Council has approved digital signs. Mr. McCord said Twice Daily is permitted to have a digital sign if they desire. Mr. Perry said the sign package has not been determined.

Dr. Orgain asked why there is not a middle lane to turn into the project. Mr. McCord explained that the new road will be a collector roadway carrying a lot of traffic besides that of Twice Daily. It is preferable not to have turning movements conflicting with other turning movements. The aim is to move the driveways away from the functional areas of the intersection to minimize those conflicts.

Chair Dempsey motioned to approve Resolution 2016-98 with the following conditions:

1. The owner and applicant installed a future driveway upon development of the adjacent property to the east any parking spaces that are removed shall be relocated on Lot 1 to provide the required amount of parking spaces.
2. Provide lighting fixture details (cut sheets) for the parking area, canopy, and any wall mounted security lights on the building.
3. Provide a tree survey indicating the location, species, and caliper (four (4) inch and greater) of the existing mature trees on the property to be retained for bufferyards and landscaping.
4. TDOT driveway connection permit will be required for this project.
5. Provide a detailed storm water drainage analysis report, signed and sealed by a licensed engineer, with plan submittal. At a minimum, the report must contain the following: cover sheet with project name, narrative of existing site conditions, pre-construction drainage patterns (drainage areas, runoff flows, soil conditions, curve numbers, etc.), post construction drainage conditions; detailed calculations for time(s) of concentration, curve numbers, pipe and structure sizing; any assumptions made for calculations; and peak flow hydrographs.
6. Storm water runoff reduction enforcement is in effect and will be required for this site. Show proposed runoff reduction methods that meet the 1.1" requirement.
7. Provide the Engineering Division a copy of the TDEC Notice of Coverage Permit.
8. A Stormwater Maintenance Agreement shall be recorded with the final plat.
9. Remove specific future access easement location. For the purposes of the FMDP, a permissible area for the access point shall be shown.
10. Access/driveway permit on SR 174, is subject to approval from the Tennessee Department of Transportation. Construction of the right-in-right-out driveway on SR 174 shall include a raised concrete median on SR 174 which shall be removed at the expense of the owner of the Twice Daily site, when the adjacent property develops. A driveway, with a cross access easement will, be provided 660 feet east from the SR174/SR386 intersection upon development of the adjacent property to provide access to SR 174.

11. At the time of the final plat, a sidewalk easement and cross access easements for the backage road and future connection to SR 174, must be shown and recorded. A temporary turn-around will be required at the end of the proposed roadway.
12. Submit construction plans to be reviewed under a separate cover. The construction plans need to address signal modification, the roadway design of the proposed road, the access to SR 174, and water quality/quantity design.
13. Take the language from the note on sheet C-2.1 "Public road/signal design shown for illustrative purposes only – construction documents for public road/signal to be provided under separate cover" and add it to the end of general site note #15.
14. As a condition of approval for the FMDP, the construction plan sets for SR 174 and the proposed road must be approved
15. Submit construction plans and drainage calculations to the Engineering Division for review and approval.
16. Submit detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval.
17. Submit a master signage package and sign permit to the Planning Department for review and approval prior to installation of the proposed signs and menu board.
18. Submit a site surety, in an amount to be determined by the owner and applicant, to the Planning Department to be reviewed and approved prior to the issuance of any building permits.
19. Submit three (3) corrected and folded copies, of the Final Master Development Plan for Twice Daily – Lot 1, including one (1) full size and two (2) half size copies to the Planning Department.

Mr. Wilson seconded the motion and the motion passed 5 ayes, 0 nays.

Item 18: Other Business

Mr. McCord said he will present the revisions to the landscape section of the Gallatin Zoning Ordinance at the next Planning Commission work session, for discussion.

Mr. McCord announced that the yearly TAPA Conference will be held the third week of September.

Chair Dempsey asked about the possibility of taxing rental homes. Mr. McCord said Gallatin has not approached that issue yet.

Item 18: Move to Adjourn

With no further business to discuss, Chair Dempsey adjourned the meeting at 5:40 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, July 25, 2016
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission – 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item, wishing to discuss an item listed on the Consent Agenda, may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- **Call to Order**
- **Invocation**
- **Pledge of Allegiance**
- **Roll Call**
- **Approval of Minutes: April 25, 2016 and May 23, 2016 Planning Commission Regular Meeting**
- **Public Comment on Agenda Related Items**

CONSENT AGENDA

- 1. GMRPC RESOLUTION NO. 2016-83** **7-171-16**
SURETY RENEWALS & EXTENSIONS
CITY OF GALLATIN

SURETY RENEWALS AND EXTENSIONS FOR JULY 2016
- 2. GMRPC RESOLUTION NO. 2016-84** **1-2164-16C**
RETREAT AT FAIRVUE, PHASE 2; FINAL PLAT
CMH PARKS, INC., DBA GOODALL HOMES

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR THE RETREAT AT FAIRVUE, PHASE 2, A MAJOR SUBDIVISION, TO CREATE 32 MULTI-FAMILY LOTS, FIVE (5) OPEN SPACE TRACTS, EXTEND TWO (2) PUBLIC RIGHTS-OF-WAY AND CREATE TWO (2) ALLEY PUBLIC RIGHTS-OF-WAY, ON 5.17 (+/-) ACRES, LOCATED BETWEEN GLENNISTER COURT AND BELLINGDON DRIVE SOUTH OF NOAH LANE.
- 3. GMRPC RESOLUTION NO. 2016-88** **3-2173-16**
KENNESAW FARMS, PHASE 6; AMENDED PMDP
MORELOCK ENGINEERING, LLC

MINOR AMENDMENT

EXHIBIT A



APPLICANT AND OWNER REQUEST APPROVAL OF A MINOR AMENDMENT TO THE KENNESAW FARMS PRELIMINARY MASTER DEVELOPMENT PLAN TO INCREASE THE NUMBER OF LOTS, REVISE THE STREET LAYOUT AND OPEN SPACE TRACTS, AND ADD SECTIONS LINES FOR KENNESAW FARMS, PHASE 6, ON 69.80 (+/-) ACRES, LOCATED NORTH OF KENNESAW BOULEVARD AND NORTHWEST OF LT. GIBSON CIRCLE.

- 4. GMRPC RESOLUTION NO. 2016-99** **8-2176-16**
KENNESAW FARMS, PHASE 6; FMDP
MORELOCK ENGINEERING, LLC

APPLICANT AND OWNER REQUEST APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR KENNESAW FARMS, PHASE 6 CONTAINING 121 LOTS, FIVE (5) OPEN SPACE TRACTS AND PUBLIC RIGHTS-OF-WAY ON 69.80 (+/-) ACRES, LOCATED NORTH OF KENNESAW BOULEVARD AND NORTHWEST OF LT. GIBSON CIRCLE.

- 5. GMRPC RESOLUTION NO. 2016-85** **1-2168-16B**
KENNESAW FARMS, PHASE 6, SECTION 1; PRELIMINARY PLAT
CHERRY LAND SURVEYING, INC.

OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR KENNESAW FARMS, PHASE 6, SECTION 1, A MAJOR SUBDIVISION, TO CREATE 45 ONE-FAMILY DETACHED DWELLING LOTS, THREE (3) OPEN SPACE TRACTS AND DEDICATE FIVE (5) PUBLIC RIGHTS-OF-WAY, ON 28.54 (+/-) ACRES, LOCATED NORTH OF KENNESAW BOULEVARD AND NORTHWEST OF LT. GIBSON CIRCLE.

- 6. GMRPC RESOLUTION 2016-101** **1-2183-16B**
CARELLTON, PHASE 3B; PRELIMINARY PLAT
LAND SOLUTIONS COMPANY, LLC

OWNER AND APPLICANT REQUESTS APPROVAL OF A PRELIMINARY PLAT FOR CARELLTON PHASE 3-B, A MAJOR SUBDIVISION, TO CREATE 55 SINGLE FAMILY LOTS, 21 MULTI-FAMILY LOTS, CREATE SIX (6) PUBLIC RIGHTS-OF-WAY, EXTEND ONE (1) RIGHT-OF-WAY, AND CREATE FOUR (4) OPEN SPACE TRACTS ON 18.02 (+/-) ACRES, LOCATED ON CARELLTON DRIVE, NORTH OF LONG HOLLOW PIKE.

- 7. GMRPC RESOLUTION 2016-89** **4-2178-16**
LACKEY PUD, LOT 3; PUD AMENDMENT WITH FMDP
ROGERS ENGINEERING GROUP

OWNER AND APPLICANT REQUESTS APPROVAL OF AN AMENDMENT TO THE LACKEY PLANNED UNIT DEVELOPMENT (PUD) PLAN AND REVISED FINAL MASTER DEVELOPMENT PLAN FOR LOT 3, CONSISTING OF 2.16 (+/-) ACRES (TAX MAP 126J, GROUP B, PARCEL 003.00), LOCATED AT 250 HANCOCK STREET.

- 8. GMRPC RESOLUTION 2016-76** **8-1993-16**
CUMBERLAND PLACE NORTH, PHASE 5, SECTION 2; AMEND. PMDP/FMDP
ROGERS ENGINEERING GROUP

EXHIBIT A



OWNER AND APPLICANT REQUEST APPROVAL OF AN AMENDMENT TO THE CUMBERLAND PLACE NORTH PRELIMINARY MASTER DEVELOPMENT PLAN AND A FINAL MASTER DEVELOPMENT PLAN FOR PHASE 5, SECTION 2, A MAJOR SUBDIVISION, TO CREATE 20 SINGLE FAMILY RESIDENTIAL LOTS, CONSTRUCT A SECTION OF PUBLIC GREENWAY, EXTEND ONE (1) PUBLIC RIGHT-OF-WAY AND CREATE ONE (1) PUBLIC-RIGHT-OF-WAY, ON A 5.951 (+/-) ACRE PARCEL, LOCATED EAST OF LOCK 4 ROAD AND NORTHEAST OF SMOKY MOUNTAINS DRIVE.

- 9. GMRPC RESOLUTION 2016-97 8-2152-16**
NORTHFIELD CHURCH; ALTERNATIVE SIGN-SITE PLAN
IMAGE 360/HENDERSONVILLE

THE OWNER/APPLICANT ARE REQUESTING APPROVAL OF AN ALTERNATIVE SIGN PLAN TO INSTALL TWO (2) WALL-MOUNTED SIGNS TOTALING 197 SQUARE FEET FOR NORTHFIELD CHURCH ON A 15.1 (+/-) ACRE PARCEL, ZONED R20-LOW DENSITY RESIDENTIAL DISTRICT, LOCATED AT 2100 NASHVILLE PIKE.

- 10. GMRPC RESOLUTION 2016-100 8-2186-16**
879 GREENLEA BOULEVARD; FMDP
ROGERS ENGINEERING GROUP

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR 879 GREENLEA BOULEVARD, TO CONSTRUCT AN 11,625 SQUARE FOOT GENERAL RETAIL SALES AND SERVICE FACILITY, ON A 1.60 (+/-) ACRE LOT, LOCATED SOUTH OF GREENLEA BOULEVARD AND NORTH OF CHLOE DRIVE.

- 11. GMRPC RESOLUTION 2016-90 5-1801-16**
ABC TECHNOLOGIES; STREET ACCEPTANCE
ABC TECHNOLOGIES

OWNER AND APPLICANT REQUEST THE CITY OF GALLATIN TO ACCEPT THE PUBLIC IMPROVEMENTS FOR ABC GROUP PROPERTIES, INC. SUBDIVISION, LOCATED WEST OF STEAM PLANT ROAD AND NORTH OF THE AIRPORT ROAD.

- 12. GMRPC RESOLUTION 2016-93 5-2187-16**
STRATFORD PARK, PHASE 3, SECTION 2; STREET ACCEPTANCE
BARGE WAGGONER SUMNER AND CANNON

OWNER AND APPLICANT REQUEST THE CITY OF GALLATIN TO ACCEPT THE PUBLIC IMPROVEMENTS FOR STRATFORD PARK BOULEVARD LOCATED IN STRATFORD PARK PHASE 3, SECTION 2 SUBDIVISION.

- 13. GMRPC RESOLUTION 2016-94 5-2188-16**
STRATFORD PARK, PHASE 3, SECTION 3; STREET ACCEPTANCE
BARGE WAGGONER SUMNER AND CANNON

OWNER AND APPLICANT REQUEST THE CITY OF GALLATIN TO ACCEPT THE PUBLIC IMPROVEMENTS LOCATED IN STRATFORD PARK PHASE 3, SECTION 3 SUBDIVISION.

EXHIBIT A



- 14. GMRPC RESOLUTION 2016-96** **5-2192-16**
STRATFORD PARK, PHASE 4, SECTON 2; STREET ACCEPTANCE
BARGE WAGGONER SUMNER AND CANNON

OWNER AND APPLICANT REQUEST THE CITY OF GALLATIN TO ACCEPT THE PUBLIC IMPROVEMENTS FOR STRATFORD PARK PHASE 4, SECTION 2 SUBDIVISION.

REGULAR AGENDA

- 15. GMRPC RESOLUTION 2016-87** **3-2170-16**
PATTERSON FARMS; REZONING WITH PMDP
CMH PARKS, INC., DBA GOODALL HOMES

PUBLIC COMMENT

OWNER AND APPLICANT REQUESTS REZONING 63.19 (+/-) ACRES (TAX MAP 135 AND PARCELS 002.03 AND 002.05) FROM R10-MEDIUM DENSITY RESIDENTIAL AND R20-LOWE DENSITY RESIDENTIAL TO MRO - MULTIPLE RESIDENTIAL AND OFFICE AND APPROVAL OF A PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE PATTERSON FARMS, TO CONSTRUCT 206 DWELLING UNITS (146 SINGLE FAMILY AND 60 TOWNHOMES), LOCATED SOUTH OF STATE ROUTE 109, WEST OF CLEAR LAKE MEADOWS BOULEVARD AND NORTH OF NICHOLS LANE.

- 16. GMRPC RESOLUTION NO. 2016-81** **8-2007-16**
CARELLTON, PHASE 3B; AMENDED PMDP/FMDP
GREEN TRAILS, LLC

OWNER AND APPLICANT REQUESTS APPROVAL TO AMEND THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR CARELLTON SUBDIVISION AND A FINAL MASTER DEVELOPMENT PLAN FOR CARELLTON PHASE 3-B, ON 18.02 (+/-) ACRES, LOCATED NORTH OF FERDINAND DRIVE AND WEST OF BLACK THORN LANE.

- 17. GMRPC RESOLUTION NO. 2016-98** **8-2169-16**
TWICE DAILY; FMDP
PERRY ENGINEERING, LLC

OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR TWICE DAILY CONVENIENCE MARKET – LOT 1 TO CONSTRUCT A 4,800 SQUARE FOOT CONVENIENCE SALES AND SERVICE WITH GAS PUMPS AND FOOD SERVICE BUILDING ON 3.00 (+/-) ACRE PORTION OF A 18.90 (+/-) ACRE PARCEL, LOCATED SOUTH OF THE INTERSECTION OF LONG HOLLOW PIKE (SR 174) AND VIETNAM VETERANS BOULEVARD.

18. OTHER BUSINESS

19. ADJOURN

EXHIBIT A

ORIGINAL

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
WORK SESSION

August 8, 2016

MEMBERS PRESENT

Mr. Dick Dempsey, Chair
Mr. James Robert Ramsey, Vice Chair
Mr. Johnny Wilson, Secretary
Councilperson Julie Brackenbury
Dr. Rick Orgain
Mr. John Puryear

STAFF PRESENT

William McCord, Director of Planning
Robert Kalisz, Assistant Director of Planning
Kevin Chastine, Planning II
Jillian Ogden, Planner II
Denise Brown, Planner I
Brian Reifschneider, Engineering Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

Mayor Paige Brown

OTHERS

Josh Cross, News Examiner
Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular work session on Monday, August 8, 2016, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Agenda

Item 1: Twin Eagles, Phase 13, Section A - Annexation/Plan of Service (6-2289-16) – Rogers Group, Inc. – Applicant and owner request approval of an Annexation and Plan of Service for a 2.75 (+/-) acre parcel, located north of Red River Road and southwest of the intersection of Wildcat Run and Community Court.

Mr. Kevin Chastine, Planner II, said Items 1 and 2 are related to one another and shows the proposed annexed areas. A Preliminary Master Development Plan, on the adjacent property, was previously approved in March of 2016.

Mr. Ramsey said he has spoken to residents of the area and they are concerned that something other than single family homes will go into the area.

Chair Dempsey suggested that the annexation line go to the edge of the lot. He asked Mr. Chastine to find out what is going into the area that Mr. Ramsey mentioned and if it will be developed with single family homes.

Item 2: Twin Eagles, Phase 13, Section A – Rezoning with Preliminary Master Development Plan (3-2290-16) – Rogers Group, Inc. – Applicant and owner request approval to rezone a 2.75 (+/-) acres from Agricultural Residential (A) to Mixed Use (MU) and approval of a Preliminary Master Development Plan for Twin Eagles

Subdivision, Phase 13, Section A, located north of Red River Road and southwest of the intersection of Wildcat Run and Community Court.

Chair Dempsey reiterated that the rezoning request is from Agricultural Residential (A) to Mixed Use (MU).

Item 3: Bakers Crossing, Phase 1, The Forza Group – Final Master Development Plan (8-2285-16) – Arnold Consulting Engineering Services, Inc. – Applicant and owner request approval of a Final Master Development Plan for Bakers Crossing, Phase 1, to include a hotel with conference space and retail and restaurant space on an 8.15 (+/-) acre parcel, located on Tulip Poplar Drive between Nashville Pike and North Belvedere Drive.

Mr. Rob Kalisz, Assistant Director of Planning, said the applicant asked that the item be deferred. He said Staff has not received information regarding access easement on the road to the east. The multi-tenant sign exceeds the sign ordinance regulations. Staff does not support the alternative sign package that is proposed by the applicant. A meeting is scheduled for tomorrow to discuss concerns.

Mr. Puryear asked if the sign will be visible over Loden's Vision Center. Mr. Kalisz said it will be visible. The hotel is proposed to be 51 feet tall with a wall mounted hotel sign at the top.

Mr. Ramsey asked if the wall sign will consume all of the hotel's permitted signage. Ms. Denise Brown, Planner I, said the wall sign would use all of the applicant's sign allowance.

Item 4: Revere Apartments – Preliminary Plat Extension (1-941-15B) – Ragan Smith Associates – Applicant and owner request approval of a modification and one (1) year extension to the Revere Apartments Preliminary Plat on a 31.34 (+/-) acre parcel, located on Big Station Camp Boulevard southeast of the intersection of Bison Trail.

Ms. Jillian Ogden, Planner II, said the request is to modify and extend the Preliminary Plat for Revere Apartments due to the presence of a threatened salamander in the creek protection issue. The applicant would like to extend for one year to finalize the salamander issue.

Item 5: Other Business

Mr. Bill McCord, Director of Planning, distributed an agenda of the upcoming TAPA Conference.

Chair Dempsey asked how long a political sign may remain. Ms. Brown said the losing candidate must remove a sign in three (3) days. Others may leave the sign up until November.

Mr. McCord discussed the proposed zoning ordinance changes. He stated that different types of landscape bufferyards in the commercial zones would remain the same; however, adjacent residential property bufferyard would be reduced in most cases. He asked for feedback from the Planning Commissioners on landscape buffers. He added that industrial zone district buffers would not change.

Mr. Puryear encouraged everyone to read the buffer yard descriptions. He said the plant materials are decreased.

Mr. Ramsey said Mr. McCord did not change the amount of plant materials. Mr. Puryear said the plant material is decreased by decreasing the buffer. He said he would like to see a Type 40 foot buffer in an alternate 20 foot wide area so that the planting is condensed.

Mr. McCord said there is a concern that plants packed too close together may not survive. Mr. Puryear said the Planning Commission could approve an alternate buffer.

Mr. Ramsey said he agrees but does not want to leave this area.

Chair Dempsey suggested that there be alternate buffers that Staff could decide if they are required on a particular property. Staff could suggest that the alternate buffer be in the plan. Mr. McCord said he does not want to encumber the code because it is very detailed now.

Mr. Ramey left the meeting at 5:45 p.m.

Mr. Kalisz suggested a requirement be that the plants must be maintained or replaced.

Mr. McCord suggested that commercial buffer adjacent to residential areas may be increased.

Dr. Orgain left the meeting at 6:00 p.m.

Mr. McCord said the following changes are also proposed:

- Description of buffer and a better description of medium and large trees. Mr. Puryear suggested language change, from one small deciduous tree to one small understory tree. Chair Dempsey asked for more emphasis on maintaining the landscaping in a healthy condition. Mr. McCord suggested the wording "as required".
- Intent of parking area screening and landscape design interiors – change perimeter landscape provisions to increase the width of the landscape islands from 8 feet to 10 feet.
- Clarify that the City does not require common landscape strips in joint access properties.
- Aggregate materials may be used as part of the ground cover.
- Require canopy trees to be placed further apart.
- Increase the caliper of trees from 2 ½ to 3. Mr. Puryear asked the reason for placement of evergreen trees. Mr. McCord said it is functional to insure sight distance. Mr. Kalisz suggested the perimeter strip be increased so that cars parking will not disturb plantings. Chair Dempsey said he prefers the trees start at the larger caliper.
- Require one canopy tree for every 8 parking spaces instead for every 10 parking spaces.
- Increase minimum square footage of planting area from 90 square feet to 200 square feet in interior parking areas.
- Change the required drip line to 70 percent of drip line for existing trees as an incentive to save the tree.
- Mr. Puryear asked about a seven foot wide parking space requirement. Mr. Brian Reifschneider said the standard is nine feet. He added that with the popularity of bigger vehicles it probably should be changed to 10 feet.

- Create opportunity to grant options for interior parking space design.
- Increase driveway separation requirements particularly on collector and arterial roadways.
- Increase sight visibility triangles

Mr. Wilson left the meeting at 6:30 p.m.

Mr. McCord said he will be meeting with the City Attorney and other staff members to discuss group homes or halfway houses in residential districts and where they would be allowed. The Tennessee APA would like to address this issue at the winter retreat. A lot of codes have been amended to match what the State Statute allows for mentally or physically handicapped persons. The Gallatin Code is restrictive as to what defines a family.

Mr. Puryear asked about fire codes. Mr. McCord said the code for group houses must be the same a single family home.

Item 6: Adjourn

There being no further business to discuss, Chair Dempsey adjourned the meeting at 6:35 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



Agenda
Gallatin Municipal-Regional Planning Commission
Work Session Meeting

Monday, August 8, 2016
Dr. J. Deotha Malone Council Chambers

Planning Commission - 5:00 p.m.
City Hall

1. TWIN EAGLES, PHASE 13, SECTION A; ANNEXATION/PLAN OF SERVICE (6-2289-16) ROGERS ENGINEERING GROUP, INC.

APPLICANT AND OWNER REQUEST APPROVAL OF AN ANNEXATION AND PLAN OF SERVICE FOR A 2.75 (+/-) ACRE PARCEL, LOCATED NORTH OF RED RIVER ROAD AND SOUTHWEST OF THE INTERSECTION OF WILDCAT RUN AND COMMUNITY COURT.

2. TWIN EAGLES, PHASE 13, SECTION A; REZONING WITH PMDP (3-2290-16) ROGERS ENGINEERING GROUP, INC.

APPLICANT AND OWNER REQUEST APPROVAL TO REZONE A 4.76 (+/-) ACRE PARCEL FROM AGRICULTURE (A) TO MIXED USE (MU), AND APPROVAL OF A PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE TWIN EAGLES SUBDIVISION, PHASE 13, SECTION A, LOCATED NORTH OF RED RIVER ROAD AND SOUTHWEST OF THE INTERSECTION OF WILDCAT RUN AND COMMUNITY COURT.

3. BAKERS CROSSING, PHASE 1, THE FORZA GROUP; FMDP (8-2285-16) ARNOLD CONSULTING ENGINEERING SERVICES, INC.

APPLICANT AND OWNER REQUEST APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR BAKERS CROSSING, PHASE 1 TO INCLUDE A HOTEL WITH CONFERENCE SPACE, AND RETAIL AND RESTAURANT SPACE ON AN 8.15 (+/-) ACRE PARCEL, LOCATED ON TULIP POPLAR DRIVE BETWEEN NASHVILLE PIKE AND NORTH BELVEDERE DRIVE.

4. REVERE APARTMENTS; PRELIMINARY PLAT EXTENSION (1-941-15B) RAGAN SMITH ASSOCIATES.

APPLICANT AND OWNER REQUEST APPROVAL OF A ONE (1) YEAR EXTENSION TO THE REVERE APARTMENTS PRELIMINARY PLAT ON A 31.34 (+/-) ACRE PARCEL, LOCATED ON BIG STATION CAMP BOULEVARD SOUTHEAST OF THE INTERSECTION OF BISON TRAIL.

5. OTHER BUSINESS

DISCUSS CHANGES TO THE GALLATIN ZONING ORDINANCE

6. MOVE TO ADJOURN

ORIGINAL

MINUTES OF THE GALLATIN
MUNICIPAL/REGIONAL
PLANNING COMMISSION MEETING

August 22, 2016

MEMBERS PRESENT

Chair Dick Dempsey
Vice Chair James Robert Ramsey
Johnny Wilson
Mayor Paige Brown
Councilperson Julie Brackenbury
Rick Orgain

STAFF PRESENT

William McCord, Director of Planning
Robert J. Kalisz, Assistant Director of Planning
Kevin Chastine, Planner II
Jillian Ogden, Planner II
Brian Reifschneider, Engineering Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

John Puryear

OTHERS

Applicants
The News Examiner

The Gallatin Municipal-Regional Planning Commission met in a regular meeting on Monday, August 22, 2016, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Chairman Dick Dempsey called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A. Councilperson Brackenbury led the invocation and Chair Dempsey led the pledge of allegiance. Ms. Marianne Mudrak called the roll.

Approve Prior Minutes

Mr. Wilson motioned to approve minutes from the June 13, 2016 Planning Commission Work Session Meeting, and the June 27, 2016 Regular Planning Commission Meeting as presented. Councilperson Brackenbury seconded the motion and the motion passed 6 ayes; 0 nays.

Public Comment on Agenda Related Items

Chair Dempsey opened public comment on agenda related items. No one came forward to speak; therefore, Chair Dempsey closed public comment on agenda related items.

Public Comment on Consent Agenda Items

Chair Dempsey called for public comment on consent agenda items. No one came forward to speak; therefore, Chair Dempsey closed public comment on consent agenda items.

Chair Dempsey motioned to 6 ayes, 0 nays.

Item 1: GMRPC Resolution No. 2016-73 (7-171-16) – Surety Renewals & Extensions – City of Gallatin – Surety Renewals and Extension for July 2016.

This item was approved by consent agenda.

Item 2: GMRPC Resolution No. 2016-103 – (2-2279-16) Foxland Phase 2 – Minor Subdivision Final Plat – Barge Waggoner Sumner & Cannon, Inc. – The owner and applicant request approval of a minor subdivision final plat to subdivide two (2) parcels in the Foxland Development, Phase 2, into five (5) lots, zoned Multiple Residential and Office (MRO) and Mixed Use (MU), on 10.91 (+/-) acres, located at the northeast corner of Foxland Boulevard and Douglas Bend Road.

The item was approved by consent agenda with the following conditions:

1. Include a replat of Lot 1, Foxland Phase. 9, Section. 1 as part of the plat and retitle the plat to, Foxland, Phase 2 Final Plat and include a replat of Lot 1 of Foxland, Phase 9, Section 1 as recorded in Plat Book 27, PG 114 R.O.S.C. for a total of six (6) lots.
2. Add the following note: “The recording of this plat voids, vacates and supersedes the recording of Lot 1 of Foxland, Phase 9, Section 1, recorded in Plat Book 27, PG 114 R.O.S.C.
3. Label property owner, development and zoning information on both properties located on the west side of Douglas Bend Road.
4. Add “and MU zoning” to Note 4.
5. Revise Note 12 to state, “Lot 2.2 and the White House Utility District shall have a permanent access through the 28’ wide access easement proposed on current Lot 1 in Foxland, Phase 9, Section 1”. Add additional note to state, “Lots 2.3, 2.4 and 2.5 shall have permanent access through the 45’ wide access easement extending from the inter Section of Reynard Drive and Club View Drive”.
6. Add parcel 7.00 to Development Summary which include current Lot 1 of Foxland, Phase 9, Section 1
7. Show 10’ wide P.U.D.E.’s along both side property lines of Lot 2.2, on the west property line of Lot 2.3 and along the entire property line of Lot 2.5 that adjoins current Lot 1 of Foxland, Phase 9, Section. 1. Also show 10’ wide P.U.D.E.’s along the side property lines of current Lot 1 of Foxland, Phase. 9, Section. 1.
8. Include Lot 1 of Foxland, Phase. 9, Section. 1 with this plat. This will establish the easements as directed above and show callings for all property boundaries.
9. Show callings for all P.U.D.E.’s recorded outside of plats under previous actions.
10. Label the type of 30’ buffer shown along the rear property lines of the lots: Corp of Engineers, Stream, Landscape, etc.
11. Add additional labels throughout the plat indicating the 5’ Corps of Engineers Access Easement line.
12. Remove the side yard and M.B.S.L. lines and labels; only show the P.U.D.E. lines and labels.
13. Add acreage for Lot 1 of Foxland, Phase. 9, Section. 1
14. Consider labeling each lot sequentially: Lot 1, Lot 2, Lot 3, Lot 4, Lot 5, and Lot 6.
15. The Planning Commission hereby grants a variance of 12’, 20’ and 5’ from Section 1-113.109, Gallatin Subdivision Regulations to permit a 28’, 30’ and 45’ wide access easement to serve Lots 2.2-2.5, and a variance to not require side yard P.U.D.E.s on Lots 2.3 and 2.4 and along the southerly property boundary of Lots 2.3 and 2.4, and along the northerly boundary of Lot 2.5.

16. Detailed plans and specifications shall be submitted to the WHUD, for water and sanitary sewer installation, to serve these lots.
17. Show the edge of pavement for Club View Drive and add the right-of-way and pavement width.
18. Submit three (3) corrected folded copies (1 enlarged copy and two (2) plat size copies) of the Final Plat to the Planning Department.
19. Submit three (3) corrected folded copies of the Overall Foxland Development PMDP to the Planning Department.

Item 3: GMRPC Resolution No. 2016-104 – (1-941-15B) – Revere Apartments – Preliminary Plat Extension – Ragan Smith Associates – The owner and applicant request approval of a one (1) year extension of the preliminary plat for the Revere Apartments, consisting of three (3) proposed lots and two (2) proposed public rights-of-way, on a 31.34 (+/-) acre parcel, located east of Big Station Camp Boulevard and north of Vietnam Veterans Parkway (SR 386).

This item was approved by consent agenda with the following condition:

1. The Final Plat shall be consistent with the Amended Preliminary Master Development Plan, for Revere Apartments Reserve at Hidden Creek, LLC, approved by the Planning Commission under Resolution 2016-46 on April 25, 2016.

Regular Agenda

Item 4: GMRPC Resolution No 2016-86 – (1-2177-16C) – Carellton, Phase 3C – Final Plat – Land Solutions Company, LLC – The owner and applicant request approval of a final plat for Carellton Phase 3-C, a major subdivision, to create 36 single family lots, extend two (2) public rights-of-way, and create one (1) open space tract on an 8.41 (+/-) acre parcel, located north of Long Hollow Pike and west of Carellton Drive.

Ms. Jillian Ogden, Planner II, said this item is on the agenda for discussion purposes, in particular the traffic signal. Staff does not have any issues with project and recommends approval of Resolution 2016-86 with the conditions listed in the staff report.

Mr. Brian Reifschneider, Engineering Project Manager said the Engineering Division said the developer agreed to install a traffic signal when at 300 lots were plotted/developed. At this time, there are 265 lots developed.

Mr. Lynn Ealey, with Land Solutions Company, representing the applicant said he met with the Engineering Division regarding the traffic signal. The applicant is committed to design the signal but is asking not to be held to the 300 lot trigger. The Engineering Division was asked to provide the trip generation calculations to determine the applicant's contribution responsibility towards funding the project and what portion of the signal is the applicant's responsibility.

Chair Dempsey said he is comfortable that if the applicant is working with staff the 300 lot trigger is not rigid but could be flexible, as long as the signal is not warranted at that time.

Mr. Ramsey motioned to approve Resolution 2016-86 with the following conditions:

1. Show the proposed 20-foot-wide P.U.D.E. for the extended waterline west of Ferdinand and Grindstone Drives per White House Utility District comments. (A separate easement for these lines will need to be recorded.)
2. The Planning Commission approval includes a variance of 5' to allow 5' wide P.U.D.E.'s along each side lot line.
3. Provide a copy of Restrictive Covenants prior recording of final plat.
4. Provide an Offer of Irrevocable Dedication prior to recording of final plat.
5. Submit a subdivision performance surety, in the amount to be determined by the Engineering Division, to the Planning Department prior to the recording of the final plat.
6. Submit a utility performance surety, in the amount determined by the White House Utilities Department, to the Planning Department prior to the recording of final plat.
7. Submit three (3) corrected and folded copies of the final plat to the Planning Department for review and approval prior to the recording of the final plat.
8. Submit two (2) mylars and one (1) vellum copies of the final plat, including all original signatures, along with the recording fee to the Planning Department for recording.

Mr. Wilson seconded the motion and the motion passed 6 ayes, 0 nays.

Item 5: GMRPC Resolution No 2016-105 – (6-2289-16) – Twin Eagles, Phase 13, Section A – Annexation/Plan of Service – Rogers Engineering Group, Inc. – Public Comment – The owner and applicant request approval and recommendation to the Gallatin City Council of a resolution to annex and a resolution to adopt a plan of service for a portion of Tax Map 114 and Parcel 47.00, consisting of 2.75 (+/-) acres, located west of SR 109 and north of Red River Road (SR 25).

Mr. Kevin Chastine, Planner II, said the applicant is requesting a recommendation of approval to the Gallatin City Council of an Annexation and Plan of Service. The owner requests that a 2.75 (+/-) acre portion of the parcel be annexed. The property is contiguous to the existing City Limits and Staff recommends the Planning Commission approve Resolution 2016-105 and recommend the annexation to the Gallatin City Council.

Chair Dempsey asked Mr. Reifschneider if there are any Engineering Division concerns with the request. Mr. Reifschneider said there are no Engineering Division concerns with the request.

Mr. Andy Leath, with Rogers Group, Inc. said he agrees with all conditions.

Chair Dempsey opened public comment. No one came forward to speak; therefore, Chair Dempsey closed public comment.

Mr. Wilson motioned to approve Resolution 2016-105. Councilperson Brackenbury seconded the motion and the motion passed 6 ayes, 0 nays.

Item 6: GMRPC Resolution No 2016-106 – (3-2290-16) – Twin Eagles, Phase 13, Section A – Rezoning with Preliminary Master Development Plan – Rogers Engineering Group, Inc. – Public Comment –

Major Amendment – The owner and applicant request approval to rezone a 2.75 (+/-) acre parcel (a portion of Tax Map 114 and Parcel 47.00) from Agricultural Residential Zone District (A) to Mixed Use District (MU) and approval of an Amended Preliminary Master Development Plan for Twin Eagles, Phase 13, Section A, to construct 18 single family dwelling units, located west of SR 109 and north of Red River Road (SR 25).

Mr. Chastine said this item is related to item 5 on the agenda. The request is to rezone the 2.75 acres that was approved for Annexation and Plan of Service. The request is to rezone the property from Agricultural Residential (A) to Mixed Use (MU) with an amended Preliminary Master Development Plan. The Mixed Use (MU) zone is consistent with the other phases of the Twin Eagles Subdivision. Alternative bufferyards are requested along the western and part of the southern property boundary, since both parcels are owned by the same property owner.

Mr. Chastine said Staff recommends approval of Resolution 2016-106.

Chair Dempsey asked Mr. Reifschneider if there are any Engineering Division concerns with the request. Mr. Reifschneider said there are no Engineering Division concerns with the request.

Mr. Andy Leath, with Rogers Group, Inc., representing the applicant said he had no comments.

Chair Dempsey opened public comment. No one came forward to speak; therefore, Chair Dempsey closed public comment.

Councilperson Brackenbury motioned to approve Resolution 2016-106. Mr. Wilson seconded the motion and the motion passed 6 ayes, 0 nays.

Item 7: Other Business

1. Mr. Robert Kalisz, Assistant Director of Planning, said the owner and applicant of the Foxland Subdivision, Phase 10 are requesting approval of revised architectural elevations. The majority of the materials are brick with some Hardie Board. The plans indicate that a more contemporary style is proposed instead of the traditional Tutor style originally submitted. Staff recommends approval of the changes to the architectural elevations.

Mr. Ramsey is concerned that the applicant has submitted one plan and is now submitting another plan. Mr. Kalisz said the front façade has changed.

Chair Dempsey asked Mr. Reifschneider if there were any Engineering Division concerns with the change. Mr. Reifschneider said there were no Engineering Division concerns with the change.

Mr. Thomas Steffens, with Phillips Builders, representing the applicant, said the new plan is a more efficient design and more closely matches what is being built in the community. The number of units and buildings remain the same.

Mr. McCord said if the Planning Commission believes the architectural changes are consistent with the original approval it will not need to come to a Planning Commission meeting for approval. Chair Dempsey said the Planning Commission is comfortable with the architectural changes.

2. Mr. McCord said he will present the revisions to the Gallatin Zoning Ordinance revisions, landscape section, at the next Planning Commission work session for discussion. Mr. Kalisz gave a brief presentation of the proposed changes to the architectural section.

Mr. Kalisz said the proposed change in the IR and IG districts, will permit all buildings to be constructed with at least 50 percent brick or stone materials on facades of the building used for offices and fronting on a public or private roadway. He distributed photos of some buildings on Airport Road. He continued that buildings or portions of buildings not fronting public or private roadways may use be constructed with other materials included, but not limited to, concrete block, split face block, other related concrete masonry block materials and /or manufactured pre cast panels. Non industrial buildings in the IR and IG districts shall use 70 percent brick or stone.

Mr. McCord said windows are excluded from the calculation. If an owner wants an all glass front that would be permissible.

Chair Dempsey said landscaping makes a difference.

Mr. McCord said a previous discussion was held on changing the requirement of the tree caliper. After a discussion with Mr. Puryear, it was decided to leave the caliper at 3.5 inches. In addition, the change to the width of bufferyards on residential projects would be reduced; however, industrial projects would require the same or more bufferyards. A paragraph will be added to the General Standards that in situations where residential and industrial properties adjoin, an opaque barrier would be required. He asked the Planning Commission to call staff's attention to anything that does not look consistent. There are some refinements; however, the plan is to create an ordinance to be presented to City Council. Some minor changes may still be made before it is presented to City Council.

Item 8: Move to Adjourn

With no further business to discuss, Chair Dempsey adjourned the meeting at 5:45 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



**Agenda
Gallatin Municipal-Regional Planning Commission**

**Monday, August 22, 2016
DR. J. DEOTHA MALONE COUNCIL CHAMBERS**

**Planning Commission – 5:00 p.m.
CITY HALL**

Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item, wishing to discuss an item listed on the Consent Agenda, may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- **Call to Order**
- **Invocation**
- **Pledge of Allegiance**
- **Roll Call**
- **Approval of Minutes: June 13, 2016 Planning Commission Work Session Meeting and the June 27, 2016 Planning Commission Regular Meeting**
- **Public Comment on Agenda Related Items**

CONSENT AGENDA

- 1. GMRPC RESOLUTION NO. 2016- 102 7-171-16
SURETY RENEWALS & EXTENSIONS
CITY OF GALLATIN**

SURETY RENEWALS AND EXTENSIONS FOR AUGUST 2016

- 2. GMRPC RESOLUTION NO. 2016-103 2-2279-16
FOXLAND, PHASE 2 – MINOR SUBDIVISION FINAL PLAT
BARGE WAGGONER SUMNER & CANNON, INC.**

OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR SUBDIVISION FINAL PLAT TO SUBDIVIDE TWO (2) PARCELS IN THE FOXLAND DEVELOPMENT 2 INTO FIVE (5) LOTS, ZONED MULTIPLE RESIDENTIAL AND OFFICE (MRO) AND MIXED USE (MU), ON 10.91 (+/-) ACRES, LOCATED AT THE NORTHEAST CORNER OF FOXLAND BOULEVARD AND DOUGLAS BEND ROAD.

- 3. GMRPC RESOLUTION NO. 2016-104 1-941-15B
REVERE APARTMENTS; PRELIMINARY PLAT EXTENSION
RAGAN SMITH ASSOCIATES**

OWNER AND APPLICANT REQUEST APPROVAL OF A ONE (1) YEAR EXTENSION OF THE PRELIMINARY PLAT FOR THE REVERE APARTMENTS, CONSISTING OF THREE (3) PROPOSED LOTS AND TWO (2) PROPOSED PUBLIC RIGHTS-OF-WAY, ON A 31.34 (+/-) ACRE PARCEL,

EXHIBIT A



LOCATED EAST OF BIG STATION CAMP BOULEVARD AND NORTH OF VIETNAM VETERANS PARKWAY (SR 386).

REGULAR AGENDA

- 4. GMRPC RESOLUTION NO. 2016-86** **1-2177-16C**
CARELLTON, PHASE 3C; FINAL PLAT
LAND SOLUTIONS COMPANY, LLC

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR CARELLTON PHASE 3-C, A MAJOR SUBDIVISION, TO CREATE 36 SINGLE FAMILY LOTS, EXTEND TWO (2) PUBLIC RIGHTS-OF-WAY, AND CREATE ONE (1) OPEN SPACE TRACT ON AN 8.41 (+/-) ACRE PARCEL, LOCATED NORTH OF LONG HOLLOW PIKE AND WEST OF CARELLTON DRIVE.

- 5. GMRPC RESOLUTION NO. 2016-105** **6-2289-16**
TWIN EAGLES, PHASE 13, SECTION A; ANNEXATION/POS
ROGERS ENGINEERING GROUP, INC.

PUBLIC COMMENT

THE OWNER/APPLICANT REQUESTS APPROVAL AND RECOMMENDATION TO THE GALLATIN CITY COUNCIL A RESOLUTION TO ANNEX AND A RESOLUTION TO ADOPT A PLAN OF SERVICE FOR A PORTION OF TAX MAP 114 AND PARCEL 47.00, CONSISTING OF 2.75 (+/-) ACRES, LOCATED WEST OF SR 109 BY-PASS AND NORTH OF RED RIVER ROAD (SR 25).

- 6. GMRPC RESOLUTION NO. 2016-106** **3-2290-16**
TWIN EAGLES, PHASE 13, SECTION A; REZONING WITH PMDP
ROGERS ENGINEERING GROUP, INC.

PUBLIC COMMENT – MAJOR AMENDMENT

OWNER AND APPLICANT REQUEST APPROVAL TO REZONE A 2.75 (+/-) ACRE PARCEL (A PORTION OF TAX MAP 114 AND PARCEL 47.00) FROM A-AGRICULTURAL RESIDENTIAL DISTRICT TO MU – MIXED USE DISTRICT AND APPROVAL OF AN AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR THE TWIN EAGLES, PHASE 13, SECTION A, TO CONSTRUCT 18 SINGLE FAMILY DWELLING UNITS, LOCATED WEST OF STATE ROUTE 109 AND NORTH OF RED RIVER ROAD (S.R. 25).

7. OTHER BUSINESS

- DISCUSS PROPOSED CHANGES TO THE GALLATIN ZONING ORDINANCE
- DISCUSS FOXLAND PHASE 10, AMENDED PMDP & FMDP (8-539-15)

8. ADJOURN

EXHIBIT A

ITEM 1

GMRPC Resolution No. 2016-115

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING ITEM 1 – A ONE (1) YEAR RENEWAL AND EXTENSION OF THE PERFORMANCE SURETIES FOR:

- **LENOX PLACE, PHASE 6 & 7 (LDP); FILE #1-12-13C/PC0197-13**
- **BAKER'S CROSSING, LOT 7 (SITE); FILE #8-34-13/PC0115-13**
- **FOXLAND, PHASE 7, SECTION 1 (SITE); FILE #8-35-13/PC0152-12**
- **WELCH COLLEGE (RIGHT-OF-WAY IMPROVEMENTS); 8-390-15**
- **ST. BLAISE RETREAT (SUBDIVISION); FILE #1-951-15C**
- **BMWG (SITE); FILE #8-538-15**

AND A THREE (3) MONTH RENEWAL AND EXTENSION OF THE PERFORMANCE SURETIES FOR:

- **FOXLAND, PHASE 9, SECTION 1 (SUBDIVISION); FILE #1-55-11C/PC9855-11.**

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered a one (1) year renewal and extension of the performance surety for:

- Lenox Place, Phase 6 & 7 (LDP); File #1-12-13C/PC0197-13
- Baker's Crossing, Lot 7 (Site); File #8-34-13/PC0115-13
- Foxland, Phase 7, Section 1 (Site); File #8-35-13/PC0152-12
- Welch College (Right-Of-Way Improvements); 8-390-15
- St. Blaise Retreat (Subdivision); File #1-951-15C
- BMWG (Site); File #8-538-15

And a three (3) month renewal and extension of the maintenance surety for:

- Foxland, Phase 9, Section 1 (Subdivision); File #1-55-11C/PC9855-11.

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the information presented by City Staff and evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows:

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Gallatin Zoning Ordinance, §15.03.080 and Gallatin Subdivision Regulations, Chapter 3:

1. The renewal and extension of the performance sureties will cover the cost of public improvements and infrastructure not yet completed in the subdivision or completed for the development site of an approved site plan or master development plan as determined by the City Engineering Division and Planning Department.
2. The subdivision surety and/or site master development plan surety is necessary to protect the public interest as described in Chapter 3, Gallatin Subdivision Regulations and Article 15, Section 15.03.080 of the Gallatin Zoning Ordinance.

Section 2. Action - The Gallatin Municipal-Regional Planning Commission hereby approves a one (1) year renewal and extension for each of the performance sureties for the following projects with the following conditions:

1. A new Letter of Credit or acceptable form of payment in the amount described below shall be provided to the City of Gallatin by no later than one (1) week prior to the expiration date of the current Letter of Credit.
2. An extension may be permitted for the performance surety. All improvements must be completed and accepted by October 24, 2017.
3. Upon completion of all required improvements, the developer shall obtain final subdivision or site plan inspection approval from the Planning Department and Engineering Division and submit a request for Acceptance of Dedication for any public infrastructure within a subdivision to the City Engineering Division and provide a maintenance surety in a form and substance acceptable to the City Attorney and City Engineer.
 - Lenox Place, Phase 6 & 7 (LDP); File #1-12-13C/PC0197-13 in the amount of \$41,000.
 - Baker's Crossing, Lot 7 (Site); File #8-34-13/PC0115-13 in the amount of \$78,000.
 - Foxland, Phase 7, Section 1 (Site); File #8-35-13/PC0152-12 in the amount of \$4,500.
 - Welch College (Right-of-Way Improvements); File #8-390-15 in the amount of \$73,000.
 - St. Blaise Retreat, Phase 2 (Subdivision); File #1-951-15C in the amount of \$520,000.

- BMWG (Site); File #8-538-15 in the amount of \$75,312.

Section 3. Action - The Gallatin Municipal-Regional Planning Commission hereby approves a three (3) month renewal and extension for the subdivision maintenance surety for the following project with the following conditions:

4. An extension may be permitted for the subdivision maintenance surety. All improvements must be completed and/or repaired and accepted by January 24, 2017.
5. Upon completion and/or repair of all required improvements and repairs, the developer shall obtain final subdivision inspection from the Engineering Division for any public infrastructure within a subdivision by the City Engineering Division prior to returning or refunding any balance of the maintenance surety

- Foxland, Phase 9, Section 1 (Maintenance); File 1-55-11C/PC9855-11 in the amount of \$16,200.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 10/24/16

Dick Dempsey Chairman

Johnny Wilson Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL PLAT FOR BAYWOOD POINTE, PHASE 4A, A MAJOR SUBDIVISION, TO CREATE SEVENTEEN (17) ONE-FAMILY DETACHED DWELLING LOTS, TWO (2) OPEN SPACE AREAS, ONE (1) PUBLIC RIGHT-OF-WAY EXTENSION AND ONE (1) ADDITIONAL PUBLIC RIGHT-OF-WAY, ON 11.58 (+/-) ACRES, LOCATED NORTH AND WEST OF BAY POINT DRIVE AND EAST OF BLUE JAY WAY. (1-2589-16C)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Final Plat submitted by the applicant, Bruce Rainey & Associates, at its regular meeting on October 24, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-402, 13-3-404, 13-4-302, and 13-4-304 and the City of Gallatin Subdivision Regulations:

1. The Final Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The Final Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
3. The Final Plat is consistent with the purpose and intent of the Residential-20 (R20) Zoning District and substantially consistent with the previously approved Preliminary Plat for Baywood Pointe, Phase 4 (1-1288-15B).
4. The Final Plat is consistent with Tennessee Code Annotated, Section 13-3-403, Section 13-4-303 and 13-4-304.
5. The Final Plat complies with the requirements of the subdivision regulations as described in Section 2-105, Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.

7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Plat for Baywood Pointe, Phase 4A consisting of a three (3) sheet plan, prepared by Bruce Rainey & Associates of Hendersonville, Tennessee, with job number 150115-4A, dated July 14, 2016, with a most recent revision date of October 11, 2016, with the following conditions:

1. Revise Note 1 on Sheet 1 to state ...dedicate 2 rights-of-way. Remove the word “of” as is currently shown.
2. Label the width of the P.U.D.E.s, where the sediment trap is located, behind Lots 91, 94, and 95.
3. Remove Note 11 regarding the TVA Easement since it is not in Section 4A.
4. Revise Note 7 and 8 to state 20’ ‘wide’ and 10’ ‘wide’ Public Utility and Drainage Easement.
5. Submit Offers of Irrevocable Dedication.
6. Submit copy of Restrictive Covenants.
7. A Storm Water Maintenance Agreement will need to be signed, recorded and referenced for final approval plat recording.
8. An as-built survey will be required prior to final street acceptance.
9. Submit a street signage check in the amount determined by the Engineering Division prior to the recording of the final plat.
10. Submit a subdivision surety in the amount determined by the Engineering Division, to the Planning Department, prior to the recording of the final plat.
11. Add the proposed property corner symbols.
12. Add the lot distance for the rear property line of Lot 92.
13. Add a temporary turn-a-round easement at the east end of Summerstar Circle with a minimum radius of 48’ or hammerhead.
14. Add the updated drainage structures per the approved grading and drainage plan.
15. Dimension the 10’ P.U.D.E. at the southeast portion of Lot 103 with distances and/or bearings to tie down the location.
16. Increase the width of the rear 10’ P.U.D.E. on Lots 98, 99 and 102 to a 15’ wide P.U.D.E.
17. Remove the Fairway Farms reference on the Certificate of Common Areas Dedication.
18. Submit three (3) corrected, folded copies of the Preliminary Plat, including one (1) full size and two (2) half size copies, to the Planning Department.
19. Submit three (3) corrected, folded copies of the Final Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 10/24/2016

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 2

PLANNING DEPARTMENT STAFF REPORT

Final Plat for Baywood Pointe, Phase 4A

(1-2589-16C)

Located North and West of Bay Pointe Drive and East of Blue Jay Way

Date: October 24, 2016

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR BAYWOOD POINTE, PHASE 4A, A MAJOR SUBDIVISION, TO CREATE 17 ONE-FAMILY DETACHED LOTS, TWO (2) OPEN SPACE TRACTS, ONE (1) PUBLIC RIGHT-OF-WAY EXTENSION AND ONE (1) ADDITIONAL PUBLIC RIGHT-OF-WAY, ON 11.58 (+/-) ACRES, LOCATED NORTH AND WEST OF BAY POINT DRIVE AND EAST OF BLUE JAY WAY.

OWNER: BAYWOOD POINTE PARTNERSHIP
APPLICANT: BRUCE RAINEY AND ASSOCIATES
STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2016-116
STAFF CONTACT: DENISE BROWN
PLANNING COMMISSION DATE: OCTOBER 24, 2016

PROPERTY OVERVIEW: The owner and applicant request approval of a Final Plat for Baywood Pointe, Phase 4A a major subdivision, to create 17 One-Family Detached lots, two (2) open space tracts, one (1) public right-of-way extension and one (1) additional public right-of-way, on 11.58 (±) acres, located north and west of Bay Pointe Drive and east of Blue Jay Way. The property is currently zoned Residential-20 (R20). One-Family Detached Dwellings is a permitted use in the R20 zone district. (Attachment 2-1 and 2-2)

CASE BACKGROUND:

Previous Approvals

On August 26, 2002, the Planning Commission approved a Sketch Plat for the Baywood Pointe subdivision, containing four (4) phases. (File# 1-12-02A)

On November 27, 2006, the Planning Commission approved a Preliminary Plat for Baywood Pointe, Phase 4. (File# 1-49-06B)

On January 22, 2007, the Planning Commission approved a Final Plat for Baywood Pointe, Phase 4 (File# 1-59-06C). The construction plans submitted for the approval of the Final Plat in 2007 expired; therefore, a new Preliminary and Final Plat are required.

On March 28, 2016, the Planning Commission approved a different Preliminary Plat for Baywood Pointe, Phase 4 (1-1288-15B) (Attachment 2-4).

DISCUSSION:

Proposed Development

The Preliminary Plat for Baywood Pointe, Phase 4 (File# 1-1288-15B) was approved for 46 lots. Since the approval of the Preliminary Plat, Phase 4 has been divided into two (2) phases, Phase 4A and 4B.

This Final Plat, for Phase 4A, contains 17 lots, two (2) open space tracts, the extension of one (1) public right-of-way (Summerstar Circle) and addition of one (1) public right-of-way (Sundown Circle). The proposed Final Plat is consistent with the approved Preliminary Plat. Construction plans were approved by the Engineering Division. Drainage improvements will be constructed in accordance with the recently adopted Stormwater Ordinance.

Natural Features

The topography of this area is undulating and includes sink holes. These areas will be stabilized as described in plat note #13. Lots 104 and 105 will require engineered footings for the homes as required by the Geotechnical Engineering Report for the Rodman Property, dated May 22, 2001. The rolling terrain varies from 488 feet at the southwest corner of the property to 457 feet in the sink hole floor at proposed Open Space 'B'. The parcel is mostly open fields with a tree line located in the east central portion of the parcel associated in a depression. Based on FEMA FIRM Map 471650426G, no portion of this phase is within a special flood hazard area.

Adjacent or Area Uses

The site is surrounded by Residential-20 zoned property containing One-Family Detached Dwellings in the Bay Point Estates and Baywood Pointe, Ph. 3, Sec. 2 subdivisions. The future Baywood Pointe 4B will be located to the north and east.

Lot Sizes and Layout

The Final Plat is consistent with the Preliminary Plat approved in March 2016 (File# 1-1288-15B). Lots range from between 20,000 square feet and 32,260 square feet.

Rights-of-Way/Streets/Roads

The Final Plat extends Summerstar Circle (50 foot wide right-of-way) and creates Sundown Circle (40 foot wide right-of-way). These streets will become public rights-of-way once accepted by the City of Gallatin. A temporary cul de sac will be required of the east extension of Summerstar Circle.

Signing

This Final Plat shows no signage for Phase 4 of Baywood Pointe.

Open Space and Bufferyard

The Final Plat includes two (2) open space tracts. Open Space 'A' (0.11± acres) is located with a landscape island at the end of Sundown Circle and Open Space 'B' (1.41± acres) is east of Lot 103. Open Space 'B' is comprised of a large detention pond which is also a sinkhole. Phase 4A is located internal to Baywood Pointe development and bufferyards are not required

Easements (P.U.D.E.'s)

All lots will include 20 foot wide P.U.D.E's along the front property lines, and 10 foot wide P.U.D.E.'s along the sides and rear property lines unless otherwise noted. Lots 95-98 require a 15 foot wide rear Public Utility and Drainage Easement for the ditch section. Lots 94 and 95 show a 62 foot wide P.U.D.E. adjacent to the western property lines and Lot 91 shows a 80 foot wide P.U.D.E. adjacent to the northern property line which provides a drainage detention area. A sediment trap is located within the large Public Utility and Drainage Easement. All easements shall be considered "Public" in accordance with the City of Gallatin Subdivision Regulations.

Stormwater/Detention Pond

Construction plans have been reviewed and approved by the Engineering Division.

The undulating nature of topography allows for the natural depression areas to function as detention basins. Stormwater runoff will be conveyed to drainage structures in the streets and routed to several basins including within the large P.U.D.E. and Open Space 'B', and then discharged through piped system through the Bay Pointe Estates subdivision.

Sureties

The applicant shall submit a subdivision surety, in an amount to be determined by the Engineering Division, to the Planning Department prior to recording of the Final Plat.

Engineering Division Comments

The Engineering Division reviewed and commented on the Final Plat. The applicant shall amend the Final Plat as indicated below:

1. A Storm Water Maintenance Agreement will need to be signed, recorded and referenced for final approval.
2. An as-built survey will be required prior to final street acceptance.
3. Submit a street signage check in the amount determined by the Engineering Division prior to the recording of the final plat.
4. Submit a subdivision surety in the amount determined by the Engineering Division, to the Planning Department, prior to the recording of the final plat.
5. Add the proposed property corner symbols.
6. Check the rear property line of Lot 92. It appears to be missing the lot distance.
7. Add a temporary turn-a-round at the end of Summerstar Circle with a minimum radius of 48' or hammerhead.
8. Add the updated drainage structures as per the approved grading and drainage plan.
9. Dimension the 10' P.U.D.E. on Lot 103 with distances and/or bearings to tie down the location.
10. Increase the rear 10' P.U.D.E. on Lots 98, 99 and 102 to a rear 15' P.U.D.E.
11. Remove the Fairway Farms reference on the Certificate of Common Areas Dedication.

Other Departmental Comments

Other City Departments reviewed and commented on the Final Plat. Most of the Other Departmental Comments have been satisfied; however the applicant shall be aware of the following comment:

1. Water & sanitary sewer installations must be installed to the satisfaction of Gallatin Public Utilities.

FINDINGS:

1. The Final Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The Final Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
3. The Final Plat is consistent with the purpose and intent of the Residential-20 (R20) Zoning District and substantially consistent with the previously approved Preliminary Plat for Baywood Pointe, Phase 4 (1-1288-15B).
4. The Final Plat is consistent with Tennessee Code Annotated, Section 13-3-403, Section 13-4-303 and 13-4-304.
5. The Final Plat complies with the requirements of the subdivision regulations as described in Section 2-105, Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2016-116, a Final Plat for Baywood Pointe, Phase 4A, consisting of a three (3) sheet plat, prepared by Bruce Rainey and Associates of Hendersonville TN, with job number 150115-4A, dated July 14, 2016, with a most recent revision date of October 11, 2016, with the following conditions:

1. Revise Note 1 on Sheet 1 to state ...dedicate 2 rights-of-way. Remove the word "of" as is currently shown.
2. Label the width of the P.U.D.E.s, where the sediment trap is located, behind Lots 91, 94, and 95.
3. Remove Note 11 regarding the TVA Easement since it is not in Section 4A.
4. Revise Note 7 and 8 to state 20' 'wide' and 10' 'wide' Public Utility and Drainage Easement.
5. Submit Offers of Irrevocable Dedication.
6. Submit copy of Restrictive Covenants.
7. A Storm Water Maintenance Agreement will need to be signed, recorded and referenced for final approval plat recording.
8. An as-built survey will be required prior to final street acceptance.
9. Submit a street signage check in the amount determined by the Engineering Division prior to the recording of the final plat.
10. Submit a subdivision surety in the amount determined by the Engineering Division, to the Planning Department, prior to the recording of the final plat.

11. Add the proposed property corner symbols.
12. Add the lot distance for the rear property line of Lot 92.
13. Add a temporary turn-a-round easement at the east end of Summerstar Circle with a minimum radius of 48' or hammerhead.
14. Add the updated drainage structures per the approved grading and drainage plan.
15. Dimension the 10' P.U.D.E. at the southeast portion of Lot 103 with distances and/or bearings to tie down the location.
16. Increase the width of the rear 10' P.U.D.E. on Lots 98, 99 and 102 to a 15' wide P.U.D.E.
17. Remove the Fairway Farms reference on the Certificate of Common Areas Dedication.
18. Submit three (3) corrected, folded copies of the Preliminary Plat, including one (1) full size and two (2) half size copies, to the Planning Department.
19. Submit three (3) corrected, folded copies of the Final Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

Attachment 2-1 Location Map for Baywood Pointe, Phase 4A

Attachment 2-2 Final Plat for Baywood Pointe, Phase 4A (PC File 1-2589-16C)

Attachment 2-3 Preliminary Plat for Baywood Pointe, Phase 4 (PC File 1-1288-15B)

I:\SUBDIVISIONS\Major Subdivisions\Baywood Pointe, Ph. 4A - (1-2589-16C)\Item 2 - Final Plat DB

**BAYWOOD POINTE, PHASE 4A
FINAL PLAT
1-2589-16C**

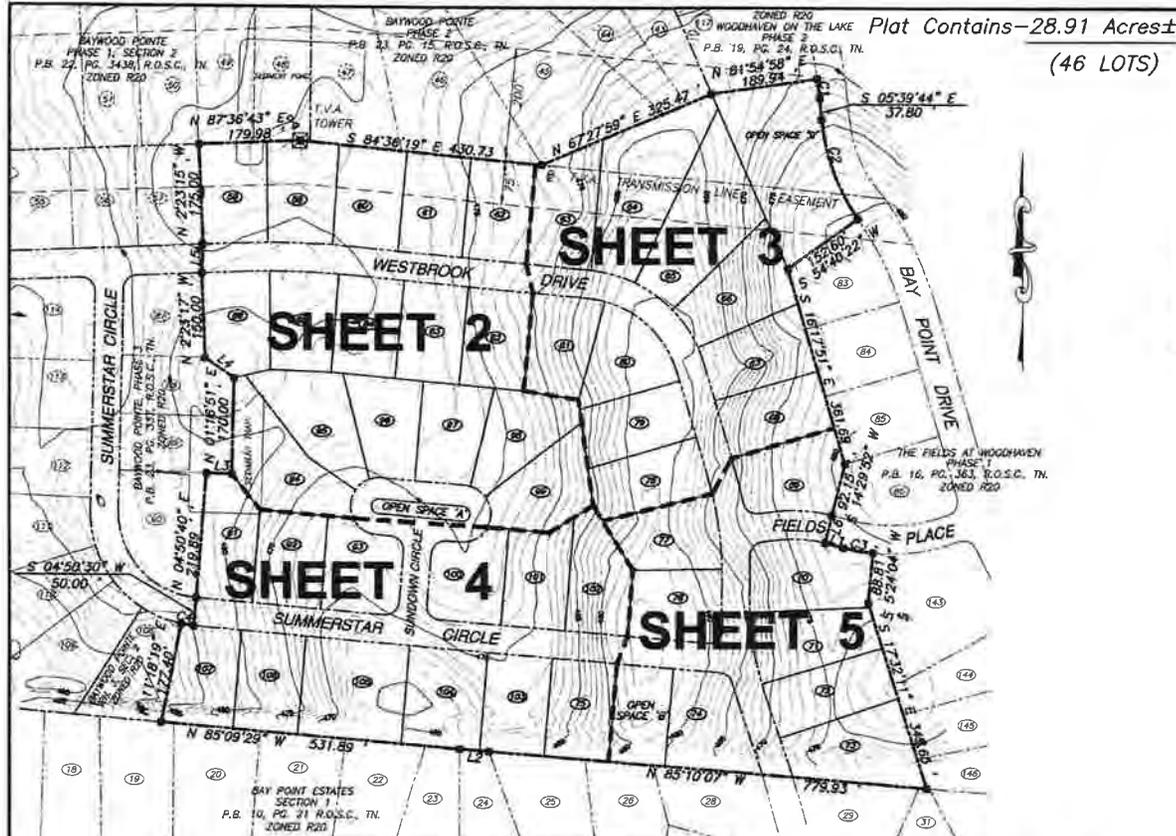
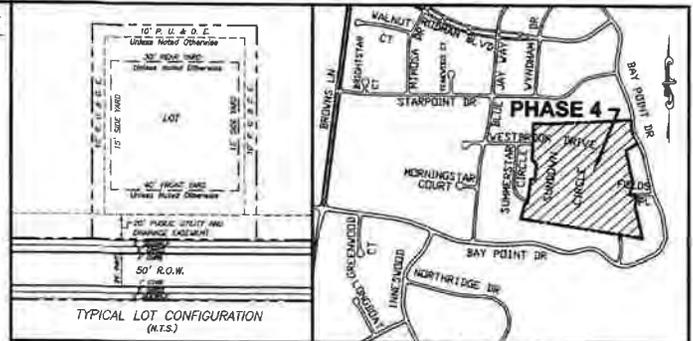


**Tax Map 136//012.02
Zoned: Residential 20**



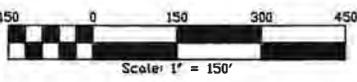
ATTACHMENT 2-1

Plat Contains—28.91 Acres±
(46 LOTS)



- NOTES:
- THE PURPOSE OF THIS PLAT IS TO CREATE 46 ONE-FAMILY DETACHED DWELLING LOTS.
 - NORTH BASED ON DEED OF RECORD IN R.B. 762, PG. 769, R.O.S.C., TN.
 - PROPERTY SHOWN IS PARCEL 12.02 ON SUMNER COUNTY PROPERTY MAP 136.
 - ACCORDING TO F.I.R.M. COMMUNITY PANEL #47165CD426C, DATED 4/17/12, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA, ZONE X.
 - BEING A PORTION OF THE SAME PROPERTY CONVEYED TO BAYWOOD POINTE PARTNERSHIP, A TENNESSEE GENERAL PARTNERSHIP, BY DEED OF RECORD IN R.B. 4155, PG. 385, R.O.S.C., TN.
 - IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
 - THERE IS A 20' PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG THE FRONT OF EACH LOT.
 - THERE IS A 10' PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG EACH SIDE AND REAR LOT LINE.
 - PROPERTY IS ZONED R20.
 - TYPICAL ROADWAY TO BE 50' R.O.W. WITH 2' PAVEMENT, 1' CURB, 5' GRASS STRIP AND 5' CONC. SIDEWALK ON EACH SIDE.
 - NO CONSTRUCTION PERMITTED IN T.V.A. EASEMENT.
 - THE DIMENSIONS ON PAVING, SEWER LINES, SIDEWALKS, ETC. REPRESENT DESIGNED IMPROVEMENTS, NOT AS-BUILT IMPROVEMENTS.
 - LOT(S) 76, 104 AND 105 WILL REQUIRE AN ENGINEERED FOOTING AS REQUIRED BY THE GEOTECHNICAL ENGINEERING REPORT FOR THE ROOMAN PROPERTY, DATE MAY 22, 2001. THIS REPORT CONTAINS THE FOOTING DESIGN REQUIREMENTS.
 - [100] INDICATES STREET ADDRESS.
 - OPEN SPACE TO BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION.
 - EXISTING USE : R20 UNDEVELOPED PROPOSED : R20 DEVELOPED IN 46 LOTS
 - ALL FIRE HYDRANTS ARE TO BE WITHIN 10 FEET OF THE ROADWAY WITH LARGE OUTLET FACING THE ROAD.

NUMBER	BEARING	ARC RADIUS	ARC LENGTH	CHORD	LONG. INCH	TANGENT	CHORD BEARING
C1	02°25'18"	804.36	24.00	18.99	72.00	S 08°25'25" E	
C2	13°17'43"	161.37	186.96	184.93	88.83	S 20°28'19" W	
C3	08°52'41"	343.18	54.97	52.96	272.06	S 80°04'20" E	
C4	05°22'39"	200.60	24.82	24.81	11.62	S 81°33'08" E	
C5	07°46'59"	1498.13	203.10	203.84	101.70	S 88°26'32" E	
C6	56°18'25"	237.38	275.83	258.78	104.98	S 09°27'01" E	
C7	04°37'20"	436.08	35.02	35.00	272.57	S 13°49'04" E	
C8	85°39'44"	28.00	12.38	12.39	23.18	S 84°10'21" E	
C9	21°27'00"	270.77	101.82	100.78	87.38	S 86°16'47" E	
C10	21°26'24"	220.77	82.84	82.16	41.81	N 86°16'45" W	
C11	85°39'44"	28.00	12.38	12.39	23.18	S 84°10'21" E	
C12	04°37'20"	436.08	35.02	35.00	272.57	S 13°49'04" E	
C13	50°48'24"	519.16	188.21	187.82	95.47	S 08°07'23" E	
C14	03°11'26"	598.18	25.09	25.09	17.23	N 88°46'06" W	
C15	10°28'13"	28.00	12.38	12.39	23.18	N 89°20'27" E	
C16	80°10'13"	28.00	12.38	12.39	23.18	S 84°20'43" W	
C17	80°50'09"	28.00	12.38	12.39	23.18	N 40°09'30" W	
C18	180°00'00"	50.00	157.08	155.00	0.00	N 04°30'30" E	
C19	180°00'00"	50.00	157.08	155.00	0.00	S 04°30'30" W	
C20	80°50'09"	28.00	12.38	12.39	23.18	S 40°09'30" W	
C21	80°50'09"	28.00	12.38	12.39	23.18	S 40°09'30" W	
C22	89°39'57"	28.00	12.38	12.39	23.18	S 40°09'30" W	
C23	180°00'00"	20.00	44.57	44.57	29.72	N 44°54'11" E	
C24	67°18'15"	588.18	72.56	72.51	36.13	N 07°21'46" E	
C25	18°35'15"	588.08	192.13	189.30	85.21	N 07°00'13" W	
C26	180°18'25"	187.36	216.22	203.84	123.94	N 50°27'03" W	
C27	07°46'59"	1445.12	196.30	196.15	98.30	N 89°29'54" W	



LEGEND OF SYMBOLS USED

- MONUMENT
- SANITARY SEWER MANHOLE
- SANITARY SEWER LINE
- 10" W WATER LINE
- FIRE HYDRANT
- LOT LINE
- RIGHT OF WAY
- EASEMENT LINE
- YARD LINE



BAYWOOD POINTE PHASE 4 PRELIMINARY PLAT

PROPERTY LOCATED IN THE 4th CIVIL DISTRICT
OF SUMNER COUNTY, TENNESSEE
OFF OF BAY POINT DRIVE

DATE : OCTOBER 3, 2006 REV. : 11/08/06
SCALE : 1" = 150' REV. : 12/27/06
REV. : 01/09/07
REV. : 10/27/15

OWNER/DEVELOPER :
BAYWOOD POINTE PARTNERSHIP,
A TENNESSEE GENERAL PARTNERSHIP
120 DONELSON PIKE
NASHVILLE, TN 37214

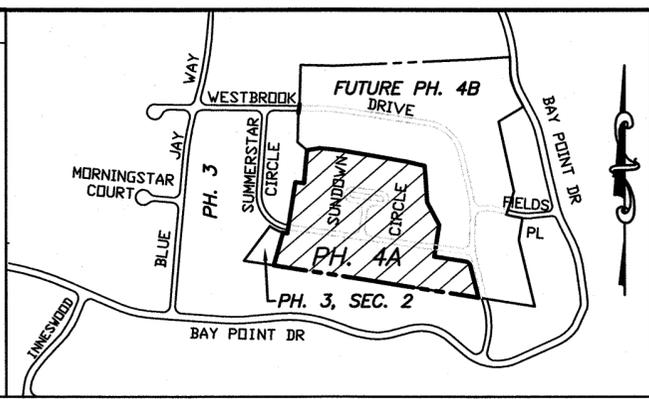
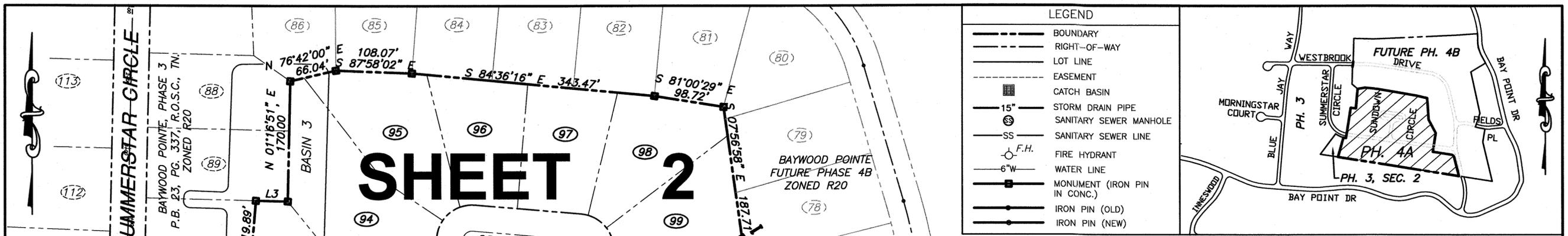


APPROVED BY THE GALLATIN MUNICIPAL REGIONAL PLANNING COMMISSION, WITH SUCH EXCEPTIONS OR CONDITIONS AS ARE INDICATED IN THE MINUTES OF THE COMMISSION ARE

THIS PRELIMINARY PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THIS SUBDIVISION IN FINAL FORM AND DOES NOT CONSTITUTE APPROVAL FOR RECORDING OF THE PLAT.

ATTACHMENT 2-3

1-1288-15B



- NOTES:
- THE PURPOSE OF THIS PLAT IS TO CREATE 17 ONE-FAMILY DETACHED DWELLING LOTS, 2 OPEN SPACE AREAS, AND DEDICATE OF 2 RIGHTS-OF-WAY.
 - NORTH BASED ON DEED OF RECORD IN R.B. 762, PG. 769, R.O.S.C., TN.
 - PROPERTY SHOWN IS PARCEL 12.02 ON SUMNER COUNTY PROPERTY MAP 136.
 - ACCORDING TO F.I.R.M. COMMUNITY PANEL #47165C0426G, DATED 4/17/12, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA, ZONE X.
 - BEING A PORTION OF THE SAME PROPERTY CONVEYED TO BAYWOOD POINTE PARTNERSHIP, A TENNESSEE GENERAL PARTNERSHIP, BY DEED OF RECORD IN R.B. 4155, PG. 385, R.O.S.C., TN.
 - IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED. ■ INDICATES IRON PIN SET IN CONCRETE
 - THERE IS A 20' PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG THE FRONT OF EACH LOT.
 - THERE IS A 10' PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG EACH SIDE AND REAR LOT LINE UNLESS OTHERWISE SHOWN.
 - PROPERTY IS ZONED R20.
 - TYPICAL ROADWAY TO BE 50' R.O.W. WITH 26' PAVEMENT, 1' CURB, 5' GRASS STRIP AND 5' CONC. SIDEWALK ON EACH SIDE.
 - NO CONSTRUCTION PERMITTED IN TVA EASEMENT.
 - THE DIMENSIONS ON PAVING, SEWER LINES, SIDEWALKS, ETC. REPRESENT DESIGNED IMPROVEMENTS, NOT AS-BUILT IMPROVEMENTS.
 - LOT(S) 104 AND 105 WILL REQUIRE AN ENGINEERED FOOTING AS REQUIRED BY THE GEOTECHNICAL ENGINEERING REPORT FOR THE RODMAN PROPERTY, DATE MAY 22, 2001. THIS REPORT CONTAINS THE FOOTING DESIGN REQUIREMENTS.
 - 100 INDICATES STREET ADDRESS.
 - OPEN SPACE TO BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION.
 - EXISTING USE : R20 UNDEVELOPED PROPOSED : R20 ONE-FAMILY DETACHED LOTS
 - ALL FIRE HYDRANTS ARE TO BE WITHIN 10 FEET OF THE ROADWAY WITH LARGE OUTLET FACING THE ROAD.

SHEET 2

SHEET 3

Plat Contains: 11.58 Acres±
(17 LOTS)

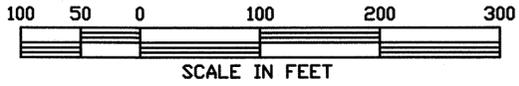
FINAL PLAT
BAYWOOD POINTE
PHASE 4A

PROPERTY LOCATED IN THE 4th CIVIL DISTRICT
OF SUMNER COUNTY, TENNESSEE
OFF OF BAY POINT DRIVE

DATE : JULY 14, 2016 REV: 10-11-16

SCALE : 1" = 100'

OWNER/DEVELOPER :
BAYWOOD POINTE PARTNERSHIP,
A TENNESSEE GENERAL PARTNERSHIP,
120 DONELSON PIKE
NASHVILLE, TN 37214



CERTIFICATE OF COMMON AREAS DEDICATION

Baywood Pointe Partnership in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in Fairway Farms for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in Baywood Pointe as more fully provided in Article Declaration of Covenants and Restrictions, applicable to Fairway Farms, dated _____, and recorded with this plat. Said Article _____ is hereby incorporated and made part of this plat.

NUMBER	DIRECTION	DISTANCE
L2	N 85°07'39" W	51.57'
L3	S 88°43'01" E	45.10'

NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT	CHORD DIRECTION
C4	06°27'39"	200.60	22.62	22.61	11.62	S 81°55'08" E
C15	03°31'58"	596.16	35.09	35.09	17.55	N 16°46'06" W
C16	70°09'15"	25.00	30.61	28.73	17.56	N 50°04'49" W
C17	90°00'03"	25.00	37.67	34.21	23.45	S 44°26'47" W
C18	90°00'00"	25.00	39.27	35.36	25.00	N 40°09'30" W
C19	180°00'00"	50.00	157.08	100.00	0.00	N 04°50'30" E
C20	180°00'00"	50.00	157.08	100.00	0.00	S 04°50'30" W
C21	90°00'00"	25.00	39.27	35.36	25.00	S 49°50'30" W
C22	89°59'57"	25.00	39.27	35.36	25.00	S 40°09'28" E

DATE : _____ OWNER : _____

CERTIFICATE OF OWNERSHIP & DEDICATION

I (We) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in book number 4155, page 385 R.O.S.C., TN., and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.

DATE : _____ OWNER : Baywood Pointe Partnership

TITLE : _____

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown hereon, to the specifications in these regulations. I hereby certify that this is a category 1 survey & the ratio of precision of the unadjusted survey is 1:10,000.



DATE : _____

REGISTERED LAND SURVEYOR TENNESSEE

CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS

I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled Baywood Pointe, Phase 4A have been installed in accordance with current local and state government requirements, or a sufficient surety or cash has been filed which will guarantee said installation.

WATER SYSTEM: _____ Date Superintendent of Public Utilities, Gallatin, Tennessee

SEWER SYSTEM: _____ Date Superintendent of Public Utilities, Gallatin, Tennessee

CERTIFICATE OF THE APPROVAL OR SURETY FOR COMPLETION OF ROADS

I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance surety has been posted with the Planning Commission to assure completion of all required improvements in case of default.

DATE : _____

CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register.

DATE: _____ Secretary, Planning Commission

DATE: _____ Chairman's Initials

RECORD

Recorded _____, 2016 in Book _____, Page _____ of the Register's Office, Sumner Co., TN.



SHEET 1 OF 3
JOB NO. 150115-4A

FINAL PLAT BAYWOOD POINTE PHASE 4A

PROPERTY LOCATED IN THE 4th CIVIL DISTRICT
OF SUMNER COUNTY, TENNESSEE
OFF OF BAY POINT DRIVE

DATE : JULY 14, 2016 REV: 10-11-16

SCALE : 1" = 50'

OWNER/DEVELOPER :
BAYWOOD POINTE PARTNERSHIP,
A TENNESSEE GENERAL PARTNERSHIP
120 DONELSON PIKE
NASHVILLE, TN 37214

CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS

I hereby certify that the utility systems outlined or indicated on the final subdivision plat entitled Baywood Pointe, Phase 4A have been installed in accordance with current local and state government requirements, or a sufficient surety or cash has been filed which will guarantee said installation.

WATER SYSTEM: _____ Date _____ Superintendent of Public Utilities, Gallatin, Tennessee

SEWER SYSTEM: _____ Date _____ Superintendent of Public Utilities, Gallatin, Tennessee

CERTIFICATE OF THE APPROVAL OR SURETY FOR COMPLETION OF ROADS

I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance surety has been posted with the Planning Commission to assure completion of all required improvements in case of default.

DATE : _____

CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations with the exception of such variances, if any as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the office of the County Register.

DATE: _____ Secretary, Planning Commission

DATE: _____ Chairman's Initials

CERTIFICATE OF COMMON AREAS DEDICATION

Baywood Pointe Partnership in recording this plat has designated certain areas of land shown hereon as common areas intended for use by the homeowners in Fairway Farms for recreation and related activities. The above described areas are not dedicated hereby for use by the general public, but are dedicated to the common use and enjoyment of the homeowners in Baywood Pointe as more fully provided in Article _____, Declaration of Covenants and Restrictions, applicable to Fairway Farms, dated _____, and recorded with this plat. Said Article _____, is hereby incorporated and made part of this plat.

DATE : _____ OWNER : _____

CERTIFICATE OF OWNERSHIP & DEDICATION

I (We) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in book number 4155, page 385 R.O.S.C., TN., and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.

DATE : _____ OWNER : Baywood Pointe Partnership

TITLE : _____

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown hereon, to the specifications in these regulations.

I hereby certify that this is a category 1 survey & the ratio of precision of the unadjusted survey is 1:10,000.

DATE : _____

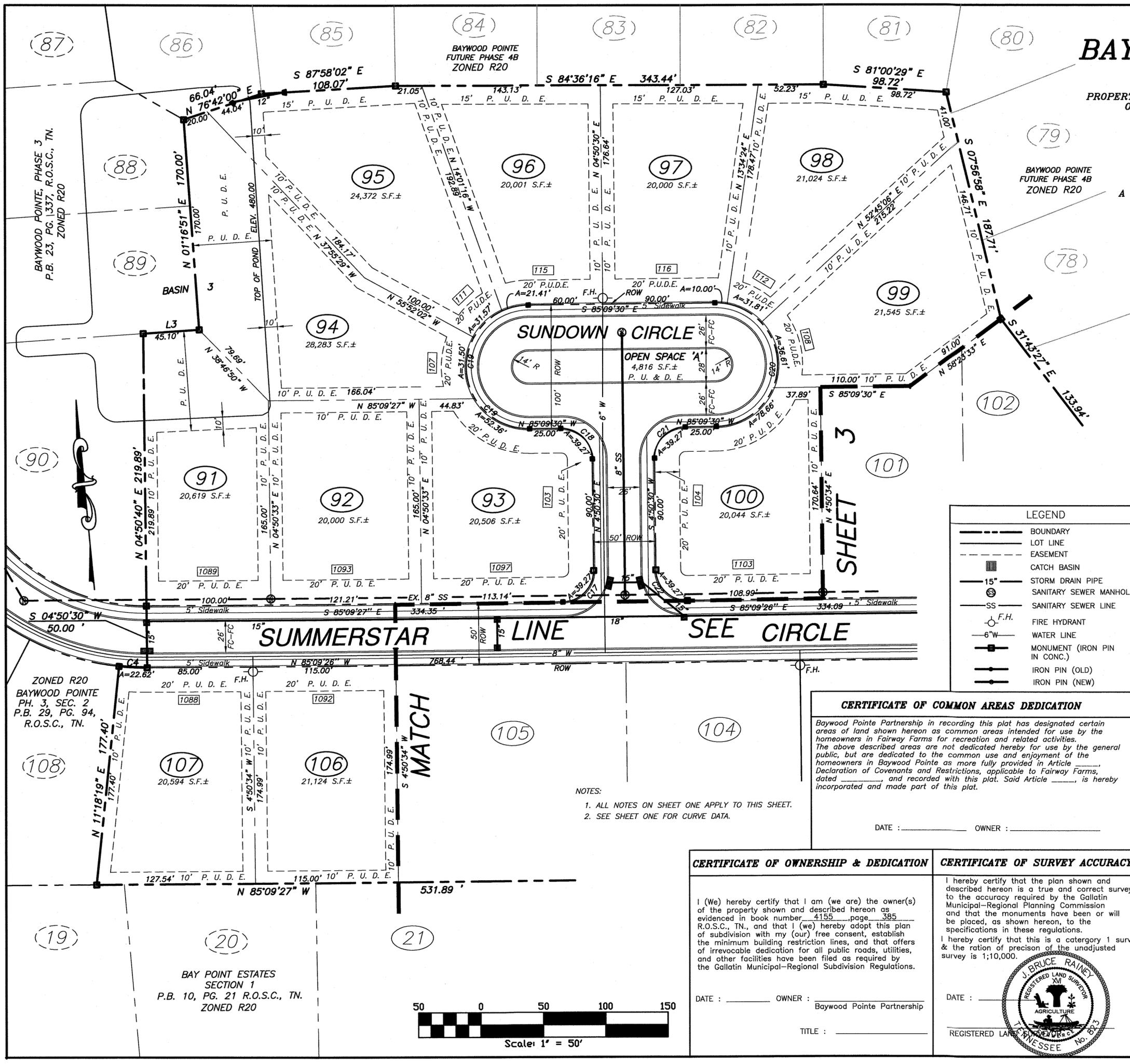
REGISTERED LAND SURVEYOR
J. BRUCE RAINEY
AGRICULTURE
TENNESSEE No. 873

RECORD

Recorded _____, 2016
in Book _____, Page _____
of the Register's Office, Sumner Co., TN.

Bruce Rainey
AND ASSOCIATES
LAND DEVELOPMENT CONSULTANTS
116 MAPLE ROW BLVD.
HENDERSOINVILLE, TN. 37075
PHONE 615-822-0012
FAX 615-824-1487

SHEET 2 OF 3
JOB NO. 150115-4A

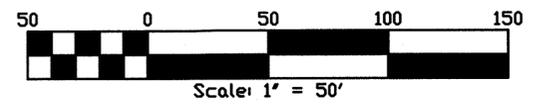


NOTES:
1. ALL NOTES ON SHEET ONE APPLY TO THIS SHEET.
2. SEE SHEET ONE FOR CURVE DATA.

BAYWOOD POINTE, PHASE 3
P.B. 23, PG. 1337, R.O.S.C., TN.
ZONED R20

ZONED R20
BAYWOOD POINTE
PH. 3, SEC. 2
P.B. 29, PG. 94,
R.O.S.C., TN.

BAY POINT ESTATES
SECTION 1
P.B. 10, PG. 21 R.O.S.C., TN.
ZONED R20



ITEM 3

GMRPC Resolution No. 2016-117

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING AN AMENDMENT TO AN APPROVED SITE PLAN TO CONSTRUCT A 6,060 SQUARE FOOT OPERATIONS CENTER AND ASSOCIATED PARKING AND A 3,840 SQUARE FEET ADDITION TO THE EXISTING SHOP BUILDING, ON A 98.16 (+/-) ACRE PARCEL, LOCATED SOUTH OF PEACH VALLEY ROAD AND WEST OF CHEROKEE ROAD AT 1490 CHEROKEE ROAD. (FILE# 8-2591-16)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION approved a site plan for Puryear Farm Nursery, at its regular meeting on August 23, 1999, and

WHEREAS, THE CITY OF GALLATIN REGIONAL-MUNICIPAL BOARD OF ZONING APPEALS approved a Conditional Use Permit for Puryear Farm Nursery, at its regular meeting on August 23, 1999, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the amendment to the approved Site Plan submitted by the applicant, John A. Puryear, at its regular meeting on October 24, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-3-413, 13-4-310, and G.Z.O., §15.03.020:

1. The Amended Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance.
2. The Amended Site Plan is consistent with the purpose and intent of the Residential 40 (R-40) Zoning District and complies with the use restrictions, minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning District.
3. The Amended Site Plan is consistent with the approved Conditional Use Permit (File# B-24-99R) for a Plant Nursery use on the property.
4. Once completed, the Amended Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Access Management Regulations (G.Z.O., Section 13.06), Supplementary District Regulations

(G.Z.O., Article 12.00), Loading and Parking Regulations (G.Z.O., Article 11.00), Stormwater Regulations (Gallatin Municipal Code, Chapter 18), Flood Prevention and Protection Regulations (G.Z.O., Section 10.03) and the Landscaping Requirements (Section 13.05).

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Amended Site Plan for Puryear Farms Nursery Operations Center, consisting of four (4) sheets, prepared by John A. Puryear of Gallatin, TN, date stamped October 13, 2016, with the following conditions of approval:

1. The required handicapped parking space shall be paved with a suitable hard surface and marked to code.
2. Submit three (3) corrected and folded copies of the Site Plan to the Planning Department (One full size and two half-sized plans).

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 10/24/2016

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 3

PLANNING DEPARTMENT STAFF REPORT

Site Plan for Puryear Farms Nursery

(File# 8-2591-16)

South of Peach Valley Road and West of Cherokee Road

Date: October 24, 2016

REQUEST: APPLICANT REQUESTS APPROVAL OF A SITE PLAN TO CONSTRUCT A 6,060 SQUARE FOOT OPERATIONS CENTER WITH ASSOCIATED PARKING AND A 3,840 SQUARE FOOT ADDITION TO THE EXISTING SHOP BUILDING ON A 98.16 (+/-) ACRE PARCEL, LOCATED SOUTH OF PEACH VALLEY ROAD AND WEST OF CHEROKEE ROAD AT 1490 CHEROKEE ROAD.

OWNER: WILLIAM P. PURYEAR
APPLICANT: PURYEAR FARMS (JOHN A. PURYEAR)
STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2016-117
STAFF CONTACT: KEVIN CHASTINE
PLANNING COMMISSION DATE: OCTOBER 24, 2016

PROPERTY OVERVIEW: The applicant requests approval of a Site Plan to construct a 6,060 square foot operations center with associated parking and a 3,840 square foot addition to the existing shop building, on a 98.16 (+/-) acre parcel, located south of Peach Valley Road and West of Cherokee Road at 1490 Cherokee Road. The property is zoned Residential 40 (R-40) and was approved for a Plant Nursery with a conditional use permit. (Attachment 3-1)

CASE BACKGROUND:

Previous Approvals

On August 23, 1999, the Regional Board of Zoning Appeals approved a Conditional Use Permit for the Plant Nursery Use on the 98.16 (+/-) acre parcel (File# B-24-99R) (Attachment 3-2).

On August 23, 1999, the Planning Commission approved a Site Plan for Puryear Farms (File# 8-45-99) (Attachment 3-3).

DISCUSSION:

Proposed Development

The applicant requests approval of a Site Plan to construct a 6,060 square foot operations center and associated parking and a 3,840 square foot addition to the existing shop building, on a 98.16 (+/-) acre parcel, located south of Peach Valley Road and West of Cherokee Road at 1490 Cherokee Road. The property is zoned Residential 40 (R-40) and was approved for a Plant Nursery with a conditional use permit on August 23, 1999 (File# B-24-99R).

Additionally, the applicant is requesting approval of an alternative architecture, under Gallatin Zoning Ordinance Section 13.08.010(D), to use tan metal siding on the majority of the building to maintain a consistent appearance among all the buildings on site.

The site is currently served by a septic system. An expansion of the current septic system has been approved by the Tennessee Department of Environment and Conservation. The septic system expansion includes a 1,500 gallon tank and a 1,500 gallon pump tank.

Natural Features

The parcel is over 98 acres in size and has two (2) high points of topography (619' and 609') located within two (2) large stands of trees on the southern portion of the parcel. The lowest point of elevation (457') is located along the banks of the Cumberland River, which runs along the south and east sides of the parcel. Based on FEMA FIRM Panels 47165C0429G, no portion of the development portion of the site is located within a special flood hazard area.

Adjacent Areas & Uses

To the north and west is vacant property, owned by Dorothy Mayberry McDonald, and zoned Residential 40 (R-40). To the south is the remaining portion of Tax Map 148 Parcel 114.00, owned by William P. Puryear, and zoned R-40. To the east is Tax Map 148 Parcel 114.01 (2.00 (+/-) acres) that contains a single family home, zoned R-40.

Buildings and Architectural Elevations

The applicant is requesting approval of an alternative architectural plan for both the operations center and the shop addition, per Section 13.08.010.D, GZO. The proposed building elevations do not meet the 65 percent masonry requirement found in Section 13.08 of the Gallatin Zoning Ordinance. Section 13.08.010(A) of the Gallatin Zoning Ordinance states that split face block is not considered stone or brick materials for the purpose of meeting the 65 percent masonry requirement. The reason for requesting the alternative architecture is so that the new buildings with tan metal siding will match the appearance of the other buildings on site.

Operations Center

The 6,060 square foot operation center is rectangular in shape, with a front gable roof. All four (4) elevations have the same architectural treatment, which consists of tan metal siding that matches the existing buildings on site. There is a two (2) foot band of stacked stone that wraps around bottom of the south and east elevations. The building has a ridgeline height of 25 feet and five (5) inches. The 3/12 pitched gable roof consists of a forest green standing seam metal roof, which matches the existing buildings on site. The primary (visitor) entrance is located on the south elevation and is comprised of a central double door that is surrounded by stacked stone. The central employee entrance is flanked to either side by a pair of fixed paned windows. The second story (south elevation) contains four (4) single fixed pane windows. The east elevation will face the entrance road and an existing parking area. This elevation contains five (5) single fixed pane windows on the first floor and a double side emergency entrance. The second floor contains 10 single fixed pane windows that are approximately two (2) feet by four (4) feet. The west elevation contains three (3) banks of three (3) fixed pane windows in the front portion of the elevation. The rear portion of the elevation contains an emergency escape stairway for the

second floor and a rear door on the first floor. Like the east elevation there are nine (9) single fixed pane windows on the second floor that are approximately two (2) feet by four (4) feet. The north elevation contains a roll-up garage door, that will permit equipment to be brought into the training room, and no windows. Additionally, the HVAC units are located adjacent to the north elevation. The units are screened by the five (5) existing Bradford Pear trees and ten (10) existing White Pines.

Shop Addition

The 3,840 square foot shop addition is rectangular in shape with a side gabled roof. All four (4) elevations have the same architectural treatment, which consists of tan metal siding and matches the existing shop building and the other buildings on site. The addition will match the height and depth of the existing shop and other buildings on site.

The Planning Commission shall determine if the proposed alternative architectural materials meet the criteria for an alternative architectural plan as set forth in Section 13.08.010.D. Approving the amended site plan is considered approval of the alternative architecture.

Bufferyard and Landscaping

Per Table 13-05 of the Gallatin Zoning Ordinance, no bufferyards are required because the project site is Zoned Residential 40 (R-40) and is surrounded by R-40 zoned property. Although no bufferyard is required, there are 10 existing white pines (20 feet in height) planted on 15 foot triangular centers that will screen the majority of the new building from the property to the west. The landscape plan also includes four (4) willow oaks with one (1) planted at each corner of the parking area to the south of the operations center. In addition, the west property boundary includes a line of mature deciduous trees which provides an additional buffer.

Staff recommends the Planning Commission approve the landscape plan as submitted.

Parking

The required parking ratio for General Office use is one (1) space per 300 square feet of gross floor space (Table 11-01 of the Gallatin Zoning Ordinance). The proposed 6,060 square feet Operations Center building requires 20 parking spaces. There are currently 90 parking spaces to accommodate employees, manager vehicles, company vehicles, and clients. No additional parking is required for the site, but a new parking area is proposed south of the Operation Center that will provide 15 new parking spaces. This parking area is located adjacent to the main entrance of the Operations Center to allow convenient access for clients. The site will have a total of 105 parking spaces. The required handicapped parking space shall be paved with a suitable hard surface and marked to code.

Access

The Puryear Farms Nursery is accessed by an existing private gravel driveway that connects with Cherokee Road. The gravel drive varies in width from 16 to 18 feet. The private drive expands to provide several parking areas adjacent to the existing office buildings (Building A), the existing truck shed (Building 'G'), and the existing shop (Building 'D'). No improvements to the private gravel drive are proposed as part of this site plan.

Photometric Plan and Lighting Fixtures

No site lighting is proposed as part of this site plan so no photometric plan is required.

Signage

No new signage is proposed as part of this site plan. If new signage is proposed in the future, a sign permit application shall be submitted for review by the Planning Department Staff. No new signage may be installed prior to the Planning Department approving a sign permit.

Planning Department Comments

The Planning Department reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed all Planning Department comments, except those included as conditions of approval.

Engineering Division Comments

The Engineering Division reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed all Engineering Division comments, except those included as conditions of approval.

Findings:

1. The Amended Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance.
2. The Amended Site Plan is consistent with the purpose and intent of the Residential 40 (R-40) Zoning District and complies with the use restrictions, minimum bulk and height regulations, minimum dimensions, and setback requirements established in said Zoning District.
3. The Amended Site Plan is consistent with the approved Conditional Use Permit (File# B-24-99R) for a Plant Nursery use on the property.
4. Once completed, the Amended Site Plan will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Grading Standards (G.Z.O., Section 13.10), Access Management Regulations (G.Z.O., Section 13.06), Supplementary District Regulations

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2016-117, Amended Site Plan for Puryear Farms Nursery, consisting of four (4) sheets, prepared by John A. Puryear of Gallatin, TN, date stamped October 13, 2016, with the following conditions of approval:

1. The required handicapped parking space shall be paved with a suitable hard surface and marked to code.
2. Submit three (3) corrected and folded copies of the Site Plan to the Planning Department (One full size and two half-sized plans).

ATTACHMENTS

- | | |
|----------------|---|
| Attachment 3-1 | Location Map |
| Attachment 3-2 | Puryear Farms - Conditional Use Permit - (File# B-24-99R) |
| Attachment 3-3 | Puryear Farms – Site Plan - (File# 8-45-99) |
| Attachment 3-4 | Puryear Farms Nursery Operations Center – Amended Site Plan |

I:\ACTIVITIES & PROJECT TYPES\Site Plans (8) & FMDP's\PURYEAR FARMS NURSERY\PLANNING COMMISSION\Item 3 – Puryear Farms Nursery - Site Plan (PC File# 8-2591-16) KC

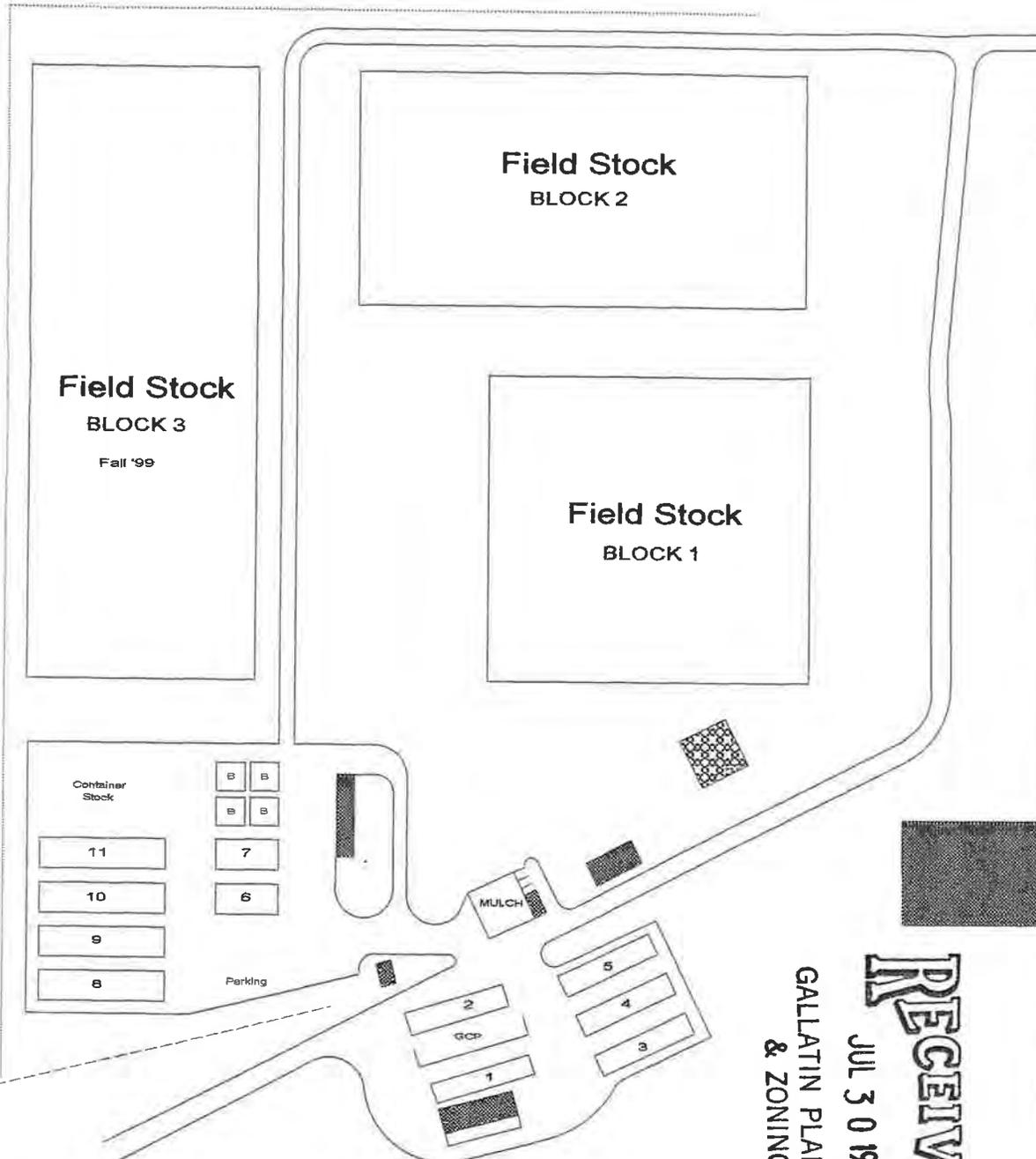


ATTACHMENT 3-1

Prepared By: Kevin Chastine, AICP
Prepared On: October 17, 2016

Location Map
Puryear Farms Nursery
Site Plan
PC File# 8-2591-16





Legend

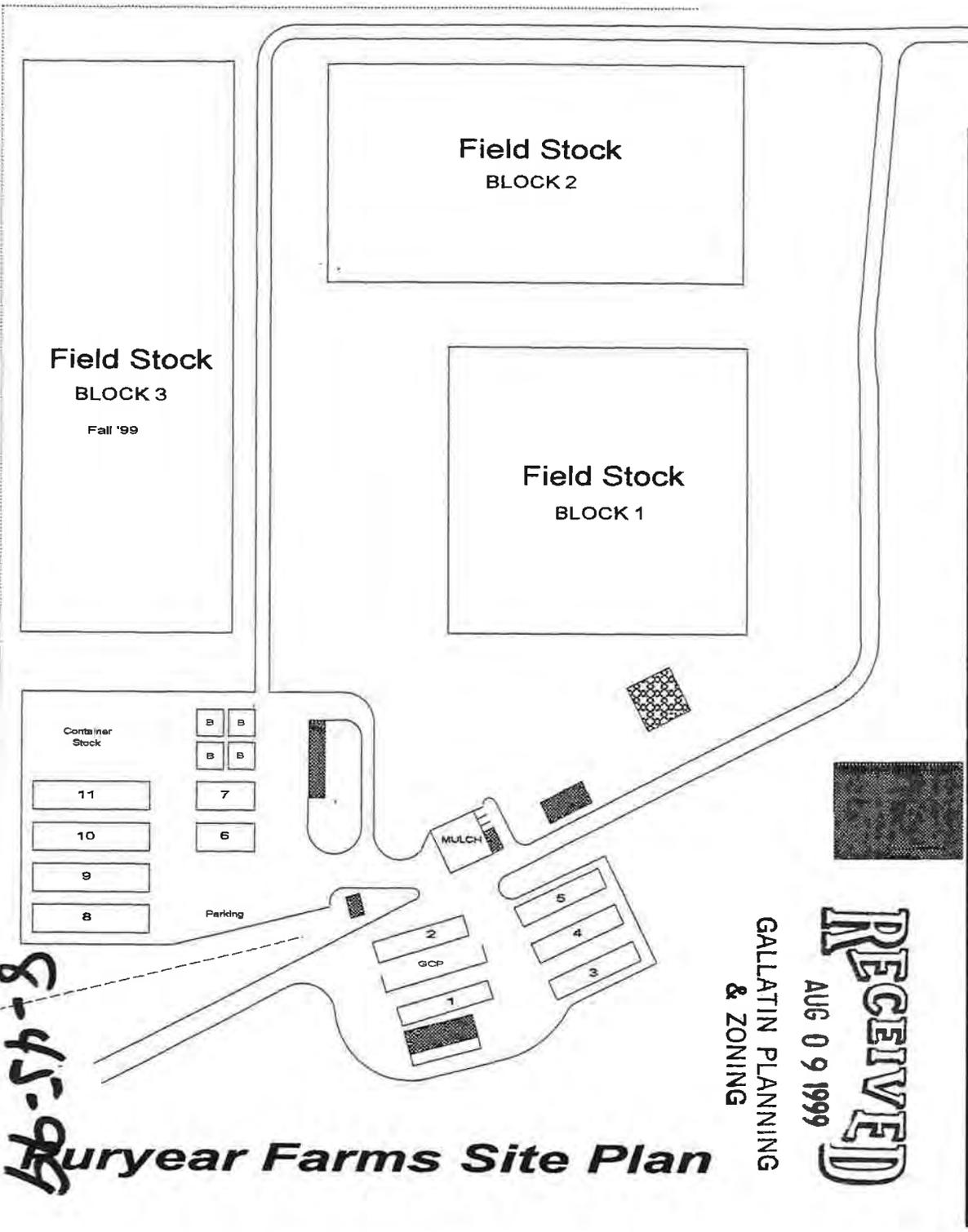
-  New 14'x60' office trailer used by staff
-  12'x18' Store room Former Office
-  40'x20' Equipment Pole barn
-  20'x80' Shop and Tool Storage
-  12'x20' Open air Potting Shed
-  Tobacco Barn. Used for materials storage such as Straw and fertilizer.
-  # Typical Greenhouse. Poly colored cold frame greenhouse
-  Detention pond

Puryear Farms Site Plan

GALLATIN PLANNING
& ZONING

RECEIVED
JUL 3 0 1999

ATTACHMENT 3-2



Legend

-  New 14'x60' office trailer used by staff
-  12'x18' Store room Former Office
-  40'x20' Equipment Pole barn
-  20'x80' Shop and Tool Storage
-  12'x20' Open air Potting Shed
-  Tobacco Barn. Used for materials storage such as Straw and fertilizer.
-  # Typical Greenhouse. Poly colored cold frame greenhouse
-  Detention pond

8-45-99

Turyear Farms Site Plan

GALLATIN PLANNING & ZONING

RECEIVED
AUG 09 1999

ATTACHMENT 3-3

Existing and proposed use of the property

This site plan does not propose a change to the existing use of the property. Puryear Farms is a wholesale nursery and landscaping company operating under a conditional use permit granted by the Gallatin Municiple Board of zoning appeals in August of 1999. (Case # 8-45-99)

Estate of
Dorothy Mayberry McDonald
R.B. 1915, P.G.709 R.O.S.C., TN
Map 148, Parcel 084.00, T.A.O.S.C., TN
Zoning R-40

Yard Requirements

For R40 low density district per section 6.03.020-B

Front yard= 50' setback
Side yard= 20' setback
Rear yard= 30'
minimum width=120'

Tax Map	148
Parcel	114
Acres	98.16
Zoning	R-40
Building S.F. (Ex)	14,813
Building S.F. (Pro)	24,713
Max Building Ht	25'

KEY	BUILDING	Description
A	Existing office	2,463 S.F. office trailer space
B	Equipment shed	1,000 S.F. Equipment shed. Three sided structure
C	Pump House	150 S.F. Brick structure mechanical pump house
D	Existing Shop building	4,480 S.F. Shop building
E	Future Shop Extension	3,840 S.F. future shop extension for dry storage
F	Existing truck shed "A"	3,360 S.F. three sided open structure truck shed
G	Existing truck shed "B"	3,360 S.F. three sided open structure truck shed
H	Operations center	6,060 S.F. Operations center building



Puryear Farms Nursery
Tax Map 148; Parcel 114

Floodplain Notes: A review of F.E.M.A. flood insurance rate map, community panel 47165C0429G, dated April 17th 2012, shows no part of this property to be within the 100 year flood plain.

Photometric notes: No photometric plan is provided as there is no intention to include any exterior building or parking lighting on the property beyond that of a single floodlamp over the employee entrance door which is set up on a motion sensor. Lamp aimed directly down to flooring surface at the base of the door for safety.

Bufferyard Requirements: This property is zoned R-40, as is the adjacent property owned by Jane McDonalds. No bufferyard is required between these adjoining properties as per Article 13 section 13.06 of the code.

Certificate of Compliance: All construction and use of the proposed facility to meet the applicable performance standards as set forth in the City of Gallatin zoning ordinance, section 13.02. This property received a conditional use permit from the MBZA on August 9th, 1999 to operate a nursery/landscape construction business on the premises.

Statement of financial responsibility: The owner of this property is responsible for all financial matters.

Percolation tests. A soil analysis perc test has been completed and a permit approved by teh Sumner County Health department for the construction of a subsurface sewage disposal system.

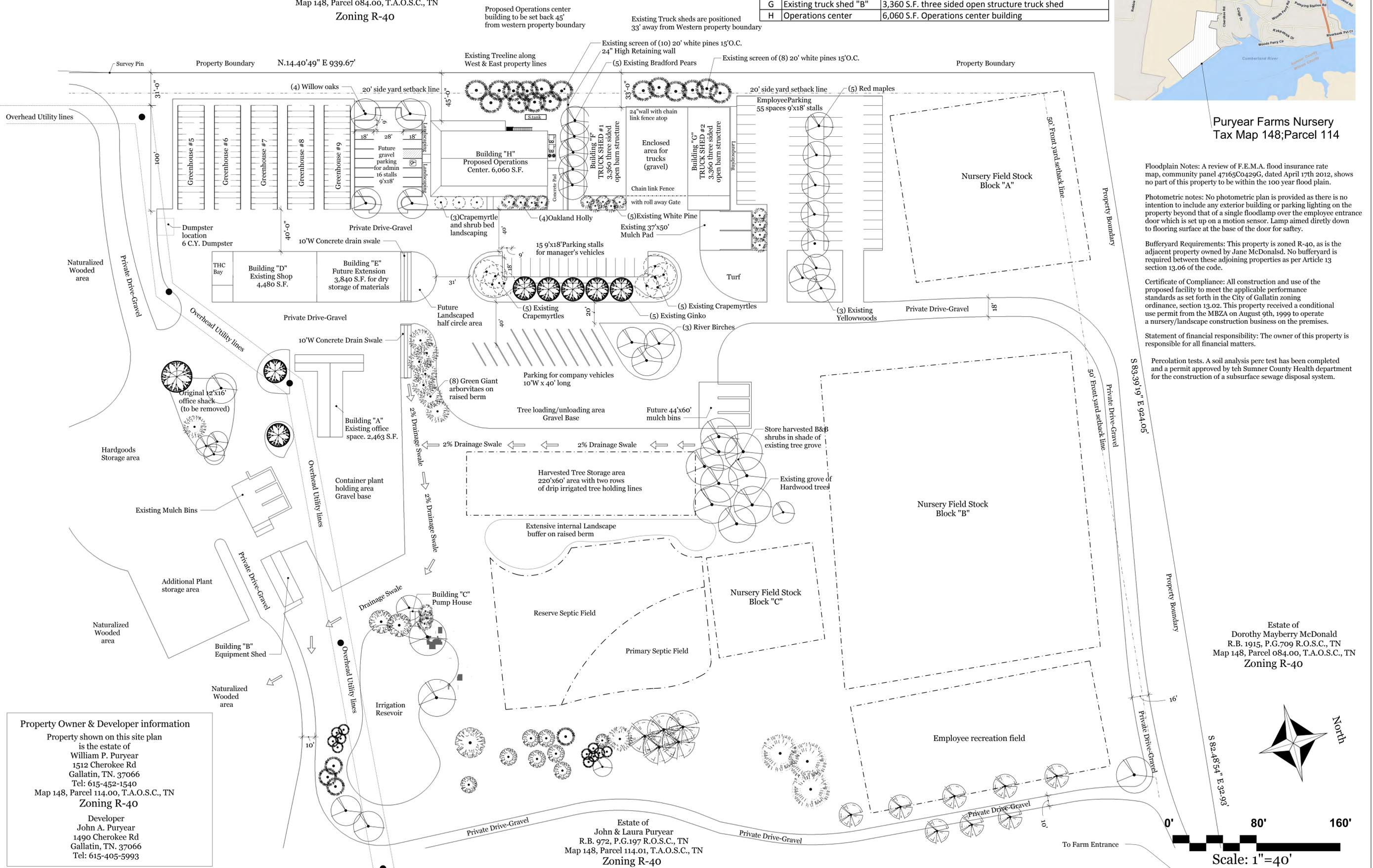
REVISIONS

MM/DD/YY	REMARKS
10/13/16	Make changes per planning dept staff comments dated 10/6/16

Puryear Farms Nursery
1490 Cherokee Rd./Gallatin, TN. 37066
Tax Map 148. Parcel 114.00

Operations center

Site Plan
Scale: 1"=40'

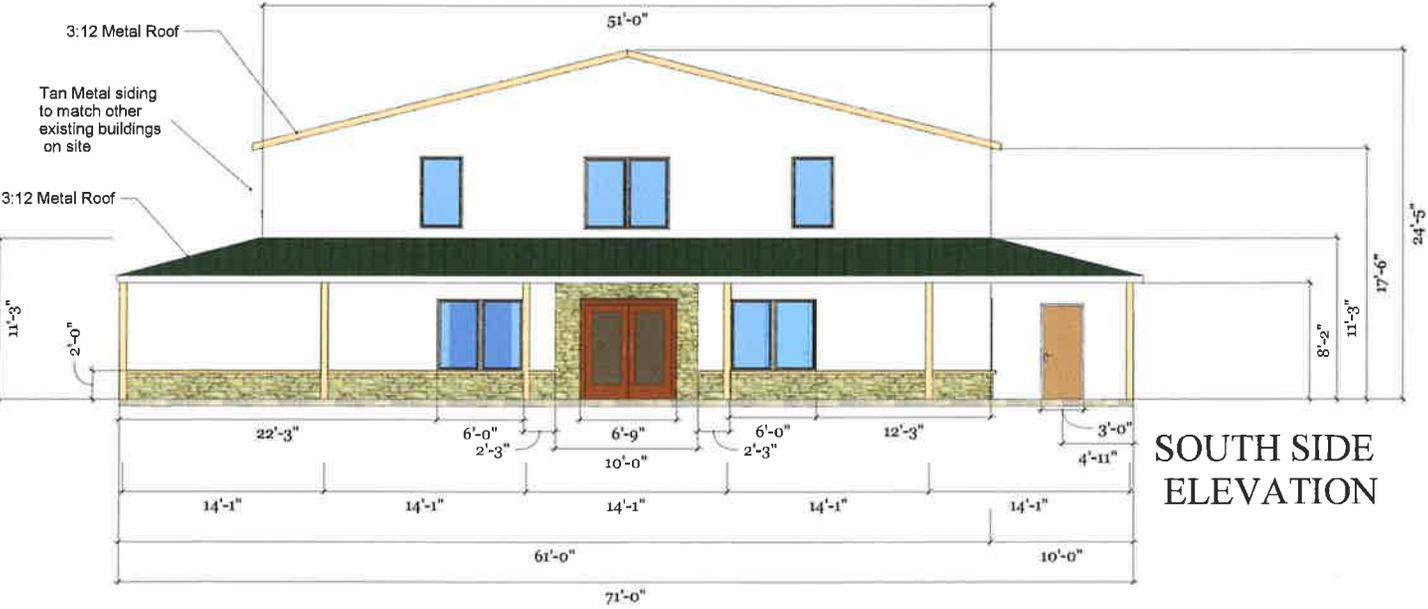


Property Owner & Developer information

Property shown on this site plan is the estate of
William P. Puryear
1512 Cherokee Rd
Gallatin, TN. 37066
Tel: 615-452-1540
Map 148, Parcel 114.00, T.A.O.S.C., TN
Zoning R-40
Developer
John A. Puryear
1490 Cherokee Rd
Gallatin, TN. 37066
Tel: 615-405-5993

Estate of
John & Laura Puryear
R.B. 972, P.G.197 R.O.S.C., TN
Map 148, Parcel 114.01, T.A.O.S.C., TN
Zoning R-40

EAST SIDE ELEVATION



Drawing Scale: 1/4"=1'0"

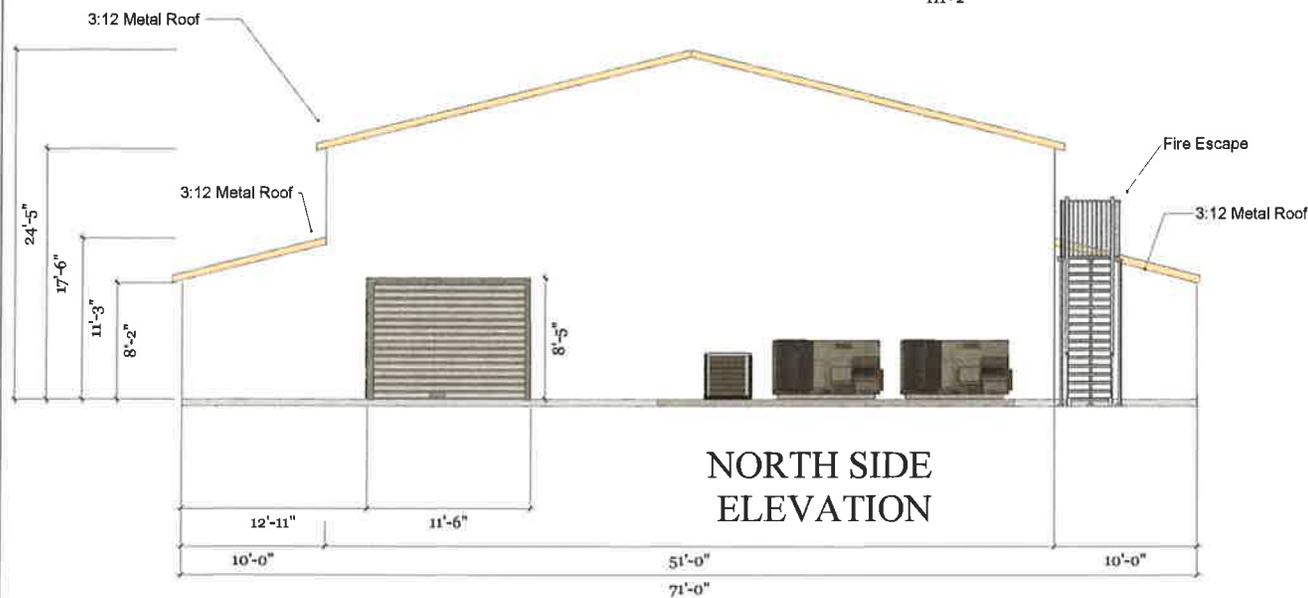
NO.	DATE	REVISIONS

Purvey Farms Nursery
 1490 Cherokee Rd./Gallatin, TN, 37066
 Tax Map 148, Parcel 114.00

Elevation Views
 East and South Elevations

8-2591-16

WEST SIDE ELEVATION



NORTH SIDE ELEVATION

Drawing Scale: 1/4"=1'0"

REVISIONS	
NO.	DESCRIPTION

Purveyor Farms Nursery
 1490 Cherokee Rd./Gallatin, TN. 37066
 Tax Map 148. Parcel 114.00

Elevation Views
 West and North Elevations

8-2591-16

ITEM 4

KENNESAW FARMS, LOT 4

PC FILE # 8-2592-16

DEFERRED TO THE

NOVEMBER 21, 2016

PLANNING COMMISSION MEETING

ITEM 5

GMRPC Resolution No. 2016-119

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A PRELIMINARY PLAT FOR THE RETREAT AT FAIRVUE, PHASE 4, CONTAINING 26 MULTI-FAMILY LOTS, EIGHT (8) OPEN SPACE TRACTS, AND FOUR (4) PUBLIC RIGHTS-OF-WAY EXTENSIONS, ON 6.11 (+/-) ACRES, LOCATED ON CHLOE DRIVE SOUTH OF NOAH LANE. – (1-2602-16B)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Preliminary Plat submitted by Dewey Engineering at its regular meeting on October 24, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-403 and §13-4-303 and Gallatin Subdivision Regulations, Chapter 1, Section 1-104, items 1-11 and Chapter 2, Section 2-103:

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan*, and in particular, the Commercial Corridor Character Area Community Character Area.
2. The Preliminary Plat is consistent with the purpose and intent of the Residential-15 Planned Unit Development (R15 PUD) Zoning District, the Greensboro Village P.U.D. Master Development Plan, and the Amended Preliminary Master Development Plan and Final Master Development Plan for The Retreat at Fairvue.
3. The Preliminary Plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.
4. The Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
5. The Preliminary Plat complies with the requirements of the subdivision regulations as described in Chapter 2, Section 2-103, Gallatin Subdivision Regulations.

6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission approves the Preliminary Plat for The Retreat at Fairvue, Phase 4, consisting of a two (2) sheet plat, prepared by Dewey Engineering of Nashville TN, dated October 13, 2016 with the following conditions:

1. Remove the “Residential and Commercial Site Area” acreage information under Site Information on Sheet C0.0 and at the top corner on Sheet C1.0. On Sheet C1.0 revise the total site area to state: “Total Phase 4 Site Area = 6.11”.
2. Correct the FEMA panel number in Note 3 to 47165C0426G on Sheet C0.0 and at the top of sheet C1.0, and remove the FEMA panel number 47165C0407G at the bottom of Sheet C0.0.
3. Add the development, zoning and Plat recording information for all adjacent platted subdivisions (he Retreat at Fairvue Ph. 1, Sec. 2 and Fairvue Plantation, Ph. 11).
4. Correct the plan scale on sheet C1.0 to 1:60.
5. Submit three (3) corrected, folded copies of the Preliminary Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.
IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 10/24/16

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY

CITY ATTORNEY



ITEM 5

PLANNING DEPARTMENT STAFF REPORT

Preliminary Plat for The Retreat at Fairvue, Phase 4
(1-2602-16B)

Located on Chloe Drive south of Noah Lane

Date: October 24, 2016

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A PRELIMINARY PLAT FOR THE RETREAT AT FAIRVUE, PHASE 4, A MAJOR SUBDIVISION, TO CREATE 26 MULTI-FAMILY DWELLINGS, EIGHT (8) OPEN SPACE TRACTS, AND FOUR (4) PUBLIC RIGHTS-OF-WAY EXTENSIONS, ON 6.11 (+/-) ACRES, LOCATED ON CHLOE DRIVE SOUTH OF NOAH LANE.

OWNER: CMH PARKS, INC. D.B.A. GOODALL INC. BUILDERS

APPLICANT: DEWEY ENGINEERING

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2016-119

STAFF CONTACT: DENISE BROWN

PLANNING COMMISSION DATE: OCTOBER 24, 2016

PROPERTY OVERVIEW: The owner and applicant request approval of a preliminary plat for The Retreat at Fairvue, Phase 4 a major subdivision, to create 26 Multi-Family Dwellings, eight (8) open space tracts, and four (4) public rights-of-way extensions, on 6.11 (±) acres, located on Chloe Drive south of Noah Lane. The property is currently zoned Residential-15 Planned Unit Development (R15 PUD). Multi-Family Detached Dwellings is a permitted use in the R15 PUD zone district. (Attachment 5-1 and 5-2)

CASE BACKGROUND:

Previous Approvals

The Greensboro Village Planned Unit Development (PUD) Amended Preliminary Master Development Plan and The Retreat at Fairvue Final Master Development Plan (PC0043-12) was first discussed at the October 8, 2012 Planning Commission Work Session. At that meeting, the Planning Commission reviewed the layout and proposed architecture for the development. The Planning Commission also discussed the proposed sidewalk design and asked the applicant to provide an alternative pedestrian plan that would allow for better connectivity throughout the development. The Planning Commission also suggested the installation of a roundabout at Chloe Drive, south of this proposed plat, as a traffic calming device. The revised plan was discussed at the November 12, 2012 Special-Called Joint City Council and Planning Commission meeting. The applicant presented the changes to the plan that were made as a result of input from the Commission at the October Work Session.

On November 26, 2012, the Planning Commission voted to consider the proposed changes to the Greensboro Village Planned Unit Development (PUD) Preliminary Master Development Plan as a major amendment. Public Comment was held on the item and several residents of Fairvue Plantation spoke against the proposed plan for The Retreat at

Fairvue citing concerns about density, property values, and safety based on increased traffic. The Planning Commission voted to defer action on the item to the December 10, 2012 meeting where they again voted to defer action on the item until a Special-Called meeting of the Planning Commission on January 7, 2013.

At the January 7, 2013 special-called meeting, the Planning Commission determined that the Preliminary Master Development Plan and Final Master Development Plan amendment was a major amendment requiring consideration by the Gallatin City Council. The project was approved by City Council on February 19, 2013.

Greensboro Village, Phase 8, a minor subdivision plat (PC0102-13), which includes this property, was approved administratively and recorded in May 2013. (P.B. 27, Pg. 308-309). This plat comprised one lot encompassing all of the Retreat property.

An Amended Preliminary and Revised Final Master Development Plan (PC0134-13) was approved, as a minor amendment, at the May 20, 2013 Planning Commission meeting. The purpose of the amendment was to create two (2) sections within Phase 1. The Preliminary Plat (PC0135-13) for Phase 1, Section 1 of The Retreat at Fairvue was approved at the May 20, 2013 Planning Commission meeting and the Final Plat (PC0196-13) for Phase 1, Section 1 of The Retreat at Fairvue was approved at the November 25, 2013 Planning Commission meeting. (PB 28, Pg. 151-152) This re-platted the northerly portion of Greensboro Village, Phase 8.

On September 22, 2014, Planning Commission approved a Preliminary Plat for The Retreat at Fairvue, Phase 1, Section 2. The Final Plat was approved at the March 23, 2015 meeting, (PC File #1-376-15C) and is recorded in PB 29, Pg. 216, R.O.S.C., TN.

On April 27, 2015, Planning Commission approved the Preliminary Plat for The Retreat at Fairvue, Phase 2, (PC File#1-464-15B). On October 21, 2015, an Amended Preliminary Master Development Plan/Revised Final Master Development Plan was approved administratively to revise the phase numbering throughout the development and the landscaping located at the southeast end of Chloe Drive, near the roundabout. (PC File #8-695-15S) (Attachment 5-3). The previously approved Preliminary Plat for The Retreat at Fairvue, Phase 2 was renamed to Phase 4. Since this time, the phase numbering was amended again and what was originally Phase 2, is now considered Phase 3. The initial Preliminary Plat for The Retreat at Fairvue, Phase 2 (PC File #1-464-15B) was withdrawn.

On November 23, 2015, the Planning Commission approved a Preliminary Plat for The Retreat at Fairvue, Phase 2. (PC File #1-1275-15B)

On June 27, 2016, the Planning Commission approved a Preliminary Plat for The Retreat at Fairvue, Phase 3. (PC File #1-2003-16B)

DISCUSSION:

Proposed Development

At build-out, the Retreat at Fairvue will include four (4) phases with a total of 130 lots (units) contained within 34 buildings, with each building containing either three (3) or four (4) attached units.

This Preliminary Plat for Phase 4, contains 26 lots, eight (8) open space tracts and the extension of one (1) public right-of-way (Chloe Drive) and three (3) public alleys (Glennister Court, Winslow Court and Bellingdon Drive). There will be five (5) buildings containing four (4) units each and two (2) buildings containing three (3) units each for a total of 26 units.

This phase, like other phases, is a re-plat of a portion of Lot 2 Greensboro Village, Phase 8.

Natural Features

The natural topography for the vacant property begins at the highest point of elevation (498'), which is located along the southwest boundary, with a steady decent, towards the lowest point of elevation (474') located along the creek at the northeast boundary.

Adjacent or Area Uses

The project site is surrounded by Residential-15 Planned Unit Development (R15 PUD) zoned property to the north, Multiple Residential and Office Planned Unit Development (MRO PUD) zoned property to the east, and Multiple Residential and Office (MRO) zoned property to the west and south. The properties located to the west and south are part of Fairvue Plantation, which contains One-Family Detached Dwellings.

Lot Sizes and Layout

The lot sizes and layout shown on the Preliminary Plat are consistent with lot sizes and layouts approved with the Revised Final Master Development Plan (8-695-15S) and generally consist of lots between 28 feet and 38 feet wide by 131 feet deep (3,136 to 4,891 square feet).

Floodplain and Floodway

Based on FEMA FIRM Map 47165C0426G, dated April 17, 2012, the eastern portion of Phase 4 is located within the Floodway and Floodplain of Rankin Branch. Open Space 'G' includes that portion of the subdivision within the 100 year flood zone and special flood hazard area Zone AE.

Rights-of-Way/Streets/Roads

The Preliminary Plat includes an extension of one (1), 50-foot wide public right-of-way (Chloe Drive), and three (3), 20-foot to 22-foot wide public alley rights-of-way (Glennister Court, Winslow Ct., and Bellingdon Drive). These streets will become public rights-of-way once accepted by the City of Gallatin.

Parking

In addition to the 52 parking spaces provided in the driveways and garages (2-car garages), the Preliminary Plat shows 5 additional parking spaces located along Glennister Court within Open Space 'D' and 5 additional parking spaces along Winslow Ct. in Open Space 'G'. These parking spaces will be owned and maintained by the H.O.A.

Signs

This Preliminary Plat shows no signage proposed for Phase 4 of The Retreat at Fairvue.

Open Space and Bufferyard

The Preliminary Plat shows eight (8) proposed open space tracts:

1. Open Space 'A' (0.04± acres) is located adjacent to Lot 48.
2. Open Space 'B' (0.25± acres) is located adjacent to Lot 47 and the west side of Bellingdon Drive.
3. Open Space 'C' (0.06± acres) is located between Lot 55 and Glennister Ct.
4. Open Space 'D' (0.19± acres) contains five (5) parking spaces adjacent to Lot 40 and a Type 20' entry feature between Glennister Ct. and Fairvue Plantation, Ph. 14.
5. Open Space 'E' (0.06± acres) is located between Lot 39 and Glennister Ct.
6. Open Space 'F' (0.13± acres) is located adjacent to Lot 88 and Winslow Ct.
7. Open Space 'G' (2.25± acres) is located in the eastern portion of the plat and contains five (5) additional parking spaces, a Type 20' bufferyard, and walking trail. A portion of Rankin Branch Creek floodplain is also located in this open space area.
8. Open Space 'H' (0.02± acres) is located in the center of the traffic circle at the southern end of Chloe Drive and will contain landscaping.

All areas designated as Open Space will be owned and maintained by the Homeowners' Association including the Guest Parking Spaces and Private Sidewalks and contain Public Utility and Drainage Easements (P.U.D.E.). Sidewalks not shown in the Public rights-of-way shall be maintained by the HOA.

Sureties

The applicant shall submit a subdivision surety, in an amount to be determined by the Engineering Division, to the Planning Department prior to recording of the Final Plat.

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080. Surety Required of the Gallatin Zoning Ordinance, in the amount to be calculated by the applicant and reviewed and approved by the Planning Department. A site surety for the street trees and landscaping in Phase 4 is required prior to the recording of the Final Plat.

Engineering Division Comments

The Engineering Division reviewed and commented on the Preliminary Plat. The Engineering comments have been satisfied.

Other Departmental Comments

Other City Departments reviewed and commented on the Preliminary Plat. The other Departmental Comments have been satisfied; however the applicant shall be aware of the following comment as indicated below:

1. Detailed plans and specifications for water & sanitary sewer installations must be submitted for approval.

FINDINGS:

1. The Preliminary Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan*, and in particular, the Commercial Corridor Character Area Community Character Area.

2. The Preliminary Plat is consistent with the purpose and intent of the Residential-15 Planned Unit Development (R15 PUD) Zoning District, the Greensboro Village P.U.D. Master Development Plan, and the Amended Preliminary Master Development Plan and Final Master Development Plan for The Retreat at Fairvue.
3. The Preliminary Plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.
4. The Preliminary Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
5. The Preliminary Plat complies with the requirements of the subdivision regulations as described in Chapter 2, Section 2-103, Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2016-120, a Preliminary Plat for The Retreat at Fairvue Phase 4, consisting of a two (2) sheet plat, prepared by Dewey Engineering of Nashville, TN, dated October 13, 2016 with the following conditions:

1. Remove the "Residential and Commercial Site Area" acreage information under Site Information on Sheet C0.0 and at the top corner on Sheet C1.0. On Sheet C1.0 revise the total site area to state: "Total Phase 4 Site Area = 6.11".
2. Correct the FEMA panel number in Note 3 to 47165C0426G on Sheet C0.0 and at the top of sheet C1.0, and remove the FEMA panel number 47165C0407G at the bottom of Sheet C0.0.
3. Add the development, zoning and Plat recording information for all adjacent platted subdivisions (he Retreat at Fairvue Ph. 1, Sec. 2 and Fairvue Plantation, Ph. 11).
4. Correct the plan scale on sheet C1.0 to 1:60.
5. Submit three (3) corrected, folded copies of the Preliminary Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

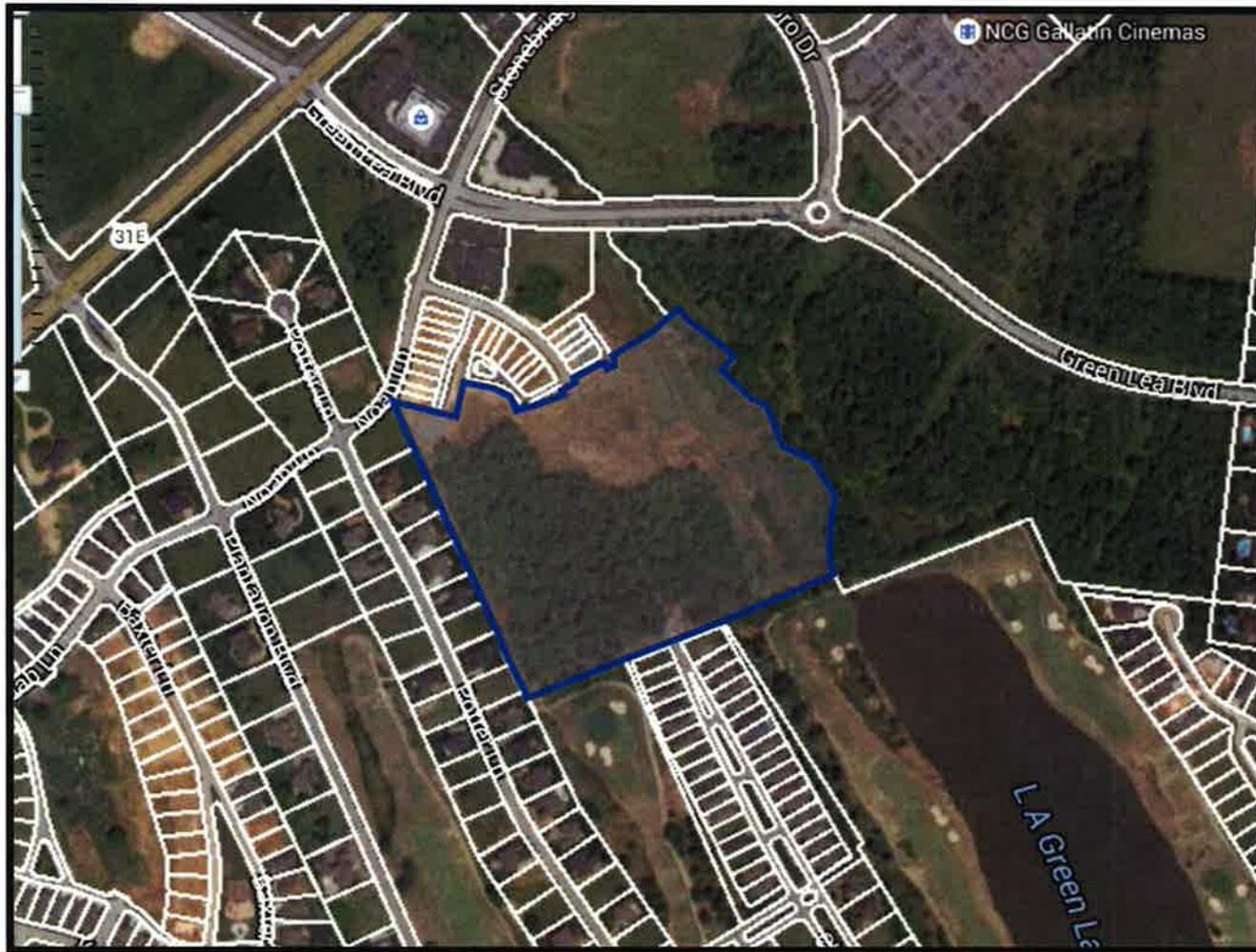
Attachment 5-1 Location Map for The Retreat at Fairvue, Phase 4

Attachment 5-2 Preliminary Plat for The Retreat at Fairvue, Phase 4 (1-2602-16B)

Attachment 5-3 Amended PMDP/Revised FMDP for The Retreat at Fairvue (8-695-15S)

I:\SUBDIVISIONS\Major Subdivisions\Retreat at Fairvue, Ph. 4 - (1-2602-16B)\Item 5 - Preliminary Plat DB

THE RETREAT AT FAIRVUE, PHASE 4



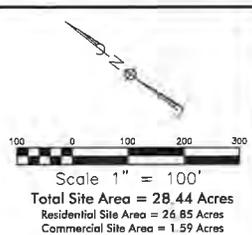
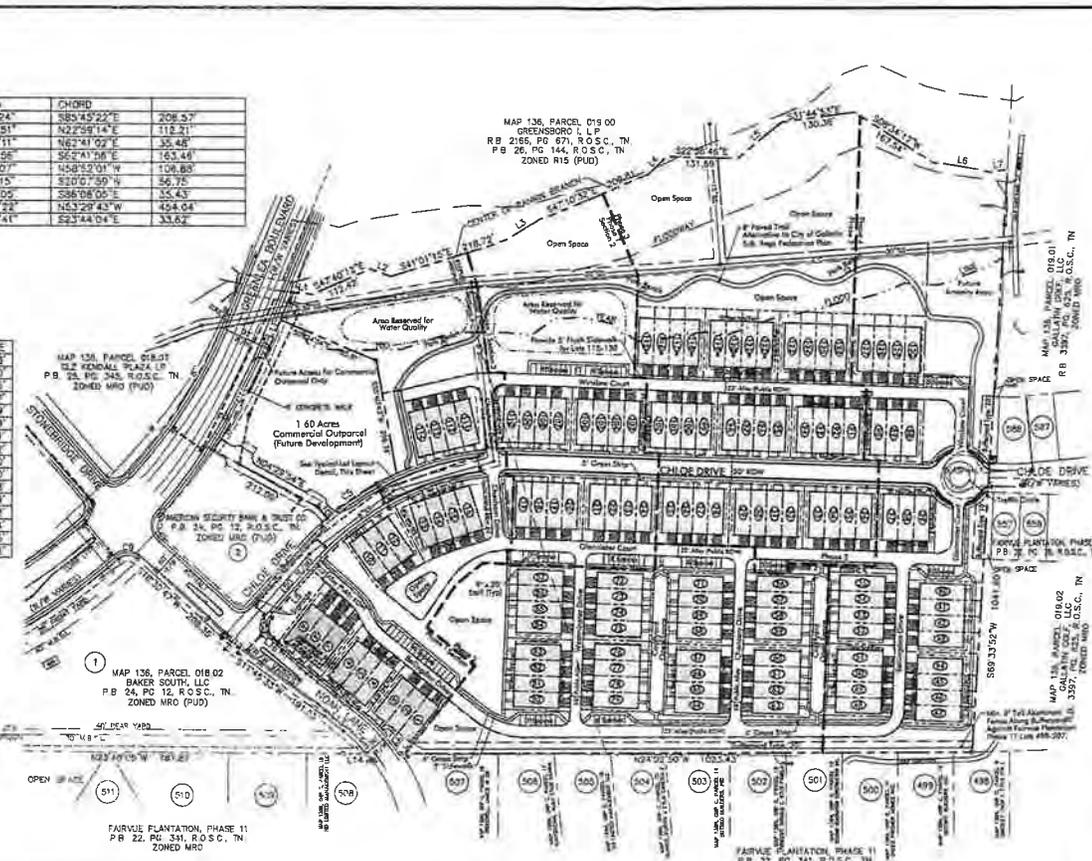
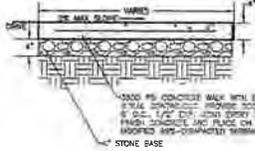
TAX MAP 136//018.03
R15-PUD
PC FILE# 1-2602-16B

ATTACHMENT 5-1

CURVE	ARC	RADIUS	DELTA	CHORD	CHORD BEARING
C1	208.90	1050.00	111.724°	385.45222' E	208.57
C2	112.89	360.01	18.281°	N27.2914° E	118.21
C3	59.45	25.00	60.251°	N62.9102° E	35.48
C4	164.20	500.00	18.485°	S62.7156° E	163.48
C5	107.00	500.00	11.950°	N58.9291° W	108.85
C6	56.51	300.01	10.315°	S10.0759° W	56.75
C7	39.56	25.00	60.120°	S86.9805° E	35.43
C8	437.85	1050.00	24.882°	N33.2943° W	434.04
C9	36.87	25.00	84.924°	S23.4404° E	33.62

LINE	BEARING	DISTANCE
L1	S19.0843° E	37.83
L2	S04.3131° E	38.60
L3	S55.2558° E	70.86
L4	S67.7003° E	44.67
L5	S65.2308° E	101.19
L6	S14.3819° E	105.29
L7	S33.2954° E	29.91
L8	S72.0822° E	124.37
L9	N36.4033° E	50.00
L10	N25.3331° E	26.50
L11	N88.3556° E	107.58
L12	S19.2152° W	39.89
L13	S14.4235° W	45.32
L14	N24.5730° W	41.34
L15	N48.2423° E	89.45
L16	N17.2827° E	12.93

SIDEWALK DETAIL

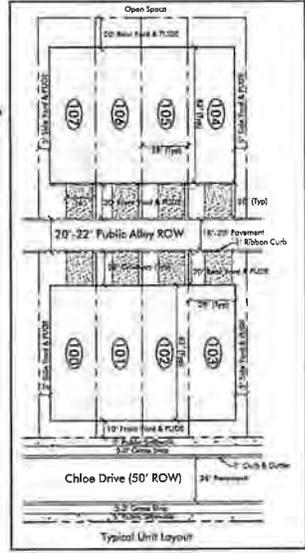


Scale 1" = 100'
 Total Site Area = 28.44 Acres
 Residential Site Area = 26.85 Acres
 Commercial Site Area = 1.59 Acres

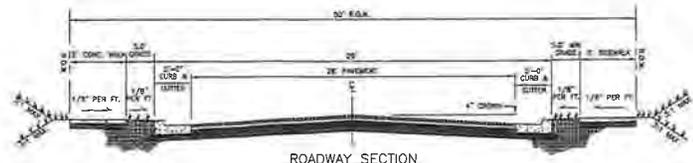
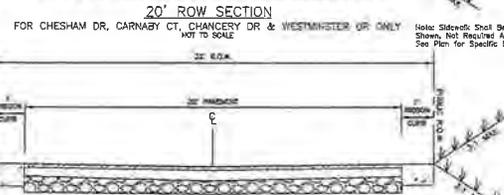
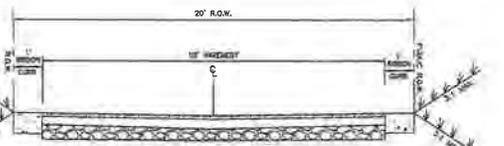
APPLICANT: **Shawell Inc. Services**
 Contact: Mike Stooten
 393 Maple Street #100
 Gallatin, TN 37066
 Ph: (615) 451-5029
 Fax: (615) 451-4029

ENGINEER: **Dewey Estes Engineering**
 Contact: Michael Dewey, PE
 2725 Berry Hill Drive
 Nashville, TN 37204
 Ph: (615) 979-9071

FLOOD NOTE
 A portion of this property is located within a Special Flood Hazard Area, as indicated on FEMA Map Numbers 47146C027D and 47146C028D. 100 Year Floodplain Elevation: 474.5-477.5. Dated April 17, 2012. All pad elevations shall be 1' above the maximum of these 1' that above the base flood elevation.



Project Schedule	
Construction Start Dated July 2013	
1. Phase 1, Section 1 (20 Units)	July 2013-Mar 2014
2. Phase 1, Section 2 (16 Units)	Apr 2013-Mar 2014
3. Phase 2 (32 Units)	Apr 2016-Mar 2017
4. Phase 3 (24 Units)	Apr 2017-Mar 2018
5. Phase 4 (16 Units)	Apr 2018-Mar 2019



NOTE: NO RETAINING WALLS SHALL BE CONSTRUCTED WITHIN ROW.

Revisions:
 1/10/12-Revised Roundabout Detailing in the Removal of 2' Curb
 12/1/12-Revised Alley Widths for 3' Main Alleys to 22' Wide
 4/10/13-Revised means
 6/27/14-Revised Entry Signage
 9/11/15-Revised Structures
 9/24/15-Revised Landscaping Plan
 10/8/15-Revised Landscaping Plan
 10/28/15-Revised Landscaping Plan

Drawing Notes:
 Date: June 17, 2013

The Retreat at Fairvue

Being Parcel 16.03 on Tax Map 136
 Gallatin, Sumner County, Tennessee



Overall Layout Plan

Job No. 12006
C1.0
 2 of 8

ATTACHMENT 5-3

8-695-155

Preliminary Plat

for

The Retreat at Fairvue

Phase 4

Being Parcel 18.03 on Tax Map 136
Gallatin, Sumner County, Tennessee

Project Summary

Site Data

Councilmatic District #4
Council Person Craig Hayes

Property Location/Address:
Located at the Southeast Corner of the
Intersection of Noah Lane & Chloe Drive.
Address (GIS): 31E Highway
Gallatin, TN 37066

Developer: Goodall Inc. Builders
Contact: Koby Dumont
Address: 393 Maple Street Ste #100
Gallatin, TN 37066
Phone: (615) 451-5029

Engineer: Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

Site Information

Tax Map 136, Parcel 18.03

Zoning - R-15 (PUD)

Residential Site Area - 26.84 Acres (4.9 Units/Acre)
Commercial Site Area - 1.60 Acres (By Others)

Current Use: Vacant
Proposed Use: Residential (Multi-Family Dwelling)

Plan Preparation Date: October 13, 2016

Unit Breakdown:

Total Lots - 130
Phase 1, Section 1 - 20 Lots (Under Construction)
Phase 1, Section 2 - 16 Lots (Under Construction)
Phase 2 - 32 Lots (Under Construction)
Phase 3 - 36 Lots (Under Construction)
Phase 4 - 26 Lots (Proposed)

Phase 4 Total Area - 6.11 Acres
Phase 4 Open Space Area - 2.96 Acres
Phase 4 ROW Area - 0.78 Acres
Phase 4 Lot Area - 2.37 Acres
Phase 4 Building Area - 1.37 Acres
Phase 4 Parking Area - 0.04

Phase 4 Parking:

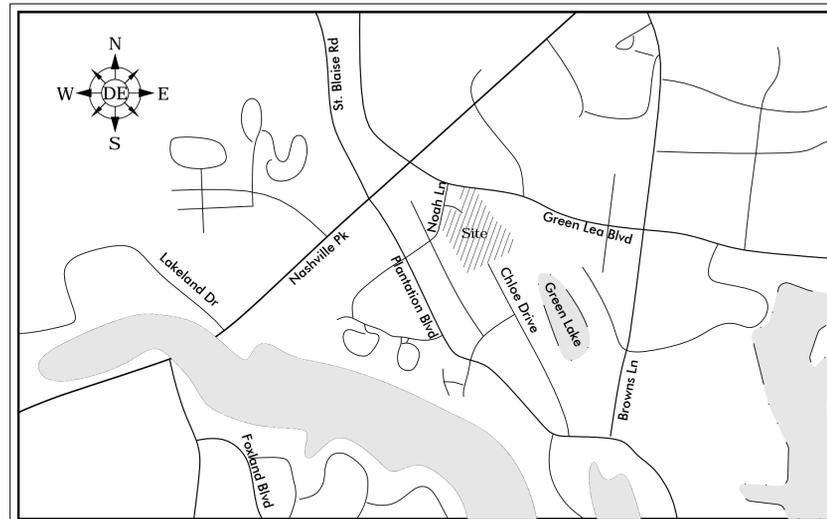
52 Garage Stalls (2-Car Garage/Unit)
10 Guest Parking Stalls
*Note: Driveways Shall be 16' Wide x 20' Deep (Typ)

Minimum Front Yard: 10 Ft
Minimum Rear Yard: 20 Ft
Minimum Side Yard: 5 Ft (0 Ft Interior, 10 Ft Corner)

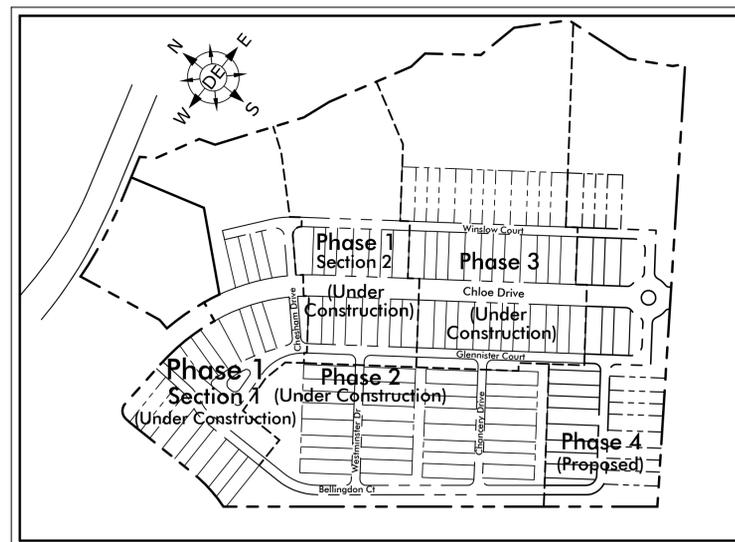
Maximum Height: 2 Stories

Sheet Schedule

C0.0	Cover Sheet
C1.0	Preliminary Plat



Vicinity Map
NTS



Overall Phase Map
Scale: 1"=200'

Project Notes

- The purpose of this submittal is to obtain approval of a Preliminary Plat for Phase 4 of this development, consisting of 26 Multi-Family Dwellings.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of the City of Gallatin Department of Public Works.
- A Portion of this property is located within a Zone 'AE' Flood Hazard Area, as indicated on FEMA Map Number 471650426G Dated April 17, 2012. All pad elevations shall be filled, if necessary, at least 1 foot above the base flood elevation. Floodplain Development Permits and Elevation Certificates are Required for Construction in the 100 Year Floodplain.
- Sidewalks within rights-of-way shall be Decorative and Maintained per the License for Decorative Sidewalk Agreement between the City of Gallatin and the Retreat at Fairvue Homeowners Association, Inc.
- Individual water and/or sanitary sewer service lines are required for each lot.
- The final Construction Documents shall indicate the proposed method to deal with stormwater runoff for this project.
- All areas designated as Open Space will be owned and maintained by the Homeowners' Association including the Guest Parking Stalls and Private Sidewalks along the alleys. Sidewalks not shown in Public ROW shall be maintained by the HOA.
- All Construction and Use of the Proposed Facility to Meet the Applicable Performance Standards as Set Forth in the City of Gallatin Zoning Ordinance, Section 13.02.
- The owner/developer of this property is responsible for all financial matters.
- A Site Surety for Landscaping in Phase 4 shall be submitted prior to the recording of the final plat for Phase 4.
- Trash Removal for this property shall be handled by individual roll-away city totes.
- The Plat Voids, Vacates, and Supercedes a portion of the Final Plat for Greensboro Village, Phase 8 Recorded in Plat Book 27 Pages 308-309 R.O.S.C. (PC 162-13).
- All Proposed Public ROW Corners Shall be Marked with Concrete Monuments.
- A Variance for Sidewalks as Per Section 4-102.903 of the Subdivision Regulations is Required and an Alternative Pedestrian Plan with a Minimum 8' Walking Trail has been Approved as per the Approved FMDP Dated 10/14/15.

Certificate of Planning Commission Preliminary Approval Note:
Approved by the Gallatin Municipal-Regional Planning Commission, with such exceptions or conditions as are indicated in the minutes of the Commission are _____

This preliminary plat approval does not constitute approval of this subdivision in the final form and does not constitute approval for recording of the plat.

FLOOD NOTE
A Portion of this property is located within a Zone 'AE' Flood Hazard Area, as indicated on FEMA Map Numbers 47165C0407G and 471650426G. 100 Yr Elevation Varies from 474.5-479.5 Dated April 17, 2012. All pad elevations shall be filled, if necessary, at least 1 foot above the base flood elevation.

BENCHMARK
Chiseled Square in Corner of Ramp Located at NE Corner of Intersection of Chloe Drive and Noah Lane. NAVD 88 Elevation = 494.40

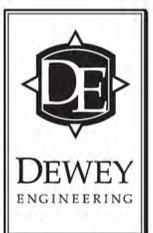


Revisions:

Drawing Notes:

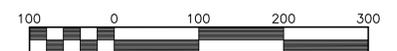
Date: October 13, 2016

The Retreat at Fairvue
Phase 4
Being Parcel 18.03 on Tax Map 136
Gallatin, Sumner County, Tennessee



Cover Sheet

C0.0



Scale 1" = 100'
 Total Site Area = 28.44 Acres
 Residential Site Area = 26.84 Acres
 Commercial Site Area = 1.60 Acres

APPLICANT
 Goodall Inc. Builders
 Contact: Koby Dumont
 393 Maple Street #100
 Gallatin, TN 37066
 Ph: (615) 451-5029
 Fax: (615) 451-4029

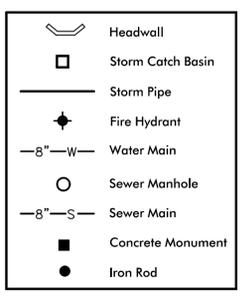
ENGINEER
 Chiseled Square in Corner of Ramp
 Located at NE Corner of Intersection
 of Chloe Drive and Noah Lane.
 NAVD 88 Elevation = 494.40

FLOOD NOTE
 A Portion of this property is located within a Zone 'AE' Flood Hazard Area, as indicated on FEMA Map Number 471650426G. 100 Yr. Elevation Varies from 474.5-479.5 Dated April 17, 2012. All pad elevations shall be filled, if necessary, at least 1 foot above the base flood elevation.

BENCHMARK
 Chiseled Square in Corner of Ramp
 Located at NE Corner of Intersection
 of Chloe Drive and Noah Lane.
 NAVD 88 Elevation = 494.40

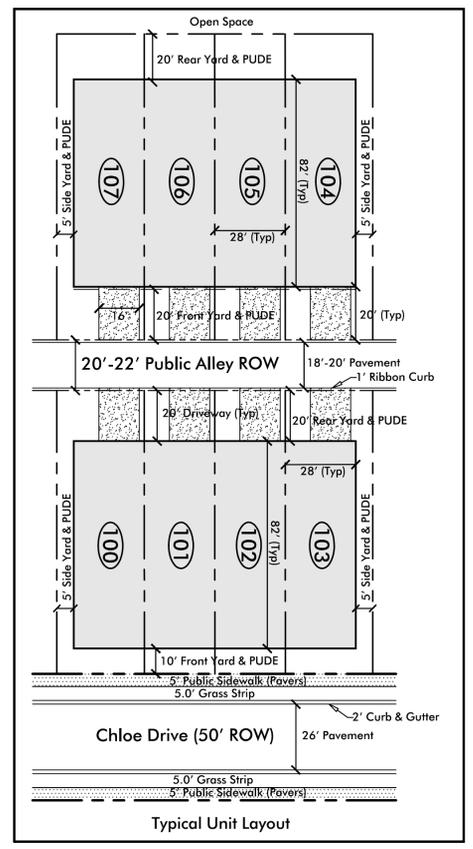
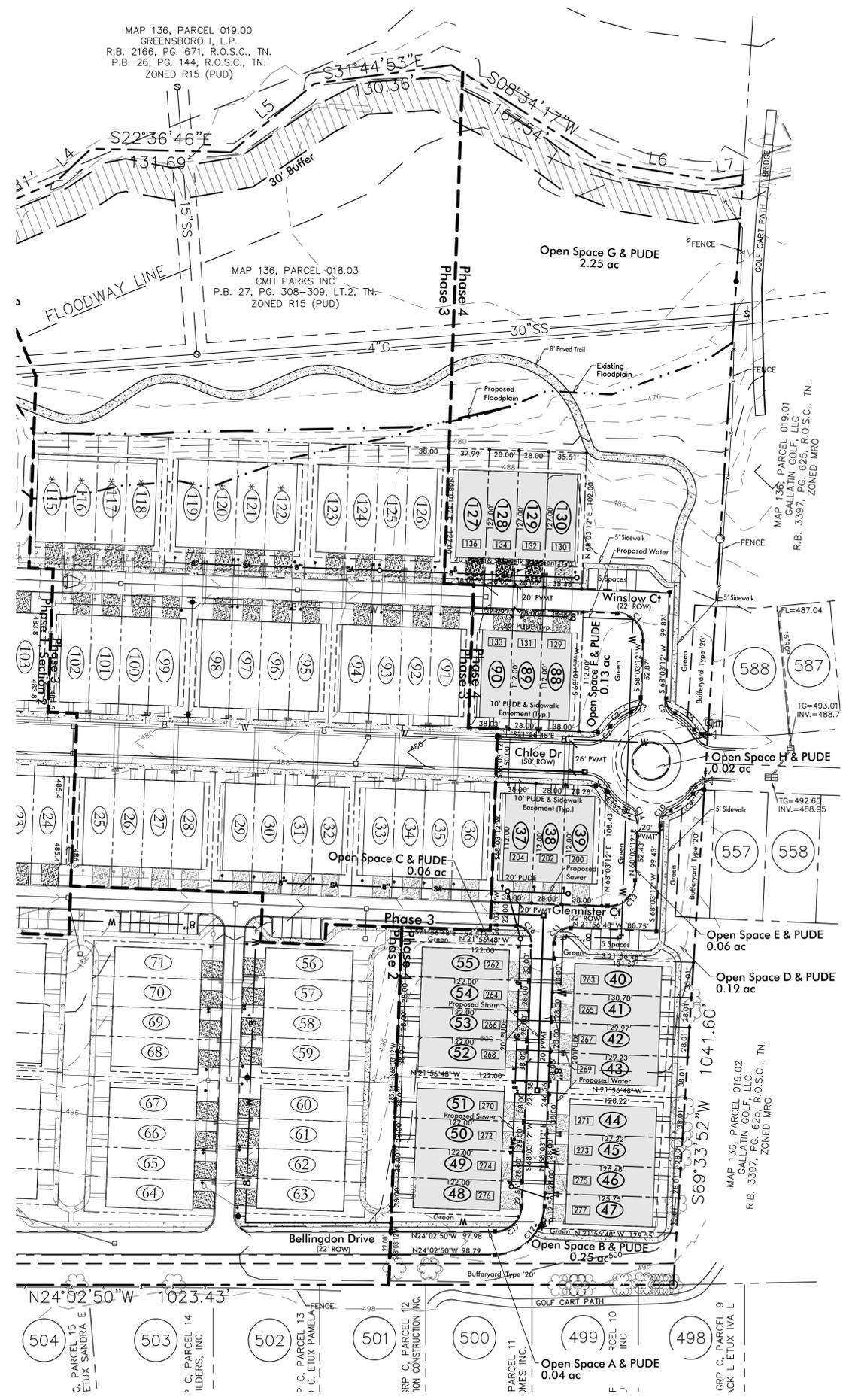
LOT TABLE

NAME	SQUARE FEET	ACRES
37	4256.00	0.10
38	3136.00	0.07
39	4245.04	0.10
40	4327.61	0.10
41	3649.39	0.08
42	3628.70	0.08
43	4891.59	0.11
44	4853.50	0.11
45	3551.89	0.08
46	3531.21	0.08
47	4166.43	0.10
48	4018.21	0.09
49	3416.00	0.08
50	3416.00	0.08
51	4636.00	0.11
52	4636.00	0.11
53	3416.00	0.08
54	3416.00	0.08
55	4026.00	0.09
88	4256.00	0.10
89	3136.00	0.07
90	4257.47	0.10
127	4827.93	0.11
128	3556.00	0.08
129	3556.00	0.08
130	4506.57	0.10



PROPOSED BOUNDARY CURVE TABLE

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	52°01'12"	15.00	7.32	13.62	N 47°57'24" W	13.16
C2	27°28'36"	50.00	12.22	23.98	S 60°13'42" E	23.75
C3	65°27'23"	15.00	9.64	17.14	S 79°13'06" E	16.22
C4	90°00'00"	25.00	25.00	39.27	S 23°03'12" W	35.36
C5	65°27'23"	15.00	9.64	17.14	N 35°19'31" E	16.22
C6	27°26'46"	50.00	12.21	23.95	S 16°19'12" W	23.72
C7	51°37'24"	10.00	4.84	9.01	N 04°13'53" E	8.71
C8	54°36'28"	10.00	5.16	9.53	S 48°53'03" E	9.17
C9	30°39'47"	50.00	13.71	26.76	N 60°51'23" W	26.44
C10	66°25'19"	15.00	9.82	17.39	N 78°44'09" W	16.43
C11	90°00'00"	15.00	15.00	23.56	S 66°56'48" E	21.21
C12	87°53'58"	47.00	45.31	72.10	S 67°59'49" E	65.24
C13	90°00'00"	25.00	25.00	39.27	S 66°56'48" E	35.36
C14	66°25'19"	15.00	9.82	17.39	N 34°50'33" E	16.43
C15	28°26'31"	50.00	12.67	24.82	S 15°51'09" W	24.57
C16	90°00'00"	15.00	15.00	23.56	S 23°03'12" W	21.21
C17	87°53'58"	25.00	24.10	38.35	N 67°59'49" W	34.70



Project Schedule

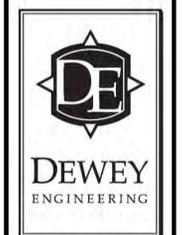
1). Phase 1, Section 1 (20 Units)	Under Construction
2). Phase 1, Section 2 (16 Units)	Apr 2014-Mar 2015
3). Phase 2 (32 Units)	Apr 2015-Mar 2016
4). Phase 3 (36 Units)	Jun 2016-Mar 2017
5). Phase 4 (26 Units)	Apr 2017-Mar 2018



The Retreat at Fairvue

Phase 4

Being Parcel 18.03 on Tax Map 136
 Gallatin, Summer County, Tennessee



Preliminary Plat

C1.0

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A SITE PLAN FOR KIDVILLE LEARNING CENTER A LIMITED CHILD CARE FACILITY, ON A 0.275 (+/-) ACRE LOT, ZONED COMMERCIAL GENERAL (CG), LOCATED AT 551 BLYTHE AVENUE. (8-2611-16)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Site Plan submitted by the applicant, Kidville Learning Center, at its regular meeting on October 24, 2016; and

WHEREAS, THE GALLATIN BOARD OF ZONING APPEALS approved a Conditional Use Permit to allow a Limited Child Care Facility on the property on September 29, 2016, consistent with Article 08, Section 08.03.010.C and Article 15.06, Section 15.06.050.A, Gallatin Zoning Ordinance; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-3-413, 13-4-310, and G.Z.O., § 15.03.020:

1. The Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance.
2. The Site Plan amendment is consistent with the purpose and intent of the Commercial General (CG) Zoning District and complies with the use restrictions, minimum bulk, area and height regulations, and minimum yard dimensions, established in said Zoning District. The existing building is permitted as legal pre-existing non-conforming structure.
3. The proposed Site Plan complies with the purpose and intent of the Performance and Design Standards (G.Z.O., Article 13, Section 13.08, Architectural Character and Compatibility Standards), Off-Street Parking and Loading (G.Z.O. Article 11) and Supplementary District Regulations (G.Z.O., Article 12.00).
4. The Site Plan is substantially consistent with the Conditional Use Permit approved by the Gallatin Board of Zoning Appeals in GMBZA Resolution 2016-12.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Site Plan for Kidville Learning Center, prepared by Kidville Learning Center of Gallatin, TN., consisting

of two (2) sheets, stamp dated October 13, 2016, with the following conditions:

1. The Limited Child Care facility shall be limited to not more than 30 person occupancy.
2. Any exterior building façade changes shall require Site Plan approval.
3. The entrance and exit into the site shall be delineated with the proper directional markings.
4. The handicapped parking space shall be striped, properly marked and display a sign.
5. Obtain a sign permit prior to the installation of any signs.
6. Obtain a Life Safety inspection prior to the issuance of a Certificate of Occupancy from the Building Codes Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 10/24/2016

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 6
PLANNING DEPARTMENT STAFF REPORT
Site Plan for Kidville Learning Center
(PC File# 8-2611-16)
551 Blythe Avenue
Date: October 24, 2016

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A SITE PLAN FOR KIDVILLE LEARNING CENTER, ON A 0.275 (+/-) LOT, ZONED COMMERCIAL GENERAL (CG), LOCATED AT 551 BLYTHE AVENUE.

OWNER: ROBERT C. HELSON & DANIEL T. HURST
APPLICANT: KIDVILLE LEARNING CENTER
STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2016-120
STAFF CONTACT: DENISE BROWN
PLANNING COMMISSION DATE: OCTOBER 24, 2016

PROPERTY OVERVIEW: The owner and applicant requests approval of a Site Plan for Kidville Learning Center, on a 0.275 (+/-) lot, zoned Commercial General (CG), located at 551 Blythe Avenue. Limited Child Care is allowed as a conditional use permit in the CG zone district. (Attachment 6-1 and 6-2)

CASE BACKGROUND:

Previous Approvals

On October 28, 1985, the Planning Commission approved a site plan for a Convenience Sales and Service use on the property. (8-34-85)

In 1999, a site plan for General Personal Services use was approved administratively. The building has been occupied intermittently over the years since 1999 including within the past 30 months; however, there are no further site plans on file since this approval.

On September 29, 2016, the Board of Zoning Appeals approved a Conditional Use Permit (CUP) for the Limited Child Care activity on the property. GMBZA Resolution 2016-12 (Attachment 6-3)

DISCUSSION:

Proposed Development

The owner and applicant request approval of a Site Plan per Section 15.03.020.B, Gallatin Zoning Ordinance. This changes the use from General Personal Services to Limited Child Care in the CG zoning district. The applicant proposes to convert the existing 2400 sq. ft. commercial building on parcel 034.00 to a child care facility and provide a fenced playground area behind the building. No other changes to the building or site are proposed at this time.

Typically, change of use site plans that do not require building additions or site improvements are approved administratively; however, the Zoning Ordinance (Section 15.06.050.A.9) requires the Planning Commission to approve a site plan and any architectural plans for the use of Limited Child Care activity once approved as a CUP by the GMBZA. No portion of this property is located in a flood hazard area and the property contains no unusual topographical features.

Architectural Elevations

The existing structure consists of metal siding with a shingled roof. Attachment 6-4 No structural changes to the exterior façade of the building are planned at this time. The owner and applicant shall comply with all State, Building and Fire Code requirements for a child care facility. No site or exterior façade changes shall be made to the existing building without Site Plan approval.

Adjacent Areas & Uses

The lot (113K/L/034.00) and eight (8) adjacent lots (Parcels 113K/L/036.00, 037.00, 038.00, 039.00, 006.00, 009.00, 010.00 and 011.00), located to the south and east, are considered a zone lot since they are under the same ownership and contain the same CG zoning. These lots are enclosed within a fenced area. Parcels 0.36, 0.37 and 0.38, are vacant and are used as a shared parking area, 009.00, 010.00 and 011.00 located along Council Avenue are also vacant, Parcels 039.00 and 006.00 contain buildings with additional parking spaces. The CUP only applied to parcel 034.00. The property to the north, across Pace Street, is currently a vacant lot zoned CG. The "Colored Fairground Association" property, located to the west across Blythe Avenue, is zoned Multiple Residential and Office (MRO). (Attachment 6-5)

Landscaping

No additions or site improvements are proposed to the existing building or site with the exception of the small playground area behind the building; therefore, no landscaping is required per Section 13.04.020, Gallatin Zoning Ordinance. However, landscaping improvements should be considered, particularly to better delineate vehicle circulation areas.

Parking

Gallatin Zoning Ordinance (Table 11-01) requires Day Cares (Limited Child Care) to have one (1) parking space for every four (4) person licensed capacity. The requirements under the Special Conditions for Limited Child and Adult Care Facilities, requires one (1) accessory off-street parking space for each five persons accommodated in the day care facility. The childcare facility will have a maximum occupancy of 30 people which requires seven (7) parking spaces and one (1) handicapped parking space. The plan indicates seven (7) regular parking spaces will be located in a shared parking area on the adjacent parcel (036.00), and one (1) handicapped parking space will be located in front of the building. Additional parking areas are located on parcels 039.00 and 006.00 that are primarily used for other businesses. To accommodate the required parking, a use agreement is required between the property owner and the day care operator to permit the off-street parking on the adjacent parcel. (Attachment 6-6)

The driveway is located directly in front of the building. This provides access to the handicapped parking space and to the unpaved parking area on the south side of the building. Adequate area exists on the adjacent property to allow for safe vehicular circulation in the shared parking area. The parking area typically will be used only for short term parking and for dropping off/picking up children. The parking area and drive aisles on the property and adjacent lot will need to be delineated with the proper directional markings.

Signage

No signs for the Kidville Learning Center are proposed at this time. If the applicant or property owner decides to install signs, a sign permit shall be required prior to the installation of any signs on site.

Planning Department Comments

The Planning Department reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed all Planning Department comments, except those included as conditions of approval.

Engineering Division Comments

The Engineering Division reviewed the Site Plan, and did not have any comments.

Other Departmental Comments

Other departments reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed all Other Department comments.

Findings:

1. The Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required*, of the Gallatin Zoning Ordinance.
2. The Site Plan amendment is consistent with the purpose and intent of the Commercial General (CG) Zoning District and complies with the use restrictions, minimum bulk, area and height regulations, and minimum yard dimensions, established in said Zoning District. The existing building is permitted as legal pre-existing non-conforming structure.
3. The proposed Site Plan complies with the purpose and intent of the Performance and Design Standards (G.Z.O., Article 13, Section 13.08, Architectural Character and Compatibility Standards), Off-Street Parking and Loading (G.Z.O. Article 11) and Supplementary District Regulations (G.Z.O., Article 12.00).
4. The Site Plan is substantially consistent with the Conditional Use Permit approved by the Gallatin Board of Zoning Appeals in GMBZA Resolution 2016-12.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2016-120, Site Plan for Kidville Learning Center, consisting of two (2) sheets, stamp dated October 13, 2016, with the following conditions:

1. The Limited Child Care facility shall be limited to not more than 30 person occupancy.
2. Any exterior building façade changes shall require Site Plan approval.
3. The entrance and exit into the site shall be delineated with the proper directional markings.
4. The handicapped parking space shall be striped, properly marked and display a sign.
5. Obtain a sign permit prior to the installation of any signs.
6. Obtain a Life Safety inspection prior to the issuance of a Certificate of Occupancy from the Building Codes Department.

ATTACHMENTS

- | | |
|----------------|---|
| Attachment 6-1 | Location Map |
| Attachment 6-2 | Site Plan for Kidville Learning Center and Shared Parking |
| Attachment 6-3 | GMBZA Resoluton 2016-12 |
| Attachment 6-4 | Photos of Existing Building and Site |
| Attachment 6-5 | Photos of Zone Lots |
| Attachment 6-6 | Shared Parking Agreement |

Kidville Learning Center Site Plan
551 Blythe Avenue



113K/L/034.00
Zoned: Commercial General (CG)

ATTACHMENT 6-1

RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR A LIMITED CHILD CARE FACILITY FOR KIDVILLE LEARNING CENTER, ON A 0.275 ACRE LOT, ZONED COMMERCIAL GENERAL (CG), LOCATED AT 551 BLYTHE AVENUE (S.B.E. TAX MAP #113K/L/034.00) – PC FILE #B-2455-16

WHEREAS, THE CITY OF GALLATIN, TENNESSEE MUNICIPAL BOARD OF ZONING APPEALS considered the Conditional Use Permit request for a Limited Child Care use at 551 Blythe Avenue submitted by the applicant, Kidville Learning Center, at its regular meeting on September 29, 2016; and

WHEREAS, THE CITY OF GALLATIN, TENNESSEE MUNICIPAL BOARD OF ZONING APPEALS reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Municipal Board of Zoning Appeals Staff Report and evidence and testimony presented during the meeting; and

WHEREAS, THE CITY OF GALLATIN, TENNESSEE MUNICIPAL BOARD OF ZONING APPEALS is required in its deliberations, pursuant to Gallatin Zoning Ordinance § 15.04.028.F, to indicate the specific section of the Zoning Ordinance of Gallatin, Tennessee under which the permit is being considered and state specific findings and any special conditions imposed in granting a Conditional Use Permit; and

WHEREAS, the Zoning Ordinance of Gallatin, Tennessee classifies Limited Child Care as a Conditional Use in Commercial General (CG) zone district in § 08.02.010.D and the Special Conditions for a Limited Child Care facilities are described in Section 15.06.050.A

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL BOARD OF ZONING APPEALS in its deliberations finds that the applicant meets the Standards for a Conditional Use set forth in Gallatin Zoning Ordinance § 15.06.030 as follows:

Section 1. The Gallatin Municipal Board of Zoning Appeals in its deliberations finds that the applicant meets the General Requirements set forth in Gallatin Zoning Ordinance § 15.06.040 as follows:

- A. Is so designed, located, and proposed to be operated so that the public health, safety and welfare will be protected;
- B. Will not adversely affect other property in the area in which it is located.
- C. Is within the provisions of "Conditional Uses" as set forth in this Ordinance.
- D. Conforms to all applicable provisions of this Ordinance for the district in which it is to be located and is necessary for public convenience in that location.

Section 2. The Gallatin Municipal Board of Zoning Appeals in its deliberations finds that the applicant meets the Special Conditions

for Limited Child and Adult Care Activities set forth in Gallatin Zoning Ordinance § 15.06.050.A as follows:

1. The proposed Conditional Use located in the CG Zoning District conforms to the lot size, and lot coverage applicable to the CG Zoning District, but does not comply with minimum building setbacks. However, the existing non-conforming building was constructed prior to adoption of the current building setback and zoning regulations.
2. All other bulk regulations of the district are met for the use in the CG district.
3. As one accessory off-street parking space is provided for each five persons accommodated in the day care facility according to the site plan.
4. Special passenger loading and unloading facilities are provided on the same zone lot for vehicles to pick-up or deliver passengers. The facility provides a sufficient driveway that does not require any back-up vehicle movements to enter or exit the zone lot.
5. All public utilities and sewage disposal are available to the site or are subject to approval of either the Public Utilities Department.
6. All regulations of the State of Tennessee that pertain to the use shall be met.
7. The facility is located so as to be compatible with the surrounding area and provides safety to those using the facility.
8. Fencing, screening, and landscaping is provided as required by Article 13.00 of the Zoning Ordinance and as appropriate to protect the surrounding area for such facility and the clients of the facility.
9. Upon the approval by the Board of Appeals, the site and architectural plans for such a facility shall be approved by the Planning Commission taking into account the above conditions as well as any other pertinent factors.

BE IT FURTHER RESOLVED THAT THE CITY OF GALLATIN, TENNESSEE MUNICIPAL BOARD OF ZONING APPEALS approves a Conditional Use Permit request for a Limited Child Care use at 551 Blythe Avenue per Section 08.02.010.D of the Zoning Ordinance of the City of Gallatin, Tennessee with the following conditions:

1. The proposed Conditional Use Permit shall be consistent with the two (2) sheet plan, for Kidville Learning Center Conditional use Permit, stamp dated September 15, 2016.
2. The use at 551 Blythe Avenue shall be limited to a Limited Child Care facility of not more than 30 person occupancy.
3. Submit a Change of Use Site Plan to the Planning Department complying with Article 15, Section 15.03.020 and Section 15.06.050.A for review and approval. No exterior façade changes may be made to the existing building without Site Plan approval. The Site Plan shall require an agreement to permit facility parking on the adjacent lot.
4. Obtain a Life Safety inspection prior to the issuance of a Certificate of Occupancy from the Building Codes Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL BOARD OF ZONING APPEALS that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE: 3

NAY: 0

DATED: 9/29/16

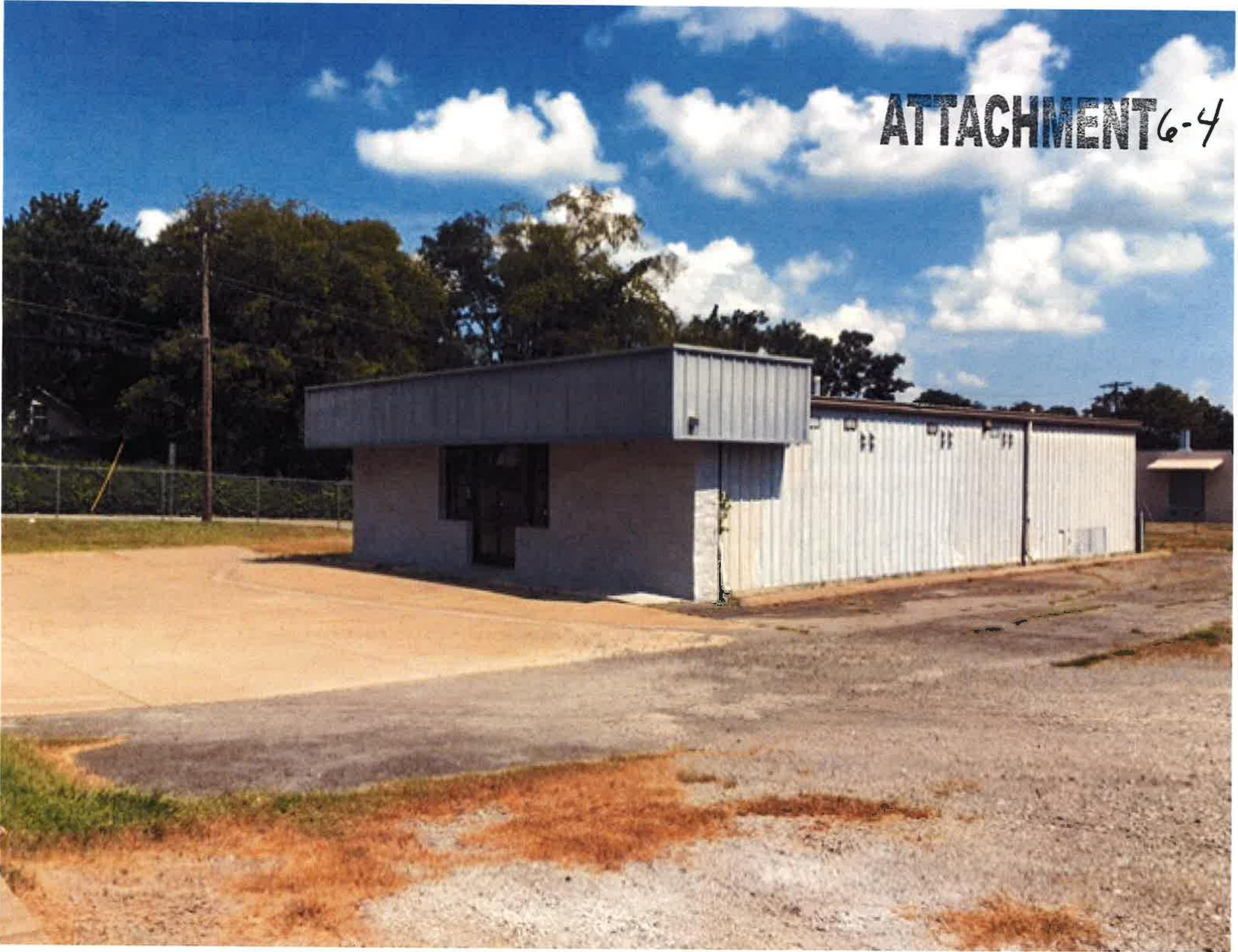
Jimmy Moore, Chair

Homer Vaughn, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney

ATTACHMENT 6-4



ATTACHMENT 6-4



ATTACHMENT 6-4



ATTACHMENT 6-4



ZONE LOTS



File #8-2611-16

ATTACHMENT 6-5

Thursday, September 15, 2016

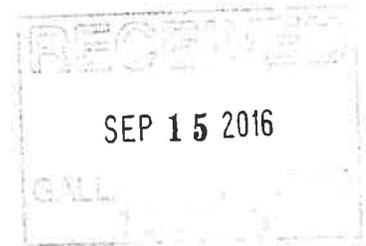
To whom it may concern:

Subject to Alicia Clay signing an agreement to lease the building at 551 Blythe Ave, I, Robert C Helson give her permission to use and operate a licensed day care in this building. Further, and subject to her signing a lease agreement, I give her permission to use the adjacent parking area for her employees and clients as needed.

Yours truly,



Robert C Helson
RCH Properties



ATTACHMENT 6-6

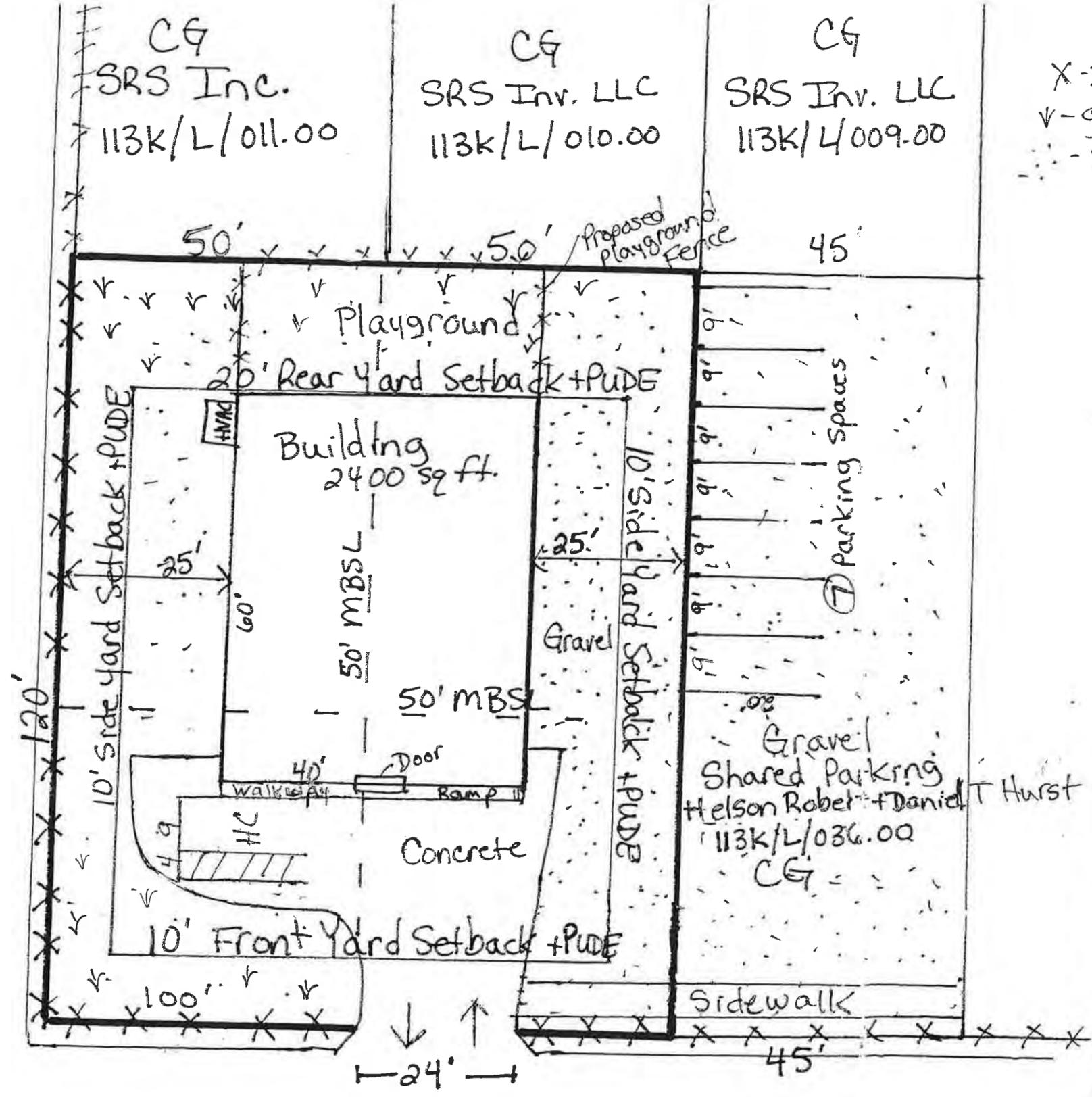
B-2455-16

Kidville Learning Center
Site Plan
551 Blythe Avenue

1" = 20' ← N
113K/L/034.00
Helson Robert C + Danrel T. Hurst

X - Iron Fence
v - grass
- gravel

Face St.



Blythe Avenue

mu
James Oldham 113J/G/001.00

Site Data Table

Project Name:	Kidville Learning Center
Tax Map and Parcel Number:	113K/L/034.00
Size of Parcel:	12,000 sq. ft.
Project Address:	551 Blythe Avenue
Property Owner Address:	143 Witherspoon Ave.
Developer/Business Owner Name:	Alicia Clay
Developer/Business Owner Address:	551 Blythe Avenue
Current Zoning:	CG
Required Minimum Building Setback Line:	50'
Required Yards:	Front: 10', Sides: 10', Rear: 20'
Existing/Proposed Use:	Vacant/Limited Day Care
Parking Calculations:	1 Space/4 Persons Capacity (Occupancy...)
Regular/Handicapped Spaces:	Required - 8/1, Existing - 6/1, Proposed - 8/1, (7 Parking spaces will be on vacant, adjacent zone lot. The property owner has provided a letter, authorizing the use of the adjacent lot(s) for parking and secondary access.)
Handicapped Parking Space	Will Be Striped
Building Height and Description of Building/Roof Materials (Existing and Proposed):	This structure has Metal siding with a shingled roof.
Building Sq. Ft.:	2400 sq. ft.
FEMA Notes:	A review of F.E.M.A. Flood Insurance Rate Map, Community Panel No. 47165C0314G shows no part of This property to be located within the 100-year floodplain; Effective Date 4/17/12.
Performance Standards Note:	All construction and use of the proposed facility to meet the applicable performance standards as set forth in the City of Gallatin Zoning Ordinance, Section 13.02.
Financial Statement:	The owner/developer of this property is responsible for all financial matters.
Trash Collection:	City Toter



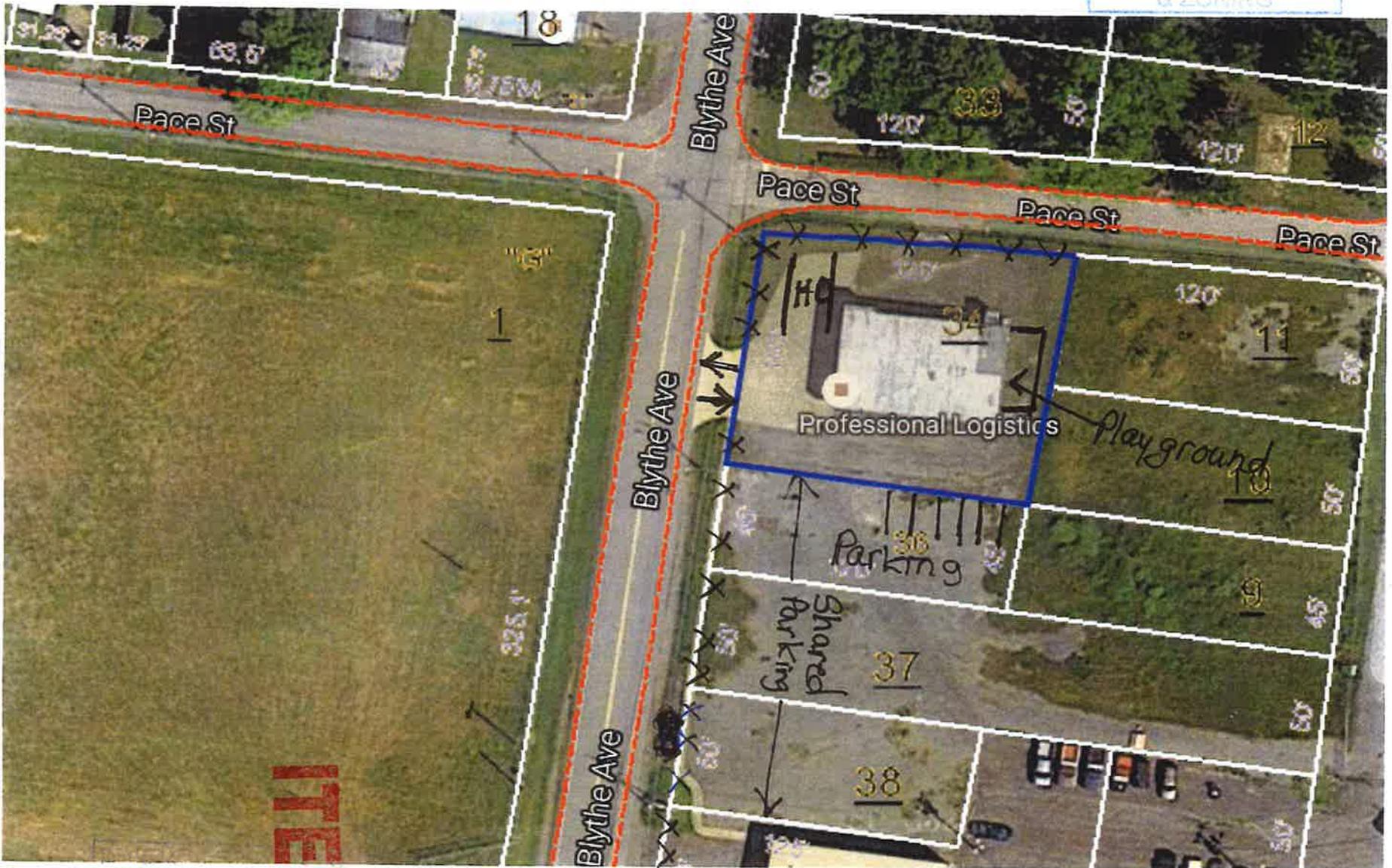
OCT 12 2016

ITEM 6

RESUBMITTAL

8-2611-16

RECEIVED
SEP 30 2016
GALLATIN PLANNING
& ZONING



ITEM 6

8-2611-16

ITEM 7

GMRPC Resolution No. 2016-121

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING AN AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN AND A REVISION TO THE FINAL MASTER DEVELOPMENT PLAN FOR ENOCH HILLS TO CHANGE THE ARCHITECTURE ON A 71.42 (+/-) ACRE PARCEL, LOCATED ON THE NORTH SIDE OF HARTSVILLE PIKE AND WEST OF WOODLANDS DRIVE. (PC 8-2606-16)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the amendment to the Preliminary Master Development Plan and a Revised Final Master Development Plan for Enoch Hills, submitted by the applicant, H & M Lot Development, at its regular meeting on October 24, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-3-413, 13-4-310, and G.Z.O., § 15.03.020:

1. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is in agreement and consistent with the intent and land use recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan Update 2008-2020 for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is consistent with the purpose and intent of the Low Density Residential-20 Planned Residential Development (R20 PRD) zone district, the approved Preliminary Master Development Plan, and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements.
3. The proposed changes shown in the Amended Preliminary Master Development Plan/Revised Final Master Development Plan do not constitute a major amendment to the previously approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
4. The legal purposes for which zoning regulations exist have not been contravened.

ITEM 7

5. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
7. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a minor amendment to the Preliminary Master Development Plan and a Revised Final Master Development Plan for Enoch Hills, consisting of 31 pages of architectural standards, prepared by Richard R. Graves Land Surveying of Westmoreland, TN, submitted on September 30, 2016, with a final revision date of October 6, 2016.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 10/24/2016

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 7

PLANNING DEPARTMENT STAFF REPORT

Amendment to the Preliminary Master Development Plan and a Revised Final Master Development Plan for Enoch Hills
(8-2606-16)

Located on Enoch Way, North Side of Hartsville Pike

Date: October 24, 2016

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN AND A REVISION TO THE FINAL MASTER DEVELOPMENT PLAN FOR ENOCH HILLS TO CHANGE THE ARCHITECTURE ON A 71.42 (+/-) ACRE PARCEL, LOCATED ON THE NORTH SIDE OF HARTSVILLE PIKE AND WEST OF WOODLANDS DRIVE.

OWNER: H & M LOT DEVELOPMENT

APPLICANT: H & M LOT DEVELOPMENT

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2016-121

STAFF CONTACT: JILLIAN OGDEN

PLANNING COMMISSION DATE: OCTOBER 24, 2016

PROPERTY OVERVIEW: Owner and applicant request approval of an amendment to the Preliminary Master Development Plan and a Revised Final Master Development Plan for Enoch Hills to change the architecture on 71.42 (+/-) acres (Tax Map 112, Parcel 032.00), located on the north side of Hartsville Pike and west of Woodlands Drive. The property is currently zoned Low Density Residential R20 Planned Residential Development (R20 PRD). One-Family Detached Dwellings is a permitted use in the R20-PRD zoning district. (Attachment 7-1)

CASE BACKGROUND:

Previous Approvals

On September 26, 2005, the Planning Commission recommended approval to rezone the property from Agricultural Residential (A) to Residential-20 Planned Residential Development (R20 PRD) with a Preliminary Master Development Plan for Enoch Hills (PC File# 3-10-05). On October 18, 2005, the City Council approved the rezoning request under Ordinance# 00508-056.

On January 22, 2006, the Planning Commission approved the Final Master Development Plan for Enoch Hills (File# 8-1-06).

On March 26, 2007, the Planning Commission approved a Preliminary Plat for Enoch Hills, Phase 1, Section 1 (File# 1-4-07B) and Phase 1, Section 2 (File# 1-5-07B).

On October 22, 2007, the Planning Commission approved a Preliminary Plat for Enoch Hills, Phase 2, Section 1 (File# 1-20-07B). The Final Plat for Phase 2, Section 1 (File# 1-1-

08C) was submitted for Planning Commission approval in May 2008 but was deferred due to grading and drainage requirements. The plat was never resubmitted for approval.

On November 26, 2007, the Planning Commission approved a Preliminary Plat for Enoch Hills, Phase 2, Section 2 (File# 1-38-07B). The Final Plat for Phase 2, Section 2 (File# 1-2-08C) was submitted for Planning Commission approval in May 2008, but was deferred due to grading and drainage requirements. The plat was never resubmitted for approval.

Construction plans were approved by the Engineering Division in March 2015, and construction began on the development.

On April 25, 2016, the Planning Commission approved a Final Plat for Enoch Hills, Phase 1, Sections 1 & 2 (1-1693-16C). The Final Plat was recorded on August 31, 2016 (P.B. 29, Pg. 289-293).

At the October 10, 2016 Work Session, the Planning Commission reviewed this proposal for a minor amendment to the Preliminary Master Development Plan and a revision to the Final Master Development Plan and had no comments or concerns.

DISCUSSION:

Architectural Elevations

The applicant and owner is requesting a change to the approved architecture for the PMDP/FMDP for Enoch Hills. The original approval required that front entry garages be recessed back from the front of the house or on the same plane as the front façade (Attachment 7-2). The proposed change would remove this restriction and allow front-facing garage doors on garages that project forward from the front façade of the house (Attachment 7-3). Two additional model home styles that reflect this change have been added to the original architectural standards. The applicant and owner has stated that decorative garage doors will be used on all front and courtyard garages.

No other changes are requested.

This change will apply to all of the Enoch Hills development as depicted on the PMDP/FMDP. A similar future amendment will not be required for additional phases and sections.

Minor Amendment

G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan, lists specific items that would constitute a major amendment to an approved Preliminary Master Development Plan including an increase in density, substantial changes to access or site circulation, or substantial changes to approved architecture. Staff recommends that the Planning Commission consider the proposed changes as not a substantial change to the architecture and as a minor amendment to the approved Preliminary Master Development Plan and Final Master Development Plan for Enoch Hills. There are no significant changes involved in this proposed development that contradict the original intentions of the Master Plan.

Planning Department Comments

The Planning Department reviewed and commented on the Amended PMDP/FMDP. The applicant satisfactorily addressed all of the Planning Department comments.

FINDINGS:

1. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is in agreement and consistent with the intent and land use recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan Update 2008-2020 for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is consistent with the purpose and intent of the Low Density Residential-20 Planned Residential Development (R20 PRD) zone district, the approved Preliminary Master Development Plan, and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements.
3. The proposed changes shown in the Amended Preliminary Master Development Plan/Revised Final Master Development Plan do not constitute a major amendment to the previously approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
4. The legal purposes for which zoning regulations exist have not been contravened.
5. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
7. The Amended Preliminary Master Development Plan /Revised Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2016-121, a minor amendment to the Preliminary Master Development Plan and a Revised Final Master Development Plan for Enoch Hills, consisting of 31 pages of architectural standards, prepared by Richard R. Graves Land Surveying of Westmoreland, TN, submitted on September 30, 2016, with a final revision date of October 6, 2016.

ATTACHMENTS

- Attachment 7-1 Location Map**
- Attachment 7-2 Original Cover Letter for the Architectural Standards for Enoch Hills**
- Attachment 7-3 Proposed Architectural Standards and Restrictive Covenants for Enoch Hills**

**ENOCH HILLS
AMENDED PMDP/REVISED FMDP
8-2606-16**



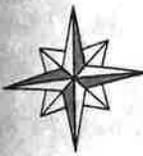
**Tax Map 112//032.00
Zoned: Residential 20 (PRD)**

ATTACHMENT

7-1



8-2606-16



L. STEVEN BRIDGES, JR.

Land Surveying and Consulting

CITY OF GALLATIN
PLANNING DIVISION
132 WEST MAIN STREET
GALLATIN, TENNESSEE 37066

JANUARY 10, 2007

RE: ENOCH HILLS

PLANNING DIVISION,

ENOCH HILLS CONSISTS OF 120 SINGLE FAMILY HOMES ON 71 ACRES. THE LOCATION ON THE NORTH SIDE OF HARTSVILLE PIKE AND WEST OF WOODLANDS DRIVE PROVIDES ACCESS TO CITY ACTIVITIES, QUALITY SCHOOLS AND SHOPPING.

ENOCH HILLS HAS TWO SECTIONS. SECTION ONE - THE PREMIER HOMES HAVE A MINIMUM SIZE OF 1,700 SQUARE FEET, A TWO CAR GARAGE 75% BRICK OR STONE, TO MATCH THE PLAN. IN THE PREMIER HOMES SECTION WHERE THE LOTS ARE ADJACENT TO THE WESTERN BOUNDARY OF THE WOODLANDS SUBDIVISION THE HOMES WILL BE BRICK ON ALL SIDES WITH EXCEPTION FOR ACCENT AREAS. SECTION TWO - THE VILLAGE HOMES HAVE A MINIMUM SIZE OF 1,500 SQUARE FEET, A TWO CAR GARAGE AND 60% BRICK OR STONE, TO MATCH THE PLAN.

WHEN FRONT ENTRY GARAGES ARE CONSTRUCTED, THEY CANNOT EXCEED 45% OF THE HOUSE WIDTH. FRONT ENTRY GARAGES SHOULD BE RECESSED BACK FROM THE FRONT OF THE HOUSE, OR ON THE SAME PLAIN AS THE FRONT, BUT NEVER PROJECTING FORWARD. DECORATIVE GARAGE DOORS WILL BE USED ON ALL FRONT OR COURTYARD GARAGES.

HOMES IN BOTH THE PREMIER AND VILLAGE SECTION WILL HAVE OVERHEAD ELECTRIC, PHONE AND CABLE. ALL SERVICE LINES FROM THE POLE TO THE HOUSE WILL BE UNDERGROUND.

LOTS IN PHASE ONE OF THE PREMIER AND VILLAGE SECTION ARE SCHEDULED FOR SUMMER OF 2007. PHASE TWO OF THE VILLAGE SECTION IS EXPECTED IN THE FALL OF 2008. PHASE TWO OF THE PREMIER SECTION IS PROJECTED FOR SPRING OF 2008 WITH PHASE THREE EXPECTED IN THE FALL OF 2008. THE FINAL PHASE OF THE DEVELOPMENT, PREMIER SECTION - PHASE FOUR IS ESTIMATED IN SPRING OF 2009.

IF I CAN BE OF ASSISTENCE IN ANY WAY, PLEASE CALL ME AT 615-822-5394.

SINCERELY,

L. STEVEN BRIDGES, JR.

ATTACHMENT

7-2

8-2606-1e

Richard D. Graves Land Surveying
1768 New Highway 52
Westmoreland, TN 37186
(615) 644-2077 Office
(615) 644-3200 Fax



SEPTEMBER 29, 2016

CITY OF GALLATIN
PLANNING DIVISION
132 WEST MAIN STREET
GALLATIN, TN 37066

RE: ENOCH HILLS

PLANNING DIVISION,

ENOCH HILLS CONSISTS OF 120 SINGLE FAMILY HOMES ON 71 ACRES. THE LOCATION ON THE NORTH SIDE OF HARTSVILLE PIKE AND WEST OF WOODLANDS DRIVE PROVIDES ACCESS TO CITY ACTIVITIES, QUALITY SCHOOLS AND SHOPPING.

ENOCH HILL HAS TWO SECTIONS. SECTION ONE- THE PREMIER HOMES HAVE A MINIMUM SIZE OF 1700 SQUARE FEET, A TWO CAR GARAGE 75 % BRICK OR STONE TO MATCH THE PLAN. IN THE PREMIER HOMES SECTION WHERE THE LOTS ARE ADJACENT TO THE WESTERN BOUNDARY OF THE WOODLANDS SUBDIVISION THE HOMES WILL BE BRICK ON ALL SIDES WITH EXCEPTION FOR ACCENT AREAS. SECTION TWO - THE VILLAGE HOMES HAVE A MINIMUM SIZE OF 1,500 SQUARE FEET, A TWO CAR GARAGE AND 60% BRICK OR STONE TO MATCH THE PLAN.

WHEN FRONT ENTRY GARAGES ARE CONSTRUCTED, DECORATIVE GARAGE DOORS WILL BE USED ON ALL FRONT OR COURTYARD GARAGES.

HOMES IN BOTH THE PREMIER AND VILLAGE SECTION WILL HAVE OVERHEAD ELECTRIC, PHONE AND CABLE. ALL SERVICE LINES FROM THE POLE TO THE HOUSE WILL BE UNDERGROUND.

LOTS IN PHASE ONE, SECTIONS 1 AND 2 OF THE PREMIER AND VILLAGE SECTION ARE SCHEDULED FOR FALL OF 2016.

IF I CAN BE OF ASSISTANCE IN ANY WAY, PLEASE CALL ME AT 615-644-2077.

Thank you,

A handwritten signature in blue ink that reads "Richard D. Graves".

Richard Graves, P.L.S. TN#1628

8-2606-16

2016

ENOCH HILLS

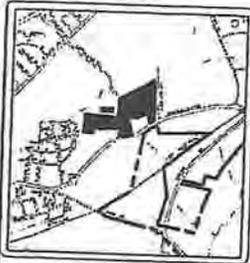
An H & M Lot Development

**Richard R. Graves
Land Surveying
1768 New Hwy 52
Westmoreland, TN 37186**

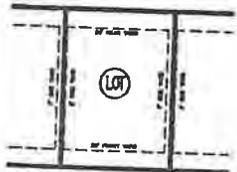
**Developer:
H & M Lot Development
256 East Schell Street
Gallatin, TN 37066**

PREMIER HOMES

BOWDEN HOMES



VICINITY MAP



STREET

DETAIL INSERT
NOT TO SCALE

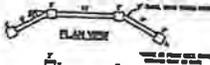


TYPICAL HOUSE LOCATION
SHOWN FOR LOTS

PLANT - LIST				
NO.	QUANTITY	SPECIES	SIZE	REMARKS
1	1	...	...	...
2	1	...	...	...
3	1	...	...	...
4	1	...	...	...
5	1	...	...	...
6	1	...	...	...
7	1	...	...	...
8	1	...	...	...
9	1	...	...	...
10	1	...	...	...



ERECT PROFILE



PLAN VIEW



COLUMN PROFILE

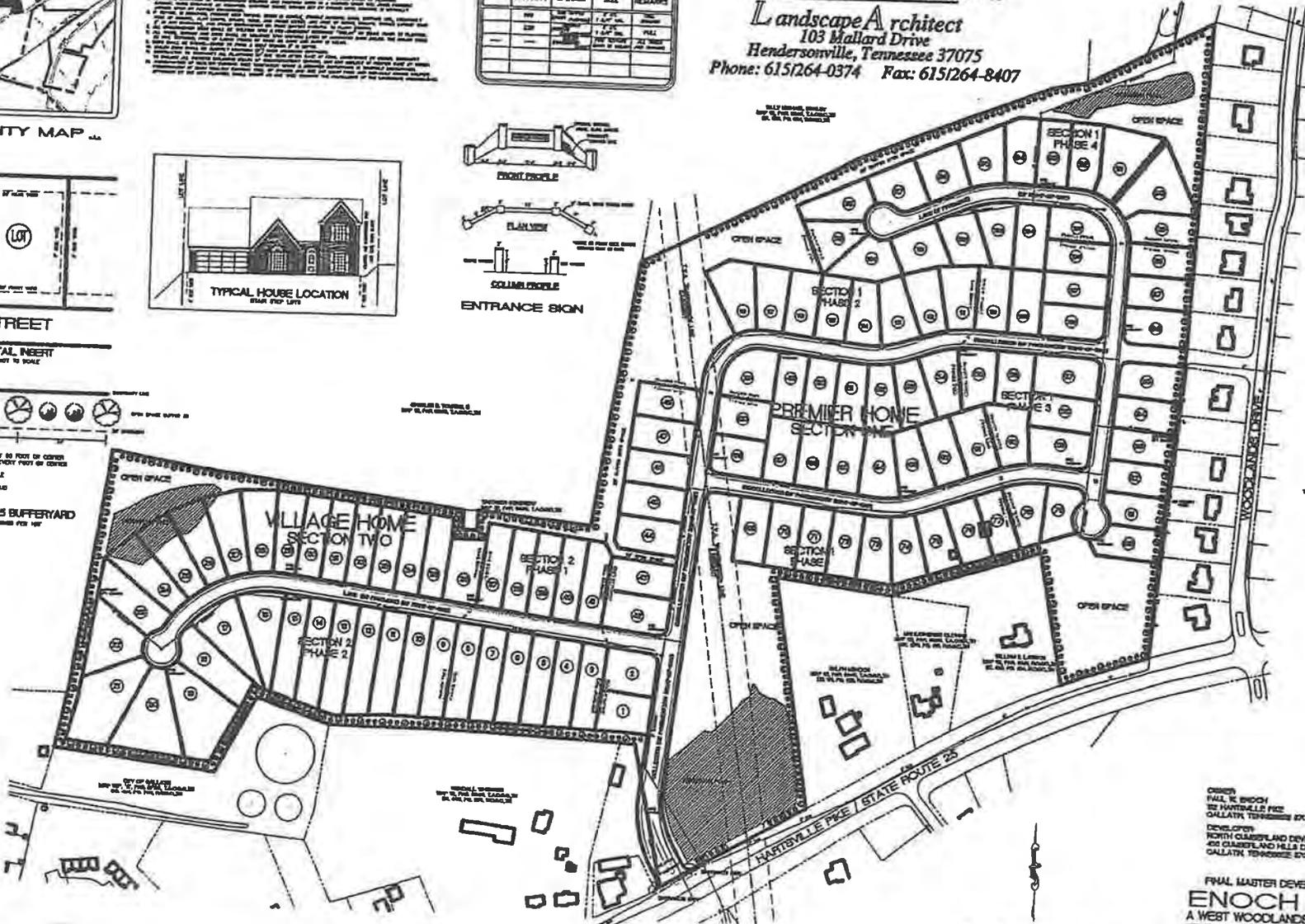
ENTRANCE SIGN

Richard D. Packard
 Landscape Architect
 103 Mallard Drive
 Hendersonville, Tennessee 37075
 Phone: 615/264-0374 Fax: 615/264-8407



USE LANDSCAPE SYMBOLS TO IDENTIFY PLANTING LOCATIONS AND SPECIES. SEE PLANT LIST FOR SPECIES AND QUANTITIES.

TYPICAL 25' BUFFERYARD
 PLANTED FOR 10'



Scale 1" = 100'

OWNER:
 PAUL R. ENOCH
 200 HARTVILLE PIKE
 GALLATIN, TENNESSEE 37038

DEVELOPER:
 NORTH CLAMBERLAND DEVELOPMENT CORPORATION
 400 CLAMBERLAND AND HILLS DRIVE
 GALLATIN, TENNESSEE 37038

FINAL MASTER DEVELOPMENT PLAN
ENOCH HILLS
 A WEST WOODLANDS DEVELOPMENT
 HARTVILLE PIKE / STATE ROUTE
 CITY OF GALLATIN
 THIRD CIVIL DISTRICT
 SUMNER COUNTY, TENNESSEE

L. STEVEN BRIDGES, JR.
 LAND SURVEYING AND CONSULTING
 111 WEST WALK STREET, SUITE 100A, GALLATIN, TN 37038
 PHONE: (615) 521-5194 FAX: (615) 521-5298

FINAL MASTER DEVELOPMENT PLAN
ENOCH HILLS
 A WEST WOODLANDS DEVELOPMENT
 CITY OF GALLATIN
 SUMNER COUNTY, TENNESSEE

DRAWN BY:
 L.S.B., J.

CHECKED BY:
 L.R.K.

DATE:
 APRIL 22, 2005

REVISIONS:

STAFF COMM.
 08/10/2005

STAFF COMM.
 07/15/2005

STAFF COMM.
 07/15/2005

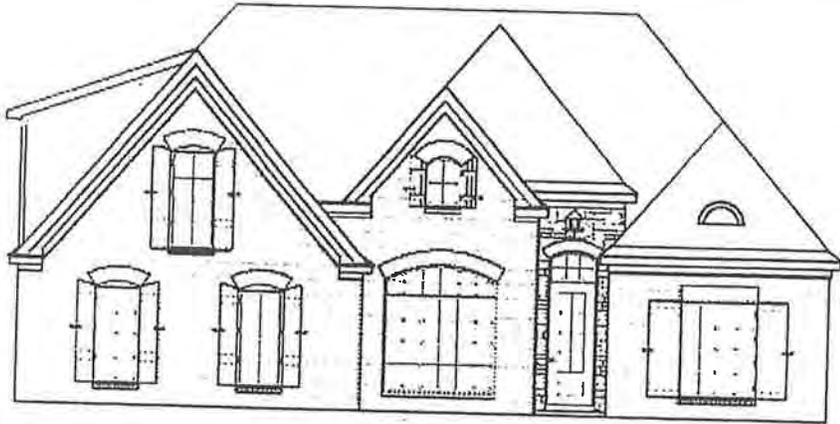
STAFF COMM.
 09/20/2005

SCALE:
 1" = 100'

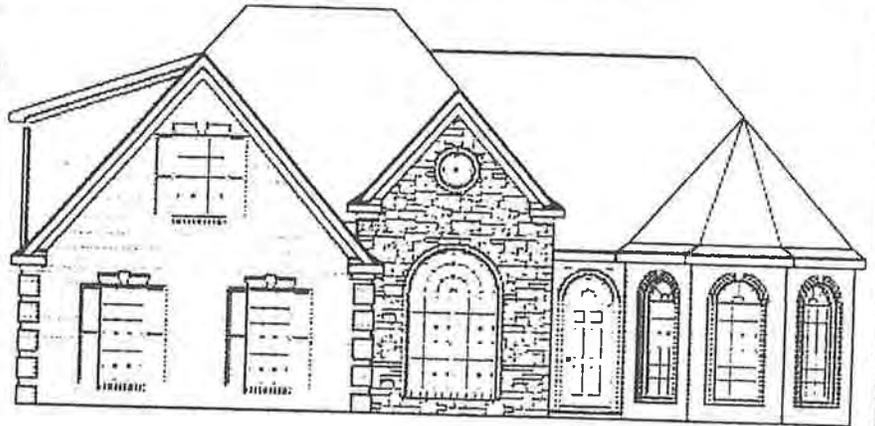
JOB NO.:
 ENOCH

SHEET NO.

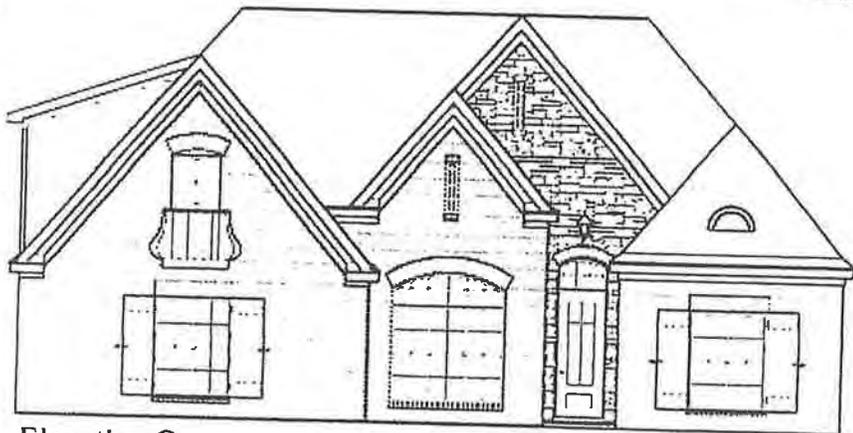
The Herrington



Elevation A



Elevation B



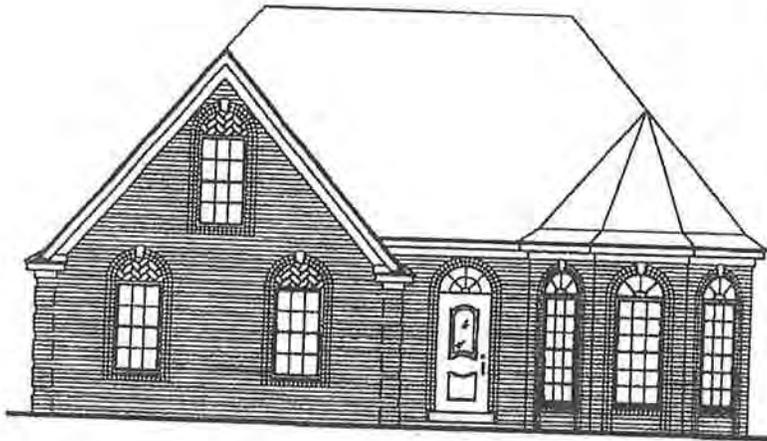
Elevation C

This is Living!
Bowden
HOMES
A Division of Levitt Corporation

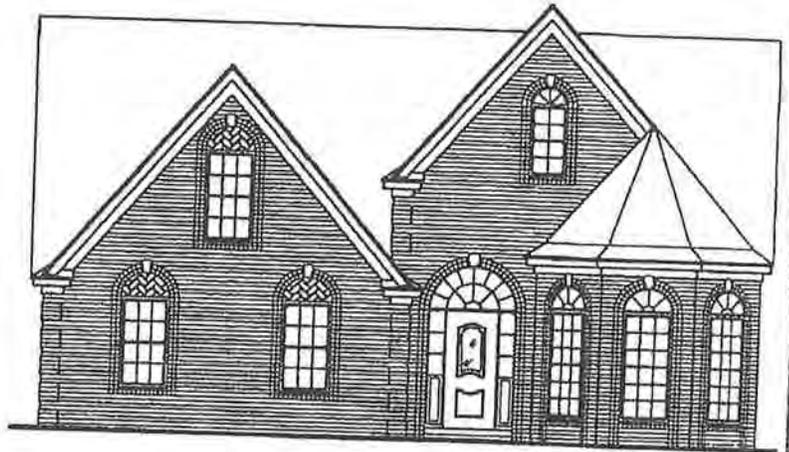
www.bowdenbuilding.com

©2005 Bowden Building Corp.
Footprint may vary depending on elevation

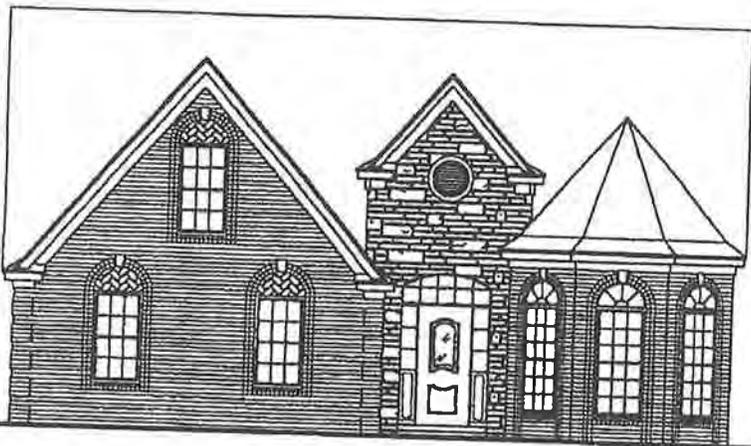
The Kinston



Elevation A



Elevation B



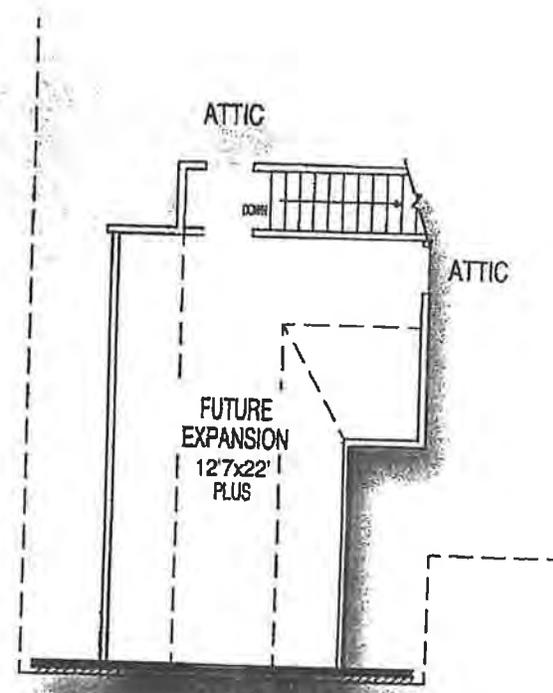
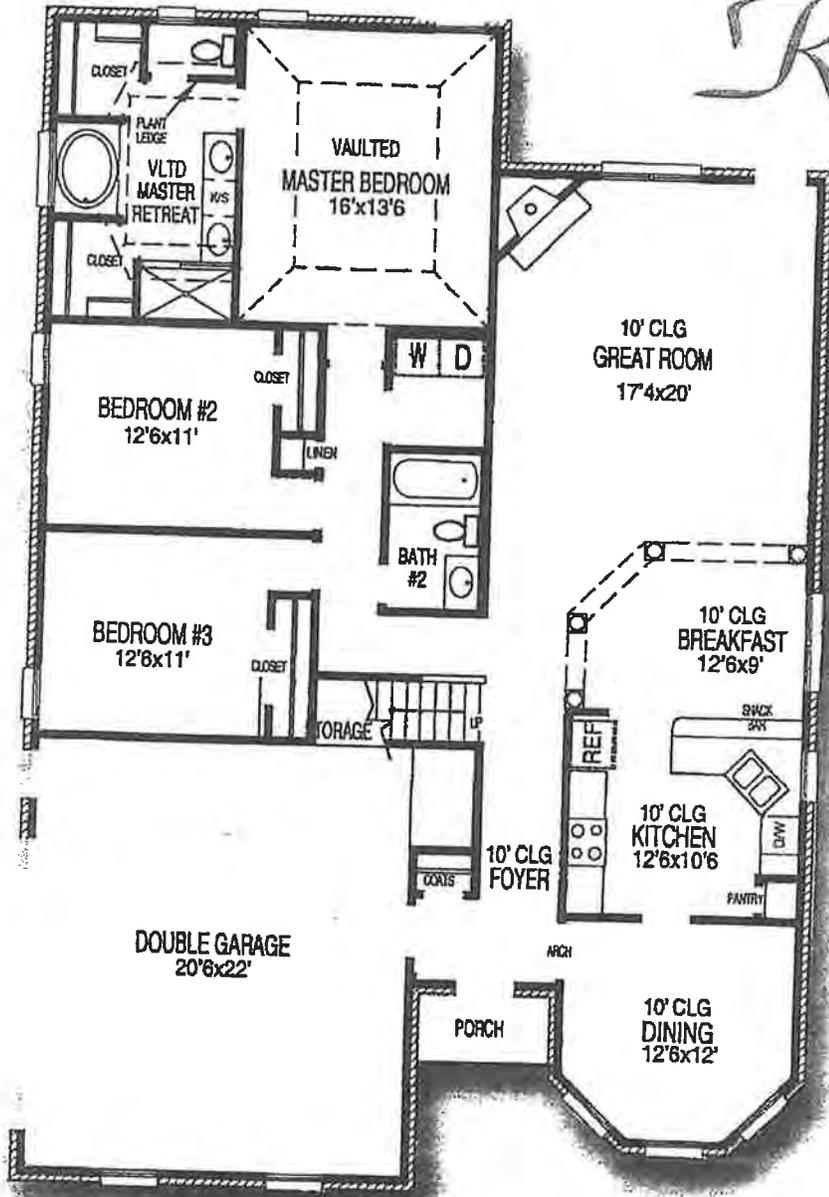
Elevation C

This is Bowden
Bowden
HOMES
A Division of Lovitt Corporation

www.bowdenbuilding.com

©2005 Bowden Building Corp.
Footprint may vary depending on elevation

The Kinston



1984 Heated Square Feet
577 Unheated
368 Future Area
2929 Total Square Feet

Floorplan and actual construction may vary from artwork. Confirm final details at pre-construction meeting.

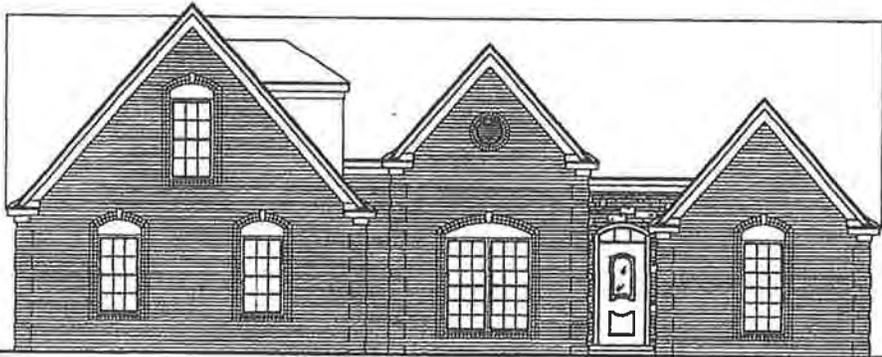
This is Living!
Bowden
HOMES
A Division of Levitt Corporation
www.bowdenbuilding.com

© 2005 Bowden Building Corporation, All rights reserved. Plans, prices and financing subject to change without notice. Information deemed reliable but not guaranteed.

The Lexington



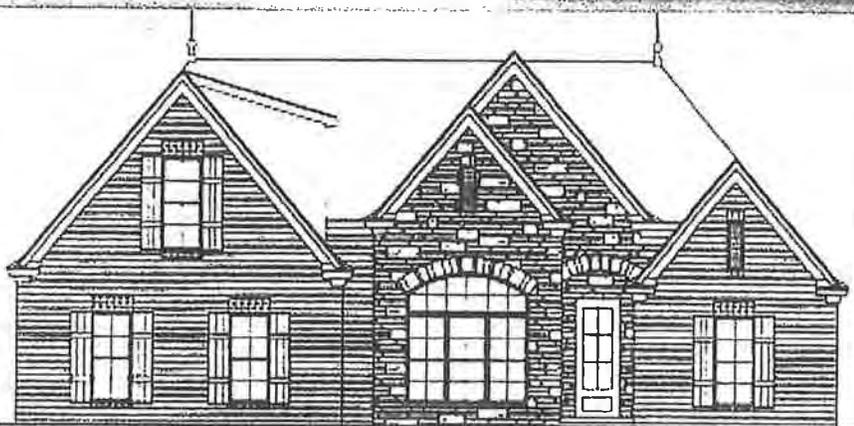
Elevation A



Elevation B



Elevation C



Elevation D

This is Living!

Bowden
HOMES
A Division of Levitt Corporation

www.bowdenbuilding.com

©2005 Bowden Building Corp.
Footprint may vary depending on elevation

* All finials, wrought iron balcony rails, wooden garage doors and trellises are optional. There is an additional charge for these items.

The Lexington



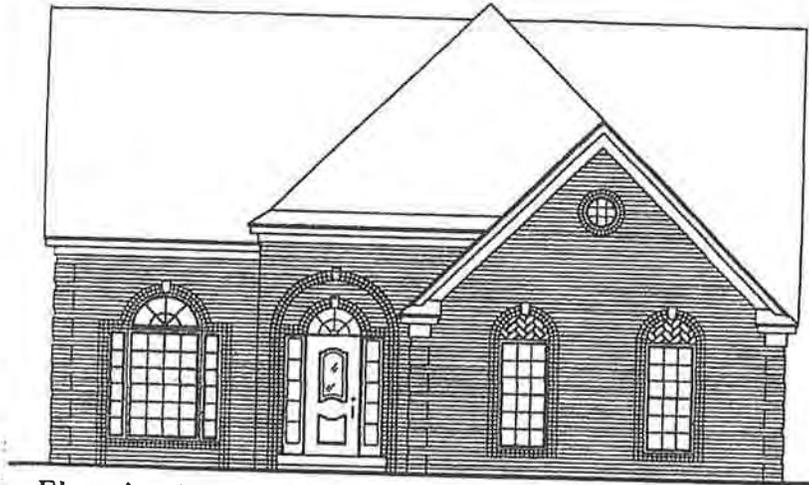
2114 Heated Square Feet
442 Future Expandable
3014 Total Square Feet

Floorplan and actual construction may vary from artwork. Confirm final details at pre-construction meeting.

This is Living!
Bowden
HOMES
A Division of Lovitt Corporation
www.bowdenbuilding.com

© 2005 Bowden Building Corporation, All rights reserved. Plans, prices and financing subject to change without notice. Information deemed reliable but not guaranteed.

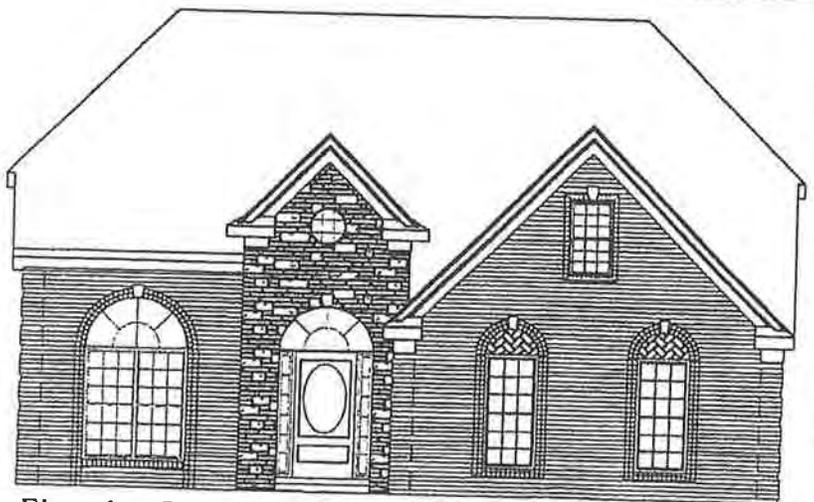
The Kimball



Elevation A



Elevation B



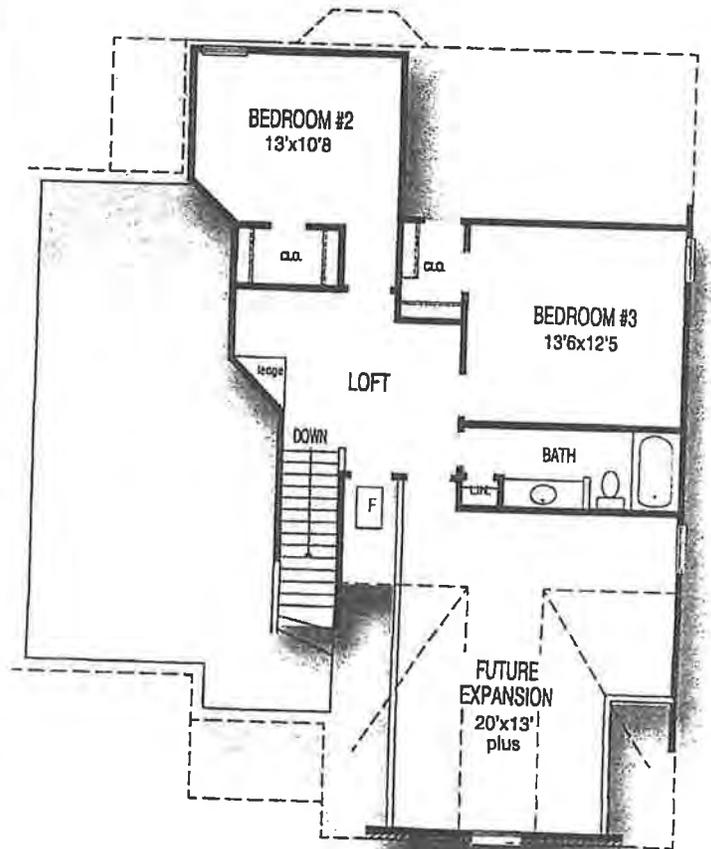
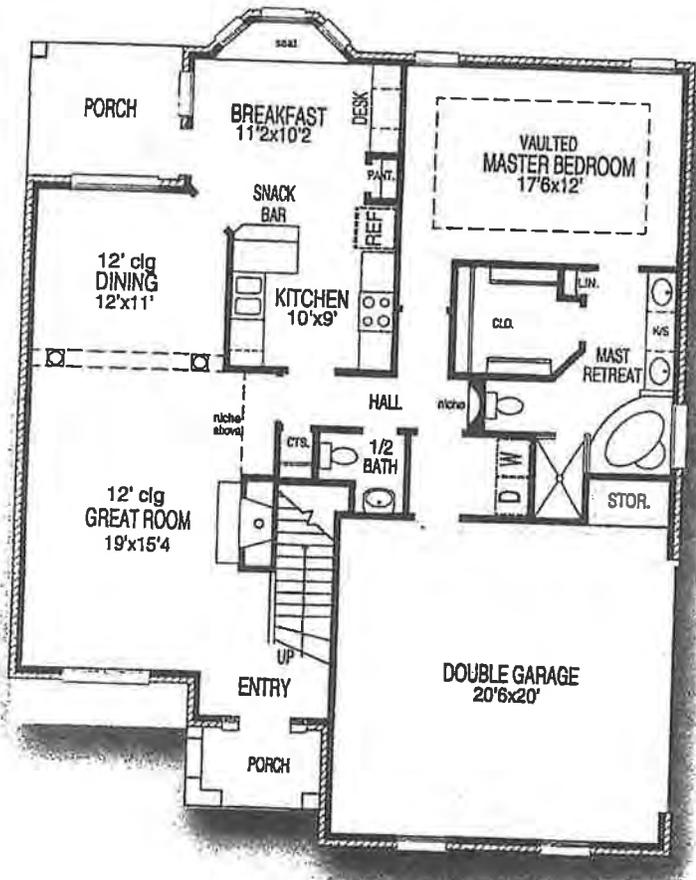
Elevation C

This is Living!
Bowden
HOMES
A Division of Levitt Corporation

www.bowdenbuilding.com

©2005 Bowden Building Corp.
Footprint may vary depending on elevation

The Kimball



2005 Heated Square Feet
582 Unheated
348 Future Area
2935 Total Square Feet

Floorplan and actual construction may vary from artwork. Confirm final details at pre-construction meeting.

This is Living!
Bowden
HOMES
A Division of Lennar Corporation
www.bowdenbuilding.com

© 2005 Bowden Building Corporation. All rights reserved. Plans, prices and financing subject to change without notice. Information deemed reliable but not guaranteed.

The Livingston



This is Living!
Bowden
HOMES
A Division of Levitt Corporation

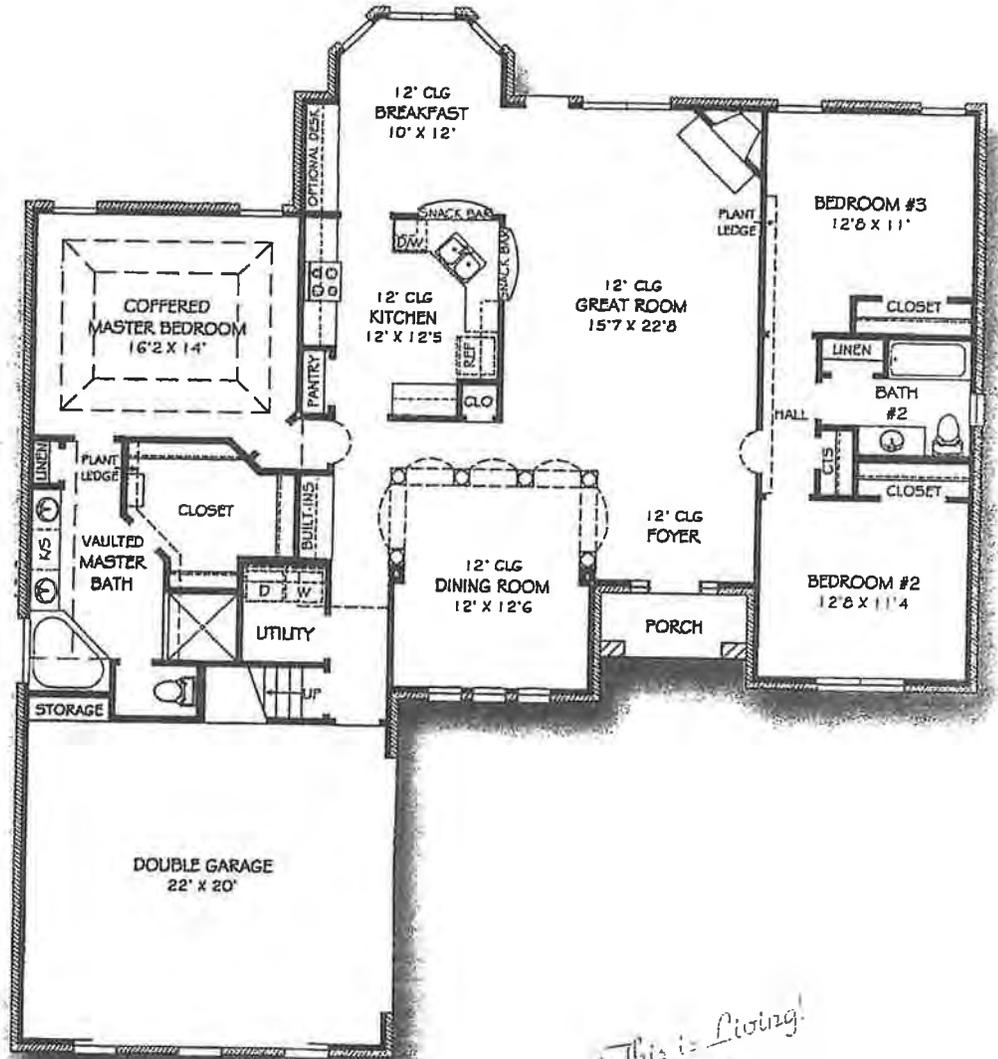
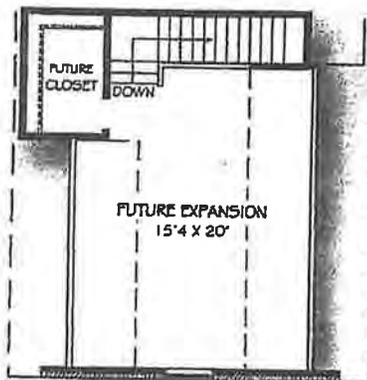
www.bowdenbuilding.com

©2005 Bowden Building Corp.
Footprint may vary depending on elevation

The Livingston



OPTIONAL OFFICE/STUDY
ADD 160 HEATED SF



2097 Heated Square Feet
556 Unheated
425 Future Expandable
3078 Total Square Feet

Floorplan and actual construction may vary from artwork. Confirm final details at pre-construction meeting.

This is Living.
Bowden
HOMES
A Division of Lovell Corporation
www.bowdenbuilding.com

© 2005 Bowden Building Corporation. All rights reserved. Plans, prices and financing subject to change without notice. Information deemed reliable but not guaranteed.

The Monroe



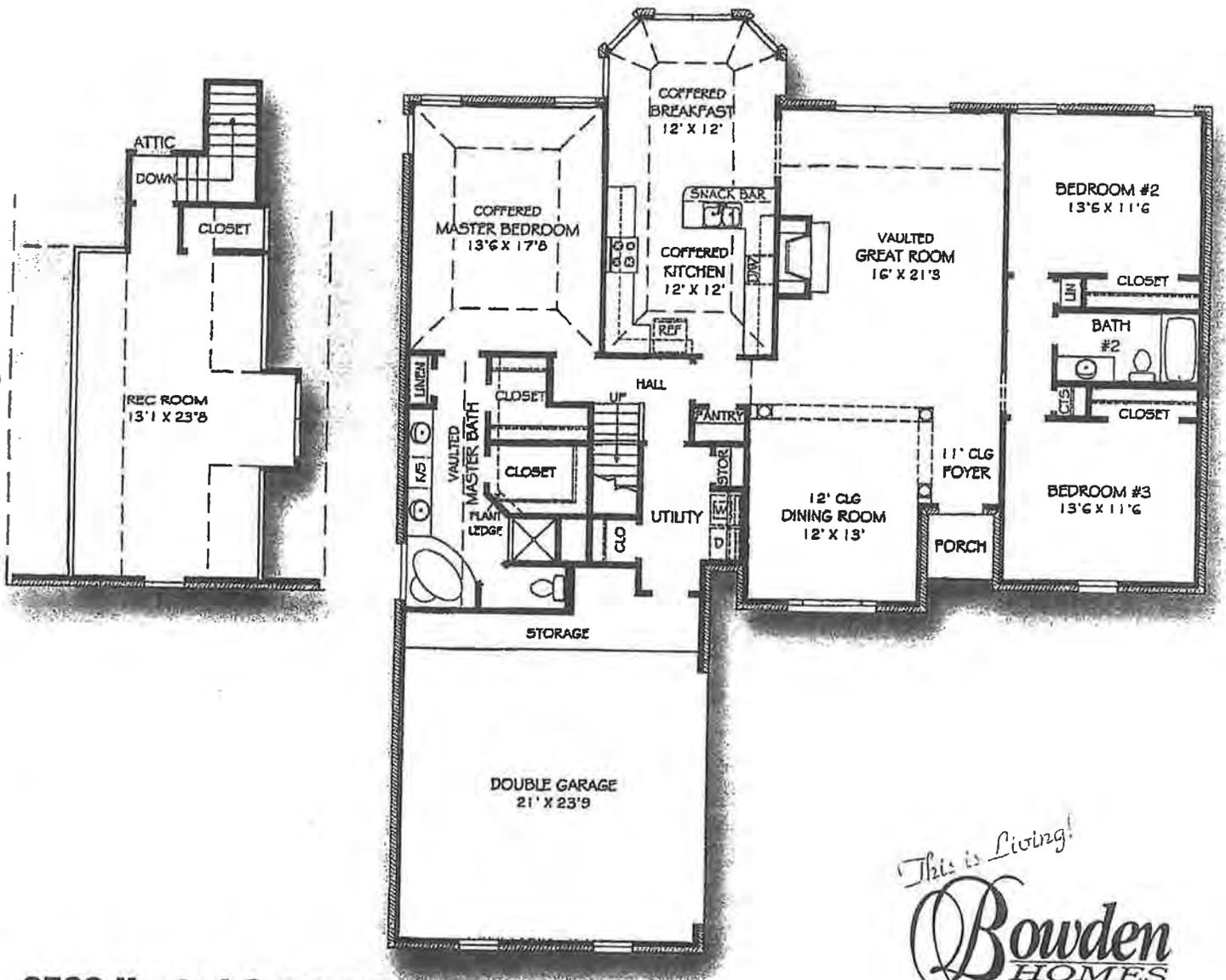
This is Living!
Bowden
HOMES
A Division of Lavin Corporation

www.bowdenbuilding.com

©2005 Bowden Building Corp.
Footprint may vary depending on elevation

*All finials, wrought iron balcony rails, wooden garage doors and trellises are optional. There is an additional charge for these items.

The Monroe



2530 Heated Square Feet
596 Unheated
3126 Total Square Feet

This is Living!
Bowden
HOMES
A Division of Lohr Corporation

www.bowdenbuilding.com

© 2005 Bowden Building Corporation, All rights reserved. Plans, prices and financing subject to change without notice. Information deemed reliable but not guaranteed.

Floorplan and actual construction may vary from artwork.
 Confirm final details at pre-construction meeting.

The Marriott



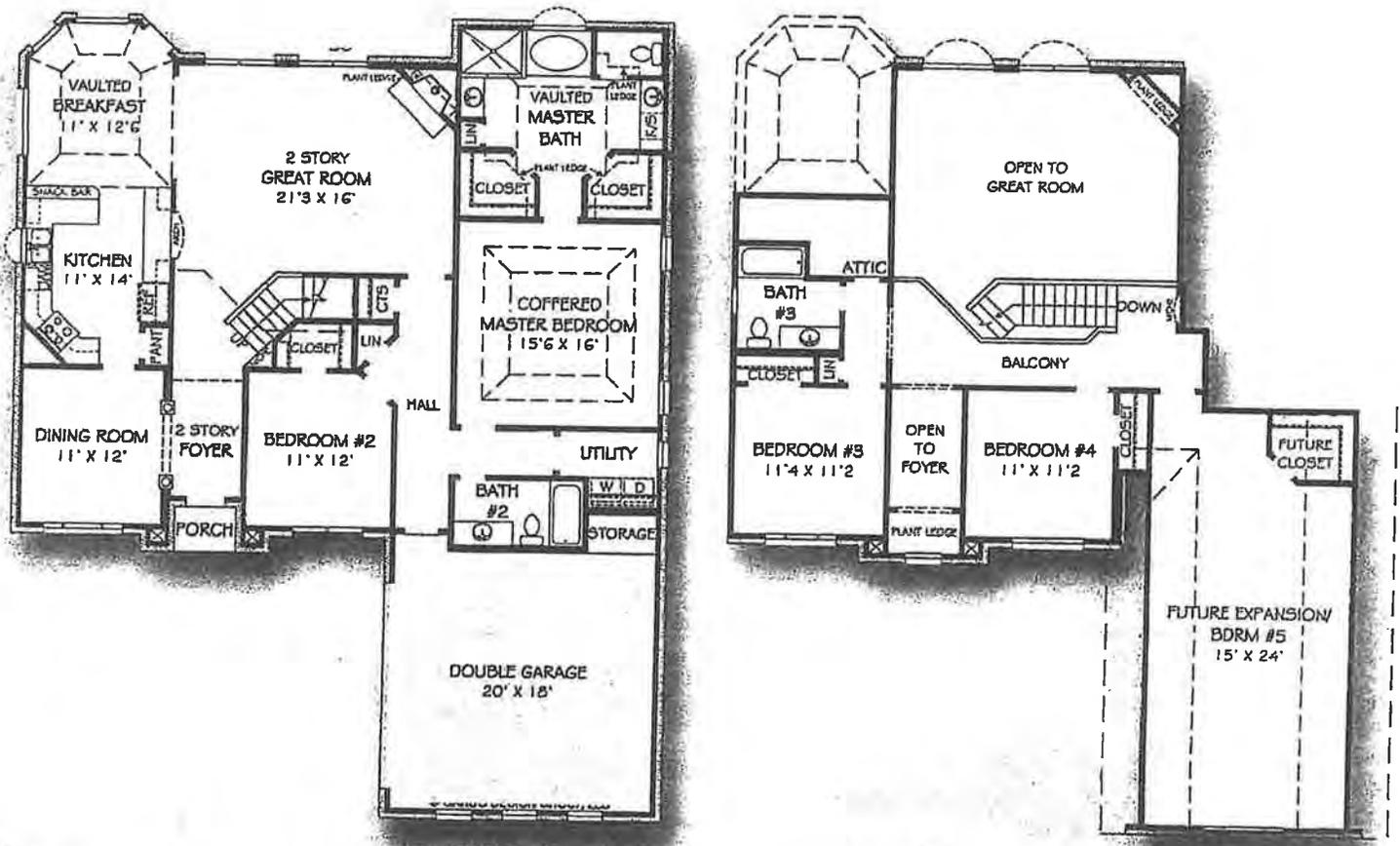
This is Living!

Bowden
HOMES
a Division of Levitt Corporation

www.bowdenbuilding.com

©2005 Bowden Building Corp.
Footprint may vary depending on elevation

The Marriott



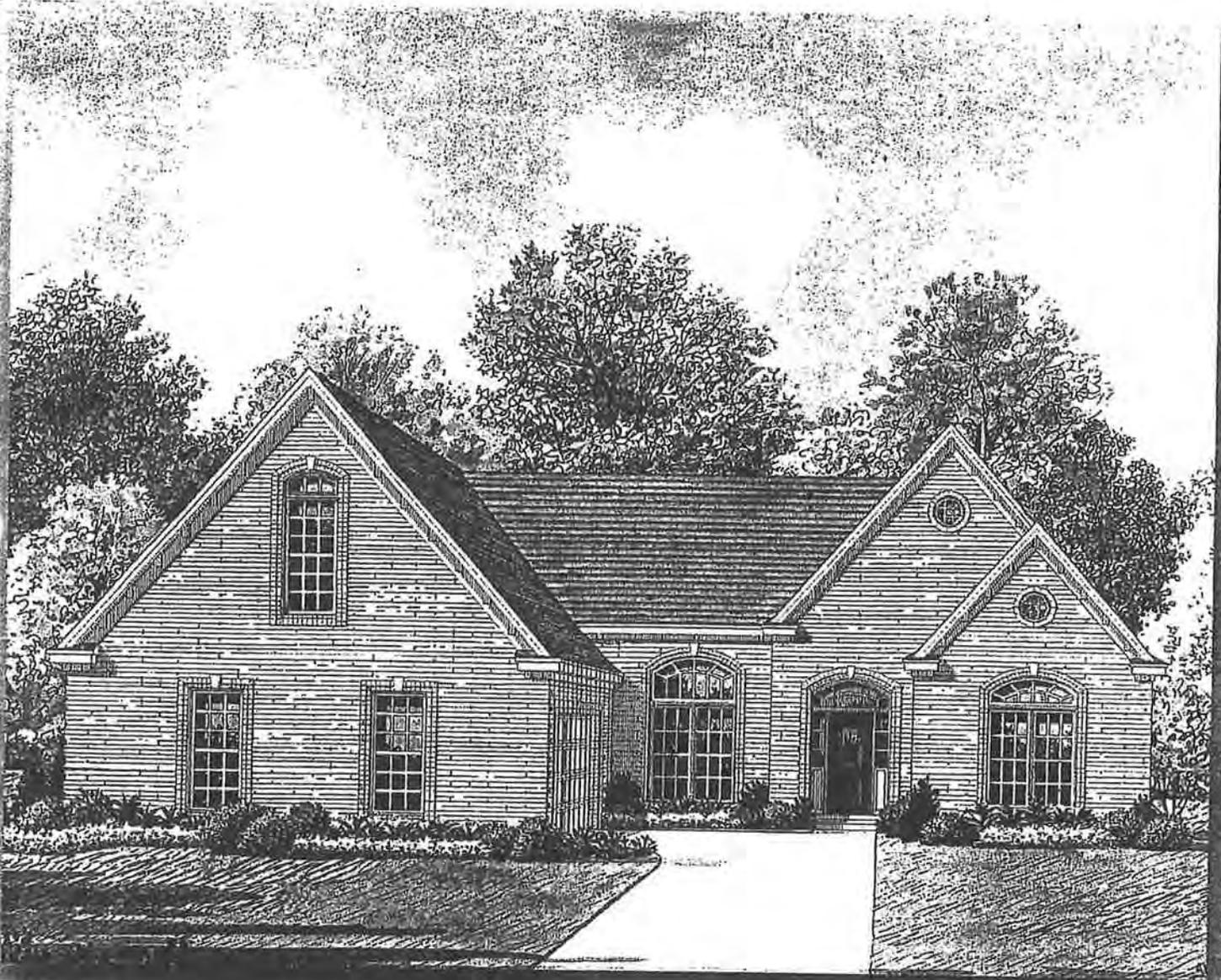
2519 Heated Square Feet
482 Future Expandable
449 Unheated
3450 Total Square Feet

Floorplan and actual construction may vary from artwork. Confirm final details at pre-construction meeting.

This is Living!
Bowden
HOMES
A Division of Levin Corporation
www.bowdenbuilding.com

© 2005 Bowden Building Corporation, All rights reserved. Plans, prices and financing subject to change without notice. Information deemed reliable but not guaranteed.

The Kingsport



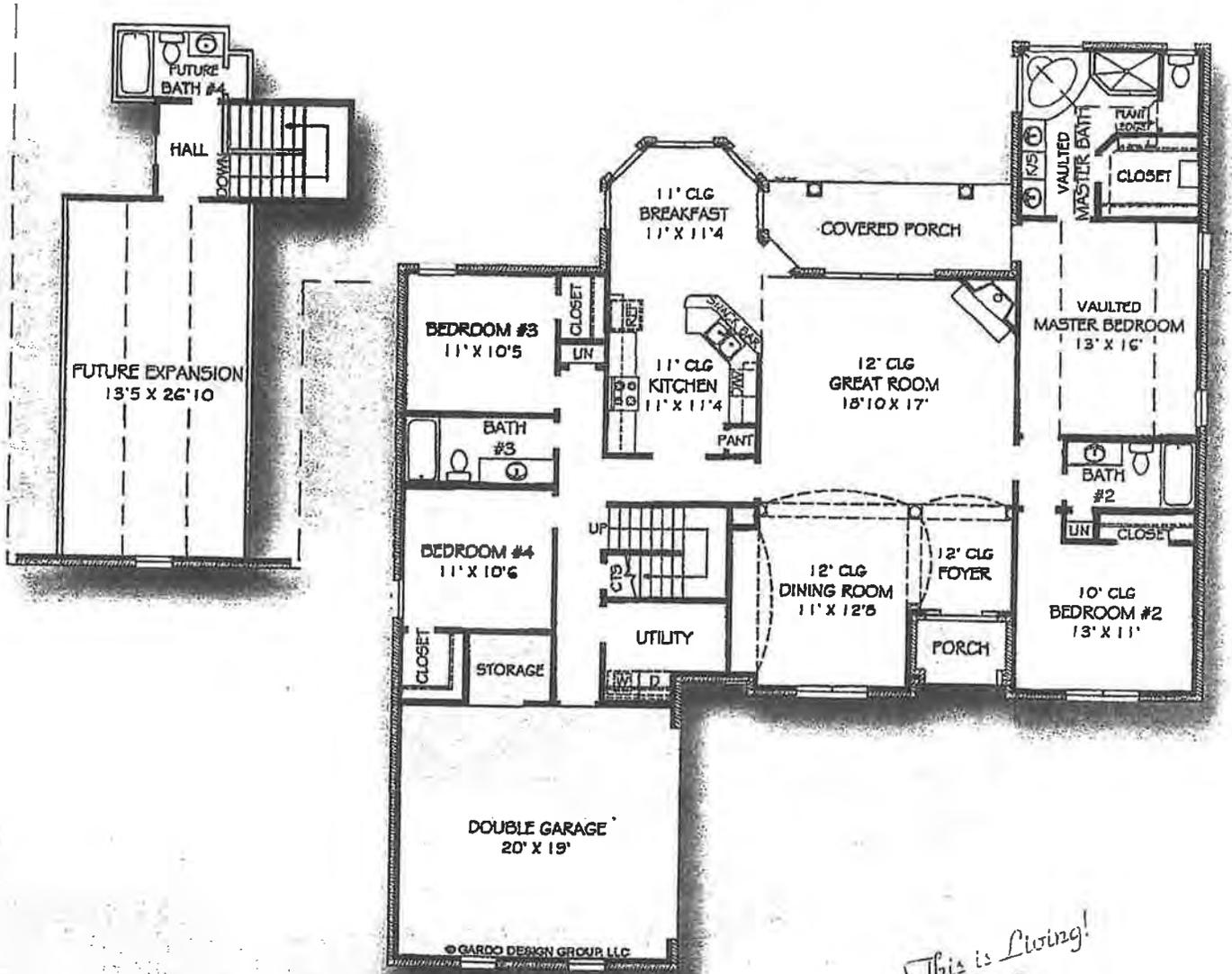
This is Living!

Bowden
HOMES
A Division of Levitt Corporation

www.bowdenbuilding.com

©2005 Bowden Building Corp.
Footprint may vary depending on elevation.

The Kingsport



2277 Heated Square Feet
601 Unheated
446 Future Expandable
3324 Total Square Feet

Floorplan and actual construction may vary from artwork. Confirm final details at pre-construction meeting.

This is Living!
Bowden
HOMES
A Division of Levitt Corporation
www.bowdenbuilding.com

© 2005 Bowden Building Corporation, All rights reserved. Plans, prices and financing subject to change without notice. Information deemed reliable but not guaranteed.

VILLAGE HOMES

BOWDEN HOMES

FALL SAVINGS

10% OFF AND FREE GROUND SHIPPING!
Offer Expires October 1st, 2016 - Limited Plans Not Eligible For Discount



SEARCH

[Back to previous page](#) | [New search](#)

HOUSE PLAN 110-00355

[Go to Floorplan](#) [Print This Page](#)

- [Favorite](#)
- [More By This Designer](#)
- [What's Included?](#)
- [Modify This Plan](#)



If a real photograph is available please note that it may reflect the homeowner's modifications to the plan and that you should always reference the floor plans and renderings.

SHARE THIS PLAN



Free Shipping On Every Order

LOW PRICE GUARANTEE

ADD TO CART

This plan is not eligible for discounts

PLAN PRICING

5 Sets:	\$630.00
8 Sets:	\$720.00
Reproducible:	\$1,105.00
PDF:	\$1,105.00
CAD Files:	\$1,700.00
Additional Options	
Additional Sets:	\$40.00
Right Reading Reverse:	\$50.00
2x6 Conversion:	\$250.00
Basement Foundation:	\$250.00
Daylight Basement Foundation:	\$250.00

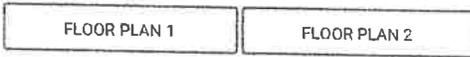
Free Shipping On Every Order

COST TO BUILD REPORT

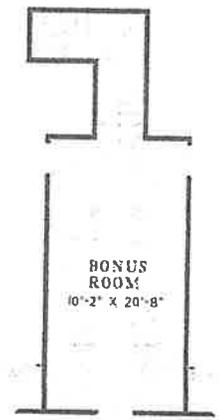
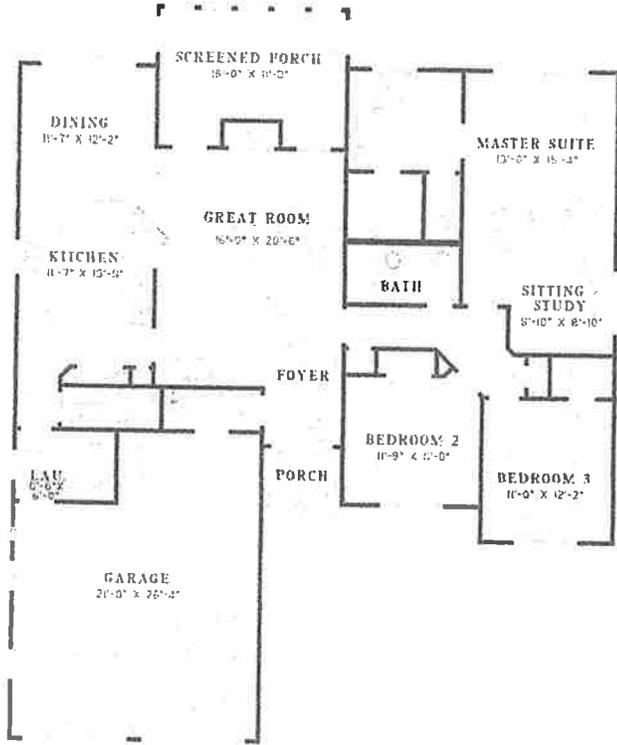
PLAN DETAILS

Square Footage:	1,732 sq. ft.
First Floor:	1,732 sq. ft.
Bonus Room:	243 sq. ft.
Garage:	585 sq. ft.
Floors:	1
Bedrooms:	3
Bathrooms:	2
Garages:	2 car
Width:	52ft.
Depth:	63ft.-10In.
Height:	28ft.-4In.
Foundation:	Slab Crawl Space
Main Roof Pitch:	12:12
Framing:	2x4

FLOORPLANS



Floorplan 1

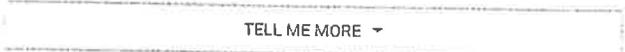


Images Copyrighted by Designer

Want To Modify This Plan?

Our designers can customize this plan to your exact specifications.

Requesting a quote is easy and fast!



Don't see your preferred framing? Contact us today to get a free quote to convert framing for your local area.

Ceiling Height

First Floor: 9 feet

PLAN FEATURES

Features

- Bonus Room
- Laundry On Main Floor
- Master On Main Floor
- Sitting Room
- Study

Garage Type

- Front Entry

Porch Type

- Front
- Rear
- Screened

FALL SAVINGS

10% OFF AND FREE GROUND SHIPPING!
Offer Expires October 1st, 2016 - Limited Plans Not Eligible For Discount



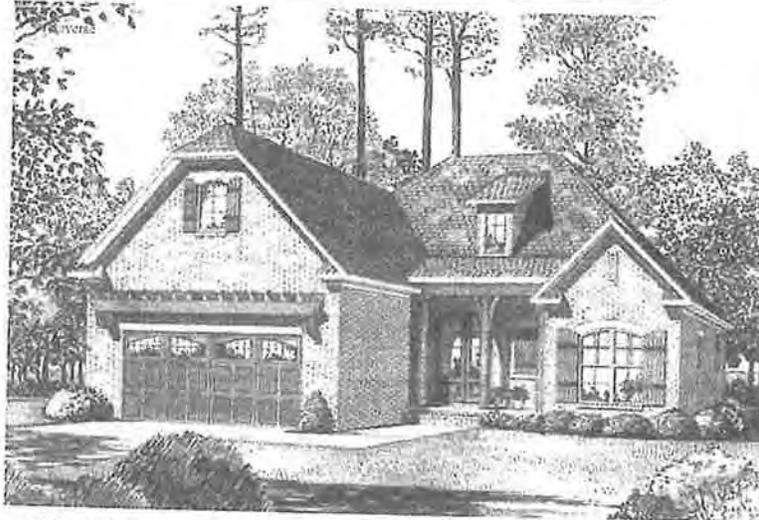
SEARCH

[Back to previous page](#) | [New search](#)

HOUSE PLAN 110-00965

[Go to Floorplan](#) [Print This Page](#)

- [Favorite](#)
- [More By This Designer](#)
- [What's Included?](#)
- [Modify This Plan](#)



If a real photograph is available please note that it may reflect the homeowner's modifications to the plan and that you should always reference the floor plans and renderings.

SHARE THIS PLAN



Free Shipping On Every Order

LOW PRICE GUARANTEE

ADD TO CART

This plan is not eligible for discounts

PLAN PRICING

5 Sets:	\$1,100.00
8 Sets:	\$1,200.00
Reproducible:	\$1,850.00
PDF:	\$1,850.00
CAD Files:	\$2,845.00
Additional Options	
2x6 Conversion:	\$250.00
Basement Foundation:	\$250.00
Daylight Basement Foundation:	\$250.00

Free Shipping On Every Order

COST TO BUILD REPORT

PLAN DETAILS

Square Footage:	1,572 sq. ft.
First Floor:	1,572 sq. ft.
Bonus Room:	276 sq. ft.
Garage:	422 sq. ft.
Floors:	1
Bedrooms:	3
Bathrooms:	2
Garages:	2 car
Width:	45ft.
Depth:	62ft.-4in.
Height:	26ft.-10in.
Foundation:	Slab Crawl Space
Main Roof Pitch:	12:12
Framing:	2x4

Don't see your preferred framing? Contact us today to get a free quote to convert framing for your local area

Ceiling Height

This plan comes with all three elevations!

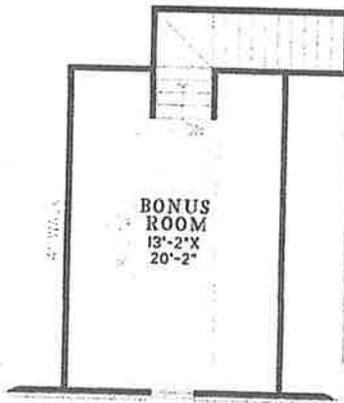
FLOORPLANS

FLOOR PLAN 1 FLOOR PLAN 2

Floorplan 1



REVERSE PRINT PLAN DOWNLOAD



REVERSE PRINT PLAN DOWNLOAD

Images Copyrighted by Designer

First Floor: 9 feet
Second Floor: 8 feet

PLAN FEATURES

Features

- Bonus Room
- Laundry On Main Floor
- Master On Main Floor
- Open Floor Plan
- Split Bedrooms

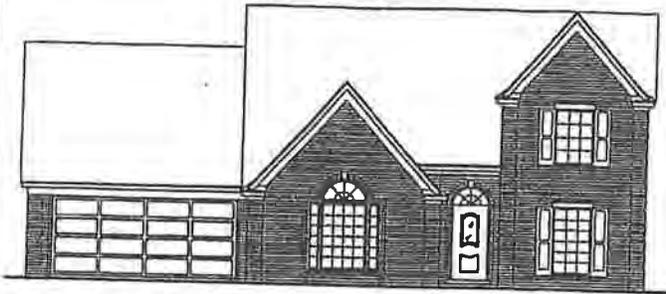
Garage Type

- Front Entry

Porch Type

- Front
- Rear

THE GEORGIAN



Elevation A



Elevation B

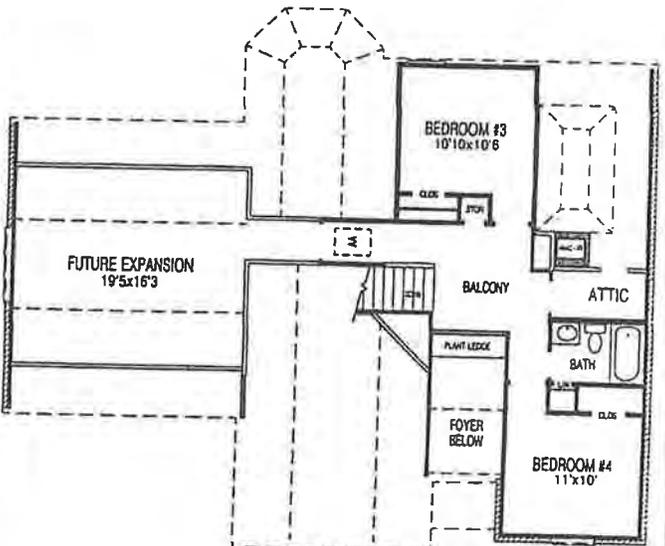
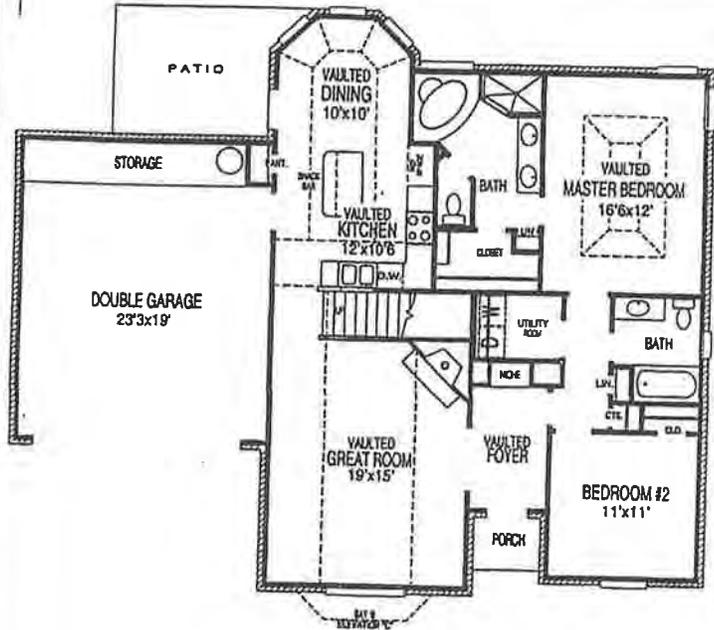


Elevation C

Bowden
HOMES
A Division of Levitt Corporation

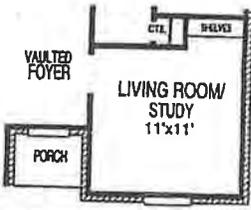
* Footprint May Vary Depending on Elevation.

THE GEORGIAN



2262 Heated Sq. Ft. (A&B)
 2274 Heated Sq. Ft. (C)
 2762 Total Sq. Ft. (A&B)
 2774 Total Sq. Ft. (C)

Optional Living Room/Study



© 2003 Bowden Building Corporation. All Rights Reserved. Plans, Prices, and Financing subject to change without notice.
 Actual Construction may vary from artwork. Information deemed reliable but not guaranteed.
 • Footprint May Vary Depending on Elevation. Elevation "A" Shown Above, Confirm at Pre Construction Meeting.



THE LANCASTER



Elevation A



Elevation B

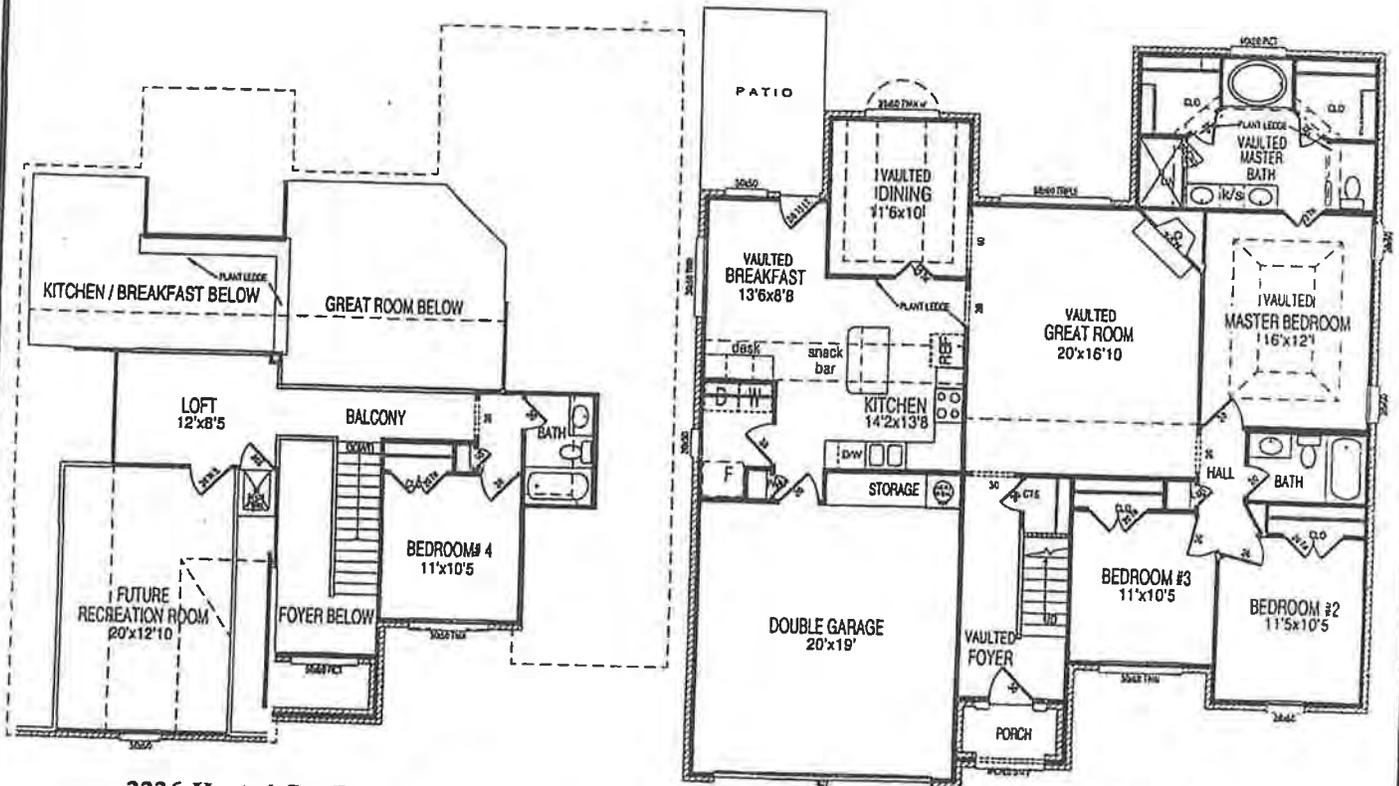


Elevation C

Bowden
HOMES
A Division of Levitt Corporation

* Footprint May Vary Depending on Elevation.

THE LANCASTER



2236 Heated Sq. Ft.
 280 Expandable
 2989 Total Sq. Ft.

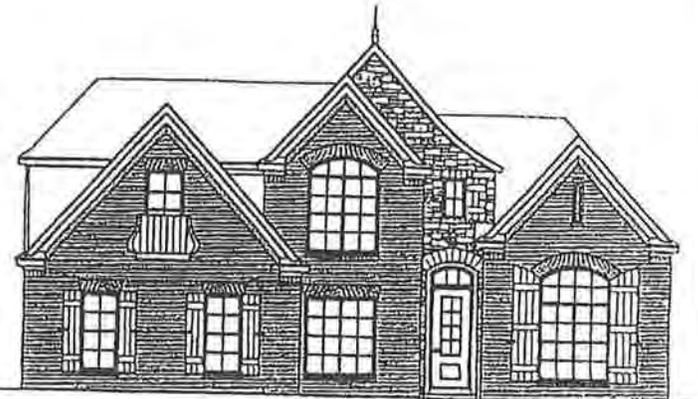
© 2003 Bowden Building Corporation. All Rights Reserved. Plans, Prices, and Financing subject to change without notice.
 Actual Construction may vary from artwork. Information deemed reliable but not guaranteed.
 * Footprint May Vary Depending on Elevation. Elevation "A" Shown Above, Confirm at Pre Construction Meeting.

Bowden
HOMES
 A Division of Exton Corporation

THE LYNCHBURG



Elevation A

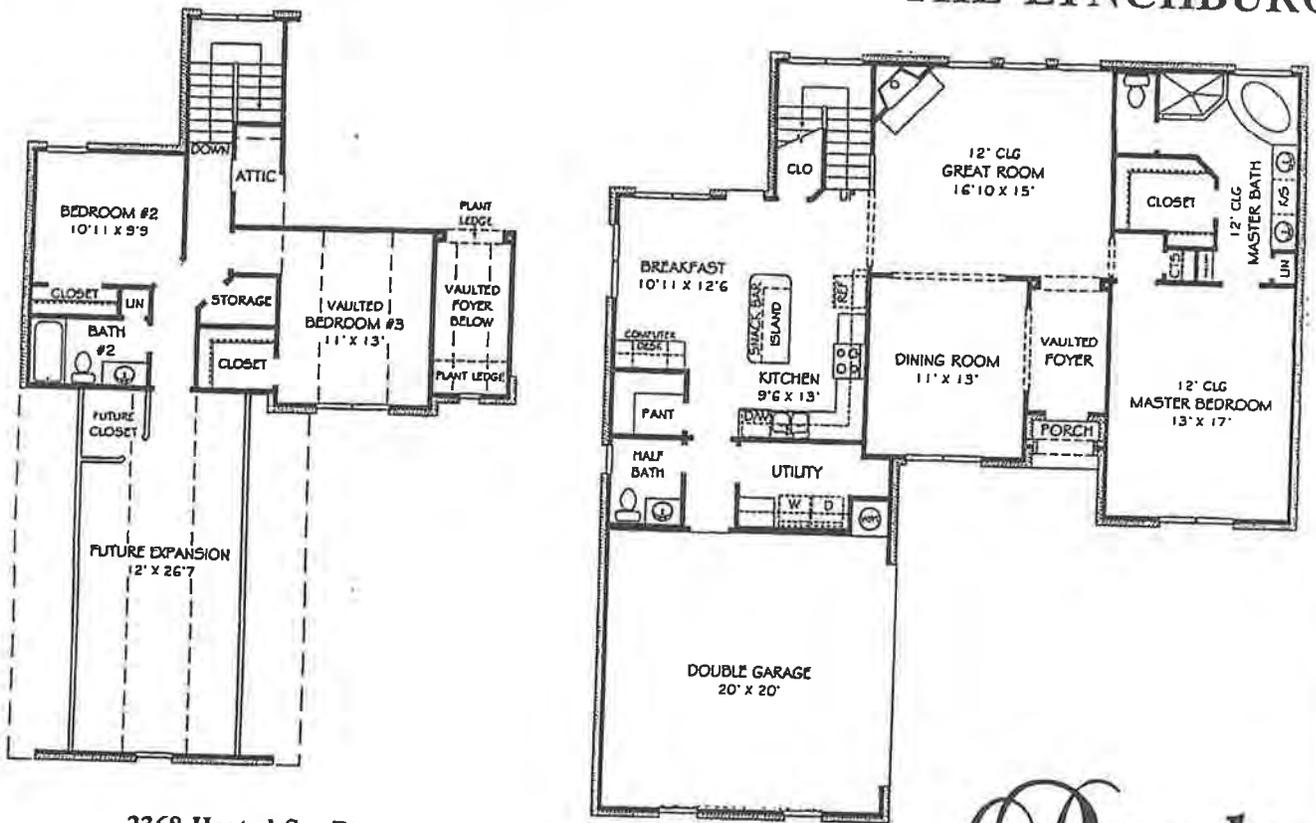


Elevation B

Bowden
HOMES
A Division of Levitt Corporation

* Footprint May Vary Depending on Elevation.

THE LYNCHBURG



2368 Heated Sq. Ft.
2833 Total Sq. Ft.

Bowden
HOMES
A Division of Levin Corporation

© 2003 Bowden Building Corporation. All Rights Reserved. Plans, Prices, and Financing subject to change without notice.
Actual Construction may vary from artwork. Information deemed reliable but not guaranteed.
* Footprint May Vary Depending on Elevation. Elevation "A" Shown Above, Confirm at Pre Construction Meeting.

THIS INSTRUMENT PREPARED BY
KELLY & SMITH
125 Public Square
Gallatin, Tennessee 37066

**DECLARATION
OF
COVENANTS, CONDITIONS AND RESTRICTIONS
OF
ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**

THIS DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS made on the date hereinafter set forth by **HENRY HOLLEMAN D/B/A H & M LOT DEVELOPMENT**, hereinafter referred to as "Declarant".

WITNESSETH:

WHEREAS, Declarant is the owner of certain real property in **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**, County of Sumner, State of Tennessee, which is more particularly described as follows:

See Exhibit A attached hereto.

WHEREAS, Declarant desires to provide for the protection and preservation of the values, amenities, desirability and attractiveness of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**; and

WHEREAS, the Declarant desires to establish and provide for a system of administration and continual operation and maintenance of the common areas of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2** and as hereinafter described; and

WHEREAS, Declarant further desires to establish for Declarant's benefit and for the mutual benefit and advantage of all future owners and occupants of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**, or any portion thereof, certain rights, easements, privileges, obligations, restrictions, covenants, liens, assessments and regulations governing the use and occupancy of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2** and the maintenance, protection and administration of the commons areas to promote and protect the operative aspects of residence or occupancy in **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2** and on all portions thereof, and are intended to be construed as covenants running with the land which shall be binding on all parties having or acquiring any right, title or interest in all or any portion of the Properties and which shall inure to the benefit of each owner thereof; and

WHEREAS, Declarant is the sole owner of the Properties.

NOW, THEREFORE, Declarant hereby declares that all of the properties described above shall be held, sold and conveyed subject to the following easements, restrictions, covenants, and conditions, which are for the purpose of protecting the value and desirability of, and which shall run

with, the real property and be binding on all parties having any right, title or interest in the described properties or any part thereof, their heirs, successors and assigns, and shall inure to the benefit of each owner thereof.

ARTICLE I Definitions

The following words when used in this Declaration or any supplemental declaration hereto (unless the context shall prohibit), shall have the following meanings:

(a) "**Association**" shall mean and refer to **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**, a nonprofit corporation to be organized and to exist under the laws of the State of Tennessee, its successors and assigns.

(b) "**Board**" shall mean and refer to the Board of Directors of the Association.

(c) "**Building**" shall mean and refer to a single-family residential building which may be built on each lot.

(d) "**By-laws**" shall mean and refer to the by-laws of the Association attached hereto as Exhibit "A" and made a part hereof, and as may be amended from time to time.

(e) "**Common Area**" shall mean all real property (including the improvements thereto) owned by the Association for the common use and enjoyment of the owners. The Common Area to first lot is described as follows:

All plots of land designated on the Plat as Open Space and/or Common Area and generally all of the Property as shown on the Plat.

(f) "**Declarant**" shall mean and refer to **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2 Homeowners Association**, a Tennessee corporation, principal place of business in Gallatin, Tennessee, its successors and assigns.

(g) "**Declaration**" shall mean and refer to this Declaration of Covenants, Conditions, and Restrictions applicable to the Properties and which shall be recorded in the Office of the Register of Deeds for Sumner County, Tennessee.

(h) "**Lot**" shall mean and refer to any plot of land to be used for single-family residential purposes and so designated on the Plat as the same may be amended or revised.

(i) "**Majority of Owners**" shall mean and refer to the holders of more than fifty percent (50%) of the total votes of the Members.

(j) "**Member**" shall mean and refer to any person or persons who shall be an Owner, and as such, shall be a Member of the Association.

(k) "**Mortgage**" shall mean and refer to the holder of a first lien deed of trust encumbering a lot.

(l) "**ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**" shall mean and refer to that certain

residential community known as **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2** which is being developed on real property now owned by Declarant in Sumner County, Tennessee, and any other property submitted to the Declaration by future development of additional sections of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**.

(m) "Owner" shall mean and refer to the record owner, whether one or more persons or entities, of the fee interest in any lot which is part of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**, excluding, however, those parties having such interest merely as a security interest for the performance of an obligation.

(n) "Plat" shall mean and refer to the Plan of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**, of record in Plat Book _____, Page _____, Register's Office for Sumner County, Tennessee, and any amendments or revisions thereto which may be adopted and duly recorded.

(o) "Person" shall mean and refer to a natural person, as well as a corporation, partnership, firm, association, trust or other legal entity. The use of the masculine pronoun shall include the neuter and feminine, and the use of the singular shall include the plural where the context so requires.

(p) "Properties" shall mean and refer to any and all of that certain real property hereinbefore described or which may be submitted to the Declaration by future development of additions sections as may hereafter be brought within the jurisdiction of the Association.

ARTICLE II

Properties Subject To This Declaration And Use Of Common Area

Section 1. *Submission of the Properties to Declaration and By-Laws.* The Declarant, as legal title holder in fee of Properties, hereby submits and subjects the Properties to the provisions of this Declaration and By-laws. This Declaration shall constitute covenants running with the land and binding upon all parties now owning or hereafter having or acquiring any right, title or interest in the Properties or any part thereof, and shall inure to the benefit of each Owner thereof. Every person hereafter acquiring a Lot or any portion of the Properties by acceptance of a deed to any interest in a Lot or any portion of the Properties shall accept such interest subject to the terms of this Declaration, and by acceptance of the same shall be bound by the terms, conditions and covenants of this Declaration.

Section 2. *Owner's Easements of Enjoyment.* Every Owner shall have a right and easement of enjoyment in and to the Common Area which shall be appurtenant to and shall pass with the title to every Lot, subject to the following provisions:

- (a) the right of the Association to charge reasonable admission and other fees for the use of any recreational facility upon the Common Area;
- (b) the right of the Association to suspend the voting rights and right to use of the recreational facilities by an Owner for any period during which any assessment against his Lot remains unpaid; and for a period not to exceed sixty (60) days for any infraction of its published rules and regulations;
- (c) the right of the Association to dedicate or transfer all or any part of the Common Area to any public agency, authority, or utility for such purposes and subject to such conditions as may

be agreed to by the Members. No such dedication or transfer shall be effective until any instrument agreeing to such dedication or transfer signed by two-thirds (2/3) of each class of Members has been recorded in the Register's Office for Sumner County, Tennessee.

Section 3. Delegation of Use. Any Owner may delegate, in accordance with the By-laws, his right of enjoyment to the Common Area and facilities to the members of his family, his tenants, or contract purchasers who reside on a Lot.

ARTICLE III Membership

Section 1. Members. Every person or entity who is an owner of any Lot which is included in the Properties shall be a Member of the Association. Membership shall be appurtenant to and may not be separated from ownership or any Lot.

Section 2. Classes of Membership. The Association shall have two classes of membership:

(a) Class A. Class A Members shall be all Owners except for Declarant prior to termination of Class B membership. If, however, Declarant owns one or more Lots after the termination of Class B membership, then Declarant shall become a Class A Member.

(b) Class B. The Class B membership shall be the Declarant, its successors or assigns. The Class B membership shall terminate and cease upon the first to occur of (i) the specific written termination by Declarant, (ii) when seventy-five percent (75%) of the Lots have been sold from the builders thereof to ultimate homeowners in all sections of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2** or (iii) August 1, 2026.

Section 3. Class A Voting. Class A Members shall be entitled to one vote for each Lot owned. The vote for any one Lot owned by more than one person or entity shall be exercised as they among themselves shall determine, but in no event shall the vote or votes with respect to any jointly owned Lot be cast separately, however, to the right of any such Owners to call for a larger contribution from the others under any rule of law regarding liability for negligent or willful acts or omissions.

Section 4. Class B Voting. Class B Voting. Until the termination of Class B membership, the Class B Member shall have three votes for each Lot owned.

ARTICLE IV Assessments

Section 1. Creation of Lien and Personal Obligation for Assessments. Each Owner of any Lot shall, by acceptance of a deed therefore, whether or not it shall be so expressed in any deed or other conveyance, be deemed to covenant and agree to all the terms and provisions of these restrictions and promised to pay the Association both annual assessments and charges and special assessments, such assessments to be established and collected from time to time as hereinafter provided. The annual and special assessments, together with such interest thereon and be a charge and continuing lien upon the Lot against which such assessment is made as of the effective date of each assessment. Each such assessment, together with such interest thereon and costs of collection therefore as are hereinafter provided, shall also be the personal obligation of the person or entity who was Owner of such Lot at the time when the assessment fell due. In the case of co-ownership of a

Lot, all of such co-owners shall be jointly and severally liable for the entire amount of the assessment. For the improvement, maintenance, operation and security of the Common Area, including, but not limited to, replacement and additions thereto, and for the cost of labor, equipment, materials, management and supervision thereof. At the option of the Association, annual assessments may be used to provide supplemental landscaping maintenance within Lots and to provide garbage and trash collection and disposal if needed to supplement that

provided by public authority. Further, the Association may require annual assessments to be paid in equal monthly, quarterly or annual installments.

Section 2. Maximum Annual Assessment. The maximum annual assessment for calendar year 2016 shall be Two Hundred Fifty Dollars (\$250.00) for each Lot, fractions of calendar years to be computed and prorated equitably, at the same uniform rate for the calendar year 2016. Thereafter, maximum annual assessments shall be determined by the Association as follows:

(a) From and after December 31, 2016, the maximum annual assessment may be increased each year not more than five percent (5%) above the maximum assessment for the previous year without a vote of the membership.

(b) From and after December 31, 2016, the maximum annual assessment may be increased above five percent (5%) by a vote of two-thirds (2/3) of each class of members who are voting in person or by proxy, at the annual meeting or a special meeting duly called for this purpose.

(c) The Board of Directors may fix the annual assessment at an amount not in excess of the maximum.

Section 3. Special Assessments. In addition to the special assessments hereinabove authorized, the Association will levy special assessments for the purpose of defraying, in sole or in part, the cost of any construction or reconstruction, improvements; provided, however, that any such special assessment Members present and voting in person or by proxy in each class of membership at the annual meeting or a special meeting duly called for this purpose. Special assessments shall be due and payable on the date(s) which are fixed by the resolution authorizing such assessment.

Section 4. Notice and Quorum for Any Action Authorized Under Sections 2 and 3. Written notice of any meeting called for the purpose of taking any action authorized under Section 2 or 3 or at which such action may be taken shall be sent to all Members not less than thirty (30) days nor more than sixty (60) days in advance of the meeting. At the first such meeting sixty (60%) of all the votes of each class of membership shall constitute a quorum. If the required quorum is not present, another meeting may be called subject to the same notice requirement, and the required quorum at the preceding meeting. No such subsequent meeting shall be held more than sixty (60) days following the preceding meeting.

Section 5. Uniform Rate of Assessment. Both annual and special assessments must be fixed at a uniform rate for all occupied Lots. All initially unoccupied Lots shall be assessed at twenty-five percent (25%) of the assessment for occupied Lots. The full assessment for occupied Lots shall be prorated and due on the first day of the month following the first occupancy of a residence on any Lot and thereafter at the full assessment rate regardless of occupancy.

Section 6. Date of Commencement of Annual Assessments: Due Dates. The annual assessments provided for herein shall commence as to all Lots in the first day of the first month following the conveyance of the Common Area. The first annual assessment shall be adjusted

according to the number of months the amount of the annual assessment against each Lot at least thirty (30) days in advance of each annual assessment period. Written notice of the annual assessment shall be established by the Board of Directors.

Section 7. Records of Assessment. The Association shall cause to be maintained in the office of the Association a record of all Lots and assessments applicable thereto which shall be open to inspection by any Owner. Written notice of each assessment shall be mailed to every Owner of the Lot subject to assessment. The Association shall, upon demand and payment of a reasonable charge, furnish to any owner a certificate in writing signed by an officer of the Association setting forth whether the assessments against the Owner's Lot have been paid, and if not, the amount due and owing. Absent manifest error, such certificates shall be conclusive as evidence for the third parties as to the status of assessments against such Lot.

Section 8. Effect of Non-Payment of Assessment or Other Charges. If any annual, quarterly or monthly assessment or any special assessment is not paid on the date when due, or if any sum or charge agreed to be paid by Owners in this Declaration is not paid when due, then such assessment, sum or charge shall be delinquent and shall accrue interest thereon at the highest rate permissible under the laws of the State of Tennessee, after the date due. If such assessment, sum or charge is not paid within thirty (30) days after the due date, then the Association may bring an action at law against the Owner personally and/or foreclose the lien against the Lot by court action or trustee's sale, as hereinafter provided, and there shall be added to the amount of such assessment, sum or charge all reasonable attorney's fees and costs incurred by the Association in such action, and in the event a judgment is obtained, such judgment shall include interest on the assessments as indicated above.

Section 9. Enforcement of Lien by Trustee's Sale. For and in consideration of the privileges and protections granted herein, and for the express purpose of securing the payment of the assessments, other sums and charges described in Section 8 above; rendering unnecessary court proceedings for the enforcement of the lien described in Sections 1 and 8 above, each Owner accepting a deed to a Lot, for his heirs, administrators, successors and assigns, does hereby transfer and convey unto Henry Holleman, Trustee, his successors and assigns, each such Lot deeded to such Owner, with the appurtenances, estate, title and interest thereto belonging, unto the Trustee for the following uses in trust:

Said Owners agree to pay all assessments, sums and charges when due and upon demand of said Trustee or the Association, to pay, discharge or remove any and all liens (except a first mortgage or deed of trust lien) which may be hereinafter placed against said Owner's Lot which shall adversely affect the lien granted herein, and in case the Trustee or his/her successors or the Association shall hereafter be required to appear in any court or tribunal to enforce, or defend the title to, or possession of, said Lot or the lien granted herein, or appear in any court to prove said indebtedness, all costs and expenses of such appearance or proceedings, together with a reasonable attorney's fee, shall be allowed and be payable by Owner upon demand of the Trustee or Association, and upon failure to do any of these things then said Trustee or Association may do any or all of said things, and the amounts so paid shall bear interest from the date of payment at the highest rate then permitted by the laws of the State of Tennessee, and shall be and become a part of the indebtedness secured hereby.

If said assessments, sums or charges, or interest thereon, are not paid promptly when due or within any period of cure allowed above, or if after said Owner(s) fail(s) to pay any other sums due as above provided, or further, fail to reimburse the Trustee or Association with thirty (30) days from the date of Trustee's or Association's payment of such sums, this trust conveyance shall remain in full force and effect, and the said Trustee or his/her successor in trust is hereby authorized

and empowered, upon giving twenty (20) days notice by three (3) publications in any newspaper, daily or weekly published in Sumner County, Tennessee, to sell said Lot at the front door of public outcry, free from the equity of redemption, statutory right of redemption, homestead, dower and all other exemptions of every kind which are hereby expressly waived; and the said Trustee or his/her successor in trust is authorized and empowered to execute and deliver a deed to the purchaser at such foreclosure sale. The Association may bid at any sale under this trust conveyance. the Trustee may at any time after default in the payment of any of the above described indebtednesses enter and take possession of said Lot and shall only account for the net rents actually received by him. It is further agreed that in the event the Trustee fails, before selling said Lot, as herein provided, to enter and take possession thereof, the purchaser shall be entitled to immediate possession thereof upon the delivery to him/her by the Trustee of a deed for said Lot. In case of sale hereunder, the proceeds shall be applied by the Trustee as follows:

- (a) To the payments of all costs, charges and expenses of executing this conveyance and enforcing said lien as herein provided; also reasonable attorney's fees for advice in the premises, or for instituting or defending any litigation which may arise on the account of the execution of this conveyance, or the enforcement of said lien; also the expenses of any such litigation.
- (b) To the payment of all taxes which may be unpaid on said premises.
- (c) To the payment of all unpaid indebtedness herein secured.
- (d) The residue, if any, to be paid to said Owners, their order, or to their representatives or assigns.

In the event of the death, absence, inability or refusal to act of said Trustee at any time when action of the foregoing powers and trusts may be authorized, or for any other reason, the lawful owner and holder of said lien is hereby authorized and empowered to name and appoint a successor in trust to execute this trust by an instrument in writing to be recorded in the Register's Office for Sumner County, Tennessee, and title therein conveyed to the above named Trustee shall be vested in said successor. The Trustee is authorized to appoint an attorney-in-fact to conduct in his/her stead and on his/her behalf and with the same power possessed by said Trustee as granted herein, any and all foreclosure sales authorized above.

The lien described in this Section and in Sections 1 and 8 above shall be subordinate to the lien of a recorded first mortgage or deed of trust encumbering any such Lot or portion of a Lot. Provided, however, in the event the holder or owner of such mortgage or first deed of trust becomes the Owner of such Lot after foreclosure thereof or a third party purchases such Lot after foreclosure thereof, any such purchaser shall become subject to the lien reserved herein for the purpose of security all assessments becoming due from and after the date such purchaser accepts a deed to said Lot or enters into possession of said Lot, whichever shall first occur.

ARTICLE V Architectural and Building Restrictions

The Architectural Committee shall have the responsibility of enforcement of these restrictions until all the Lots have been sold by the builders to ultimate homeowners. The Board of Directors of the Association shall assume responsibility for enforcement of the restrictions after that time.

The purpose of these restrictions is to insure the use of the property for attractive residential purposes only, to prevent nuisances, to prevent the impairment of the attractiveness of the property,

to maintain the desire tone of the community, and thereby to secure to Lot owner the full benefit and enjoyment of his/her home and/or tract of land, with no greater restriction upon the free and undisturbed use of the Lot than is necessary to insure the same advantage to the other Lot Owners. Anything tending to detract from the attractiveness and value fo the property for residential purposes will not be permitted.

Section 1. All residential structures to be constructed on any Lot shall consist of a single family dwelling with an attached minimum one (1) car garage. The minimum square footage of living area of any dwelling shall be as follows:

(a) PREMIER HOME plans shall have a minimum of 1,700 square feet and must be 75% brick or stone.

(b) VILLAGE HOME plans shall have a minimum of 1,500 square feet and must be 60% brick or stone.

The Developer shall have the sole and complete control as to the design, style and nature of any structure or improvements of each lot.

Section 2. Front entry garages are allowed and can extend out further than the front of the house.

Section 3. All house plans must be submitted by the Lot(s) owner or builder to the Developer for approval. Approval or disapproval will be given by Developer within twenty (20) days from the date that complete plans are received by the Developer.

Section 4. The front of all residential structures must be brick or stone with the exception of dormers and gables.

Section 5. Any detached structure must be erected of similar materials as the residential structure and must be approved by the Developer.

Section 6. Only inground swimming pools are allowed. All swimming pools shall be enclosed for safety by a fence which must be approved by the Developer.

Section 7. All residential structures and buildings to be located on any Lot(s) shall comply with the minimum building setback lines and all other applicable zoning laws and regulations. The location of residential structures and buildings must be approve by the Developer.

Section 8. All mailboxes in ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2 shall be of uniform design and materials and will be selected by Developer.

Section 9. All driveways on any Lot shall be of concrete material.

Section 10. Certain uniform plantings may be specified in writing by Developer and furnished to the buyer of each Lot. A minimum landscape plan will be presented by Developer to the buyer before the Lot is sold. Developer has the right to approve or disapprove landscaping for each Lot.

Section 11. No junk vehicles or equipment of any kind, which are not in running condition will be allowed unless they are stored inside and are not visible from the outside such as in a detached garage.

Section 12. No tractor trailer trucks or their trailers, buses or other commercial type vehicles are allowed to be stored or parked on any Lot or street within the subdivision at anytime other than moving vans or trucks during construction of improvements. Boats, trailers, jet skies, recreational vehicles and camping trailers may be parked on lots provided they are licensed, but they must be kept behind the house in an enclosed area or in a garage and must not be visible from neighboring lots, streets, roads or open areas.

Section 13. All fences shall be located at the rear of the residential dwelling and must be constructed of material approved by Developer. Wood privacy fences are not allowed.

Section 14. Outside clothes lines are not permitted.

Section 15. All wiring, pipes and similar lines that are to be run from the street to any particular Lot for gas, water, sewer, telephone, cable TV, electric or any other utility service shall be underground.

Section 16. The Lot Owner and/or builder shall insure at all times during construction of a residential structure that all work is handled in a neat and orderly fashion so that no clutter or trash remains on the Lot or blows onto an adjacent Lot(s).

Section 17. Developer may, during the initial construction period and so long as Developer owns an interest in the property, maintain a construction or sales office and have advertising displays, and signs upon the property to facilitate sales of Lot(s) in **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2.**

Section 18. No animals, livestock or poultry of any kind shall be raised, bred or kept on any Lot, except that dogs, cats or other household pets may be kept in reasonable numbers for the pleasure of the occupants, provided they are not kept, bred or maintained for any commercial purpose.

Section 19. The right is expressly reserved to Declarant, its successors and assigns to construct all streets, roads, alleys or other public ways as now, or hereafter may be, shown on Plan of Subdivision, at such grades or elevations as Declarant in its sole discretion may deem proper, and for the purpose of constructing such streets, roads, alleys or public ways. Declarant shall have an easement, not exceeding ten (10) feet in width, upon and along each adjoining Lot, for the construction of proper bank slopes in accordance with the specifications of the governmental body or agency having jurisdiction over the construction of public roads; and no Owner of any Lot in this Subdivision shall have any right of action or claim for such damages against anyone on account of the grade or elevation at which such road, street, alley or public way hereafter constructed, or on account of the bank slopes constructed with the limits of the said ten (10) foot easement.

Section 20. Easements for installation and maintenance of utilities and drainage facilities and entry signs are reserved as shown on the recorded plat. All utilities, electricity, sewer, water and gas where available to each Lot, must be run and maintained underground from the street to the residence without exception.

Section 21. Drainage easements as shown on the recorded plat shall be for the purpose of constructing, maintaining, opening, and widening storm drains and open ditches.

Section 22. In order to implement effective appearances, insect, reptile and woods' fire control, Declarant reserves for itself, its successors or assigns, the right to enter upon any residential Lot on which a residence has not been constructed, such entry to be made by personnel with tractors or other suitable devices, for the purpose of mowing, removing, clearing, cutting or pruning underbrush, weeds, or other unsightly growth, which in the opinion of Declarant detracts from the overall beauty, setting and safety of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**. The cost of such shall be paid by the Owner of the Lot. Such entrance for the purpose of mowing, cutting, clearing or pruning shall not be deemed a trespass. Declarant or its agent may enter upon any Lot to remove any trash which has collected on such Lot without such entrance and removal being deemed a trespass. The provisions in this paragraph shall not be construed; however, as an obligation on the part of Declarant to mow, clear, cut or prune any Lot or to provide garbage or trash removal services.

Section 23. No illegal use of any kind shall be made of or carried on upon any Lot, nor shall anything be done thereon which is or may become a nuisance or annoyance to the neighborhood.

Section 24. No immoral, improper, offensive, or unlawful use shall be made on any Lot, nor any part of any Lot, and regulations of all governmental bodies having jurisdiction thereof shall be observed.

ARTICLE VI Easements

Section 1. General. Until termination of the Class B membership. Declarant reserves an easement for ingress and egress generally across the Properties at reasonable places on the Properties and the various Lots for the purpose of completing Declarant's intended development. Said ingress and egress easement shall in any event be reasonable and shall not interfere with the construction of improvements on a Lot nor the use and enjoyment of a Lot by a Lot Owner.

Section 2. Emergency. There is hereby reserved without assent or permit a general easement to all policemen, security guards employed by Declarant and/or the Association, firemen, ambulance personnel, garbage collectors, mailmen, utility personnel, delivery service personnel and all similar persons to enter upon the Properties or any portion thereof which performance of their respective duties, included in the persons designated to have access to the Properties are all police and fire officers of any governmental entity.

Section 3. Easements Shown on the Plat. The Plat contains certain designated easements for landscaping roads, ingress and egress, utilities and drainage. The easements so designated on the Plat encumber the Lots as shown on the Plat, and are hereby established as perpetual and irrevocable easements. Said easements are granted and reserved for the use and benefit in common of all Owners of Lots in **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2** and their agents, servants, family members and invitees. No Owner shall have the right to restrict, impede or take any action which might in any way prohibit or limit the use in common by all Owners of said easements. However, use of the easements and Common Area shall be subject to and governed by the provisions of this Declaration and the By-laws, rules and regulations of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**.

ARTICLE VII General Provisions

Section 1. Duration. These restrictions shall be appurtenant to and run with the land and shall be binding upon all Owners and parties hereinafter having an interest in any of the Properties and all parties claiming under them for a period of fifty (50) years from the date of the recording of this Declaration, after which time they shall be automatically extended for successive periods of ten (10) years.

Section 2. Enforcement. Any Lot Owner(s) and/or the Developer may enforce the covenants and restrictions contained herein by bringing an action or actions at law or in equity against any person or equity violating or attempting to violate any such covenant or restriction, either to restrain violation or to recover damages therefor, or both. The prevailing party(s) shall be entitled to be reimbursed for his/her costs (including attorney fees) and expenses for enforcing and/or defending violations of these restrictions.

Section 3. Partial Invalidity. Any invalidation of any one or more of these restrictions by judgment or court order of a court of competent jurisdiction, or statute, or failure on the part of Declarant, the Association or any Owner to enforce any of said restrictions, shall in no way affect any of the other provisions hereof or be deemed to be a waiver of the right to enforce such restrictions any time after the violation thereof.

Section 4. Abatement. In the event that any Owner violates any of the terms or conditions of these restrictions and fails to cure the same within ten (10) days after written notice thereof, then Declarant or the Association, in addition to the other rights and remedies provided for herein, shall have the express right, privilege and license to enter upon any Lot to take any reasonable action to cure such violation, and all reasonable costs thereof shall be at the expense of the Owner of such Lot and shall be payable to Declarant or the Association upon demand by Declarant or the Association.

Section 5. Exoneration of Declarant. Each Owner of any Lot in the Properties or any other party interested in the Properties expressly agrees that:

(a) No duty or obligation is imposed upon Declarant to enforce or attempt to enforce any of the covenants or restrictions contained herein, nor shall Declarant be subject to any liability of any kind or nature whatsoever from any third party from failing to enforce the same; and

(b) Declarant's approval (or approval by the Architectural Committee) of any building plans, specifications, site or landscape plans or elevations, or any other approvals or consents given by Declarant pursuant hereto (or by the Architectural Committee) or otherwise shall not be deemed a warranty, representation or covenant that any such buildings, improvements, landscaping or other action taken pursuant thereto or in reliance thereon complies with any and all applicable laws, rules, building code requirements or regulations, the sole responsibility for all of same being upon the respective Owner; and Declarant and the Architectural Committee are expressly released and relieved of any and all liability in connection therewith. Owner agrees to indemnify and hold the Declarant and the Architectural Committee harmless from all loss or damage, including reasonable attorney's fees, incurred by Declarant or the Architectural Committee as a result of any suit or claim made by any party concerning any feature of construction of the improvements made to any Lot, the non-compliance thereof with such laws, rules, building code requirements or regulations, or further, any suit or claim made by any injured or alleged injured party claiming to have been damaged or injured by any failure in the structure of any completed improvement, or any negligence in design or workmanship of any component of such completed improvements on such Lot.

Section 6. Other Lands of Declarant. Nothing contained within these restrictions shall be held or construed to impose any restrictions, covenants, or easements on any other land of the Declarant, except for the land contained within the description of the Properties, unless specifically submitted and included within restrictions by a supplementary declaration. Further sections of **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2** may be added hereunder by supplementary declaration pursuant to Section 7 hereof.

Section 7. Street Lamps. The homeowners association shall be responsible for the maintenance of the street lamps in **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**, and the City of Gallatin, Tennessee, shall be responsible for the cost of the electricity used in the operation of the street lamps.

Section 8. Street Name Signs and Traffic Signalization Signs. The homeowners association shall be responsible for the maintenance of all street name signs and traffic signalization signs in **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**.

Section 9. Amendments. This Declaration may be modified and amended at anytime by an instrument signed by not less than seventy-five percent (75%) of the Lot Owners.

IN WITNESS WHEREOF, the undersigned, being the Declarant herein, has hereunto set his hand this 3 day of October, 2016.


Henry Holleman DBA H & M Lot Development,
Declarant

STATE OF TENNESSEE
COUNTY OF SUMNER

Personally appeared before me, the undersigned authority, a Notary Public within and for said County and State, Henry Holleman DBA H & M Lot Development, the within bargainor, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence, and who acknowledged that he executed the within instrument for the purposes therein contained.

WITNESS my hand and official seal at Gallatin, Tennessee, on this, the 3 day of October, 2016.


NOTARY PUBLIC


Exhibit A

Situated in the Third Civil District of Sumner County Tennessee, as follows:

Being Lots 1, 2, 3, 4, 5, 6, 7, 8, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 61, 62, 63, 64, 65, 66, 67, 68, 69, 71, 72, 73, 74, 75, 76, 77, and 120, **ENOCH HILLS SUBDIVISION, PHASE I SECTIONS 1 AND 2**, a plat of which is of record in Plat Book _____, pages _____, Register's Office of Sumner County, Tennessee.

Being a part of the same property conveyed to Henry Holleman, d/b/a H & M Lot Development by deed from Anchor Pipe Co., Inc. of record in Record Book 4058, page 611, Register's Office of Sumner County, Tennessee.

ITEM 8

GMRPC Resolution No. 2016-122

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION RECOMMENDING APPROVAL TO GALLATIN CITY COUNCIL OF A REQUEST TO REZONE A 4.74 (+/-) ACRE PORTION OF TAX MAP 125, PARCEL 043.00, FROM PLANNED BUSINESS PARK (PBP) TO MIXED USE (MU) AND APPROVAL OF A PRELIMINARY MASTER DEVELOPMENT PLAN FOR CHANDLER PARK PHASES I AND II ON 32.39 (+/-) ACRES, LOCATED NORTH AND SOUTH OF HARRIS LANE AND EAST OF GREENLEA BOULEVARD. (3-2443-16)

WHEREAS, the applicant submitted an application for the rezoning and Chandler Park Preliminary Master Development Plan consistent with Sections 12.02.010 and 15.07.030 of the City of Gallatin Zoning Ordinance, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the rezoning and Preliminary Master Development Plan submitted by the applicant, Rogers Engineering Group, at its regular meeting on October 24, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the rezoning request and Preliminary Master Development Plan application, materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report and the evidence and testimony presented during the meeting, and

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows:

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Tennessee Code Annotated §13-3-413, §13-4-310, §13-7-201, and §13-7-202:

1. The owner and applicant submitted a completed application with required attachments to the City requesting the zoning change and Preliminary Master Development Plan approval.
2. A Preliminary Master Development Plan was submitted with the rezoning application as required by Sections 12.02.010.B and 15.07.030 of the Gallatin Zoning Ordinance and complies with the twelve (12) standards required of the plan.
3. The proposed rezoning and Preliminary Master Development Plan is in agreement and consistent with the intent and land use recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan Update 2008-2020 for the area, and in particular, the GreenLea Business Center Special Area Character Category.
4. The proposed Preliminary Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district and complies with the use restrictions, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district, and with requested exceptions from the minimum site area per unit and height regulations.

5. The property proposed for rezoning and the PMDP site has adequate public utilities, infrastructure and private or municipal services necessary to serve the proposed development and population permitted by the requested zoning and the PMDP or such necessary services and facilities will be provided upon development of the property.
6. The Preliminary Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. The Gallatin Regional-Municipal Planning Commission received public comment and reviewed and recommended to the City Council action on the proposed rezoning request and PMDP.
8. The Preliminary Master Development Plan submitted to the City complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
9. The proposed rezoning will be compatible with surrounding environment and will protect the public health, safety and welfare and will not be injurious to other property or improvements in the area in which the property is located.
10. The legal purposes for which zoning regulations exist have not been contravened.
11. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby recommends approval to City Council of the rezoning a 4.74 (+/-) acre portion of Tax Map 125, Parcel 34.00, located north of Harris Lane and east of GreenLea Boulevard, from Planned Business Part (PBP) to the Mixed Use (MU) District and the Preliminary Master Development Plan for Chandler Park Gallatin Phase I and II, consisting of a seven (7) sheet plan, prepared by Rogers Engineering Group of Gallatin, TN, with Project #16-048, dated October 11, 2016, a one (1) sheet architecture plan, prepared by Niles Bolton Associates of Atlanta, GA, with Job No. 116045.00, dated October 11, 2016, and an four (4) sheet architecture plan, prepared by Humphreys & Partners Architects, L.P., of Dallas, TX, with Job No. HPA 16401, dated August 19, 2016, with a final revision date of October 11, 2016, with the following conditions:

1. Add a note to the plan stating a separate Preliminary Master Development Plan is required for the retail lot.
2. Add a note to the plan stating all Gallatin Zoning Ordinance landscape requirements will be meet.
3. Dimension several parking spaces in each phase or provide a typical parking space for each phase and parking space type.
4. Dimension and label drive aisle widths within each phase.
5. Show and label the location of the proposed signs, including the setback from the right-of-way.
6. Verify the parking numbers for both phases to ensure consistency with the Site Data Table on the Cover Sheet (Sheet C1.0).
7. Dimension and label the roofline heights on all elevation sheets.
8. Provide architectural elevations and/or photographs of the proposed garages.

9. Extend the widening and improvements to Harris Lane to the secondary (east driveway) entrance for Phase 1.
10. Graphically and/or by plan note indicate that the retail (2.5(+/-)) portion of the site include a driveway to Harris Lane.
11. Modify the plan to show sidewalk connections for the apartment site to the public sidewalks along Harris Lane and add a sidewalk on Harris Lane adjacent to Phase 2. Sidewalks for the retail lot may be shown upon submittal of a PMDP for this site.
12. Submit one (1) full-sized and two (2) half-sized, corrected folded copies of the Preliminary Master Development Plan.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.
PRESENT AND VOTING

AYE:

NAY:

DATED: 10/24/16

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 8

PLANNING DEPARTMENT STAFF REPORT

Rezoning with Preliminary Master Development Plan for Chandler Park Gallatin Phase I and II

(File# 3-2443-16)

Located North and South of Harris Lane Pike and East of GreenLea Boulevard

Date: October 24, 2016

REQUEST: OWNER AND APPLICANT REQUESTS REZONING 4.74 (+/-) ACRES (A PORTION OF TAX MAP 125 AND PARCEL 034.00) FROM PBP - PLANNED BUSINESS PARK TO MU – MIXED USE AND APPROVAL OF A PRELIMINARY MASTER DEVELOPMENT PLAN FOR CHANDLER PARK GALLATIN PHASE I AND II ON 32.39 (+/-) ACRES, TO CONSTRUCT 492 MULTI-FAMILY DWELLING UNITS (PHASE 1 – 384 UNITS AND PHASE 2 – 108 UNITS), LOCATED NORTH AND SOUTH OF HARRIS LANE AND EAST OF GREENLEA BOULEVARD.

OWNER: CHANDLER RESIDENTIAL, LLC (PORTION OF PARCEL 34.00)
GREENLEA PROPERTIES AND HARRIS LANE PROPERTIES,
LLC (PARCEL 36.00)

APPLICANT: ROGERS ENGINEERING GROUP (RICHARD JONES, P.E.)

STAFF RECOMMENDATION: RECOMMEND APPROVAL OF RESOLUTION 2016-122

STAFF CONTACT: KEVIN CHASTINE

PLANNING COMMISSION DATE: OCTOBER 24, 2016

CITY COUNCIL COMMITTEE DATE: NOVEMBER 8, 2016

PROPERTY OVERVIEW: The owner and applicant requests rezoning 4.74 (+/-) acres (A Portion of Tax Map 125 and parcel 034.00) from PBP - Planned Business Park to MU – Mixed Use and approval of a preliminary master development plan for Chandler Park Gallatin Phases I and II on 32.36 (+/-) acres, to construct 492 Multi-Family dwelling units (Phase 1 – 384 Units and Phase 2 – 108 units), located North and South of Harris Lane and east of GreenLea Boulevard. The Dwelling, Multi-Family use is a permitted use within the Mixed Use (MU) zone district. (Attachment 8-1)

CASE BACKGROUND:

Previous Approvals

On September 27, 2010, the Planning Commission recommended approval of a rezoning without a Preliminary Master Development Plan for the Heights at GreenLea (File# 3-11-10) (Attachment 8-2). The 312.45 (+/-) acre rezoning was approved by City Council on November 1, 2010 (Ordinance No. 01010-63). As part of this Ordinance, Tax Map 125 Parcel 34.00 was rezoned from A-Agricultural Residential to PBP – Planned Business Park (Tract H-1), MU-Mixed Use (Tract I) and PGC-Planned General Commercial (Tract J). (Attachment 8-3) (this included that portion of the project north of Harris Lane.)

On October 11, 2010, the Planning Commission, at a special called meeting, recommended approval of a rezoning without a Preliminary Master Development Plan for the Cantrill Farm (File# 3-7-10) (Attachment 8-4). The 228.74 (+/-) acre rezoning was approved by City Council on December 7, 2010 (Ordinance No. O1010-67). As part of this ordinance, Tax Map 125 Parcel 36.00 was rezoned from A-Agricultural Residential to MU-Mixed Use (Tract E). (Attachment 8-5)

Natural Features

The natural topography of Parcel 36.00 (Phase 1 of the PMDP), slopes from the highest point of elevation (547') located at the northwest corner of the project site sloping towards the lowest point of elevation (475') located near the northeast corner of the property, adjacent to Harris Lane and the CSX railroad crossing. The natural topography of the subject portion of Parcel 34.00, (Phase 2 of the PMDP), slopes from the highest point of elevation (534') located at the southwest corner of the project site towards the lowest point of elevation (502') located near the center of the eastern property boundary. Based on FEMA FIRM Map 47165C0313G, 47165C0407G and 47165C0426G, no portion of the site is located within a special flood hazard area. The property was most recently used for agricultural purposes. Parcel 36.00 contains a barn.

Adjacent or Area Uses

To the north, are 11 parcels that are mixture of agricultural uses and single family detached residences, zoned Planned General Commercial (PGC), Mixed Use (MU), Planned Business Park (PBP) and one (1) parcel zoned Agricultural Residential (A); to the south, across the CSX railroad tracks, are two (2) parcels – one that is vacant (Tax Map 136 Parcel 4.08), zoned Specific Plan (SP) and the other, which is the GAP Distribution Center (Tax Map 125 Parcel 39.00), zoned Commercial General (CG); to the east are three (3) parcels each containing a single family residence, split-zoned Mixed Use (MU) and Planned Business Park (PBP); and to the west, across is GreenLea Boulevard, is a vacant parcel, zoned Planned General Commercial (PGC).

DISCUSSION:

Proposed Development

The owner and applicant requests rezoning 4.74 (+/-) acres (A Portion of Tax Map 125 and parcel 034.00) from PBP - Planned Business Park to MU – Mixed Use and approval of a preliminary master development plan for Chandler Park Gallatin Phase I and II, to construct 492 Multi-Family dwelling units (Phase 1 – 384 Units and Phase 2 – 108 units), located North and South of Harris Lane, east of GreenLea Boulevard. The Dwelling, Multi-Family use is a permitted use within the Mixed Use (MU) zone district. (Attachment 8-8 and 8-9)

The owner and applicant request two (2) exceptions to the MU zone district bulk regulations for the PMDP for Chandler Park Phase 1. This includes:

- An exception to the Maximum Building Height of 35 feet (G.Z.O. Section 07.03.020.A(6)) to permit a maximum building height of 45 feet.
- To permit a Site Area Per Unit (G.Z.O. Section 07.03.020.A(5)) from 3,000 square feet per unit to 2,565 square feet per unit.

The applicant is not requesting exceptions for Phase 2.

Based on Gallatin Zoning Ordinance Section 12.02.020.F, the Planning Commission may grant exceptions to Bulk Regulations, *"in order to achieve a more desirable site development than would result if the requirements of this ordinance were strictly adhered to."* The Planning Commission shall determine whether the requested exceptions meet the standards for granting exceptions in G.Z.O. Section 12.02.020.F. (See Attachment 8-6)

Gallatin on the Move 2020 General Development Plan

The Gallatin on the Move 2020 General Development Plan designates this parcel as part of the GreenLea Business Center Special Area Category. The Mixed Use (MU) zoning district is a consistent and recommended zone within this character area. The Character Area also lists large scale apartments and townhomes as a primary land use. Therefore, the proposed 492 unit multi-family development is in compliance with the GreenLea Business Center Special Area Category designation. (Attachment 8-7)

Access Management/Trip Generation

The project includes three (3) driveway accesses along Harris Lane. Phase 1, on the south side of Harris Lane, has two (2) driveway accesses and Phase 2 has one (1) driveway access. The primary access for Phase 1 is approximately 1000 feet east of GreenLea Boulevard and aligns with the access for Phase 2. The secondary access for Phase 1 is located approximately 1000 feet east of the primary access. An access shall be indicated graphically and/or through a plan note for the proposed retail site.

The PMDP states a traffic study will be submitted as part of the Final Master Development Plan, but trip generation information was provided with the PMDP. The Traffic Volume Estimates Table is located on Sheet C1.0 and states a total of 3,829 daily trips will be generated by Phase 1 and 2 and the commercial lot, if built out as a restaurant. Phase 1 (384 units) is estimated to generate 2,451 daily trips, Phase 2 (108 units) is estimated to generate 742 daily trips, and the commercial lot (restaurant) is estimated to generate 636 daily trips.

Due to the increase in traffic the applicant proposes to make improvements to Harris Lane. The roadway will be widened to 24 feet of pavement with mountable curbs from GreenLea Boulevard to the east property boundary of Phase 2. The Engineering Division is requiring the widening to continue an additional 700 (+/-) feet to the east to the secondary access point of Phase 1.

Sidewalk connections from the apartment complex sidewalks to the public sidewalks shall be indicated on the plans.

Architectural Designs

The multi-family development includes of 492 units in two (2) phases. Phase 1 contains 384 units within 16 buildings and has one (1) building type. Phase 2 contains 108 units within 10 buildings and has two (2) building types. The plan includes representative photographs and architectural elevations of the proposed buildings. The plans do not indicate building with the required 7- percent masonry requirement and the percentage of materials per elevation is not provided, but Note 2 on Sheet C3.0 and C4.0 states that the final architectural plans will meeting the 70 percent masonry requirement of the Gallatin Zoning Ordinance.

Phase 1 – Building Type 1

Phase 1 is located south of Harris Lane and contains 384 units within 16 buildings. These buildings are three (3) stories in height with a ridgeline height of approximately 43 feet and indicate a greater coverage of masonry (brick or stone) than Sheet A1.0 and A2.0. (See Plan Sheets A3.0) A roofline height of 43 feet is not in compliance with the maximum permitted building height of 35 feet. The applicant is requesting an exception to the maximum building height to permit a maximum building height of 45 feet.

The buildings are symmetrical in design with a hipped roof structure with multiple projecting gable roofs located atop different bays of the elevation. The buildings also have two (2) breezeways. The bottom two and half floors of all four (4) elevations are sheathed with stacked stone while the remaining portions of the elevations are sheathed with fiber cement lap siding of fiber cement board and batten siding.

Phase 2 – Building Type 1 and 2

Phase 2 is located north of Harris Lane on a 7.84 (+/-) acre portion of Tax Map 125 Parcel 34.00. This Phase contains 108 units within 10 buildings (8 of Building Type 1 and 2 of Building Type 2)(See Plan Sheet A4.0 – A7.0). The buildings are two (2) stories or approximately 32 feet in height. There are two (2) building types in Phase 2, with the primary difference being Building Type 1 contains ground level parking garages and Building Type 2 does not have garages.

Both building types are symmetrical in design with a cross gable roof structure with multiple projecting gable roofs located atop different bays of the elevation. All Phase 2 buildings provide entrances on the ground level and do not have breezeways like the Phase 1 buildings.

Building Type 1 and 2 – Front Elevation

The Building Type 1 front elevation is comprised of six (6) garage doors and five (5) apartment entrances on the ground floor. The apartment entrances are located in the center and the edge of the elevation with the garage doors located between the apartment entrances. The ground level is sheathed in stacked stone. The second floor is sheathed in fiber cement lap siding in the center bay of the elevation and fiber cement board and batten siding on the remaining portions of the second floor.

The Building Type 2 front elevation is identical to Building Type 1, except the six (6) garage doors are replaced with two (2) additional apartment entrances and additional windows.

Building Type 1 and 2 – Rear Elevation

The rear elevations for both building types are identical. The cross gabled roof is visually divided by a shed dormer centered in the roof. There are two (2) apartment entrances located at the edges of the elevation. The primary building material is fiber cement lap siding with stacked stone used on all chimneys, piers, and the projecting bays adjacent to the entrances. Also, fiber cement board and batten siding is used as an accent material within the gable roof ends that project outward from the primary cross gable roof.

Building Type 1 and 2 – Side Elevations

The side elevations for Building Type 1 are mirror images. The ground level of the right elevation is comprised of a centrally located apartment entrance flanked by two (2) garages doors to the left and ground level windows to the right. The left elevation has the two (2) garages located to the right of the centrally located apartment entrance and the windows located to the left. The building materials and design are consistent with the front and rear elevations with the use of stacked stone on chimneys and piers with fiber cement lap siding and board and batten siding comprising the remaining portions of the elevations.

The side elevations for Building Type 2 are mirror images. The ground level of the right elevation is comprised of a centrally located apartment entrance flanked by a projecting bay with chimney to the left and ground level windows to the right. The left elevation has the projecting bay with chimney located to the right of the centrally located apartment entrance and the windows located to the left. There are ground level windows across the entire elevation, but the windows opposite the chimney are covered by the shed roof porch. The building materials and design are consistent with the front and rear elevations with the use of stacked stone on chimneys and piers with fiber cement lap siding and board and batten siding comprising the remaining portions of the elevations.

Staff recommends the Planning Commission approve the architectural elevations as submitted for Phase 2 and the architectural elevations for Phase 1 shown on Sheet A3.0. Final architectural elevations will be approved as part of the Final Master Development Plan.

Open Space/Bufferyards/Landscaping

Phase 1 of the development is zoned Mixed Use and bordered to the north by Planned General Commercial (PGC) and Mixed Use (MU) zoned property. To the south, Phase 1 is bordered by the CSX railroad and beyond the railroad tracks by Specific Plan (SP) and Commercial General (CG) zoned property. To the east, Phase 1 is bordered by Mixed Use (MU) zoned property and to the west by Planned General Commercial Property (PGC) zoned property.

Phase 2 of the development is bordered to the north by Planned Business Park (PBP) zoned property, which requires a Type 25 Bufferyard. To the south, Phase 2 is bordered by Mixed Use (MU) zoned property (Phase 1). To the east and west, Phase 2 is bordered by Mixed use (MU) and Planned Business Park (PBP) zoned property. Each of these adjacent zoning requires different bufferyard types.

The PMDP provides details of the proposed bufferyards and a table on Sheet C1.0 and Sheet C2.0 indicates what bufferyard is proposed adjacent to each zone district. The table is provided below.

BUFFERYARD REQUIREMENTS		
	REQUIRED	PROPOSED
MU to MU	Type 10	Type 10
MU to PBP	Type 25	Type 25 Alternative
MU to CG (Residential)	Type 30	Railroad R.O.W. Alternative
MU to CG (Intervening Railroad)	Not Required (G.Z.O. Section 13.04.060.F(3))	N/A
MU to SP (Residential)	NOT SPECIFIED IN G.Z.O.	Railroad R.O.W. Alternative
MU to A (Intervening Collector Road)	Type 25	Type 25 Alternative
MU to PGC (Intervening Arterial Road)	Type 12 (12.5 feet)	Type 15 Alternative

The Type 15 and Type 25 Alternative Bufferyards provide all required landscape material, but within a reduced width of 10 feet. The Railroad R.O.W. Alternative is a request to not provide any landscape material due to the railroad right-of-way being 200 feet in width and there are existing tree lines to the north and south of the railroad tracks in the railroad right-of-way. The tree lines are not located on the Chandler Park property. The Gallatin Zoning Ordinance does not provide a required bufferyard between Mixed Use and Specific Plan zone districts, so the owner is requesting to extend the Railroad R.O.W. Alternative Bufferyard along the southern property boundary of Phase 1 that is adjacent to SP zoned property.

Staff recommends the Planning Commission approve the alternative bufferyards and landscape plan as submitted. Final landscape plans will be approved with the Final Master Development Plan. The applicant should consider a hedge row planting adjacent to the railroad right-of-way or consider installing a fence to discourage trespassing on the railroad right-of-way.

Signage

The applicant provided a photograph of the proposed signage for both Phase 1 and 2. The signage is a large stone with the development name engraved within the stone. (See Sheet A1.0) The size or locations of the monument signs were not provided. The applicant shall show and label the location of the proposed signs, including the setback from the right-of-way on the appropriate plan sheets. A sign package including conceptual elevations also shall be included with the Final Master Development Plan.

Parking

The Dwelling, Multi-Family use requires two (2) parking spaces per dwelling unit. Phase 1 includes 384 units, which requires 768 parking spaces with at least 16 handicapped parking spaces. Phase 2 includes 108 units, which requires 216 parking spaces with at least seven (7) handicapped parking spaces. The plan provides a total of 1,008 parking spaces, which exceeds the required number of parking spaces of 984. A breakdown of parking space types per phase is in the table below.

CHANDLER PARK – PROVIDED PARKING					
	REQUIRED	PROVIDED			
		SURFACE PARKING	GARAGE	HANDICAPPED	TOTAL
PHASE 1	768 (16 ADA)	691	71	16	778
PHASE 2	216 (7 ADA)	127	96	7	230
TOTAL	984 (23 ADA)	818	167	23	1008 (23 ADA)

Photometric Plan

No Photometric Plan was submitted with the PMDP, but Note 21 on Sheet C1.0 states "Outdoor lighting shall comply with the City of Gallatin Zoning Ordinance Section 13.02.080." The PMDP does include the type and number of lighting fixtures proposed. (Sheet C2.0 – detail) There are eight (8) pole lights proposed at 20 feet in height and 11 wall pack lights mounted 10 feet above finished floor. All proposed lighting is L.E.D. technology. A code compliant Photometric Plan shall be provided as part of the Final Master Development Plan.

As described herein, the proposed apartment complex is adjacent to the CSX railroad, a marked and signed railroad crossing with warnings lights and gates is located at the east end of the project on Harris Lane. The tracks extend along the south edge of the site. Trains travel at high speeds through this corridor at this location and sound the horn when approaching the crossing. Train horns are exempt from the City of Gallatin Noise Ordinance and Zoning Code. In most cases housing is discouraged adjacent to a railroad but many areas of the City are adjacent to the railroad, including the mainline, are zoned and/or developed for residential uses. This project will be setback approximately 120 feet from the railroad tracks.

Planning Department Comments

The Planning Department reviewed and commented on the Preliminary Master Development Plan. The applicant satisfactorily addressed the Planning Department comments, except those listed as conditions of approval.

Engineering Division Comments

The Engineering Division reviewed and commented on the Preliminary Master Development Plan. The applicant satisfactorily addressed the Engineering Division comments, except those listed as conditions of approval.

FINDINGS:

1. The owner and applicant submitted a completed application with required attachments to the City requesting the zoning change and Preliminary Master Development Plan approval.
2. A Preliminary Master Development Plan was submitted with the rezoning application as required by Sections 12.02.010.B and 15.07.030 of the Gallatin Zoning Ordinance and complies with the twelve (12) standards required of the plan.
3. The proposed rezoning and Preliminary Master Development Plan is in agreement and consistent with the intent and land use recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan Update 2008-2020 for the area, and in particular, the GreenLea Business Center Special Area Character Category.
4. The proposed Preliminary Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district and complies with the use restrictions, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district, and with requested exceptions from the minimum site area per unit and height regulations.

5. The property proposed for rezoning and the PMDP site has adequate public utilities, infrastructure and private or municipal services necessary to serve the proposed development and population permitted by the requested zoning and the PMDP or such necessary services and facilities will be provided upon development of the property.
6. The Preliminary Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. The Gallatin Regional-Municipal Planning Commission received public comment and reviewed and recommended to the City Council action on the proposed rezoning request and PMDP.
8. The Preliminary Master Development Plan submitted to the City complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
9. The proposed rezoning will be compatible with surrounding environment and will protect the public health, safety and welfare and will not be injurious to other property or improvements in the area in which the property is located.
10. The legal purposes for which zoning regulations exist have not been contravened.
11. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2016-122, Chandler Park Gallatin Phases I and II, consisting of a seven (7) sheet plan, prepared by Rogers Engineering Group of Gallatin, TN, with Project #16-048, dated October 11, 2016, a one (1) sheet architecture plan, prepared by Niles Bolton Associates of Atlanta, GA, with Job No. 116045.00, dated October 11, 2016, and a four (4) sheet architecture plan, prepared by Humphreys & Partners Architects, L.P., of Dallas, TX, with Job No. HPA 16401, dated August 19, 2016, with a final revision date of October 11, 2016, with the following conditions:

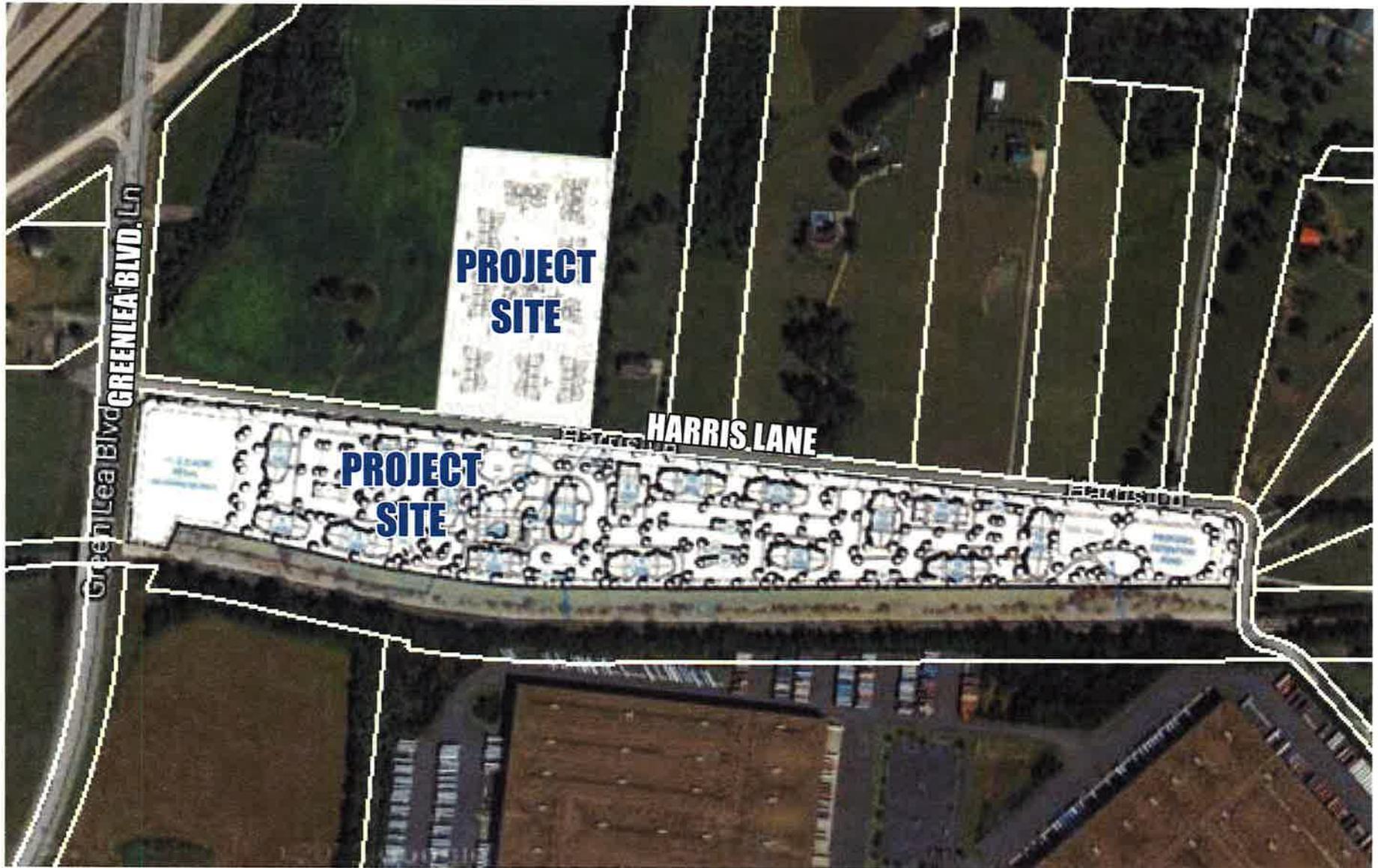
1. Add a note to the plan stating a separate Preliminary Master Development Plan is required for the retail lot.
2. Add a note to the plan stating all Gallatin Zoning Ordinance landscape requirements will be met.
3. Dimension several parking spaces in each phase or provide a typical parking space for each phase and parking space type.
4. Dimension and label drive aisle widths within each phase.
5. Show and label the location of the proposed signs, including the setback from the right-of-way.
6. Verify the parking numbers for both phases to ensure consistency with the Site Data Table on the Cover Sheet (Sheet C1.0).
7. Dimension and label the roofline heights on all elevation sheets.
8. Provide architectural elevations and/or photographs of the proposed garages.
9. Extend the widening and improvements to Harris Lane to the secondary (east driveway) entrance for Phase 1.
10. Graphically and/or by plan note indicate that the retail (2.5(+/-)) portion of the site include a driveway to Harris Lane.

11. Modify the plan to show sidewalk connections for the apartment site to the public sidewalks along Harris Lane and add a sidewalk on Harris Lane adjacent to Phase 2. Sidewalks for the retail lot may be shown upon submittal of a PMDP for this site.
12. Submit one (1) full-sized and two (2) half-sized, corrected folded copies of the Preliminary Master Development Plan.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City)

ATTACHMENTS

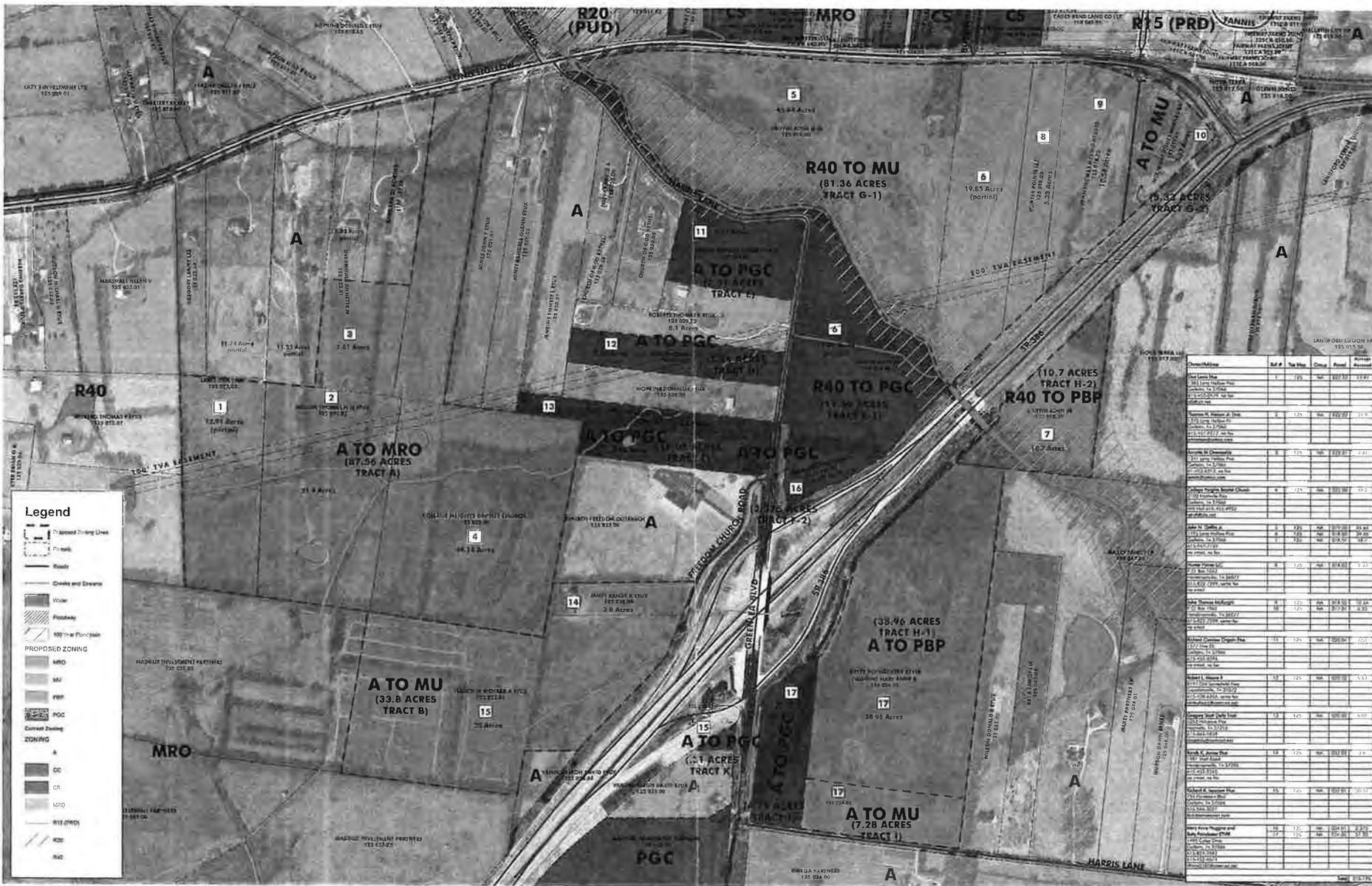
- | | |
|-------------------------|--|
| Attachment 8 – 1 | Location Map of Chandler Park |
| Attachment 8 – 2 | Heights of GreenLea Rezoning and PMDP (PC File# 3-11-10) |
| Attachment 8 – 3 | Heights of GreenLea – Legal Descriptions for Tract H-1, Tract I, and Tract J. |
| Attachment 8 – 4 | Cantrill Farm Rezoning and PMDP (PC File# 3-17-10) |
| Attachment 8 – 5 | Cantrill Farm – Legal Description for Tract ‘E’ |
| Attachment 8 – 6 | G.Z.O. Section 12.02.020.F |
| Attachment 8 – 7 | Gallatin on the Move – GreenLea Business Park Character Area Information |
| Attachment 8 – 8 | Chandler Park – Boundary Survey and Legal Description for Rezoning |
| Attachment 8 – 9 | Chandler Park PMDP (PC File# 3-2443-16) |



Prepared By: Kevin Chastine, AICP
Prepared On: October 19, 2016

Location Map
Chandler Park
Rezoning and PMDP
PC File# 3-2443-16





Tract/Map	Acres	Proposed	Current	Area	Value
Tract G-1	81.36	MU	AG	1,200,000	1,200,000
Tract B	33.8	MU	AG	1,200,000	1,200,000
Tract H-2	10.7	PGC	AG	1,200,000	1,200,000
Tract I-1	38.96	PGC	AG	1,200,000	1,200,000
Tract I-2	7.28	MU	AG	1,200,000	1,200,000
Tract J	38.96	PGC	AG	1,200,000	1,200,000
Tract K	10.7	PGC	AG	1,200,000	1,200,000
Tract L	10.7	PGC	AG	1,200,000	1,200,000
Tract M	10.7	PGC	AG	1,200,000	1,200,000
Tract N	10.7	PGC	AG	1,200,000	1,200,000
Tract O	10.7	PGC	AG	1,200,000	1,200,000
Tract P	10.7	PGC	AG	1,200,000	1,200,000
Tract Q	10.7	PGC	AG	1,200,000	1,200,000
Tract R	10.7	PGC	AG	1,200,000	1,200,000
Tract S	10.7	PGC	AG	1,200,000	1,200,000
Tract T	10.7	PGC	AG	1,200,000	1,200,000
Tract U	10.7	PGC	AG	1,200,000	1,200,000
Tract V	10.7	PGC	AG	1,200,000	1,200,000
Tract W	10.7	PGC	AG	1,200,000	1,200,000
Tract X	10.7	PGC	AG	1,200,000	1,200,000
Tract Y	10.7	PGC	AG	1,200,000	1,200,000
Tract Z	10.7	PGC	AG	1,200,000	1,200,000

ATTACHMENT 8-2 PART D



© 2010 Looney Ricks Kiss, Architects, Inc. All rights reserved.

2ND REVISED RESUBMITTAL

Exhibit C
The Heights of GreenLeaf

DELEGATIVE
JUN 01 2010
GALLATIN PLANNING & ZONING



0 200 400 800

Scale 1"=200' 3-11-10

Legal Description
For
Green Lea – Long Hollow Pike
Land Owners Group
A to PBP Zoning
(Part of Property 17 on Exhibit “C”)
Tract “H-1”

ATTACHMENT 8-3

Property located on the south side of Vietnam Veterans Blvd. (S.R. 386), and the east side of Green Lea Blvd. Being shown as part of parcel 34.00 on Sumner County Property Map 125. Being more particularly described as follows:

BEGINNING at a point in the southeasterly right of way of Vietnam Veterans Boulevard (S.R. 386), at the Northwest corner of the herein-described tract and the Southwest corner of the John R. Griffin, Jr. property of record in D.B. 169, Pg. 429, R.O.S.C., TN; Thence from said POINT OF BEGINNING, leaving Vietnam Veterans Boulevard, with the southerly line of Griffin, S 84°17'49" E – 329.61' to a point at the Northwest corner of the Maxey Family LP property of record in R.B. 1294, Pg. 522, Thence with said line, S 05°20'20" W – 471.02' to a point at the Northwest corner of the RAI 4 Family LLC property of record in R.B. 3179, Pg. 619, Thence with the easterly line of said property, S 05°20'20" W – 318.08' to a point at the Northwest corner of the Donald R. Wilson property of record in R.B. 888, Pg. 116, Thence with the easterly line of Wilson, S 05°20'20" W – 1167.90' to a point; Thence leaving Wilson's line, with a new line N 84°04'15" W – 1057.05' to a point; Thence N 05°38'22" E – 666.08' to a point in the southeasterly right-of-way of Vietnam Veterans Blvd. Thence with said right-of-way, Thence N 54°53'05" E – 63.02' to a point; Thence N 31°46'51" E - 143.38' to point; Thence N 21°47'27" E – 212.25' to a point; Thence N 18°16'37" E – 22.15' to a point; Thence N 14°31'17" E – 225.49' to a point; Thence with a curve left having a radius of 668.94', a chord length of 76.19', said chord having a bearing of N 30°44'19" E and an arc length along said curve of 76.23' to a point; Thence N 43°21'50" E – 222.92' to a point; Thence N 45°16'59" E – 337.64' to a point; Thence N 42°51'40" E – 203.97' to the POINT OF BEGINNING, containing 38.96 acres,

Being a portion of the same property conveyed to Mary Anne Huggins and Betty Wright Poindexter et vir by deed of record in R.B. 2183, Pg 217, R.O.S.C., TN.

RESUBMITTAL

RECEIVED
SEP 20 2010

GALLATIN PLANNING
& ZONING

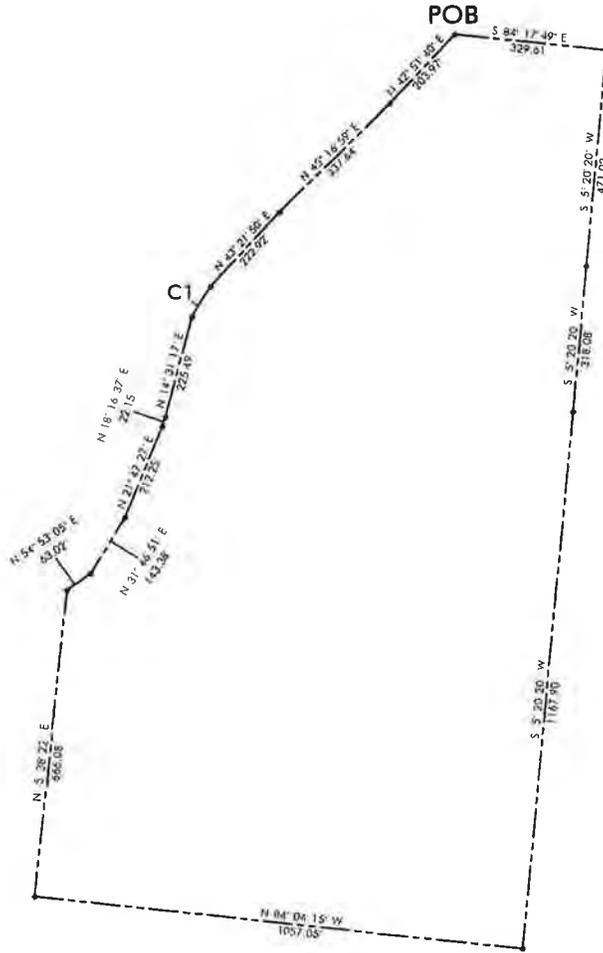
PC file 3-11-10

ATTACHMENT 8-3

ATTACHMENT 2-4

Curve Table				
Curve	Chord Length	Radius	Bearing	Arc Length
C1	76.19'	668.94'	N30°44'19"E	76.23'

EXHIBIT D

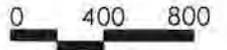


REVISED

RESUBMITTAL

Tract H-1

Scale 1"=400'



The Heights at GreenLea
 GreenLea Rezoning Application
 05/18/10

RECEIVED
 SEP 20 2010

GALLATIN PLANNING
 & ZONING
 PC R12 8-11-10

ATTACHMENT 2-4

EXHIBIT D

ATTACHMENT

8-3

Legal Description
For
Green Lea – Long Hollow Pike
Land Owners Group
A to MU Zoning
(Part of property 17 on Exhibit “C”)
Tract “I”

Property located on the north side of Harris Lane and the east side of Green Lea Blvd.
Being shown as part of parcel 34.00 on Sumner County Property Map 125. Being more
particularly described as follows:

BEGINNING at a point in the northerly right-of-way of Harris Lane at the Southeast
corner of the herein-described tract and Southwest corner of the Donald R. Wilson etux
property of record in R.B. 888, Pg. 116, Thence from said POINT OF BEGINNING,
along the right-of-way of Harris Lane, N 84°04'15" W – 1004.67' to a point; Thence
N 82°55'51" W – 53.98' to a point; Thence leaving Harris Lane with a new line,
N 05°38'22" E - 298.93' to a point; Thence S 84°04'15" E – 1057.05' to a point in the
westerly line of the Donald R. Wilson property, Thence with said line, S 05°20'20" W –
300.02' to the POINT OF BEGINNING, containing 7.28 acres, more or less.

Being a portion of the same property conveyed to Mary Anne Huggins and Betty Wright
Poindexter et vir by deed of record in Record Book 2183, Page 217, R.O.S.C., TN.

RECEIVED

RESUBMITTAL

RECEIVED
SEP 20 2010

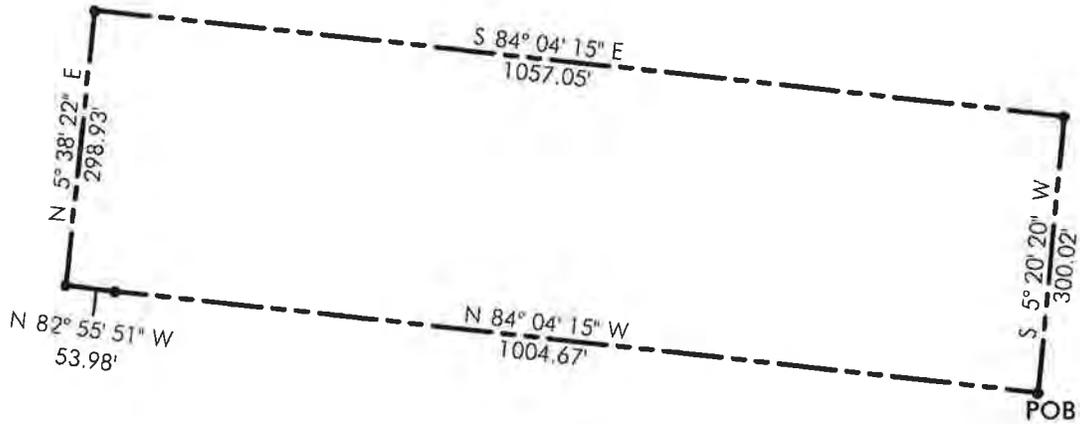
GALLATIN PLANNING
& ZONING

PC File 3-11-10

ATTACHMENT 2-4

EXHIBIT D

ATTACHMENT 8-3



REVISED RESUBMITTAL

Tract I

Scale 1"=200' 0 200 400



The Heights at GreenLea
GreenLea Rezoning Application
05/18/10

RECEIVED
SEP 20 2010

GALLATIN PLANNING
& ZONING
PC #72 3-11-10

Legal Description
For
Green Lea – Long Hollow Pike
Land Owners Group
A to PGC Zoning
(Part of property 17 on Exhibit “C”)
Tract “J”

Property located on the north side of Harris Lane and the east side of Green Lea Blvd.
Being shown as part of parcel 34.00 on Sumner County Property Map 125. Being more
particularly described as follows:

BEGINNING at a point at the intersection of the easterly right-of-way of Green Lea Blvd. and the northerly right-of-way of Harris Lane, at the Southwest corner of the herein-described tract. Thence from said POINT OF BEGINNING, along the easterly right-of-way of Green Lea Blvd., N 04°43'46" E – 117.17' to a point; Thence N 04°20'50" E – 100.02' to a point; Thence N 05°29'34" E – 100.00' to a point; Thence N 05°38'22" E – 201.69' to a point; Thence N 05°29'44" E – 135.70' to a point in the southeasterly right-of-way of Vietnam Veterans Boulevard (S.R. 386) Thence with said right-of-way, N 39°40'14" E – 117.16' to a point; Thence N 44°25'18" E – 110.34' to a point; Thence N 54°53'05" E – 152.68' to a point; Thence leaving the right-of-way of Vietnam Veterans Boulevard with a new line, S 05°38'22" W – 965.01 to a point in the northerly right-of-way of Harris Lane; Thence with said right-of-way, N 82°55'51" W – 223.58' to a point; Thence N 39°21'46" W – 31.27' to the POINT OF BEGINNING, containing 4.79 acres, more or less.

Being a portion of the same property conveyed to Mary Anne Huggins and Betty Wright Poindexter et vir by deed of record in Record Book 2183, Page 217, R.O.S.C., TN.

REVISED

RESUBMITTAL

RECEIVED
SEP 20 2010

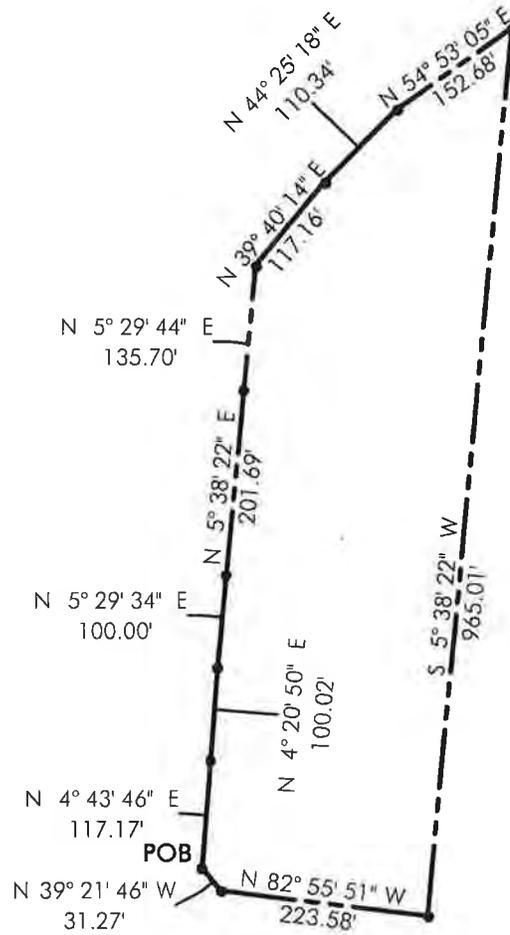
GALLATIN PLANNING
& ZONING

PC file 3-11-10

ATTACHMENT 2-4

EXHIBIT D

ATTACHMENT 8-3



REVISED

RESUBMITTAL

Tract J

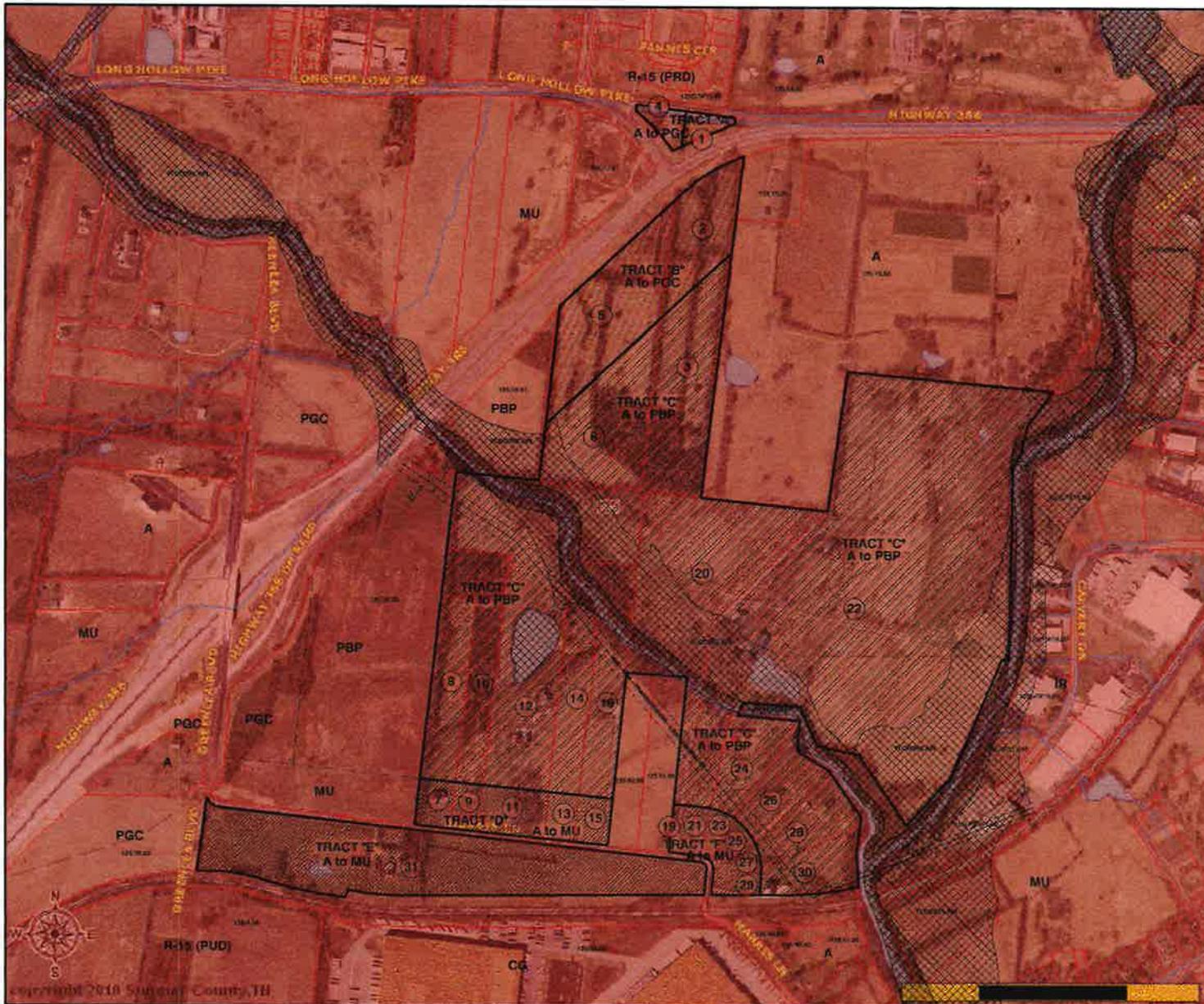
Scale 1"=200' 0 200 400



The Heights at GreenLea
GreenLea Rezoning Application
05/18/10

RECEIVED
SEP 20 2010

GALLATIN PLANNING
& ZONING
PC File 3-11-10



OWNER	REF #	TAX MAP	PARCEL	ACREAGE/LG1	ACREAGE	ZONING CHANGE
HERMAN GLENN JONES 328 HARRIS DRIVE GALLATIN, TN 37066	1	125	16.00	18.93 AC1	1.00 AC1	A 18 PCC
	2	125	16.00	18.93 AC1	1.00 AC1	A 18 PCC
	3	125	16.00	18.93 AC1	1.00 AC1	A 18 PCC
INDIA TERRA LLC 100 LIBERTY COVE HENDERSONVILLE, TN 37075	4	125	17.00	24.57 AC1	1.19 AC1	A 18 PCC
	5	125	17.00	24.57 AC1	1.19 AC1	A 18 PCC
	6	125	17.00	24.57 AC1	1.19 AC1	A 18 PCC
DONALD W WILSON 250 HARRIS LANE GALLATIN, TN 37066	7	125	35.00	8.74 AC1	1.70 AC1	A 18 MU
	8	125	35.00	8.74 AC1	1.70 AC1	A 18 PBP
PAI 4 FAMILY LLC C/O RICHARD A ISAACSON 755 PLANTATION BLVD GALLATIN, TN 37066	9	125	46.00	10.11 AC1	1.28 AC1	A 18 MU
	10	125	46.00	10.11 AC1	1.28 AC1	A 18 PBP
MAKEY FAMILY LP 2614 MUSIC VALLEY DRIVE NASHVILLE, TN 37214	11	125	47.00	29.43 AC1	2.88 AC1	A 18 MU
	12	125	47.00	29.43 AC1	2.88 AC1	A 18 PBP
MAKEY PARTNERS, LP 2614 MUSIC VALLEY DRIVE NASHVILLE, TN 37214	13	125	48.01	5.69 AC1	1.42 AC1	A 18 MU
	14	125	48.01	5.69 AC1	1.42 AC1	A 18 PBP
DAWN RENEE HUDSON 262 HARRIS LANE GALLATIN, TN 37066	15	125	48.00	5.77 AC1	1.48 AC1	A 18 MU
	16	125	48.00	5.77 AC1	1.48 AC1	A 18 PBP
THOMAS W LOVETT 240 HARRIS LANE GALLATIN, TN 37066	18	125	53.00	21.33 AC1	0.44 AC1	A 18 MU
	20	125	53.00	21.33 AC1	0.44 AC1	A 18 PBP
	22	125	53.00	21.33 AC1	0.44 AC1	A 18 PBP
KEITH A MCCOY ETUX LEAH A PO BOX 1560 HENDERSONVILLE, TN 37077	23	125	54.00	5.01 AC1	0.81 AC1	A 18 MU
	24	125	54.00	5.01 AC1	0.81 AC1	A 18 PBP
SCOTT DEWIS ETUX JULIE 253 HARRIS LANE GALLATIN, TN 37066	25	125	55.00	5.01 AC1	0.87 AC1	A 18 MU
	26	125	55.00	5.01 AC1	0.87 AC1	A 18 PBP
ARLYN GENE JOHNSON ETUX CAMELA ANN 254 HARRIS LANE GALLATIN, TN 37066	27	125	56.00	5.03 AC1	1.05 AC1	A 18 MU
	28	125	56.00	5.03 AC1	1.05 AC1	A 18 PBP
HENRY P HAMBLEN, JR ETUX CYNTHIA C 200 HARRIS LANE GALLATIN, TN 37066	29	125	57.00	5.47 AC1	0.70 AC1	A 18 MU
	30	125	57.00	5.47 AC1	0.77 AC1	A 18 PBP
OMEGA PARTNERS 100 LIBERTY LANE HENDERSONVILLE, TN 37075	31	125	36.00	32.81 AC1	33.81 AC1	A 18 MU
TOTAL REQUESTED ZONING CHANGE FROM A TO PCC						- 20.64 AC1
TOTAL REQUESTED ZONING CHANGE FROM A TO PBP						- 201.91 AC1
TOTAL REQUESTED ZONING CHANGE FROM A TO MU						- 48.53 AC1
TOTAL REQUESTED ZONING CHANGE						- 269.07 AC1

ADJOINING PROPERTY OWNERS		
MAP 125 / PARCEL 17.01 JOHN THOMAS MORTON/ DBA SAFE DEVELOPMENT CO PO BOX 1067 HENDERSONVILLE, TN 37077	MAP 136 / PARCEL 40.00 JOSEPH BAYFIELD ETUX SARAH 250 HARRIS LANE GALLATIN, TN 37066	MAP 125-"A" / PARCEL 4.01 JOSEPH E NEWGARDEN, JR ETUX LIT W 1129 FOREST HARBOR DR HENDERSONVILLE, TN 37075
MAP 125 / PARCEL 18.01 JOHN DREW JR 1193 LONG HOLLOW PIKE GALLATIN, TN 37066	MAP 136 / PARCEL 41.00 JOHNSON DREW 3636 WHITE COTTON ROAD NASHVILLE, TN 37027	MAP 125 / PARCEL 14.03 GREEN & SHIP LITTLE LP PO BOX 8037 GALLATIN, TN 37066
MAP 125 / PARCEL 34.00 MARY ANNE HUDSON & SHIP BETTY W HENDERSON ETUX 1450 CANYON DR GALLATIN, TN 37066	MAP 125-"A" / PARCEL 11.00 DREW W THOMPSON PO BOX 649 HENDERSONVILLE, TN 37075	MAP 125 / PARCEL 15.00 LUCAS LANGFORD FAMILY TRUST 1075 LONG HOLLOW PIKE GALLATIN, TN 37066
MAP 125 / PARCEL 32.02 MAQUIN INVESTMENT PARTNERS PO BOX 1431 HENDERSONVILLE, TN 37077	MAP 125-"A" / PARCEL 9.00 C LITTLE HARBORWAY 850 MANOR DR SARASOTA, FL 34242	MAP 125 / PARCEL 15.01 STEVEN LUCAS LANGFORD 100 LONG HOLLOW PIKE GALLATIN, TN 37066
MAP 136 / PARCEL 4.04 DREW & SHIP LITTLE LP PO BOX 8037 GALLATIN, TN 37066	MAP 125-"A" / PARCEL 6.00 MARY H HOLDING 634 CALVERT DR GALLATIN, TN 37066	MAP 125 / PARCEL 14.00 CITY OF GALLATIN 125 W MAIN STREET GALLATIN, TN 37066
MAP 136 / PARCEL 39.00 CAP INC 1/4 ERM STREET / PARCEL 3400 40 FIRST PLAZA NW ALBUQUERQUE, NM 87102	MAP 125-"A" / PARCEL 1.05 PRECEDENT PARTNERS OF TN, INC PO BOX 8089 GALLATIN, TN 37066	MAP 125-"A" / PARCEL 1.00 FARMWAY FARMING GROUP VENTURE 2975 CHASE BEND ROAD GALLATIN, TN 37066
MAP 136 / PARCEL 40.01 SARAH E SCOTT 150 HARRIS LANE GALLATIN, TN 37066	MAP 125-"A" / PARCEL 8.00 JOSEPH E NEWGARDEN, JR ETUX LIT W 1129 FOREST HARBOR DR HENDERSONVILLE, TN 37075	MAP 125 / PARCEL 11.00 DONALD L NEPHEW ETUX MARC C 1324 LONG HOLLOW PIKE GALLATIN, TN 37066
MAP 136 / PARCEL 50.00 DORAL OLIVER ETUX LEXA 104 LANGFORD LANE GALLATIN, TN 37066		

GRAPHIC SCALE
0 300 600 900 1200

CANTRELL FARM REZONING REQUEST
GALLATIN, TENNESSEE

CALDWELL ENGINEERING & SURVEYING
1057 OTTIE BOX 303 HENDERSONVILLE, TENNESSEE 37077 (615) 924-1747
SCALE: 1"=300' DATE: AUGUST 12, 2010

ATTACHMENT 8-4

NOTE: THE AERIAL PHOTOGRAPH AND PROPERTY LINES SHOWN ABOVE ARE TAKEN FROM THE SUMNER COUNTY, TENNESSEE GIS INFORMATION WEB SITE, AND ARE BELIEVED TO ACCURATE. HOWEVER, AN ACCURATE LAND SURVEY HAS NOT BEEN PERFORMED BY CALDWELL ENGINEERING AND SURVEYING.

ATTACHMENT 8-5

AMENDED ORDINANCE NO. 01010-67

ORDINANCE AMENDING ZONING ORDINANCE OF THE CITY OF GALLATIN, TENNESSEE BY AMENDING

AGRICULTURAL (A) RESIDENTIAL ZONE DISTRICT TO PLANNED GENERAL COMMERCIAL (PGC) ZONE DISTRICT, JONES, HERMAN GLENN, OWNER(S) – 7.52 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 016.00; TERRANOVA, LLC, OWNER(S) – 11.94 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 017.00;

AGRICULTURAL (A) RESIDENTIAL ZONE DISTRICT TO PLANNED BUSINESS PARK (PBP) ZONE DISTRICT, JONES, HERMAN GLENN, OWNER(S) – 11.56 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 016.00; TERRANOVA, LLC, OWNER(S) – 10.69 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 017.00; WILSON, DONALD R. ETUX, OWNER(S) – 5.36 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 035.00; RAI 4 FAMILY, LLC, OWNER(S) – 8.29 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 046.00; MAXEY FAMILY, LP, OWNER(S) – 26.68 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 047.00; MAXEY PARTNERS, LP, OWNER(S) – 8.31 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 048.01; HUDSON, DAWN RENEE, OWNER(S) – 5.39 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 048.00; LOVETT, THOMAS W., OWNER(S) – 20.95 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 052.00; LOVETT, THOMAS W., OWNER(S) – 86.45 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 053.00; MCGHEE, KEITH A. ETUX, OWNER(S) – 4.26 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 054.00; DEVOS, SCOTT ETUX, OWNER(S) – 4.02 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 055.00; JOHNSON, ARLYN GENE ETUX, OWNER(S) – 4.19 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 056.00; HAMBLEM, HENRY P. JR. ETUX, OWNER(S) – 4.12 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 057.00;

AGRICULTURAL (A) RESIDENTIAL ZONE DISTRICT TO MIXED USE (MU) ZONE DISTRICT, WILSON, DONALD R. ETUX, OWNER(S) – 1.38 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 035.00; RAI 4 FAMILY, LLC, OWNER(S) – 1.38 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 046.00; MAXEY FAMILY, LP, OWNER(S) – 2.75 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 047.00; MAXEY PARTNERS, LP, OWNER(S) – 1.38 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 048.01; HUDSON, DAWN RENEE, OWNER(S) – 1.38 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 048.00; LOVETT, THOMAS W., OWNER(S) – 0.39 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 052.00; LOVETT, THOMAS W., OWNER(S) – 1.17 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 053.00; MCGHEE, KEITH A. ETUX, OWNER(S) – 0.75 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 054.00; DEVOS, SCOTT ETUX, OWNER(S) – 0.99 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 055.00; JOHNSON, ARLYN GENE ETUX, OWNER(S) – 0.83 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 056.00; HAMBLEM, HENRY P. JR. ETUX, OWNER(S) – 0.90 (+/-) ACRES, S.B.E. TAX MAP #125//PART OF 057.00; OMEGA PARTNERS, OWNER(S) – 25.71 (+/-) ACRES, S.B.E. TAX MAP #125//036.00; LOCATED BETWEEN THE CSX RAILROAD AND STATE ROUTE 386, EAST OF GREENLEA BOULEVARD

WHEREAS, the Gallatin Municipal-Regional Planning Commission, pursuant to Section 15.07.040 of the Gallatin Zoning Ordinance has reviewed and recommended approval of this amendment in GMRPC Resolution No. 2010-28, attached hereto as Exhibit A; and

ATTACHMENT 8-5

WHEREAS, notice and public hearing before the Gallatin City Council has or will occur before final passage of this amendment pursuant to Section 15.07.060 of the Gallatin Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY OF GALLATIN, TENNESSEE as follows:

1. The Gallatin City Council hereby concurs with recommendations two (2) through five (5) of the Gallatin Municipal-Regional Planning Commission as described in Exhibit A and further described in the Staff Report and Action Form, attached hereto as Exhibit B and imposes those recommendations as conditions to this rezoning; and
2. That based upon recommendation of approval by the Gallatin Municipal-Regional Planning Commission, public notice, and after public hearing in compliance with Section 15.07.060 of the Gallatin Zoning Ordinance, the zone of the real property defined in Exhibit C, attached hereto, and illustrated in Exhibit D, Cantrill Farm Rezoning Request, shall be amended from the regular zoning district of Agricultural (A) Residential Zone District to the regular zone district of Planned General Commercial (PGC); Planned Business Park (PBP); and Mixed Use (MU), and the Cantrill Farm Rezoning Request is approved.
3. In accordance with Section 15.07.080 of the Gallatin Zoning Ordinance, the official zoning map of the City of Gallatin, Tennessee, shall, upon the effective date of this ordinance, be amended to reflect the zoning changes herein made.

BE IT FURTHER ORDAINED BY THE CITY OF GALLATIN, TENNESSEE, that this Ordinance shall take effect upon final passage, the public welfare requiring such.

PASSED FIRST READING: November 1, 2010.

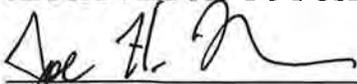
PASSED SECOND READING: December 7, 2010.

MAYOR JO ANN GRAVES

ATTEST:

CONNIE KITTRELL
CITY RECORDER

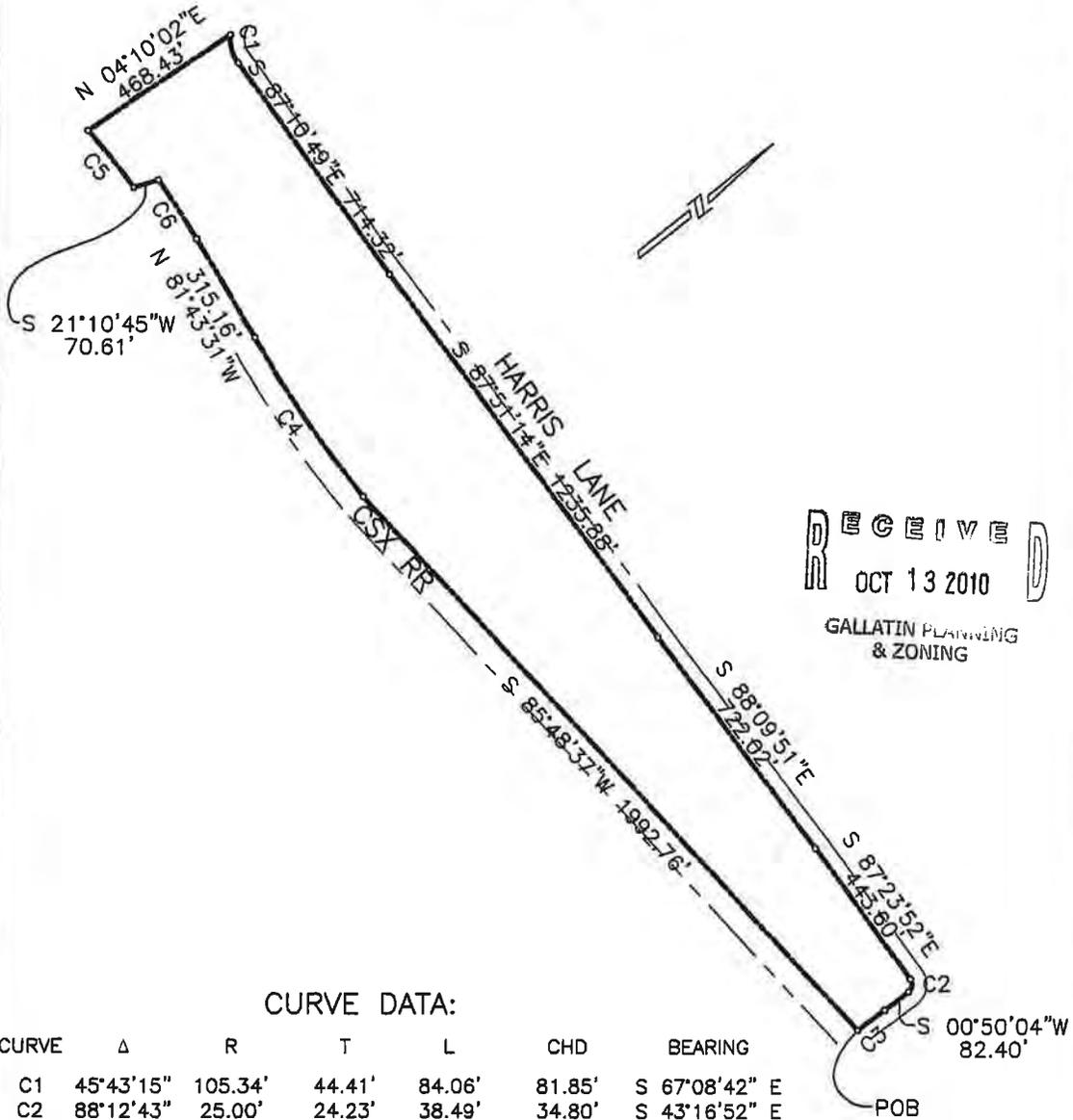
APPROVED AS TO FORM:



JOE H. THOMPSON
CITY ATTORNEY

CANTRILL FARM REZONING REQUEST

GALLATIN, TENNESSEE TRACT "E"



CURVE DATA:

CURVE	Δ	R	T	L	CHD	BEARING
C1	45°43'15"	105.34'	44.41'	84.06'	81.85'	S 67°08'42" E
C2	88°12'43"	25.00'	24.23'	38.49'	34.80'	S 43°16'52" E
C3	04°53'23"	1094.42'	46.73'	93.40'	93.37'	S 02°00'54" W
C4	10°20'33"	2927.32'	264.93'	528.42'	527.70'	N 85°48'18" W
C5	05°52'34"	1950.99'	100.13'	200.09'	200.00'	S 89°30'55" W
C6	05°27'12"	2017.99'	96.11'	192.07'	192.00'	N 84°10'35" W



CALDWELL ENGINEERING & SURVEYING

POST OFFICE BOX 323 HENDERSONVILLE, TENNESSEE 37077 (615)824-4747

JOB # 10-14 (E)

EXHIBIT C

DATE: 9-15-10

SCALE: 1"=400'

SHEET 1 OF 2

3-17-10

ATTACHMENT 8-5

CANTRILL FARM REZONING REQUEST GALLATIN, TENNESSEE TRACT "E"

Rezoning Request Legal Description #5

A tract of land in Sumner County, Tennessee being the Omega Partners property as of record in book 2528, page 357, as shown on County Tax Map 125, Parcel 36.00, and being more particularly described as follows based upon information taken from a Survey By William E Crenshaw, TN RLS # 2395, dated June 13, 2006

Beginning at a iron pin in the westerly right-of-way of Harris Lane being the southeast corner of the herein described property and in the northerly right-of-way of CSX Railroad, thence with CSX Railroad S 85°48'37" W 1992.76 feet to an iron pin, thence with a curve to the right having a delta of 10°20'33", a radius 2927.32 feet, a tangent of 264.93 feet, a chord of 527.70 feet, bearing N 85°48'18" W, a distance of 528.42 feet to an iron pin, thence N 81°43'31" W 315.16 feet to a curve to the left having a delta of 5°27'12", a radius 2017.99 feet, a tangent of 96.11 feet, a chord of 192.00 feet, bearing N 84°10'35" W, a distance of 192.07 feet to an iron pin, thence S 21°10'45" W 70.61 feet to an iron pin, thence with a curve to the left having a delta of 5°52'34", a radius 1950.99 feet, a tangent of 100.13 feet, a chord of 200.00 feet, bearing S 89°30'55" W, a distance of 200.09 feet to an iron pin in the boundary of Maddox Investments Partners, as of record in book 2311, page 242-244, ROSE, TN, thence with Maddox N 4°10'02" E 468.43 feet to an iron pin in the southerly right-of-way of Harris Lane, thence with a curve to the left having a delta of 45°43'15", a radius 105.34 feet, a tangent of 44.41 feet, a chord of 81.85 feet, bearing S 67°08'42" E, a distance of 84.06 feet to an iron pin, thence with Harris Lane S 87°10'49" E 714.32 feet to an iron pin, thence S 87°51'14" E 1235.88 feet to an iron pin, thence S 88°09'51" E 722.02 feet to an iron pin, thence S 87°23'52" E 443.60 feet to an iron pin, thence with a curve to the right having a delta of 88°12'43", a radius of 25.00 feet, a tangent of 24.23 feet, a chord of 34.80 feet, bearing S 43°16'52" E, a distance of 38.49 feet to an iron pin, thence S 0°50'04" W 82.40 feet to an iron pin, thence with a curve to the left having a delta of 4°53'23", a radius 1094.42 feet, a tangent of 46.73 feet, a chord of 93.37 feet, bearing S 02°00'54" W, a distance of 93.40 feet to the point of beginning and containing 25.71 acres more or less

It is requested that the above described property be rezoned from A to MU

R E C E I V E D
OCT 13 2010

GALLATIN PLANNING
& ZONING



CALDWELL ENGINEERING & SURVEYING

POST OFFICE BOX 323 HENDERSONVILLE, TENNESSEE 37077 (615)824-4747

JOB # 10-14 (E)

DATE: 9-15-10

SCALE: 1"=400'

SHEET 2 OF 2

2-17-10

8-5
 RECEIVED
 OCT 13 2010
 GALLATIN PLANNING
 & ZONING

F. Master Development Plan – Granting of Exceptions to Bulk Regulations and Waiver of Board of Zoning Appeal Approval of Conditional Use Permits

1. Granting of Exceptions to Bulk Regulations: An applicant requesting approval of a Preliminary Master Development Plan or Final Master Development Plan may request exceptions from the zoning district bulk regulations governing development area per dwelling unit, site area per unit, yards, minimum building setback, minimum lot size, minimum lot width, and maximum building height as may be necessary or desirable to achieve the objectives of the proposed planned development. Exceptions may be granted in accordance with the following provisions in order to achieve a more desirable site development than would result if the requirements of this ordinance were strictly adhered to:

a. **Request for Granting of Exceptions:** Exceptions must be specifically requested in writing on the Planning Commission Application Form submitted for a planned development and must also be clearly noted on the Preliminary Master Development Plan and Final Master Development.

b. **Granting of Exceptions – Preliminary Master Development Plan:** Exceptions to the zoning district bulk regulations governing development area per dwelling unit, site area per unit, yards, minimum building setback, minimum lot size, minimum lot width, and maximum building height may be granted as part of the approval of a Preliminary Master Development Plan and shall be based upon the recommendation of the Planning Commission, and determination by the Board of Mayor and Alderman, that the exceptions will not be detrimental to the public safety, health, or welfare, or injurious to other property or improvements in the neighborhood in which the property is located. In approving exceptions, the Board of Mayor and Alderman may impose conditions which will secure substantially the objectives, standards, and requirements of this Ordinance. Exceptions to the development area per dwelling unit or site area per unit requirement may be granted in order to permit greater development flexibility in order to permit the increased density or number of units permitted on individual zone lots when approved by the Board of Mayor and Alderman as a part of the approval of an overall Preliminary Master Development Plan. However, exceptions to bulk regulations for development area per dwelling unit or site area per unit shall not result in an increase in the total number of dwelling units or density permitted by district regulations for the overall development approved as part of a Preliminary Master Development Plan.

c. **Granting of Exceptions – Final Master Development Plan:** The Planning Commission may grant exceptions to the zoning district bulk regulations governing yards, minimum building setback, minimum lot size, minimum lot width, and maximum building height may be granted as part of their approval of a Final Master Development Plan as may be necessary or desirable to achieve the objectives of the overall planned development. Exceptions may be granted in order to achieve a more desirable site development than would result if the requirements of this ordinance were strictly adhered to. In granting exceptions, the Planning Commission shall determine that the exceptions will not be detrimental to the public safety, health, or welfare, or injurious to other property or improvements in the neighborhood in which the property is located. The Planning Commission may impose conditions which will secure substantially the objectives, standards, and requirements of this Ordinance.

GREENLEA BUSINESS CENTER

General Description of Existing Development Patterns

The GreenLea Business Center is an emerging employment and residential special area that includes a mix of industrial, office, residential and commercial uses that take advantage of the areas' location adjacent to SR-386 and the CSX Railroad. Much of this area is currently undeveloped and presents an opportunity for commercial, industrial and office growth adjacent to existing and emerging residential and commercial areas. A significant portion of the special area has been approved for retail, office, and residential uses within the Greensboro PUD. A detailed study should evaluate the areas south of SR 386 and north of the railroad for future mixed use developments.

Location

Areas within this character area include the following:

- Portions of Belvedere Drive/Harris Lane and GreenLea Boulevard, west of SR-109 Bypass and south of SR-386/Vietnam Veterans Boulevard

Intent

- Accommodate a mix of industrial and commercial/office uses to diversify the City's economic base
- Provide housing choices in close proximity to jobs/services
- Depict clear boundaries and transitions between the edge of the area and adjacent areas, particularly existing or emerging residential areas, to prevent visual and physical encroachment
- Prevent adverse impacts to natural resources and surrounding population
- Address traffic impacts and circulation in site design, resulting in ease of movement throughout the area
- Provide adequate buffers and limit visibility of industrial operations/parking from the public right of way
- Limit grading and clearing

Development Strategies

- Encourage a relatively high-density mix of residential, commercial, office and industry uses
- Require connectivity between uses

Implementation Strategies

- ☞ Market available Belvedere Drive/Harris Lane Industrial properties
- ☞ Maintain the Greensboro PUD zoning
- ☞ Prepare a detailed plan to address the large developable tracts north of the railroad and east of East Camp Creek

GREENLEA BUSINESS CENTER

Anticipated level of change:

- High

Transportation

- Medium level of service
- Medium level of connectivity
- Properties accessed by public roads, railroad
- Regular-shaped, long blocks
- Roads characterized by curb, gutter and open grassy swale

Infrastructure

- Full urban facilities and services

Greenspace

- Adjacent Preserve areas

Primary Land Uses

- Light Industry
- Business Parks
- Warehouse
- Commercial
- Hospitality
- Transportation/Comm./Utilities
- Single- and Multi-family Residential (when part of an approved master plan)

Appropriate Intensity

- 0.5 FAR

Applicable Zoning Districts

Existing Zoning Districts

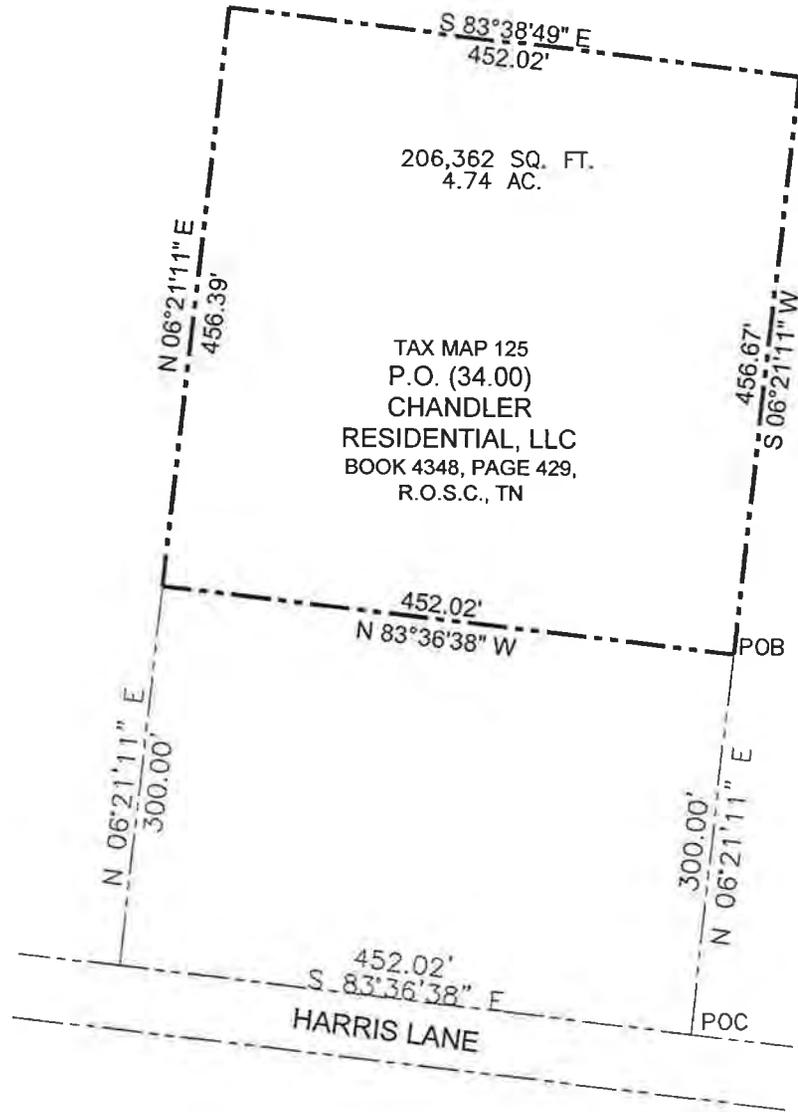
- IR, PBP, MRO PUD, R15 PUD

Proposed Zoning Districts

- GO and MU (if a detailed study proceeds the zoning change) for areas south of SR-386 and north of the railroad

ATTACHMENT 8-8

TAX MAP 125
P.O. (34.00)
CHANDLER
RESIDENTIAL, LLC
BOOK 4348, PAGE 429,
R.O.S.C., TN



206,362 SQ. FT.
4.74 AC.

TAX MAP 125
P.O. (34.00)
CHANDLER
RESIDENTIAL, LLC
BOOK 4348, PAGE 429,
R.O.S.C., TN



OCT 13 2016

TAX MAP 125
(35.00)
DONALD AND VICKIE
WILSON
BOOK 888, PAGE 116
R.O.S.C., TN



RESUBMITTAL



ROGERS ENGINEERING GROUP
114B WEST MAIN STREET
Gallatin, Tennessee 37066
TEL: 615-230-7269 FAX: 615-230-7271
richard.jones@rogersgroupinc.com

DESCRIPTION:
CHANDLER RESIDENTIAL, LLC TAX MAP
125, P/O PARCEL 35.00
R.B. 4348, PG. 429 ROSC

3-2443-16

BOUNDARY ZONING EXHIBIT
DATE: 10-7-16
JOB #16-048
SCALE: 1"=150'
SHEET 1 OF 1

ATTACHMENT 8-8

A tract of land in the 4th Civil District, Sumner County, Tennessee. Tract being a portion of Chandler Residential, LLC tract, as recorded in Record Book 4348, Page 429, Registers Office Sumner County, Tennessee (ROSC). Tract being bounded on the east by the Donald and Vickie Wilson tract as recorded in Record Book 888, Page 116, ROSC. and on the south, west and north by the remainder of the said Chandler Residential LLC tract. Tract being described as follows:

Point of Commencement being at the southwestern corner of the said Donald and Vickie Wilson tract and being on the northern Right of Way ROW of Harris Lane; thence leaving said ROW with the common line of the Donald and Vickie Wilson tract North 06°21'11" East 300.00 feet to the Point of Beginning; thence with a new line North 83°36'38" West 452.02 feet to a point; thence North 06°21'11" East 456.39 feet to a point; thence South 83°38'49" East 452.02 feet to a point on the common line of the said Donald and Vickie Wilson tract; thence with said common line South 06°21'11" West 456.67 feet to the point of beginning.

Containing 206,362 square feet or 4.74 acres.

GENERAL NOTES:

- THIS CONSTRUCTION PROJECT SHALL AT ALL TIMES AND IN ALL SITUATIONS PROCEED IN A MANNER CONSISTENT WITH THE CITY OF GALLATIN SUBDIVISION REGULATIONS, AND ALL OTHER APPLICABLE RULES, REGULATIONS AND LAWS OF ANY OTHER AUTHORITY WITH JURISDICTION TO GOVERN SUCH CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR UNDERTAKING SUCH CONSTRUCTION ACTIVITIES TO INSURE FULL COMPLIANCE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP A COPY OF THE CURRENT CITY OF GALLATIN SUBDIVISION REGULATIONS (INCLUDING SPECIFICATIONS FOR PUBLIC WORKS PROJECTS) ON THE CONSTRUCTION PROJECT AT ALL TIMES, AND REFERENCE SHALL BE MADE TO THEM FOR PROPER MATERIALS, METHODS, ETC. REGARDING CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL ELEVATIONS, DISTANCES AND DIRECTIONS BEFORE STARTING WORK ON ANY SEGMENT OF THE PROJECT. IF THE CONTRACTOR HAS ANY QUESTIONS OR SUSPECTS THERE IS AN ERROR OR OMISSION WITHIN THE PLANS OR CONSTRUCTION STAKES, HE SHALL NOT PROCEED UNTIL THE ENGINEER OR HIS REPRESENTATIVE HAS BEEN FULLY NOTIFIED, HAS RESPONDED, AND HAS SPECIFICALLY STATED THE CONTRACTOR MAY PROCEED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SURVEYING REFERENCE POINTS, HUBS, AND LOT CORNERS DURING THE CONSTRUCTION PROCESS AND SHALL BEAR THE EXPENSE FOR REPLACING ANY SUCH OBJECTS DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY NOTICES, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES ASSOCIATED WITH SUCCESSFULLY COMPLETING THE CONSTRUCTION PROCESS, INCLUDING ALL PUBLIC INSPECTION FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THIS OR ADJACENT PROPERTY AND FOR INJURY TO ANY PERSON OCCURRING DURING OR AS A RESULT OF THE CONSTRUCTION PROCESS, WHETHER SUCH DAMAGE OR INJURY RESULTS FROM ANY ACTION OR LACK OF ACTION BY PRINCIPALS OF THE COMPANY, EMPLOYEES, SUBCONTRACTORS, OR SUPPLIERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY SAFETY DEVICES AND FOLLOW ALL ADVISABLE SAFETY PRACTICES NECESSARY TO INSURE THE SAFETY OF ALL PERSONS DURING THE CONSTRUCTION PROCESS. NEITHER THE OWNER NOR THE ENGINEER ASSUME ANY LIABILITY FOR MATTERS RELATING TO SAFETY AT THE CONSTRUCTION SITE.
- ANY DAMAGE TO IMPROVEMENTS PRIOR TO FINAL PROJECT ACCEPTANCE BY THE CITY OF GALLATIN OR THE OWNER SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MEET CURRENT SPECIFICATIONS. ALL EXPENSES ASSOCIATED WITH SUCH REPAIR OR REPLACEMENT SHALL BE PAID BY THE APPROPRIATE CONTRACTOR.
- LOCATION OF EXISTING UTILITIES INDICATED ON THESE PLANS MUST BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY SUCH UTILITIES. THE CONTRACTOR IS FURTHER RESPONSIBLE FOR LOCATING ALL UTILITIES THAT MAY BE IN EXISTENCE ON THE PROJECT SITE BUT WHICH ARE UNKNOWN TO THE ENGINEER. ALL UTILITY LOCATION ACTIVITIES SHALL BE AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT (AS DIRECTED) TO ANY UTILITIES DAMAGED DURING CONSTRUCTION, BEFORE ANY EXCAVATION HAS BEGUN ON THIS SITE CALL 1-800-351-1111 FOR UNDERGROUND UTILITY LOCATIONS.
- EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN ACCORDANCE WITH THE TENNESSEE GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES STORM WATER DISCHARGE. INSPECTION AND MAINTENANCE SHALL BE PERFORMED BY THE CONTRACTOR ON A REGULAR BASIS IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN.
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY BRUCE RAINEY AND ASSOCIATES.
- A TITLE SEARCH NOR TITLE POLICY WAS PROVIDED. THEREFORE, THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONLY DOCUMENTS NOTED HEREON WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH.
- ELEVATIONS AND CONTOURS WERE DERIVED USING DIGITAL TERRAIN MODELING. CONTOUR INTERVALS ARE TWO (2) FOOT.
- BEARINGS SHOWN ARE BASED ON TENNESSEE STATE PLAN COORDINATE SYSTEM (NAD 1983).
- A REVIEW OF THE F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 4716SC0313C, 4716SC0407C & 4716SC0426G, EFFECTIVE DATE APRIL 17, 2012, SHOWS THIS PROPERTY TO BE IN ZONE X AND NOT A SPECIAL FLOOD HAZARD AREA.
- SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SITE PLAN.
- ALL BUILDINGS, SURFACE IMPROVEMENTS, AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THIS SITE ARE NOT NECESSARILY SHOWN HEREON.
- NO GEOTECHNICAL ENGINEERING REPORT WAS PROVIDED FOR THE PREPARATION OF THIS SITE PLAN.
- PERFORMANCE STANDARD COMPLIANCE
ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
- INDUSTRIAL PRE-TREATMENT
THE PROPOSED PROJECT SHALL COMPLY WITH ALL APPLICABLE CROSS-CONNECTION CONTROL AND SEWER USE REGULATIONS.
- SIGNAGE
SIGNMENT TYPE STYLE SIGNAGE IS BEING PROPOSED AT THIS TIME. SIGNAGE PLAN MUST BE SUBMITTED, REVIEWED, AND APPROVED PRIOR TO INSTALLATION.
- PHOTOMETRIC PLAN
OUTDOOR LIGHTING SHALL COMPLY WITH THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.B0. POLE LIGHTS WILL BE USED FOR LIGHTING (TYPICAL ON SHEET C 2.0).
- TRASH COLLECTION
DUMPSTERS HAVE BEEN PROVIDED AND WILL BE SCREENED. TRASH SERVICE SHALL BE PRIVATE.
- HVAC UNITS
HVAC UNIT LOCATIONS WILL BE TYPICAL FOR RESIDENTIAL CONSTRUCTION. HVAC UNITS TO BE SCREENED AS NOTED ON SHEET C 2.0.

BUFFER YARD REQUIREMENTS

ORDINANCE	PROPOSED
MU TO MU	TYPE 10
MU TO PBP	TYPE 25
MU TO CG (RESIDENTIAL)	TYPE 30
MU TO CG (INTERVENING RR)	NONE REQUIRED
MU TO SP (RESIDENTIAL)	NOT SPECIFIED
MU TO A (INTERVENING COLLECTOR ST.)	TYPE 25
MU TO PGC (INTERVENING ARTERIAL ST.)	TYPE 15 (12.5')

TRAFFIC VOLUME ESTIMATES:

LAND USE	SIZE	GENERATED TRAFFIC						
		DAILY TRAFFIC		AM PEAK HOUR		PM PEAK HOUR		
		ENTER	EXIT	ENTER	EXIT	ENTER	EXIT	
North Side - Phase II								
Apartments, LUC 220	102 units	742	11	43	54	48	26	74
Subtotal	--	742	11	43	54	48	26	74
South Side - Phase I								
Apartments, LUC 220	384 units	2,451	38	154	192	149	80	229
High-Turnover (Sit-Down) Restaurant, LUC 932	5,000 sq ft	636	30	24	54	26	20	49
Subtotal	--	3,087	68	178	246	175	100	278
TOTAL	--	3,829	79	221	300	226	126	352

Notes:
 1) Based on ITE Trip Generation Manual, 9th Edition
 2) Calculations presented above represent base trip generation without reductions for pass-by, internal, or alternate modes.
 3) Prepared by RPM Transportation Consultants, LLC

A TRAFFIC IMPACT STUDY WILL BE PROVIDED WITH THE FMDP SUBMITTAL

SIGNAGE:

- ALL SIGNAGE AND PAVEMENT MARKERS TO BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CURRENT ED.).
- CONTRACTOR SHALL COORDINATE WITH CITY OF GALLATIN ENGINEERING DIVISION AND DEPARTMENT OF PUBLIC WORKS FOR SIGN INSTALLATION.

STREET SIGNAGE

- STOP SIGN = R 1-1
 NO OUTLET = W 14-2
 STREET SIGNAGE: = PER CITY OF GALLATIN PUBLIC WORKS, MOUNTED ON STOP SIGNS

ESTIMATED CONSTRUCTION SCHEDULE:

PHASE I

BEGIN: JANUARY 2017
 END: DECEMBER 2018

PHASE II

BEGIN: MARCH 2017
 END: JULY 2018

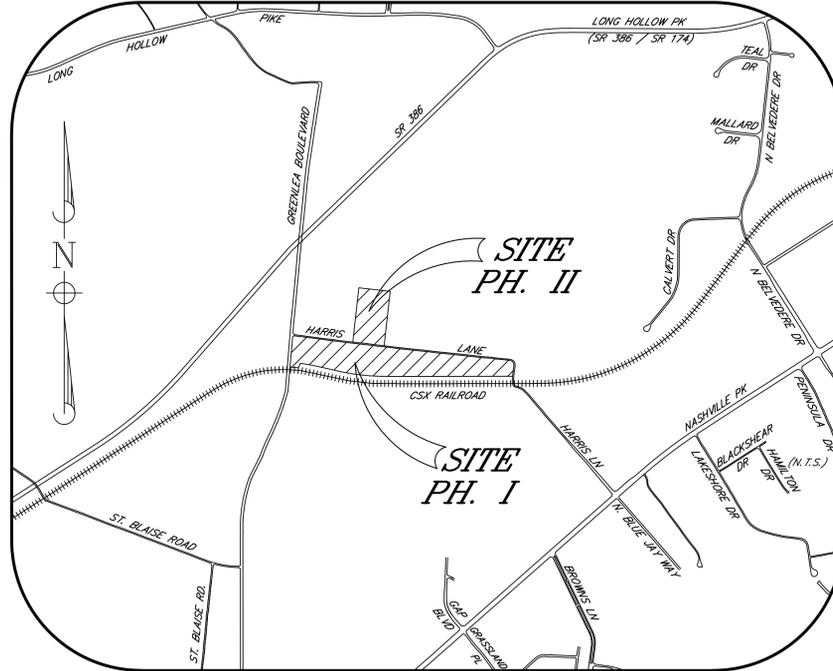
TEMPORARY BENCHMARK:

PK NAIL IN PAVEMENT AT NORTHWEST CORNER OF THE INTERSECTION OF HARRIS LANE AND GREEN LEA BOULEVARD. ELEVATION = 549.79

PLAN SHEET INDEX:

- DESCRIPTION**
 COVER SHEET
 OVERALL SITE & LANDSCAPING
 SITE PLAN A
 SITE PLAN B
 DETAIL SHEET
 PHASE I EXTERIOR RENDERINGS
 PHASE II EXTERIOR RENDERINGS
 PHASE I EXTERIOR ELEVATIONS
 PHASE II EXTERIOR ELEVATIONS

- SHEET**
 C 1.0
 C 2.0
 C 3.0
 C 4.0
 C 5.0
 A 1.0
 A 2.0
 A 3.0
 A 4.0-A 7.0



STATEMENT OF FINANCIAL RESPONSIBILITY:

THE DEVELOPER, B. L. BENNETT & ASSOCIATES (SEE ADDRESS THIS SHEET) WILL BE FINANCIALLY RESPONSIBLE FOR THE DEVELOPMENT OF THIS PROJECT. THE CONSTRUCTION FUNDING WILL BE PROVIDED BY VOLUNTEER STATE BANK (CONTACT: JIMMY OVERTON AT 615-452-6666).

OWNERSHIP AND MAINTENANCE PROVISIONS:

B. L. BENNETT & ASSOCIATES WILL PROVIDE MAINTENANCE OF SAID PROJECT INFRASTRUCTURE UNTIL COMPLETED. AT THAT TIME AND WITH THE ACCEPTANCE OF THE PROJECT BY THE OWNER, MAINTENANCE WILL TRANSFER PERPETUALLY TO THE OWNERS.

PROJECT DESCRIPTION:

THIS PROJECT IS TO DEVELOP APPROXIMATELY 32.39 ± ACRES INTO A TOTAL OF 492 MULTI-FAMILY UNITS IN 26 BUILDINGS AND TWO CLUBHOUSES. AMENITIES INCLUDE CLUBHOUSES, POOLS, MAIL KIOSKS AND A DOG PARK. THIS PROJECT IS BROKEN INTO TWO PHASES: PHASE I CONTAINING 384 UNITS AND PHASE II CONTAINING 108 UNITS. PHASE I ALSO CONTAINS A 2.5 AC. ± PARCEL FOR RETAIL. PHASE I CONTAINS 25.11 AC. AND PHASE II CONTAINS 7.85 AC. APPROXIMATELY 4.74 AC. OF ZONED PBP PROPERTY FOR PHASE II IS REQUESTED TO BE REZONED TO MU FOR THIS PROJECT. ADDITIONALLY, TWO EXCEPTIONS ARE REQUIRED FOR PHASE I TO ALLOW FOR AN ADDITIONAL 56 UNITS THUS DECREASING THE SITE AREA PER UNIT TO 2,365 SF. THIS INCREASE IS POSSIBLE BECAUSE OF THE BUILDING BEING THREE STORY. THIS ALSO REQUIRES AN EXCEPTION FROM 35 FT. MAXIMUM HEIGHT PER ORDINANCE TO 45 FT.

PAVING AND DRAINAGE NOTES:

- DRAINAGE SYSTEM RIP-RAP SHALL BE PLACED IN SUCH A MANNER AS TO ACHIEVE MAXIMUM INTERLOCKING TIGHTNESS.
- DURING CONSTRUCTION EXPOSE THE MINIMUM AREA OF SOIL FOR THE MINIMUM TIME POSSIBLE. CONTROL DUST BY WATERING OR OTHER METHOD APPROVED BY THE CITY OF GALLATIN.
- EROSION SHALL BE CONTROLLED IN ACCORDANCE WITH THE GENERAL WIPES PERMITS FOR DISCHARGE OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (PERMIT NO. TNW10000). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTROL EROSION FROM STORM WATER RUNOFF.
- ALL STUMPS, LARGE ROCK, CONCRETE, SCRAP MATERIALS, TRASH AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- COMPACTION REQUIREMENTS FOR ROADWAYS AND PAVEMENT - ALL FILL MATERIAL TO BE PLACED EVENLY AND IN A UNIFORM MANNER AT A MAXIMUM OF 8" LIFTS AND COMPACTED TO 98% STD PROCTOR ON ALL LIFTS. MOISTURE TO BE WITHIN 2% OF OPTIMUM DURING COMPACTION. COMPACTION REQUIREMENTS FOR BUILDING PADS - ALL FILL MATERIAL TO BE PLACED EVENLY AND IN A UNIFORM MANNER AT A MAXIMUM OF 8" LIFTS AND COMPACTED WITH SHEEPS-FOOT VIBRATORY COMPACTOR TO 98% STD PROCTOR ON ALL LIFTS. MOISTURE TO BE WITHIN 2% OF OPTIMUM DURING COMPACTION.
- PROJECT BENCHMARK, AS SHOWN ON PLANS
- ALL DRAINAGE PIPE BELOW ROADWAYS TO BE CLASS III RCP (REINFORCED CONCRETE PIPE) WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG.
 DRAINAGE PIPE BELOW PAVE AREAS TO BE:
 (1) CLASS III RCP (REINFORCED CONCRETE PIPE) WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG.
 (2) CMP (CORRUGATED METAL PIPE) WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG.
 DRAINAGE PIPE OUTSIDE OF ROADWAY TO BE:
 (1) CLASS I OR CLASS III RCP WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE NATIVE SOIL COMPACTED.
 (2) OR HDPE (SMOOTH INSIDE BORE) WITH 6" STONE BEDDING AND BACKFILLED TO THE SPRINGLINE WITH PUG IN 4" LIFTS COMPACTED TO 98% STD PROCTOR. PUG THEN TO BE PLACED IN 6" LAYERS AND LIGHTLY TAMPED TO 12" ABOVE THE TOP OF THE PIPE CORRUGATION. REMAINDER OF BACKFILL TO BE NATIVE SOIL COMPACTED.
 (3) CMP WITH CLASS "B" BEDDING (COMPACTED PUG TO SPRINGLINE). TRENCH FILL TO BE PUG TO ONE FOOT ABOVE PIPE. THE REMAINDER TO BE NATIVE SOIL COMPACTED.
- ALL DITCHES TO RECEIVE COVER TREATMENT AS SHOWN ON PLANS.
- THE PAVING TRANSITION AT EXISTING STREETS SHALL BE SMOOTH IN BOTH HORIZONTAL AND VERTICAL ALIGNMENT; FIELD ADJUST AS NECESSARY.
- CONTRACTOR SHALL SUBMIT A TDEC NOC AND OBTAIN A LAND DISTURBANCE PERMIT FROM THE CITY OF GALLATIN ENGINEERING DIVISION PRIOR TO GRADING.
- REFER TO "GENERAL NOTES" FOR ADDITIONAL INFORMATION RELATING TO THIS CONSTRUCTION PROJECT.

PARKING REQUIREMENTS		
TYPE	REQUIRED SPACES	PROVIDED
PHASE I (MULTI-FAMILY) *	(2 SPC / UNIT) x 384 = 768	778**
PHASE I (RETAIL)	--	--
PHASE II (MULTI-FAMILY) ***	(2 SPC / UNIT) x 108 = 216	230****

* 384 TOTAL UNITS - 144 1 BD, 216 2 BD, 24 3 BD
 ** INCLUDES 71 ENCLOSED GARAGE SPACES, 16 ACCESSIBLE REQUIRED
 *** 108 TOTAL UNITS - 44 1 BD, 64 2 BD
 **** INCLUDES 96 ENCLOSED GARAGE SPACES, 7 ACCESSIBLE REQUIRED

MU BULK AND AREA REGULATIONS (RESIDENTIAL)			
MINIMUM SITE SIZE	ORDINANCE	PROVIDED PHASE I	PROVIDED PHASE II
MINIMUM LOT AREA	5 AC	23,614 AC	2.88 AC
MINIMUM LOT WIDTH	6,000 SF	784,891.6 SF	341,946 SF
MULTI-FAMILY YARD REQUIREMENTS	60 FEET	2,833.53 FEET	452.02 FEET
FRONT YARD	25 FEET	25 FEET	25 FEET
SIDE YARD	10 FEET	10 FEET	10 FEET
REAR YARD	20 FEET	20 FEET	20 FEET
MIN. BLDG. SETBACK (COLLECTOR ST.)	40 FEET	40 FEET	40 FEET
MIN. BLDG. SETBACK (ARTERIAL ST.)	50 FEET	50 FEET	50 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	45 FEET**	35 FEET**

* 25.11 AC. TOTAL, 2.5 AC. RETAIL & 22.61 DWELLING, MULTI-FAMILY
 ** PHASE I: 3 STORY, PHASE II: 2 STORY

MU BULK AND AREA REGULATIONS (COMMERCIAL)			
MINIMUM SITE SIZE	ORDINANCE	PROVIDED PHASE I	PROVIDED PHASE II
MINIMUM LOT AREA	5 AC	20,000 SF	108,900 SF
MIN. BLDG. SETBACK (COLLECTOR ST.)	40 FEET	40 FEET	40 FEET
MIN. BLDG. SETBACK (ARTERIAL ST.)	50 FEET	50 FEET	50 FEET
COMMERCIAL YARD REQUIREMENTS			
FRONT YARD	20 FEET	20 FEET	20 FEET
SIDE YARD	10 FEET	10 FEET	10 FEET
REAR YARD	20 FEET	20 FEET	20 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	35 FEET	35 FEET
MAXIMUM FAR	1.0	1.0*	1.0*
MAXIMUM BUILDING COVERAGE	50%	50%	50%**

* NO PLANS SUBMITTED AT THIS TIME

UTILITY OWNERS			
WATER SEWER GAS	GALLATIN PUBLIC UTILITIES 239 HANCOCK STREET GALLATIN, TN 37066 CONTACT: DAVID GREGORY (615) 451-5922	TELEPHONE	AT&T 2501 PARK PLACE NASHVILLE, TN 37203 CONTACT: (615) 344-5288
ELECTRIC	GALLATIN DEPARTMENT OF ELECTRICITY 135 JONES STREET GALLATIN, TN 37066 CONTACT: MIKE TAYLOR (615) 452-5152	CABLE	COMCAST 640 SOUTH WESTLAND AVENUE GALLATIN, TN 37066 CONTACT: (615) 244-5900
STREETS	GALLATIN PUBLIC WORKS 641 LONG HOLLOW PIKE GALLATIN, TN 37066 CONTACT: ZACH WILKINSON (615) 451-5909		

CHANDLER PARK GALLATIN PHASES I & II
 PRELIMINARY MASTER DEVELOPMENT PLAN
 HARRIS LANE & GREENLEA BOULEVARD
 CITY OF GALLATIN, 4TH CIVIL DISTRICT,
 SUMNER COUNTY, TENNESSEE

SITE DATA TABLE	
DEVELOPER	B. L. BENNETT & ASSOCIATES 3310 WEST END AVENUE NASHVILLE, TN 37203 MATT GARDNER: 615-438-8810
OWNER - PARCEL 34.00	CHANDLER RESIDENTIAL, LLC 2600 CHANDLER DRIVE BOWLING GREEN, KY 42104
OWNER - PARCEL 36.00	GREEN LEA PROPERTIES & HARRIS LANE PROPERTIES, LLC 3310 WEST END AVENUE NASHVILLE, TN 37203 MATT GARDNER: 615-438-8810
SITE LOCATION	HARRIS LANE & GREENLEA BOULEVARD
TAX MAP	125
PARCELS	PART OF 34.00, RB 4348, PG 429, R.O.S.C., TN 36.00, RB 4384, PG 489, R.O.S.C., TN
ACREAGE	32.96 ±
CURRENT ZONE *	MU & PBP
REQUESTED ZONE	MU (4.74 AC. OF 50,334 AC. TO BE REZONED MU FROM PBP)
EXISTING USE	AGRICULTURE
PROPOSED USE	DWELLING, MULTI-FAMILY

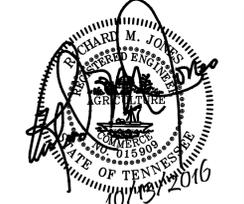
* PHASE I - 25.11 AC. MU, PHASE II - 7.85 AC. (3.11 AC. MU, 4.74 AC. PBP)

ROGERS ENGINEERING GROUP
 11416 WEST MAIN STREET
 Gallatin, Tennessee 37066
 TEL: 615-236-7269 FAX: 615-230-7271
 richard.jones@rogersgroupinc.com

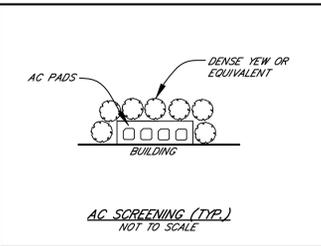
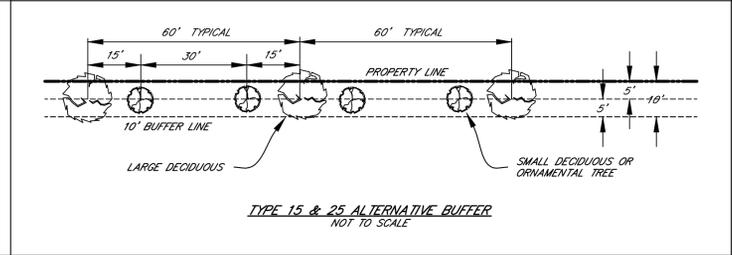
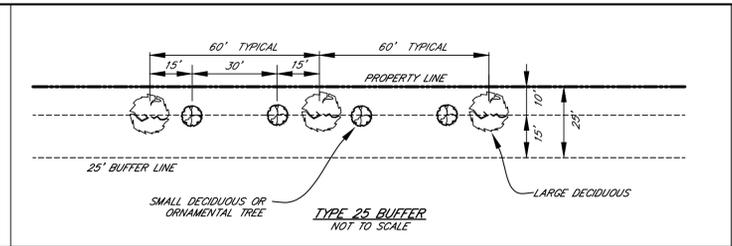
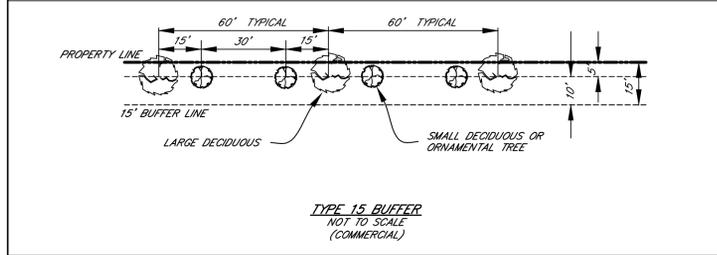
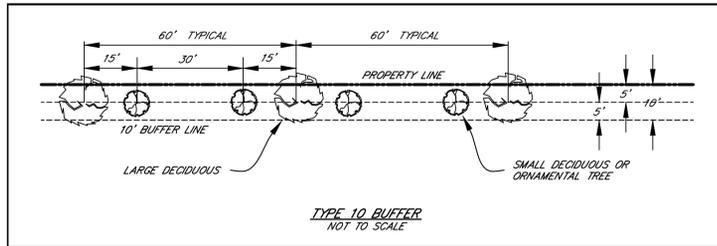


IF YOU DIG IN TENNESSEE...
 CALL US FIRST!
 1-800-351-1111
 1-615-366-1987
 TENNESSEE ONE CALL
 IT'S THE LAW

CHANDLER PARK GALLATIN PHASES I & II
 PRELIMINARY MASTER DEVELOPMENT PLAN
 COVER SHEET
 HARRIS LANE & GREENLEA BOULEVARD
 CITY OF GALLATIN, 4TH CIVIL DISTRICT,
 SUMNER COUNTY, TENNESSEE

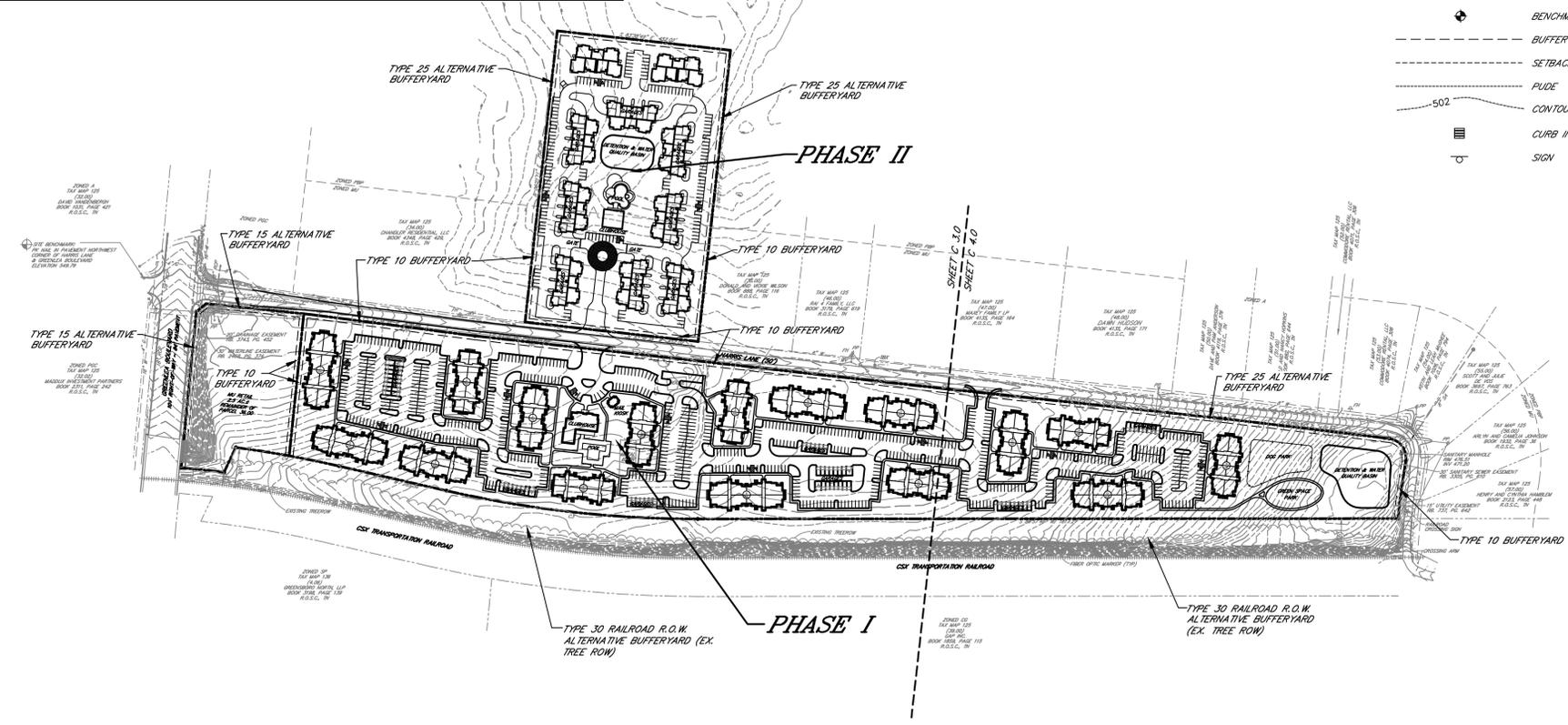
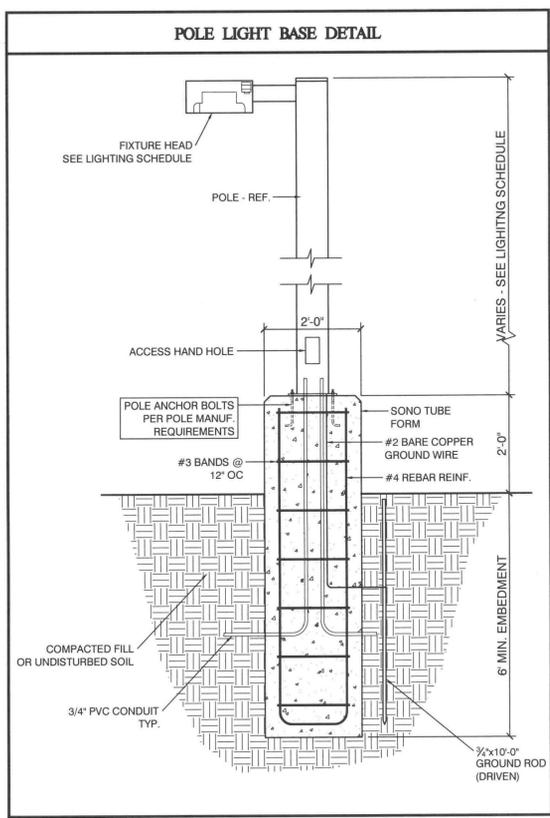


SHEET NO.	
C 1.0	
REVISIONS	
SHEET 1 OF 12	
PROJECT #	16-049
DATE	11 OCTOBER 2016

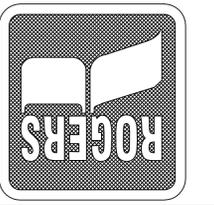


- LEGEND**
- CONCRETE MONUMENT (OLD)
 - IRON ROD (NEW)
 - BOUNDARY LINE
 - SS SANITARY SEWER LINE
 - W WATER LINE
 - G GAS LINE
 - S STORM SEWER
 - OHE OVERHEAD UTILITY LINE
 - X-X-X- FENCE
 - ~ TREE LINE
 - ⊕ UTILITY POLE
 - GUY ANCHOR
 - ⊙ SANITARY SEWER MANHOLE
 - ⊗ WW WATER VALVE
 - ⊗ FIRE HYDRANT
 - ⊗ EBX ELECTRIC JUNCTION BOX
 - ⊗ CATV CABLE PEDESTAL
 - ⊗ TBX TELEPHONE JUNCTION BOX
 - ⊕ BENCHMARK
 - BUFFER
 - SETBACK / YARD
 - PUDE
 - 502 CONTOUR
 - ⊓ CURB INLET
 - ⊔ SIGN

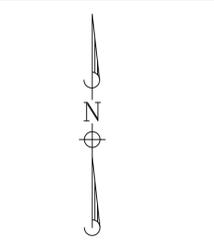
LIGHTING FIXTURE SCHEDULE				
TYPE	DESCRIPTION	LAMPS	MANUFACTURER	DETAILS
X	LED AREA LIGHT, TYPE 3 OPTICS, WET LOCATION RATED, DARK BRONZE FINISH, 120V	141W LED INCL.	LSI XTP3 3 LED 128 350 CW UE BRZ	MOUNT ON 20' 4" SQUARE POLE 6 - TOTAL
Y	LED AREA LIGHT, FORWARD THROW OPTICS, WET LOCATION RATED, DARK BRONZE FINISH, 120V	144W LED INCL.	LSI XTP3 FT LED 128 350 CW UE BRZ	MOUNT ON 20' 4" SQUARE POLE 2 - TOTAL
Z	LED WALL PACK, FORWARD THROW OPTICS, WET LOCATION RATED, DARK BRONZE FINISH, 120V	34W LED INCL.	LSI XPWS3 FT LED 350 CW UE BRZ	MOUNT ON 10' A.F.F. 11 - TOTAL



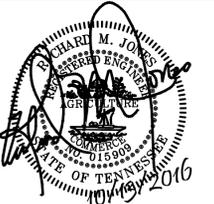
ROGERS GROUP, INC.
 ENGINEERING SERVICES
 1148 WEST MAIN STREET
 GALLATIN, TENNESSEE 37066
 TEL: 615-230-7269 FAX: 615-230-7271
 richard.jones@rogersgroupinc.com



IF YOU DIG IN TENNESSEE...
 CALL US FIRST!
 1-800-351-1111
 1-615-366-1987
 TENNESSEE ONE CALL
 IT'S THE LAW



**CHANDLER PARK GALLATIN
 PHASES I & II**
 PRELIMINARY MASTER DEVELOPMENT PLAN
 OVERALL SITE PLAN & LANDSCAPING
 HARRIS LANE & GREENLEA BOULEVARD
 CITY OF GALLATIN, 4TH CIVIL DISTRICT
 SUMNER COUNTY, TENNESSEE



SHEET NO.
C 2.0

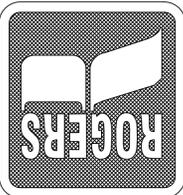
REVISIONS

REVISION 1:
 REVISION 2:

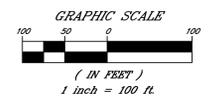
SHEET 2 OF 12

PROJECT # 16-048

DATE 11 OCTOBER 2016



IF YOU DIG IN TENNESSEE...
 CALL US FIRST!
 1-800-393-1111
 1-615-366-1987
 TENNESSEE ONE CALL
 IT'S THE LAW

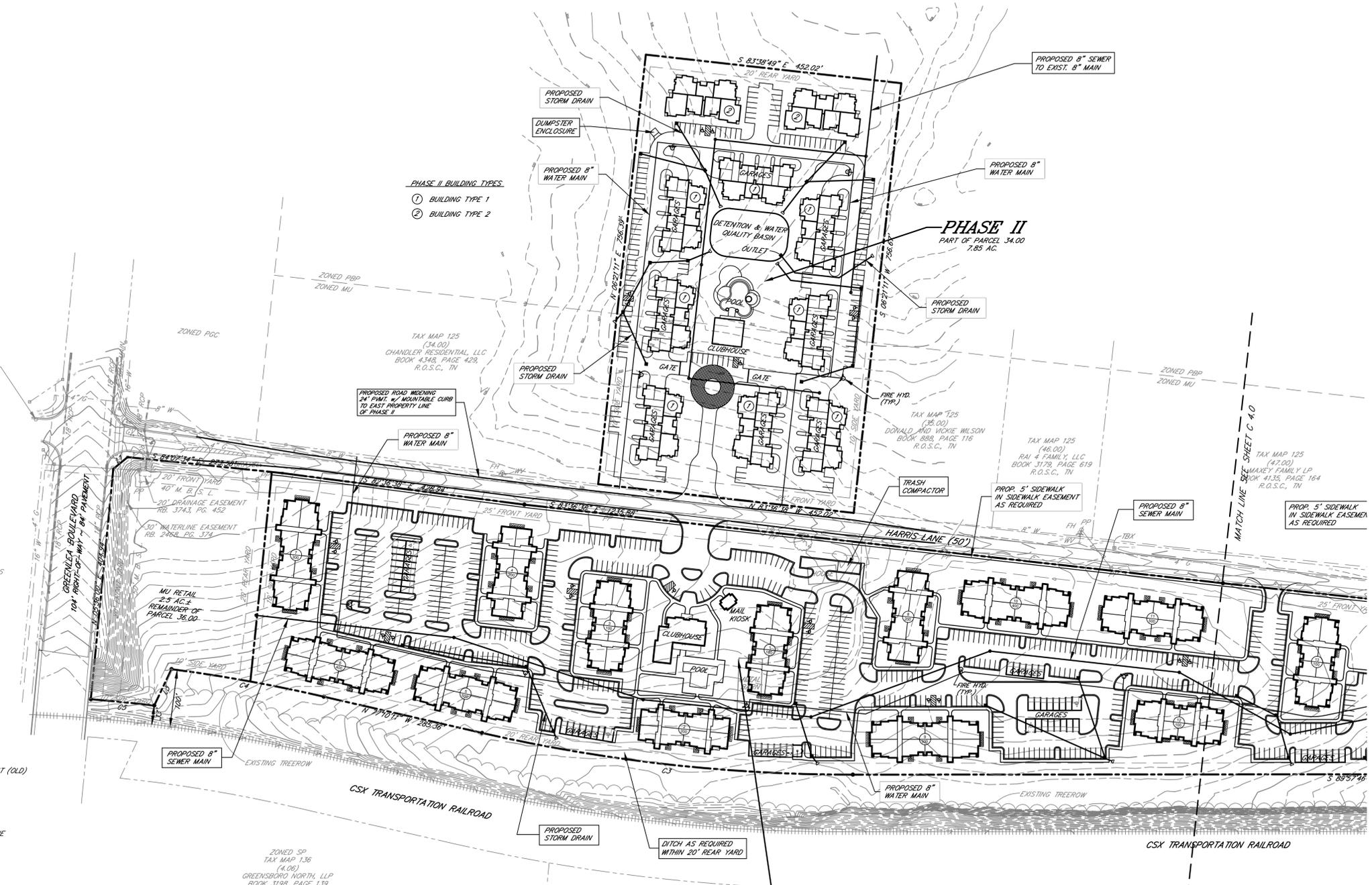


CHANDLER PARK GALLATIN
PHASES I & II
 PRELIMINARY MASTER DEVELOPMENT PLAN
 SITE PLAN A
 HARRIS LANE & GREENLEA BOULEVARD
 CITY OF GALLATIN, 4TH CIVIL DISTRICT
 SUMNER COUNTY, TENNESSEE



SHEET NO.
C 3.0

REVISIONS	
REVISION 1:	
REVISION 2:	
SHEET 3 OF 12	
PROJECT #	16-048
DATE	11 OCTOBER 2016



LEGEND

□	CONCRETE MONUMENT (OLD)
●	IRON ROD (NEW)
---	BOUNDARY LINE
---	CURB
---	SS SANITARY SEWER LINE
---	W WATER LINE
---	G GAS LINE
---	STORM SEWER
---	OHE OVERHEAD UTILITY LINE
X	FENCE
~	TREE LINE
⊕	UTILITY POLE
→	GUY ANCHOR
⊙	SANITARY SEWER MANHOLE
⊗	WATER VALVE
⊕	FIRE HYDRANT
□ EBX	ELECTRIC JUNCTION BOX
□ CATV	CABLE PEDESTAL
□ TBX	TELEPHONE JUNCTION BOX
◆	BENCHMARK
---	BUFFER
---	SETBACK / YARD
---	PUDE
---	CONTOUR
---	CURB INLET
⊕	SIGN

NOTES:
 1. ALL SEWER MAINS AND WATER MAINS TO BE IN A 20' PUBLIC UTILITY EASEMENT.
 2. FINAL ARCHITECTURAL PLANS WILL MEET THE 70% BRICK/STONE REQUIREMENTS OF THE GALLATIN ZONING ORDINANCE. THE REMAINDER OF THE BUILDING EXTERIOR WILL BE FIBER CEMENT LAP SIDING (HARDIE BOARD).
 3. ROOF SHALL BE FIBERGLASS COMPOSITE SHINGLES.

ZONED A
 TAX MAP 125
 (32.00)
 DAVID VANDENBERGH
 BOOK 1031, PAGE 421
 R.O.S.C., TN

ZONED PGC
 TAX MAP 125
 (32.00)
 MADDOX INVESTMENT PARTNERS
 BOOK 2311, PAGE 242
 R.O.S.C., TN

ZONED PGP
 TAX MAP 125
 (34.00)
 CHANDLER RESIDENTIAL, LLC
 BOOK 4348, PAGE 428
 R.O.S.C., TN

ZONED PGP
 TAX MAP 125
 (35.00)
 DONALD AND VICKIE WILSON
 BOOK 888, PAGE 116
 R.O.S.C., TN

ZONED PGP
 TAX MAP 125
 (46.00)
 RAI 4 FAMILY, LLC
 BOOK 3179, PAGE 619
 R.O.S.C., TN

ZONED PGP
 TAX MAP 125
 (47.00)
 MAXEY FAMILY LP
 BOOK 4135, PAGE 164
 R.O.S.C., TN

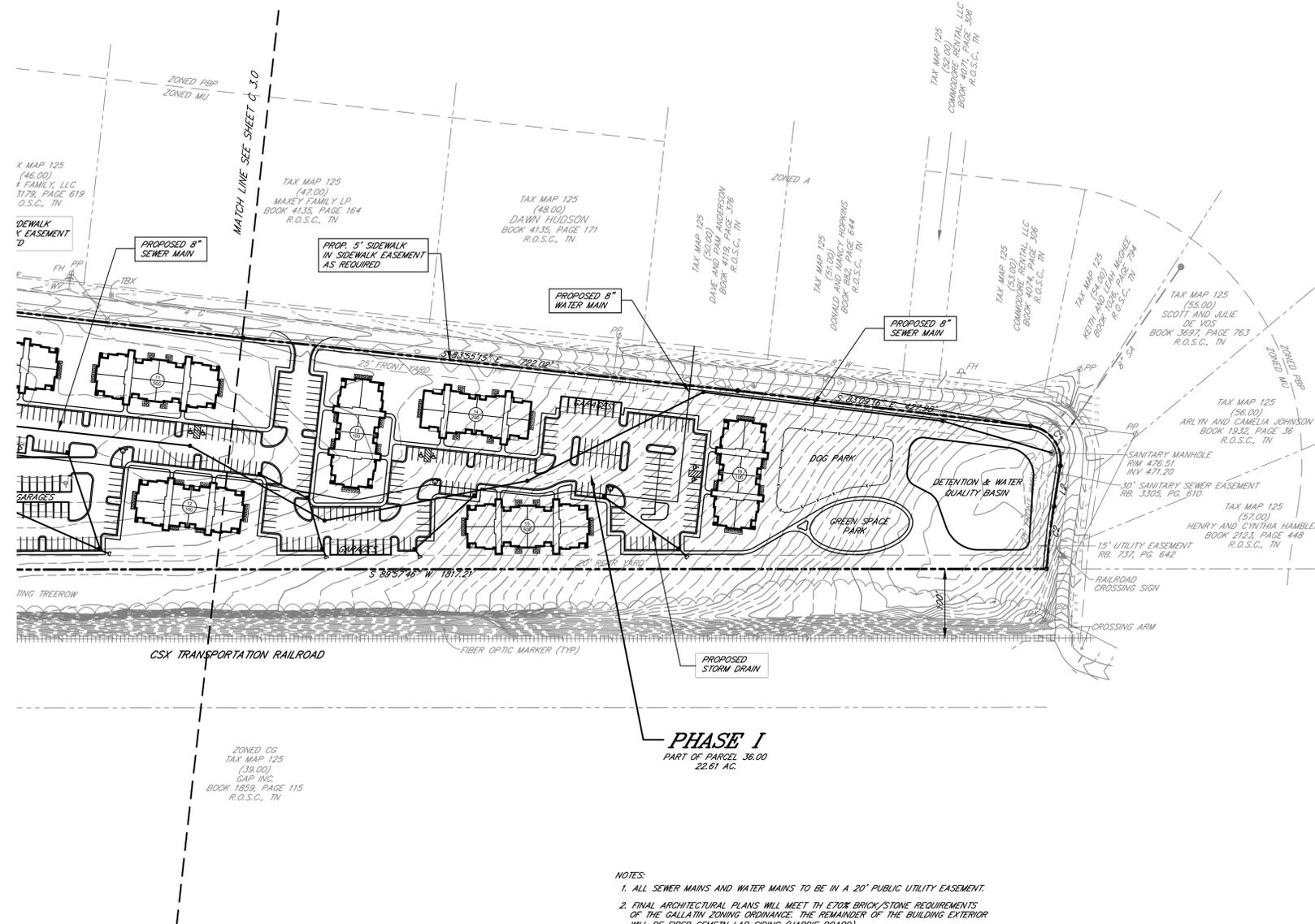
ZONED SP
 TAX MAP 136
 (14.06)
 GREENSBORO NORTH, LLP
 BOOK 3198, PAGE 139
 R.O.S.C., TN

ZONED CG
 TAX MAP 125
 (39.00)
 GAP INC
 BOOK 1859, PAGE 115
 R.O.S.C., TN

SITE BENCHMARK:
 PK NAIL IN PAVEMENT NORTHWEST
 CORNER OF HARRIS LANE &
 GREENLEA BOULEVARD
 ELEVATION 549.79

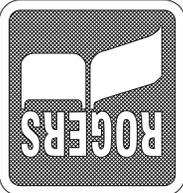
LEGEND

- CONCRETE MONUMENT (OLD)
- IRON ROD (NEW)
- BOUNDARY LINE
- CURB
- SS — SANITARY SEWER LINE
- W — WATER LINE
- G — GAS LINE
- STORM SEWER
- OHE — OVERHEAD UTILITY LINE
- X — FENCE
- ~ TREE LINE
- ⊕ UTILITY POLE
- GUY ANCHOR
- ⊙ SANITARY SEWER MANHOLE
- ⊗ WV WATER VALVE
- ⊗ FIRE HYDRANT
- EBX ELECTRIC JUNCTION BOX
- CATV CABLE PEDESTAL
- TBX TELEPHONE JUNCTION BOX
- ⊕ BENCHMARK
- BUFFER
- SETBACK / YARD
- PLIDE
- 502 CONTOUR
- ▨ CURB INLET
- ⊕ SIGN

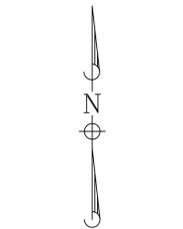


- NOTES:**
1. ALL SEWER MAINS AND WATER MAINS TO BE IN A 20' PUBLIC UTILITY EASEMENT.
 2. FINAL ARCHITECTURAL PLANS WILL MEET THE 70% BRICK/STONE REQUIREMENTS OF THE GALLATIN ZONING ORDINANCE. THE REMAINDER OF THE BUILDING EXTERIOR WILL BE FIBER CEMENT LAP SIDING (HARDIE BOARD).
 3. ROOF SHALL BE FIBERGLASS COMPOSITE SHINGLES.

ROGERS GROUP, INC.
 ENGINEERING SERVICES
 1148 WEST MAIN STREET
 GALLATIN, TENNESSEE 37066
 TEL: 615-230-7269 FAX: 615-230-7271
 richard.jones@rogersgroupinc.com

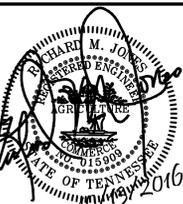


IF YOU DIG IN TENNESSEE...
 CALL US FIRST!
 1-800-351-1111
 1-615-366-1987
 TENNESSEE ONE CALL
 IT'S THE LAW



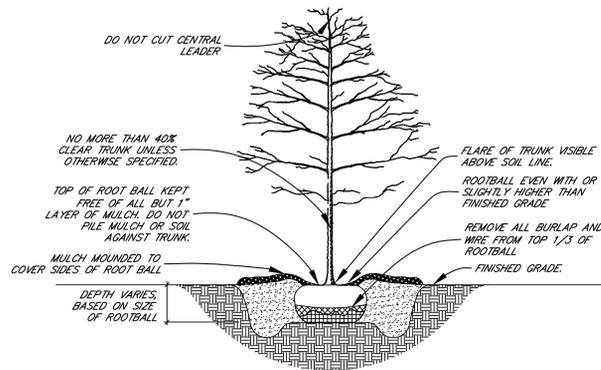
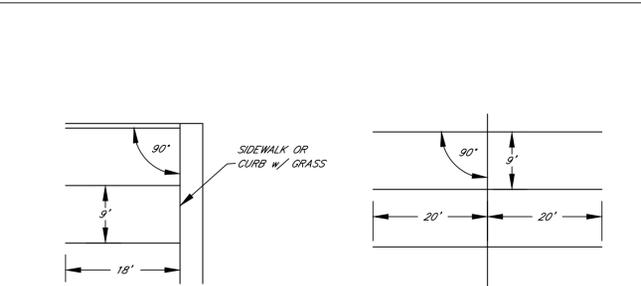
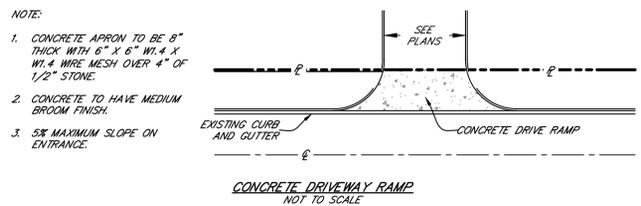
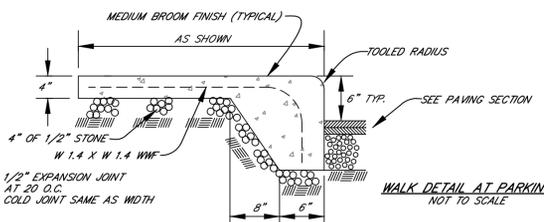
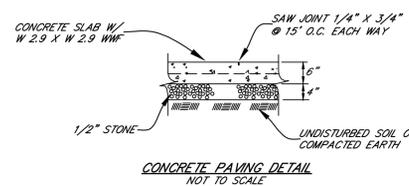
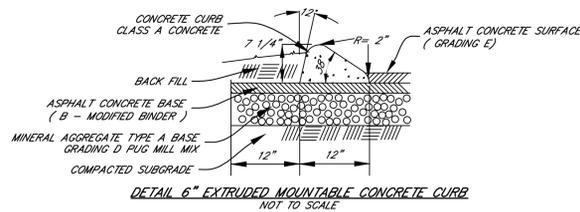
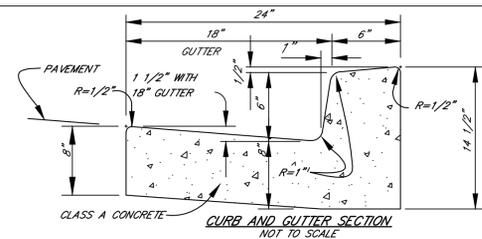
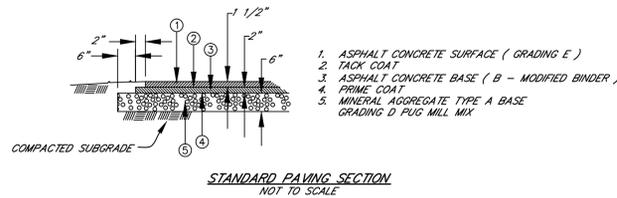
GRAPHIC SCALE
 100 50 0 50 100
 (IN FEET)
 1 inch = 100 ft.

**CHANDLER PARK GALLATIN
 PHASES I & II
 PRELIMINARY MASTER DEVELOPMENT PLAN
 SITE PLAN A
 HARRIS LANE & GREENLEA BOULEVARD
 CITY OF GALLATIN, 4TH CIVIL DISTRICT
 SUMNER COUNTY, TENNESSEE**



**SHEET NO.
 C 4.0**

REVISIONS	
REVISION 1:	
REVISION 2:	
SHEET 4 OF 12	
PROJECT #	16-048
DATE	11 OCTOBER 2016

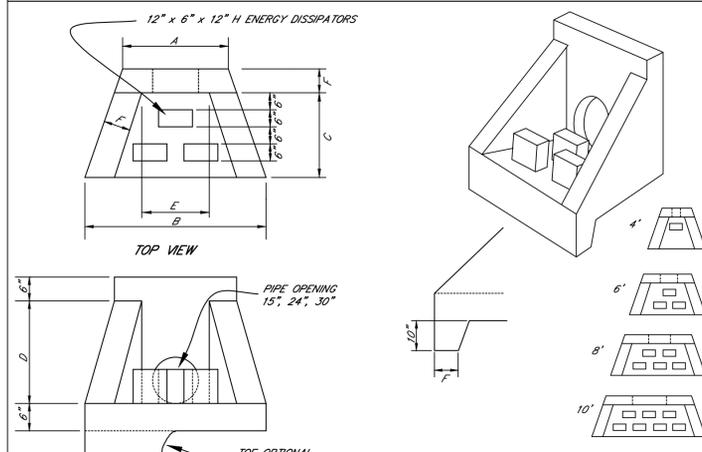
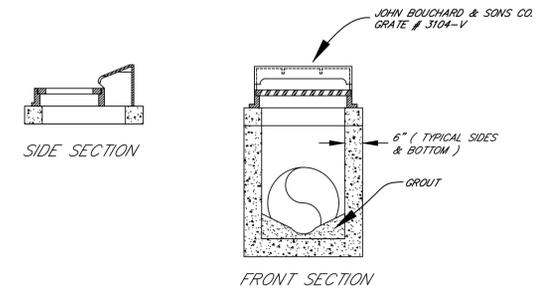


TREE SELECTION SPECIFICATIONS:

1. THERE SHALL BE NO CIRCLING OR GIRDLING ROOTS. CIRCLING ROOTS SHOULD BE CUT IN AT LEAST ONE PLACE.
2. TREES SHOULD BE ROOTED INTO THE ROOT BALL SO THAT SOIL OR MEDIA REMAINS INTACT AND TRUNK AND ROOT BALL MOVE AS ONE WHEN LIFTED BUT NOT ROOT BOUND. THE TRUNK SHOULD BEND WHEN GENTLY PUSHED AND SHOULD NOT BE LOOSE SO IT PIVOTS AT OR BELOW SOIL LINE.
3. THE POINT WHERE THE TOPMOST ROOT IN THE ROOT BALL EMERGES FROM THE TRUNK SHALL BE WITHIN TWO INCHES OF THE SOIL SURFACE. IF IT IS NOT WITHIN THE TOP TWO INCHES OF SOIL, GENTLY REMOVE THE TOP LAYER OF SOIL FROM THE ROOT BALL UNTIL THE FIRST MAJOR ROOT FLARE IS VISIBLE.
4. THE RELATIONSHIP BETWEEN CALIPER, HEIGHT AND ROOT BALL SIZE SHALL MEET THE ANSI Z50.1 STANDARD, LATEST EDITION.
5. THERE SHOULD BE ONE DOMINANT LEADER TO THE TOP OF THE TREE WITH THE LARGEST BRANCHES SPACED AT LEAST 6 INCHES APART. THERE CAN BE TWO LEADERS IN THE TOP 25% OF THE TREE IF IT IS OTHERWISE OF GOOD QUALITY.
6. THE TREE CANOPY SHOULD BE MOSTLY SYMMETRICAL AND FREE FROM LARGE HOLES. CLEAR TRUNK SHOULD BE NO MORE THAN 40% OF TREE HEIGHT UNLESS OTHERWISE SPECIFIED IN THE PLANTING SPECIFICATIONS.
7. OPEN TRUNK AND BRANCH WOUNDS SHALL BE LESS THAN 10% OF THE CIRCUMFERENCE AT THE WOUND AND NO MORE THAN 2 INCHES TALL. PROPERLY MADE PRUNING CUTS ARE NOT CONSIDERED OPEN TRUNK WOUNDS. THERE SHOULD BE NO CANKS OR BLEEDING, AND THERE SHOULD BE NO SIGNS OF INSECTS OR DISEASE ON MORE THAN 5% OF THE TREE.
8. IF ANY OF THE ABOVE CONDITIONS ARE NOT MET, TREES MAY BE REJECTED.

TREE PLANTING SPECIFICATIONS:

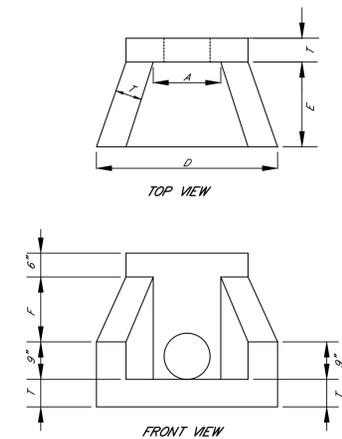
1. THE DEPTH OF THE HOLE DUG SHOULD BE ABOUT 10% LESS THAN THE DISTANCE FROM THE TOPMOST ROOT (MEASURED WHERE IT JOINS THE TRUNK) TO THE BOTTOM OF THE ROOT BALL. THE WIDTH OF THE HOLE SHALL BE AT LEAST 1.5 TIMES THE WIDTH OF THE ROOT BALL.
2. CUT AWAY BURLAP AND WIRING SO THAT AT LEAST 2/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY. ALL TWINE AND ROPE SHALL BE REMOVED FROM THE BASE OF THE TREE AND FROM ANY BRANCHES.
3. AFTER PLANTING, THE TOPMOST ROOT SHALL BE NO MORE THAN 2 INCHES BELOW THE SOIL SURFACE. ADDITIONAL SOIL SHOULD BE REMOVED. THE SURROUNDING GRADE SHOULD BE EVEN WITH OR SLIGHTLY LOWER THAN THE TOP ROOT. PLEASE NOTE: SOME TREES WILL ARRIVE FROM THE NURSERY WITH TOO MUCH SOIL COVERING THE FIRST MAJOR ROOT FLARE. THIS SOIL SHOULD BE REMOVED. THE RESULTING SOIL LINE SHOULD BE EVEN WITH OR ABOVE THE SURROUNDING GRADE.
4. 2-3 INCHES OF MULCH SHOULD BE APPLIED TO COVER THE SIDES OF THE ROOT BALL TO A POINT EVEN WITH THE DRIP LINE. DO NOT ADD ANY SOIL AT THE TOP OF THE ROOT BALL. DO NOT ADD MORE THAN 1 INCH OF MULCH TO THE TOP OF THE ROOT BALL.
5. IN POORLY DRAINED SOIL, POSITION THE TOP OF THE ROOT BALL 10% OR MORE ABOVE THE SURROUNDING GRADE. NO MORE THAN 20% OF THE ROOT BALL SHOULD BE ABOVE THE SURROUNDING GRADE.
6. IF TREES ARE STAKED, STAKES SHALL NOT COME INTO CONTACT WITH THE ROOT BALL. GUY WIRES SHALL NOT BE DRAWN TAUGHT, BUT SHOULD SUPPLY JUST ENOUGH TENSION TO PREVENT TREE FROM SWAYING A GREAT DEAL. ALL STAKES, WIRING AND HARNESSES SHALL BE REMOVED WITHIN ONE YEAR UNLESS OTHERWISE SPECIFIED.



NOTES:

1. CONCRETE SHALL BE CLASS "A" MIXED, PLACED, FORMED, AND FINISHED IN ACCORDANCE WITH I.D.O.T. STANDARD SPECIFICATIONS. REINFORCED WITH #4 BARS 10' C/C EACH WAY. SLAB DOVELED TO HEADWALL WITH #5 BARS.
2. FORM WORK AND ALL STRUCTURAL EXCAVATION AND BACK FILL SHALL BE PROVIDED AND / OR PERFORMED IN ACCORDANCE WITH I.D.O.T. SPECIFICATIONS.
3. 3/4" CHAMFER ON ALL EXPOSED EDGES.

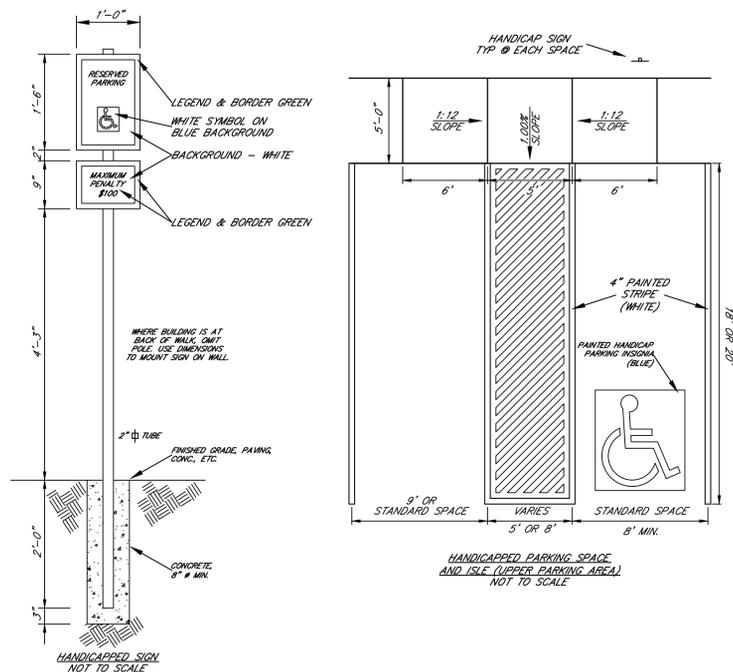
WINGED HEADWALL WITH ENERGY DISSIPATORS
NOT TO SCALE



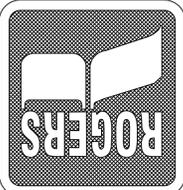
NOTES:

1. CONCRETE SHALL BE CLASS "A" MIXED, PLACED, FORMED, AND FINISHED IN ACCORDANCE WITH SECTION 604 AND 611 OF I.D.O.T. STANDARD SPECIFICATIONS. REINFORCED WITH #4 BARS 10' C/C EACH WAY, WITH WINGS AND TOE SLAB DOVELED TO HEADWALL WITH #5 BARS.
2. FORM WORK AND ALL STRUCTURAL EXCAVATION AND BACK FILL SHALL BE PROVIDED AND / OR PERFORMED IN ACCORDANCE WITH I.D.O.T. SPECIFICATIONS.
3. 3/4" CHAMFER ON ALL EXPOSED EDGES.

CONCRETE HEADWALL (OUTLET & INLET)
NOT TO SCALE



ROGERS GROUP, INC.
ENGINEERING SERVICES
1148 MAIN STREET
GALLATIN, TENNESSEE 37066
TEL: 615-230-7269 FAX: 615-230-7271
richard.jones@rogersgroupinc.com



CHANDLER PARK GALLATIN
PHASES I & II
PRELIMINARY MASTER DEVELOPMENT PLAN
DETAILS
HARRIS LANE & GREENLEA BOULEVARD
CITY OF GALLATIN, 4TH CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE



SHEET NO.
C 5.0

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT # 16-049
DATE 11 OCTOBER 2016



PHASE I – AERIAL VIEW



SIGNAGE



PHASE I – FRONT VIEW



*PHASE I – REAR VIEW
WITH LANDSCAPING*



CLUBHOUSE



PHASE I – FRONT VIEW

THESE RENDERINGS REFLECT CONSTRUCTION AND ARCHITECTURAL TYPE.
ACTUAL PERCENTAGE OF BUILDING MATERIALS ARE RECORDED WITH THE
ACTUAL ARCHITECTURAL DRAWINGS.

ROGERS GROUP, INC.
ENGINEERING SERVICES
114 B WEST MAIN STREET
GALLATIN, TENNESSEE 37066
TEL: 615-230-7269 FAX: 615-230-7271
richard.jones@rogersgroupinc.com



**CHANDLER PARK GALLATIN
PHASES I & II**
PRELIMINARY MASTER DEVELOPMENT PLAN
PHASE I BUILDING RENDERINGS
HARRIS LANE & GREENLEA BOULEVARD
CITY OF GALLATIN, 4TH CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE

SHEET NO.
A 1.0

REVISIONS	
REVISION 1:	
REVISION 2:	
SHEET 6 OF 12	
PROJECT #	16-048
DATE	11 OCTOBER 2016



MAIL KIOSK



PHASE II - REAR VIEW



PHASE II - FRONT VIEW



AMENITY PAVILION

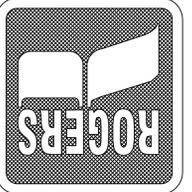


PHASE II - GARAGE ENTRANCE



SIGNAGE

ROGERS GROUP, INC.
ENGINEERING SERVICES
114 B WEST MAIN STREET
GALLATIN, TENNESSEE 37066
TEL: 615-230-7269 FAX: 615-230-7271
richard.jones@rogersgroupinc.com



*CHANDLER PARK GALLATIN
PHASES I & II
PRELIMINARY MASTER DEVELOPMENT PLAN
PHASE II BUILDING RENDERINGS
HARRIS LANE & GREENLEA BOULEVARD
CITY OF GALLATIN, 4TH CIVIL DISTRICT
SUMNER COUNTY, TENNESSEE*

SHEET NO.
A 2.0

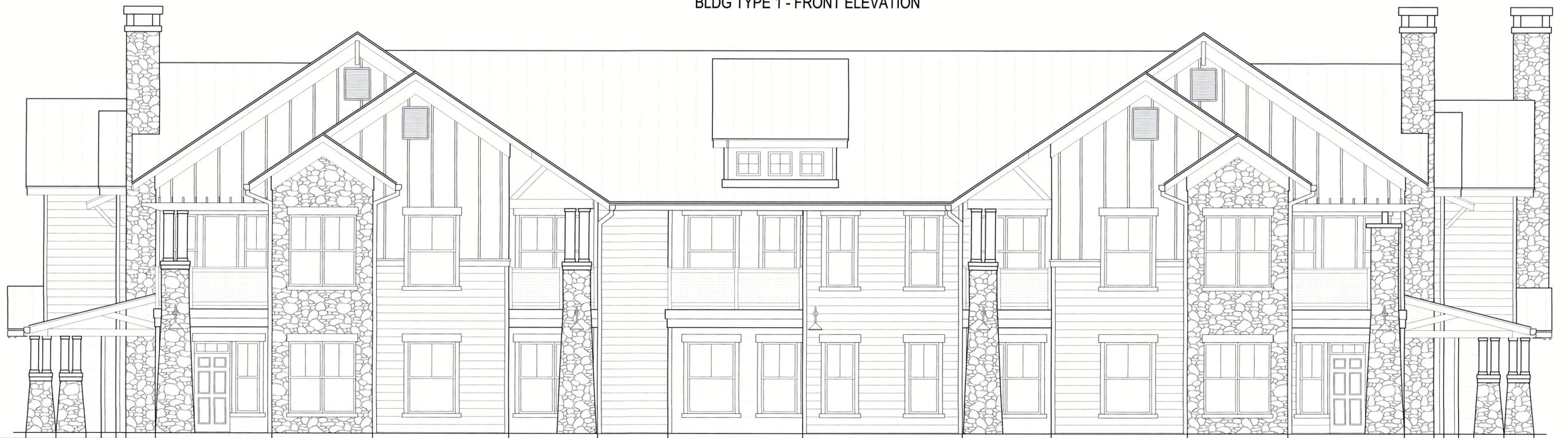
REVISIONS
REVISION 1:
REVISION 2:

SHEET 7 OF 12
PROJECT # 16-049
DATE 11 OCTOBER 2016

THESE RENDERINGS REFLECT CONSTRUCTION AND ARCHITECTURAL TYPE.
ACTUAL PERCENTAGE OF BUILDING MATERIALS ARE RECORDED WITH THE
ACTUAL ARCHITECTURAL DRAWINGS.

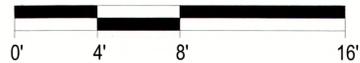


BLDG TYPE 1 - FRONT ELEVATION



BLDG TYPE 1 - REAR ELEVATION

SCALE: 1/4" = 1'-0" (24"x36" SHEET)



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

B.L. BENNETT & ASSOCIATES

BLDG TYPE 1 - ELEVATIONS

August 19, 2016

SHEET NO.	
A 4.0	
<small>SHEET 9 OF 12</small>	
<small>PROJECT #</small>	<small>16-048</small>
<small>DATE</small>	<small>11 OCTOBER 2016</small>

GALLATIN SITE
GALLATIN, TN
HPA# 16401

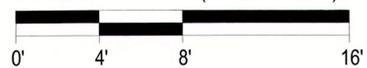


BLDG TYPE 1 - RIGHT SIDE ELEVATION



BLDG TYPE 1 - LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0" (24"x36" SHEET)



SHEET NO.	
A 5.0	
<small>SHEET 10 OF 12</small>	
<small>PROJECT #</small>	<small>16-048</small>
<small>DATE</small>	<small>11 OCTOBER 2016</small>



BLDG TYPE 2 - FRONT ELEVATION



BLDG TYPE 2 - REAR ELEVATION

SCALE: 1/4" = 1'-0" (24"x36" SHEET)



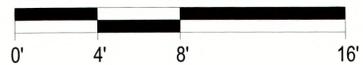


BLDG TYPE 2 - RIGHT SIDE ELEVATION



BLDG TYPE 2 - LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0" (24"x36" SHEET)



ITEM 9

GMRPC Resolution No. 2016-123

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION RECOMMENDING APPROVAL OF A MAJOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR SAVANNAH MARKETPLACE TO ADD THE VEHICULAR, CRAFT & RELATED EQUIPMENT SALES USE, AMEND THE SIZE (ACREAGE) OF PHASE 3 AND 4, AMEND THE TOTAL BUILDING SQUARE FOOTAGE OF PHASES 3 AND 4, AMEND THE ARCHITECTURE OF PHASE 3, CONTAINING 9.27 (+/-) ACRES, LOCATED AT 2109 NASHVILLE PIKE (3-2587-16)

WHEREAS, the applicant submitted an Amended Preliminary Master Development Plan consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Amended Preliminary Master Development Plan submitted by the applicant, Jackson – HON Gallatin, LLC., at its regular meeting on October 24, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-3-413, § 13-4-310, §13-7-201, and §13-7-202, and §12.02 and §15.07 of the City of Gallatin Zoning Ordinance:

1. The Amended Preliminary Master Development Plan is in agreement and consistent with the intent and land use recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan Update 2008-2020* for the area, and in particular, the Commercial Corridor Community Character Area and Gateway Corridor Overlay.
2. The Amended Preliminary Master Development Plan is consistent with the purpose and intent of the Planned General Commercial (PGC) zone district, the approved Preliminary Master Development Plan for Savannah Marketplace, and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district with minor corrections.
3. The proposed changes shown on the Amended Preliminary Master Development Plan constitutes a major amendment to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.

ITEM 9

4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed use additions to the Savannah Marketplace Preliminary Master Development Plan will not change the essential character of Nashville Pike and the proposed conceptual architecture will complement the existing commercial structures along Nashville Pike.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended Preliminary Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended Preliminary Master Development Plan submitted to the City complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a major amendment to the Savannah Marketplace Amended Preliminary Master Development Plan including the;

- Savannah Marketplace Amended Preliminary Master Development Plan, consisting of a one (1) sheet plan, prepared by Doulgerakis Consulting Engineers, Inc., of Alpharetta, Georgia, with job number 1608, with a revision date of October 12, 2016
- Fifth Third Bank Property, Land Title Survey, consisting of a one (1) sheet plan, prepared by Ragan-Smith, of Nashville, Tennessee, with job number 03-143, dated September 23, 2016
- Gallatin Honda/Savannah Marketplace, Phase 3 Amended Preliminary Master Development Plan, consisting of one (1) sheet plan, prepared by Doulgerakis Consulting Engineers, Inc., of Alpharetta, Georgia, with job number 1608, dated September 23, 2016, with a revision date of October 12, 2016, and
- Architectural Elevations for Gallatin Honda, consisting of a two (2) sheet plan, prepared by Zenner Group, of Atlanta, Georgia, with project number 329002, dated October 12, 2016 with the following conditions:
 1. Provide and identify “future development” area for the office building and parking area.
 2. Add note to the Amended Preliminary Master Development Plan stating that “Properties developed within the Savannah Marketplace will be subject to pro rata contributions for the installation of the traffic signal at Gorden Crossing and Nashville Pike. The amount of the pro rata contributions will be set by the Engineering Division at the Final Master Development Plan stage for Phase 3.

ITEM 9

3. As an alternative to install interior parking lot landscaping in the inventory parking area the applicant shall provide an equal amount of landscaping and landscape materials along the perimeter of the site including if authorized by agreement with the owner, within the offsite drainage detention tract. All alternative landscaping shall be indicated on the Final Master Development Plan.
4. All site signs shall be reviewed and approved at the Final Master Development Plan stage by the Planning Commission.
5. Submit five (5) corrected, folded copies of the Amended Preliminary Master Development to the Planning Department prior to Planning Commission's consideration of any Final Master Development Plan for Phase 3.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 10/24/2016

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney



ITEM 9

PLANNING DEPARTMENT STAFF REPORT

Savannah Marketplace Amended PMDP (3-2587-16)

2109 Nashville Pike

Date: October 19, 2016

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF AN AMENDMENT TO THE AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN FOR SAVANNAH MARKETPLACE TO ADD THE VEHICULAR, CRAFT & RELATED EQUIPMENT SALES USE, AMEND THE SIZE (ACREAGE) OF PHASES 3 AND 4, AMEND THE TOTAL BUILDING SQUARE FOOTAGE OF PHASES 3 AND 4, AMEND THE ARCHITECTURE OF PHASE 3, CONTAINING 9.27 (+/-) ACRES, LOCATED AT 2109 NASHVILLE PIKE. (3-2587-16)

OWNER: FIFTH THIRD BANK

APPLICANT: JACKSON – HON GALLATIN, LLC.

STAFF RECOMMENDATION: RECOMMEND APPROVAL OF RESOLUTION NO. 2016-123 TO CITY COUNCIL

STAFF CONTACT: ROBERT J. KALISZ

PC MEETING DATE: OCTOBER 24, 2016

PROPERTY OVERVIEW:

The owner and applicant request approval of an amendment to the approved Amended Preliminary Master Development Plan for the Savannah Marketplace in order to add the vehicular, craft & related equipment sales use, amend the size (acreage) of Phases 3 and 4, amend the total building square footage of Phase 3 and 4, amend the architecture of Phase 3, containing 9.27 (+/-) acres (Attachment 9-1 and Attachment 9-2). The ownership has changed since the property was first rezoned in 2004 and the current owner would like to amend the plan to add a specific permitted use, amend the architecture for Phase 3 and amend the phase line and total building square footage for Phases 3 and 4.

The subject property is currently zoned Planned General Commercial (PGC). The uses specified on the Amended Preliminary Master Development Plan are permitted in the PGC zone district. Separate Final Master Development Plans, including final architectural elevations, sign plans and detailed landscaping plans, shall be approved for the automotive sales and service site and the future two (2) story office site prior to construction.

PROPOSED PROJECT:

The existing Savannah Marketplace, Phase 3, located at the northwest corner of Nashville Pike and Gorden Crossing, site is 6.82 (+/-) acres and the owner and applicant proposes to increase the site to 9.27 (+/-) acres. The proposed Phase 3 site, with frontage on both streets, will extend all the way from Gorden Crossing west to the proposed full entrance drive on Nashville Pike which

includes a portion of the existing Phase 4. The proposal also relocates the detention pond from Phase 3 to the proposed Phase 4. This amendment proposes to increase the total building square footage for Phase 3 from 47,776 (+/-) square feet to 59,000 (+/-) square feet and increase floor area ratio from 0.15 to 0.16. The proposed automotive sales and service building, including an accessory car wash and fuel pumps, will contain 35,000 (+/-) square feet and the proposed future two (2) story building will contain 24,000 (+/-) square feet of office space. The proposed architecture and building materials of the automotive sales and service building (Gallatin Honda) will match the standard commercial prototype established by Honda corporate as shown on the attached preliminary building elevations (Attachment 9-2). The proposed architecture for the two (2) story office building will follow the approved development standards of the Savannah Marketplace.

The existing Savannah Marketplace, Phase 4, located west and south of Phase 3, site is 14.09 (+/-) acres. The owner and applicant proposes to decrease the site to 11.64 (+/-) acres. The proposed Phase 4 site, with frontage on Nashville Pike and proposed access driveway to Gorden Crossing, will extend from Gorden Crossing, south of Phase 3, westward to Phase 5. Phase 4 will also include the existing detention pond. This amendment will decrease the total building square footage for Phase 4 from 175,400 (+/-) square feet to 89,400 (+/-) square feet and decrease the floor area ratio from 0.26 to 0.17. The Phase 4 site will contain 82,400 (+/-) square feet of general retail sales and service space and 7,000 (+/-) square feet for Outparcel 3. The proposed Phase 4 will continue to be owned by Fifth Third Bank. The proposed architecture for the general retail sales and service buildings and outparcel will follow the approved development standards of the Savannah Marketplace.

With these proposed modifications to Phases 3 and 4, the overall Savannah Marketplace Development will provide 69,000 (+/-) square feet of office space; 346,221 (+/-) square feet of retail; 168 (+/-) square feet of convenience sales and services (Kroger Gas Station); 35,000 (+/-) square feet of automotive sales and service; and 42,000 (+/-) square feet for the six (6) outparcels for a total of 492,389 (+/-) square feet. The proposed density changes only affect Phases 3 and 4. No changes are proposed to the remaining Savannah Marketplace Development (Attachment 9-2).

Staff recommends that the Planning Commission approve the proposed vehicular, craft and related equipment sales and automotive servicing use to the permitted uses, amending the architecture, phase lines and building square footage to Phases 3 and 4 as a major amendment to the approved Preliminary Master Development Plan for the Savannah Marketplace and recommends approval of the Amended Preliminary Master Development Plan for the Savannah Marketplace with the conditions listed on page 11 of the staff report and in GMRPC Resolution No. 2016-123 to City Council.

CASE BACKGROUND:

Previous Approvals and Property History

On March 22, 2004, the Planning Commission approved a request to amend the land use designation for 65.10 (+/-) acres located along Nashville Pike from Low Density Residential to Commercial (7-1-04). At the same meeting, the Planning Commission recommended approval with conditions of the rezoning request from Residential-20 (R20) to Planned General Commercial (PGC) for 65.10 (+/-) acres known

as the Savannah Marketplace located at 2041 Nashville Pike (3-1-04). The Preliminary Master Development Plan called for 436,400 square feet of retail and 152,850 square feet of office for a total of 589,250 square feet of commercial development. On May 18, 2004 the Gallatin City Council approved the rezoning request and Preliminary Master Development Plan for the Savannah Marketplace on Second Reading (Ordinance #00404-16).

On October 24, 2005, Planning Commission approved a Final Master Development Plan for the Savannah Marketplace for construction of 93 linear feet of roadway and a ten (10) by four (4) linear foot box bridge for property located at 2041 Nashville Pike (PC File #8-60-05).

On July 28, 2008, the Planning Commission considered a request to amend the Savannah Marketplace Preliminary Master Development Plan to add the Convenience Sales and Services use and to change the layout and size of the buildings within the 65.10 (+/-) acre site (3-1-04). At that meeting, the Planning Commission declared the proposed modifications to the approved Preliminary Master Development Plan as a major amendment and recommended approval of the Amended Preliminary Master Development Plan, with conditions, to City Council. On September 16, 2008, the City Council approved the Amended Preliminary Master Development Plan for the Savannah Marketplace at Second Reading (Ordinance # 00808-55).

On October 29, 2008, Planning Commission approved a Final Master Development Plan, with conditions, for the Savannah Marketplace for construction of a 123,426 square foot building for the Kroger Marketplace and Kroger Fuel Center (Phase 1), on 18.222 (+/-) acres located at the intersection of Cages Bend Road and Nashville Pike (8-42-08).

On March 23, 2009, Planning Commission approved with conditions the Preliminary Plat for the Savannah Marketplace, Phase 1, including the Gorden Crossing right-of-way, containing 1.693 (+/-) acres (1-2-09B). The Preliminary Plat included Gorden Crossing, the main entrance road into the Savannah Marketplace from Nashville Pike. This road extends through the commercial portion of the Savannah Marketplace development into the residential portion of the Savannah Phase 4 Subdivision located in the City of Hendersonville. Please refer to the location map for the exact location of the Gallatin City limit line (Attachment 9-2). The Savannah Marketplace, Phase 1 (Gorden Crossing) Preliminary Plat expired prior to Planning Commission's consideration of a Final Plat; therefore, the owner and applicant requested re-approval of the Preliminary Plat at the October 24, 2005 Planning Commission meeting (1-38-05B) where the Planning Commission re-approved the Preliminary Plat with conditions.

A Final Plat for the Savannah Marketplace, Phase 1, dedicating the right-of-way for Gorden Crossing containing 1.693 (+/-) acres, was submitted to the Planning Department, but was withdrawn by the applicant prior to consideration by Planning Commission at the April 24, 2009 meeting (1-3-09C). Although the Gorden Crossing final plat has not been recorded and the right-of-way has not been accepted by the City of Gallatin, the City of Hendersonville paved the street from Nashville Pike through the Savannah Marketplace development to provide improved access into the residential portion of the Savannah Phase 4 Subdivision located in Hendersonville.

On April 27, 2015, Planning Commission approved with conditions an amendment to the Preliminary Master Development Plan for Savannah Marketplace to add food service drive-in, medical services and

automotive servicing uses to Savannah Marketplace, Phase 2, Lots 5-7 (Outparcels), containing 3.81 (+/-) acres (3-459-15).

On June 22, 2015, Planning Commission approved with conditions the Final Plat for Savannah Marketplace-Gorden Crossing right-of-way, containing 1.69 (+/-) acres (1-717-15C). The conditions of approval have been met by the owner and applicant; however, the final plat has not been recorded with the Sumner County Register of Deeds office. The Gorden Crossing right-of-way final plat shall be recorded with Sumner County Register of Deeds office prior to the issuance of any building permits for Phases 2 or 3.

On August 24, 2015, Planning Commission approved with conditions a minor amendment to the Preliminary Master Development Plan for Savannah Marketplace, Phase 2, Lots 5-7 changing the approved use on Lot 6 (Outparcel) from automotive servicing to general retail sales and service, financial, consulting, and administrative services, food service drive-in, and medical services and changing the approved uses on Lot 7 (Outparcel) from general retail sales and service, financial, consulting, and administrative services, food service drive-in, and medical services to automotive servicing.

Project Phasing and Construction Schedule

According to the proposed Amended Preliminary Master Development Plan, the Savannah Marketplace development will be constructed in five (5) phases. Phase 1 contains the Kroger Marketplace and Kroger Fuel Center. Phase 2 consists of three (3), one-story buildings and three (3) outparcels along Nashville Pike (Lots 5-7). Phase 3 consists of one (1) story automotive sales and service and one (2), two-story office buildings. Phase 4 consists of one (1), one-story, three (3) tenant retail buildings and one (1) outparcel. Phase 5, consists of one (1) retail building, eight (8), two-story, mixed use buildings, and two (2) outparcels. The automotive sales and service building in Phase 3 is scheduled to be constructed in 2017 and the office building is not scheduled to be constructed with a future date. Phases 2, 4 and 5 are scheduled for 2017, 2019 and 2021 respectively. The schedule and build-out of the development is contingent upon the availability of future tenants.

Gallatin on the Move 2020 General Development and Transportation Plan Update 2008-2020

The subject property is located within the Commercial Corridor Community Character Area as shown on the Community Character Area Map in the *Gallatin on the Move 2020 General Development and Transportation Plan Update 2008-2020 (2020 Plan)* (Attachment 9-3). The *2020 Plan* encourages developers in the Commercial Corridor Community Character Area to provide physical enhancements to the environment that create a distinct sense of place, and not a standard commercial strip (Attachment 9-4). The *2020 Plan* calls for commercial development that improves traffic flow by consolidating driveways and encouraging interparcel access through the use of shared driveways. Planned General Commercial (PGC) is listed as an applicable zoning district for the Commercial Corridor Community Character Area. The original Preliminary Master Development Plan for the Savannah Marketplace was approved prior to Planning Commission adoption of the *2020 Plan* in 2009.

The subject property also falls within a Gateway Corridor Overlay since it is located along Nashville Pike, a main entrance into the City. The *2020 Plan* stresses the importance of high quality design and appearances of future development along the corridors that reflect Gallatin's unique history and character (Attachment 9-5). Please refer to the development strategies for the Commercial Community

Character Area and Gateway Corridor Overlay included with this staff report as Attachment 9-4 and Attachment 9-5 respectively.

The design of this project reflects the majority of the overall development strategies outlined in the *2020 Plan* for the Commercial Corridor Character Area and Gateway Corridor overlay, which allow for a variety of commercial uses, while preserving green space; however, it does not meet the residential character of a major gateway into Gallatin (Attachment 9-4 and Attachment 9-5). The access management, landscaping and buffering, and architectural design elements shall minimize the potential impacts of the proposed development on the adjacent residential properties to the south located in the City of Hendersonville.

Surrounding Zoning

Savannah Marketplace, Phase 3, is adjacent to Residential-20 (R20) zoned properties to the north, across Nashville Pike. The remainder of the Savannah Marketplace property, zoned Planned General Commercial (PGC), surrounds Phase 3 to the east, west, and south (detention pond in Phase 4) (Attachment 9-2). Adjacent to Savannah Marketplace to the south, located in Hendersonville, is Savannah Subdivision zoned Hendersonville Low Density Residential-40 (R40). Savannah Marketplace, Phase 1 is the only phase completed and contains the existing Kroger Marketplace and Kroger Fuel Center.

Natural Features

The subject property is currently unimproved and vacant. A note on the plan indicates that no portion of the Savannah Marketplace, Phase 3 property is located within a special flood hazard area according to FEMA FIRM map panels #47165C0407G and 47165C0409G, dated April 17, 2012; zone X (Note #9 on Attachment 9-2). There are no unusual topographical features that would prevent development of Phase 3. The property slopes from Nashville Pike (550') to the south to an existing detention pond (495'). An existing detention pond is located directly south of Phase 3 will be used to handle stormwater runoff for Phase 3.

Drainage/Detentioning

The plan indicates three (3) catch basins located along the south side of Nashville Pike conveying stormwater into a drainage system located throughout the proposed site, consisting of drop inlets, junction boxes and drainage pipes, and which will eventually discharge the stormwater into an existing detention pond located south of Phase 3. Some detentioning and/or water quality measures in Phase 3 may be required as part of the Final Master Development Plans. Stormwater and construction plans will be addressed with each Final Master Development Plan. A Stormwater Maintenance Agreement shall be provided prior to the issuance of any building permits. The Amended Preliminary Master Development Plan shows the location of the sanitary sewer line and water line connections. No vertical construction is allowed in any easements. White House Utility District will provide utility services to this property, with the exception of natural gas provided by Gallatin Public Utilities.

Access and Sidewalks

According to the Savannah Marketplace Design Guidelines, all public streets will be lined with street trees and accented with flowering and evergreen shrubs up to the entrance driveways. The main access to Savannah Marketplace is Gorden Crossing, which was previously constructed to provide access from Nashville Pike to the Savannah residential development located in the City of Hendersonville abutting

the Savannah Marketplace development to the south. Gorden Crossing was designed to be a main boulevard through the development, lined with street trees, as shown on the approved Preliminary Master Development Plan (Attachment 9-3).

The intersection of Nashville Pike and Gorden Crossing will require the installation of a traffic signal once warrants are met by the development. According to the Engineering Division, properties developed within the Savannah Marketplace will be subject to pro rata contributions for the installation of the traffic signal at Gorden Crossing and Nashville Pike. The amount of the pro rata contribution will be set by the Engineering Division at the Final Master Development Plan stages.

Proposed Phase 3 fronts Nashville Pike and Gorden Crossing; however, no direct access is permitted to this phase from Nashville Pike (Attachment 9-2). Access to Phase 3 will be provided from two (2) private driveways from Gorden Crossing. A proposed 40-foot wide, tapering down to a 30-foot wide, private access drive will run along the western boundary of the proposed Phase 3 site which will be constructed as part of Phase 4. Once the private access drive, located to the west, is completed it will provide access to the future office site and another proposed 30-foot wide private access drive located adjacent to the southern boundary of Phase 3. In addition, once the future office site is completed it will provide a driveway connection from the office site to the automotive sales and service site.

A notarized, cross access easement document shall be prepared and recorded with the Sumner County Register of Deeds Office at the Final Master Development Plan or Final Plat stages for the cross access between the future office site and the automotive sales and service site to the access easement adjacent to the detention pond. All areas of the development are designed to be accessible from any other area through cross connectivity between parking areas and well defined intersections at all street crossings as recommended in the *2020 Plan*. Construction of the access easement driveway is slated during the development of Phase 4.

According to the Design Guidelines, a connective sidewalk system is proposed throughout the development to allow for safe and easy access to all properties. The Preliminary Master Development Plan shows the location of six foot (6) wide sidewalks along Nashville Pike right-of-way and across a portion of Gorden Crossing. The plan shows a curb and gutter with a five-foot wide grass strip along Nashville Pike right-of-way connecting to the existing curb and cutter near the intersection of Nashville Pike and Gorden Crossing. Sidewalks and crosswalks within the Nashville Pike right-of-way shall be approved by the Tennessee Department of Transportation (TDOT). Sidewalks are not required along the private access easements; however, the applicant should consider providing sidewalks for better pedestrian access throughout the site as described in the Design Guidelines. The applicant shall provide sidewalk easements as necessary to construct the six (6) foot sidewalks as required by the Gallatin Zoning Ordinance, Section 13.09.030, *Sidewalks*.

The Gorden Crossing right-of-way final plat shall be recorded with Sumner County Register of Deeds office prior to the issuance of any building permits for Phase 3.

Savannah Marketplace Design Guidelines

Design Guidelines for the Savannah Marketplace Development were approved as part of the original Preliminary Master Development Plan in 2004 that describe the overall design scheme for the project, appropriate architecture, building materials, color palettes, signage, and landscaping for the

development. The applicant submitted an update to the Design Guidelines with information about the use changes shown for Phase 3 (Attachment 9-2). The addendum will be added to the approved copy of the Savannah Marketplace Design Guidelines and filed with the City Recorder's Office. According to the Design Guidelines, approval of all final building designs and architectural elevations require approval by the Architectural Review Committee (ARC) prior to construction. The City does not enforce private restrictive covenants; however, final architectural elevations shall be submitted to the ARC for approval prior to submittal of each Final Master Development Plan for Planning Commission review and approval to expedite the construction process. All other sections of the approved Design Guidelines for the Savannah Marketplace shall remain in place.

Conceptual Architectural Elevations

The owner and applicant submitted conceptual architectural elevations and existing photographs of the corporate design for the proposed automotive sales and service building (Gallatin Honda) (Attachment 9-2 and Attachment 9-6). The owner and applicant did not submit conceptual elevations or renderings of the future office building. The owner and applicant indicated that the proposed architecture for the future office building will follow the previously approved development standards of Savannah Marketplace. The final architectural elevations shall be submitted at each individual Final Master Development Plan.

Automotive Sales and Service Building (Gallatin Honda)

The plan shows a basically square building with the showroom and offices located in the front with the drive-in customer service area located on the side and the automotive servicing area located in the rear. A car wash is located behind the automotive servicing area to prepare the customer's car for delivery. The applicant submitted conceptual architecture representing the overall design and style of the building anticipated for construction on this site (Attachment 9-2 and Attachment 9-6). This is a typical corporate building design for the Honda Corporation. The sample architectural elevations call for the majority of the building to be Exterior Insulation Finishing System (E.I.F.S.) material, china white, with storefront glass located primarily along the front of the building. An icon tower front entrance, with the Honda symbol, will be located in front to be constructed of Honda blue metal panels to provide a distinctive look to the front. In addition, a blue metal canopy will be located on front and sides of the building to provide that additional distinctive appearance.

Staff reviewed the architectural design and materials and determined that the design of the building and materials does not meet the requirements as set forth in Section 13.08.010, Basic Design Criteria of the Gallatin Zoning Ordinance.

The owner and applicant are requesting approval of an Alternative Architectural Plan. The Planning Commission shall determine whether the proposed plan meets the requirements in Section 13.08.010.D of the Gallatin Zoning Ordinance.

Staff recommends that the Planning Commission recommend approval of the Alternative Architectural Plan for this development. The final architectural elevations will be submitted and reviewed as part of the Final Master Development Plan.

Dumpster Enclosure

The plan indicates a dumpster enclosure to be located in the rear of the automotive sales and service building. Details of dumpster screening indicates the materials of the dumpster enclosure to be split face

concrete masonry block (C.M.U.) painted to match the exterior color (natural white) of the proposed building. The plan does not indicate a dumpster enclosure for the future office building site. Details of dumpster screening, location and landscaping will be reviewed as part of each individual Final Master Development Plan.

Parking Calculations

Parking requirements are based on the use of the property. The office use requires one (1) space per 300 square feet, the service center requires three (3) spaces per service bay, and the indoor sales display or service area requires one (1) space per 500 square feet. Based on the Phase 3 plan for the automotive sales and service site, 79 parking spaces, including four (4) handicapped accessible spaces, are required. The plan indicates 147 parking spaces, including eight (8) accessible handicapped spaces, which complies with the minimum number of parking spaces required by G.Z.O., Section 11.03, *Schedule of Off-Street Parking Requirements* and Section 11.07, *Handicapped Parking* for the automotive sales and service site. In addition to the automotive sales and service site, 274 parking spaces will be used for inventory parking located on the west side of the site for a total of 421 parking spaces. Based on the plan for the future office site, the 80 parking spaces, including four (4) handicapped accessible spaces, complies with the minimum number of parking spaces required by G.Z.O., Section 11.03, *Schedule of Off-Street Parking Requirements* and Section 11.07, *Handicapped Parking* for the future office site. The overall development parking complies with the minimum number of parking spaces required by G.Z.O., Section 11.03, *Schedule of Off-Street Parking Requirements* and Section 11.07, *Handicapped Parking*. Final parking calculations shall be reviewed with each individual Final Master Development Plan.

Landscaping and Bufferyards

Bufferyards are required to be shown on Preliminary Master Development Plans and are intended to minimize the potential impacts of proposed developments on adjacent properties as outlined in the Gallatin Zoning Ordinance and the *2020 Plan*. The original Preliminary Master Development Plan included a Type 20 Bufferyard along the entire road frontage of Nashville Pike and a Type 12 Bufferyard along the eastern boundary along Gordon Crossing, (Attachment 9-2). The Amended Preliminary Master Development Plan also identifies these required bufferyards in addition to the required Type 15 Bufferyards along the southern and western boundaries. The owner and applicant request that the required amount of trees required to be located in the inventory parking area, per Section 13.05.020.B.1 of the G.Z.O., be located around the perimeter of the parking areas.

G.Z.O. Section 08.04.050, Additional Site Development Regulations, requires additional landscaping and screening requirements for the PGC zone district, including a minimum of seven and one-half (7.5) percent of the lot area to be a permanently maintained landscape area, exclusive of the required bufferyards. The conceptual landscaping plan does not identify the additional planting requirements; therefore, Staff recommends that the Planning Commission approve the conceptual landscaping plan as submitted with the condition that final detailed landscaping plans shall meet all requirements of the G.Z.O., and shall be approved as part of each Final Master Development Plan. An alternative to install interior parking lot landscaping in the inventory parking area the applicant shall provide an equal amount of landscaping and landscape materials along the perimeter of the site including if authorized by agreement with the owner, within the offsite drainage detention tract.

Street Trees along Gordon Crossing were approved as part of the original Preliminary Master Development Plan (Attachment 9-8). Street tree installation within the Gordon Crossing right-of-way

shall be addressed at the Final Master Development Plan stages and may require additional approval from City Council.

Photometric Plan and Lighting Fixtures

The plan indicates the location of the lighting fixtures throughout the site (Attachment 9-2). The owner and applicant did not submit a lighting plan but it does show the proposed location of the lighting fixtures. The owner and applicant shall submit a photometric plan with details of the lighting fixtures with the Final Master Development Plan. The photometric plan shall comply with the City of Gallatin Zoning Ordinance, Section 13.02.08.

Site Surety

The applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department. Site sureties, in the form of cash, certified check, or Irrevocable Letter of Credit, shall be submitted prior to issuance of any building permits. The site surety requirement shall be added to the conditions of approval for each Final Master Development Plan.

Master Signage Plan

The owner and applicant included conceptual designs of a monument sign, located at the corner of Nashville Pike and Gorden Crossing, and wall mounted signs (Attachment 9-2). The conceptual design for the monument sign does not meet the height requirement per Section 13.07.065.B.1 of the Gallatin Zoning Ordinance. The proposed freestanding (monument) sign is 30' tall which is excessive for this Gateway Corridor and the Master Development Plan concept. Staff does not recommend the proposed freestanding sign size and height. The owner and applicant shall submit a Master Signage Plan in accordance with G.Z.O. Section 13.07.065.E including details of all permanent signs to be installed on site at the Final Master Development Plan stage. The proposed signs shall meet the size and illumination requirements of the Gallatin Zoning Ordinance, Section 13.07. The applicant shall obtain sign permits from the Planning Department prior to the installation of any signage on site.

Design Review Committee Approval

The project is located within the Savannah Marketplace. All site design changes require approval from the private design review committee. The Real Estate Department of the Kroger Company, Architectural Review Committee (ARC), approved the proposed Gallatin Honda Dealership to be located in Savannah Marketplace, Phase 3 (Attachment 9-7).

Major/Minor Amendment

G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan, lists specific items that would constitute a major amendment to an approved Preliminary Master Development Plan including a substantial change in the mixture of land uses, substantial changes to access or site circulation, or substantial changes to approved architecture or site design features of the development. Staff reviewed the approved Savannah Marketplace Preliminary Master Development Plan in detail and found significant changes with the proposed plan that would constitute a major amendment. Planning Commission should determine if the proposed changes to the Savannah Marketplace Amended PMDP should be considered as major amendment to the approved Savannah Marketplace Preliminary Master Development Plan. If the proposed modifications are

considered as a major amendment to the PMDP, a time for public comment will be required at the Planning Commission meeting.

Department of Public Utilities and Industrial Pre-Treatment Department

The site will be serviced primarily by the White House Utility District. The Gallatin Department of Public Utilities only provides gas service in this area; therefore, the Public Utilities and Industrial Pre-treatment Departments provided no comments on the plan.

White House Utility District

The site will be serviced primarily by the White House Utility District. The owner and applicant shall coordinate all development with the White House Utility District to ensure future utility infrastructure is installed to their satisfaction.

Planning Department Comments

The Planning Department reviewed and commented on the Amended PMDP for Savannah Marketplace, Phase 3. The majority of the Planning Department comments have been satisfied; however, the owner and applicant shall correct the proposed PMDP and provide documents as indicated below:

1. Provide and identify “future development” area for the office building and parking area.
2. Add note to Preliminary Master Development Plan stating that “Properties developed within the Savannah Marketplace will be subject to pro rata contributions for the installation of the traffic signal at Gorden Crossing and Nashville Pike. The amount of the pro rata contributions will be set by the Engineering Division at the Final Master Development Plan stage for Phase 3.

Engineering Division Comments

The Engineering Division reviewed and commented on the Amended PMDP for Savannah Marketplace, Phase 3. The Engineering Division comments have been satisfied.

Other Departmental Comments

Other City Departments reviewed and had no comments on the Amended PMDP for Savannah Marketplace, Phase 3.

FINDINGS:

According to the applicant, the Amended PMDP for Savannah Marketplace was designed to reflect the recommendations of the *2020 Plan* and is consistent with the intent and purpose of the Gallatin Zoning Ordinance and the Savannah Marketplace Design Guidelines. Staff, therefore, makes the following findings:

1. The Amended Preliminary Master Development Plan is in agreement and consistent with the intent and land use recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan Update 2008-2020* for the area, and in particular, the Commercial Corridor Community Character Area and Gateway Corridor Overlay.
2. The Amended Preliminary Master Development Plan is consistent with the purpose and intent of the Planned General Commercial (PGC) zone district, the approved Preliminary Master Development Plan for Savannah Marketplace, and complies with the use restrictions, minimum bulk and height

regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district with minor corrections.

3. The proposed changes shown on the Amended Preliminary Master Development Plan constitutes a major amendment to the approved Preliminary Master Development Plan as outlined in Section 12.02.050 of the Gallatin Zoning Ordinance.
4. The proposed project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing use or intended character of the general vicinity. As designed, the proposed use addition to the Savannah Marketplace Preliminary Master Development Plan will not change the essential character of Nashville Pike and the proposed conceptual architecture will complement the existing commercial structures along Nashville Pike.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended Preliminary Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.
8. The Amended Preliminary Master Development Plan submitted to the City complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.

RECOMMENDATION:

Based on the findings presented in the staff report, Staff recommends that the Planning Commission recommend approval GMRPC Resolution No. 2016-123 a major amendment to the Savannah Marketplace Amended Preliminary Master Development Plan including the;

- Savannah Marketplace Amended Preliminary Master Development Plan, consisting of a one (1) sheet plan, prepared by Doulgerakis Consulting Engineers, Inc., of Alpharetta, Georgia, with job number 1608, with a revision date of October 12, 2016
- Fifth Third Bank Property, Land Title Survey, consisting of a one (1) sheet plan, prepared by Ragan-Smith, of Nashville, Tennessee, with job number 03-143, dated September 23, 2016
- Gallatin Honda/Savannah Marketplace, Phase 3 Amended Preliminary Master Development Plan, consisting of one (1) sheet plan, prepared by Doulgerakis Consulting Engineers, Inc., of Alpharetta, Georgia, with job number 1608, dated September 23, 2016, with a revision date of October 12, 2016, and
- Architectural Elevations for Gallatin Honda, consisting of a two (2) sheet plan, prepared by Zenner Group, of Atlanta, Georgia, with project number 329002, dated October 12, 2016 with the following conditions:
 1. Provide and identify “future development” area for the office building and parking area.
 2. Add note to the Amended Preliminary Master Development Plan stating that “Properties developed within the Savannah Marketplace will be subject to pro rata contributions for the installation of the traffic signal at Gorden Crossing and Nashville Pike. The amount of the pro rata contributions will be set by the Engineering Division at the Final Master Development Plan stage for Phase 3.
 3. As an alternative to install interior parking lot landscaping in the inventory parking area the applicant shall provide an equal amount of landscaping and landscape materials along the perimeter of the site including if authorized by agreement with the owner, within the offsite drainage detention tract. All alternative landscaping shall be indicated on the Final Master Development Plan.

4. All site signs shall be reviewed and approved at the Final Master Development Plan stage by the Planning Commission.
5. Submit five (5) corrected, folded copies of the Amended Preliminary Master Development to the Planning Department prior to Planning Commission's consideration of any Final Master Development Plan for Phase 3.

ATTACHMENTS:

- | | |
|-----------------------|---|
| Attachment 9-1 | Location Map |
| Attachment 9-2 | Savannah Marketplace Amended PMDP, Boundary Survey, Savannah Marketplace, Phase 3 Amended PMDP, Dumpster Elevations, Architectural Elevations, Addendum to the Amended Preliminary Master Development Plan Book, revised October 12, 2016, Monument Sign Elevation (3-2587-16) |
| Attachment 9-3 | 2020 Plan Community Character Area Map – West Gallatin |
| Attachment 9-4 | 2020 Plan Commercial Corridor Description |
| Attachment 9-5 | 2020 Plan Gateway Corridor Overlay Description |
| Attachment 9-6 | Photographs of Crest Honda |
| Attachment 9-7 | Architectural Review Committee letter dated October 6, 2016 |
| Attachment 9-8 | Savannah Marketplace Amended PMDP (3-1-04) |

LOCATION MAP
SAVANNAH MARKETPLACE, PHASE 3 (3-2587-16)



TAX MAP #147//PART OF PARCEL 037.01
NASHVILLE PIKE AND GORDEN CROSSING
ZONED PGC



ATTACHMENT 9-1

COMMERCIAL CORRIDOR

General Description of Existing Development Patterns

These Commercial Corridors include a mix of larger-scale commercial development that fronts the corridor, with undeveloped farmland and rapidly-developing residential areas located behind commercial frontage. Buildings are typically single-story, single-use and are generally separated from the street and sidewalk by parking lots.

Location

Areas within this character area include the following:

- US-31E/Nashville Pike from SR-25 to SR-109 Bypass
- US-31E/Nashville Pike from the west city limits (City of Hendersonville border) to SR-109 Bypass
- US-31E/East Broadway between Triple Creek Park and Reynolds Street (north side of the street)
- Hancock Street south of US-31E/Nashville Pike to SR-109 Bypass

Intent

The development pattern for established and emerging corridors should seek to:

- Provide through transportation, land use and other physical enhancements an environment that provides a distinct sense of place, not just another commercial strip
- Discourage continuous ribbons of automobile-oriented commercial development along major corridors
- Organize nodal commercial development opportunities at intersections with major streets and new secondary roads
- Permit development of suburban commercial and residential development along arterial roadways with master planning to address access management and design that is consistent with community character
- Improve traffic flow by consolidating driveways and encouraging interparcel access
- Provide sidewalks and a more pedestrian-friendly environment by incorporating landscaped buffers between the roadway and sidewalks, placing buildings closer to the street, and locating parking to the rear of buildings
- Encourage mixed use development
- Reflect quality materials and design (related to the building, the site, and signage)

COMMERCIAL CORRIDOR

- Medium to High

Transportation

- Medium level of service
- Medium level of connectivity
- Properties accessed by public roads
- Regular-shaped, medium-to-long blocks
- Roads characterized by a mix of curb, gutter with sidewalk and grassy swales all with a low-to-medium level of pedestrian orientation
- Bike lanes/routes

Infrastructure

- Public water and sewer available
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood and pocket parks
- Community gardens

Primary Land Uses

- Small and large-scale apartments and townhomes
- Office
- Vertical Mixed Use
- Commercial/Retail (including grocery stores, home improvement stores, restaurants, hotels)

Appropriate Intensity

- 0.75 FAR

Applicable Zoning Districts

Existing Zoning Districts

- PGC, MU, MRO, GO

Proposed Zoning Districts

- Mixed-Use Node (new)
- CS, CG with Corridor Overlay (new)

- Provide shade, reduce impervious surfaces, shield parking areas, and improve the appearance of individual sites and the entire corridor with quality landscaping

Development Strategies

- Encourage retrofitting of existing strip development into pedestrian-scale interconnected nodes
- Limit signs and billboards
- Cluster high-density development at nodes along the corridor, such as major intersections
- Depict clear physical boundaries and transitions between the edge of the character area and adjacent character areas, in particularly those that include residential uses
- Strengthen pedestrian connections to adjacent residential areas
- Increase landscaping along the corridor, including in and along parking lots to provide shade, reduce impervious surfaces, shield parking areas, and improve the appearance of individual sites and the entire corridor
- Plan for community street network that creates rather than hinders opportunities for walking, biking and providing future public transit
- Establish pedestrian-oriented building setbacks
- Guide building and site design, including parking lot configuration and streetscape features
- Find an appropriate balance between residential and commercial uses within mixed use developments
- Organize new development a nodal fashion with nodal commercial/mixed use development opportunities at intersections with major streets and new secondary roads. Areas between these development nodes along the corridor provide opportunities for development of higher intensity residential uses that would create more housing choices for the City that are in proximity to commercial areas and major transportation arteries.

Implementation Measures

- ☞ Amend Mixed-Use districts
- ☞ Mixed-Use Node zoning district (new)
- ☞ Corridor Overlay District



Existing commercial corridor area along Nashville Pike near Vol State



Emerging commercial corridor along Nashville Pike west of Gallatin



Quality office development along the Commercial Corridor on Nashville Pike includes quality building materials, landscaping and preservation of mature trees

GATEWAY CORRIDOR

General Description of Existing Development Patterns

Gateway Corridor is an **overlay character area** representing developed or undeveloped land paralleling the route of a major thoroughfare that serves as an important entrance or means of access to the community. In addition to meeting area residents' shopping needs, the corridor acts as a gateway to the City. Community recognizes that these corridors should provide a more pleasant appearance to those entering the City than currently presented.

Gateway Corridors are developed as a continuous system along a highway, street, or greenway. The appearance of these visual corridors is an important first impression of the Gallatin's character. The major gateways into Gallatin along main travel corridors can convey the City's identity by utilizing characteristic design elements that reflect Gallatin's character. Defining elements of Gateway Corridors may include landscaping, unique signage, banners, lighting and other streetscape elements in addition to landmark elements. This gateway is often developed to signify a high-profile corridor or district.

Through proper design, the entrances or gateway treatments should provide a strong sense of identity and arrival to the City.

Locations

Several main entrance corridors warrant consideration. These include:

- SR-109 Bypass and portions of the corridor north of the intersection with North Water Avenue in North Gallatin and south of the intersection with Airport Road in South Gallatin.
- North Water Avenue from SR-109 to Hatten Track Road
- US-31E/Nashville Pike from the west city limits to Station Camp Creek
- US-31E/East Broadway East Jackson Street
- SR-25/Hartsville Pike from Cairo Road to the east city limits
- SR-25/Red River Road from Bradford Drive to East Camp Creek
- SR-174/Long Hollow Pike from Station Camp Creek to SR-109 Bypass
- SR-386/Vietnam Veterans Boulevard
- Airport Road (US-31E to Bypass)
- GreenLea Boulevard from SR-386 interchange to US-31E/Nashville Pike

GATEWAY CORRIDOR

Anticipated level of change:

- Low

Transportation

- High level of service
- High level of connectivity
- Properties accessed by individual easements, private driveways, public roads
- Shared driveways/access management
- Roads characterized by combination of grassy swales and curb-and-gutter cross sections

Infrastructure

- Public water available
- Public sewer available or planned

Greenspace

- Adjacent Preserve areas
- Provided typically via large-scale private properties

Primary Land Uses

- Not applicable

Appropriate Intensity

- 0.75 FAR

Applicable Zoning Districts

Existing Zoning Districts

- Not applicable

Proposed Zoning Districts

- Gateway Corridor Overlay (new)

Intent

- Provide for interesting, attractive entrances into the City that set Gallatin apart and provide a quality sense of place

Development Strategies

- Incorporate streetscape enhancements such as landscaping and decorative streetlights to improve the overall appearance of the corridors
- Focus on appearance with appropriate signage, landscaping and other beautification measures
- Manage access to keep traffic flowing using wayfinding signage to clustered developments
- Retrofit or mask existing strip development or other unsightly features as necessary

Implementation Strategies

- ☞ Gateway Corridor Overlay District



Kennesaw Farms development located on Nashville Pike in west Gallatin



Entrance to the Hunt Club office development on Nashville Pike provides a good example of quality development along the Gateway Corridor

ATTACHMENT 9-6

Crest Honda
2215 Rosa L Parks Blvd
Nashville, TN 37228



ATTACHMENT 9-6



ATTACHMENT 9-6





ATTACHMENT 9-7

REAL ESTATE DEPARTMENT
FAX (615) 871-2409 □ 2620 ELM HILL PIKE □ NASHVILLE, TN 37214 □ PHONE (615) 871-2540

October 6, 2016

BY HAND DELIVERY

OCT 13 2016

Planning Department
City of Gallatin
132 W. Main Street
Gallatin, Tennessee 37066

Re: Savannah Marketplace Preliminary Master Plan Amendment—
9.3-acre portion of Parcel No. 146-037-01 (known as 2109 Nashville Pike)
(the "Property")

Ladies and Gentlemen:

We understand that Jackson-HON Gallatin, LLC is under contract with Fifth Third Bank to purchase the Property, and we are aware of the request by Jackson-HON, with the approval of Fifth Third Bank, to add the Vehicular, Craft and Related Equipment Sales and Automotive Servicing uses to the Preliminary Master Development Plan governing the Property.

The Savannah Marketplace Architectural Review Committee is in agreement with and approves Jackson-HON's amendment request and Jackson-HON's preliminary building elevations. We ask that you favorably consider Jackson-HON's request and make the appropriate amendments or revisions to the Preliminary Master Development Plan.

The ARC reserves the right to approve Jackson-HON's final building elevations and/or building design. Thank you, and please do not hesitate to contact me if you have any questions.

Very truly yours,

The Kroger Co.

cc: Jackson-HON Gallatin, LLC (via email)

RESUBMITTAL

3-2587-16

Savannah Marketplace

Gallatin, Tennessee

Addendum to the Amended Preliminary Master Development Plan Book

Revised Date October 12, 2016

Originally Submitted January 29, 2004 (Ragan Smith Associates)

Previously Revised August 4, 2008 (Ragan Smith Associates)

Previously Revised April 16, 2015 (Civil Site Design Group)

Last Previously Revised August 13, 2015 (Civil Site Design Group)

Prepared by:



**DOULGERAKIS
CONSULTING
ENGINEERS, INC.**

400 Abbey Court,

Alpharetta, Georgia 30004

Phone: 770-753-9800

Fax: 770-753-9810

Contact: Emmanuel Doulgerakis, P.E.

This addendum will address only the revisions that are proposed to the existing Amended Preliminary Master Development Plan Book by Ragan Smith Associates, originally dated January 29, 2004, last revised on August 13, 2015 by Civil Site Design Group.

Project Team:

The project team for the proposed development of Savannah Marketplace **Phase 3** is as below:

Developer:

Jackson-HON Gallatin LLC

Contact: Mr. Harvey Jackson

10900 Alpharetta Hwy

Roswell, Ga 30076

Civil Engineer:

Doulgerakis Consulting Engineering, Inc.

400 Abbey Court,

Alpharetta, Georgia 30004

The property owner for the proposed development of Savannah Marketplace **Phase 2, 4, and 5** is:

Fifth Third Bank

Clyde Measey, Vice President

120 East Palmetto Park Road

Boca Raton, FL 33432

Amended Preliminary Master Development Plan

The purpose of this amendment is to add the proposed Honda automotive sales and servicing store by amending the list of approved uses for the Savannah Marketplace, amending the size of Phases 3 and 4, amending the permissible architecture of Phase 3, and amending the total building square footage of phases 3 and 4.

The existing uses for the entire Savannah Marketplace are Convenience Sales and Services, General Retail Sales and Service with Gas Pumps, Financial, Consulting and Administrative Office, Food Service Drive-In, Automotive Servicing, and Medical Services. This amendment proposes to add the use Vehicular, Craft, and Related Equipment Sales and Automotive Servicing for the Phase 3 site.

The existing Phase 3 site is 6.82 acres and the proposed Phase 3 site will be 9.27 acres. The proposed Phase 3 is located at the southwest corner of Nashville Pike and Gorden Crossing with frontage on both streets. Phase 3 will now extend all the way to the proposed full entrance drive on Nashville Pike west of Gorden Crossing including the area previously set aside as outparcel 4. The proposed Phase 3 will be owned and developed by Jackson-HON Gallatin LLC. This amendment proposes a total building square footage of 59,000 SF and floor area ratio of 0.15 on Phase 3 (previously 47,776 SF and 0.16). This will be broken down into 35,000 SF for the proposed Honda dealership automotive sales and servicing and 24,000 SF for a future two story office space. The proposed architecture and building materials of the Honda store will match the standard commercial prototype established by Honda corporate as shown on the attached preliminary building elevation for Gallatin Honda. The proposed Honda store will have an accessory carwash and an accessory fuel pump. The proposed architecture of the office space will be per the previously approved development standards of the Savannah Marketplace.

The existing Phase 4 site is 14.09 acres and the proposed Phase 4 site will be 11.64 acres. The proposed Phase 4 site is located to the west and south of Phase 3 with frontage on Nashville Pike and Gorden Crossing. Phase 4 will now include the existing detention pond area and the southernmost existing driveway curb cut on Gorden Crossing. This amendment proposes a total building square footage of 89,400 SF and floor area ratio of 0.17 on Phase 4 (previously 175,400 SF and 0.26). This will be broken down into 82,400 SF of general retail space and a 7000 SF allotment for Outparcel 3. The proposed Phase 4 will continue to be owned and developed by Fifth Third Bank. The proposed architecture will be per the previously approved development standards of the Savannah Marketplace.

With these modifications, the overall Savannah Marketplace development will provide 69,000 SF of office; 346,221 SF of retail; 168 SF of convenience sales and services; 35,000 SF of automotive sales and service; and 42,000 SF for outparcels for a total of 492,389 SF. Note that density changes are only proposed for phase 3 and 4. No change is proposed to previous amendment GMRPC Resolution 2015-111 for the phase 2 outparcels.

Access Management

Access to the site reflects the previously approved plan, with the exception that vehicular through traffic will not be permitted in the inventory storage areas of the Honda site to access the other parts of the development. This is due to the need to provide a safe and secure environment for sales inventory parking lots which cannot be done if “cut thru” traffic is permitted. An inter-parcel driveway connection location is indicated on the preliminary site plan between the car dealership and future office site. Additionally the proposed driveway west of Gorden Crossing is being relocated approximately 53 ft further from Gorden Crossing.

Parking

Parking space requirements shall follow the regulations as set forth in the Gallatin Zoning Ordinance, Article 11.00. Parking for the phase 3 site will include the following uses:

Administrative, consulting, and financial services requirements are one space per 300 square feet.

Automotive Service Center requirements are three times the number of service bays.

Automotive Sales (Office/Administration) requirements are one space per 300 square feet.

Automotive Sales (Indoor Sales Display or Service) requirements are one space per 500 square feet.

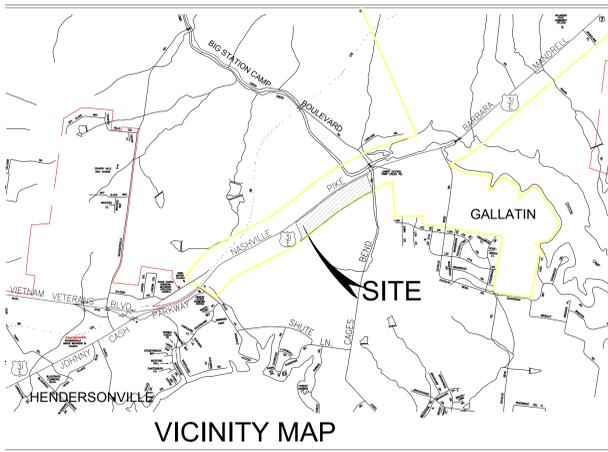
Automotive Sales (Vehicle Inventory Storage) has no minimum requirement.

Development Standards

With the exception of the Honda building materials and access management as described in the previous sections, the existing development standards which have been established for the Savannah Marketplace are to remain in place with regards to architecture, building materials, planning, grading, parking, lot coverage, setbacks, buffer yards, yard requirements, access, etc.

The developer understands that prior to commencement of any construction on the site, the developer and his team will be required to submit and receive approval for Final Master Development Plans. The developer further understands that the Architectural Review Committee which is comprised of the existing Savannah Marketplace land owners, will review and approve all proposed improvements prior to the approval of the Final Master Development Plans.





LOT	SITE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	OVERALL
ACREAGE	56.33 AC	18.24	13.22	9.27	11.84	12.73	65.10
OUTPARCELS		O.P. 5.7 3.81 AC			O.P. 3 1.00 AC	O.P. 1.2 2.78 AC	7.80 AC
BUILDING S.F.							
FINANCIAL CONSULTING AND ADMIN OFFICE	69,000 SF			24,000 SF		45,000 SF	69,000 SF
GENERAL RETAIL SALES AND SERVICES	346,221 SF	122,821 SF	83,000 SF	82,400 SF	58,000 SF	346,221 SF	346,221 SF
CONVENIENCE SALES AND SERVICES	168 SF					168 SF	168 SF
VEHICULAR, CRAFT, & RELATED EQUIP. SALES AND AUTOMOTIVE SERVICING	35,000 SF			35,000 SF		35,000 SF	35,000 SF
TOTAL	450,389 SF	122,889 SF	83,000 SF	82,400 SF	103,000 SF	450,389 SF	450,389 SF
*TBD FOR OUTPARCELS (AVG 7,000 SF)	42,000 SF						**492,389 SF
FLOOR AREA RATIO							
MAXIMUM FLOOR AREA RATIO ALLOWED	1.00						
PROPOSED FLOOR AREA RATIO	0.21	0.15	0.14	0.15	0.17	0.19	
PROPOSED LOT COVERAGE RATIO	0.20	0.15	0.14	0.12	0.17	0.10	
PARKING							
FIN. CON. AND ADMIN OFFICE - 1,100 SF	150			80		150	230
GEN. RETAIL SALES AND SER. - 1,250 SF	1,385	491	332	330		232	1,385
CONV. SALES AND SER. - 1,100 SF	2					2	2
SERVICE CENTER - 3% NO. OF BAYS	51			51		51	51
AUTO SALES OFFICE/ADMIN. - 1,000 SF	10			10		10	10
INDOOR SALES DISPLAY OR SERVICE AREA - 1,600 SF	18			18		18	18
PARKING PROVIDED		571	421	501	397	489	2,380
PARKING EXCESS		79	89	342	67	117	684
LOT WIDTH							
MINIMUM PROVIDED (EXCL. GORDON CROSSING R.O.W.)	100'	100'	100'	100'	100'	100'	3,614 LF
MINIMUM BUILDING SETBACKS							
FRONT	50' (ARTERIAL)						
40' (COLLECTOR)							
MINIMUM YARDS							
FRONT	60% OF REG'D						
SIDE	10'						
REAR	ABUTTING RESIDENTIAL DISTRICT						
REAR	ABUTTING COMMERCIAL DISTRICT						
BUILDING HEIGHT							
MAXIMUM PROPOSED	40'						

SITE DATA:

- THIS PROPERTY IS SHOWN ON SUMNER COUNTY TAX MAP 146, PARCEL 37.01 AND 37.04.
- SITE AREA: 65.1 ACRES (2,835,756 S.F.)
- EXISTING ZONING IS PCC.
- EXISTING LAND USE OF THIS SITE IS AGRICULTURAL AND GENERAL RETAIL SALES AND SERVICE AND CONVENIENCE SALES AND SERVICE WITH GAS PUMPS.
- PROPOSED USES OF THIS SITE ARE COMMERCIAL USES CONSISTING OF CONVENIENCE SALES AND SERVICES, GENERAL RETAIL SALES AND SERVICES, FINANCIAL CONSULTING AND ADMINISTRATIVE OFFICE, VEHICULAR, CRAFT, AND RELATED EQUIPMENT SALES, AUTOMOTIVE SERVICING, MEDICAL SERVICES, AND FOOD SERVICE DRIVE IN.
- ALL LOTS TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER BY THE WHITE HOUSE UTILITY DISTRICT.
- STORM WATER WILL BE CHANNELLED THROUGH A STORM SEWER SYSTEM AND DETAINED BY THE DETENTION POND SHOWN ON THIS PLAN.
- OPEN SPACES WITHIN THE COMMERCIAL USES OF THE DEVELOPMENT TO BE MANAGED BY THE OWNER'S ASSOCIATION.
- THE PLAN SHOWS "BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY," THE PROPERTY LIES WITHIN FLOOD ZONE "X" AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NOS. 47165C0407G, 47165C0408G, 47165C0409G, WITH AN EFFECTIVE DATE OF APRIL 17, 2012, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT, COMMUNITY NO. 470297, PANEL NO. 03797, SUFFIX D, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN."
- MERCHANT'S ASSOCIATION WILL BE RESPONSIBLE FOR MAINTAINING SHOPPING AREA.
- ZONING OF SURROUNDING PROPERTIES: NORTH: R-20 (CITY OF HENDERSONVILLE) SOUTH: R-40 (CITY OF HENDERSONVILLE) EAST: MRO WEST: R-20

12. CONTACTS:

CONSULTANTS:
 MR. RANDY CALDWELL, R.L.A.
 RAGAN-SMITH ASSOCIATES, INC.
 315 WOODLAND STREET
 NASHVILLE, TN 37206
 (615) 244-8591

MR. EMMANUEL DOULGERAKIS
 DOULGERAKIS CONSULTING ENGINEERS, INC.
 400 ABBEY CT.
 ALPHARETTA, GA 30004
 (770) 753-9800

***NOTE:**
 NO DIRECT ACCESS TO NASHVILLE PIKE FROM PROPERTIES ADJACENT TO NASHVILLE PIKE

PHASE 2, 4, & 5 OWNER / DEVELOPER:
 MR. CLYDE MEASEY
 FIFTH THIRD BANK
 120 EAST PALMETTO PARK RD
 BOCA RATON, FL 33432
 (561) 862-5106

PHASE 3 OWNER / DEVELOPER:
 MR. HARVEY JACKSON
 JACKSON-HON GALLATIN LLC
 10900 ALPHARETTA HWY
 ROSWELL, GA 30076
 (404) 569-1092

CURVE TABLE

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING	CHORD LENGTH
C1	01°59'53"	1426.53'	897.11'	246.68'	N85°02'07"E	497.28'
C2	89°09'11"	50.00'	77.80'	49.57'	S89°40'42"E	76.19'
C3	33°39'40"	674.20'	396.09'	203.95'	S19°22'16"E	390.42'
C4	33°39'41"	758.20'	445.44'	229.36'	S19°22'16"E	438.00'
C5	91°35'21"	50.00'	79.93'	51.41'	N09°35'34"E	71.68'
C6	02°32'33"	14266.83'	632.80'	316.40'	N86°39'30"E	632.75'
C7	02°32'39"	14269.57'	873.18'	438.72'	N89°41'03"E	873.04'
C8	01°29'31"	1349.53'	819.69'	408.97'	S59°40'32"W	818.56'
C9	01°58'08"	13460.53'	924.59'	452.43'	S55°57'43"W	924.41'

LINE TABLE

LINE	BEARING	DISTANCE
L1	N87°27'34"E	12.00'
L2	S3°06'37"E	12.00'
L3	N28°13'33"W	11.00'
L4	N29°47'42"E	12.00'
L5	N32°12'00"W	10.99'
L6	N87°27'34"E	12.00'

LANDSCAPE REQUIREMENTS:

- 4.88 AC. OF PERMANENTLY MAINTAINED LANDSCAPE AREA REQUIRED (7.5%)
- 426 TREES REQUIRED (2" CALIPER MIN.) EXCLUSIVE OF BUFFER AND PARKING ISLANDS
- 3,255 SHRUBS REQUIRED (18" HEIGHT MIN.) INCLUSIVE OF BUFFERS AND EXCLUSIVE OF SCREENING FOR PARKING
- INTERIOR PLANTING AREAS OR TREE ISLANDS REQUIRE 2-1/2" CALIPER TREES

AUTOMOTIVE SALES AND SERVICING

- ACCESSORY GARWASH
- ACCESSORY FUEL PUMP
- HONDA ARCHITECTURE

OFFICE

- 2 STORIES
- SAVANNAH ARCHITECTURE

20' BUFFER ALONG NASHVILLE PIKE

- 1 LARGE DECIDUOUS TREE PER 50' L.F. - 2.5" CAL.
- 2 SMALL DECIDUOUS OR ORNAMENTAL TREES PER 50' L.F. - 1.5" CAL.
- CONTINUOUS SCREENING OF PARKING AREAS WITH MINIMUM 30" HEIGHT SHRUBS.
- 90% LANDSCAPED AREA

25' MIN. FRONT YARD

50' MIN. BLDG SETBACK
 (NASHVILLE PIKE)

ALTERNATIVE 50' BUFFER

- ALL EXISTING TREES TO BE SAVED
- 4'-TALL EVERGREEN SCREEN TO BE IMPLEMENTED PER EXISTING TREE LOCATIONS

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

ALTERNATIVE 50' BUFFER

- 6" LANDSCAPE BERM W/ 4" TALL EVERGREEN SCREEN
- 1 MEDIUM EVERGREEN TREE PER 10' L.F.
- 1 SMALL ORNAMENTAL TREE PER 80' L.F.
- 1 LARGE DECIDUOUS TREE PER 80' L.F.

(EXISTING TREES LOCATED ON PROPERTY SHALL BE COUNTED TOWARDS THE ABOVE)

RETAIL USERS

- ANCHOR TENANTS 19,000-38,500 S.F.
- FLOOR PLATES
- COMPLEMENTARY ARCHITECTURE

MIXED USE VILLAGE

- 2 STORIES
- RETAIL LOWER LEVEL
- OFFICE UPPER LEVEL
- PEDESTRIAN FRIENDLY STREETScape
- COURTYARDS AND CENTRAL FOCAL POINT
- SAVANNAH ARCHITECTURE

PGC BUFFER & LANDSCAPE NOTE:

- ALL SITES SHALL MEET BUFFER YARD SCREENING AND LANDSCAPE REQUIREMENTS AS DEFINED BY THE GALLATIN ZONING ORDINANCE. IN ADDITION TO STREET BUFFER-YARD REQUIREMENTS SHOWN ON THIS PLAN.
- PROJECT WILL PROVIDE THE ADDITIONAL LANDSCAPING AND SCREENING REQUIREMENTS SPECIFIED IN SECTION 08.04.060.B OF THE GALLATIN ZONING ORDINANCE.
- LANDSCAPED AREA SHALL BE DEFINED AS AN AREA CONSISTING OF GRASS, SHRUBS, TREES, LOWERS, GROUND COVER, OR OTHER ORGANIC PLANT MATERIAL IN THE MINIMUM PERCENTAGE AS NOTED. A SIDEWALK/BIKE PATH IS THE ONLY OTHER PERMITTED MATERIAL WITHIN A LANDSCAPED AREA.
- IN AREAS OF VEHICULAR SALES, STORAGE, AND DISPLAY THE REQUIRED PARKING LOT TREES WILL BE RELOCATED TO THE PERIMETER OF THE SITE IN ORDER TO PROTECT INVENTORY FROM SAP, BIRDS, AND DEBRIS.

PERFORMANCE STANDARDS NOTE:
 ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.

RETAIL USERS

- ONE STORY
- ANCHOR TENANTS
- SPECIALTY SHOPS
- COMPLEMENTARY ARCHITECTURE

12' SIDE BUFFER ALONG PUBLIC ROAD

- 90% LANDSCAPED AREA
- 1 LARGE DECIDUOUS TREE PER 60' L.F. - 2.5" CAL.
- 2 SMALL ORNAMENTAL TREES PER 60' L.F. - 1.5" CAL.
- CONTINUOUS SCREENING OF PARKING LOT WITH 30" EVERGREEN SHRUBS

15' MIN. FRONT YARD

30' MIN. BLDG SETBACK
 (LOCAL)

15' MIN. FRONT YARD

30' MIN. BLDG SETBACK

20' MIN. BLDG SETBACK

10' MIN. SIDE YARD

RETAIL USERS

- ANCHOR TENANTS 19,000-38,500 S.F.
- FLOOR PLATES
- COMPLEMENTARY ARCHITECTURE

MIXED USE VILLAGE

- 2 STORIES
- RETAIL LOWER LEVEL
- OFFICE UPPER LEVEL
- PEDESTRIAN FRIENDLY STREETScape
- COURTYARDS AND CENTRAL FOCAL POINT
- SAVANNAH ARCHITECTURE

PGC BUFFER & LANDSCAPE NOTE:

- ALL SITES SHALL MEET BUFFER YARD SCREENING AND LANDSCAPE REQUIREMENTS AS DEFINED BY THE GALLATIN ZONING ORDINANCE. IN ADDITION TO STREET BUFFER-YARD REQUIREMENTS SHOWN ON THIS PLAN.
- PROJECT WILL PROVIDE THE ADDITIONAL LANDSCAPING AND SCREENING REQUIREMENTS SPECIFIED IN SECTION 08.04.060.B OF THE GALLATIN ZONING ORDINANCE.
- LANDSCAPED AREA SHALL BE DEFINED AS AN AREA CONSISTING OF GRASS, SHRUBS, TREES, LOWERS, GROUND COVER, OR OTHER ORGANIC PLANT MATERIAL IN THE MINIMUM PERCENTAGE AS NOTED. A SIDEWALK/BIKE PATH IS THE ONLY OTHER PERMITTED MATERIAL WITHIN A LANDSCAPED AREA.
- IN AREAS OF VEHICULAR SALES, STORAGE, AND DISPLAY THE REQUIRED PARKING LOT TREES WILL BE RELOCATED TO THE PERIMETER OF THE SITE IN ORDER TO PROTECT INVENTORY FROM SAP, BIRDS, AND DEBRIS.

PERFORMANCE STANDARDS NOTE:
 ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.

RETAIL USERS

- ONE STORY
- ANCHOR TENANTS
- SPECIALTY SHOPS
- COMPLEMENTARY ARCHITECTURE

12' SIDE BUFFER ALONG PUBLIC ROAD

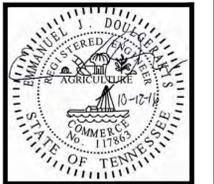
- 90% LANDSCAPED AREA
- 1 LARGE DECIDUOUS TREE PER 60' L.F. - 2.5" CAL.
- 2 SMALL ORNAMENTAL TREES PER 60' L.F. - 1.5" CAL.
- CONTINUOUS SCREENING OF PARKING LOT WITH 30" EVERGREEN SHRUBS

15' MIN. FRONT YARD</

MAP 146, PARCEL 31
ROGERS GROUP, INC.
D.B. 388, PG. 67

MAP 146, PARCEL 32
CHURCH OF CHRIST
NORTHFIELD
D.B. 4230, PG. 530

MAP 146, PARCEL 33.02
CHURCH OF CHRIST
NORTHFIELD
D.B. 4230, PG. 530



SAVANNAH MARKETPLACE - PHASE 3
Amended Preliminary Master Development Plan

DOULGERAKIS CONSULTING ENGINEERS, INC.
planning • civil engineering • sanitary engineering
400 Abbey Court, Alpharetta, Georgia 30004, phone: 770-753-9800

GALLATIN HONDA
2109 NASHVILLE PIKE
4TH DISTRICT, CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

DEVELOPER:
JACKSON-HON GALLATIN LLC
10900 ALPHARETTA HWY, ROSWELL, GA 30076, 404-569-1052

THIS DRAWING IS THE PROPERTY OF DOULGERAKIS CONSULTING ENGINEERS, INC. AND IS NOT TO BE COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.
© 2016, DOULGERAKIS CONSULTING ENGINEERS, INC.

NO.	DATE	REVISED PER CITY COMMENTS	REVISION
1	10-12-16		

SCALE: 1" = 40'
DATE: 09-23-16
JOB NO. 1608
SHEET. 1 OF 1

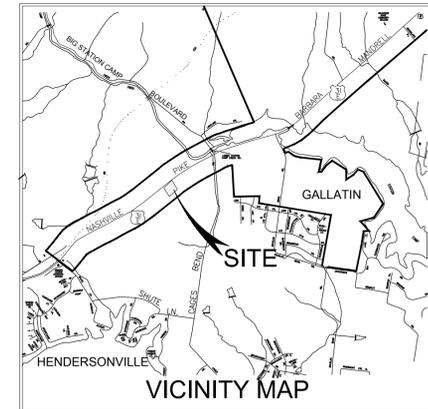
NOT FOR CONSTRUCTION

CURVE TABLE

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING	CHORD LENGTH
C1	01°57'46"	14260.53'	488.52'	244.28'	N53°34'09"E	488.50'
C2	89°06'04"	50.00'	77.76'	49.22'	S80°53'56"E	70.15'
C3	27°59'57"	669.70'	327.27'	166.97'	S22°20'57"E	324.02'
C4	89°38'32"	25.00'	39.11'	24.84'	S42°08'03"W	35.24'
C5	54°12'58"	115.00'	108.82'	58.87'	S59°50'50"W	104.80'
C6	21°29'09"	185.00'	69.37'	35.10'	S43°28'55"W	68.97'

LEGEND:

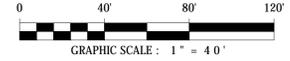
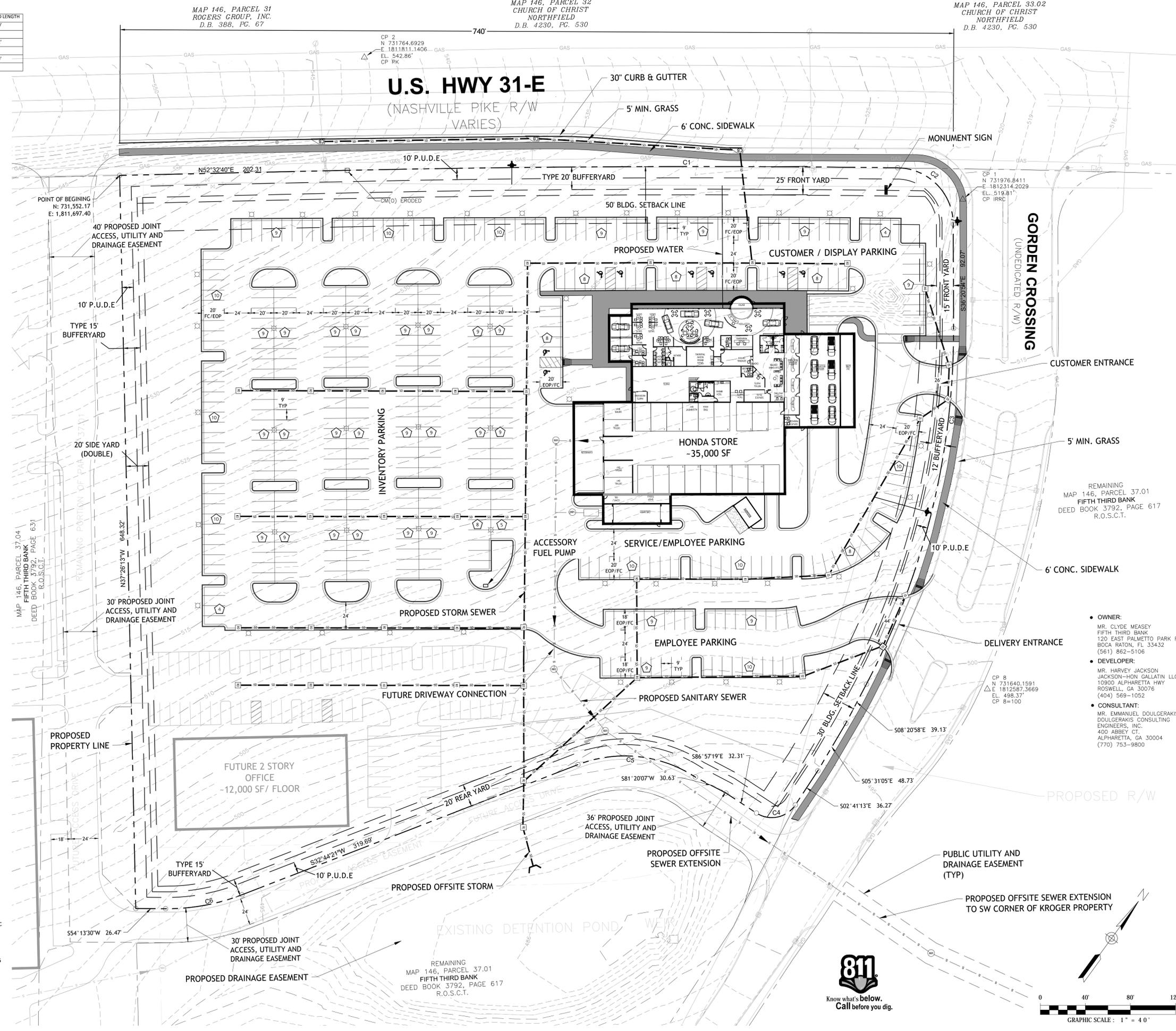
EXISTING	PROPOSED
DROP INLET	⊕
JUNCTION BOX	⊕
CATCH BASIN	⊕
MANHOLE	⊕
SANITARY SEWER	—S—
STORM SEWER	—S—
WATER LINE	—W—
WATER VALVE	⊕
FIRE HYDRANT	⊕
GAS LINE	—G—
POWER POLE	⊕
GUY WIRE	—
LIGHT POLE	⊕
CONTOUR LINE (MAJOR)	—540—
CONTOUR LINE (MINOR)	—541—
SURVEY CONTROL MONUMENT	⊕

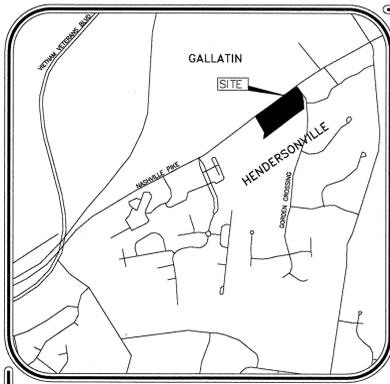


PHASE 3 SITE DATA TABLE:

CITY: GALLATIN	MAP 146 PARCEL 37.01
COUNTY: SUMNER	ADDRESS: US HIGHWAY 31-E (2109 NASHVILLE PIKE)
STATE: TENNESSEE	
ZONING: PGC	
ORIGINAL PHASE 3 AREA:	6.82 ACRES
PROPOSED PHASE 3 AREA:	9.27 ACRES
TOTAL LOT AREA:	403,735 SF (9.27 ACRES)
EXISTING USE:	GENERAL RETAIL SALES AND SERVICE 23,888 SF FIN., CONSULTING, AND ADMIN OFFICE 23,888 SF
PROPOSED USE:	FIN., CONSULTING, AND ADMIN OFFICE 24,000 SF VEHICULAR, CRAFT AND RELATED EQUIP SALES AND AUTOMOTIVE SERVICING 35,000 SF
APPROVED BUILDING SF:	47,776 SF
PROPOSED BUILDING SF:	59,000 SF
MIN LOT WIDTH:	100 FT
MAX BUILDING HEIGHT:	40 FT
PROPOSED BUILDING HEIGHT:	40 FT
MINIMUM BUILDING SETBACK (FRONT):	50 FT (ARTERIAL); 30 FT (LOCAL)
MINIMUM YARDS:	FRONT (50% REQD SETBACK) SIDE 10 FT REAR ABUTTING COMMERCIAL 20 FT
ORIGINAL LOT COVERAGE RATIO:	0.08
PROPOSED LOT COVERAGE RATIO:	0.12
MAXIMUM FLOOR AREA RATIO ALLOWED:	1.00
ORIGINAL FLOOR AREA RATIO:	0.16
PROPOSED FLOOR AREA RATIO:	0.15
PARKING REQUIRED:	159 SPACES TOTAL
AUTO SALES OFFICE (MINI - 1/300 SF - 10 SPACES SERVICE CENTER - 3/4 NO. OF BAYS - 51 SPACES INDOOR SALES DISPLAY OR SERVICE - 1/100 SF - 18 SPACES VEHICLE INVENTORY STORAGE - NO MINIMUM FIN., CONS., AND ADMIN OFFICE - 1/100 SF - 80 SPACES	
PARKING PROVIDED:	421 SPACES HONDA SITE (INCLUDES INVENTORY) 80 SPACES OFFICE SITE 501 SPACES TOTAL

- SITE DATA:**
- THE PURPOSE OF THIS AMENDMENT IS TO AMEND THE LIST OF APPROVED USES FOR THE SAVANNAH MARKETPLACE, AMEND THE SIZE OF PHASE 3, AMEND THE PERMISSIBLE ARCHITECTURE OF PHASE 3, AND AMEND THE TOTAL BUILDING SQUARE FOOTAGE OF PHASE 3.
 - THE PROPERTY IS SHOWN AS A PORTION OF PARCEL 37.01 ON SUMNER COUNTY TAX MAP 146.
 - THE PROPERTY IS A PORTION OF THE SAVANNAH MARKETPLACE DEVELOPMENT IN GALLATIN, TN. REFER TO THE OVERALL SAVANNAH MARKETPLACE AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN.
 - ALL BUFFERS, SETBACKS, LANDSCAPING AND ARCHITECTURAL STANDARDS AS SPELLED OUT ON THE AMENDED PRELIMINARY MASTER DEVELOPMENT PLAN AS APPROVED BY THE CITY OF GALLATIN PLANNING OFFICE SHALL REMAIN. PROJECT SHALL MEET THE DESIGN REQUIREMENTS OF THE SAVANNAH MARKETPLACE DESIGN MANUAL WITH THE FOLLOWING EXCEPTIONS:
 - ARCHITECTURE OF HONDA STORE SHALL MATCH HONDA STANDARDS AS SHOWN ON THE PRELIMINARY BUILDING ELEVATIONS.
 - ACCESS MANAGEMENT FOR PHASE 3 SHALL RESTRICT THROUGH TRAFFIC AS SHOWN ON THE SITE PLAN FOR SAFETY AND SECURITY PURPOSES.
 - THE USE FOR AUTOMOTIVE SERVICING AND VEHICULAR, CRAFT, AND RELATED EQUIPMENT SALES SHALL BE ADDED TO THE PHASE 3 APPROVED USES.
 - IN AREAS OF VEHICULAR SALES, STORAGE, AND DISPLAY, THE REQUIRED PARKING LOT TREES WILL BE RELOCATED TO THE PERIMETER OF THE SITE IN ORDER TO PROTECT INVENTORY FROM SAP, BIRDS, AND DEBRIS.
 - THE EXISTING PROPERTY IS ZONED PGC (PLANNED GENERAL COMMERCIAL).
 - ZONING OF PROPERTIES SURROUNDING THE SAVANNAH MARKETPLACE PHASE 3 DEVELOPMENT:
 - NORTH - R-20
 - SOUTH - R-40 (CITY OF HENDERSONVILLE)
 - EAST - PGC
 - WEST - PGC
 - THE PROPERTY LIES WITHIN FLOOD ZONE "X" AS DESIGNATED ON CURRENT FEDERAL EMERGENCY AGENCY MAP NUMBERS 47450407G, 47450408G, AND 47450409G, DATED APRIL 17, 2012. SAID MAPS DEFINE ZONE "X" AS BEING DETERMINED TO BE OUTSIDE THE 500 YR FLOODPLAIN.
- GENERAL NOTES:**
- THE PROPOSED PROJECT INCLUDES THE PROPOSED HONDA DEVELOPMENT IN PHASE 3 OF THE SAVANNAH MARKETPLACE DEVELOPMENT.
 - BOTH DOMESTIC AND FIRE WATER SERVICES FOR THIS DEVELOPMENT ARE PROPOSED FROM THE EXISTING PUBLIC MAIN IN THE R/W OF NASHVILLE PIKE AND GORDEN CROSSING. WATER SERVICES IS PROVIDED BY THE WHITE HOUSE UTILITY DISTRICT.
 - NATURAL GAS SERVICE FOR THIS DEVELOPMENT IS PROPOSED FROM THE EXISTING MAIN IN THE R/W OF NASHVILLE PIKE AND GORDEN CROSSING. NATURAL GAS SERVICE IS PROVIDED BY GALLATIN PUBLIC UTILITIES.
 - SANITARY SEWER SERVICE WILL BE PROVIDED FOR THIS DEVELOPMENT VIA AN EXTENSION OF THE EXISTING WHITE HOUSE UTILITY DISTRICT PUBLIC MAIN WHICH CURRENTLY TERMINATES NEAR THE SOUTHWEST CORNER OF THE KROGER MARKETPLACE. SEWER EASEMENTS WILL BE PROVIDED AS NECESSARY.
 - THE STORMWATER RUNOFF FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED TO THE EXISTING OFFSITE DETENTION POND TO THE SOUTH OF THE PROPERTY. DRAINAGE EASEMENTS WILL BE PROVIDED AS NECESSARY.
 - PROPOSED DEVELOPMENT SCHEDULE:
 - BEGIN: MAY 2016
 - END: JUNE 2017
 - FINAL MASTER DEVELOPMENT PLAN APPROVAL REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - THERE WILL BE NO DIRECT ACCESS FROM THE HONDA SITE TO US HWY 31-E (NASHVILLE PIKE).
 - ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.
 - THE OWNER/DEVELOPER IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.





LOCATION MAP
N.T.S.

DEED REFERENCE

BEING THE SAME PROPERTY CONVEYED TO FIFTH THIRD BANK FROM STEPHEN C. BAKER, SUBSTITUTE TRUSTEE, BY SUBSTITUTE TRUSTEES DEED OF RECORD IN RECORD BOOK 3792, PAGE 617, REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE.

PROPERTY MAP REFERENCE

BEING A PORTION OF PARCEL 37.01 AS SHOWN ON SUMNER COUNTY PROPERTY MAP NUMBER 146.

NOTE

THE R/W OF GORDEN CROSSING WAS TAKEN FROM AN APPROVED YET UNRECORDED PLAT, PREPARED BY OTHERS, AND PROVIDED TO THIS SURVEYOR BY THE CITY OF GALLATIN ON AUGUST 22, 2016.

SURVEYOR'S DESCRIPTION

BEING A TRACT OF LAND IN THE 4TH CIVIL DISTRICT OF SUMNER COUNTY, CITY OF GALLATIN, TENNESSEE, BEING A PORTION OF PARCEL NUMBER 37.01 AS SHOWN ON SUMNER COUNTY PROPERTY TAX MAP NUMBER 146, BEING BOUNDED ON THE NORTH BY RIGHT-OF-WAY (R/W) OF U.S. HIGHWAY 31-E (PUBLIC R/W VARIES), ON THE EAST BY THE FUTURE RIGHT-OF-WAY (R/W) OF GORDEN CROSSING (PUBLIC R/W VARIES), AND ON THE SOUTH AND WEST BY THE REMAINDER OF PARCEL 37.01, FIFTH THIRD BANK OF RECORD IN DEED BOOK 3792, PAGE 617 (R.O.S.C.T.), SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

POINT OF BEGINNING BEING AN IRON ROD (NEW) IN THE SOUTHERLY R/W OF HIGHWAY 31-E BEING THE NORTHWEST CORNER OF THE PROPERTY HEREIN DESCRIBED, HAVING A NORTHING OF 731,552.17 AND AN EASTING OF 1,811,697.40 (NAD83); THENCE WITH THE SAID R/W NORTH 52 DEGREES 32 MINUTES 40 SECONDS EAST, 202.31 FEET TO A CONCRETE MONUMENT (OLD); THENCE AROUND A CURVE TO THE RIGHT HAVING A RADIUS OF 14260.53 FEET, A CENTRAL ANGLE OF 01 DEGREES 57 MINUTES 46 SECONDS, AN ARC LENGTH OF 488.52 FEET, AND A CHORD BEARING AND DISTANCE OF NORTH 83 DEGREES 34 MINUTES 09 SECONDS EAST 488.50 FEET TO AN IRON ROD (NEW); THENCE AROUND A CURVE TO THE RIGHT HAVING A RADIUS OF 50.00, A CENTRAL ANGLE OF 89 DEGREES 06 MINUTES 04 SECONDS, AN ARC LENGTH OF 77.76, AND A CHORD BEARING AND DISTANCE OF SOUTH 80 DEGREES 53 MINUTES 56 SECONDS EAST 70.15 FEET TO AN IRON ROD (NEW) IN THE FUTURE WESTERLY R/W OF GORDEN CROSSING; THENCE WITH GORDEN CROSSING SOUTH 39 DEGREES 20 MINUTES 54 SECONDS EAST, 92.07 FEET TO AN IRON ROD (NEW); THENCE AROUND A CURVE TO THE RIGHT HAVING A RADIUS OF 669.70 FEET, A CENTRAL ANGLE OF 27 DEGREES 59 MINUTES 57 SECONDS, AN ARC LENGTH OF 327.27 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 22 DEGREES 20 MINUTES 58 SECONDS EAST, 39.13 FEET TO AN IRON ROD (NEW); THENCE SOUTH 08 DEGREES 20 MINUTES 58 SECONDS EAST, 39.13 FEET TO AN IRON ROD (NEW); THENCE SOUTH 05 DEGREES 31 MINUTES 05 SECONDS EAST, 48.73 FEET TO AN IRON ROD (NEW); THENCE SOUTH 02 DEGREES 41 MINUTES 13 SECONDS EAST, 36.27 FEET TO AN IRON ROD (NEW); THENCE LEAVING GORDEN CROSSING THROUGH THE REMAINING LANDS OF FIFTH THIRD BANK AND RUNNING ALONG THE NORTHERLY MARGIN OF A FUTURE ACCESS EASEMENT, AROUND A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 89 DEGREES 38 MINUTES 32 SECONDS, AN ARC LENGTH OF 49.11 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 42 DEGREES 08 MINUTES 03 SECONDS WEST 35.24 FEET TO AN IRON ROD (NEW); THENCE SOUTH 86 DEGREES 57 MINUTES 19 SECONDS WEST, 32.31 FEET TO AN IRON ROD (NEW); THENCE SOUTH 81 DEGREES 07 MINUTES 07 SECONDS WEST, 30.63 FEET TO AN IRON ROD (NEW); THENCE AROUND A CURVE TO THE LEFT HAVING A RADIUS OF 115.00 FEET, A CENTRAL ANGLE OF 84 DEGREES 12 MINUTES 58 SECONDS, AN ARC LENGTH OF 108.82 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 59 DEGREES 50 MINUTES 50 SECONDS WEST, 104.80 FEET TO AN IRON ROD (NEW); THENCE SOUTH 32 DEGREES 44 MINUTES 21 SECONDS WEST, 319.69 FEET TO AN IRON ROD (NEW); THENCE AROUND A CURVE TO THE RIGHT HAVING A RADIUS OF 185.00 FEET, A CENTRAL ANGLE OF 21 DEGREES 29 MINUTES 09 SECONDS, AN ARC LENGTH OF 69.37 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 43 DEGREES 28 MINUTES 55 SECONDS WEST, 68.97 FEET TO AN IRON ROD (NEW); THENCE SOUTH 54 DEGREES 13 MINUTES 30 SECONDS WEST, 26.47 FEET TO AN IRON ROD (NEW); THENCE NORTH 37 DEGREES 26 MINUTES 13 SECONDS WEST, 648.32 FEET TO THE POINT OF BEGINNING.

CONTAINING 403,735 SQUARE FEET OR 9.27 ACRES, MORE OR LESS.

UTILITY NOTE

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE IT IS A REQUIREMENT, PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE NOR MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 811.



GENERAL NOTES

- BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983. GPS EQUIPMENT WAS USED TO DETERMINE THE POSITION OF TWO CONTROL POINTS ON THE SURVEYED PROPERTY IN ORDER TO ESTABLISH THE BEARING BASE FOR THE SURVEY. TYPE EQUIPMENT USED: LEICA, MODEL CX1230, DUAL FREQUENCY RECEIVER, THE TYPE OF GPS SURVEY: NETWORK ADJUSTED REAL TIME KINEMATIC. THE RELATIVE POSITIONAL ACCURACY IS 0.05'.
 - THIS PROPERTY IS CURRENTLY ZONED CPUD. MINIMUM YARD REQUIREMENTS TO BE DETERMINED BY CITY OF GALLATIN ZONING ORDINANCE. NO ZONING REPORT WAS PROVIDED AT THIS TIME.
 - BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47165C0409G, WITH AN EFFECTIVE DATE OF APRIL 17, 2012, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT, COMMUNITY NO. 470185, PANEL NO. 0409, SUFFIX G, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 - THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH CHAPTER 0820-4, STANDARDS OF PRACTICE AS ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS, CONFORMS TO THE ACCURACY OF A CATEGORY I SURVEY AS DEFINED IN THE STANDARDS, AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1: 352,737.
 - THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITY NAMED IN THE CERTIFICATE AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON OR ENTITY.
 - THIS SURVEYOR HAS BEEN FURNISHED WITH A COPY OF OLD REPUBLIC TITLE COMPANY COMMITMENT NUMBER 163371, WITH AN EFFECTIVE DATE OF JULY 28, 2016.
- SCHEDULE B - SECTION II OF THE TITLE COMMITMENT HAS DISCLOSED THE FOLLOWING SURVEY RELATED EXCEPTIONS:
- EXCEPTION 8: CLEARANCE PERMIT OF RECORD IN DEED BOOK 115, PAGE 165, SAID REGISTER'S OFFICE. **BLANKET EASEMENT ON PROPERTY, NOT PLOTTABLE.**
- EXCEPTION 9: WATER/SEWER EASEMENT AGREEMENT OF RECORD IN RECORD BOOK 1445, PAGE 637, SAID REGISTER'S OFFICE. **AS SHOWN ON SUBJECT PROPERTY.**
- EXCEPTION 10: RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN KROGER LIMITED PARTNERSHIP I, AN OHIO LIMITED PARTNERSHIP, BELL FARM ESTATES, LLC, A TENNESSEE LIMITED LIABILITY COMPANY, AND SAVANNAH MARKET PLACE, LLC, A TENNESSEE LIMITED LIABILITY COMPANY OF RECORD IN RECORD BOOK 3051, PAGE 234, SAID REGISTER'S OFFICE. **BLANKET EASEMENT; SUBJECT PARCEL IS A PORTION OF PARCEL III ON PLOT PLAN EXHIBIT B.**
- EXCEPTION 11: PUBLIC UTILITIES EASEMENT AGREEMENT OF RECORD IN RECORD BOOK 3129, PAGE 445 AND RECORD BOOK 3180, PAGE 223, SAID REGISTER'S OFFICE. **NEITHER ON SUBJECT PROPERTY.**

SURVEYOR'S STATEMENT

TO: JACKSON-HON GALLATIN LLC: OLD REPUBLIC NATIONAL TITLE INSURANCE GROUP; SUNTRUST BANK, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. THE FIELD WORK WAS COMPLETED ON AUGUST 10, 2016.

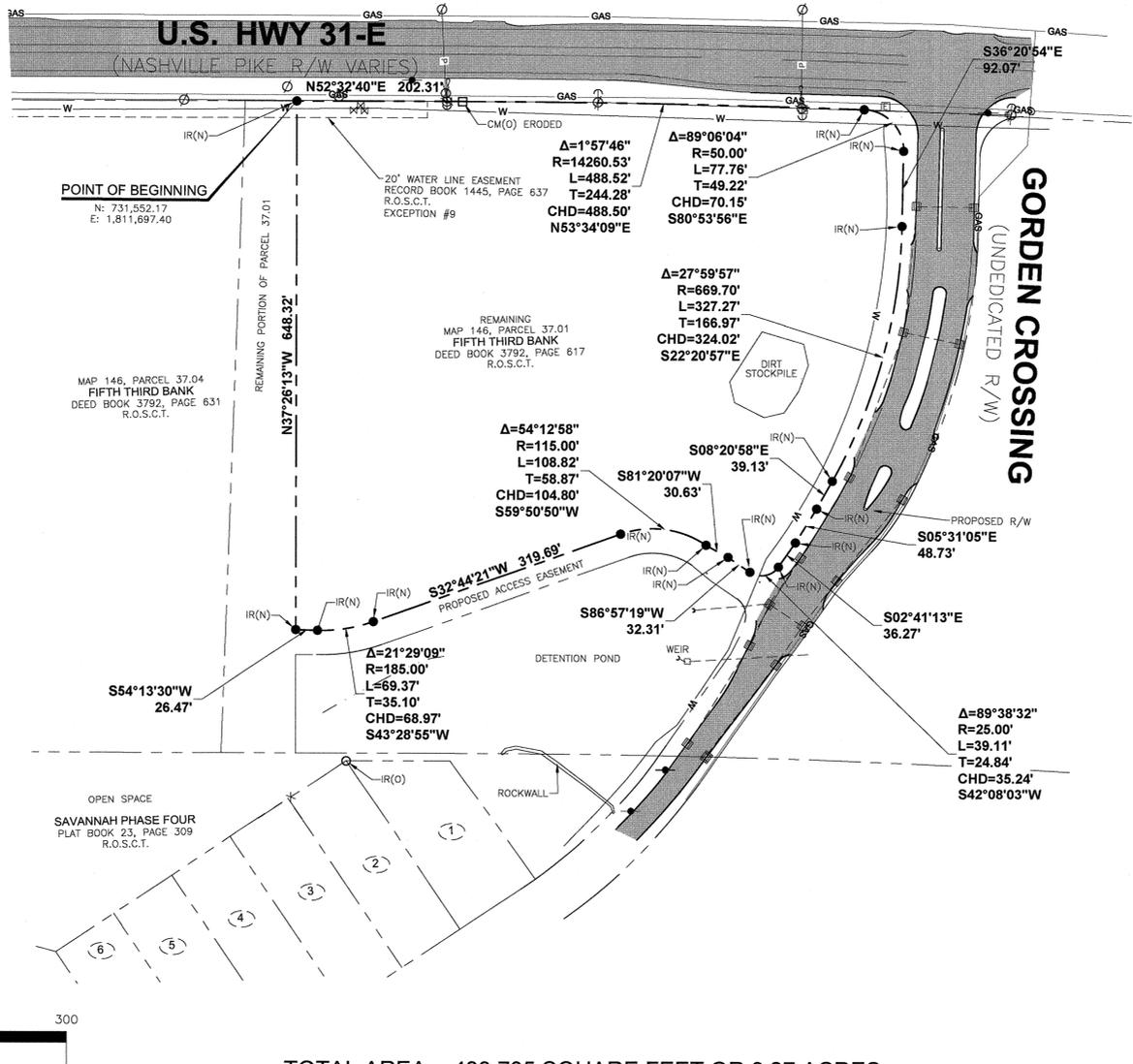
I FURTHER CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH CHAPTER 0820-4, STANDARDS OF PRACTICE AS ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS, CONFORMS TO THE ACCURACY OF A CATEGORY I SURVEY AS DEFINED IN THE STANDARDS, AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1 IN 352,737.

RAGAN-SMITH ASSOCIATES, INC.

BY: TN. R.L.S. No. 2588
SURVEYOR'S PRINTED NAME: DOUGLAS BALL-CHANDLER
DATE: SEPTEMBER 23, 2016

LEGEND

	CONCRETE MONUMENT (OLD)		UTILITY POLE
	IRON ROD (OLD)		UTILITY POLE W/ ANCHOR
	IRON ROD (NEW)		UTILITY POLE W/ LIGHT
	FIRE HYDRANT		GAS VALVE
	WATER VALVE		CABLE TV BOX
	CATCH BASIN		OVERHEAD ELECTRIC POWER LINE
	ELECTRIC BOX		OVERHEAD POWER AND TELEPHONE LINES
	SIGN		SANITARY SEWER LINE
	REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE		GAS LINE
	CONCRETE SURFACE		WATER LINE
	ASPHALT SURFACE		FENCE
			REINFORCED CONCRETE PIPE



TOTAL AREA = 403,735 SQUARE FEET OR 9.27 ACRES ±

RECORD DESCRIPTION

BEING A TRACT OF LAND SITUATED IN THE 4TH CIVIL DISTRICT OF GALLATIN, SUMNER COUNTY TENNESSEE, AND BEING THE EASTERN PORTION OF PARCEL 37.01 LOCATED ON TAX MAP 146, OWNER OF RECORD BEING THE FRANKLIN FAMILY PARTNERSHIP, AS OF RECORD IN RECORD BOOK 1295, PAGE 165, REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN NEW LOCATED AT THE BASE OF AN 8" MAPLE TREE SITUATED IN THE SOUTHERLY RIGHT-OF-WAY OF U.S. HWY. 31-E, THE PIN BEING THE NORTHWEST CORNER OF THE U.S. CORPS OF ENGINEERS PROPERTY, THE SAID PIN BEING LOCATED APPROXIMATELY 115 FEET WEST OF THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY OF GAGES BEND ROAD AND THE SAID SOUTHERLY RIGHT-OF-WAY OF U.S. HWY. 31-E, THE SAID

PIN ALSO BEING THE NORTHEAST CORNER OF THE TRACT DESCRIBED HEREIN;

THENCE, WITH THE SAID CORPS OF ENGINEERS PROPERTY, THE FOLLOWING BEARINGS AND DISTANCES: THENCE, SOUTH 16 DEG 34 MIN 47 SEC WEST, 111.46 FEET TO AN IRON PIN OLD; THENCE, SOUTH 13 DEG 40 MIN 49 SEC EAST, 260.45 FEET TO AN IRON PIN OLD;

THENCE, SOUTH 13 DEG 25 MIN 39 SEC EAST, 399.55 FEET TO AN IRON PIN OLD LOCATED IN THE WATER OF A DRAIN;

THENCE, NORTH 29 DEG 47 MIN 42 SEC EAST, 12.09 FEET TO A POINT IN THE WATER OF THE SAID DRAIN, THE SAID POINT BEING IN THE WESTERLY RIGHT-OF-WAY OF GAGES BEND ROAD;

THENCE, WITH THE SAID RIGHT-OF-WAY OF GAGES BEND ROAD, SOUTH 02 DEG 14 MIN 33 SEC EAST, 113.02 FEET TO A POINT LOCATED IN THE DRAIN;

THENCE, LEAVING THE SAID RIGHT-OF-WAY AND WITH A SEVERANCE LINE, THE SEVERANCE LINE BEING THE NEWLY ESTABLISHED CITY LIMIT LINE BETWEEN THE CITY OF GALLATIN AND THE CITY OF HENDERSONVILLE, THE FOLLOWING BEARINGS AND DISTANCES:

THENCE, WITH A CURVE TO THE LEFT, THE SAID CURVE HAVING A RADIUS OF 13,449.53 FEET, A DELTA ANGLE OF 03 DEG 29 MIN 31 SEC, A CHORD BEARING OF SOUTH 59 DEG 40 MIN 32 SEC WEST, A CHORD DISTANCE OF 819.56 FEET, FOR AN ARC LENGTH OF 819.69 FEET TO AN IRON PIN OLD;

THENCE, NORTH 32 DEG 04 MIN 13 SEC WEST, 11.00 FEET TO AN IRON PIN OLD;

THENCE, WITH A CURVE TO THE LEFT, THE SAID CURVE HAVING A RADIUS OF 13,460.53 FEET, A DELTA ANGLE OF 05 DEG 26 MIN 54 SEC, A CHORD BEARING OF SOUTH 55 DEG 12 MIN 20 SEC WEST, A CHORD DISTANCE OF 1,279.52 FEET, FOR AN ARC LENGTH OF 1,280.00 FEET TO AN IRON PIN OLD;

THENCE, SOUTH 52 DEG 33 MIN 47 SEC WEST, 253.74 FEET TO AN IRON PIN NEW;

THENCE, NORTH 35 DEG 57 MIN 12 SEC WEST, 800.27 FEET TO AN IRON PIN NEW, THE SAID PIN BEING SITUATED IN THE SOUTHERLY RIGHT-OF-WAY OF U.S. HWY. 31-E;

THENCE, WITH THE SAID SOUTHERLY RIGHT-OF-WAY, THE FOLLOWING BEARINGS AND DISTANCES: THENCE, NORTH 52 DEG 33 MIN 47 SEC EAST, 272.00 FEET TO A CONCRETE MONUMENT OLD (T.D.O.T.);

THENCE, WITH A CURVE TO THE RIGHT, THE SAID CURVE HAVING A RADIUS OF 14,260.53 FEET, A DELTA ANGLE OF 05 DEG 17 MIN 14 SEC, A CHORD BEARING OF NORTH 55 DEG 17 MIN 10 SEC EAST, A CHORD DISTANCE OF 1,315.49 FEET, FOR AN ARC LENGTH OF 1,315.95 FEET TO AN IRON PIN OLD;

THENCE, SOUTH 32 DEG 04 MIN 13 SEC EAST, 11.00 FEET TO A CONCRETE MONUMENT OLD (T.D.O.T.);

THENCE, WITH A CURVE TO THE RIGHT, THE SAID CURVE HAVING A RADIUS OF 14,249.53 FEET, A DELTA ANGLE OF 03 DEG 30 MIN 39 SEC, A CHORD BEARING OF NORTH 59 DEG 41 MIN 07 SEC EAST, A CHORD DISTANCE OF 873.04 FEET, FOR AN ARC LENGTH OF 873.18 FEET TO AN IRON PIN OLD;

THENCE, NORTH 28 DEG 33 MIN 33 SEC WEST, 11.00 FEET TO A CONCRETE MONUMENT OLD (T.D.O.T.);

THENCE, NORTH 61 DEG 26 MIN 27 SEC EAST, 285.53 FEET TO THE POINT OF BEGINNING; CONTAINING: 2,026,098 SQUARE FEET OR 46.51 ACRES, MORE OR LESS. NOTE: INCLUDED IN THE AREA LIST IS 65,841 SQUARE FEET ALLOTTED FOR THE FUTURE DEDICATION OF PUBLIC RIGHT-OF-WAY NOTED AS BEING THE PROPOSED GORDEN CROSSING.

INCLUDED IN THE ABOVE DESCRIBED PROPERTY, BUT EXPRESSLY EXCLUDED FROM THIS CONVEYANCE IS THE FOLLOWING DESCRIBED PROPERTY CONVEYED IN RECORD BOOK 3051, PAGE 229, SAID REGISTER'S OFFICE:

BEING A TRACT OF LAND SITUATED IN THE 4TH CIVIL DISTRICT OF GALLATIN, SUMNER COUNTY, TENNESSEE, AND BEING THE NORTHEAST CORNER OF PARCEL 37.01 LOCATED ON TAX MAP 146, OWNER OF RECORD BEING THE BELL FARM ESTATES, L.L.C., AS OF RECORD IN RECORD BOOK 2068, PAGE 301, REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN OLD LOCATED AT THE BASE OF AN 8" MAPLE TREE SITUATED IN THE SOUTHERLY RIGHT-OF-WAY OF U.S. HWY. 31-E, THE PIN BEING THE NORTHWEST CORNER OF THE U.S. CORPS OF ENGINEERS PROPERTY, THE SAID PIN BEING LOCATED APPROXIMATELY 115 FEET WEST OF THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY OF GAGES BEND ROAD AND THE SAID SOUTHERLY RIGHT-OF-WAY OF U.S. HWY 31-E, THE SAID PIN ALSO BEING THE NORTHEAST CORNER OF THE TRACT DESCRIBED HEREIN;

THENCE, WITH SAID CORPS OF ENGINEERS PROPERTY, THE FOLLOWING BEARINGS AND DISTANCES: THENCE, SOUTH 16 DEG 34 MIN 47 SEC WEST, 111.46 FEET TO AN IRON PIN OLD; THENCE, SOUTH 13 DEG 40 MIN 49 SEC EAST, 260.45 FEET TO AN IRON PIN OLD;

THENCE, SOUTH 13 DEG 25 MIN 39 SEC EAST, 399.55 FEET TO AN IRON PIN OLD LOCATED IN THE WATER OF A DRAIN;

THENCE, NORTH 29 DEG 47 MIN 42 SEC EAST, 12.09 FEET TO A POINT IN THE WATER OF THE SAID DRAIN, THE SAID POINT BEING IN THE WESTERLY RIGHT-OF-WAY OF GAGES BEND ROAD;

THENCE, WITH SAID RIGHT-OF-WAY OF GAGES BEND ROAD, SOUTH 02 DEG 14 MIN 33 SEC EAST, 113.02 FEET TO A POINT LOCATED IN THE DRAIN;

THENCE, LEAVING SAID RIGHT-OF-WAY AND WITH THE OPEN SPACE OF SAVANNAH PHASE FOUR OF RECORD IN PLAT BOOK 23, PAGE 309, SAID LINE BEING THE ESTABLISHED CITY LIMIT LINE BETWEEN THE CITY OF GALLATIN AND THE CITY OF HENDERSONVILLE, THE FOLLOWING BEARINGS AND DISTANCES:

THENCE, WITH A CURVE TO THE LEFT, THE SAID CURVE HAVING A RADIUS OF 13,449.53 FEET, A DELTA ANGLE OF 03 DEG 29 MIN 31 SEC, A CHORD BEARING OF SOUTH 59 DEG 40 MIN 32 SEC WEST, A CHORD DISTANCE OF 819.56 FEET, FOR AN ARC LENGTH OF 819.69 FEET TO AN IRON PIN OLD;

THENCE, NORTH 32 DEG 04 MIN 13 SEC WEST, 11.00 FEET TO AN IRON PIN OLD;

THENCE, WITH A CURVE TO THE LEFT, THE SAID CURVE HAVING A RADIUS OF 13,460.53 FEET, A DELTA ANGLE OF 05 DEG 26 MIN 54 SEC, A CHORD BEARING OF SOUTH 55 DEG 12 MIN 20 SEC WEST, A CHORD DISTANCE OF 1,279.52 FEET, FOR AN ARC LENGTH OF 1,280.00 FEET TO AN IRON PIN OLD;

THENCE, SOUTH 52 DEG 33 MIN 47 SEC WEST, 253.74 FEET TO AN IRON PIN OLD;

THENCE, NORTH 35 DEG 57 MIN 12 SEC WEST, 800.27 FEET TO AN IRON PIN NEW, THE SAID PIN BEING SITUATED IN THE SOUTHERLY RIGHT-OF-WAY OF U.S. HWY. 31-E;

THENCE, WITH THE SAID SOUTHERLY RIGHT-OF-WAY, THE FOLLOWING BEARINGS AND DISTANCES: THENCE, NORTH 52 DEG 33 MIN 47 SEC EAST, 272.00 FEET TO A CONCRETE MONUMENT OLD (T.D.O.T.);

THENCE, WITH A CURVE TO THE RIGHT, THE SAID CURVE HAVING A RADIUS OF 14,260.53 FEET, A DELTA ANGLE OF 05 DEG 17 MIN 14 SEC, A CHORD BEARING OF NORTH 55 DEG 17 MIN 10 SEC EAST, A CHORD DISTANCE OF 1,315.49 FEET, FOR AN ARC LENGTH OF 1,315.95 FEET TO AN IRON PIN OLD;

THENCE, SOUTH 32 DEG 04 MIN 13 SEC EAST, 11.00 FEET TO A CONCRETE MONUMENT OLD (T.D.O.T.);

THENCE, WITH A CURVE TO THE RIGHT, THE SAID CURVE HAVING A RADIUS OF 14,249.53 FEET, A DELTA ANGLE OF 03 DEG 30 MIN 39 SEC, A CHORD BEARING OF NORTH 59 DEG 41 MIN 07 SEC EAST, A CHORD DISTANCE OF 873.04 FEET, FOR AN ARC LENGTH OF 873.18 FEET TO AN IRON PIN OLD;

THENCE, NORTH 28 DEG 33 MIN 33 SEC WEST, 11.00 FEET TO A CONCRETE MONUMENT OLD (T.D.O.T.);

THENCE, NORTH 61 DEG 26 MIN 27 SEC EAST, 285.53 FEET TO THE POINT OF BEGINNING AND CONTAINING 793,763 SQUARE FEET OR 18.222 ACRES, MORE OR LESS.

BEING THE SAME PROPERTY CONVEYED TO FIFTH THIRD BANK, AN OHIO BANKING CORPORATION, BY DEED FROM STEPHEN C. BAKER, SUBSTITUTE TRUSTEE, OF RECORD IN RECORD BOOK 3792, PAGE 617, DATED JUNE 19, 2013, REGISTER'S OFFICE FOR SUMNER COUNTY, TENNESSEE.

NOTE: THE INSURED PROPERTY WILL BE A PORTION OF THE AFOREMENTIONED ACREAGE TRACT, IDENTIFIED AS A 9.3 ACRE TRACT, MORE OR LESS.

RAGAN-SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
CHATTANOOGA
1400 DOWNS DRIVE
NASHVILLE, TENNESSEE 37203
(615) 244-8801
www.ragan-smith.com

FIFTH THIRD BANK PROPERTY
FOR
COLDWELL BANKER COMMERCIAL MECA
4TH CIVIL DISTRICT, CITY OF GALLATIN, SUMNER COUNTY, TENNESSEE

JOB NO. 03-143
WK. ORDER 0630
APPROVED: DBC
DRAWN: BKB
SCALE: 1"=100'
DATE: SEPTEMBER 23, 2016
REVISIONS

ALT/NSPS
LAND TITLE
SURVEY

1 OF 1

DOUGLAS BALL-CHANDLER, SURVEYOR IN TENNESSEE, A.L.T. PLANS PLOTTED BY DOUGLAS BALL-CHANDLER ON 9/23/2016 10:01 AM. LAST UPDATED BY DBC ON 9/20/2016 1:38 PM.

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL MASTER DEVELOPMENT PLAN FOR VINTAGE AT FOXLAND HARBOR, TO CONSTRUCT 206 MULTI-FAMILY DWELLING UNITS AND CREATE ONE (1) NEW PUBLIC RIGHT-OF-WAY, ON A 14.27 (+/-) ACRE PARCEL, LOCATED SOUTH OF NASHVILLE PIKE (U.S. HIGHWAY 31E) AND WEST OF DOUGLAS BEND ROAD. (8-2590-16)

WHEREAS, the applicant submitted an application for approval of a Final Master Development Plan, for Vintage at Foxland Harbor, consistent with Section 12.02 of the City of Gallatin Zoning Ordinance, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Final Master Development Plan submitted by the applicant, Site Engineering Consultants, Inc. at its regular meeting on October 24, 2016, and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the Final Master Development Plan application, materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. §13-3-413; §13-4-310; §13-7-201; and §13-7-202 and Section 12.02.030, G.Z.O.:

1. The Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* and in particular, the Regional Activity Center Character Area.
2. The Final Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district, the Foxland Crossing Amended Preliminary Master Development Plan and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in the MU zoning district.
3. The Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
4. The legal purposes for which zoning regulations exists have not been contravened.
5. The Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by

applying design and performance standards or is justified by the public good or welfare.

6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves a Final Master Development Plan for Vintage at Foxland Harbor, consisting of a 27 sheet plan prepared by Site Engineering Consultants of Murfreesboro, TN, with S.E.C. Project #16010, dated August 1, 2016 with a final revision date of October 13, 2016, a one (1) sheet photometric plan prepared by ED/A of Tulsa, OK, with Job No. 216014, dated August 1, 2016, a six (6) sheet landscape plan prepared by Alaback Design Associates of Tulsa, OK, with Job No. 216014, dated August 1, 2016, and a 12 sheet architecture plan prepared by Parker Associates Tulsa, of Tulsa, OK, with Job No. 216014, dated August 1, 2016, with the following conditions:

1. Provide construction plans and construct a section of Foxland Boulevard from Vintage Foxland Harbor to a point on the east line of the TVA Easement SE of the project site.
2. Coordinate the proposed roadway improvements with TVA to ensure that the use of the TVA transmission line easement is not compromised.
3. Correct the Finish Floor Elevations for Buildings No. 2 and No. 4.
4. A separate set of construction plans and drainage calculations will need to be submitted and approved prior to the issuance of a grading permit.
5. Submit a final plat to dedicate the right-of-way for Vintage Foxland Harbor.
6. Provide a copy of the TDOT permit/letter for construction of the right hand turn lane into Vintage Foxland Harbor prior to the issuance of a grading permit.
7. A COE permit/letter will be required for final approval to fill in the flowage easement for Vintage Foxland Harbor prior to the issuance of a grading permit.
8. A TVA permit/letter will be required for final approval for the location of Vintage Foxland Harbor located under the power lines prior to the issuance of a grading permit.
9. A signal contribution will be required at the intersection of the Vintage Foxland Harbor and Nashville Pike based on the traffic volume projections for this specific project relative to the total traffic volume. This amount will need to be determined by the City Engineer prior to the issuance of a grading permit. However; a commitment letter from the current property owner may be submitted in lieu of this requirement provided the letter states the owner's financial commitment to build the future signalization and cover the costs.
10. Submit three (3) corrected folded copies of the Final Master Development Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.
PRESENT AND VOTING

AYE:

NAY:

DATED: 10/24/16

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
City Attorney



ITEM 10

PLANNING DEPARTMENT STAFF REPORT

Final Master Development Plan for Vintage at Foxland Harbor
(File# 8-2590-16)

Located South of Nashville Pike and West of Douglas Bend Road
Date: October 24, 2016

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR VINTAGE AT FOXLAND HARBOR TO CONSTRUCT 206 MULTI-FAMILY DWELLING UNITS AND CREATE ONE (1) NEW PUBLIC RIGHT-OF-WAY, ON 14.27 (+/-) ACRES, LOCATED SOUTH OF NASHVILLE PIKE (U.S. HIGHWAY 31E) AND WEST OF DOUGLAS BEND ROAD.

OWNER: WILSON BANK & TRUST
APPLICANT: SEC, INC. (MATT TAYLOR)
STAFF RECOMMENDATION: RECOMMEND APPROVAL OF RESOLUTION 2016-124
STAFF CONTACT: KEVIN CHASTINE
PLANNING COMMISSION DATE: OCTOBER 24, 2016

PROPERTY OVERVIEW: The owner and applicant requests approval of a Final Master Development Plan for Vintage at Foxland Harbor to construct 206 multi-family dwelling units and create one (1) new public right-of-way, on 14.27 (+/-) acres, located south of Nashville Pike (U.S. Highway 31) and west of Douglas Bend Road. The Dwelling, Multi-Family use is a permitted use within the Mixed Use (MU) zone district. (Attachment 10-1)

CASE BACKGROUND:

Previous Approvals

The original Preliminary Master Development Plan for Foxland at Fairvue was approved by the Planning Commission on November 28, 2005 and was approved by the City Council in February 7, 2006. As part of that original approval, no development plan or uses were proposed for Phases 11-16. However, as a condition of approval, each phase requires a separate Preliminary Master Development Plan.

On May 19, 2008, the Planning Commission recommended approval of a Preliminary Master Development Plan (File #3-12-08) for Phases 12 and 13 of the original Foxland at Fairvue PMDP. The PMDP included a 298 unit multi-family development (Phase 13) and 72 townhouses (Phase 12). On July 15, 2008, City Council approved the Preliminary Master Development Plan (Ordinance #OØ8Ø6-42).

On September 22, 2008, the Planning Commission approved a Final Master Development Plan (File# 8-39-08) for a 298 unit multi-family development (Waterstone) (Now Known as Foxland Crossing Apartments).

On September 26, 2011, the Planning Commission approved an amended Preliminary Master Development Plan for Foxland Phases 11 through 16 (File #9872-11). The changes to the multi-family site (Phase 13) layout were approved as a minor amendment.

On June 25, 2012, the Planning Commission approved a Final Master Development Plan for Foxland Crossing Apartments, a 300 unit multi-family development. (File #0011-12) (Attachment 10-2)

On June 22, 2015, the Planning Commission recommended approval of an Amended Preliminary Master Development Plan for Foxland Crossing Phase 12, and 14 through 16 (File# 3-705-15). On September 1, 2015, the City Council approved the Amended Preliminary Master Development Plan on second reading. (Ord. No. O1507-47) (Attachment 10-3)

On December 14, 2015, the Planning Commission approved a Final Master Development Plan for Phase 12A of Foxland Crossing (File# 8-1317-15).

On March 28, 2016, the Planning Commission approved a Preliminary Plat for Foxland Crossing Phase 12-A (File# 1-1582-16B).

On April 25, 2016 the Planning Commission recommended approval of an Amended Preliminary Master Development Plan for Foxland Crossing (File #3-1695-16). On June 21, 2016, the City Council approved the Amended Preliminary Master Development Plan on second reading. (Ord. No. O1605-32) (Attachment 10-4)

Natural Features

The natural topography of the existing vacant lot slopes from the highest point of elevation (483') located at the southeast and southwest corners of the project site towards the lowest point of elevation (448') located near the northern property boundary, adjacent to Nashville Pike. Based on FEMA FIRM Map 47165C0407G and 47165C0409G, no portion of the site is located within a special flood hazard area.

Adjacent or Area Uses

To the north are two (2) commercial outparcels approved as Phase 16 of Foxland Crossing, zoned Mixed Use (MU); to the south is the remaining vacant portion of Tax Map 136 Parcel 27.01, which is Foxland Crossing Phase 14 and Phase 12B, zoned Mixed Use (MU); to the east is Foxland Crossing Apartments, zoned Mixed Use (MU); and to the west is Young's Nursery and Greenhouses, zoned Multiple Residential and Office (MRO).

DISCUSSION:

Proposed Development

The owner and applicant is requesting approval a Final Master Development Plan for Vintage at Foxland Harbor to construct 206 multi-family dwelling units and create one (1) new public right-of-way, on 14.27 (+/-) acres. The project is located south of Nashville Pike (U.S. Highway 31E) and west of Douglas Bend Road. The Dwelling, Multi-Family use is a permitted use within the Mixed Use (MU) zone district. (Attachment 10-5)

Gallatin on the Move 2020 General Development Plan

The Gallatin on the Move 2020 General Development Plan designates this parcel as part of the Regional Activity Center Character Area. The Mixed Use (MU) zoning district is listed as an applicable zoning district for this Character Area. The Character Area also lists large scale apartments and townhomes as a primary land use. Therefore, the proposed 206 unit multi-family development is consistent with the Regional Activity Center Character Area designation.

Access Management

The FMDP includes one (1) new public right-of-way to be named Vintage Foxland Harbor. This complies with the Major Thoroughfare Plan project number 26 (Page 4-19) of Gallatin on the Move 2020 General Development Plan. The currently approved Amended PMDP shows this right-of-way extending approximately 360 linear feet southward from Nashville Pike to a roundabout, then extending to the east and south again until reaching a future connection to the Foxland Boulevard extension. The public right-of-way will be located within a portion of the T.V.A. easement between the proposed Vintage at Foxland Harbor multi-family development and the existing Foxland Crossing multi-family development. The applicant shall provide assurance that the TVA easement is eligible for use as roadways are shown on the plans.

The proposed right-of-way will be 60 feet in width and the roadway will be constructed with 33 feet width pavement from Nashville Pike to the roundabout. To the east and south of the roundabout, the right-of-way reduces to 50 feet in width with a pavement width of 24 feet. The street will include a six (6) foot wide sidewalk on one side and an eight (8) foot sidewalk/greenway on the opposite side.

Three (3) driveways access the public right-of-way from the residential development, and at least two (2) driveways will serve the commercial parcels along Nashville Pike. The first residential driveway serves as the south side approach to the roundabout and provides access into the multi-family development between Building No. 1 and Building No. 2. The residential second driveway is located on the northeast corner of the site, where the right-of-way turns south. This driveway will provide an additional access to the existing Foxland Crossing Apartments development. The secondary access for Foxland Crossing Apartments was required as part of previous approvals. The third residential driveway provides access to the parking areas behind Building #2 and Building #3. To comply with access management requirements, the driveways for the commercial parcels are located approximately 300 feet south of Nashville Pike.

Additionally, the development will be adding a right turn lane on Nashville Pike and will extend Foxland Boulevard from the current terminus within Foxland Crossing Phase 12A to Vintage Foxland Harbor at the southeast corner of the Vintage at Foxland Harbor development. The Foxland Harbor Boulevard extension plans will need to be added to the FMDP.

Architectural Designs

The Vintage at Foxland Harbor consists of 206 units contained within seven (7) buildings and a total of 287,508 square feet. There are two (2) different types of buildings, with the

primary difference being the roof structure. Buildings No.1 and No. 2 are flat roofed, and Buildings No. 3 through No. 7 are topped with complex hipped roof systems.

Buildings No. 1 and No. 2

Buildings No. 1 and No. 2 are located on the south side of the roundabout and are designed to create an urban appearance for the development. (See Plan Sheets AB15-16 and AB 31-32). These buildings are three (3) stories in height with a maximum height of 38 feet and eight (8) inches. The buildings have flat roofs and internal corridors with elevators at the ends of the hallways. The architectural design is consistent on all four (4) elevations with between 76.8 to 81.4 percent brick on Building No. 1 and between 80.8 to 81.9 percent masonry on Building No. 2. The masonry sheathes the bottom two (2) floors on each of the buildings with a portion of the third floor sheathed in either brick or stucco finished cement fiber board. The elevations contain architectural details such as herringbone brick details between first and second floor windows, brick arches on first floor windows, and pre-cast stone window sills and arches.

Buildings No. 3 through No. 7

Buildings No. 3 through No. 7 are located south of Buildings No. 1 and No. 2. These buildings will be primarily visible from the proposed Vintage Foxland Harbor public right-of-way along the east boundary of the development and along the future extension of Foxland Boulevard to the south. These buildings are three (3) stories in height with a maximum ridgeline height of 45 feet and five (5) inches. (See Plan Sheets AB37, AB 42, AB54-55) The buildings continue the architectural continuity with Building No. 1 and No. 2 but have complex hipped roof systems instead of flat roofs. Also, these buildings have breezeways instead of internal hallways and corridors. The architectural design is consistent on all four (4) elevations with between 75 to 79.2 percent masonry on Building No. 3, between 71 to 74.6 percent masonry on Building No. 4 and 7, between 74.6 to 77.5 percent masonry on Building No. 5, and between 74.6 to 77.6 percent masonry on Building No. 6. These buildings are sheathed with brick similar to Buildings No. 1 and No. 2 but also use stone on the areas adjacent to the breezeways and provide garages on the first floor. Buildings No. 3, 4, and 7 have six (6) garages on the rear elevations of the buildings. Building No. 6 contains 12 garages on the rear elevation because it is nearly double the width of the other buildings.

All seven (7) proposed buildings exceed the 70 percent masonry requirement in Section 13.08 of the Gallatin Zoning Ordinance. Staff recommends the Planning Commission approve the architectural elevations as submitted.

The Finish Floor Elevations for Buildings No. 2 and No. 4 will need to be corrected.

Signage

The applicant provided a conceptual sign with the Preliminary Master Development Plan. (See Sheet SD1) The monument sign is will located within the open space area of the proposed roundabout at the entrance to the development from Nashville Pike. This portion of the roundabout will not be City maintained right-of-way and will be platted as a open space tract to be owned by the apartment complex. The sign is a four (4) foot high curvilinear wall that is 40 feet in width. The curve of the sign mirrors the radius of the roundabout. The sign increases to six (6) feet and four (4) inches in height for a length of

twelve (12) feet at the center of the wall. The six (6) foot and four (4) inch high area of the wall is the location of the eight (8) inch metal lettering that will be lit by ground-mounted lighting.

Open Space/Bufferyards/Landscaping

The development site is zoned Mixed Use and bordered to the north, south, and east by Mixed Use zoned property, which requires a Type 10 Bufferyard. To the west, the development is bordered by property zoned Multiple Residential and Office (MRO), which requires a Type 15 Bufferyard.

The FMDP shows the required Type 10 Bufferyard within a significant slope along the southern boundary and the eastern property boundary. (See Sheets 8 and 9, 17 and 18, LS 1.1 – 1.4) The developer is requesting an alternative bufferyard for a portion of the eastern boundary and the entire northern and western property boundary. A TVA easement and TVA power lines cross the development site on the northeast and eastern portion of the property, which limits the developer's ability to plant the required landscape material for a portion of the Type 10 bufferyard. A 20 foot Public Utility and Drainage Easement runs parallel to the northern property boundary, which restricts the planting of landscape material in this area. The developer has located the required landscape material adjacent to the proposed roundabout and along the proposed new public right-of-way. In addition, due to the steep slope of the south boundary, no landscaping is proposed in the bufferyard. However, landscaping will be placed in the yard areas between the buildings and the required bufferyard area.

Along the western property boundary, the developer proposes to install a more extensive buffer than the required Type 15 Bufferyard, due to the adjacent greenhouses. After meeting with the adjacent property owner, the developer is proposing a four (4) foot high berm along the entire western property boundary that will be topped with 82 evergreen trees (34 Withcia Blue Juniper, 27 Leyland Cypress, and 21 Nellie Stevens Holly) planted in a dense triangular pattern to create an opaque barrier. The berm will range from 4-10' in height and include a retaining wall along portions of the bufferyard.

The landscape plans also provides all necessary parking lot screening along the public right-of-way, all required internal parking lot trees, and details of the typical building foundation plantings and HVAC screening.

Staff recommends the Planning Commission approve the alternative bufferyards and landscape plan as submitted.

Parking

The Dwelling, Multi-Family use requires two (2) parking spaces per dwelling unit. The 206 dwelling units require a total of 412 parking spaces, with at least nine (9) handicapped parking spaces. The plan provides 449 total parking spaces – 360 surface spaces, 36 garage spaces (in buildings 3, 4, 5, 6, and 7), 36 Tandem Spaces (located in front of garage doors), 16 handicapped parking spaces and one (1) handicapped accessible garage.

Photometric Plan

The Photometric Plan (Sheet SL1) complies with Table 13-04 of the Gallatin Zoning Ordinance. Along the western property boundary, adjacent to the existing greenhouses and plant nursery, the Photometric Plan shows 0.0 foot candle measurements along the entire shared property boundary.

Three light fixtures adjacent to the parking are shown approximately 45' from the west property boundary.

Planning Department Comments

The Planning Department reviewed and commented on the Final Master Development Plan. The applicant satisfactorily addressed the Planning Department comments, except those listed as conditions of approval.

Engineering Division Comments

The Engineering Division reviewed and commented on the Final Master Development Plan. The applicant satisfactorily addressed the Engineering Division comments, except those listed as conditions of approval.

FINDINGS:

1. The Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, the Regional Activity Center Character Area classification.
2. The Final Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in the MU zoning district.
3. The Final Master Development Plan complies with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
4. The legal purposes for which zoning regulations exists have not been contravened.
5. The Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
6. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

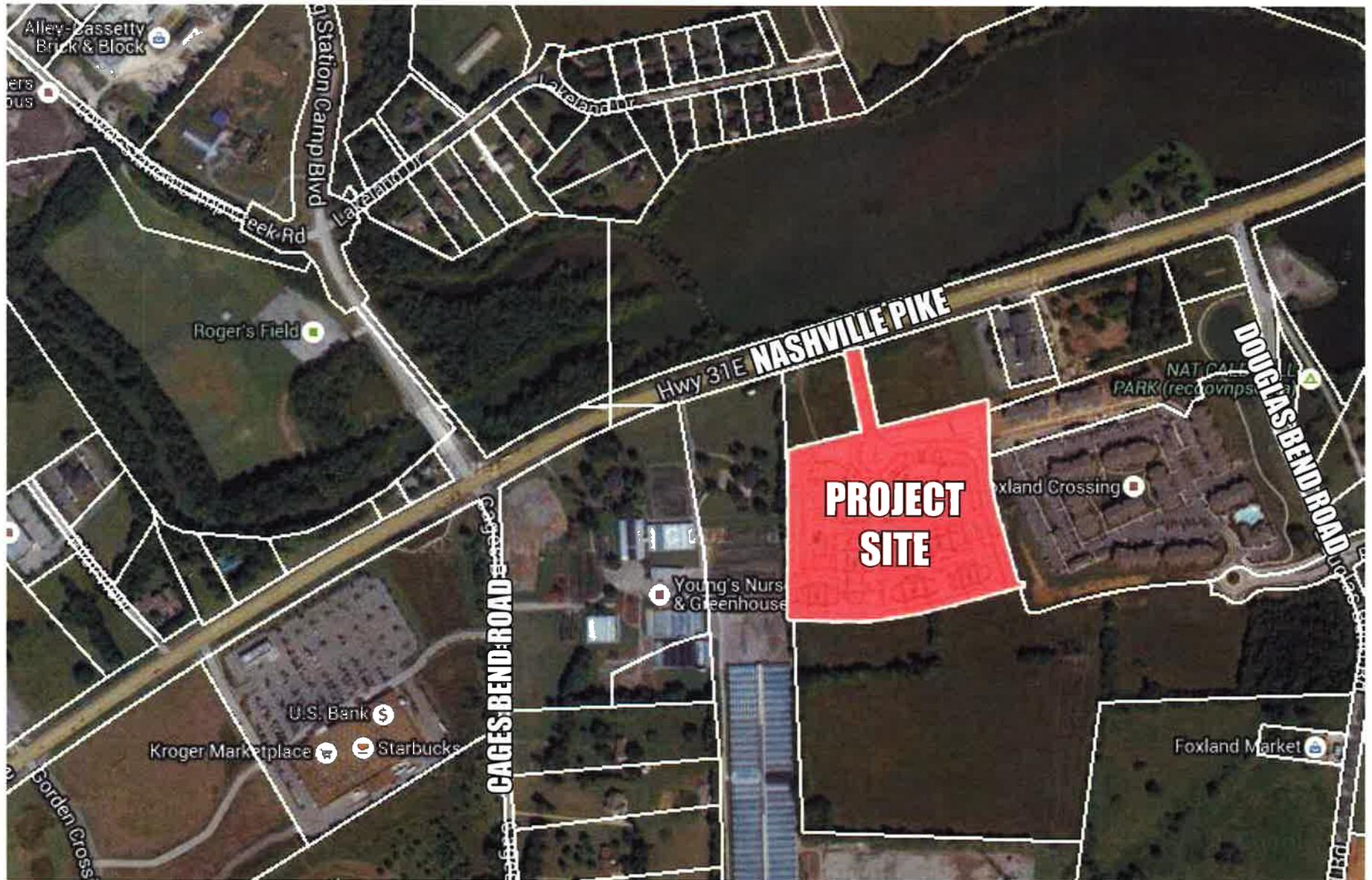
Staff recommends that the Planning Commission approve Resolution 2016-124, a Final Master Development Plan for Vintage at Foxland Harbor, consisting of a 27 sheet plan prepared by Site Engineering Consultants of Murfreesboro, TN, with S.E.C. Project #16010, dated August 1, 2016 with a final revision date of October 13, 2016, a one (1) sheet photometric plan prepared by ED/A of Tulsa, OK, with Job No. 216014, dated August 1, 2016, a six (6) sheet landscape plan prepared by Alaback Design Associates of Tulsa, OK, with Job No. 216014, dated August 1, 2016, and a 12 sheet architecture plan prepared by Parker Associates Tulsa, of Tulsa, OK, with Job No. 216014, dated August 1, 2016, with the following conditions:

1. Provide construction plans and construct a section of Foxland Boulevard from Vintage Foxland Harbor to a point on the east line of the TVA Easement SE of the project site.
2. Coordinate the proposed roadway improvements with TVA to ensure that the use of the TVA transmission line easement is not compromised.
3. Correct the Finish Floor Elevations for Buildings No. 2 and No. 4.
4. A separate set of construction plans and drainage calculations will need to be submitted and approved prior to the issuance of a grading permit.
5. Submit a final plat to dedicate the right-of-way for Vintage Foxland Harbor.
6. Provide a copy of the TDOT permit/letter for construction of the right hand turn lane into Vintage Foxland Harbor prior to the issuance of a grading permit.
7. A COE permit/letter will be required for final approval to fill in the flowage easement for Vintage Foxland Harbor prior to the issuance of a grading permit.
8. A TVA permit/letter will be required for final approval for the location of Vintage Foxland Harbor located under the power lines prior to the issuance of a grading permit.
9. A signal contribution will be required at the intersection of the Vintage Foxland Harbor and Nashville Pike based on the traffic volume projections for this specific project relative to the total traffic volume. This amount will need to be determined by the City Engineer prior to the issuance of a grading permit. However; a commitment letter from the current property owner may be submitted in lieu of this requirement provided the letter states the owner's financial commitment to build the future signalization and cover the costs.
10. Submit three (3) corrected folded copies of the Final Master Development Plan, including one (1) full size and two (2) half size copies, to the Planning Department.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City)

ATTACHMENTS

- | | |
|--------------------------|--|
| Attachment 10 – 1 | Location Map of Vintage at Foxland Harbor |
| Attachment 10 – 2 | Foxland Crossing Apartments FMDP (PC0011-12) |
| Attachment 10 – 3 | Foxland Crossing PMDP (PC File# 3-705-15) |
| Attachment 10 – 4 | Vintage at Foxland Harbor – PMDP (PC File# 3-1695-16) |
| Attachment 10 – 5 | Vintage at Foxland Harbor - FMDP |

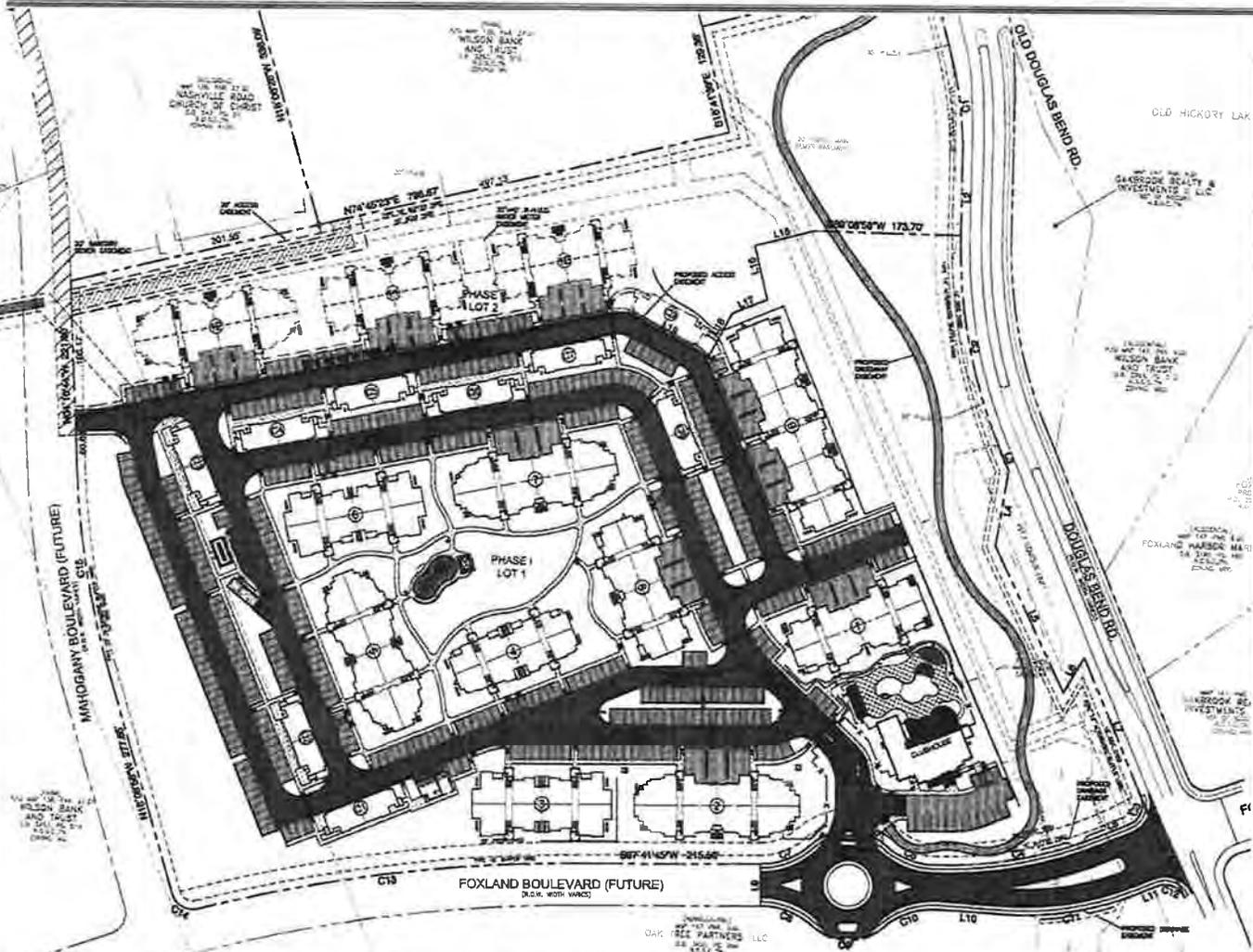


Prepared By: Kevin Chastine, AICP
Prepared On: October 24, 2016

Location Map

Vintage at Foxland Harbor
FMDP
PC File# 8-2590-16





SITE DATA:

PROPOSED SITE:
 THE PROJECT OF THIS PLAN IS A COMMERCIAL DEVELOPMENT FOR PHASE I OF THE WHOLESALE FOOD MARKET AT THE INTERSECTION OF FOXLAND BOULEVARD AND DOUGLAS BEND ROAD. THE PROJECT WILL BE DEVELOPED IN ACCORDANCE WITH THE CITY OF GALATIN ZONING ORDINANCE.

PROJECT INFORMATION:
 Project Name: Phase I & II
 Project Location: 1000 FOXLAND BOULEVARD, GALATIN, TENNESSEE 37038
 Project Owner: RACON SMITH
 Project Engineer: RACON SMITH
 Project Date: 10/20/11
 Project No: 11-035

EXISTING CONDITIONS:
 The site is currently undeveloped. The existing site is a large open area with some utility lines and easements. The site is bounded by Douglas Bend Road to the east and Foxland Boulevard (Future) to the south.

PROPOSED CONDITIONS:
 The proposed development consists of a large commercial building with a parking lot. The building will be located on the east side of the site, and the parking lot will be located on the west side. The site will be developed in accordance with the City of Galatin Zoning Ordinance.

UTILITIES:
 The site is served by the following utilities:
 - Electric: 120V/240V
 - Gas: 60 PSI
 - Water: 1/2" DIAMETER
 - Sewer: 12" DIAMETER
 - Stormwater: 18" DIAMETER

PAVEMENT LEGEND:
 HEAVY DUTY ASPHALT PAVEMENT
 LIGHT DUTY ASPHALT PAVEMENT
 CONCRETE PAVEMENT
 CONCRETE (P/A)

NOTE:
 RETAINING WALL DESIGN AND CALCULATIONS SHALL BE SUBMITTED TO CITY OF GALATIN ENGINEERING DIVISION FOR REVIEW PRIOR TO CONSTRUCTION.

DEVELOPMENT SCHEDULE:
 START: JULY 2012
 COMPLETE: SEPT. 2013

CURVE TABLE

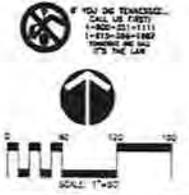
Stationing	Curve Length	Radius	Delta	Chord	Offset
1+00.00	100.00	1000.00	180.00	100.00	0.00
2+00.00	100.00	1000.00	180.00	100.00	0.00
3+00.00	100.00	1000.00	180.00	100.00	0.00

LINE TABLE

Stationing	Line Type	Width
1+00.00	Centerline	10.00
2+00.00	Centerline	10.00
3+00.00	Centerline	10.00

PROPERTY INFORMATION

Parcel No.	Area (Ac)	Owner
1000 FOXLAND BOULEVARD	1.25	RACON SMITH
1001 FOXLAND BOULEVARD	1.25	RACON SMITH
1002 FOXLAND BOULEVARD	1.25	RACON SMITH



FINAL MASTER DEVELOPMENT PLAN FOR PHASE I & II AT FOXLAND CROSSING

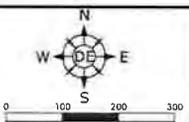
DATE: May 25, 2012

REVISIONS:

No.	Description
1	Initial Issue

OVERALL SITE LAYOUT PLAN

C2.1

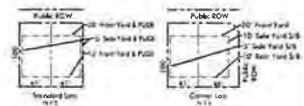


Scale 1" = 100'
Total Site Area = 417.2 Acres
Developer
 Green Trails, LLC
 Cantoni Rick Decisor
 2925 Berry Hill Dr, Ste A
 Nashville, TN 37209
 Phone: (615) 401-9956
 E-mail: rickdecisor@green-trails.com
Engineer
 Dewey-Estes Engineering
 Contact: Michael Dewey, PE
 2925 Berry Hill Drive, Ste B
 Nashville, TN 37204
 Phone: (615) 401-9956
 E-mail: mdewey@dewey-estes.com
Flood Note
 No Portion of this property is located within a Flood Hazard Area, as indicated on FEMA Map Numbers 47165C0407C & 4715C0409C, dated April 17, 2012.

Note: Phases 12, 14, 15, & 16 Have Been Reverted From the Previously Approved PMDP

Site Breakdown

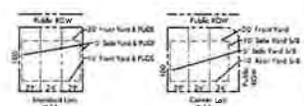
Area	Series - Description	No. Units/Area
A	Village - 36' Wide Townhomes	36
B	Collage Grove - 28' Wide Townhomes	140
C	Waterford - 24' Wide Townhomes	35



Typical Lot Layout 'A'
 Village - (36' Wide Townhomes)



Typical Lot Layout 'B'
 Collage Grove - (28' Wide Townhomes)



Typical Lot Layout 'C'
 Waterford - (24' Wide Townhomes)

Revisions:
 Drawing Notes:
 Date: June 12, 2015

Foxland Crossing
 Phases 11-16
 Amended PMDP
 Being Parcel 27.01 & 27.03 on Tax Map 136
 Gallatin, Sumner County, Tennessee



Overall Layout Plan

Job No. 15015

C1.0

2 of 4

ATTACHMENT 10-3



W&P 147 PARCEL 2.01
 GEN & YOUNG
 06/03 BOOK 153 PAGE 247
 P.D.S.C.1

Zones W&P
 MAP 147 PARCEL 2.00
 GEN & YOUNG, LLC
 DCD BOOK 300 PAGE
 888 P.D.S.C.1
 (AGRICULTURE)

Parcel with
 MAP 147 PARCEL 2.01
 GEN & YOUNG, LLC
 DCD BOOK 153 PAGE 247
 P.D.S.C.1

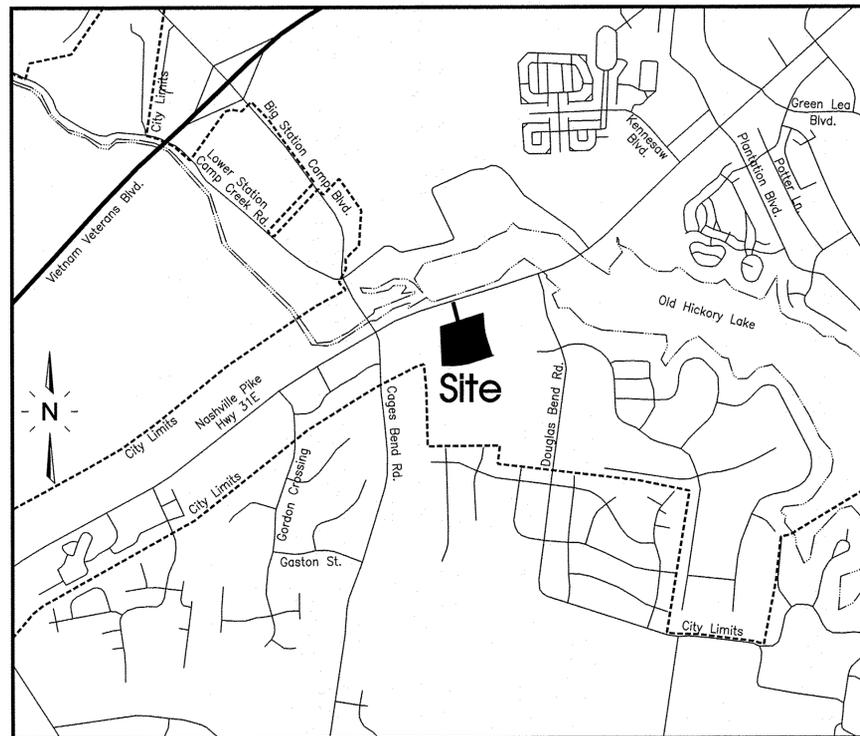
(COMMERCIAL)
 MAP 147 PARCEL 2.01
 GEN & YOUNG, LLC
 DCD BOOK 300 PAGE 888 P.D.S.C.1



Gallatin, Tennessee Final Master Development Plan

Drawing Index

Sheet No.	Title
1	Cover Sheet
2	Overall Foxland Crossing Plan
3	Site Master Plan
4	Site Master Utility Plan
5	Site Master Drainage Plan
6	Existing Conditions
7	Intermediate EPSC Plan
8-9	Site Plan
10	Roundabout Blow-Up
11	Turn Lane Plan
12-13	Roadway Plan & Profile
14-15	Water Line Plan
16	Water Line Profiles
17-18	Sewer Line Plan
19	Sewer Line Profiles
20-21	Grading & Drainage Plan
22-26	Details



Site Location Map
Not To Scale

Owner:

Wilson Bank Trust
623 W. Main St.
Lebanon, TN

Contact: Gary Whitaker

Applicant:

TDK Construction Company
1610 S. Church St., Ste C
Murfreesboro, TN 37130

Contact: Ross Brandley

Floodplain Note:

This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47165C0407G & 47165C0409G dated 04-17-12

Land Data:

Zoning: MU
1 lot on 14.27± Acres (Including 1.91± Acres ROW Dedication)
FHA Project Number: 086-35404

Min Bldg. Setback Requirements:

Front: 25'
Side: 10'
Rear: 20'

Deed Reference:

Tax Map 136, Part Of Parcel 27.01
R.Bk. 3263, Pg. 510

Existing Use:

Vacant Lot

Proposed Use:

Dwelling-Multi-Family

Intended Use:

Multi-Family Dwellings (206 D.U. on 14.27± Acres = 3017 S.F./Unit)

Parking Requirements:

Total Required: 2 Spaces/Unit x 206 Units = 412 reg. spaces
Total Provided: 449 Spaces (360 Regular + 36 Garage + 36 Tandem Spaces + 16 H.C. + 1 H.C. Garage)

Area To Be Dedicated To Right-of-Way: 83,201 Sq.Ft. (1.91± Acres)

Building Coverage= 99,405 Sq.Ft. (2.28± Acres)

Impervious Area= 291,427 Sq.Ft. (6.68± Acres)

Floor Area & Bldg. Ht Chart

Building 1 = 57,294 Sq.Ft.

Building 2 = 57,135 Sq.Ft.

Building 3 = 35,472 Sq.Ft.

Building 4 = 28,748 Sq.Ft.

Building 5 = 32,124 Sq.Ft.

Building 6 = 47,987 Sq.Ft.

Building 7 = 28,748 Sq.Ft.

Total = 287,508 Sq.Ft.

Development Schedule:

Construction of grading and utility operations to begin in 2016.
Buildings completed in 2017.

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING

850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129

PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567

NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.



By: Matthew A. Taylor Date: October 12, 2016
Matthew A. Taylor, P.E. TN. Reg. #112515

OWNER	DATE
THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY ME AND ARE COMPLIANT WITH THE EXCEPTION OF SUCH MODIFICATIONS INDICATED BY ME ON THE PLANS.	
ENGINEERING DEPT	DATE
CITY ENGINEER OR DESIGNATED OFFICIAL	DATE
THESE CONSTRUCTION PLANS ARE APPROVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION WITH SUCH EXCEPTIONS OR MODIFICATIONS INDICATED IN THE MINUTES OF THE COMMISSION FOR:	
DATE	
CHAIRMAN	DATE
SECRETARY	DATE

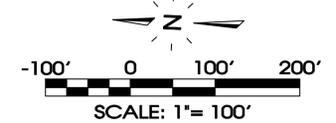
Sheet 1 of 27
Vintage at Foxland Harbor
Construction Drawings
S.E.C. Project #16010
8-1-16
Revised: 9-1-16, 1
2/10-13-16 Staff Comments



Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊖	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊞	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊞	EXIST. GAS RISER	—	CURB & GUTTER
⊞	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊞	EXIST. WATER METER	↔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊖	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊖	BLOW OFF VALVE	⊗	RIP RAP
⊖	REDUCER	→	RUNOFF FLOW ARROW
⊖	REMOTE FIRE DEPT. CONNECTION	□	INLET FILTER PROTECTION
⊖	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊖	DOUBLE DETECTOR CHECK VALVE (63.25)	63.25	EXIST. SPOT ELEVATION
⊖	FIRE DEPT. CONNECTION	∇	SEWER/STORM FLOW DIRECTION
⊖	FIRE HYDRANT	■	CATCH BASIN
⊖	GATE VALVE & BOX	■	CURB INLET
⊖	WATER METER	●	AREA DRAIN
⊖	GAS METER	—	HEADWALL
⊖	GREASE TRAP	—	WINGED HEADWALL
○	EXTERIOR CLEANOUT ECO	—	CONCRETE SWALE
○	MANHOLE	⊗	TYPE- X- HEADWALL

EXISTING PHONE	
EXISTING ELECTRIC	
PROPERTY LINE	
EASEMENTS	
RIGHT OF WAY	
EROSION CONTROL SILT FENCE	
EROSION EEL	
EXISTING TREELINE	
EXISTING FENCELINE	
MINIMUM BUILDING SETBACK LINE	
PHASE BOUNDARY	
EXISTING GAS LINE	
PROPOSED GAS LINE	
EXISTING STORM	
PROPOSED STORM	
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	
PROPOSED SANITARY SEWER	
EXISTING WATER	
PROPOSED WATER	



SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
SEC, Inc.
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2667
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

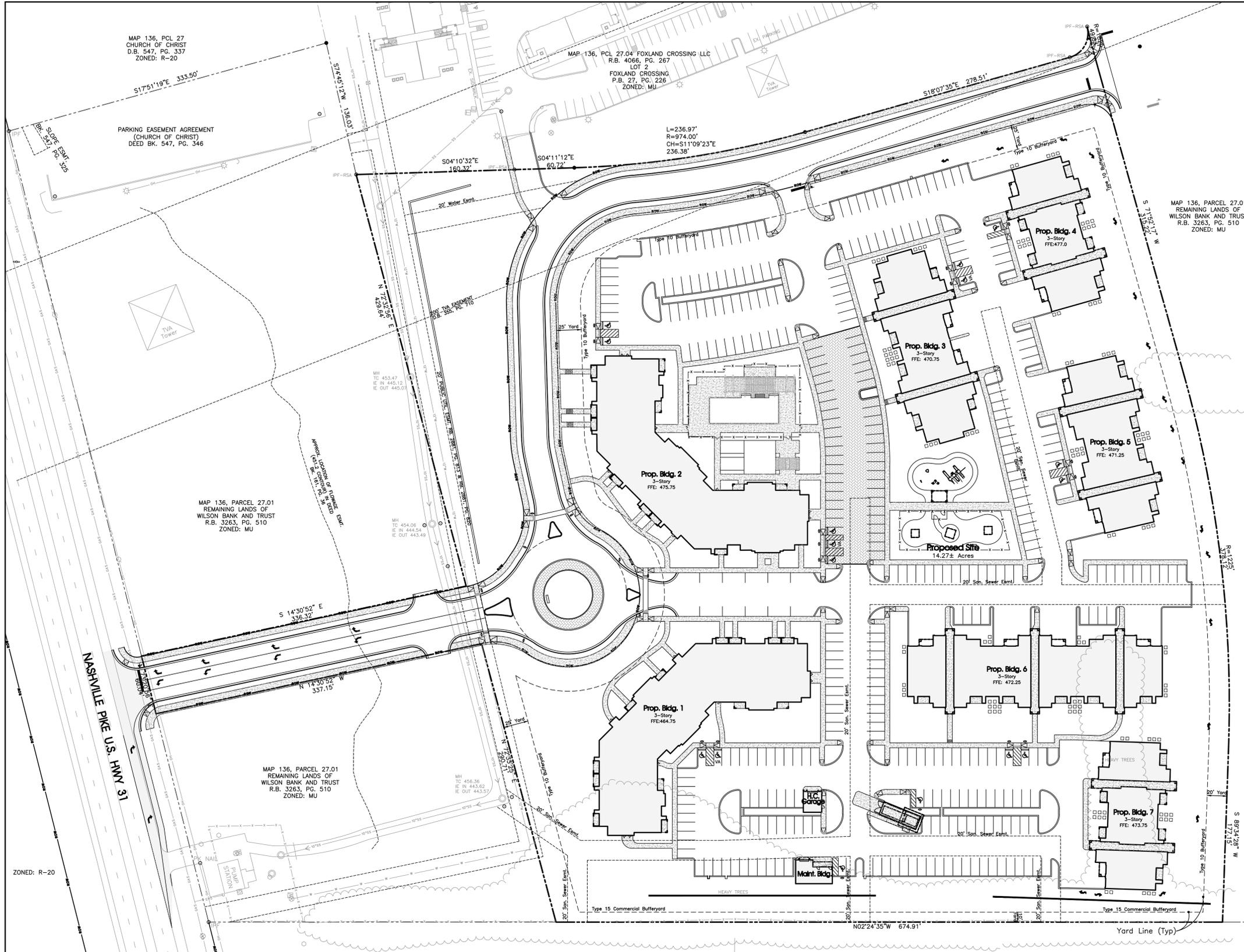
The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the responsibility of the engineer to ensure that the design is in accordance with the design as noted, described, and illustrated. The engineer assumes no administrative liability for the design or construction of the project. The site is constructed in accordance with the construction plans.

Vintage at Foxland Harbor
 FHA Project No. 086-35404
 Gallatin, Tennessee

REVISIONS: 10-13-16 Staff Comments

DRAWN: SJA, CFB3
 DATE: 8-1-16
 CHECKED:
 MAT
 FILE NAME:
 16010project
 SCALE:
 1" = 100'
 JOB NO.
 16010
 SHEET:
2 of 27

Overall Foxland Crossing Plan



Notes:

1. Property currently zoned MU.
2. All lots to be served by public sanitary sewer and water. The public sanitary sewer will be served by White House Utility District. The domestic water will be served by White House Utility District.
3. Contours shown hereon taken from topographic survey completed by Site Engineering Consultants on 3-23-16.
4. This surveyor has not physically located the underground utilities. Above ground and underground utilities shown were taken from visible appearances at the site, public records and/or maps prepared by others. Therefore, reliance upon the type, size and location of utilities shown should be done so with this circumstance considered. Detailed verification of existence, location and depth should also be made prior to any decision relative thereto is made. Availability and cost of service should be confirmed with the appropriate utility company. In Tennessee, it is a requirement, per the underground utility damage prevention act, that anyone who engages in excavation must notify all known underground utility owners, no less than (3) three & no more than (10) ten working days prior to the date of their intent to excavate and also to avoid any possible hazard or conflict. Notify Tennessee One Call at 1-800-351-1111.
5. Property line information taken from latest recorded deed and is subject to any and all findings of a current and accurate title search. No title report furnished to this surveyor prior to survey.
6. All deed and plat references pertain to the Register's Office of Sumner county, Tennessee.
7. The survey was done under the authority of TCA 62-18-128 and is not a general property survey as defined under rule 0820-3-07.
8. Fire hydrants to be located within 500 feet of all building lots as measured by the road surface.

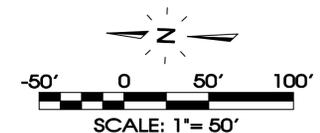
Endorsement of Planning Commission

Approved By The City Of Gallatin Planning Commission, With Such Exceptions Or Conditions As Are Indicated in The Minutes Of The Commission On 3-23-16.

Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊖	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊞	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊞	EXIST. GAS RISER	—	CURB & GUTTER
⊞	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊞	EXIST. WATER METER	↔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
○	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊞	BLOW OFF VALVE	⊗	RIP RAP
⊞	REDUCER	→	RUNOFF FLOW ARROW
⊞	REMOTE FIRE DEPT. CONNECTION	⊞	INLET FILTER PROTECTION
⊞	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊞	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊞	FIRE DEPT. CONNECTION	↖	SEWER/STORM FLOW DIRECTION
⊞	FIRE HYDRANT	⊞	CATCH BASIN
⊞	GATE VALVE & BOX	⊞	CURB INLET
⊞	WATER METER	⊞	AREA DRAIN
⊞	GAS METER	—	HEADWALL
⊞	GREASE TRAP	↖	WINGED HEADWALL
○	EXTERIOR CLEANOUT ECO	—	CONCRETE SWALE
○	MANHOLE	⊞	TYPE- X- HEADWALL

EXISTING PHONE	—
EXISTING ELECTRIC	—
PROPERTY LINE	—
EASEMENTS	—
RIGHT OF WAY	—
EROSION CONTROL SILT FENCE	—
EROSION EEL	—
EXISTING TREE LINE	—
EXISTING FENCE LINE	—
MINIMUM BUILDING SETBACK LINE	—
PHASE BOUNDARY	—
EXISTING GAS LINE	—
PROPOSED GAS LINE	—
EXISTING STORM	—
PROPOSED STORM	—
EXISTING CONTOUR LINES	—
PROPOSED CONTOUR LINES	—
EXISTING SANITARY SEWER	—
PROPOSED SANITARY SEWER	—
EXISTING WATER	—
PROPOSED WATER	—



Total Parking Spaces: 449 (360 Reg + 36 Garage + 36 Tandem + 16 H.C. + 1 H.C. Garage)

The Applicant Will Be Responsible For Operating And Maintaining The Project And Financially Responsible For The Improvements Shown Hereon.

The Applicant Will Post Surety As Required By The City Of Gallatin Zoning Ordinance Section 15.03.080

All Construction And Use Of Proposed Facility To Meet The Applicable Performance Standards As Set Fourth In The City Of Gallatin Zoning Ordinance, Section 13.02.

SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

SSEC, Inc.
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SSEC-CIVIL.COM FAX: (615) 895-2667
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

MATTHEW A. TAYLOR
REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE

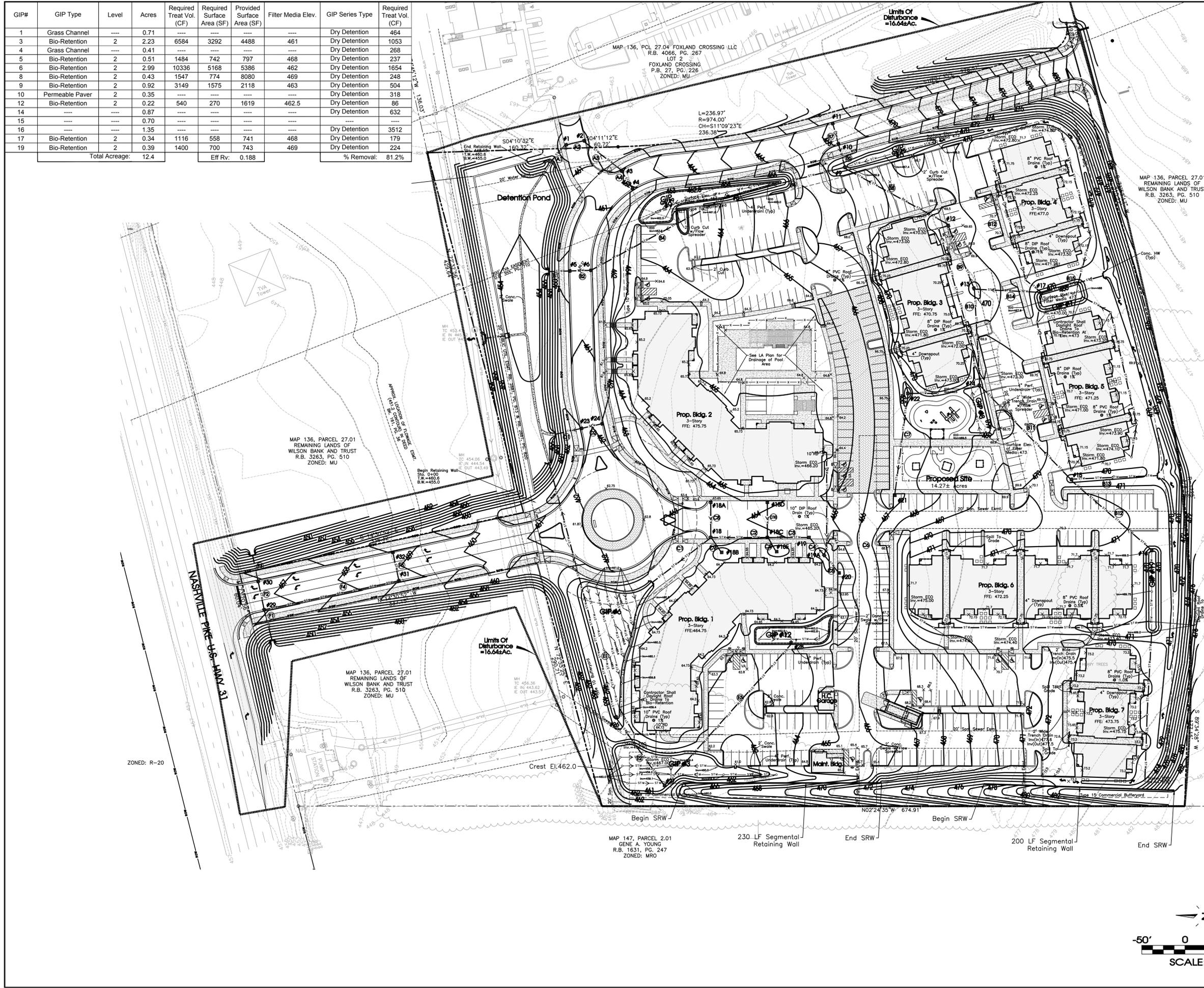
Vintage at Foxland Harbor
FHA Project No. 086-35404
Gallatin, Tennessee

REVISIONS:
9-1-16
10-13-16 Start Comments

DRAWN: SJA, CFB3
DATE: 8-1-16
CHECKED:
MAT
FILE NAME:
16010project
SCALE:
1"=50'
JOB NO.
16010
SHEET:
3 of 27

Site Master Plan

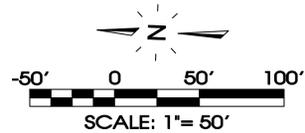
GIP#	GIP Type	Level	Acres	Required Treat Vol. (CF)	Required Surface Area (SF)	Provided Surface Area (SF)	Filter Media Elev.	GIP Series Type	Required Treat Vol. (CF)
1	Grass Channel	----	0.71	----	----	----	----	Dry Detention	464
3	Bio-Retention	2	2.23	6584	3292	4488	461	Dry Detention	1053
4	Grass Channel	----	0.41	----	----	----	----	Dry Detention	268
5	Bio-Retention	2	0.51	1484	742	797	468	Dry Detention	237
6	Bio-Retention	2	2.99	10336	5168	5386	462	Dry Detention	1634
8	Bio-Retention	2	0.43	1547	774	8080	469	Dry Detention	248
9	Bio-Retention	2	0.92	3149	1575	2118	463	Dry Detention	504
10	Permeable Paver	2	0.35	----	----	----	----	Dry Detention	318
12	Bio-Retention	2	0.22	540	270	1619	462.5	Dry Detention	86
14	----	----	0.87	----	----	----	----	Dry Detention	632
15	----	----	0.70	----	----	----	----	----	----
16	----	----	1.35	----	----	----	----	Dry Detention	3512
17	Bio-Retention	2	0.34	1116	558	741	468	Dry Detention	179
19	Bio-Retention	2	0.39	1400	700	743	469	Dry Detention	224
Total Acreage:			12.4	Eff Rv: 0.188		%		Removal:	81.2%



Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	○	CONCRETE BOLLARD
○	EXIST. CATCH BASIN (STORM SEWER)	○	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	⊗	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	⊕	EXTRUDED CURB
⊕	EXIST. GAS RISER	⊕	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW
⊕	EXIST. WATER METER	➔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
○	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
○	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	➔	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	➔	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	⊕	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
○	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
○	MANHOLE	⊕	TYPE- X- HEADWALL

EXISTING PHONE	---
EXISTING ELECTRIC	---
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	---
EROSION CONTROL SILT FENCE	---
EROSION EEL	---
EXISTING TREELINE	---
EXISTING FENCELINE	---
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	---
EXISTING GAS LINE	---
PROPOSED GAS LINE	---
EXISTING STORM	---
PROPOSED STORM	---
EXISTING CONTOUR LINES	---
PROPOSED CONTOUR LINES	---
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
EXISTING WATER	---
PROPOSED WATER	---



SITE ENGINEERING CONSULTANTS
SEC, Inc.
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2667
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

Vintage at Foxland Harbor
 FHA Project No. 086-35404
Gallatin, Tennessee

Site Master Drainage Plan

REVISIONS: 10-13-16 Staff Comments
 DRAWN: SJA, CFB3
 DATE: 8-1-16
 CHECKED: MAT
 FILE NAME: 16010project
 SCALE: 1"=50'
 JOB NO. 16010
 SHEET: 5 of 27



Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	↔	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊗	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	∇	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT	⊕	CONCRETE SWALE
⊕	MANHOLE	⊕	TYPE - X - HEADWALL

EXISTING PHONE	---
EXISTING ELECTRIC	---
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	---
EROSION CONTROL SILT FENCE	---
EROSION EEL	---
EXISTING TREE LINE	---
EXISTING FENCE LINE	---
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	-----
EXISTING GAS LINE	---
PROPOSED GAS LINE	---
EXISTING STORM	---
PROPOSED STORM	---
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
EXISTING WATER	---
PROPOSED WATER	---

SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

S.E.C., Inc.
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2667
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C., INC.

MATTHEW A. TAYLOR
REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE

Vintage at Foxland Harbor
FHA Project No. 086-35404
Gallatin, Tennessee

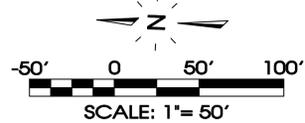
REVISIONS: 10-13-16 Staff Comments

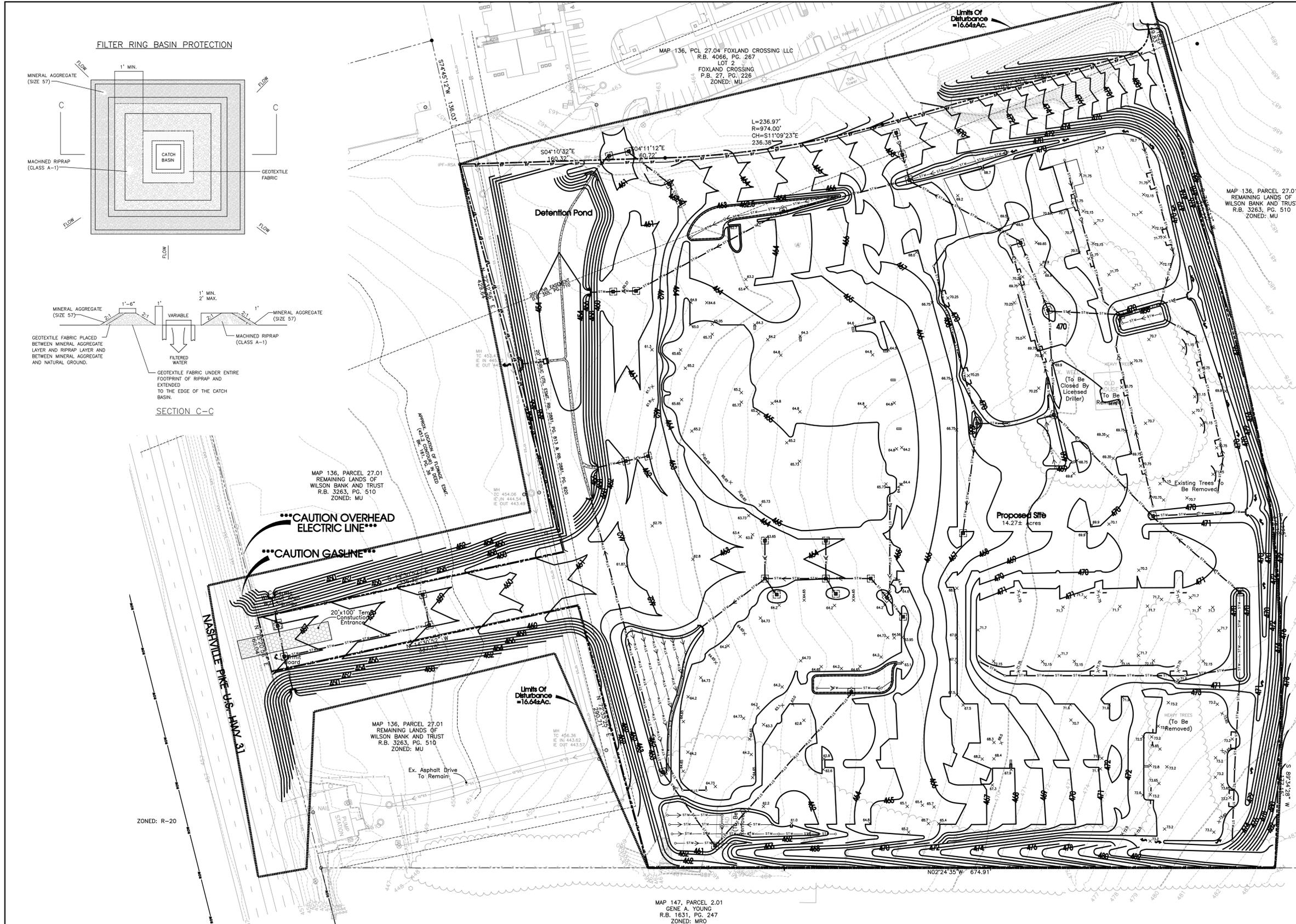
DRAWN: SJA, CFB3
DATE: 8-1-16
CHECKED:
MAT
FILE NAME: 16010project
SCALE: 1"=50'
JOB NO. 16010
SHEET: 6 of 27

Existing Conditions / Initial EPSC Plan

Notes:
Inspection and Maintenance of Erosion Control Devices will be performed on a Regular Basis and after each Storm Event. Erosion and Sediment Controls must be in place and inspected by the Engineering Department prior to beginning grading.

Rip-Rap Check Dams may be required by the City of Gallatin upon inspection for outlet protection at headwalls.





Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
○	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
○	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	→	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
○	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊗	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	→	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
○	EXTERIOR CLEANOUT	⊕	CONCRETE SWALE
○	MANHOLE	⊕	TYPE - X - HEADWALL

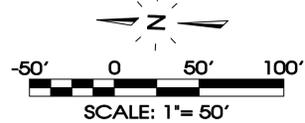
EXISTING PHONE	---
EXISTING ELECTRIC	---
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	---
EROSION CONTROL SILT FENCE	---
EROSION EEL	---
EXISTING TREE LINE	---
EXISTING FENCE LINE	---
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	-----
EXISTING GAS LINE	---
PROPOSED GAS LINE	---
EXISTING STORM	---
PROPOSED STORM	---
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
EXISTING WATER	---
PROPOSED WATER	---

Inspection and Maintenance of Erosion Control Devices will be performed on a Regular Basis and after each Storm Event. Erosion and Sediment Controls must be in place and inspected by the Engineering Department prior to beginning grading.

Notes:
The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the sole responsibility of the owner/developer to ensure that the construction of the site shown on these construction drawings is in total accordance with the design as noted, described, and illustrated. The engineer assumes no administrative liability or responsibility in the assurance that the site is constructed in accordance with the construction plans.

Rip-Rap Check Dams may be required by the City of Gallatin upon inspection for outlet protection at headwalls.

Slopes steeper than 3:1 shall include erosion control matting North American Green SC150 or equivalent.



SFC, Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

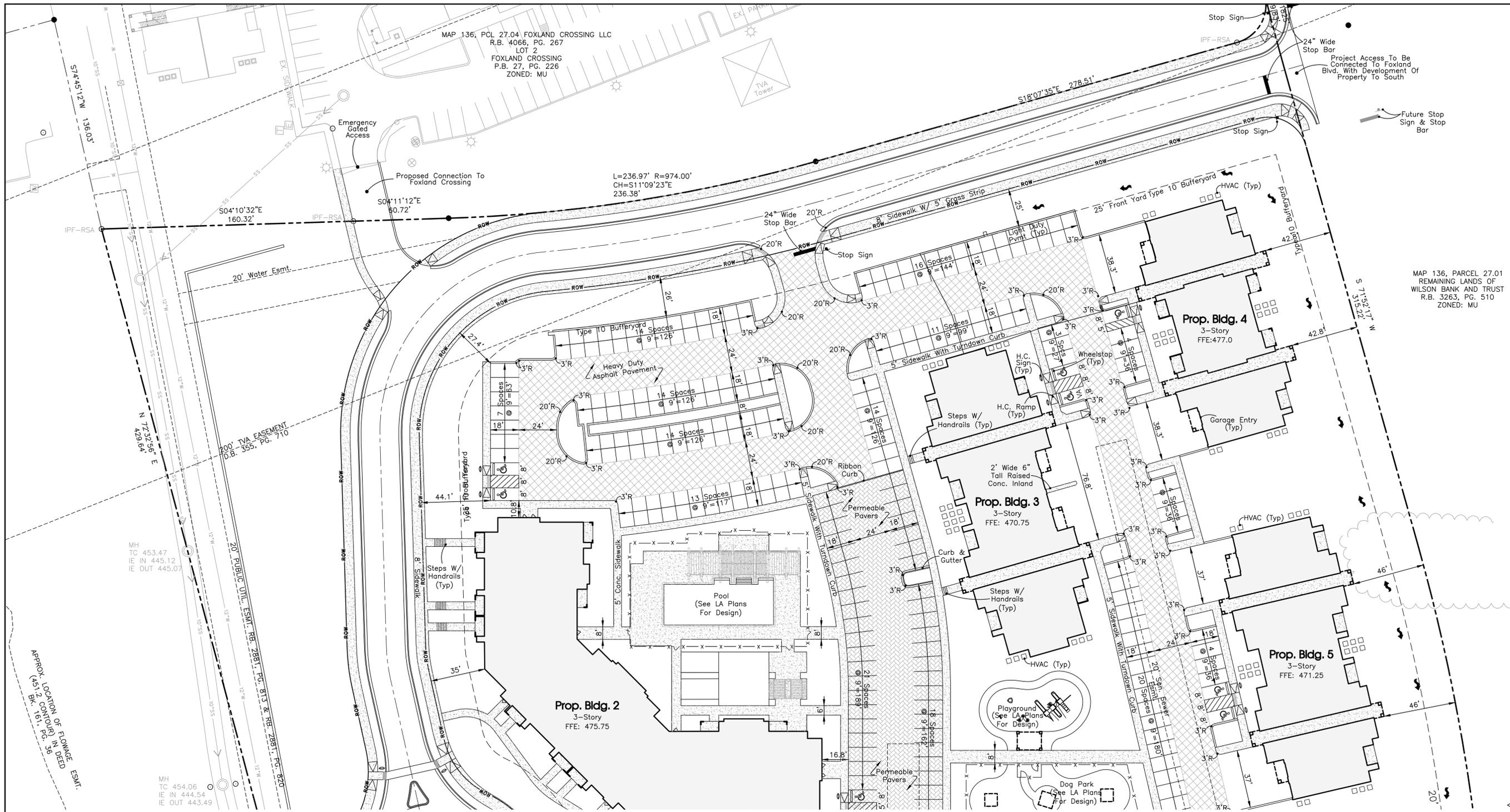
MATHEW A. TAYLOR
REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE

Vintage at Foxland Harbor
FHA Project No. 086-35404
Gallatin, Tennessee

REVISED: 10-13-16 Staff Comments

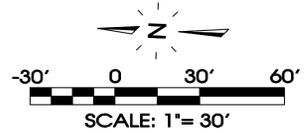
DRAWN: SJA, CFB3
DATE: 8-1-16
CHECKED:
MAT
FILE NAME:
16010project
SCALE:
1"=50'
JOB NO.
16010
SHEET:
7 of 27

Intermediate EPSC Plan



Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK	⊠	BLOW OFF VALVE	⊞	RIP RAP	---	PROPERTY LINE	---	EXISTING SANITARY SEWER
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL	▽	REDUCER	➔	RUNOFF FLOW ARROW	---	EASEMENTS	---	PROPOSED SANITARY SEWER
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION	⊠	REMOTE FIRE DEPT. CONNECTION	⊠	INLET FILTER PROTECTION	---	RIGHT OF WAY	---	EXISTING WATER
+	EXIST. SIGN POST	⊕	HC SIGN	⊠	CONCRETE THRUST BLOCK	63.25 X	PROPOSED SPOT ELEVATION	---	EROSION CONTROL SILT FENCE	---	PROPOSED WATER
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST	⊠	DOUBLE DETECTOR CHECK VALVE	(63.25) X	EXIST. SPOT ELEVATION	---	EROSION EEL	---	
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD	⊠	FIRE DEPT. CONNECTION	➔	SEWER/STORM FLOW DIRECTION	---	EXISTING TREELINE	---	
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊠	WHEEL STOP	⊠	FIRE HYDRANT	⊠	CATCH BASIN	---	EXISTING FENCELINE	---	
⊕	EXIST. WATER/GAS VALVE	⊠	CONCRETE SIDEWALK	⊠	GATE VALVE & BOX	⊠	CURB INLET	---	MINIMUM BUILDING SETBACK LINE	---	
⊠	EXIST. TELEPHONE RISER	⊠	EXTRUDED CURB	⊠	WATER METER	⊠	AREA DRAIN	---	PHASE BOUNDARY	---	
⊠	EXIST. GAS RISER	⊠	CURB & GUTTER	⊠	GAS METER	⊠	HEADWALL	---	EXISTING GAS LINE	---	
⊠	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW	⊠	GREASE TRAP	⊠	WINGED HEADWALL	---	PROPOSED GAS LINE	---	
⊕	EXIST. WATER METER	➔	TURN LANE ARROWS	⊠	EXTERIOR CLEANOUT ECO	⊠	CONCRETE SWALE	---	EXISTING STORM	---	
○	EXIST. UTILITY POLE	1	REVISION NUMBER	○	MANHOLE	⊠	TYPE- X- HEADWALL	---	PROPOSED STORM	---	
○	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION	---	EXISTING PHONE	---	---	---	EXISTING CONTOUR LINES	---	
⊕	POST INDICATOR VALVE	⊠	DRAINAGE PIPE DESIGNATION	---	EXISTING ELECTRIC	---	---	---	PROPOSED CONTOUR LINES	---	



SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
SSEC, Inc.
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2667
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.



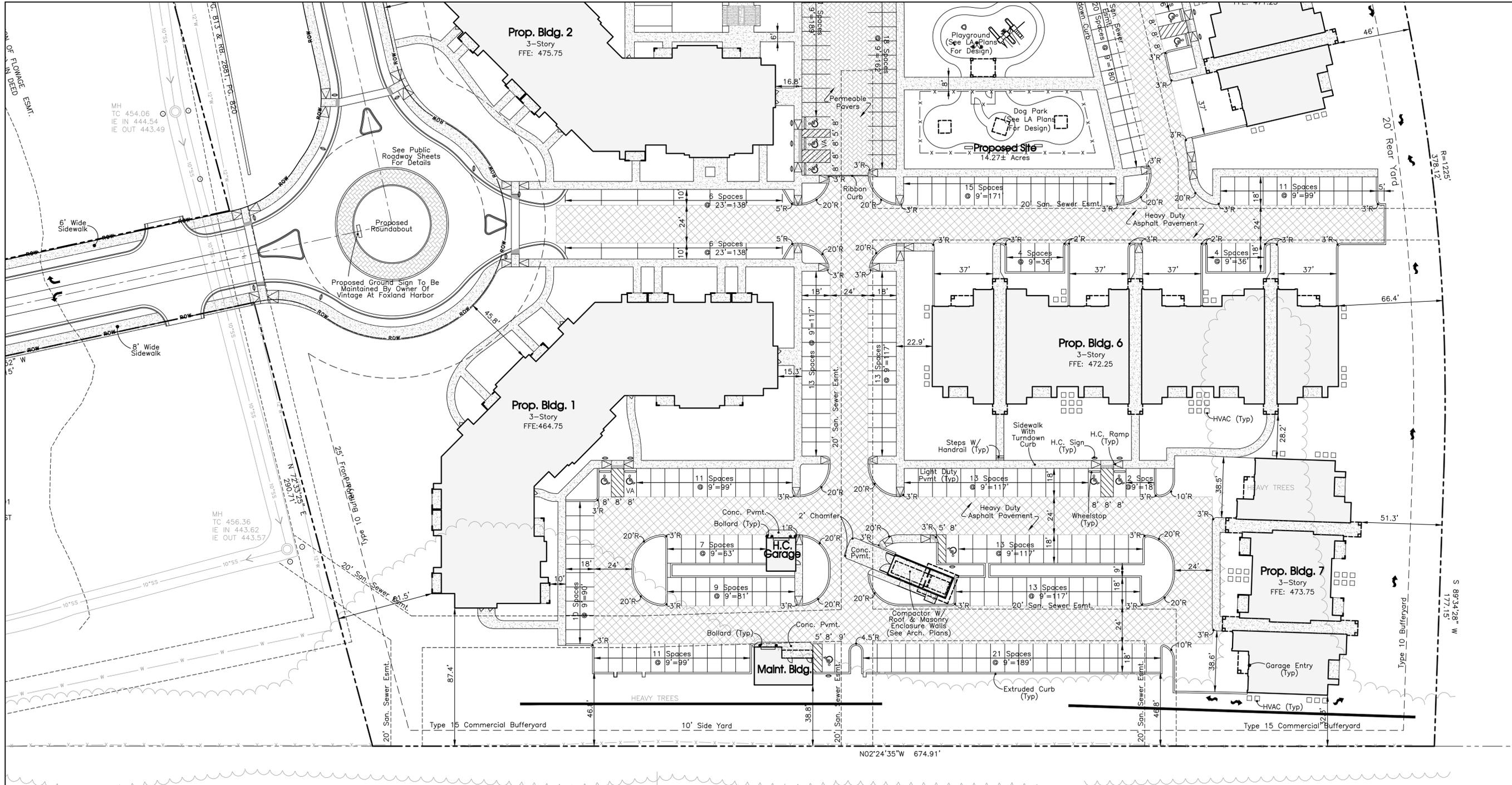
Vintage at Foxland Harbor
 FHA Project No. 086-35404
 Gallatin, Tennessee

REVISIONS: 10-13-16 Staff Comments
 DRAWN: SJA, CFB3
 DATE: 8-1-16
 CHECKED: MAT
 FILE NAME: 16010project
 SCALE: 1" = 30'
 JOB NO. 16010
 SHEET: 8 of 27

MAP 136, PARCEL 27.01
 REMAINING LANDS OF
 WILSON BANK AND TRUST
 R.B. 3263, PG. 510
 ZONED: MU

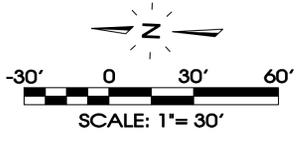
Project Access To Be
 Connected To Foxland
 Blvd. With Development Of
 Property To South

The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the responsibility of the engineer to ensure that the design is in total accordance with the design as noted, described, and illustrated. The engineer assumes no administrative liability or responsibility in the assurance that the site is constructed in accordance with the construction plans.



Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK	⊠	BLOW OFF VALVE	⊠	RIP RAP	---	PROPERTY LINE	---	EXISTING SANITARY SEWER
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL	⊠	REDUCER	➔	RUNOFF FLOW ARROW	---	EASEMENTS	---	PROPOSED SANITARY SEWER
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION	⊠	REMOTE FIRE DEPT. CONNECTION	⊠	INLET FILTER PROTECTION	---	RIGHT OF WAY	---	EXISTING WATER
+	EXIST. SIGN POST	HC	HC SIGN	⊠	CONCRETE THRUST BLOCK	63.25 X	PROPOSED SPOT ELEVATION	---	EROSION CONTROL SILT FENCE	---	PROPOSED WATER
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST	⊠	DOUBLE DETECTOR CHECK VALVE	(63.25) X	EXIST. SPOT ELEVATION	---	EROSION EEL	---	
○	EXIST. MANHOLE (SEWER & PHONE)	•	CONCRETE BOLLARD	⊠	FIRE DEPT. CONNECTION	>	SEWER/STORM FLOW DIRECTION	---	EXISTING TREELINE	---	
⊖	EXIST. CATCH BASIN (STORM SEWER)	⊠	WHEEL STOP	⊠	FIRE HYDRANT	⊠	CATCH BASIN	---	EXISTING FENCELINE	---	
⊗	EXIST. WATER/GAS VALVE	⊠	CONCRETE SIDEWALK	⊠	GATE VALVE & BOX	⊠	CURB INLET	---	MINIMUM BUILDING SETBACK LINE	---	
⊠	EXIST. TELEPHONE RISER	---	EXTRUDED CURB	⊠	WATER METER	⊠	AREA DRAIN	---	PHASE BOUNDARY	---	
⊠	EXIST. GAS RISER	---	CURB & GUTTER	⊠	GAS METER	---	HEADWALL	---	EXISTING GAS LINE	---	
⊠	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW	⊠	GREASE TRAP	---	WINGED HEADWALL	---	PROPOSED GAS LINE	---	
⊠	EXIST. WATER METER	➔	TURN LANE ARROWS	⊠	EXTERIOR CLEANOUT ECO	⊠	CONCRETE SWALE	---	EXISTING STORM	---	
⊠	EXIST. UTILITY POLE	---	REVISION NUMBER	○	MANHOLE	⊠	TYPE- X- HEADWALL	---	PROPOSED STORM	---	
⊠	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION	---	EXISTING PHONE	---	PH	---	EXISTING CONTOUR LINES	---	
⊠	POST INDICATOR VALVE	⊠	DRAINAGE PIPE DESIGNATION	---	EXISTING ELECTRIC	---	OH	---	PROPOSED CONTOUR LINES	---	



MAP 147, PARCEL 2.01

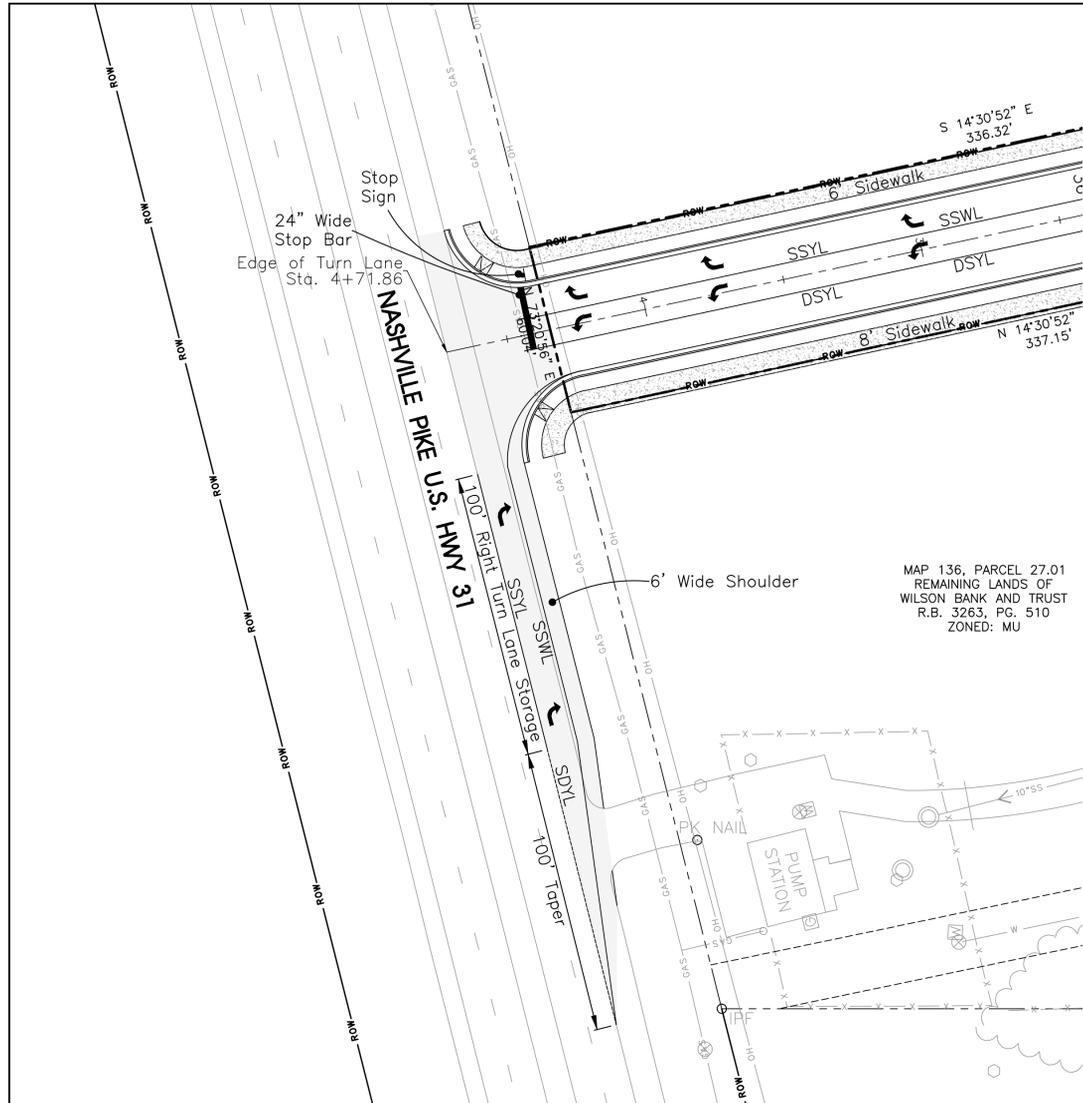
SFC, Inc.
 SITE ENGINEERING • SURVEYING • LAND PLANNING
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667
 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

MATHEW W. TAYLOR
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF TENNESSEE
 No. 17715

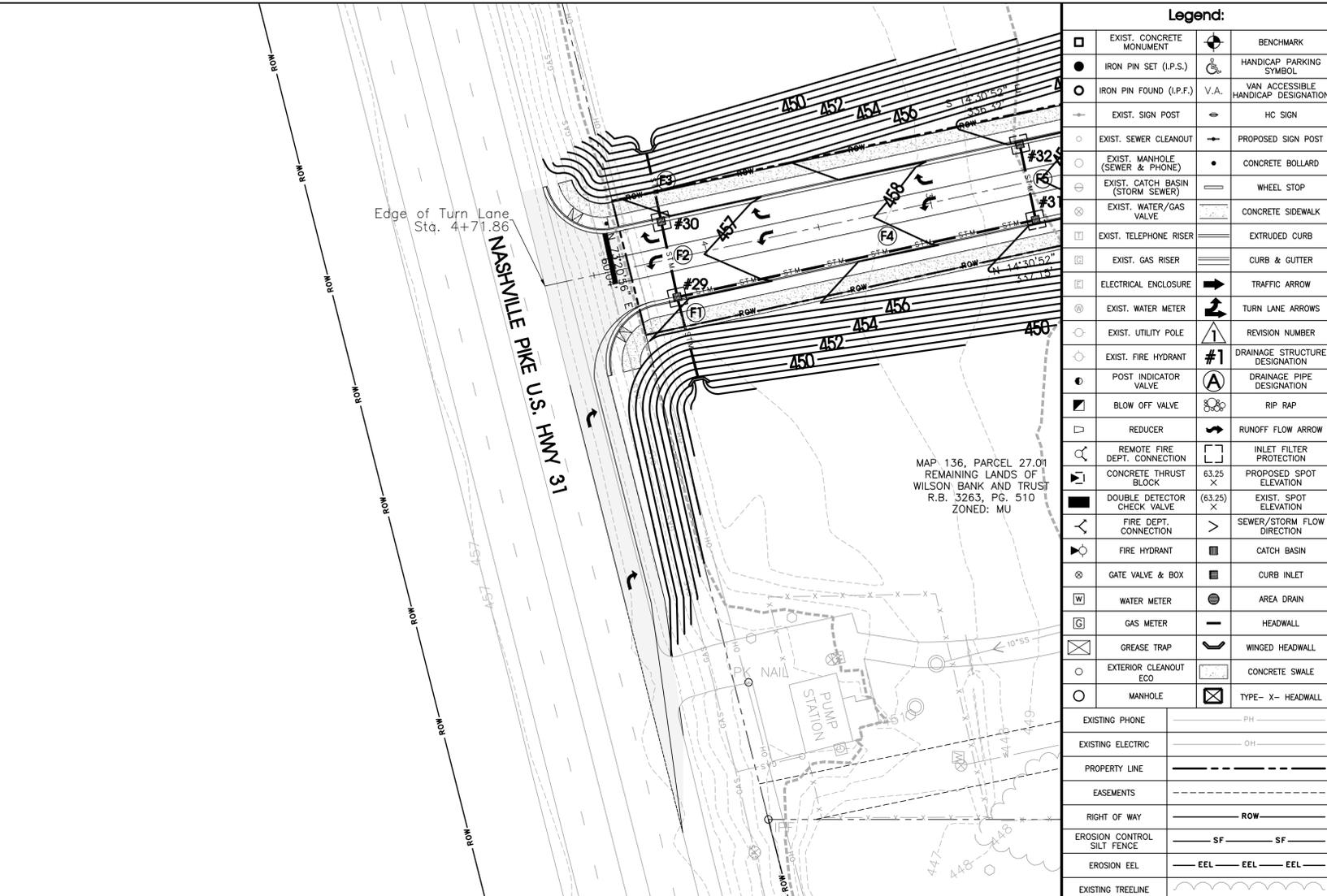
Vintage at Foxland Harbor
 FHA Project No. 086-35404
 Gallatin, Tennessee

REVISIONS: 10-13-16 Staff Comments

DRAWN: SJA, CFB3
 DATE: 8-1-16
 CHECKED: MAT
 FILE NAME: 16010project
 SCALE: 1"=30'
 JOB NO. 16010
 SHEET: 9 of 27



MAP 136, PARCEL 27.01
REMAINING LANDS OF
WILSON BANK AND TRUST
R.B. 3263, PG. 510
ZONED: MU



MAP 136, PARCEL 27.01
REMAINING LANDS OF
WILSON BANK AND TRUST
R.B. 3263, PG. 510
ZONED: MU

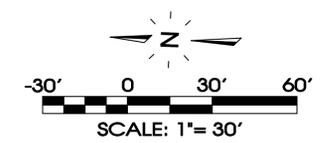
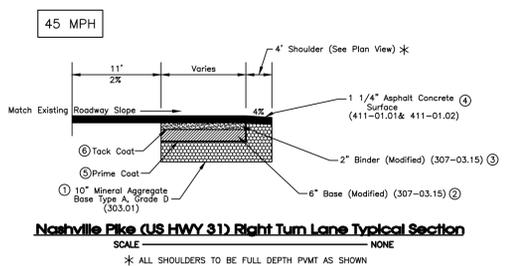
Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
—	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	•	CONCRETE BOLLARD
⊖	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊞	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊞	EXIST. GAS RISER	—	CURB & GUTTER
⊞	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊞	EXIST. WATER METER	↔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
○	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	⊕	DRAINAGE PIPE DESIGNATION
⊞	BLOW OFF VALVE	⊞	RIP RAP
⊞	REDUCER	→	RUNOFF FLOW ARROW
⊞	REMOTE FIRE DEPT. CONNECTION	⊞	INLET FILTER PROTECTION
⊞	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊞	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊞	FIRE DEPT. CONNECTION	⊞	SEWER/STORM FLOW DIRECTION
⊞	FIRE HYDRANT	⊞	CATCH BASIN
⊞	GATE VALVE & BOX	⊞	CURB INLET
⊞	WATER METER	⊞	AREA DRAIN
⊞	GAS METER	⊞	HEADWALL
⊞	GREASE TRAP	⊞	WINGED HEADWALL
○	EXTERIOR CLEANOUT	⊞	CONCRETE SWALE
○	MANHOLE	⊞	TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF
EROSION EEL	EEL
EXISTING TREELINE	~
EXISTING FENCELINE	-X-X-X-X-
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W
PROPOSED WATER	W

PAVEMENT LEGEND

①	STONE @ 10.00" +/- THICK 303-01 MINERAL AGGREGATE, TYPE A BASE GRADING "D"
②	BASE (MODIFIED) @ 6.00" +/- THICK (APPROX. 678.00 LBS / S.Y.) 307-03.15 - BITUMINOUS PLANT MIX BASE (HOT MIX) (BPMB-HM) GRADING "A"
③	BINDER (MODIFIED) @ 2.00" +/- THICK (APPROX. 226.00 LBS / S.Y.) 307-03.15 - BITUMINOUS PLANT MIX BASE (HOT MIX) (BPMB-HM) GRADING "B"
④	SURFACE @ 1.25" +/- THICK (APPROX. 132.50 LBS / S.Y.) 411-01.01 MINERAL AGGREGATE FOR ASPHALTIC CONCRETE SURFACE (ACS) GRADING "D" 411-01.02 ASPHALT CEMENT FOR ASPHALTIC CONCRETE SURFACE (ACS) GRADING "D"
⑤	PRIME COAT 402-01 BITUMINOUS MATERIAL FOR PRIME COAT (PC) @ 0.30-0.35 GAL / S.Y. 402-02 AGGREGATE FOR COVER MATERIAL (PC) @ 8-12 LBS. / S.Y.
⑥	TACK COAT 403-01 BITUMINOUS MATERIAL FOR TACK COAT (TC) @ 0.20 GAL. / S.Y.



SFC, Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

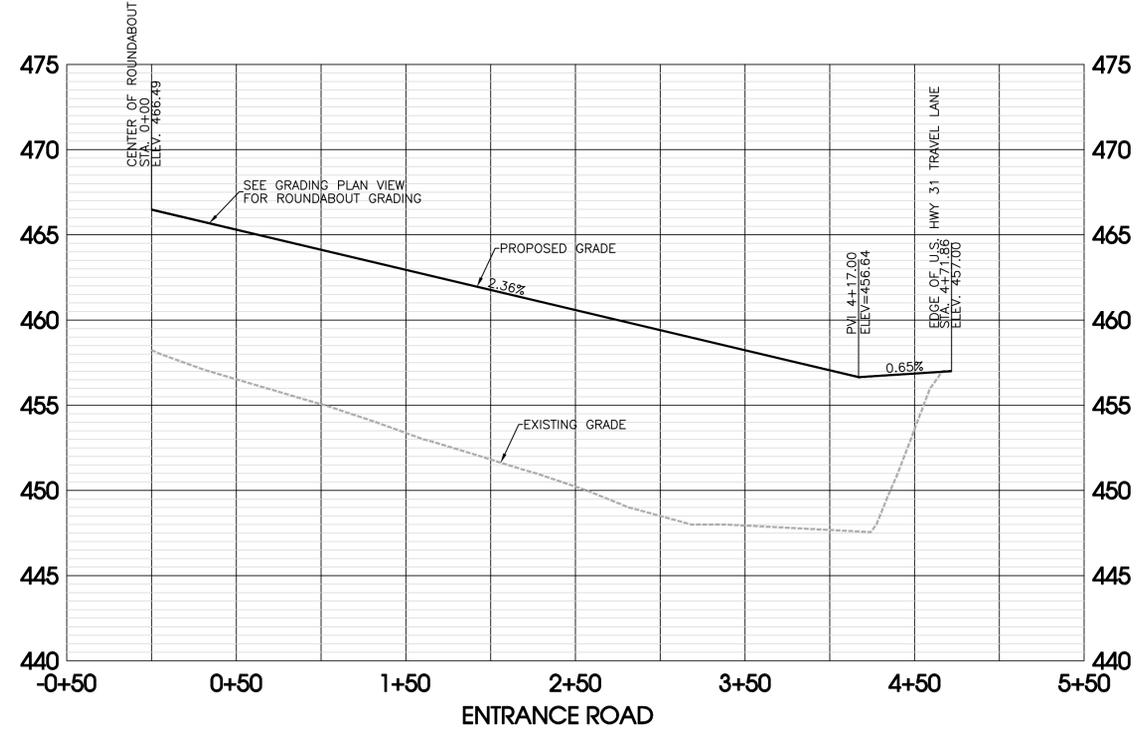
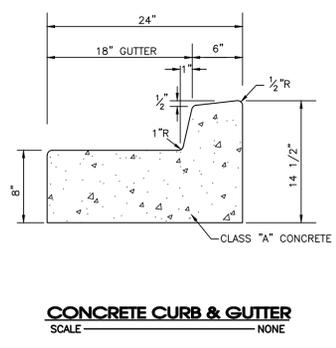
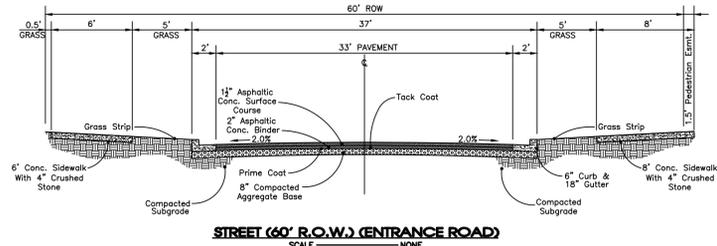
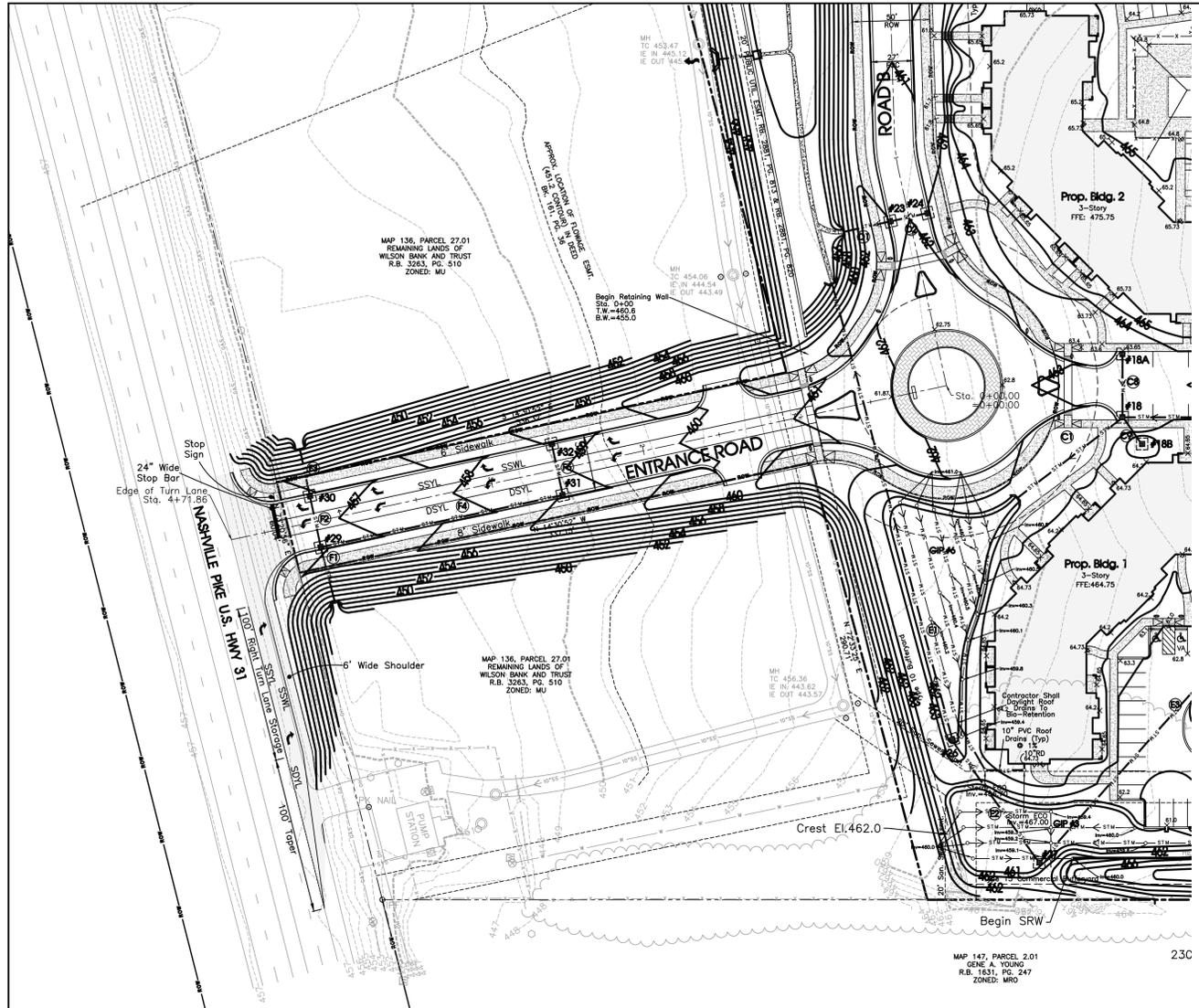
STEPHEN W. TAYLOR
REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE

Vintage at Foxland Harbor
FHA Project No. 086-35404
Gallatin, Tennessee

REVISIONS: 10-13-16 Staff Comments 2

DRAWN: SJA, CFB3
DATE: 8-1-16
CHECKED:
MAT
FILE NAME:
16010project
SCALE:
1"=30'
JOB NO.
16010
SHEET:
11 of 27

Note:
A TDOT Permit will be required prior to any work in Right-of-Way of US Hwy 31

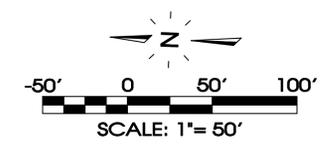


Notes:
1. Corp of Engineers Permit will be required prior to fill in the flowage easement for the entry road.
2. Vintage Foxland Harbor is to be a public roadway.

Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
—	EXIST. SIGN POST	+	HC SIGN
—	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
○	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊞	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊞	EXIST. GAS RISER	—	CURB & GUTTER
⊞	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊞	EXIST. WATER METER	→	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
○	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊗	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊞	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	⊞	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊞	CATCH BASIN
⊕	GATE VALVE & BOX	⊞	CURB INLET
⊕	WATER METER	⊞	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	⊞	WINGED HEADWALL
○	EXTERIOR CLEANOUT	⊞	CONCRETE SWALE
○	MANHOLE	⊞	TYPE- X- HEADWALL

EXISTING PHONE	— P1 — P2
EXISTING ELECTRIC	— O1 — O2
PROPERTY LINE	— — — — —
EASEMENTS	— — — — —
RIGHT OF WAY	— — — — —
EROSION CONTROL SILT FENCE	— SF — SF — SF — SF —
EROSION EEL	— EEL — EEL — EEL — EEL —
EXISTING TREELINE	— — — — —
EXISTING FENCELINE	— — — — —
MINIMUM BUILDING SETBACK LINE	— MBSL — MBSL —
PHASE BOUNDARY	— — — — —
EXISTING GAS LINE	— GAS — GAS — GAS —
PROPOSED GAS LINE	— GAS — GAS — GAS —
EXISTING STORM	— STW — STW — STW — STW —
PROPOSED STORM	— STW — STW — STW — STW —
EXISTING CONTOUR LINES	— 601 —
PROPOSED CONTOUR LINES	— 601 —
EXISTING SANITARY SEWER	— SS — SS — SS — SS —
PROPOSED SANITARY SEWER	— SS — SS — SS — SS —
EXISTING WATER	— W — W — W — W —
PROPOSED WATER	— W — W — W — W —



SFC, Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667

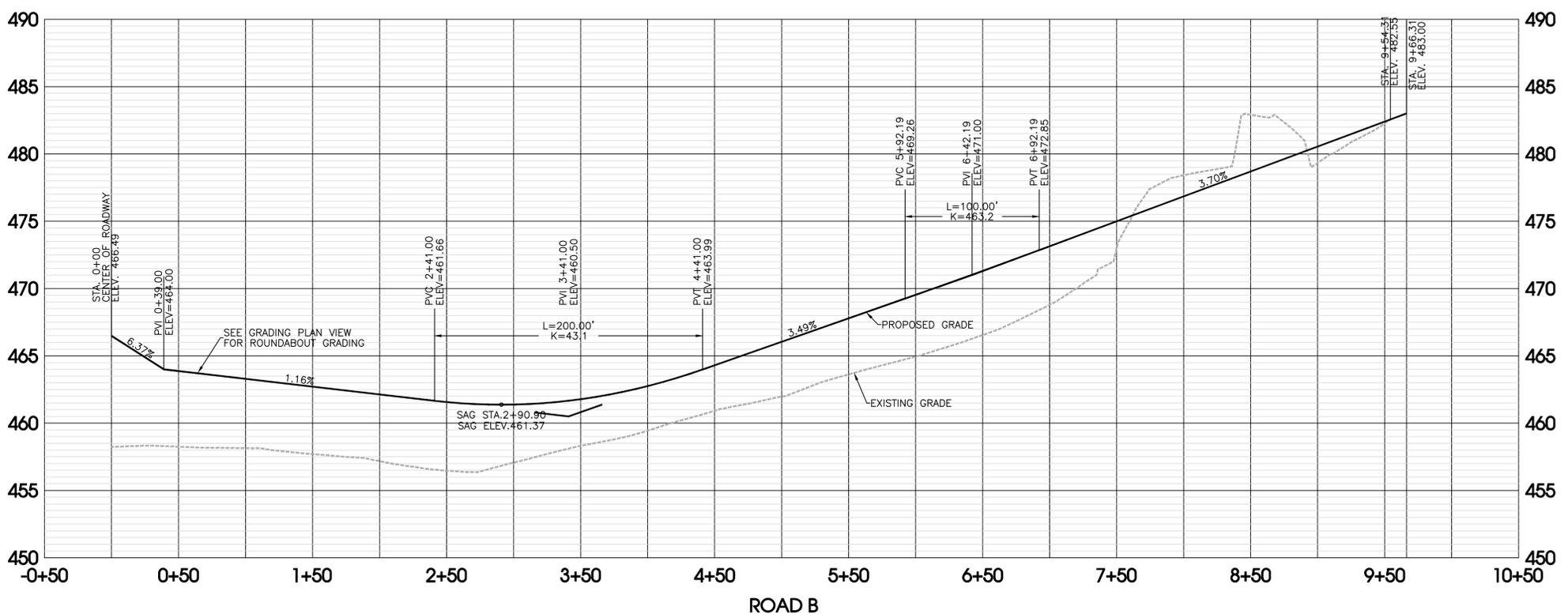
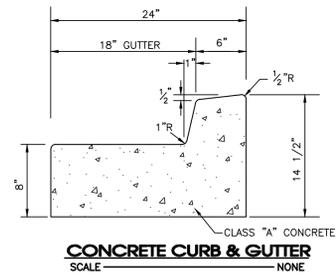
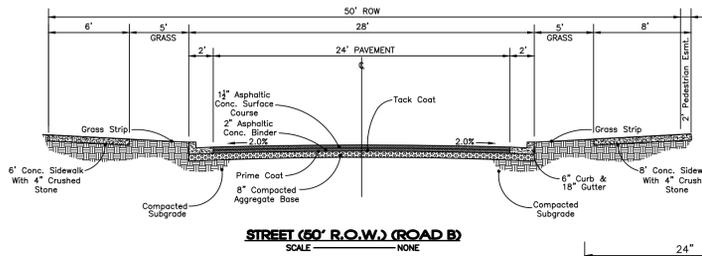
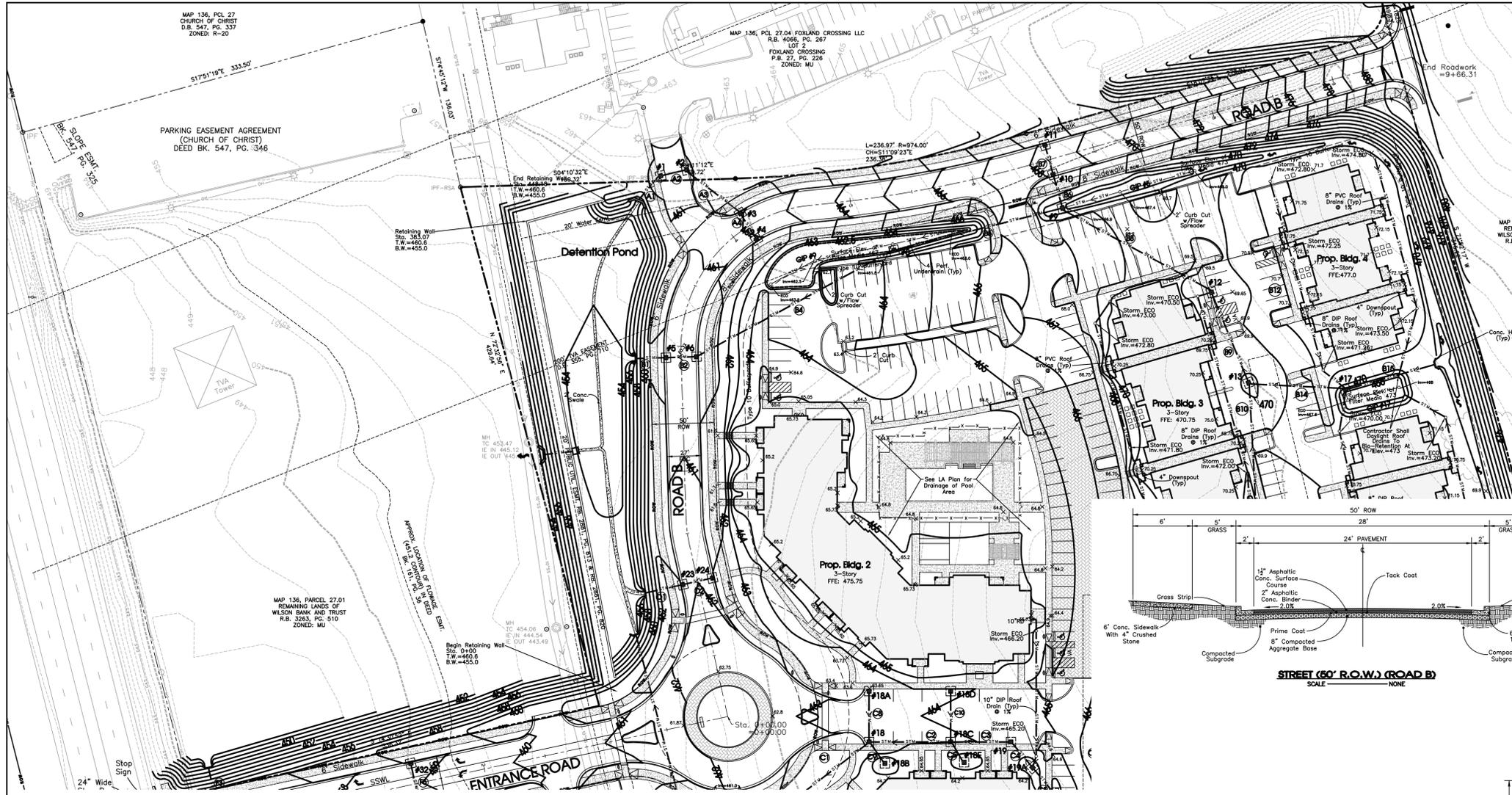
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE RESPONSIBILITY OF THE USER OF THESE DRAWINGS TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ENGINEER. THE ENGINEER ASSUMES NO ADMINISTRATIVE LIABILITY FOR THE CONSTRUCTION OF THE PROJECT.

Vintage at Foxland Harbor
FHA Project No. 086-35404
Gallatin, Tennessee

REVISIONS:
9-1-16
10-13-16 Start Comments/2

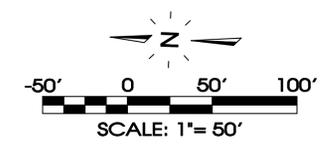
DRAWN: SJA, CFB3
DATE: 8-1-16
CHECKED:
MAT
FILE NAME:
16010project
SCALE:
1"=50' Horiz
1"=5' Vert
JOB NO.
16010
SHEET:
12 of 27



Legend:

EXIST. CONCRETE MONUMENT	BENCHMARK
IRON PIN SET (I.P.S.)	HANDICAP PARKING SYMBOL
IRON PIN FOUND (I.P.F.)	V.A. VAN ACCESSIBLE HANDICAP DESIGNATION
EXIST. SIGN POST	HC SIGN
EXIST. SEWER CLEANOUT	PROPOSED SIGN POST
EXIST. MANHOLE (SEWER & PHONE)	CONCRETE BOLLARD
EXIST. CATCH BASIN (STORM SEWER)	WHEEL STOP
EXIST. WATER/GAS VALVE	CONCRETE SIDEWALK
EXIST. TELEPHONE RISER	EXTRUDED CURB
EXIST. GAS RISER	CURB & GUTTER
ELECTRICAL ENCLOSURE	TRAFFIC ARROW
EXIST. WATER METER	TURN LANE ARROWS
EXIST. UTILITY POLE	REVISION NUMBER
EXIST. FIRE HYDRANT	DRAINAGE STRUCTURE DESIGNATION
POST INDICATOR VALVE	DRAINAGE PIPE DESIGNATION
BLOW OFF VALVE	RIP RAP
REDUCER	RUNOFF FLOW ARROW
REMOTE FIRE DEPT. CONNECTION	INLET FILTER PROTECTION
CONCRETE THRUST BLOCK	PROPOSED SPOT ELEVATION
DOUBLE DETECTOR CHECK VALVE (63.25)	EXIST. SPOT ELEVATION
FIRE DEPT. CONNECTION	SEWER/STORM FLOW DIRECTION
FIRE HYDRANT	CATCH BASIN
GATE VALVE & BOX	CURB INLET
WATER METER	AREA DRAIN
GAS METER	HEADWALL
GREASE TRAP	WINGED HEADWALL
EXTERIOR CLEANOUT ECO	CONCRETE SWALE
MANHOLE	TYPE - X - HEADWALL

EXISTING PHONE	---
EXISTING ELECTRIC	---
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	---
EROSION CONTROL SILT FENCE	---
EROSION EEL	---
EXISTING TREE LINE	---
EXISTING FENCE LINE	---
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	-----
EXISTING GAS LINE	---
PROPOSED GAS LINE	---
EXISTING STORM	---
PROPOSED STORM	---
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
EXISTING WATER	---
PROPOSED WATER	---



Note:
A TVA Permit will be required for work in TVA Easement prior to final approval.

SFC, Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

Vintage at Foxland Harbor
 FHA Project No. 086-35404
 Gallatin, Tennessee

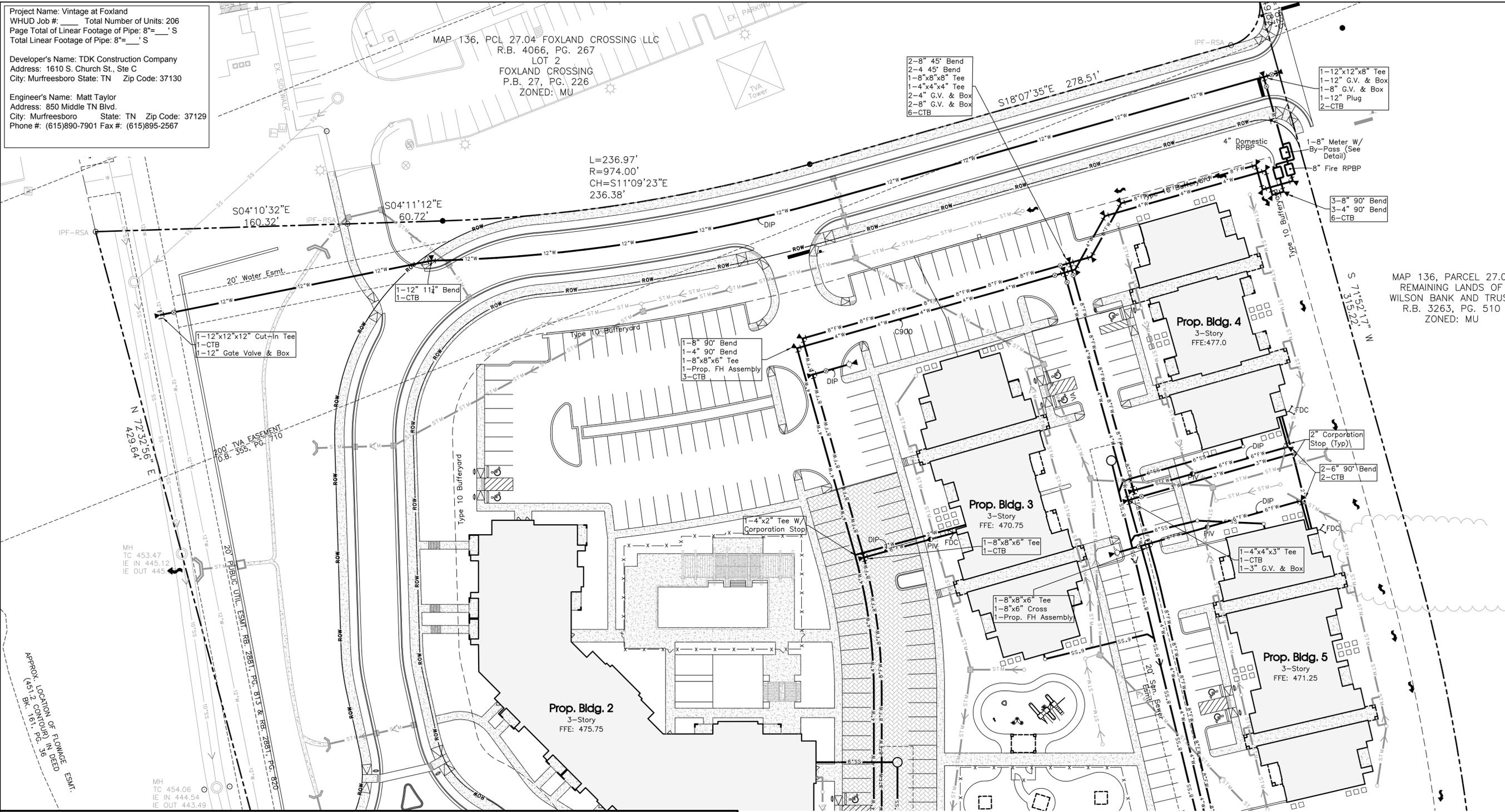
REVISIONS: 10-13-16 Staff Comments
 DRAWN: SJA, CFB3
 DATE: 8-1-16
 CHECKED:
 MAT
 FILE NAME:
 16010project
 SCALE:
 1"=50' Horiz
 1"=5' Vert
 JOB NO.
 16010
 SHEET:
13 of 27

Project Name: Vintage at Foxland
 WHUD Job #: _____ Total Number of Units: 206
 Page Total of Linear Footage of Pipe: 8"= _____ S
 Total Linear Footage of Pipe: 8"= _____ S

Developer's Name: TDK Construction Company
 Address: 1610 S. Church St., Ste C
 City: Murfreesboro State: TN Zip Code: 37130

Engineer's Name: Matt Taylor
 Address: 850 Middle TN Blvd.
 City: Murfreesboro State: TN Zip Code: 37129
 Phone #: (615)890-7901 Fax #: (615)895-2567

MAP 136, PCL 27.04 FOXLAND CROSSING LLC
 R.B. 4066, PG. 267
 LOT 2
 FOXLAND CROSSING
 P.B. 27, PG. 226
 ZONED: MU



MAP 136, PARCEL 27.0
 REMAINING LANDS OF
 WILSON BANK AND TRUS
 R.B. 3263, PG. 510
 ZONED: MU

SFC, Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2567
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

MATTHEW W. TAYLOR
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF TENNESSEE
 No. 1516

Vintage at Foxland Harbor
 FHA Project No. 086-35404
 Gallatin, Tennessee

Legend:					
EXIST. CONCRETE MONUMENT	BENCHMARK	BLOW OFF VALVE	RIP RAP	PROPERTY LINE	EXISTING SANITARY SEWER
IRON PIN SET (I.P.S.)	HANDICAP PARKING SYMBOL	REDUCER	RUNOFF FLOW ARROW	EASEMENTS	PROPOSED SANITARY SEWER
IRON PIN FOUND (I.P.F.)	V.A. VAN ACCESSIBLE HANDICAP DESIGNATION	REMOTE FIRE DEPT. CONNECTION	INLET FILTER PROTECTION	RIGHT OF WAY	EXISTING WATER
EXIST. SIGN POST	HC SIGN	CONCRETE THRUST BLOCK	PROPOSED SPOT ELEVATION	EROSION CONTROL SILT FENCE	PROPOSED WATER
EXIST. SEWER CLEANOUT	PROPOSED SIGN POST	DOUBLE DETECTOR CHECK VALVE	EXIST. SPOT ELEVATION	EROSION EEL	
EXIST. MANHOLE (SEWER & PHONE)	CONCRETE BOLLARD	FIRE DEPT. CONNECTION	SEWER/STORM FLOW DIRECTION	EXISTING TREELINE	
EXIST. CATCH BASIN (STORM SEWER)	WHEEL STOP	FIRE HYDRANT	CATCH BASIN	EXISTING FENCELINE	
EXIST. WATER/GAS VALVE	CONCRETE SIDEWALK	GATE VALVE & BOX	CURB INLET	MINIMUM BUILDING SETBACK LINE	
EXIST. TELEPHONE RISER	EXTRUDED CURB	WATER METER	AREA DRAIN	PHASE BOUNDARY	
EXIST. GAS RISER	CURB & GUTTER	GAS METER	HEADWALL	EXISTING GAS LINE	
ELECTRICAL ENCLOSURE	TRAFFIC ARROW	GREASE TRAP	WINGED HEADWALL	PROPOSED GAS LINE	
EXIST. WATER METER	TURN LANE ARROWS	EXTERIOR CLEANOUT ECO	CONCRETE SWALE	EXISTING STORM	
EXIST. UTILITY POLE	REVISION NUMBER	MANHOLE	TYPE - X - HEADWALL	PROPOSED STORM	
EXIST. FIRE HYDRANT	DRAINAGE STRUCTURE DESIGNATION	EXISTING PHONE		EXISTING CONTOUR LINES	
POST INDICATOR VALVE	DRAINAGE PIPE DESIGNATION	EXISTING ELECTRIC		PROPOSED CONTOUR LINES	

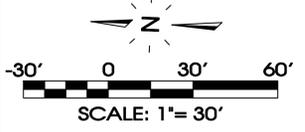
GENERAL WATER NOTES

- The Contractor shall not proceed with any pipe installation work until a Pre-Construction Meeting has been held and they have been notified by the White House Utility District to proceed with the work.
- The locations and depths of existing utilities, including service laterals, and drainage structures shown on the plans are approximate only. The Contractor shall verify the exact location and depths of underground utilities at least 48 hours prior to construction whether shown on plans or not, and protect the same during construction.
- The contractor will be responsible for restoring to its original or better condition from damage done to existing fences, curbs, streets, driveways, landscaping and structures.
- No meter boxes to be set in driveways. Any meter boxes set in driveways will be relocated at the Contractor's and/or Developer's expense.
- The Contractor shall maintain service to existing utilities at all times during construction.
- All water mains greater than (2) inches in diameter shall be Ductile Iron Class 350 Pipe.
- All water mains shall be installed at a minimum depth of 36 inches unless otherwise noted on the construction plans.
- Mechanical joint restraints are to be added on all tees, valves, bends, and hydrants (mega lug type). A minimum of 40 FT length of restrained joint pipe shall be on each side of all valves and fittings.
- Restrained joint pipe will be developed with field installed locking gaskets.
- All dead end lines will receive a minimum of 60 FT of restrained joint pipe at ends.
- All bends 45 degrees and under will receive restrained joint pipe 40 FT up & downstream.
- All 90 degree bends will receive restrained joint pipe 60 FT up & downstream.
- Water mains and sewer mains must maintain a minimum of ten (10) foot horizontal clearance and/or eighteen (18) inches vertical clearance at all times.
- The Contractor will keep the area on top of and around the water meter box free of all objects and debris.
- All testing will be done in accordance with the most recent White House Utility District standards.
- In no case are valves to be located within paved areas.
- Adequate space shall be provided for the installation and maintenance of meter vaults, backflow prevention assemblies and water mains.
- Contractor is responsible for removal of all waste materials upon project completion. The Contractor shall not permanently place any waste materials in the flood plain without first obtaining required permits.
- All temporary erosion and sediment controls shall be removed by the Contractor at final acceptance of the project by the White House Utility District.

BLASTING

- When allowable, blasting shall be performed in accordance with the appropriate criteria established by the National Fire Protection Association or applicable local codes.
- When blasting is allowed, blasting for sewer line excavation must be done in such a manner as to minimize the fracturing of rock beyond the required excavation. The Contractor shall consider the elevation of the existing water main in the relation to the blasting charge and the relative direction of existing and proposed trenches. Blasting within such areas shall be accomplished only by qualified blasting contractors who hold blasting licenses from a qualified agency. Any damage to existing water mains resulting from blasting shall be repaired and retested by the contractor at his own expense.

17. Work completed by the Contractor which has not received a Notice to Proceed by the White House Utility District will be subject to removal and replacement by and at the expense of the Contractor.



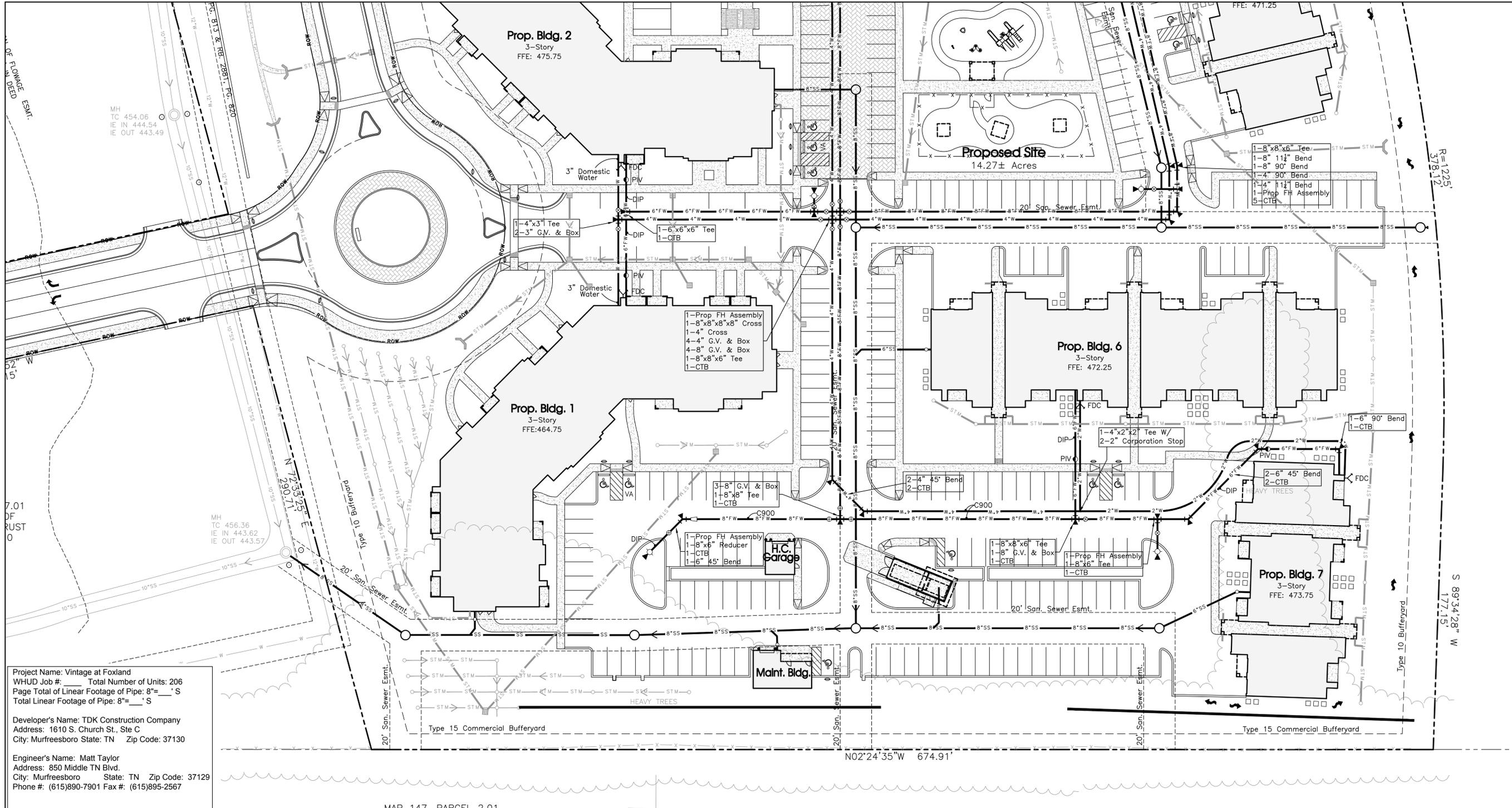
WHUD Job # =

REVISIONS:
 10-13-16 Start Comments

DRAWN: SJA, CFB3
 DATE: 8-1-16
 CHECKED: MAT
 FILE NAME: 16010Project
 SCALE: 1"=30'
 JOB NO. 16010
 SHEET:

Water Line Plan

14 of 27



Project Name: Vintage at Foxland
 WHUD Job #: _____ Total Number of Units: 206
 Page Total of Linear Footage of Pipe: 8"= _____ S
 Total Linear Footage of Pipe: 8"= _____ S

Developer's Name: TDK Construction Company
 Address: 1610 S. Church St., Ste C
 City: Murfreesboro State: TN Zip Code: 37130

Engineer's Name: Matt Taylor
 Address: 850 Middle TN Blvd.
 City: Murfreesboro State: TN Zip Code: 37129
 Phone #: (615)890-7901 Fax #: (615)895-2567

MAP 147, PARCEL 2.01

Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK	⊠	BLOW OFF VALVE	⚡	RIP RAP	— — — — —	PROPERTY LINE
●	IRON PIN SET (I.P.S.)	Ⓜ	HANDICAP PARKING SYMBOL	⏪	REDUCER	➡	RUNOFF FLOW ARROW	— — — — —	EASEMENTS
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION	⚡	REMOTE FIRE DEPT. CONNECTION	⏪	INLET FILTER PROTECTION	— — — — —	RIGHT OF WAY
+	EXIST. SIGN POST	HC SIGN	HC SIGN	⏪	CONCRETE THRUST BLOCK	63.25 X	PROPOSED SPOT ELEVATION	— SF — SF —	EROSION CONTROL SILT FENCE
○	EXIST. SEWER CLEANOUT	➡	PROPOSED SIGN POST	⏪	DOUBLE DETECTOR CHECK VALVE	(63.25) X	EXIST. SPOT ELEVATION	— EEL — EEL — EEL —	EROSION EEL
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD	⚡	FIRE DEPT. CONNECTION	➡	SEWER/STORM FLOW DIRECTION	— X — X — X — X — X —	EXISTING TREELINE
⊖	EXIST. CATCH BASIN (STORM SEWER)	⊖	WHEEL STOP	⚡	FIRE HYDRANT	⏪	CATCH BASIN	— X — X — X — X — X —	EXISTING FENCELINE
⊖	EXIST. WATER/GAS VALVE	⊖	CONCRETE SIDEWALK	⊖	GATE VALVE & BOX	⊖	CURB INLET	— MBSL —	MINIMUM BUILDING SETBACK LINE
⊖	EXIST. TELEPHONE RISER	⊖	EXTRUDED CURB	⊖	WATER METER	⊖	AREA DRAIN	— — — — —	PHASE BOUNDARY
⊖	EXIST. GAS RISER	⊖	CURB & GUTTER	⊖	GAS METER	⊖	HEADWALL	— GAS — GAS —	EXISTING GAS LINE
⊖	ELECTRICAL ENCLOSURE	➡	TRAFFIC ARROW	⊖	GREASE TRAP	⊖	WINGED HEADWALL	— GAS — GAS —	PROPOSED GAS LINE
⊖	EXIST. WATER METER	➡	TURN LANE ARROWS	⊖	EXTERIOR CLEANOUT ECO	⊖	CONCRETE SWALE	— STM — STM — STM —	EXISTING STORM
⊖	EXIST. UTILITY POLE	➡	REVISION NUMBER	⊖	MANHOLE	⊖	TYPE- X- HEADWALL	— STM — STM — STM —	PROPOSED STORM
⊖	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION	⊖	EXISTING PHONE	— PH —	EXISTING CONTOUR LINES	— — — — —	EXISTING CONTOUR LINES
⊖	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION	⊖	EXISTING ELECTRIC	— OH —	PROPOSED CONTOUR LINES	— — — — —	PROPOSED CONTOUR LINES

GENERAL WATER NOTES

- The Contractor shall not proceed with any pipe installation work until a Pre-Construction Meeting has been held and they have been notified by the White House Utility District to proceed with the work.
- The locations and depths of existing utilities, including service laterals, and drainage structures shown on the plans are approximate only. The Contractor shall verify the exact location and depths of underground utilities at least 48 hours prior to construction whether shown on plans or not, and protect the same during construction.
- The contractor will be responsible for restoring to its original or better condition from damage done to existing fences, curbs, streets, driveways, landscaping and structures.
- No meter boxes to be set in driveways. Any meter boxes set in driveways will be relocated at the Contractor's and/or Developer's expense.
- The Contractor shall maintain service to existing utilities at all times during construction.
- All water mains greater than (2) inches in diameter shall be Ductile Iron Class 350 Pipe.
- All water mains shall be installed at a minimum depth of 36 inches unless otherwise noted on the construction plans.
- Mechanical joint restraints are to be added on all tees, valves, bends, and hydrants (mega lug type). A minimum of 40 FT length of restrained joint pipe shall be on each side of all valves and fittings.
- Restrained joint pipe will be developed with field installed locking gaskets.
- All dead end lines will receive a minimum of 60 FT of restrained joint pipe at ends.
- All bends 45 degrees and under will receive restrained joint pipe 40 FT up & downstream.
- All 90 degree bends will receive restrained joint pipe 60 FT up & downstream.
- Water mains and sewer mains must maintain a minimum of ten (10) foot horizontal clearance and/or eighteen (18) inches vertical clearance at all times.
- The Contractor will keep the area on top of and around the water meter box free of all objects and debris.
- All testing will be done in accordance with the most recent White House Utility District standards.
- In no case are valves to be located within paved areas.
- Adequate space shall be provided for the installation and maintenance of meter vaults, backflow prevention assemblies and water mains.
- Contractor is responsible for removal of all waste materials upon project completion. The Contractor shall not permanently place any waste materials in the flood plain without first obtaining required permits.
- All temporary erosion and sediment controls shall be removed by the Contractor at final acceptance of the project by the White House Utility District.

BLASTING

- When allowable, blasting shall be performed in accordance with the appropriate criteria established by the National Fire Protection Association or applicable local codes.
- When blasting is allowed, blasting for sewer line excavation must be done in such a manner as to minimize the fracturing of rock beyond the required excavation. The Contractor shall consider the elevation of the existing water main in the relation to the blasting charge and the relative direction of existing and proposed trenches. Blasting within such areas shall be accomplished only by qualified blasting contractors who hold blasting licenses from a qualified agency. Any damage to existing water mains resulting from blasting shall be repaired and retested by the contractor at his own expense.
- Work completed by the Contractor which has not received a Notice to Proceed by the White House Utility District will be subject to removal and replacement by and at the expense of the Contractor.

SFC, Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2567
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

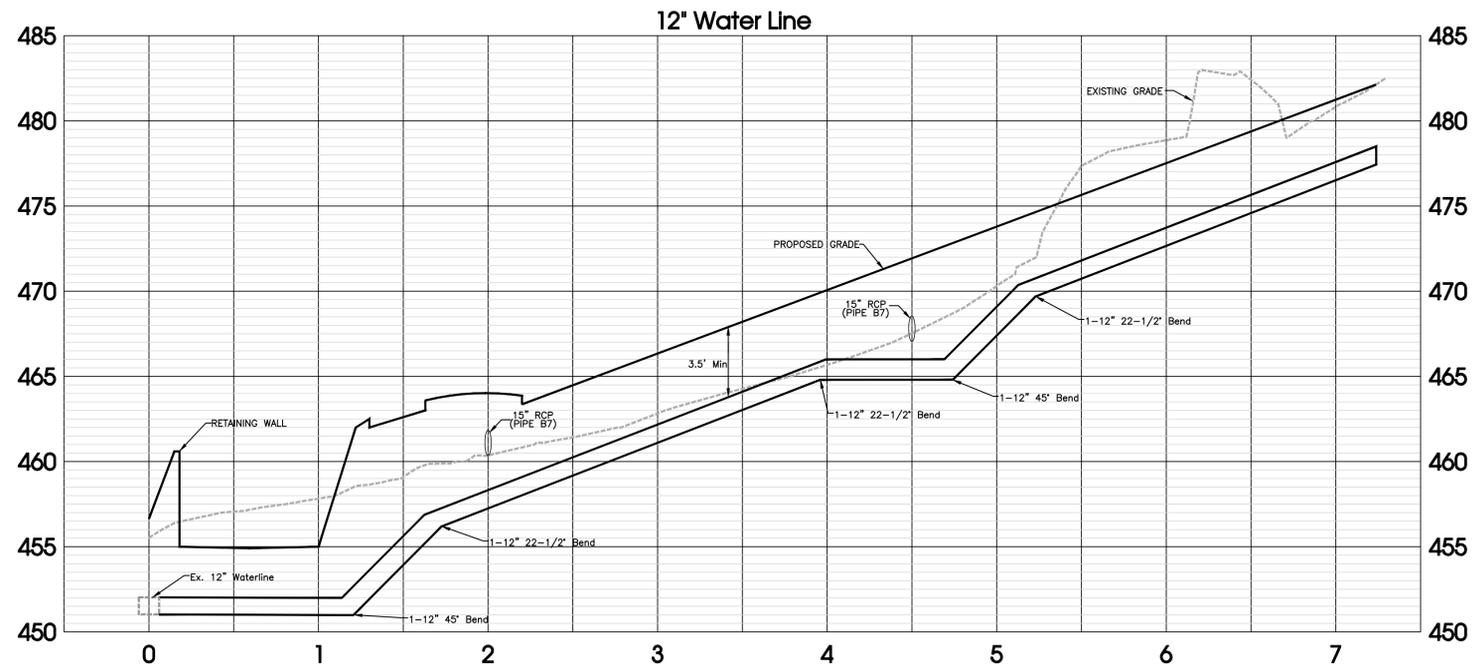
The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the responsibility of the contractor to verify the design as noted, described, and illustrated. The engineer assumes no administrative liability for the site as constructed in accordance with the construction plans.

Vintage at Foxland Harbor
 FHA Project No. 086-35404
 Gallatin, Tennessee

Water Line Plan

REVISION: 2
 DATE: 8-1-16
 DRAWN: SJA, CFB3
 CHECKED: MAT
 FILE NAME: 16010Project
 SCALE: 1"=30'
 JOB NO. 16010
 SHEET: 15 of 27

WHUD Job # =



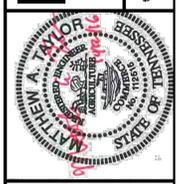
WHUD Job # =

REVISIONS:
 1
 2
 3
 4
 5
 6
 7
 8
 9
 10

DRAWN: SJA, CFB3
 DATE: 8-1-16
 CHECKED:
 MAT
 FILE NAME:
 16010project
 SCALE:
 1"=50' Horiz
 1"=5' Vert
 JOB NO.
 16010
 SHEET:

Water Line Profiles

Vintage at Foxland Harbor
 FHA Project No. 086-35404
 Gallatin, Tennessee



SFC, Inc.
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2567
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the responsibility of the engineer to ensure that the design is feasible and that the construction of the site is in accordance with the design as noted, described, and illustrated. The engineer assumes no administrative liability of responsibility in the assurance that the site is constructed in accordance with the construction plans.

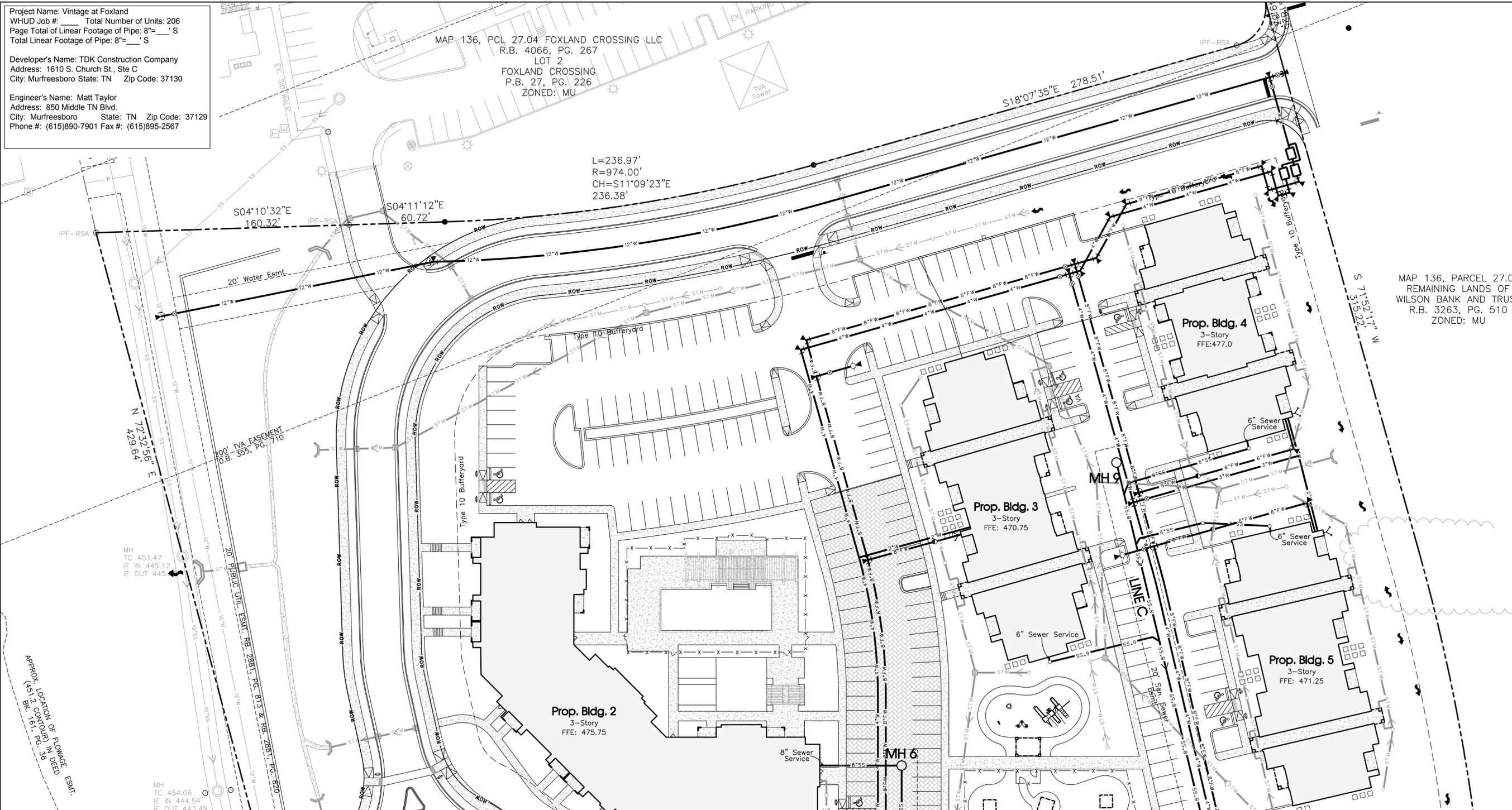
SITE ENGINEERING CONSULTANTS

Project Name: Vintage at Foxland
 WHUD Job #: _____ Total Number of Units: 206
 Page Total of Linear Footage of Pipe: 8"= _____ S
 Total Linear Footage of Pipe: 8"= _____ S

Developer's Name: TDK Construction Company
 Address: 1610 S. Church St., Ste C
 City: Murfreesboro State: TN Zip Code: 37130

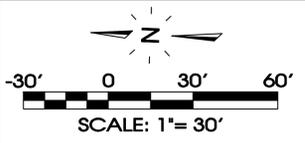
Engineer's Name: Matt Taylor
 Address: 850 Middle TN Blvd.
 City: Murfreesboro State: TN Zip Code: 37129
 Phone #: (615)890-7901 Fax #: (615)895-2567

MAP 136, PCL 27.04 FOXLAND CROSSING LLC
 R.B. 4066, PG. 267
 LOT 2
 FOXLAND CROSSING
 P.B. 27, PG. 226
 ZONED: MU



MAP 136, PARCEL 27.0
 REMAINING LANDS OF
 WILSON BANK AND TRUS
 R.B. 3263, PG. 510
 ZONED: MU

Legend:					
EXIST. CONCRETE MONUMENT	BENCHMARK	BLOW OFF VALVE	RIP RAP	PROPERTY LINE	EXISTING SANITARY SEWER
IRON PIN SET (I.P.S.)	HANDICAP PARKING SYMBOL	REDUCER	RUNOFF FLOW ARROW	EASEMENTS	PROPOSED SANITARY SEWER
IRON PIN FOUND (I.P.F.)	V.A. VAN ACCESSIBLE HANDICAP DESIGNATION	REMOTE FIRE DEPT. CONNECTION	INLET FILTER PROTECTION	RIGHT OF WAY	EXISTING WATER
EXIST. SIGN POST	HC SIGN	CONCRETE THRUST BLOCK	63.25 X PROPOSED SPOT ELEVATION	EROSION CONTROL SILT FENCE	PROPOSED WATER
EXIST. SEWER CLEANOUT	PROPOSED SIGN POST	DOUBLE DETECTOR CHECK VALVE	(63.25 X) EXIST. SPOT ELEVATION	EROSION EEL	
EXIST. MANHOLE (SEWER & PHONE)	CONCRETE BOLLARD	FIRE DEPT. CONNECTION	SEWER/STORM FLOW DIRECTION	EXISTING TREELINE	
EXIST. CATCH BASIN (STORM SEWER)	WHEEL STOP	FIRE HYDRANT	CATCH BASIN	EXISTING FENCELINE	
EXIST. WATER/GAS VALVE	CONCRETE SIDEWALK	GATE VALVE & BOX	CURB INLET	MINIMUM BUILDING SETBACK LINE	
EXIST. TELEPHONE RISER	EXTRUDED CURB	WATER METER	AREA DRAIN	PHASE BOUNDARY	
EXIST. GAS RISER	CURB & GUTTER	GAS METER	HEADWALL	EXISTING GAS LINE	
ELECTRICAL ENCLOSURE	TRAFFIC ARROW	GREASE TRAP	WINGED HEADWALL	PROPOSED GAS LINE	
EXIST. WATER METER	TURN LANE ARROWS	EXTERIOR CLEANOUT ECO	CONCRETE SWALE	EXISTING STORM	
EXIST. UTILITY POLE	REVISION NUMBER	MANHOLE	TYPE- X- HEADWALL	PROPOSED STORM	
EXIST. FIRE HYDRANT	DRAINAGE STRUCTURE DESIGNATION	EXISTING PHONE	PH	EXISTING CONTOUR LINES	
POST INDICATOR VALVE	DRAINAGE PIPE DESIGNATION	EXISTING ELECTRIC	OH	PROPOSED CONTOUR LINES	



GENERAL SEWER NOTES

- The Contractor shall not proceed with any pipe installation work until a Pre-Construction Meeting has been held and they have been notified by the White House Utility District to proceed with the work.
- The locations and depths of existing utilities, including service laterals, and drainage structures shown on the plans are approximate only. The Contractor shall verify the exact location and depths of underground utilities at least 48 hours prior to construction whether shown on plans or not, and protect the same during construction.
- The contractor will be responsible for restoring to its original or better condition from damage done to existing fences, curbs, streets, driveways, landscaping and structures.
- The Contractor shall maintain service to existing utilities at all times during construction.
- All residential gravity fed sewer service laterals shall be extended to the property line and capped and sealed.
- Water mains and sewer mains must maintain a minimum of ten (10) foot horizontal clearance and/or eighteen (18) inches vertical clearance at all times.
- On all manholes to be abandoned, the rings and covers shall be salvaged in accordance with the most current White House Utility District standards. The hole should be backfilled to the satisfaction of the Inspector.
- Contractor is responsible for removal of all waste materials upon project completion. The Contractor shall not permanently place any waste materials in the flood plain without first obtaining required permits.
- All temporary erosion and sediment controls shall be removed by the Contractor at final acceptance of the project by the White House Utility District.
- After construction is complete, testing will be done by TV camera by the Contractor and observed by the Inspector, as the camera is run through all lines. Any abnormalities, such as broken pipe, misaligned joints or non-uniform slope, must be replaced by the Contractor at his expense. All testing will be done in accordance with the most recent White House Utility District standards.

BLASTING

- When allowable, blasting shall be performed in accordance with the appropriate criteria established by the National Fire Protection Association or applicable local codes.
- When blasting is allowed, blasting for sewer line excavation must be done in such a manner as to minimize the fracturing of rock beyond the required excavation. The Contractor shall consider the elevation of the existing sanitary sewer main in the relation to the blasting charge and the relative direction of existing and proposed trenches. Blasting within such areas shall be accomplished only by qualified blasting contractors who hold blasting licenses from a qualified agency. Any damage to existing sanitary sewer mains resulting from blasting shall be repaired and retested by the contractor at his own expense.

SUPPLEMENTARY

13. Unless otherwise noted on the plans, all Sewer Pipe shall conform to the following chart.

Depth of Main	Pipe Material
1 0 to 18"	SDR 26
2 18" to 24"	C900
3 >24"	Ductile Iron

14. **Work completed by the Contractor which has not received a Notice to Proceed by the White House Utility District will be subject to removal and replacement by and at the expense of the Contractor.**

SFC, Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2567
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

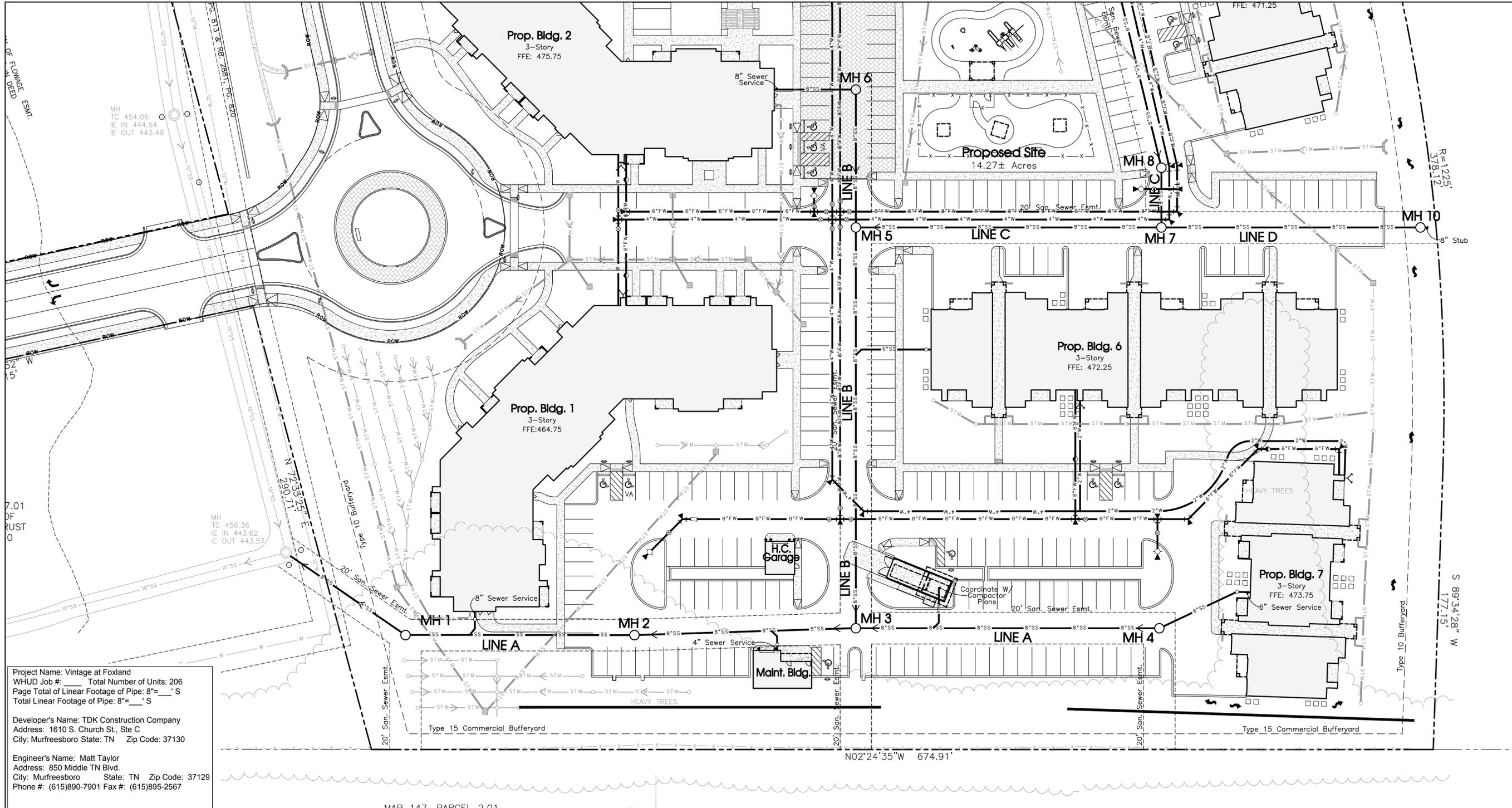
THE STATE OF TENNESSEE
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 15121
 MATT TAYLOR

Vintage at Foxland Harbor
 FHA Project No. 086-35404
 Gallatin, Tennessee

REVISIONS:
 1 9-1-16 10-13-16 Start Community
 2

DRAWN: SJA, CFB3
 DATE: 8-1-16
 CHECKED:
 MAT
 FILE NAME:
 16010project
 SCALE:
 1"=30'
 JOB NO.
 16010
 SHEET:
 17 of 27

WHUD Job # =



Project Name: Vintage at Foxland
 WHUD Job #: _____ Total Number of Units: 206
 Page Total of Linear Footage of Pipe: 8"= _____' S
 Total Linear Footage of Pipe: 8"= _____' S

Developer's Name: TDK Construction Company
 Address: 1610 S. Church St., Ste C
 City: Murfreesboro State: TN Zip Code: 37130

Engineer's Name: Matt Taylor
 Address: 850 Middle TN Blvd.
 City: Murfreesboro State: TN Zip Code: 37129
 Phone #: (615)890-7901 Fax #: (615)895-2567

MAP 147, PARCEL 2.01

Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK	⊠	BLOW OFF VALVE	⚡	RIP RAP	— — — — —	PROPERTY LINE	— — — — —	EXISTING SANITARY SEWER	— — — — —
●	IRON PIN SET (I.P.S.)	Ⓜ	HANDICAP PARKING SYMBOL	⊠	REDUCER	➔	RUNOFF FLOW ARROW	— — — — —	EASEMENTS	— — — — —	PROPOSED SANITARY SEWER	— — — — —
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION	⊠	REMOTE FIRE DEPT. CONNECTION	⊠	INLET FILTER PROTECTION	— — — — —	RIGHT OF WAY	— — — — —	EXISTING WATER	— — — — —
+	EXIST. SIGN POST	Ⓜ	HC SIGN	⊠	CONCRETE THRUST BLOCK	63.25 X	PROPOSED SPOT ELEVATION	— — — — —	EROSION CONTROL SILT FENCE	— — — — —	PROPOSED WATER	— — — — —
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST	⊠	DOUBLE DETECTOR CHECK VALVE	(63.25) X	EXIST. SPOT ELEVATION	— — — — —	EROSION EEL	— — — — —		
○	EXIST. MANHOLE (SEWER & PHONE)	•	CONCRETE BOLLARD	⊠	FIRE DEPT. CONNECTION	➔	SEWER/STORM FLOW DIRECTION	— — — — —	EXISTING TREELINE	— — — — —		
⊖	EXIST. CATCH BASIN (STORM SEWER)	⊠	WHEEL STOP	⊠	FIRE HYDRANT	⊠	CATCH BASIN	— — — — —	EXISTING FENCELINE	— — — — —		
⊗	EXIST. WATER/GAS VALVE	⊠	CONCRETE SIDEWALK	⊠	GATE VALVE & BOX	⊠	CURB INLET	— — — — —	MINIMUM BUILDING SETBACK LINE	— — — — —		
⊠	EXIST. TELEPHONE RISER	⊠	EXTRUDED CURB	⊠	WATER METER	⊠	AREA DRAIN	— — — — —	PHASE BOUNDARY	— — — — —		
⊠	EXIST. GAS RISER	⊠	CURB & GUTTER	⊠	GAS METER	⊠	HEADWALL	— — — — —	EXISTING GAS LINE	— — — — —		
⊠	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW	⊠	GREASE TRAP	⊠	WINGED HEADWALL	— — — — —	PROPOSED GAS LINE	— — — — —		
⊠	EXIST. WATER METER	➔	TURN LANE ARROWS	⊠	EXTERIOR CLEANOUT ECO	⊠	CONCRETE SWALE	— — — — —	EXISTING STORM	— — — — —		
⊠	EXIST. UTILITY POLE	⊠	REVISION NUMBER	⊠	MANHOLE	⊠	TYPE- X- HEADWALL	— — — — —	PROPOSED STORM	— — — — —		
⊠	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION	⊠	EXISTING PHONE	— — — — —	PH	— — — — —	EXISTING CONTOUR LINES	— — — — —		
⊠	POST INDICATOR VALVE	⊠	DRAINAGE PIPE DESIGNATION	⊠	EXISTING ELECTRIC	— — — — —	OH	— — — — —	PROPOSED CONTOUR LINES	— — — — —		

GENERAL SEWER NOTES

- The Contractor shall not proceed with any pipe installation work until a Pre-Construction Meeting has been held and they have been notified by the White House Utility District to proceed with the work.
- The locations and depths of existing utilities, including service laterals, and drainage structures shown on the plans are approximate only. The Contractor shall verify the exact location and depths of underground utilities at least 48 hours prior to construction whether shown on plans or not, and protect the same during construction.
- The contractor will be responsible for restoring to its original or better condition from damage done to existing fences, curbs, streets, driveways, landscaping and structures.
- The Contractor shall maintain service to existing utilities at all times during construction.
- All residential gravity fed sewer service laterals shall be extended to the property line and capped and sealed.
- Water mains and sewer mains must maintain a minimum of ten (10) foot horizontal clearance and/or eighteen (18) inches vertical clearance at all times.
- On all manholes to be abandoned, the rings and covers shall be salvaged in accordance with the most current White House Utility District standards. The hole should be backfilled to the satisfaction of the Inspector.
- Contractor is responsible for removal of all waste materials upon project completion. The Contractor shall not permanently place any waste materials in the flood plain without first obtaining required permits.
- All temporary erosion and sediment controls shall be removed by the Contractor at final acceptance of the project by the White House Utility District.
- After construction is complete, testing will be done by TV camera by the Contractor and observed by the Inspector, as the camera is run through all lines. Any abnormalities, such as broken pipe, misaligned joints or non-uniform slope, must be replaced by the Contractor at his expense. All testing will be done in accordance with the most recent White House Utility District standards.

BLASTING

- When allowable, blasting shall be performed in accordance with the appropriate criteria established by the National Fire Protection Association or applicable local codes.
- When blasting is allowed, blasting for sewer line excavation must be done in such a manner as to minimize the fracturing of rock beyond the required excavation. The Contractor shall consider the elevation of the existing sanitary sewer main in the relation to the blasting charge and the relative direction of existing and proposed trenches. Blasting within such areas shall be accomplished only by qualified blasting contractors who hold blasting licenses from a qualified agency. Any damage to existing sanitary sewer mains resulting from blasting shall be repaired and retested by the contractor at his own expense.

SUPPLEMENTARY

- Unless otherwise noted on the plans, all Sewer Pipe shall conform to the following chart.

Depth of Main	Pipe Material
1 0 to 18"	SDR 26
2 18" to 24"	C900
3 >24"	Ductile Iron

- Work completed by the Contractor which has not received a Notice to Proceed by the White House Utility District will be subject to removal and replacement by and at the expense of the Contractor.**

WHUD Job # =

SFC, Inc.
 SITE ENGINEERING • CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

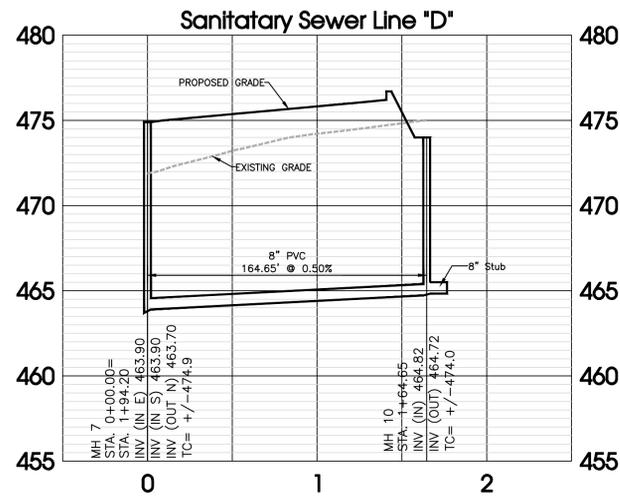
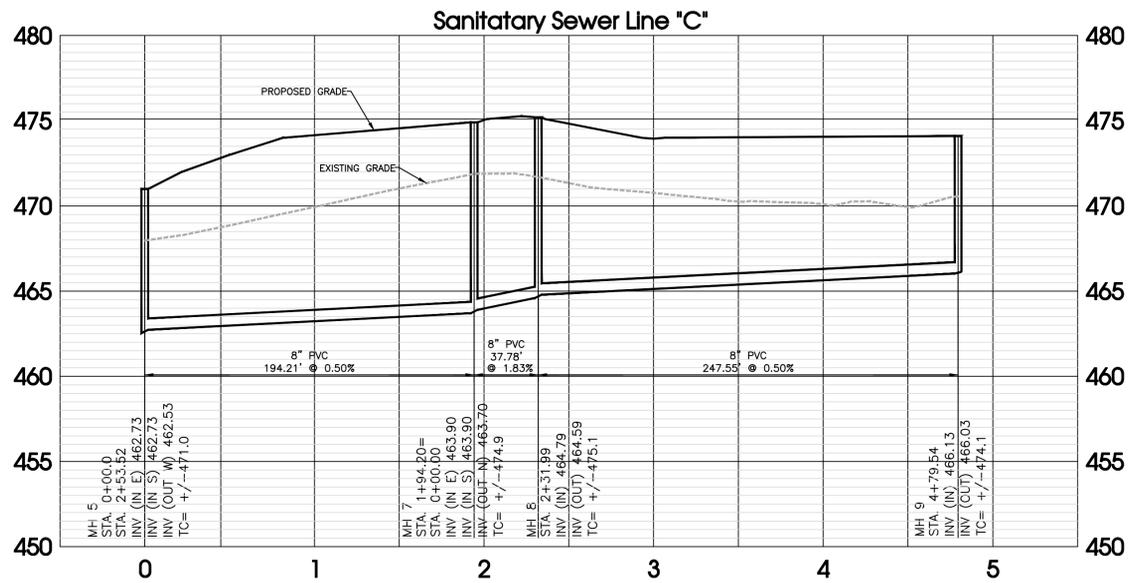
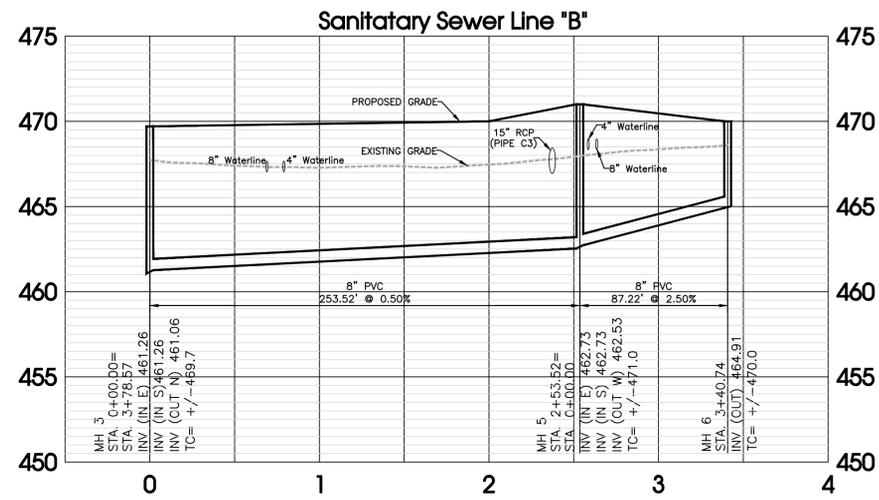
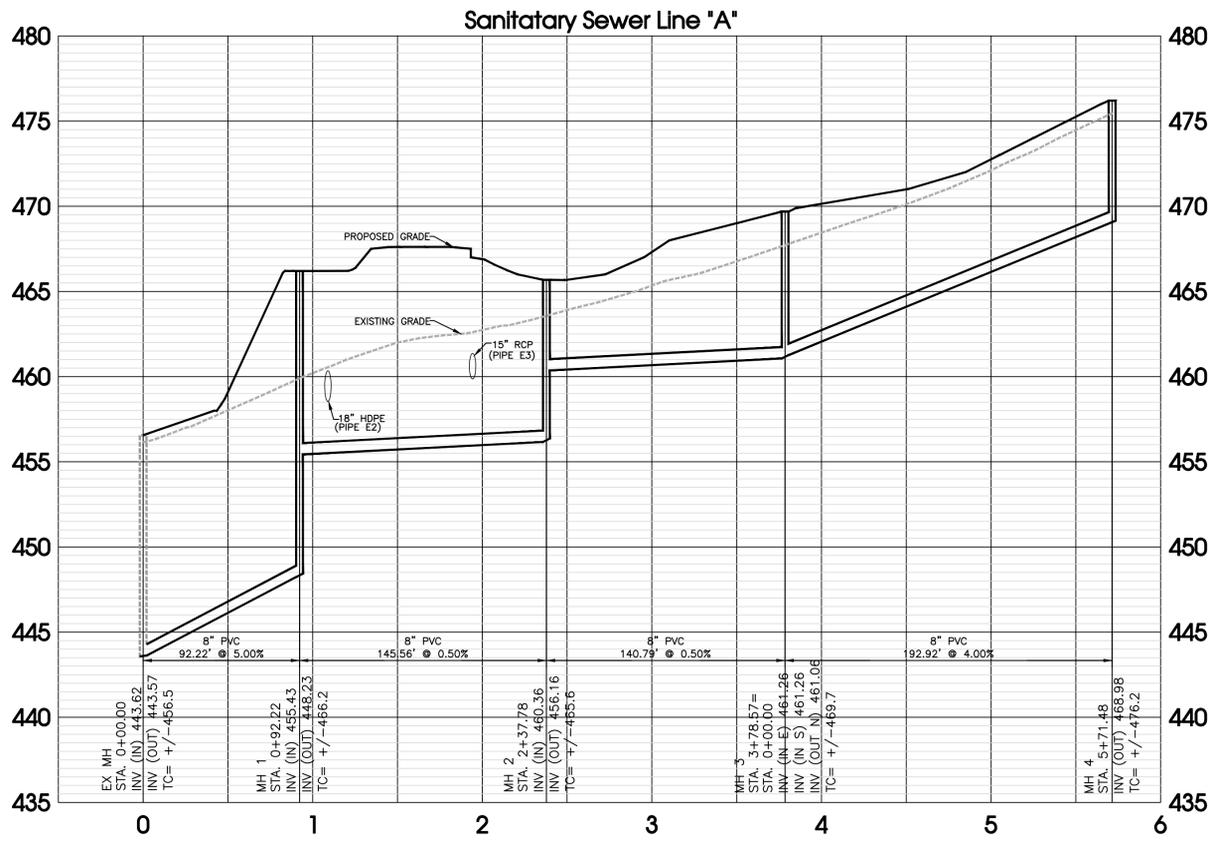
The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the responsibility of the contractor to verify the design and construction of the site. The engineer assumes no administrative liability for the site as constructed in accordance with the construction plans.



Vintage at Foxland Harbor
 FHA Project No. 086-35404
 Gallatin, Tennessee

REVISIONS:
 1 9-1-16 10-13-16 Start Comments

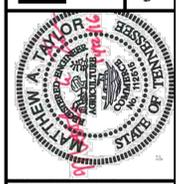
DRAWN: SJA, CFB3
 DATE: 8-1-16
 CHECKED: MAT
 FILE NAME: 16010Project
 SCALE: 1"=30'
 JOB NO. 16010
 SHEET: 18 of 27



SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

SEC, Inc.
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567

NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

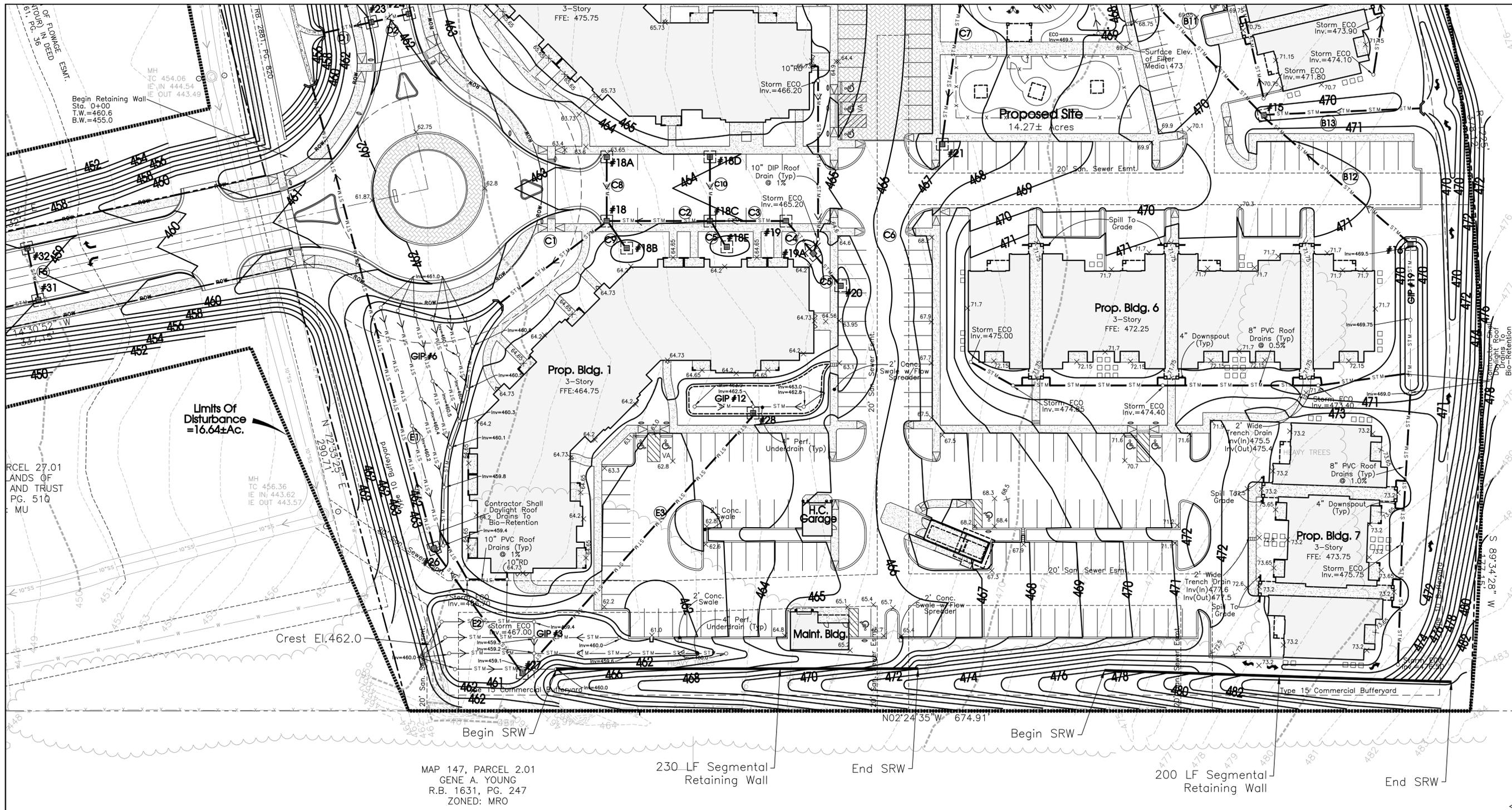


Vintage at Foxland Harbor
FHA Project No. 086-35404
Gallatin, Tennessee

REVISIONS: 10-13-16 Staff Comments

DRAWN: SJA, CFB3
DATE: 8-1-16
CHECKED:
MAT
FILE NAME:
16010project
SCALE:
1"=50' Horiz
1"=5' Vert
JOB NO.
16010
SHEET:

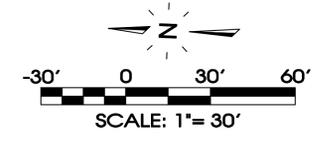
Sewer Profiles



Legend:											
□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK	⊠	BLOW OFF VALVE	⊠	RIP RAP	---	PROPERTY LINE	---	EXISTING SANITARY SEWER
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL	▭	REDUCER	➔	RUNOFF FLOW ARROW	---	EASEMENTS	---	PROPOSED SANITARY SEWER
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION	⊕	REMOTE FIRE DEPT. CONNECTION	⊠	INLET FILTER PROTECTION	---	RIGHT OF WAY	---	EXISTING WATER
+	EXIST. SIGN POST	HC	HC SIGN	⊠	CONCRETE THRUST BLOCK	63.25 X	PROPOSED SPOT ELEVATION	---	EROSION CONTROL SILT FENCE	---	PROPOSED WATER
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST	⊠	DOUBLE DETECTOR CHECK VALVE	(63.25) X	EXIST. SPOT ELEVATION	---	EROSION EEL	---	
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD	⊠	FIRE DEPT. CONNECTION	>	SEWER/STORM FLOW DIRECTION	---	EXISTING TREELINE	---	
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊠	WHEEL STOP	⊠	FIRE HYDRANT	⊠	CATCH BASIN	---	EXISTING FENCELINE	---	
⊕	EXIST. WATER/GAS VALVE	⊠	CONCRETE SIDEWALK	⊠	GATE VALVE & BOX	⊠	CURB INLET	---	MINIMUM BUILDING SETBACK LINE	---	
⊠	EXIST. TELEPHONE RISER	⊠	EXTRUDED CURB	⊠	WATER METER	⊠	AREA DRAIN	---	PHASE BOUNDARY	---	
⊠	EXIST. GAS RISER	⊠	CURB & GUTTER	⊠	GAS METER	⊠	HEADWALL	---	EXISTING GAS LINE	---	
⊠	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW	⊠	GREASE TRAP	⊠	WINGED HEADWALL	---	PROPOSED GAS LINE	---	
⊠	EXIST. WATER METER	➔	TURN LANE ARROWS	⊠	EXTERIOR CLEANOUT ECO	⊠	CONCRETE SWALE	---	EXISTING STORM	---	
⊠	EXIST. UTILITY POLE	⊠	REVISION NUMBER	⊠	MANHOLE	⊠	TYPE- X- HEADWALL	---	PROPOSED STORM	---	
⊠	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION	⊠	EXISTING PHONE	---	PH	---	EXISTING CONTOUR LINES	---	
⊠	POST INDICATOR VALVE	⊠	DRAINAGE PIPE DESIGNATION	⊠	EXISTING ELECTRIC	---	EH	---	PROPOSED CONTOUR LINES	---	

Note:
 Inspection and Maintenance of Erosion Control Devices will be performed on a Regular Basis and after each Storm Event. Erosion and Sediment Controls must be in place and inspected by the Engineering Department prior to beginning grading.

Slopes steeper than 3:1 shall include erosion control matting North American Green SC150 or equivalent.

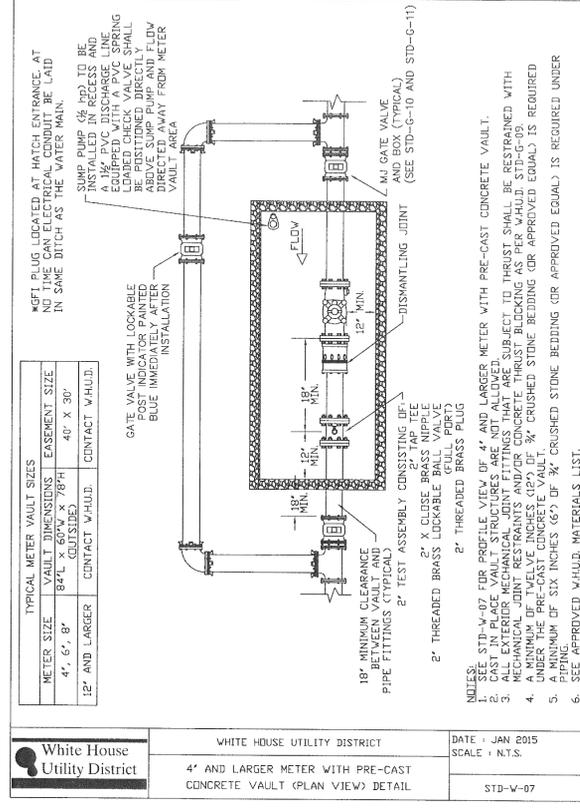
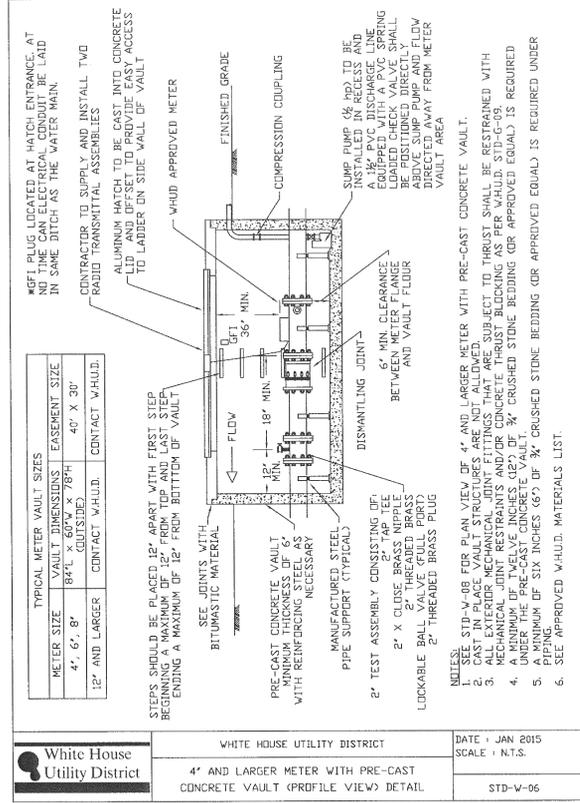
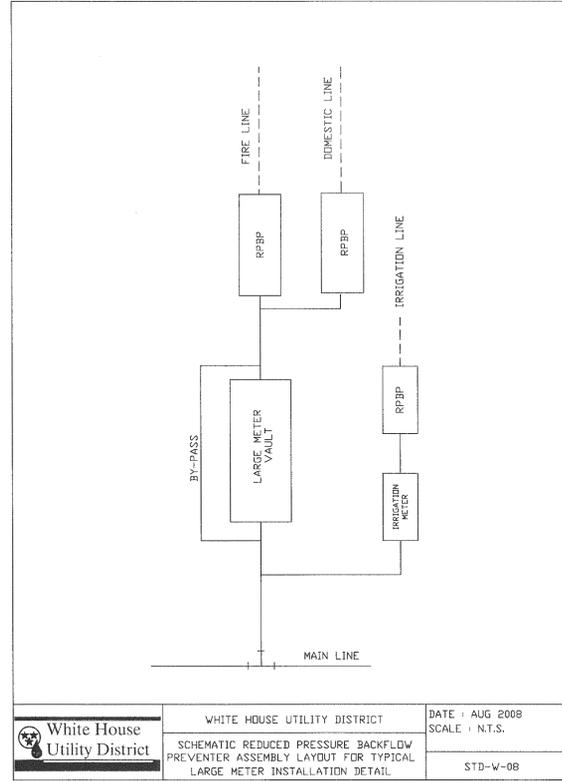


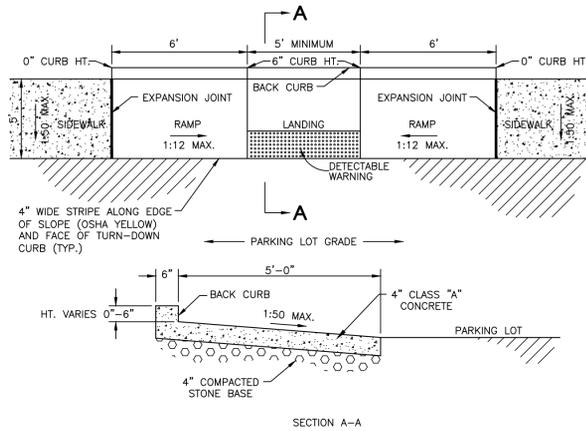
SFC, Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 880-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 885-2667
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.



Vintage at Foxland Harbor
 FHA Project No. 086-35404
 Gallatin, Tennessee

REVISIONS: 10-13-16 Staff Comments
 DRAWN: SJA, CFB3
 DATE: 8-1-16
 CHECKED: MAT
 FILE NAME: 16010project
 SCALE: 1"=30'
 JOB NO. 16010
 SHEET: 21 of 27

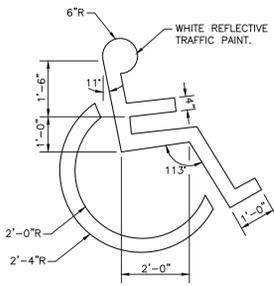




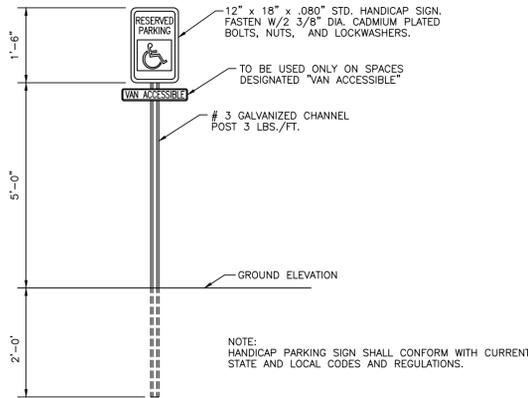
GENERAL NOTES:

- LANDING SHALL BE FLUSH WITH EDGE OF PAVEMENT.
- SURFACE TEXTURE OF THE CURB RAMP SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE SURFACE SHALL BE COARSE BROOMED FINISH TRANSVERSE TO THE SLOPE OF THE RAMP.
- BACK CURB HEIGHT ALONG RAMP SHALL TRANSITION FROM 0 INCHES AT EXPANSION JOINTS TO 6" AT LANDING AND SHALL BE A CONSTANT HEIGHT OF 6" THROUGH LANDING. CROSS-SLOPE (BACK TO FRONT) TOP OF BACK CURB SHALL BE THE SAME AS THE SIDEWALK CROSS-SLOPE.
- RAMP SHALL HAVE A MAXIMUM SLOPE OF 1:12 (VERTICAL/HORIZONTAL) AND SHALL NOT BE REQUIRED TO EXCEED 8 FEET (96 INCHES) IN LENGTH.
- HANDICAP RAMP SHALL BE CONSTRUCTED WITH DETECTABLE WARNINGS WHICH SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 0.9 INCHES, A NOMINAL HEIGHT OF 0.2 INCHES AND A NOMINAL CENTER-TO-CENTER SPACING OF 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED SHALL BE YELLOW BRICK PAVERS AND SHALL PROVIDE CONTRAST AND BE AN INTEGRAL PART OF THE WALKING SURFACE. THE PAVERS SHALL COMPLY WITH THE CURRENT REQUIREMENTS SET FORTH IN THE ADA AND BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS. THE DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH AND FOR 2 FEET FROM THE BOTTOM OF THE RAMP.
- A CURB RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH 4.29.2 OF ADA REQUIREMENTS. THE DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH AND DEPTH OF THE CURB RAMP.

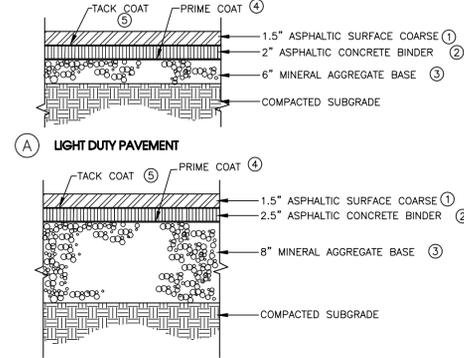
HANDICAP RAMP
SCALE: NONE



HANDICAP SYMBOL DETAIL
SCALE: NONE



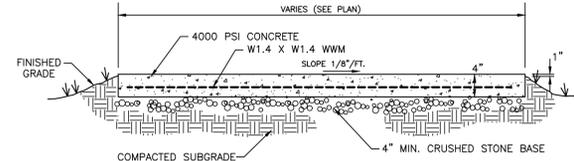
HANDICAP PARKING SIGN DETAIL
SCALE: NONE



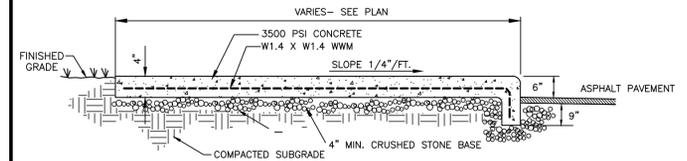
TYPICAL PAVEMENT SECTIONS

- LIGHT DUTY PAVEMENT**
① BITUMINOUS SURFACE: (1" PER SQ. TD. = 106 LBS)
TDOT 411-01.01 - MINERAL AGGREGATE (ASC) GRADING "E"
TDOT 411-01.02 - ASPHALTIC CEMENT (ASC) GRADING "E"
② BITUMINOUS BINDER: (1" PER SQ. YD. = 110 LBS.)
TDOT 307-03.11 - BITUMINOUS PLANT MIX BASE (HOT MIX) (BPMB-HM) GRADING "B"
③ MINERAL AGGREGATE: (2.03 TON / CU. YD.)
TDOT 303-01 - MINERAL AGGREGATE TYPE "A" BASE, GRADING "D"
④ PRIME COAT:
TDOT 402-01 - BITUMINOUS MATERIAL FOR PRIME COAT (PC) 0.30-0.35 GAL/SQ. YD.
TDOT 402-02 - AGGREGATE FOR COVER MATERIAL (PC) 8-12 LB/SQ. YD.
⑤ TACK COAT:
TDOT 403-01 - BITUMINOUS MATERIAL FOR TACK COAT (TC) 0.02 GAL/SQ. YD.
- HEAVY DUTY PAVEMENT**
① BITUMINOUS SURFACE: (1" PER SQ. TD. = 106 LBS)
TDOT 411-01.01 - MINERAL AGGREGATE (ASC) GRADING "E"
TDOT 411-01.02 - ASPHALTIC CEMENT (ASC) GRADING "E"
② BITUMINOUS BINDER: (1" PER SQ. YD. = 110 LBS.)
TDOT 307-03.11 - BITUMINOUS PLANT MIX BASE (HOT MIX) (BPMB-HM) GRADING "B"
③ MINERAL AGGREGATE: (2.03 TON / CU. YD.)
TDOT 303-01 - MINERAL AGGREGATE TYPE "A" BASE, GRADING "D"
④ PRIME COAT:
TDOT 402-01 - BITUMINOUS MATERIAL FOR PRIME COAT (PC) 0.30-0.35 GAL/SQ. YD.
TDOT 402-02 - AGGREGATE FOR COVER MATERIAL (PC) 8-12 LB/SQ. YD.
⑤ TACK COAT:
TDOT 403-01 - BITUMINOUS MATERIAL FOR TACK COAT (TC) 0.02 GAL/SQ. YD.

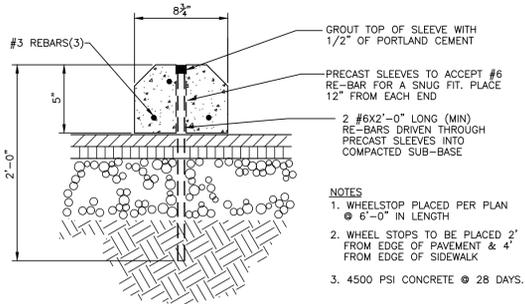
TYPICAL PAVEMENT SECTIONS
SCALE: NONE



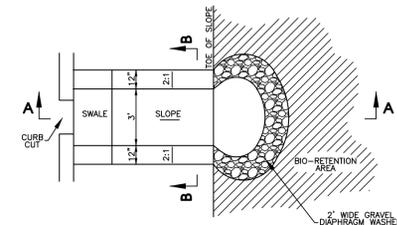
CONCRETE SIDEWALK
SCALE: NONE



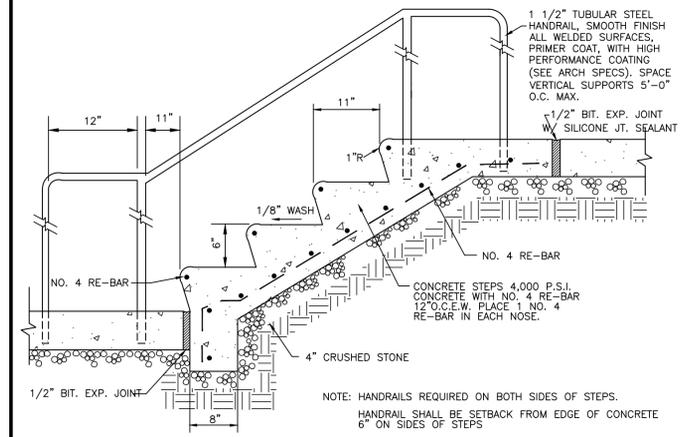
CONCRETE SIDEWALK WITH TURN DOWN CURB
SCALE: NONE



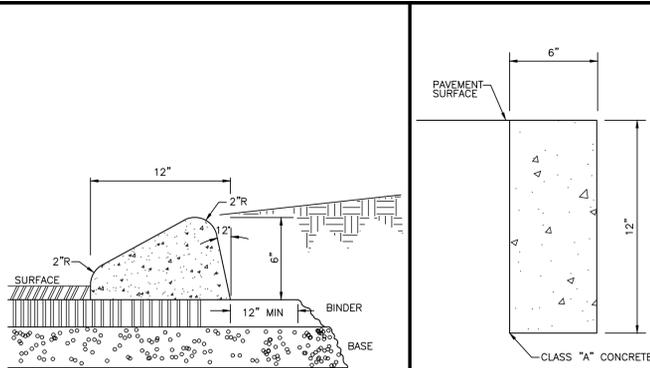
WHEELSTOP DETAIL
SCALE: NONE



CONCRETE SWALE INVERT
SCALE: NONE

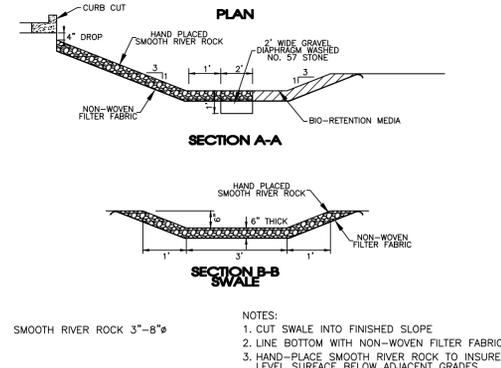


TYPICAL STEP DETAIL
SCALE: NONE

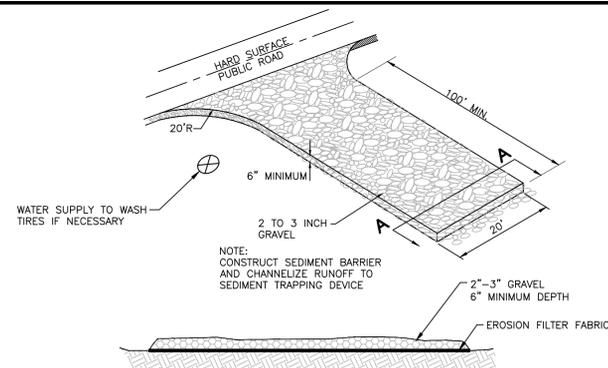


EXTRUDED CURB
SCALE: NONE

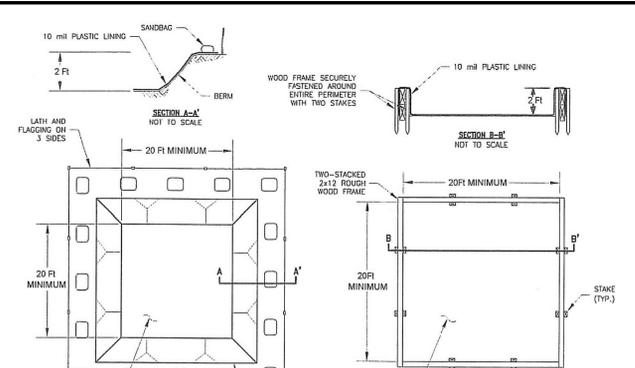
CONCRETE RIBBON CURB
SCALE: NONE



CURB CUT GRAVEL FLOW SPREADER
SCALE: NONE



GRAVEL CONSTRUCTION ENTRANCE
SCALE: NONE



CONCRETE WASTE MANAGEMENT AREA
SCALE: NONE

SFC, Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE ENGINEER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS. THE ENGINEER ASSUMES NO ADMINISTRATIVE LIABILITY OR RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.

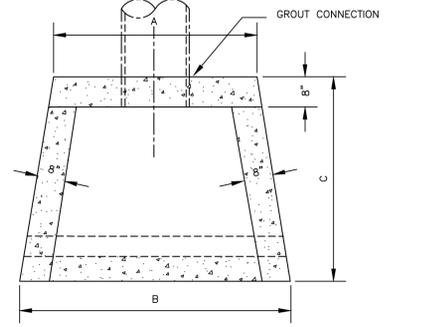
ATLANTA, GA
MEMBER OF THE NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS
REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE
No. 10000

Vintage at Foxland Harbor
FHA Project No. 086-35404
Gallatin, Tennessee

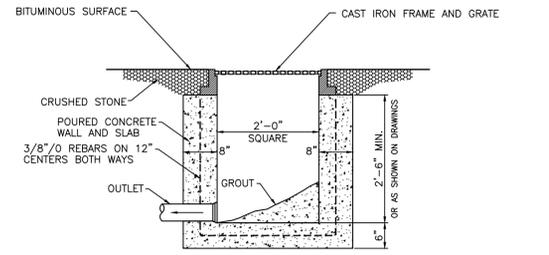
REVISIONS: 10-13-16 Staff Comments

DRAWN: SJA, CFB3
DATE: 8-1-16
CHECKED:
MAT
FILE NAME:
16010project
SCALE:
N.T.S.
JOB NO.
16010
SHEET:
24 of 27

Details



CATCH BASIN - ROADWAY DETAIL
SCALE: NONE



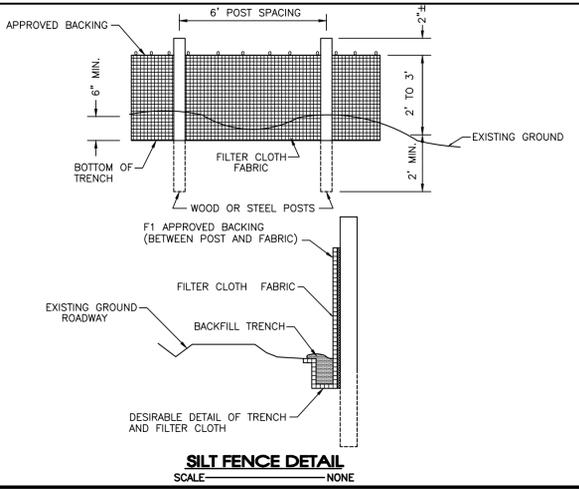
**TRENCH BEDDING FOR STORM DRAIN
CMP AND RCP ONLY**
SCALE: NONE

NOTES:
1. WHEN PIPE IS TO BE PLACED IN A FILL SECTION, THE COMPACTED FILL SHALL BE PLACED A MIN. OF 12" ABOVE THE PIPE ELEVATION BEFORE THE TRENCH IS EXCAVATED.
2. SUBGRADES SHOULD BE EXCAVATED, IF NECESSARY, SO A UNIFORM FOUNDATION FREE OF PROTRUDING ROCKS MAY BE PROVIDED.

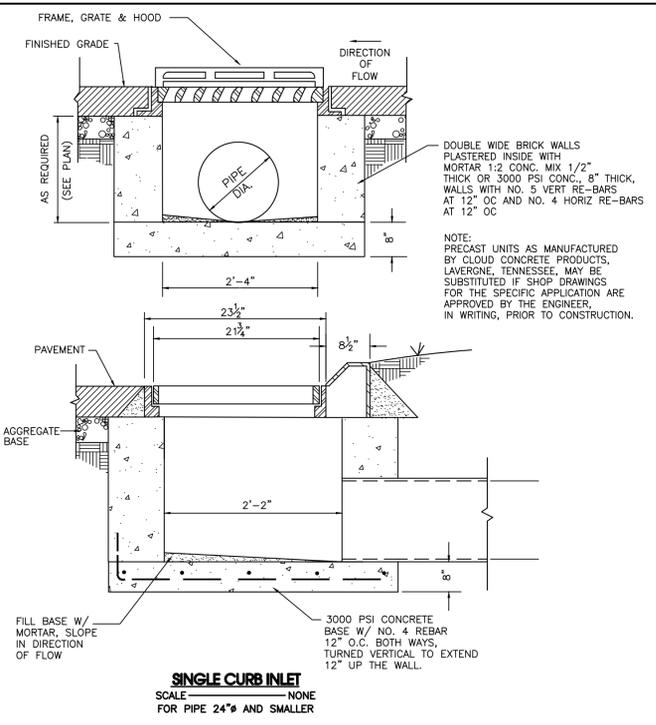
PIPE DIA.	D (MIN.)
27" & SMALLER	3"
30" TO 60"	4"
66" & LARGER	6"

PIPE SIZE	A	B	C
24" O.D. MAX.	48"	72"	44"
39" O.D. MAX.	72"	96"	50"
53" O.D. MAX.	96"	120"	56"

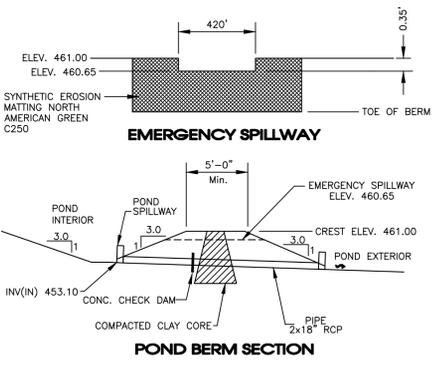
WINGED HEADWALL
SCALE: NONE



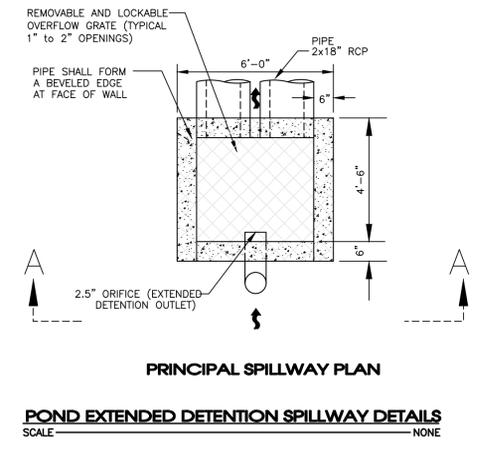
SILT FENCE DETAIL
SCALE: NONE



SINGLE CURB INLET
SCALE: NONE
FOR PIPE 24" AND SMALLER

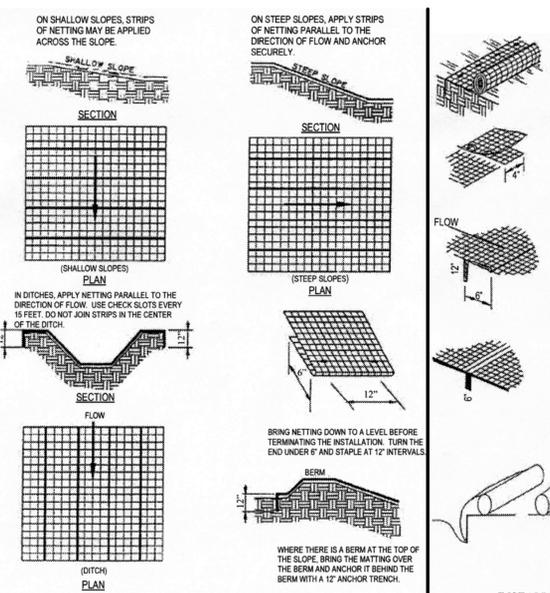


EMERGENCY SPILLWAY



PRINCIPAL SPILLWAY PLAN

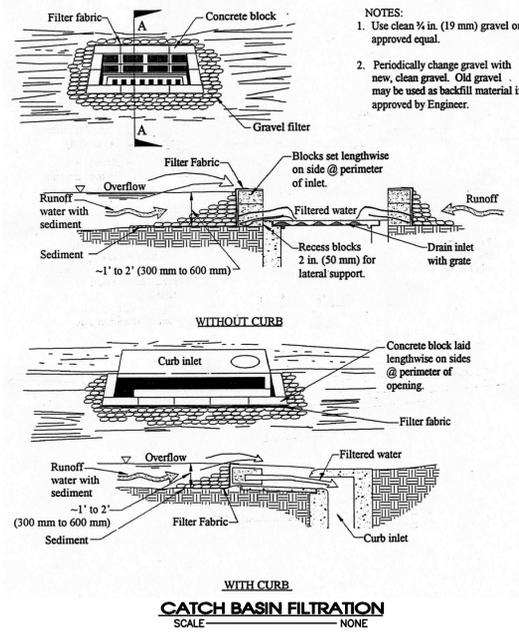
POND EXTENDED DETENTION SPILLWAY DETAILS
SCALE: NONE



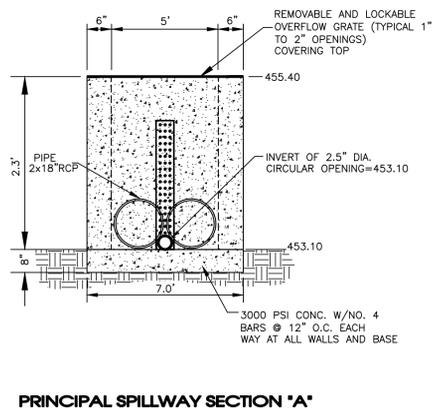
INSTALLATION OF NETTING AND MATTING

Figure TCP-09-1
Mat Anchoring

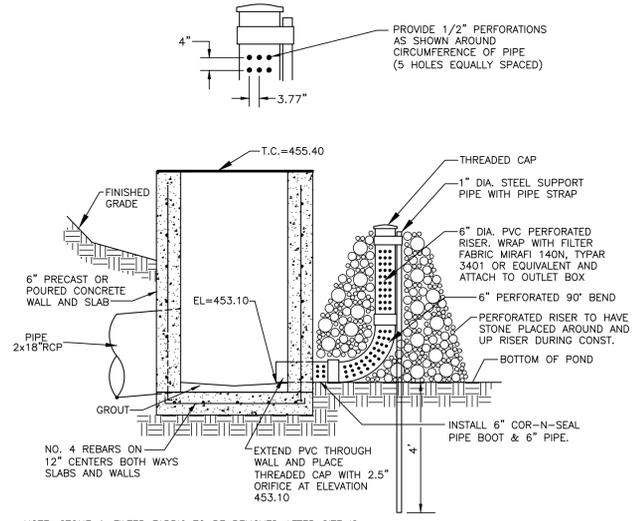
Figure TCP-09-2
Mat Anchoring and Layout



CATCH BASIN FILTRATION
SCALE: NONE



PRINCIPAL SPILLWAY SECTION 'A'



DETENTION POND OUTLET STRUCTURE
SCALE: NONE

NOTE: STONE & FILTER FABRIC TO BE REMOVED AFTER SITE IS STABILIZED AND PRIOR TO FINAL SIGN OFF BY METRO WATER SERVICES.

SFC, Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SFC-CIVIL.COM FAX: (615) 895-2667
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.F.C. INC.

The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the responsibility of the engineer to ensure that the design is feasible, safe, and constructible. The engineer assumes no administrative liability for the design or construction of the site. The site is constructed in accordance with the construction plans.

STATE OF TENNESSEE
REGISTERED PROFESSIONAL ENGINEER
No. 10000
MATHIE W. TAYLOR

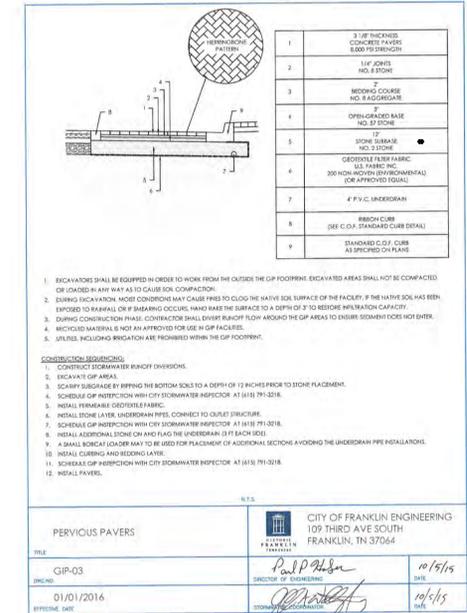
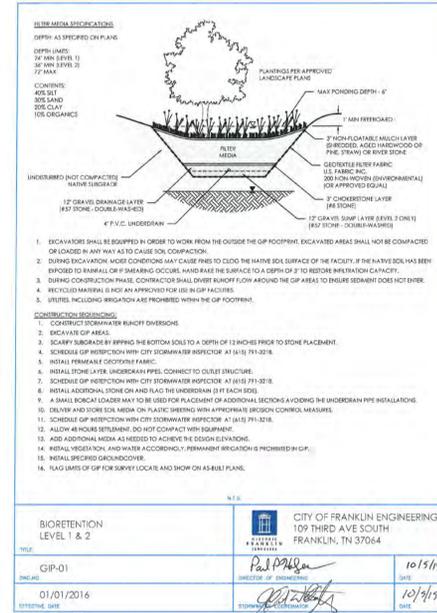
Vintage at Foxland Harbor
FHA Project No. 086-35404
Gallatin, Tennessee

REVISIONS: 10-13-16 Staff Comments

DRAWN: SJA, CFB3
DATE: 8-1-16
CHECKED: MAT
FILE NAME: 16010project
SCALE: N.T.S.
JOB NO. 16010
SHEET: 25 of 27

*WHERE BEDROCK IS ENCOUNTERED DURING EXCAVATION OF THE BIO-RETENTION AREA,
AN ADDITIONAL 2' OF BEDROCK SHALL BE REMOVED BELOW THE STONE SUMP LAYER AND BACKFILLED WITH #57 STONE.

*ALL BIO-RETENTION AREAS SHALL HAVE
36" OF FILTER MEDIA W/ 24" GRAVEL STONE LAYER (12" SUMP)

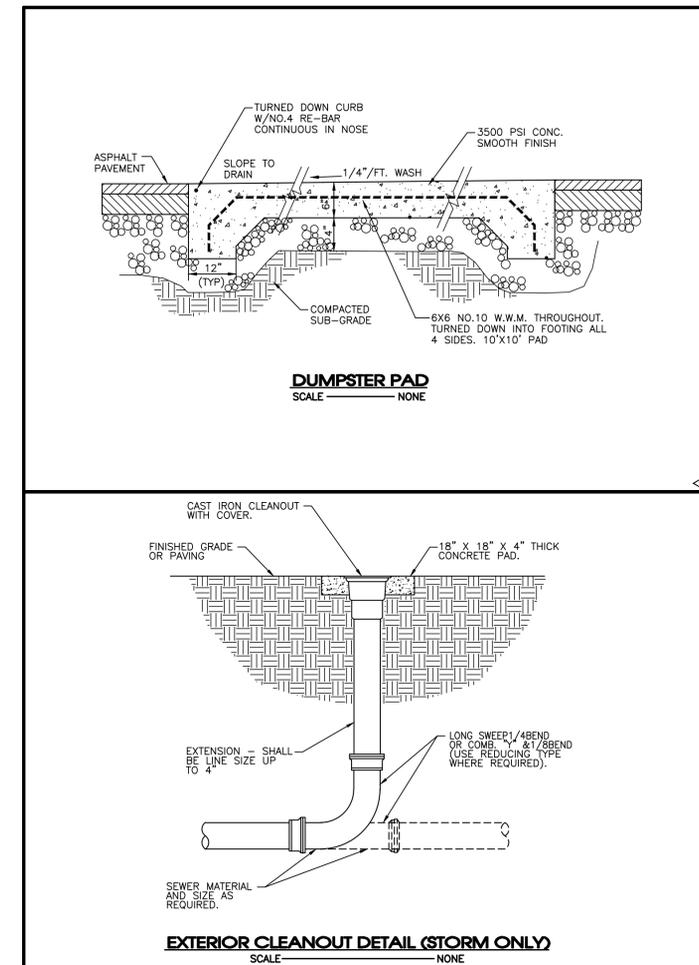


Pipe Table

PIPE	INV. IN (FT)	INV. OUT (FT)	LENGTH (FT)	SLOPE (%)	MATERIAL	SIZE (IN)
A1	457.36	457.00	27	1.35	RCP	24
A2	458.00	457.46	18	3.00	RCP	24
A3	460.43	458.75	57	2.94	RCP	15
A4	460.60	460.53	24	0.30	RCP	15
B1	455.36	455.00	24	1.50	RCP	36
B2	455.82	455.46	24	1.50	RCP	36
B4	459.65	455.82	180	2.12	RCP	30
B5	462.54	459.75	140	2.00	RCP	30
B6	466.30	463.79	28	9.00	RCP	15
B7	468.60	466.40	24	9.00	RCP	15
B8	465.39	462.64	137	2.00	RCP	30
B9	466.27	465.49	78	1.00	RCP	30
B10	467.39	466.27	112	1.00	RCP	30
B11	468.03	467.49	152	0.36	RCP	30
B12	469.50	469.13	124	0.30	RCP	18
B14	470.81	467.52	78	4.22	RCP	15
B15	473.25	470.91	74	3.15	RCP	15
C1	465.75	465.50	85	0.30	HDPE	(2) 15
C2	466.05	465.85	66	0.30	RCP	(2) 15
C3	466.10	466.05	48	0.09	RCP	(2) 15
C4	466.18	466.10	27	0.30	HDPE	(2) 15
C5	466.26	466.18	27	0.30	HDPE	(2) 15
C6	467.36	466.26	110	1.00	RCP	15
C7	468.82	467.46	118	1.15	HDPE	15
C8	465.88	465.75	41	0.30	RCP	15
C9	465.82	465.75	21	0.30	HDPE	15
C10	466.27	466.15	41	0.30	RCP	15
C11	466.11	466.05	20	0.30	HDPE	15
D1	456.27	454.75	30	5.00	HDPE	15
D2	457.59	456.37	24	5.00	RCP	15
E1	458.33	455.20	303	1.04	RCP	18
E2	458.75	458.43	105	0.30	HDPE	18
E3	461.82	459.00	219	1.29	RCP	15
F1	447.11	447.00	36	0.30	RCP	48
F2	447.21	447.11	33	0.30	RCP	48
F3	447.40	447.31	31	0.30	RCP	48
F4	457.30	449.86	160	4.66	HDPE	15
F5	457.50	457.40	33	0.30	HDPE	15

Structure Table

STR#	T.O.C	INV. IN (FT)	INV. OUT (FT)	CASTING	TYPE
#1	461.50	457.46	457.36	JBS 3103	Curb Inlet
#2	461.50	458.75	458.00	JBS 3103	Curb Inlet
#3	462.90	460.53	460.43	JBS 3103	Curb Inlet
#4	462.90	N/A	460.60	JBS 3103	Curb Inlet
#5	461.37	455.46	455.36	JBS 3103	Curb Inlet
#6	461.37	455.82	455.82	JBS 3103	Curb Inlet
#8	467.50	459.75	459.65	JBS 4075	Catch Basin
#9	473.50	462.64	462.54	JBS 4075	Catch Basin
#10	471.60	466.40	466.30	JBS 3103	Curb Inlet
#11	471.60	N/A	468.60	JBS 3103	Curb Inlet
#12	474.00	465.49	465.39	JBS 4075	Catch Basin
#13	473.50	467.52	466.27	JBS 4075	Catch Basin
#14	473.50	467.49	467.39	JBS 4075	Catch Basin
#15	474.00	468.63	468.03	JBS 4075	Catch Basin
#16	473.50	N/A	469.50	JBS 4075	Catch Basin
#17	473.50	470.91	470.81	JBS 4075	Catch Basin
#18	468.20	465.85	465.75	JBS 4075	Catch Basin
#18A	468.20	N/A	465.88	JBS 4075	Catch Basin
#18B	468.50	N/A	465.82	JBS 4075	Catch Basin
#18C	468.50	466.05	466.05	JBS 4075	Catch Basin
#18D	468.50	N/A	466.27	JBS 4075	Catch Basin
#18E	468.50	N/A	466.11	JBS 4075	Catch Basin
#19	468.80	466.10	466.10	JBS 4075	Catch Basin
#19A	468.50	466.18	466.18	JBS 4075	Catch Basin
#20	468.50	466.26	466.26	JBS 4075	Catch Basin
#21	471.50	467.46	467.36	JBS 4075	Catch Basin
#22	471.50	N/A	468.82	JBS 4075	Catch Basin
#23	462.90	456.37	456.27	JBS 3103	Curb Inlet
#24	462.90	N/A	457.59	JBS 3103	Curb Inlet
#26	465.50	458.43	458.33	JBS 4073	Catch Basin
#27	464.50	459.00	458.75	JBS 4073	Catch Basin
#28	467.50	N/A	461.82	JBS 4075	Catch Basin
#29	456.70	449.86	447.11	JBS 3103	Curb Inlet
#30	456.70	447.31	447.21	JBS 3103	Curb Inlet
#31	460.10	457.40	457.30	JBS 3103	Curb Inlet
#32	460.10	N/A	457.50	JBS 3103	Curb Inlet



SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

SEC, Inc.
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

ATHEM W. TAYLOR
REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE

Vintage at Foxland Harbor
FHA Project No. 086-35404
Gallatin, Tennessee

REVISED: 10-13-16 Staff Comments

DRAWN: SJA, CFB3
DATE: 8-1-16
CHECKED: MAT
FILE NAME: 16010project
SCALE: N.T.S.
JOB NO. 16010
SHEET: 26 of 27

Erosion Control Notes:

1. The site contractor is responsible for establishing and maintaining suitable erosion and sediment control devices on-site during construction as required to prevent silt from leaving site. Silt will not be allowed beyond construction limits.
2. The contractor is responsible for removing silt from site if not reusable on-site and assuring plan alignment and grade in all ditches at completion of construction.
3. The contractor is responsible for cleaning out all storm drainage structures, including flumes, pipes, etc., prior to completion of this project.
4. Erosion control shall be provided for all cut and fill operations within the limits of the construction site, throughout the construction period to provide the site with maximum protection from erosion at all times.
5. Erosion control measures are to be installed prior to any grading on-site and are to be maintained in place until stabilization of erodable soils has been accomplished.
6. The Storm Water Pollution Prevention Plan (SWPPP) is an integral part of the Erosion Prevention and Sediment Control (EPSC) Plan and should be followed during all phases of construction (bidding, site work, final stabilization). See SWPPP for additional requirements.
7. EPSC measures and grading activities shown hereon are to be completed prior to any other construction activities starting.
8. Remove orange construction barrier fencing, concrete waste management area, and diversion berm upon completion of construction and return all areas to natural vegetated condition.

Site Clearing & Demolition Notes:

1. Comply with applicable requirements of federal, state and local laws, regulations and codes of the authorities having jurisdiction for the disposal of trees, shrubs and other cleared material.
2. Conduct site clearing operations to ensure minimum interference with roads, streets, walks and other adjacent occupied or used facilities. Do NOT close or obstruct streets, walks or other occupied or used facilities without permission from authorities having jurisdiction.
3. Provide protection necessary to prevent damage to existing improvements indicated to remain in place. Protect benchmarks, existing structures, roads, sidewalks, paving and curbs against damage from vehicular or foot traffic.

- 1.) Protect improvements on adjoining properties and on the Owner's property.
- 2.) Restore damaged improvements to their original condition, as acceptable to parties having jurisdiction.

4. In Tennessee it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known utility owners, no less than three nor more than ten working days, prior to their intended excavation. A list of these utility owners may be obtained from the county register of deeds. Those utility owners who participate in the Tennessee One Call System can be notified toll free at 1-800-351-1111.

5. Protect existing trees and other vegetation, indicated to remain in place, against unnecessary cutting, breaking or skinning of roots,skinning and bruising of bark, smothering of trees by stockpiling construction materials or excavated materials within drip line, excess foot or vehicular traffic or parking of vehicles within drip line. Provide temporary guards to protect trees and vegetation to remain in place.

- 1.) Protect tree root systems from damage due to deleterious materials caused by run-off or spillage during mixing, use or discarding of construction materials or drainage from stored materials. Protect root systems from compaction, flooding, erosion or excessive wetting.
- 2.) Engage a qualified tree surgeon to remove branches from trees, if required, to clear for new construction. where cutting is required, tree surgeon shall cut branches and roots with sharp pruning instruments; do not break or chop.

6. Remove existing above-grade and below-grade improvements necessary to permit construction and other work as indicated.

7. Existing foundations and utilities may be encountered across the site. If encountered, these items will require removal. Resulting excavations can be backfilled with properly compacted select fill.

8. Removal includes digging out stumps and roots. remove all stumps, roots over 4-inches in diameter and matted roots within the limits of grubbing to depths as follows:

1. Footings: 18 inches
2. Walks: 12 inches
3. Roads: 18 inches
4. Parking Areas: 12 inches
5. Lawn Areas: 18 inches
6. Fills: 12 inches

9. Promptly remove waste materials, unsuitable and excess topsoil and other clearing debris from Owner's property and dispose of off site.

10. Do NOT Burn or bury materials on site.

11. Clearing, grubbing and stripping limits should extend at least 10 feet beyond the construction limits or to property boundaries, whichever is less.

12. Strip site of all grass, roots, topsoil, and other organic material. Stockpile suitable topsoil for respreading onto landscape areas. Waste materials, including stripped vegetation, objectionable materials, and excess excavated materials shall be removed from the site at the contractor's expense.

13. Remove all existing structures and foundations in their entirety. Any resulting excavations should be backfilled and compacted per these specifications.

14. Remove all existing utilities that are indicated to be removed in their entirety along with the bedding and backfill of each. Any resulting excavations should be backfilled and compacted per these specifications.

Site Notes:

1. Dimensions shown at curbed or building areas are to face of curb or face of building.
2. See architectural drawings for building dimensions.
3. Contractor shall immediately notify the engineer of any discrepancies found between these plans, the architectural plans, and/or field conditions prior to construction.
4. Apparent errors, discrepancies, or omissions on the drawing shall be brought to the attention of the owner prior to bid submittal. The contractor may not use apparent errors, discrepancies, or omissions present on the drawings presented for bidding for additional charges after bids have been submitted. The architect shall be permitted to make corrections and interpretations as may be deemed necessary for the fulfillment of the intent of the contract documents.
5. The contractor shall stake all improvements using the geometric data provided in the drawings. It is the sole responsibility of the contractor to completely stake and check all improvements to ensure adequate positioning, both horizontal and vertical, prior to the installation of any improvements.
6. The notes and plans shown call attention to certain required features of the construction but do not claim to cover all details of design and construction. The contractor shall furnish and install the work complete and ready for operation.
7. After completion of construction, the contractor shall perform site cleanup to remove all trash, debris, excess materials, equipment, and other deleterious materials associated with construction. The contractor is expressly responsible for ensuring the site is clean and in operable condition at the time of final acceptance.
8. A separate R.O.W. Excavation Permit issued from the City of Gallatin and/or TDOT shall be required for any excavation or construction in the public R.O.W.
9. The contractor is responsible for the protection and replacement of all property pins on this site.
10. These drawings are intended for use on this site only and as an integrated set for this specific project. These drawings may not be used in whole or in part on any other project under the professional engineer's seal. The owner shall hold harmless and indemnify the architect and engineer from and against any and all claims of any nature whatsoever arising from such use.
11. Existing conditions and topo shown herein are taken from a field-run survey by S.E.C., Inc.
12. Coordinates referenced are for construction staking purposes and are site assigned. They should be considered local coordinates for this project only. No digital file will be provided for construction staking purposes.
13. In Tennessee it is a requirement per "the underground utility damage prevention act" that anyone who engages in excavation must notify all known utility owners, no less than three nor more than ten working days, prior to their intended excavation. A list of these utility owners may be obtained from the county register of deeds those utility owners who participate in the Tennessee one call system can be notified toll free at 1-800-351-1111.
14. Sign(s) will require a separate permit from the City of Gallatin.
15. Where finished grade is to be altered where existing items, such as castings, boxes, etc., are present, contractor is responsible for their needed modifications to match proposed finished grade.

General Utility Notes:

1. Existing utility lines shown are approximate locations only. The contractor shall field verify all existing utility line locations prior to any construction. Any deviations from the design locations shall be reported to the owner or engineer prior to beginning construction.
2. The contractor will provide all necessary protective measures to safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment. The cost of protecting utilities from damage and furnishing special equipment will be included in the price bid for other items of construction.
3. The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities, prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
4. The contractor shall refer to architect's plans and specifications for actual location of all utility entrances to include sanitary sewer laterals, domestic and fire protection water service, electrical, telephone and gas service. This contractor shall coordinate installation of utilities in such a manner as to avoid conflicts and assure proper depths are achieved as well as coordinating with the regulatory agency as to location and scheduling of tie-ins/connections to their facilities.
5. All underground utilities (water sewer, storm sewer, electrical conduit, irrigation sleeves, and any other miscellaneous), shall be in-place prior to the placement of base course material.
6. Location of site utilities shall be verified with proper utility company providing service.
7. The owner/developer for budget purposes, should check with Utility District for connection fees which may be substantial
8. Contractors for water & sewer work must be approved by the White House Utility District.
9. In Tennessee it is a requirement per "the underground utility damage prevention act" that anyone who engages in excavation must notify all known utility owners, no less than three nor more than ten working days, prior to their intended excavation. A list of these utility owners may be obtained from the county register of deeds those utility owners who participate in the Tennessee one call system can be notified toll free at 1-800-351-1111.
10. Coordinate all utility connection points with the proper utility providers prior to connections being made.
11. Coordinate the location of all cleanouts, valve boxes, utility boxes, etc., to make sure they do not land in curb or sidewalks. Relocate as necessary.

Grading And Drainage Notes:

1. The site work contractor shall coordinate the installation of all underground utilities with his work. All underground utilities (water, sanitary sewer, storm sewer, electrical conduit, irrigation sleeves, and any other miscellaneous underground utilities, devices, or structures), shall be in-place prior to the placement of base course material.
2. The contractor shall cut existing pavement as necessary to assure a smooth fit and continuous grade.
3. The contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes and all utilities prior to construction.
4. The soil materials shown hereon have been disturbed by cutting or filling operations performed before development.
5. Before starting grading operations, see Existing Conditions/Initial EPSC plan notes and details.
6. Prior to site construction activity, the contractor shall install all SWPP measures to protect existing drainage facilities. Contractor shall prevent siltation from leaving the site at all times.
7. Before starting grading operations, see landscape plan for treatment of existing grade.
8. Before starting grading operations, refer to Report of Geotechnical Exploration Vintage at Foxland Harbor, by GEOServices, dated July 21, 2016.
9. The Report of Geotechnical Exploration addresses earthwork requirements for the entire site, including the parking lot and building. SEC's responsibilities, including the plans and specifications, exclude earthwork fill requirements for the building portion of the site. Contractor shall refer to the earthwork requirements of the structural engineer for detailed requirements for earthwork in the building portion of the site.
10. For clearer understanding and additional information regarding site construction, refer to the Report of Geotechnical Exploration.

11. After cuts are made and prior to new fill placement, the exposed subgrade should be proofrolled with heavily-loaded, rubber-tired equipment (such as a fully-loaded, tandem-axle dump truck) to identify weak areas. The proofrolling should be observed by a geotechnical engineer or designated representative. Weak or otherwise deleterious materials identified by proofrolling should be undercut to stable ground. However, undercutting in pavement areas should generally not extend more than 3 feet below planned grade, at which time the geotechnical engineer should evaluate options other than additional undercutting. Undercut areas should be backfilled with structural fill according to these specifications

12. Site grading shall be performed in accordance with these plans and specifications and the recommendations set forth in the Report of Geotechnical Exploration. The contractor shall be responsible for removing all soft, yielding or unsuitable materials and replacing with suitable materials as specified in the Report of Geotechnical Exploration.

13. Contractor shall submit a compaction report prepared by a Licensed Geotechnical Engineer, verifying that all filled areas and subgrade areas to be paved have been compacted in accordance with these plans and specifications and the recommendations set forth in the Report of Geotechnical Exploration. Notify project engineer if any unsuitable soils are found.

14. Compaction testing is mandatory for the site.

15. Fill materials shall be compacted per the Report of Geotechnical Exploration. Deposit fill material in horizontal layers as recommended by Geotechnical Engineer and compact each layer with a mechanical tamper. Base course pavement shall be compacted to 100% standard proctor.

16. Soil fill shall have the following characteristics: A maximum gravel size of 6 inches; Maximum gravel and oversize particle content - 10 percent retained on a 1/2-inch sieve; Free of organics, trash and other deleterious material; Liquid Limit - less than 50; and Plasticity Index - not more than 35. Have a Standard Proctor maximum dry density of 90 pcf or greater.

17. Soil Compaction procedures are as follows: Maximum loose lift thickness - 8 inches; Compaction Requirement - The fill should be compacted to at least 98 percent of the standard Proctor (ASTM D698) maximum dry density; and Moisture content at time of compaction - within plus 3.0 percent or minus 2.0 percent of the optimum moisture content.

18. Soil fill compaction shall be as follows: General Fill Areas - One test every 5,000 square feet with at least two tests per lift; and Small Fill Areas - One test for every 50 cubic yards with at least two tests per lift. (For preliminary planning only, the Geotechnical technician/engineer should determine the actual test frequency).

19. Shot-rock fill, fill depths of greater than 4 feet may have the following characteristics: Maximum shot-rock size - 18 inches; Percentage of soil - maximum 10 percent by volume; Gradation - adequate fines to effectively "choke" the larger rock pieces by filling voids or open spaces. Maximum Lift not to exceed 24 inches. In addition, if thinner lifts of shot-rock are required based on site grades, the maximum rock particle size should be reduced accordingly to be at least 6 inches less than the lift thickness.

20. The upper 4 feet of rock fill materials shall have a maximum rock size of 8 inches and placed in lifts not to exceed 12 inches. Percentage of soil - maximum 10 percent by volume

21. Shot-rock compaction procedures: Spreading - The larger rock pieces should lie flat and not overlap each other; and Compaction Requirements - The fill should be compacted by making 6-8 passes with a large bulldozer (e.g., CAT D8 or larger). The number of passes should be sufficient to demonstrate the material is densified and stable. Half of the passes should be in each perpendicular direction. A pass is a complete coverage of the surface with the D8 track overlapping at least 50%.

22. Shot-rock compaction control: Any engineering technician working under the direction of the geotechnical engineer should observe shot-rock fill placement and compaction techniques. The technician should document fill constituents, lift thickness and compaction techniques.

23. Compacted Crushed Stone Fill shall be as follows: Type A, Class A, and Grading D in accordance with Section 903.05 of Tennessee Department of Transportation Specifications.

24. Compacted Crushed Stone Fill Compaction Procedures as follows: Loose Lifts not exceeding 10 inches in loose thickness. Each lift compacted to at least 98% of maximum dry density for stone fill materials and 98 % maximum dry density for soil fill materials per standard Proctor method (ASTM D698). Each lift shall be compacted and tested by geotechnical engineer.

25. All fill must be stable under the influence of the compaction equipment. After the fill is properly placed and compacted, it will be advisable to limit the amount of heavy construction traffic on the soil subgrade.

26. It is the earthwork contractor's responsibility to maintain the site soils and engineered fills with a workable moisture content range to obtain the required in-place density. Scarifying and drying operation should be included in the contractor's price and should not be considered an extra for the contract. The contractor shall review the Report of Geotechnical Exploration and be aware of all moisture concerns and soil remediation requirements.

27. Following grading of subsoil to subgrade elevations, the contractor shall place topsoil to a depth as specified on L.A. Plans in all disturbed areas which are not to be paved. Smoothly finish grade to meet surrounding lawn areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading. Topsoil shall be free of subsoil, debris, brush and stones larger than 1" in any dimension. Rock hounding in place will not be permitted. All excess topsoil shall be legally disposed of offsite.

28. After fine grading topsoil, contractor shall stabilize per L.A. plans, mulch, fertilize and water until a healthy stand of grass is obtained. The restoration shall closely follow construction.

Grading And Drainage Notes (Continued):

29. Elevations given are at bottom face of curb and/or finished pavement grade unless otherwise specified on grading plan. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1% slope toward the collection points, unless otherwise specified on the grading plan. Do not allow negative grades or ponding of water.

30. Contractor shall provide butt end joint to meet existing pavement in elevation at drive returns and ensure positive drainage.

31. Due to the potential for subgrades being exposed for long periods of time prior to being prepared for pavement or building, all subgrades shall be evaluated immediately prior to pavement or building pad construction by proofrolling as described previously. Weak materials shall be repaired by undercutting the weak materials and backfilling the undercut with compacted fill materials as described in these specifications. In addition to proofrolling, the subgrade shall have the moisture content tested immediately prior to pavement or building pad construction. If the soil moisture is not within the ranges recommended, the upper 8 inches shall be scarified, moisture conditioned to the recommended range and recompacted. Stability shall then be checked by proofrolling.

32. The fine-grained soils at this site will be sensitive to disturbances caused by construction traffic and changes in moisture content. Construction patterns should be varied to prevent degradation of previously stable subgrade. If earthwork activities are to be performed during wet weather season, methods such as discing and allowing material to dry will be required.

33. If soils of high plasticity (greater than PI of 50) are encountered then those soils shall be removed.

34. Undercutting and/or stabilization of the upper portions of the site soils will likely be required during grading activities. The actual thickness and makeup of the stabilization section will be determined by the geotechnical engineer in the field at the time of construction. A typical stabilization section may consist of cement stabilization, triaxial geogrid with a minimum of 12-18 inches of dense graded crushed stone fill.

35. All blasted disturbed rock should be removed from mass excavation prior to placement of structural fill.

36. Whenever possible, trench and install all utilities prior to other work.

SEC, Inc.
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 890-2587
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C., INC.



Vintage at Foxland Harbor
FHA Project No. 086-35404
Gallatin, Tennessee

REVISED: 10-13-16 Start Comments

DRAWN: SJA, CFB3
DATE: 8-1-16
CHECKED:
MAT
FILE NAME: 16010project
SCALE: N.T.S.
JOB NO. 16010
SHEET: 27 of 27

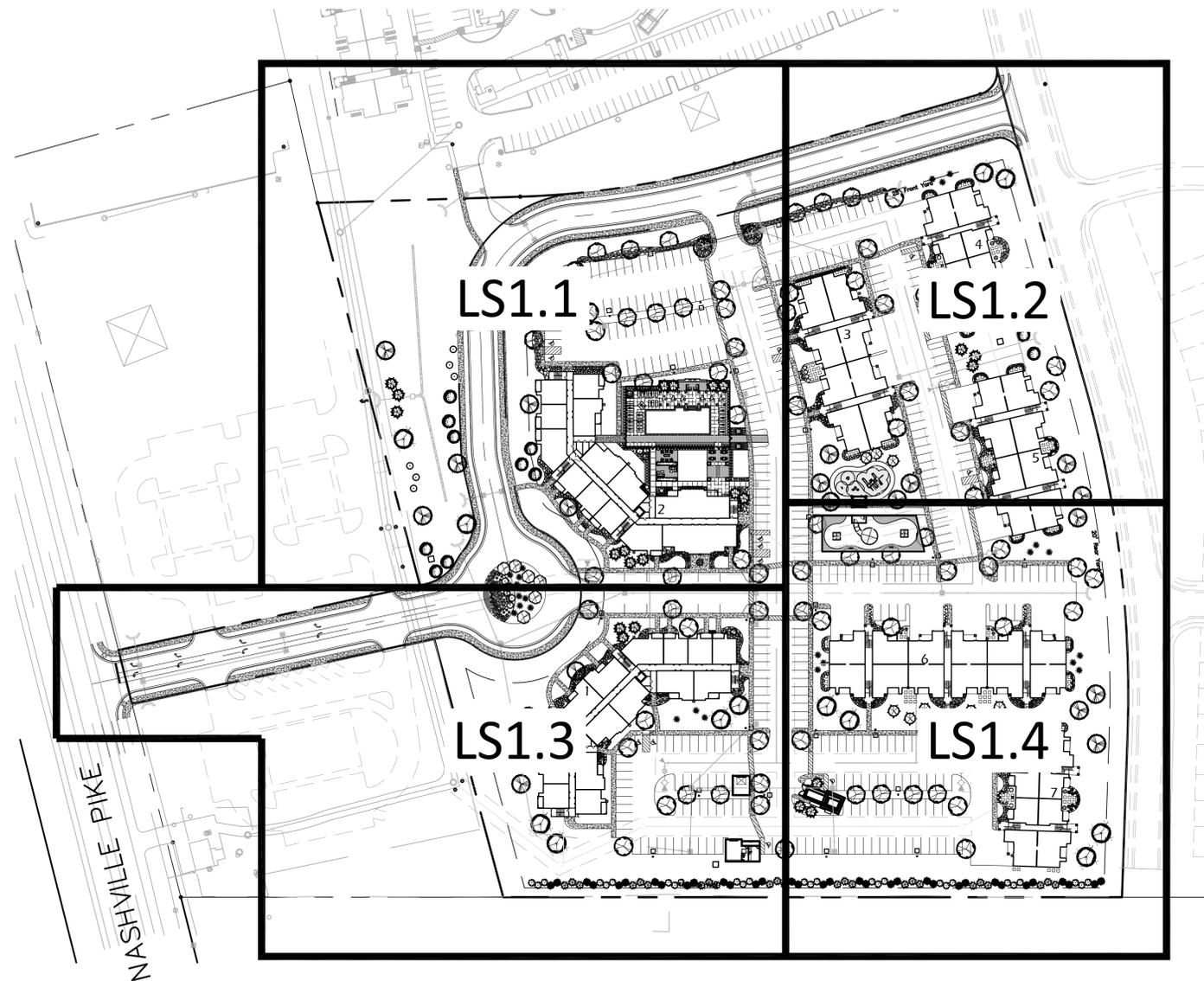
Notes

PLANS FOR THE LANDSCAPE, IRRIGATION, AND SWIMMING POOL AT



APARTMENTS NASHVILLE PIKE ROAD, GALLATIN, TN

LANDSCAPE REQUIREMENTS	
CITY OF GALLATIN, CHAPTER 13 DESIGN STANDARDS AND REGULATIONS	
ZONING CLASSIFICATION: MU ADJACENT ZONING CLASSIFICATIONS AND APPLICABLE LANDSCAPE BUFFERS ARE INDICATED ON LANDSCAPE PLANS REQUIRED DECIDUOUS AND ORNAMENTAL TREES PROVIDED. REFER TO PLAN	
PARKING AREA SCREENING	
PERIMETER PARKING AREAS ABUTTING PUBLIC RIGHTS-OF WAY, A MIN. OF 1 TREE SHALL BE PLANTED FOR EACH 50 FEET OF PARKING AREA PERIMETER THE REMAINING AREA WITHIN THE LANDSCAPE STRIP WHICH FRONTS THE RIGHT OF WAY SHALL BE PLANTED WITH ONE CONTINUOUS ROW OF EVERGREEN SHRUBS	
PARKING AREA = 87 LINEAR FEET	TREES REQUIRED - 2 TREES PROVIDED - 2 CONTINUOUS ROW OF EVERGREEN SHRUBS PROVIDED TO SCREEN PARKING AREA
WITHIN DESIGNATED PERIMETER PARKING AREAS AT SIDE/REAR PROPERTY LINES, A MINIMUM OF 1 TREE SHALL BE PLANTED FOR EVERY 60 FEET OF PARKING AREA PERIMETER.	
PARKING AREA = 269 LINEAR FEET	TREES REQUIRED - 5 TREES PROVIDED - 6
INTERIOR PLANTING AREAS	
AT LEAST 6% OF THE GROSS AREA OF THE PARKING AREA SHALL BE LANDSCAPED TREES SHALL BE REQUIRED AT THE MIN. RATE OF ONE CANOPY TREE FOR EVERY 10 PARKING SPACES A MINIMUM OF 90 SQUARE FEET OF PLANTING AREA SHALL BE REQUIRED FOR EACH NEW CANOPY TREE	
PARKING STALLS = 358	TREES REQUIRED - 36 TREES PROVIDED - 45
GREATER THAN 6% OF THE PARKING AREA IS LANDSCAPE AREA LANDSCAPE ISLANDS CONTAINING CANOPY TREES (THAT ARE COUNTED TOWARD CODE REQUIREMENT) PROVIDE AT LEAST 90 SQUARE FEET AND ARE SPACED NO GREATER THAN 195 FEET APART	



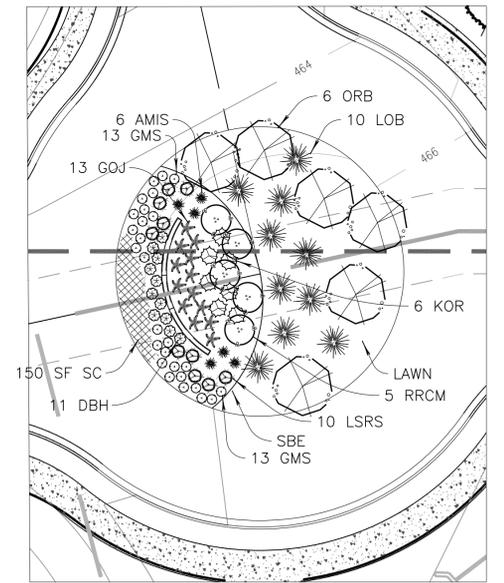
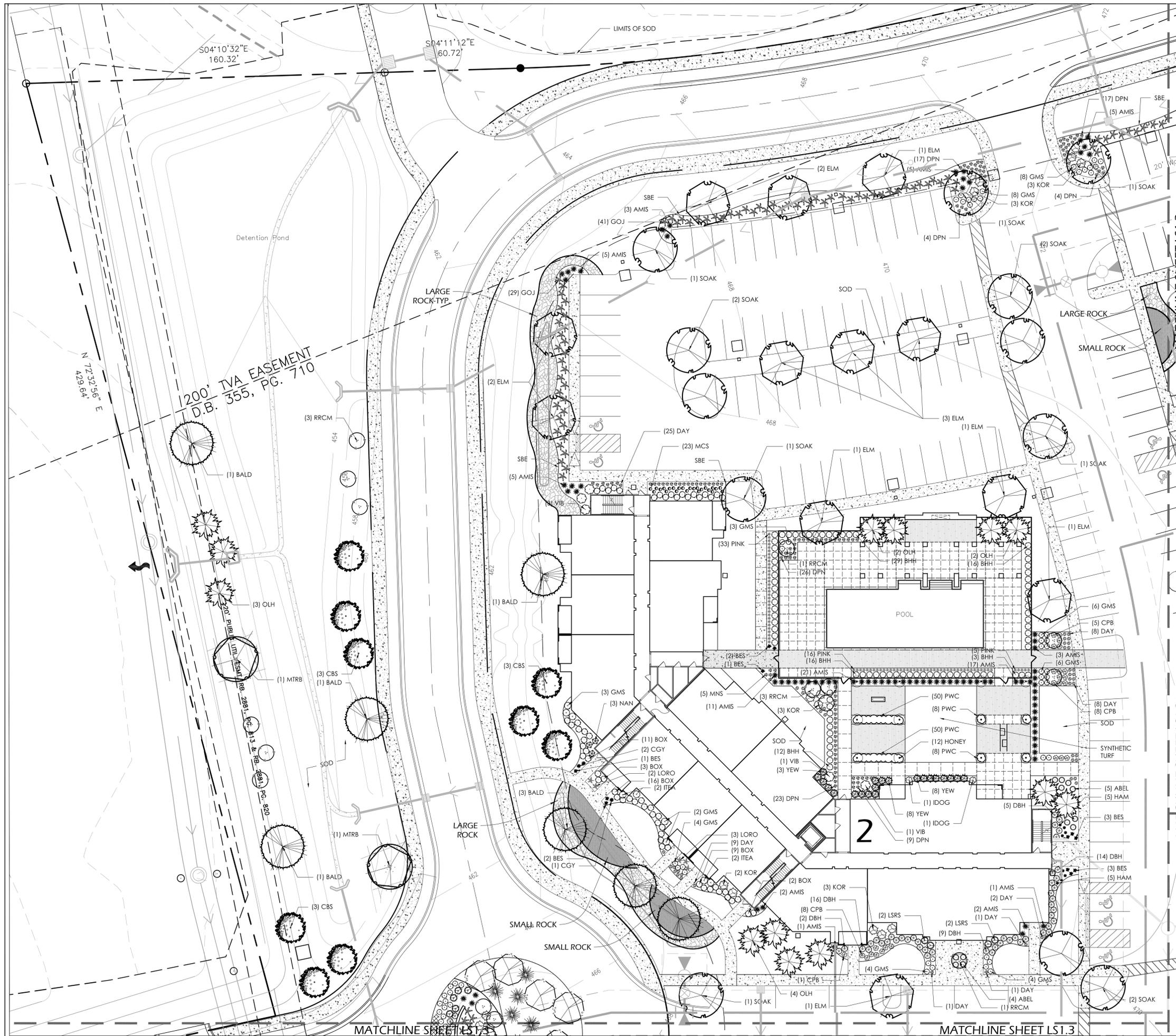
SHEET INDEX	
SHEET NUMBER	SHEET NAME
LS0	COVER SHEET/KEYMAP
LS1.1	LANDSCAPE PLAN
LS1.2	LANDSCAPE PLAN
LS1.3	LANDSCAPE PLAN
LS1.4	LANDSCAPE PLAN
LS1.5	LANDSCAPE NOTES AND DETAILS
LS1.6	PLAYGROUND AND DOG PARK LAYOUT PLAN
IR1.1	IRRIGATION PLAN
IR1.2	IRRIGATION PLAN
IR1.3	IRRIGATION PLAN
IR1.4	IRRIGATION PLAN
IR1.5	IRRIGATION DETAILS
L1.1	POOL AREA SITE PLAN
L1.2	POOL AREA LAYOUT PLAN
L1.3	POOL AREA GRADING AND DRAINAGE PLAN
L1.4	DETAILS
L1.5	DETAILS
L2.1	POOL LAYOUT PLAN
L2.2	POOL SUMMARY ENGINEERING REPORT
L2.3	POOL DETAILS
L2.4	POOL GENERAL NOTES

KEYMAP SCALE: 1"=80'-0"



TDK CONSTRUCTION COMPANY, INC.
1610 S. CHURCH STREET
MURFREESBORO, TN

REFER TO SHEET LS1.5 FOR PLANT MATERIAL SCHEDULE, GENERAL LANDSCAPE NOTES, AND TREE/SHRUB PLANTING DETAILS.



ROUNDBOUT PLANTING PLAN
SCALE: 1" = 20'-0"



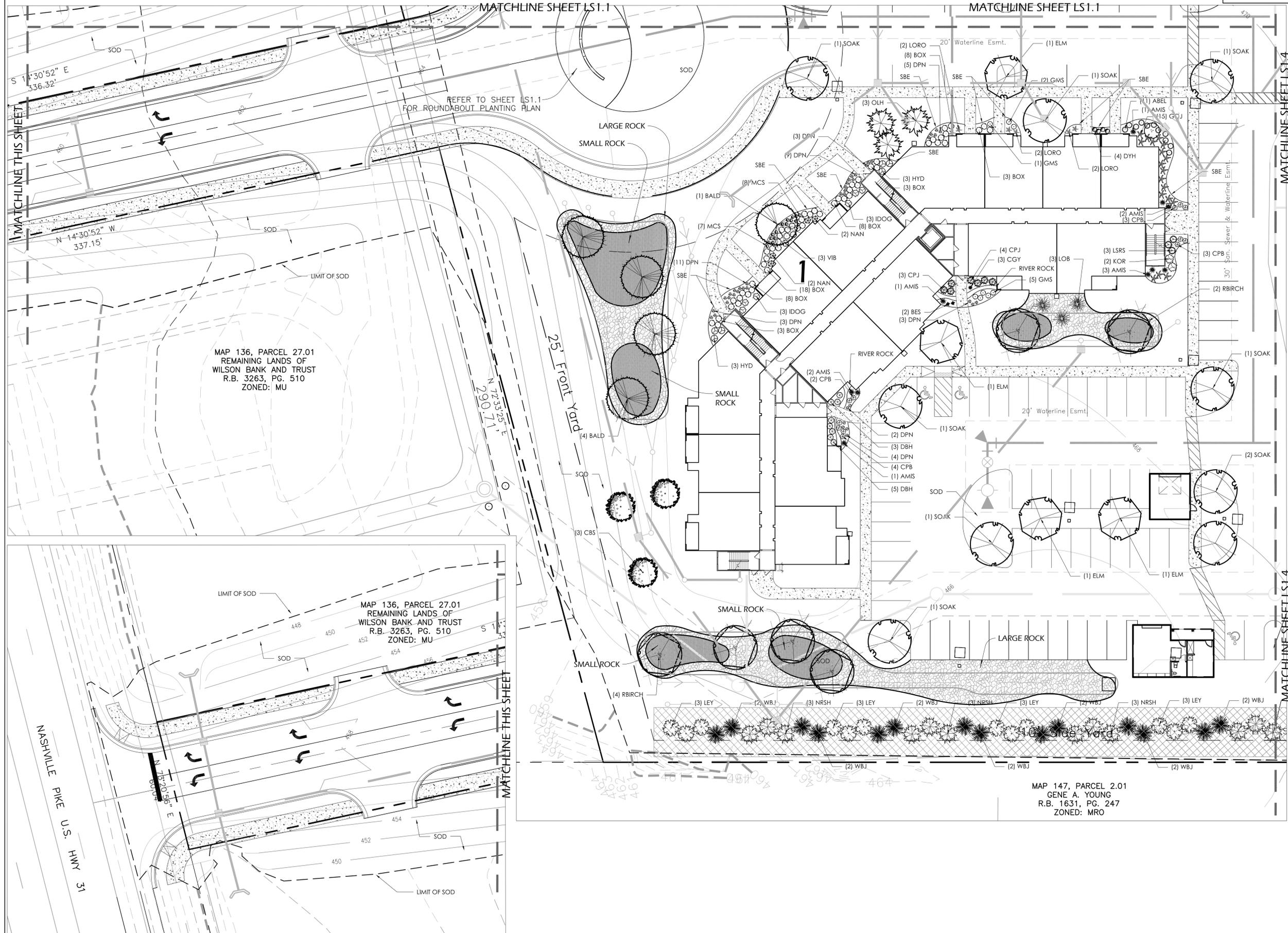
• DWELL WELL •

VINTAGE

FOXLAND HARBOR

 <small>LANDSCAPE ARCHITECTS 3030 E. 71ST ST SUITE 100 TUCKER, GA 30084 770-742-1463 FAX: 770-742-1479 dai@alrobackdesign.com alrobackdesign.com</small>	HUD # 086-35404 VINTAGE AT FOXLAND HARBOR, LLC 1610 S. CHURCH STREET MURFREESBORO, TN 37130
	JOB NUMBER: 216014 DRAWN BY: BBD DATE: 8/1/2016
LANDSCAPE PLAN SHEET NUMBER LS1.1 OF 08	

REFER TO SHEET LS1.5 FOR PLANT MATERIAL SCHEDULE, GENERAL LANDSCAPE NOTES, AND TREE/SHRUB PLANTING DETAILS.



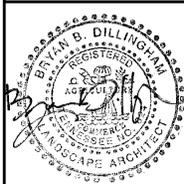
MAP 136, PARCEL 27.01
REMAINING LANDS OF
WILSON BANK AND TRUST
R.B. 3263, PG. 510
ZONED: MU

MAP 136, PARCEL 27.01
REMAINING LANDS OF
WILSON BANK AND TRUST
R.B. 3263, PG. 510
ZONED: MU

MAP 147, PARCEL 2.01
GENE A. YOUNG
R.B. 1631, PG. 247
ZONED: MRO



HUD # 086-35404
VINTAGE AT
FOXLAND HARBOR,
LLC
1610 S. CHURCH STREET
MURFREESBORO, TN 37130



JOB NUMBER: 216014
DRAWN BY: BBD
DATE: 8/1/2016

LANDSCAPE PLAN
SHEET NUMBER **LS1.3** OF 4



PLANT MATERIAL SCHEDULE					
QUANT.	TAG	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS	SPACING
33	ELM	PRINCETON ELM	ULMUS AMERICANA 'PRINCETON'	3" CAL.; 12'-4" HT.; 6'-7" SPD; B&B; CENTRAL LEADER; FULL	
47	SOAK	SHUMARD OAK	QUERCUS SHUMARDII	3" CAL.; 12'-4" HT.; 6'-7" SPD; B&B; CENTRAL LEADER; FULL	
12	HONEY	SHADEMASTER HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	3" CAL.; 12'-4" HT.; 6'-7" SPD; B&B; CENTRAL LEADER; FULL	
25	BALD	BALD CYPRESS	TAXODIUM DISTICHUM	3" CAL.; 12'-4" HT.; 6'-7" SPD; B&B; CENTRAL LEADER; FULL	
15	RBIRCH	MULTI-TRUNK RIVER BIRCH	BETULA NIGRA	10'-12" HT.; 5'-6" SPD.; 3-4 TRUNKS; B&B; FULL	
22	OLH	OAKLEAF HOLLY	ILEX X 'CONAF'	30 GALLON; 7'-8" HEIGHT.; CENTRAL LEADER; FULL	
9	BIAC	BLUE ICE ARIZONA CYPRESS	CUPRESSUS ARIZONA 'BLUE ICE'	30 GALLON; 7'-8" HEIGHT.; CENTRAL LEADER; FULL	
25	LOB	LOBLOLLY PINE	PINUS TAEDA	7'-8" HT.; B&B; FULL	
15	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS	7'-8" HT.; B&B; FULL	
24	NRSH	NELLIE R STEVENS HOLLY	ILEX X NELLIE R STEVENS	7'-8" HT.; B&B; FULL	
27	LEY	LEYLAND CYPRESS	CUPRESSUS X LEYLANDII	7'-8" HT.; B&B; FULL	
34	WBJ	WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	7'-8" HT.; B&B; FULL	
6	ORB	OKLAHOMA REDBUD	CERCIS CANADENSIS 'OKLAHOMA'	2" CAL.; 7'-8" HT.; 3'-4" SPD.; B&B; FULL	
19	RRCM	RED ROCKET CrapeMyrtle	LAGERSTROEMIA INDICA 'RED ROCKET'	30 GALLON; 5'-6" HEIGHT; 3-4 TRUNKS; FULL	
81	BHH	BLACK HELLER HOLLY	ILEX CRENATA 'HELLER'	5 GALLON; FULL	30" O.C.
209	DBH	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	5 GALLON; FULL	30" O.C.
14	HYD	HYDRANGEA	HYDRANGEA 'GLOWING EMBERS'	5 GALLON; FULL	AS SHOWN
8	IDOG	RED OSIER DOGWOOD 'ISANTI'	CORNUS SERICEA 'ISANTI'	5 GALLON; FULL	AS SHOWN
15	LORO	LOROPETALUM	LOROPETALUM CHINENSIS RUBRUM	5 GALLON; FULL	AS SHOWN
13	NAN	NANDINA	NANDINA DOMESTICA	5 GALLON; FULL	AS SHOWN
27	CPJ	COMPACT PFITZER JUNIPER	JUNIPERUS CHINENSIS 'KALLAYS COMPACTA'	5 GALLON; FULL	36" O.C.
4	DBB	DWARF BURNING BUSH	EUONYMUS ALATA COMPACTA	5 GALLON; FULL	AS SHOWN
48	YEW	YEW	TAXUS MEDIA	5 GALLON; FULL	36" O.C.
16	VIB	CARDINAL CANDY VIBURNUM	VIBURNUM DILATATUM 'HENNEKE'	5 GALLON; FULL	AS SHOWN
181	GOJ	GRAY OWL JUNIPER	JUNIPERUS VIRGINIANA 'GREY OWL'	5 GALLON; FULL	30" O.C.
226	BOX	WINTERGREEN BOXWOOD	BUXUS MICROPHYLLA KOREANA 'WINTERGREEN'	5 GALLON; FULL	30" O.C.
2	GDA	GOLD DUST AUCUBA	AUCUBA JAPONICA 'VARIEGATA'	5 GALLON; FULL	AS SHOWN
53	ABEL	KALEIDOSCOPE ABELIA	ABELIA X GRANDIFLORA 'KALEIDOSCOPE'	5 GALLON; FULL	30" O.C.
13	ITEA	VIRGINICA SWEETSPIRE	ITEA VIRGINICA 'HENRY'S GARNET'	5 GALLON; FULL	AS SHOWN
21	LSRS	LITTLE SPIRE RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	5 GALLON; FULL	AS SHOWN
129	AMIS	ADAGIO MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	5 GALLON; FULL	AS SHOWN
80	PINK	REGAL MIST PINK MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	3 GALLON; FULL	AS SHOWN
29	HAM	HAMELN FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	3 GALLON; FULL	AS SHOWN
170	DPN	DWARF PURPUREA NANDINA	NANDINA DOMESTICA 'NANA PURPUREA'	3 GALLON; FULL	AS SHOWN
17	DYH	DWARF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	3 GALLON; FULL	24" O.C.
9	CGY	COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON; FULL	AS SHOWN
105	GMS	GOLDMOUND SPIRAEA	SPIRAEA JAPONICA 'GOLDMOUND'	3 GALLON; FULL	24" O.C.
55	CPB	CRIMSON PIGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	3 GALLON; FULL	AS SHOWN
28	KOR	KNOCK OUT ROSE	ROSA 'RADRAZZ'	2 GALLON; FULL	AS SHOWN
60	MCS	MAGIC CARPET SPIRAEA	SPIRAEA BUMALDA 'MAGIC CARPET'	2 GALLON; FULL	AS SHOWN
30	MNS	MAY NIGHT SALVIA	SALVIA NEMOROSA 'MAY NIGHT'	1 GALLON; FULL	AS SHOWN
23	BES	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	1 GALLON; FULL	AS SHOWN
53	DAY	HAPPY RETURNS DAYLILY	HEMEROCALIS SPP. 'HAPPY RETURNS'	1 GALLON; FULL	AS SHOWN
132	PWC	PURPLE WINTERCREEPER	EUONYMUS ALATA COMPACTA	1 GALLON; FULL	12" O.C.
150 SF	SC	SEASONAL COLOR	VARIETIES TO BE SELECTED BY OWNER	4" POT	8" O.C.
1,000 LF	SBE	STEEL BED EDGING	RYERSON 1/8" X 4" OR APPROVED EQUAL		

GENERAL NOTES

CALL TENNESSEE ONE-CALL AT 1-800-351-1111 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES. CONTACT PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK OF ACTION ON THE PROJECT SITE DURING LANDSCAPE OR IRRIGATION INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING TRENCHING OPERATIONS IN ANY AREA.

PLANT TREES TWO (2) INCHES ABOVE FINISHED GRADE. CUT TWINE FROM AROUND THE TRUNK AND REMOVE COMPLETELY THE WIRE BASKET AND BURLAP FROM THE ROOT BALL. PLANT SHRUBS ONE (1) INCH ABOVE FINISHED GRADE. CROWN ISLANDS 4" ABOVE TOP OF CURB OR AS DIRECTED ON DRAWING. ALL PLANTING BEDS (NOT INDICATED AS BIOSWALE AREAS) SHALL HAVE POSITIVE DRAINAGE AWAY FROM BUILDINGS, PERMANENT STRUCTURES, AIR CONDENSER UNITS AND UTILITY BOXES, SIDEWALKS, ETC. ADJUST TREE/SHRUB BED LOCATIONS FOR FINAL GRADES / DRAINAGE SWALES/UTILITIES. IF LOCATIONS OF SITE ELEMENTS ARE NOT AS SHOWN, ADJUST PLANTINGS ACCORDINGLY (LIGHT POLES, SIGNAGE, AIR CONDITIONER UNITS, TRANSFORMERS, METERS, ETC.).

BED PREPARATION

ALL LANDSCAPE BEDS SHALL HAVE A MINIMUM 10" DEPTH SOIL MIXTURE COMPRISED OF OF A 2" LAYER OF BACK TO NATURE SOIL CONDITIONER, 1" LAYER OF AGED STERILIZED COW MANURE AND 7" LAYER OF EXISTING STOCKPILE OF TOPSOIL.

ROTO-TILL AMENDMENTS AND TOPSOIL TO A DEPTH OF 10" UNTIL A SMOOTH EVEN MIXTURE IS ACHIEVED. INCORPORATE ROOTS TRANSPLANT ONE-STEP AT A RATE OF 5 POUNDS PER 100 SQUARE FEET INTO THE TOP 3"-4" OF SOIL, AND DRY MOLASSES AT A RATE OF 3 LBS PER 100 SQUARE FEET. EACH TREE LOCATED OUTSIDE A PLANTING BED SHALL RECEIVE THREE (3) CUBIC FEET OF BACK TO EARTH SOIL CONDITIONER MULCH AND ONE (1) CUBIC FOOT OF AGED, STERILIZED COW MANURE. MIX WITH THE TOPOIL AND USE AS A BACKFILL. APPLY ROOTS TRANSPLANT ONE-STEP AT A RATE OF FOUR OUNCES PER CALIPER INCH AND 2 CUPS OF DRY MOLASSES PER TREE. INCORPORATE ROOTS TRANSPLANT ONE-STEP INTO THE TOP 3"-4" OF SOIL BACKFILL.

ALL PLANTING BEDS SHALL BE DELINEATED AS SHOWN ON THE PLANS WITH A SHOVEL CUT EDGE, UNLESS OTHERWISE NOTED FOR STEEL BED EDGING. INSTALL 3/8" X 4" GREEN COLORED COL-MET (OR APPROVED EQUAL) STEEL BED EDGING WHERE INDICATED.

MULCH

ALL AREAS LABELED AS "LG ROCK" SHALL BE 2" - 4" DIAMETER TENNESSEE RIVER GRAVEL. APPLY TO A MINIMUM DEPTH OF 3" OVER DEWITTS WEED BARRIER FABRIC.

AREAS LABELED AS "SM ROCK" SHALL BE 3/4" DIAMETER TENNESSEE RIVER GRAVEL. APPLY TO A MINIMUM DEPTH OF 3" OVER DEWITTS WEED BARRIER FABRIC. OWNER TO APPROVE SAMPLES OF EACH SIZED RIVER ROCK PRIOR TO INSTALLATION.

MULCH ALL TREE WELLS AND PLANTING BEDS NOT SHOWN FOR LARGE OR SMALL ROCK WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF THREE (3) INCHES. TOP OF MULCH/ROCK LAYERS SHALL BE PLACED 1" BELOW TOP OF CURBS, WALKS, STEEL BED EDGING, AND ALL OTHER HARDSCAPE STRUCTURES.

LAWN

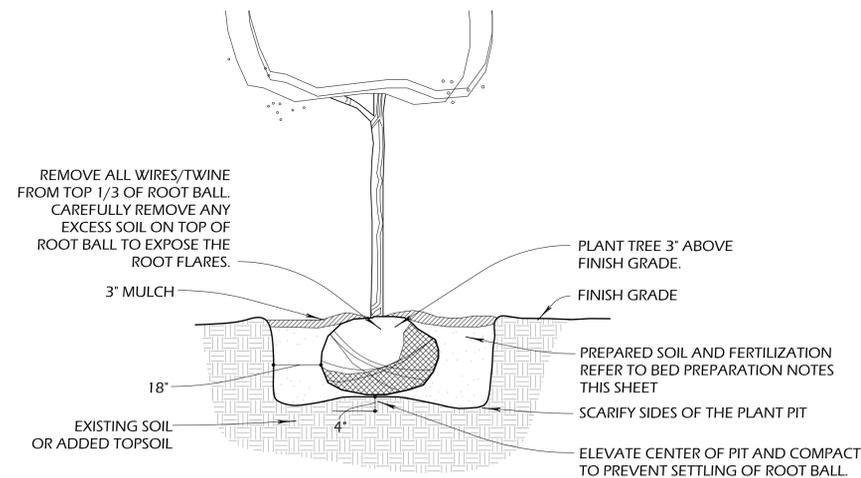
SOD AREAS WITHIN ALL CURB LINES AS INDICATED ON THE PLANS WITH SOLID SLAB FESCUE GRASS SOD. WATER AND ROLL IN ACCORDANCE WITH STANDARD NURSERY PRACTICE. FOR SOD APPLY FERTILIZER ACCORDING TO TIME OF INSTALLATION: MAY 1 - AUGUST 1 APPLY A 16-8-8 FERTILIZER AT A RATE OF 1 POUND OF ACTUAL NITROGEN PER 1,000 SQUARE FEET TO ALL LAWN AREAS. SEPTEMBER 1 - APRIL 30 APPLY 10-20-10 FERTILIZER AT A RATE OF 1/2 POUND OF NITROGEN PER 1,000 SQUARE FEET OF LAWN AREA FERTILIZER SHALL BE APPLIED PRIOR TO SODDING.

BIOSWALE

THE SITE PLAN CONTAINS "BIOSWALES" THAT ARE WITHIN AREAS OF LARGE AND SMALL RIVER ROCK. REFER TO CIVIL ENGINEERING PLANS PROVIDED BY SEC, INC., FOR BIOSWALE LIMITS, DETAILS, NOTES, AND OTHER PERTINENT INFORMATION. PROVIDE AND INSTALL ALL MATERIALS PER THE BIOSWALE SECTION, TO THE DEPTHS INDICATED. CLOSELY COORDINATE GRADING, DIRTWORK, DRAINAGE, PIPING, AND ALL OTHER TRADES RELATED TO THE BIOSWALE AND LANDSCAPE WORK.

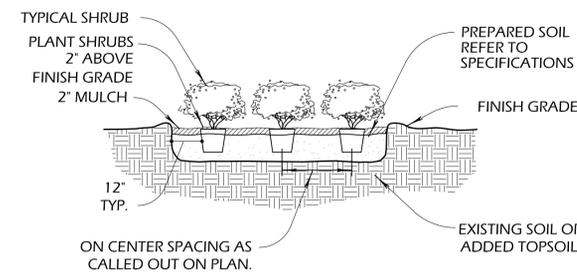
IRRIGATION

ALL AREAS OF THE SITE ARE TO BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM. REFER TO IRRIGATION PLANS.



TREE PLANTING DETAIL

NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE



HUD # 086-35404

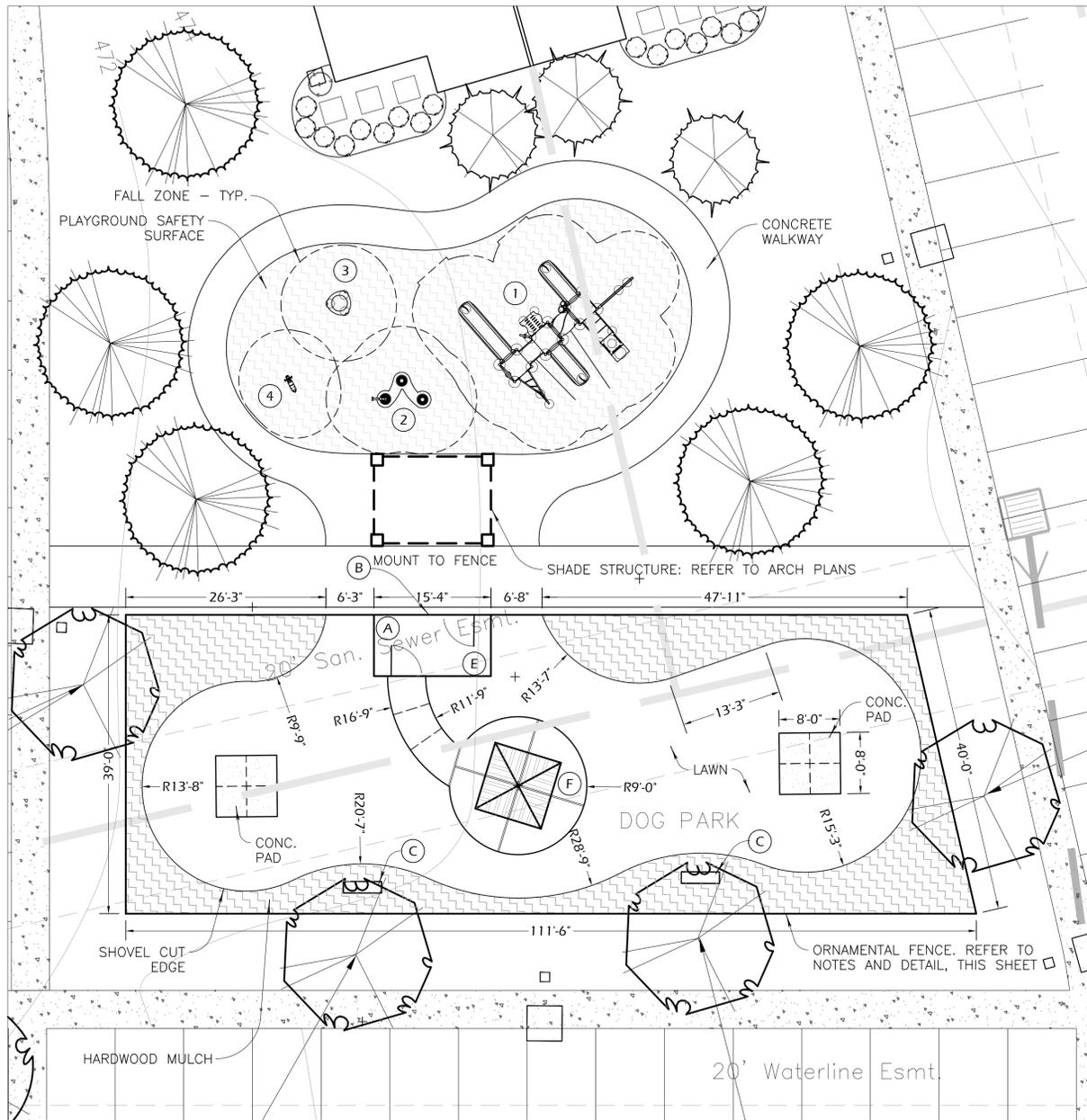
VINTAGE AT FOXLAND HARBOR, LLC

1610 S. CHURCH STREET MURFREESBORO, TN 37130



JOB NUMBER: 216014
DRAWN BY: BBD
DATE: 8/1/2016

LANDSCAPE NOTES AND DETAILS
SHEET NUMBER **LS1.5** OF



PLAYGROUND EQUIPMENT KEY		
KEY	MODEL #	DESCRIPTION
①	19211	PRIMETIME MOUNTAIN SHOALS COLOR: TO BE DETERMINED MANUFACTURER: GAMETIME
②	36076	STRATUS CLIMBER COLOR: TO BE DETERMINED MANUFACTURER: GAMETIME
③	39018	TOT'S GATHERING POD COLOR: TO BE DETERMINED MANUFACTURER: GAMETIME
④	391	SADDLEMATES - STALLION COLOR: TO BE DETERMINED MANUFACTURER: GAMETIME

PLAY EQUIPMENT MANUFACTURER:
 GAMETIME
 CONTACT: CUNNINGHAM RECREATION
 NICK WISENHUNT
 PO BOX 240981
 CHARLOTTE, NC 28224
 1-405-365-2426
 EMAIL: NICK@CUNNINGHAMREC.COM

DOG PARK AMENITY KEY		
KEY	MODEL #	DESCRIPTION
Ⓐ	PBARK-490	PET STATION COLOR: GREEN MANUFACTURER: BARKPARK
Ⓑ	PBARK-495	WELCOME/RULES SIGN COLOR: GREEN MANUFACTURER: BARKPARK
Ⓒ	TBARK-954-56	POOCH PERCH BENCH COLOR: GREEN MANUFACTURER: BARKPARK
Ⓓ	PBARK-494	FIDO AND ME FOUNTAIN COLOR: GREEN MANUFACTURER: BARKPARK
Ⓔ	TBARK-PR-32	TIDY UP TRASH RECEPTACLE COLOR: GREEN MANUFACTURER: BARKPARK
Ⓕ	9070	PITTSBURGH HIP SINGLE POST MINI-SHELTER ROOF COLOR: GREEN MANUFACTURER: LITCHFIELD

DOG PARK AMENITY MANUFACTURERS:
 BARKPARK - A PLAYCORE COMPANY 1675 LOCUST STREET REDBUD, ILLINOIS 62278 1-800-458-5872
 LITCHFIELD LANDSCAPE ELEMENTS 206 ADAMSON INDUSTRIAL BLVD. CARROLTON, GEORGIA 30117 1-800-542-5282
 WWW.DOGPARKPRODUCT.COM WWW.LANDSCAPEELEMENTS.COM

LAYOUT LEGEND AND NOTES

CALL 811 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES.

CONTACT 811 PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK OF ACTION ON THE PROJECT SITE DURING CONSTRUCTION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING CONSTRUCTION OPERATIONS IN ANY AREA.

OWNER SHALL APPROVE PLAYGROUND LAYOUTS AND AMENITIES PRIOR TO POURING CONCRETE AND INSTALLING SURFACING.

THE REQUIRED FALL ZONE FOR ALL PLAY EQUIPMENT IS SHOWN ON THE THE PLAN. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE FALL ZONES ARE WITHIN THE SAFETY SURFACE OF EACH PLAY AREA.

CONSTRUCTION STAKING FOR PLAYGROUND LAYOUT AND PLAYGROUND EQUIPMENT SHALL BE PERFORMED UNDER THE SUPERVISION OF A KENTUCKY LICENSED PROFESSIONAL LAND SURVEYOR.

PROVIDE EXPANSION JOINTS AND STEEL DOWELS (24" O.C.) WHERE NEW SIDEWALK ABUTS PLAYGROUND.

CONCRETE CURB/EDGE SHALL HAVE A HAND TROWELED 1/2" RADIUS AT ALL OUTSIDE EDGES.

SAW CUTS AND EXPANSION JOINTS SHALL BE PLACED AS SHOWN ON PLAN.

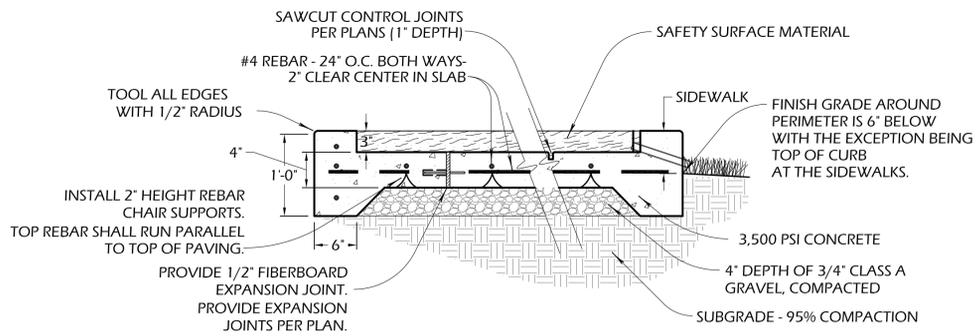
ALL DIMENSIONS GIVEN ARE HORIZONTAL.

EJ 1/2" FIBERBOARD EXPANSION JOINT
 SC SAW CUT JOINT. SAW CUT DEPTH TO BE 1" (MINIMUM)

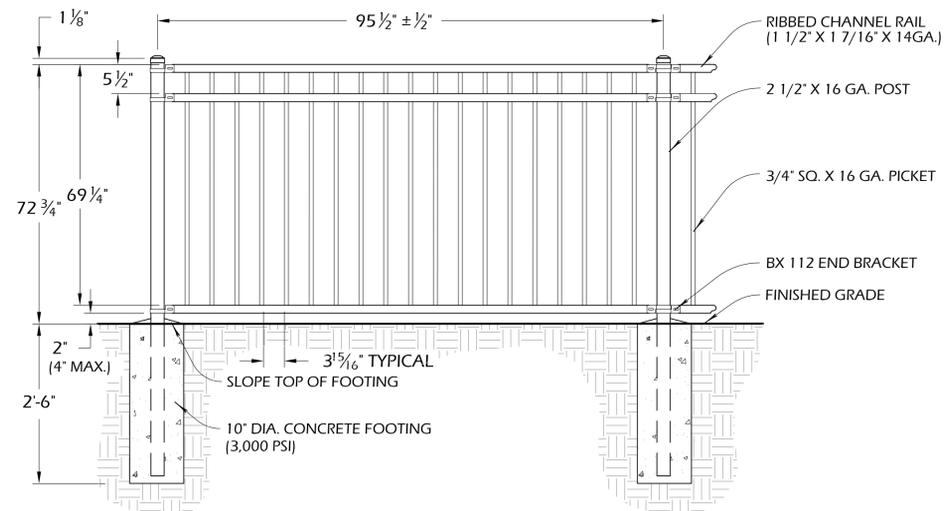
- ORNAMENTAL FENCE NOTES:**
- FENCING TO BE AMERISTAR MONTAGE PLUS, ATF MAJESTIC 3 RAIL, 8 FT. LONG PANELS, FLUSH BOTTOM, PROFUSION WELDED GALVANIZED STEEL WITH E-COAT FINISH, COLOR BLACK. INSTALL PER MANUFACTURERS SPECIFICATIONS. CLOSELY COORDINATE POST LOCATIONS TO MATCH STANDARD FENCE PANEL LENGTHS.
 - ALL FENCING SHALL BE MANUFACTURED BY AMERISTAR, 1555 N. MINGO, TULSA, OK; 1-(800)-321-8724; FAX (918) 835-0899; www.ameristarfence.com
 - MATERIAL FOR FENCE PICKETS SHALL BE 3/4" SQUARE X 16 GA. TUBING. THE CROSS-SECTIONAL SHAPE OF THE RAILS SHALL HAVE OUTSIDE DIMENSIONS OF 1 1/2" X 1 7/16" AND A MINIMUM THICKNESS OF 14 GA. POSTS SHALL BE A MINIMUM OF 2-1/2" SQUARE X 16 GA. PICKET HOLES IN THE RAIL SHALL BE SPACED 4.334" O.C. GATES (AS SHOWN ON PLANS) SHALL BE FABRICATED BY AMERISTAR, USING WELDED ORNAMENTAL PANEL MATERIALS AND GATE ENDS HAVE A 1 3/4" SQ. CROSS-SECTIONAL SIZE. ALL RAIL AND UPRIGHT INTERSECTIONS SHALL ALSO BE JOINED BY WELDING. GATES ARE TO BE SELF-CLOSING AND SELF-LATCHING, PER STATE HEALTH DEPT. REGULATIONS.
 - WHERE REQUIRED, ADJUST PANEL LENGTHS AND POST SPACING PER LAYOUT PLANS BY FIELD CUTTING. FOR ALL FIELD CUTS, CAREFULLY PRIME AND PAINT ALL EXPOSED METAL PER MANUFACTURER'S DIRECTIONS.
 - WHEN USING SWIVEL BRACKETS ON EITHER OR BOTH ENDS OF A PANEL INSTALLATION, CARE MUST BE TAKEN TO ENSURE THE SPACING BETWEEN POST AND ADJOINING PICKETS MEETS APPLICABLE CODES. THIS MAY REQUIRE TRIMMING ONE OR BOTH ENDS OF THE PANELS AS NEEDED.
 - THE FENCE SYSTEM IS DESIGNED TO ALLOW FOR ELEVATION VARIATION OF 30" IN AN 8' RUN. THE DRAWING ON THIS DETAIL SHOWS FENCE PANEL AT LEVEL GROUND ELEVATION; FOR AREAS THAT MUST BE RACKED TO FOLLOW SLOPING GRADES, THE POST SPACING DIMENSION SHOWN MUST BE MEASURED ALONG THE GRADE.



PLAYGROUND AND DOG PARK - LAYOUT PLAN
 SCALE: 1" = 10'-0"



PLAYGROUND PAVING AND SURFACING SECTION
 SCALE: 1" = 1'-0"



SECTION: 6' TALL ORNAMENTAL FENCE
 NOT TO SCALE

• DWELL WELL •

VINTAGE
FOXLAND HARBOR

ALBRACK DESIGN ASSOCIATES
LANDSCAPE ARCHITECTS
303E 7TH ST
SUITE 100
TULSA, OK 74114
918-742-1463
FAX 918-742-1479
dal_albrack@albrackdesign.com

HUD # 086-35404

VINTAGE AT
FOXLAND HARBOR,
LLC

1610 S. CHURCH STREET
MURFREESBORO, TN 37130

JOB NUMBER: 216014
 DRAWN BY: BBD
 DATE: 8/1/2016

PLAYGROUND AND DOG
PARK LAYOUT PLAN

SHEET NUMBER **LS1.6** OF 08

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	P1	33	WWW.TECHLIGHTUSA.COM		3N2T4B	LED Lumileds Rebel ES Neutral White LED (800mA)	1	3N2T4B.Jes	7047.9	0.9	98
□	WP	44	WWW.TECHLIGHTUSA.COM	LHMWP-1N8T3F	LED MEDIUM HEAT SINK WALL PACK	LED NEUTRAL WHITE LUXEON M (1400mA)	8	TL-LHMWP-1N8T3F.IES	767.935	0.9	70.7873
○	P2	4	Antique Street Lamps	ATL23 32LED 700MA 4K ACT MVOLT N5	LED ACCORN UPGRADE WITH FROSTED GLOBE	LED	1	ATL23_32LE D_700MA_4K ACT_MVOLT_N5.Jes	7747.050	0.9	80

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	1.4 fc	5.2 fc	0.2 fc	26.0:1	7.0:1
PROP. LINE	+	0.0 fc	1.6 fc	0.0 fc	N/A	N/A



1 SITE LIGHTING PLAN
SCALE: 1" = 50'-0"





Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485

HUD # 086-35404

VINTAGE AT
FOXLAND HARBOR,
LLC

1610 S. CHURCH STREET
MURFREESBORO, TN 37130

Jim E. Parker - Architect of Record
Tennessee License #17971

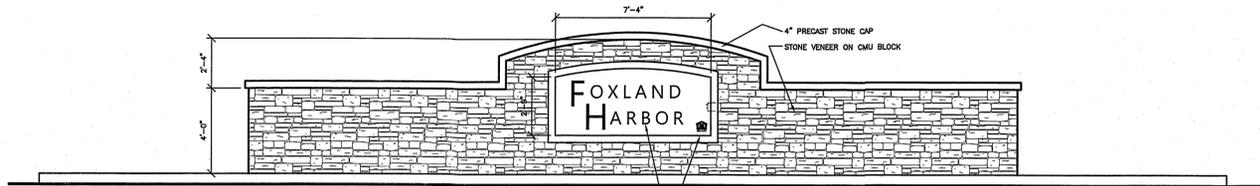
JOB NUMBER: 216014
DRAWN BY: JT/AC/DM/DB/SN
DATE: 08/01/2016



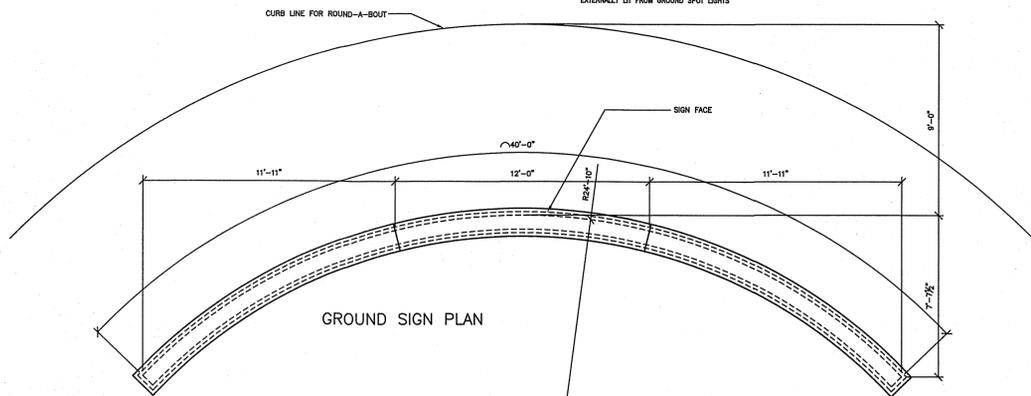
NEDA
Consulting Engineering
Mechanical • Electrical • Energy

SITE LIGHTING PLAN
SHEET NUMBER SL1 OF 1



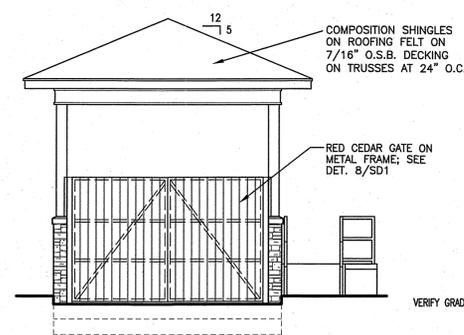


GROUND SIGN ELEVATION

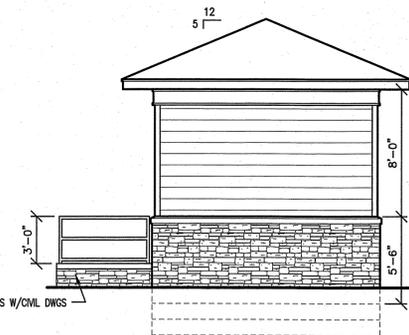


GROUND SIGN PLAN

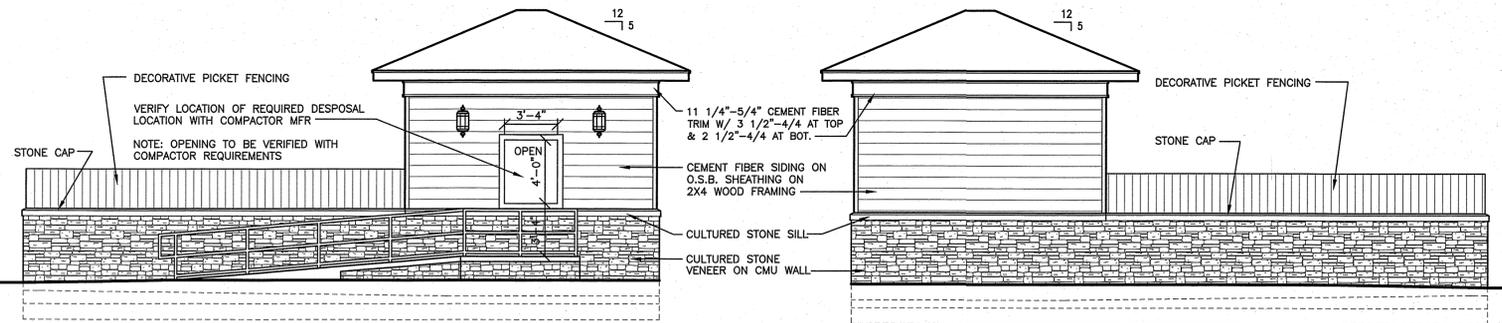
10 MONUMENT ENTRY SIGN
1/4" = 1'-0"



7 FRONT ELEVATION
3/16" = 1'-0"

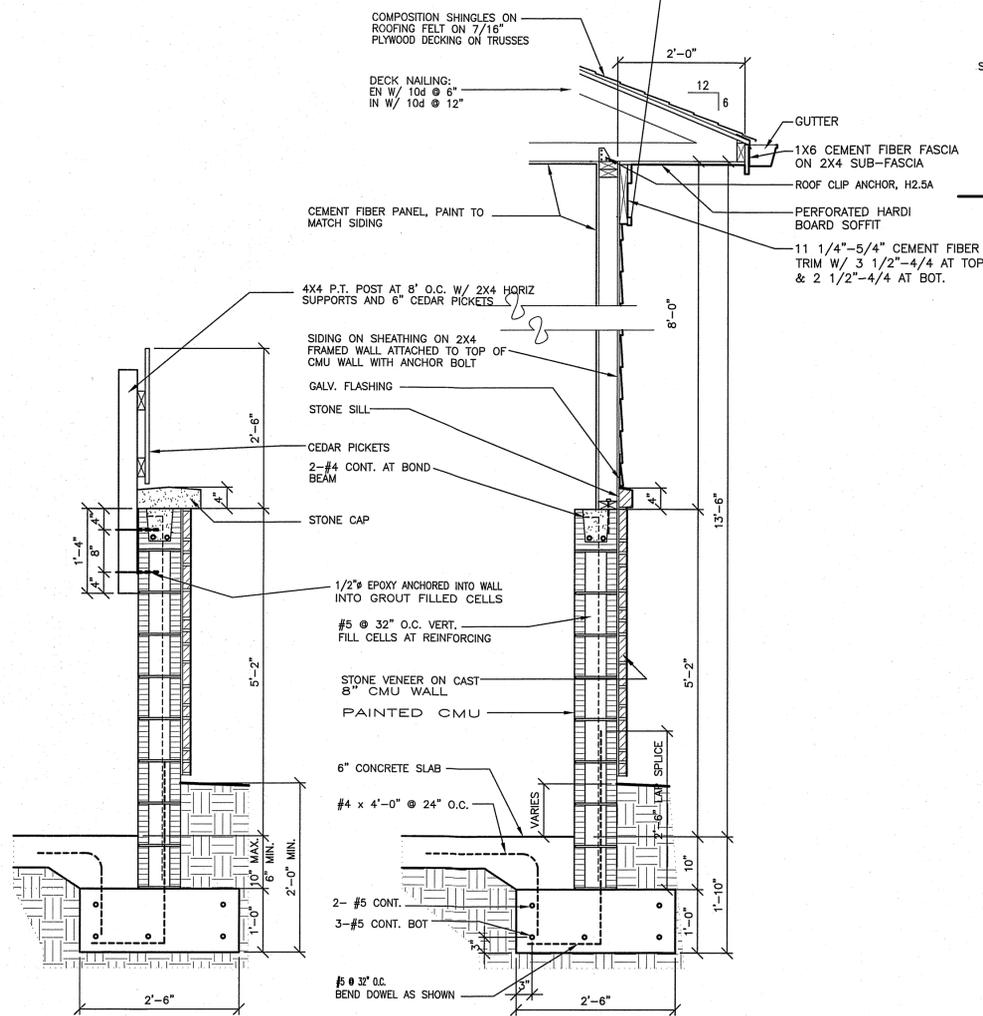


6 REAR ELEVATION
3/16" = 1'-0"

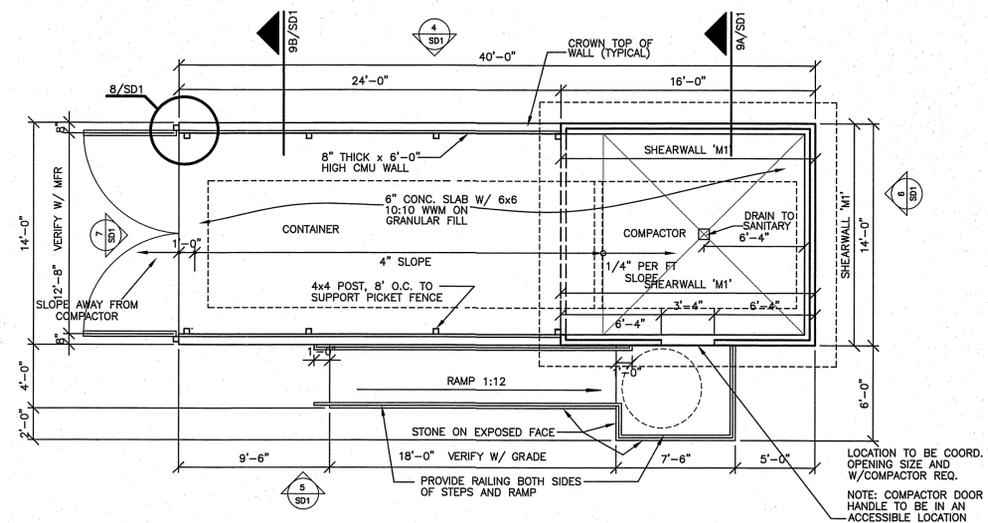


5 SIDE ELEVATION
3/16" = 1'-0"

4 SIDE ELEVATION
3/16" = 1'-0"



9 WALL SECTIONS
3/4" = 1'-0"



2 TRASH COMPACTOR PLAN
3/16" = 1'-0"



SNOWDEN ENGINEERING
STRUCTURAL CONSULTANTS
TENNESSEE LICENSE #19982
6125 EAST 63RD
TULSA, OKLAHOMA 74133
PHONE: (918)252-4557
FAX: (918)254-0838



Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485
Jim E. Parker - Architect of Record
Tennessee License #17971

HUD # 086-35404

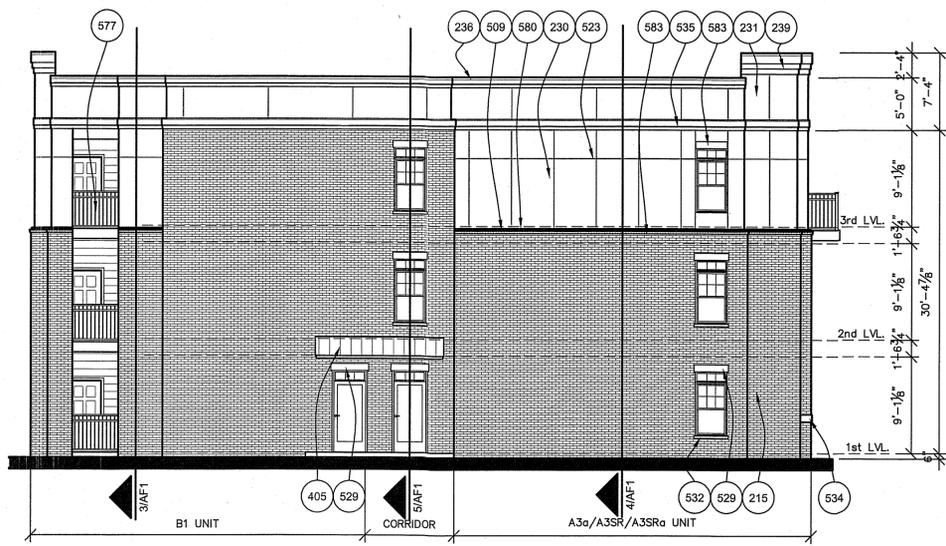
VINTAGE AT FOXLAND HARBOR, LLC

1610 S. CHURCH STREET
MURFREESBORO, TN 37130



JOB NUMBER: 216014
DRAWN BY: JEP,BH,HA,WG
DATE: 8/1/2016

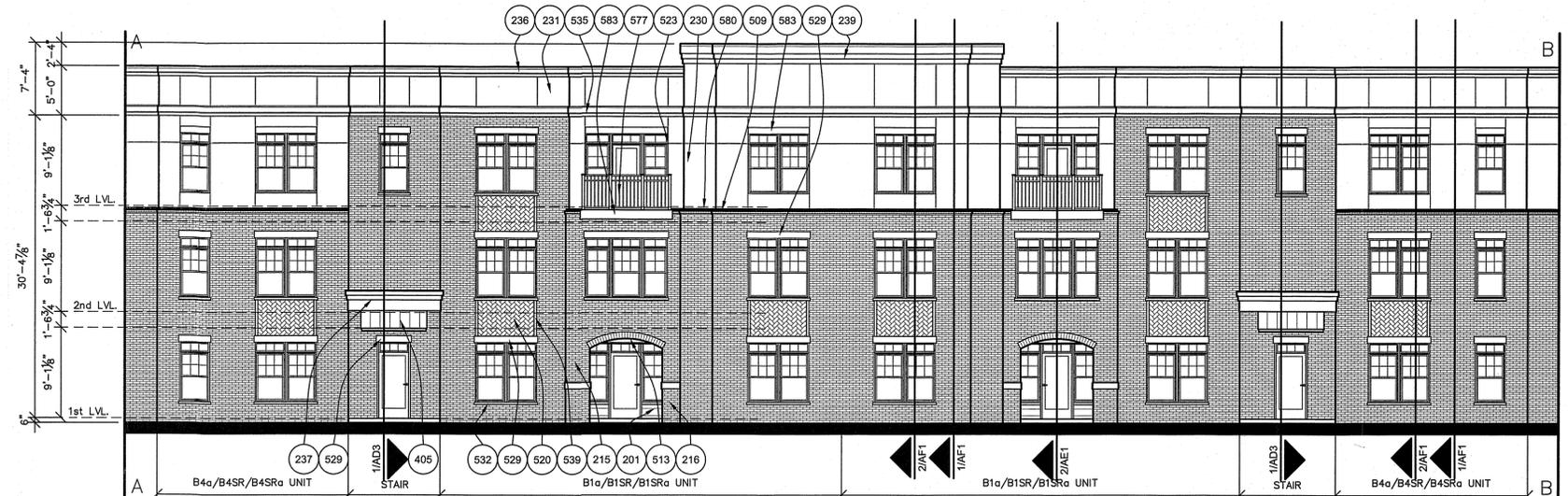
TRASH COMPACTOR
PLANS & DETAILS
SHEET NUMBER SD1 OF 5



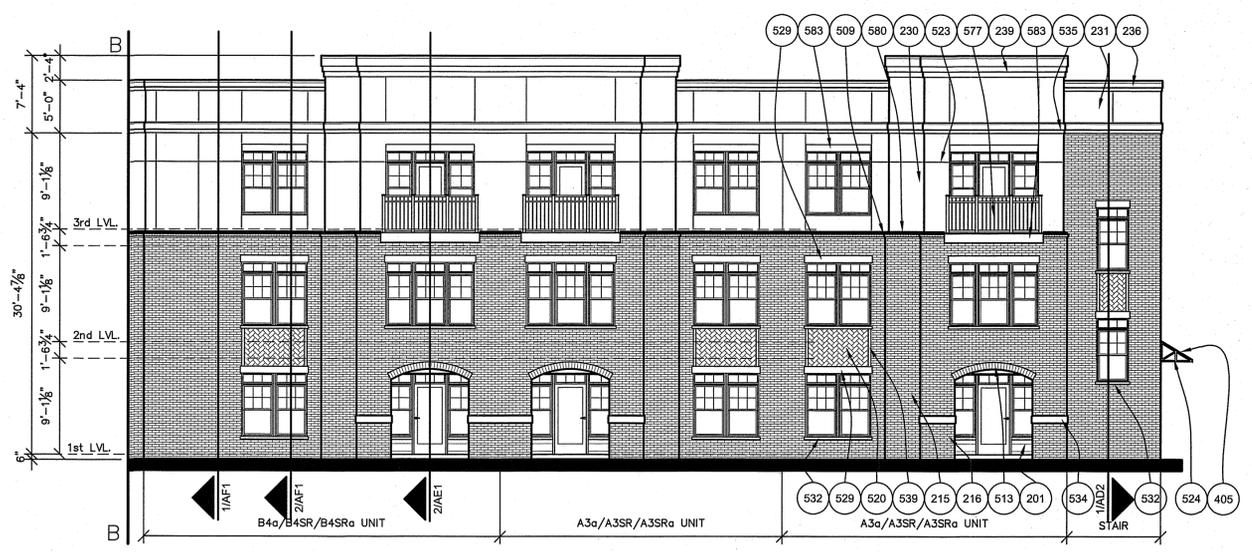
2 BUILDING 1 - END ELEVATION
1/8" = 1'-0" SOUTH END



1 BUILDING 1 - ELEVATION
1/8" = 1'-0" FRONT ELEV



3 BUILDING 1 - ELEVATION
1/8" = 1'-0" FRONT ELEV



4 BUILDING 1 - ELEVATION
1/8" = 1'-0" FRONT ELEV

- ### KEYNOTES
201. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE.
 215. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING. OMIT INSULATION AT EXTERIOR STORAGE CLOSETS.
 216. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING.
 230. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY SIDING MFR. ON SHEATHING ON STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACE.
 231. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY MFR. ON SHEATHING ON STUDS PER SCHEDULE.
 236. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x8 ON 5/4x8 AND 5/4x4. CEMENT FIBER TRIM AS SHOWN ON DETAILS AND ELEVATIONS.
 237. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x4 ON 5/4x8 CEMENT FIBER TRIM AS SHOWN ON DETAILS AND ELEVATIONS.
 239. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x12 ON 5/4x8 ON 5/4x8 CEMENT BOARD TRIM WITH BLOCKING TO PROFILE SHOWN ON ELEVATIONS AND DETAILS.
 405. STANDING SEAM METAL ROOF (GALVALUME FINISH) ON ALUMINUM FRAME ATTACHED TO WALL. PROVIDE SHOP DRAWINGS FOR APPROVAL.
 509. BRICK ROWLOCK - SLOPE AWAY FROM STRUCTURE.
 513. ARCH BRICK SOLDIER COURSE.
 520. BRICK HERRINGBONE PATTERN AT LOCATIONS SHOWN ON ELEVATIONS.
 523. ALUMINUM TRIM BETWEEN CEMENT FIBER PANELS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO DETAILS AND INSTALL PER MFR. INSTRUCTIONS.
 524. STEEL CANOPY SYSTEM AT LOCATIONS SHOWN ON THE ELEVATIONS, RE: DETAILS.
 529. 8" PRECAST STONE WINDOW/DOOR HEAD TO PROJECT 1/4" PAST BRICK SURFACE WITH STEEL LINTEL, FLASHING AND WEEPS PER DETAILS.
 532. 3" PRECAST STONE WINDOW SILL TO MATCH PROFILE OF DETAIL SLOPE TOP AWAY FROM STRUCTURE AND INSTLL FLASHING WITH WEEPS PER DETAILS.
 534. 6" PRECAST STONE ACCENT TRIM TO PROJECT 1/2" BEYOND FACE OF MASONRY.
 535. GALVANIZED FLASHING OVER 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM. RE: DETAILS.
 539. TRIM STONE VENEER SILL OR CAP INSTALLED PER MANUFACTURER'S REQUIREMENTS.
 577. 1 1/2" SQUARE TOP, MIDDLE AND BOTTOM RAILS. TOP AT 3'-9" MIN. ABOVE FINISH SURFACE, MIDDLE AT 6" BELOW TOP AND BOTTOM 2" ABOVE FINISH SURFACE. INSTALL 1/2" BALLUSTERS WITH 3/8" MAX. SPACE BETWEEN WITH 3" SQUARE TUBE VERTICAL SUPPORTS WITH CAPS, SPACED AS SHOWN ON THE ELEVATIONS (4'-6" MAX. O.C.) RE: DETAILS.
 580. 5/4x4 CEMENT BOARD TRIM ON FURRING ON WATERPROOF MEMBRANE ON SHEATHING AND STUDS WITH FLASHING PER DETAILS.
 583. 7/16x12 CEMENT BOARD TRIM ON BEAM PER FRAMING PLANS.

TYPICAL BLDG MASONRY CALCULATIONS

FRONT BUILDING ELEVATION (STREET SIDE)	
AREA OF BRICK VENEER	5818 SF
AREA OF THIN SET STONE VENEER	0 SF
AREA OF CEMENT BOARD STUCCO SIDING	1756 SF
TOTAL MASONRY:	5818 SF
TOTAL NON-MASONRY:	1756 SF
PERCENT MASONRY:	76.8 %

END BUILDING ELEVATION (SOUTH SIDE)	
AREA OF BRICK VENEER	1573 SF
AREA OF THIN SET STONE VENEER	0 SF
AREA OF CEMENT BOARD STUCCO SIDING	360 SF
TOTAL MASONRY:	1573 SF
TOTAL NON-MASONRY:	1756 SF
PERCENT MASONRY:	81.4 %



HUD # 086-35404
VINTAGE AT FOXLAND HARBOR, LLC
 1610 S. CHURCH STREET
 MURFREESBORO, TN 37130

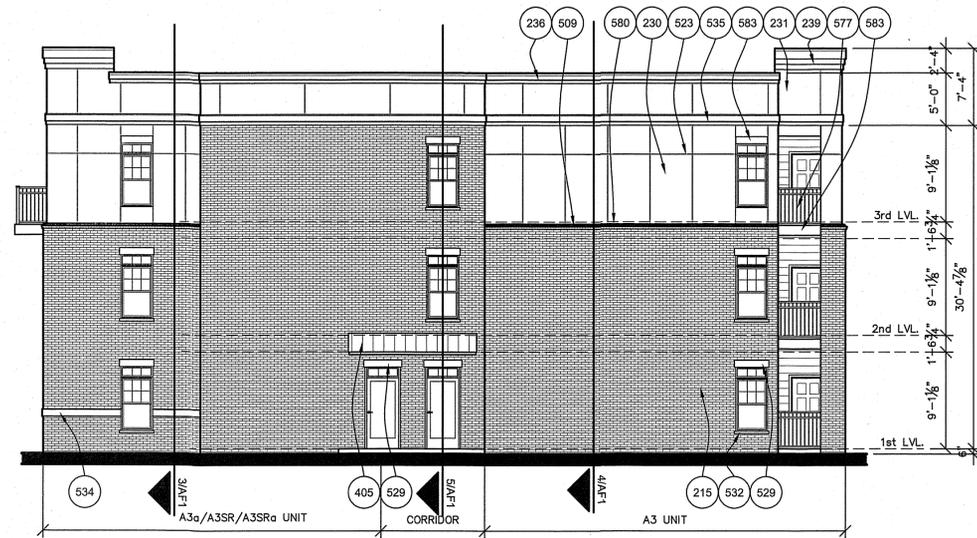
Parker Associates Tulsa, LLC
 2202 E. 49th Street, Suite 200
 Tulsa, Oklahoma 74105
 918-742-2485

Jim E. Parker - Architect of Record
 Tennessee License #17971

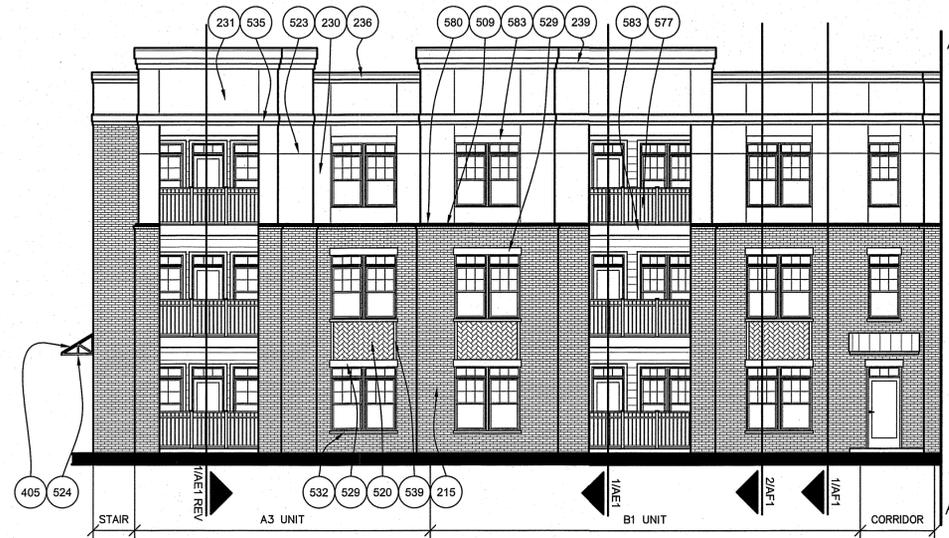
JOB NUMBER: 216014
 DRAWN BY: JEP,BH,HA,WG
 DATE: 8/1/2016

BUILDING 1 ELEVATIONS
AB15 OF 65

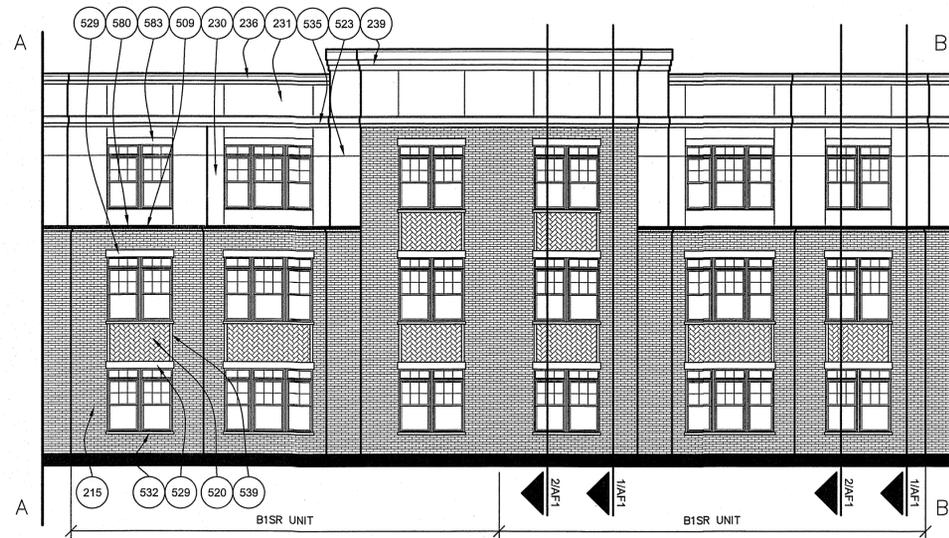
SHEET NUMBER OF



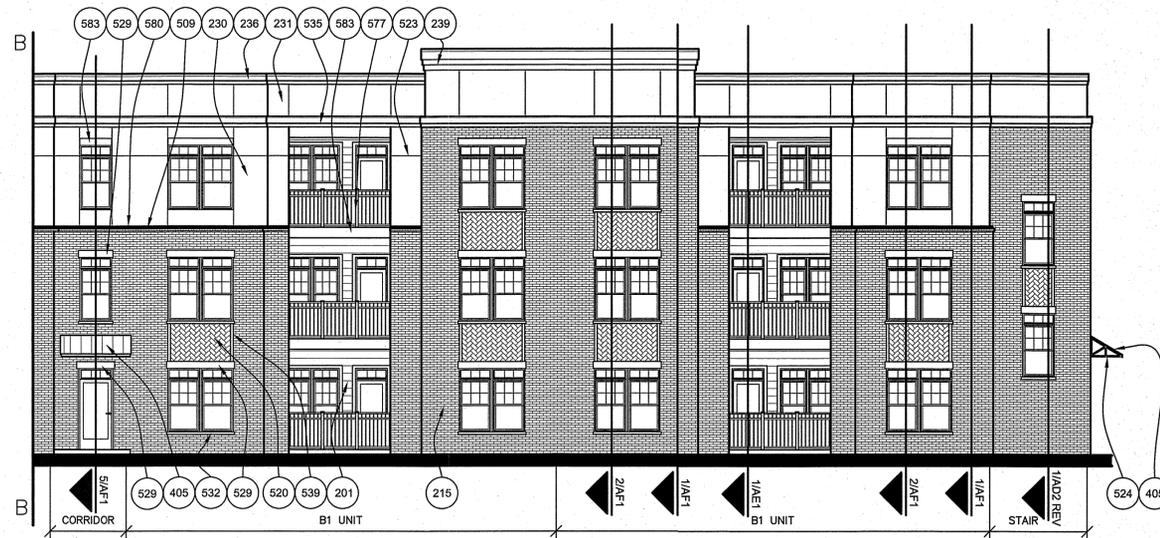
2 BUILDING 1 — END ELEVATION
1/8" = 1'-0" WEST END



1 BUILDING 1 — ELEVATION
1/8" = 1'-0" REAR ELEV



3 BUILDING 1 — ELEVATION
1/8" = 1'-0" REAR ELEV



4 BUILDING 1 — ELEVATION
1/8" = 1'-0" REAR ELEV

- ### KEYNOTES
201. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE.
 215. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING. OMIT INSULATION AT EXTERIOR STORAGE CLOSETS.
 216. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING.
 230. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY SIDING MFR. ON SHEATHING ON STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACE.
 231. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY MFR. ON SHEATHING ON STUDS PER SCHEDULE.
 236. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM AS SHOWN ON DETAILS AND ELEVATIONS.
 239. PREFINISHED ALUMINUM COPING ON FRAMING WITH 5/4x12 ON 5/4x8 ON 5/4x8 CEMENT BOARD TRIM WITH BLOCKING TO PROFILE SHOWN ON ELEVATIONS AND DETAILS.
 405. STANDING SEAM METAL ROOF (GALVANLUME FINISH) ON ALUMINUM FRAME ATTACHED TO WALL. PROVIDE SHOP DRAWINGS FOR APPROVAL.
 509. BRICK ROWLOCK - SLOPE AWAY FROM STRUCTURE.
 510. ARCH BRICK SOLDIER COURSE.
 520. BRICK HERRINGBONE PATTERN AT LOCATIONS SHOWN ON ELEVATIONS.
 523. ALUMINUM TRIM BETWEEN CEMENT FIBER PANELS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO DETAILS AND INSTALL PER MFR. INSTRUCTIONS.
 524. STEEL CANOPY SYSTEM AT LOCATIONS SHOWN ON THE ELEVATIONS, RE: DETAILS.
 529. 6" PRECAST STONE WINDOW/DOOR HEAD TO PROJECT 1/4" PAST BRICK SURFACE WITH STEEL LINTEL, FLASHING AND WEEPS PER DETAILS.
 532. 3" PRECAST STONE WINDOW SILL TO MATCH PROFILE OF DETAIL SLOPE TOP AWAY FROM STRUCTURE AND INSTLL FLASHING WITH WEEPS PER DETAILS.
 534. 6" PRECAST STONE ACCENT TRIM TO PROJECT 1/2" BEYOND FACE OF MASONRY.
 535. GALVANIZED FLASHING OVER 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM. RE: DETAILS.
 539. TRIM STONE VENEER SILL OR CAP INSTALLED PER MANUFACTURER'S REQUIREMENTS.
 577. 1 1/2" SQUARE TOP, MIDDLE AND BOTTOM RAILS. TOP AT 3'-9" MIN. ABOVE FINISH SURFACE, MIDDLE AT 6" BELOW TOP AND BOTTOM 2" ABOVE FINISH SURFACE. INSTALL 1/2" BALLUSTERS WITH 3.9" MAX. SPACE BETWEEN WITH 3" SQUARE TUBE VERTICAL SUPPORTS WITH CAPS, SPACED AS SHOWN ON THE ELEVATIONS (4'-6" MAX. O.C.). RE: DETAILS.
 580. 5/4x4 CEMENT BOARD TRIM ON FURRING ON WATERPROOF MEMBRANE ON SHEATHING AND STUDS WITH FLASHING PER DETAILS.
 583. 7/16x12 CEMENT BOARD TRIM ON BEAM PER FRAMING PLANS.

TYPICAL BLDG MASONRY CALCULATIONS

REAR BUILDING ELEVATION (PARKING SIDE)	
AREA OF BRICK VENEER	3990 SF
AREA OF THIN SET STONE VENEER	0 SF
AREA OF CEMENT BOARD STUCCO SIDING	1048 SF
TOTAL MASONRY:	5038 SF
TOTAL NON-MASONRY:	1048 SF
PERCENT MASONRY :	79.2 %
END BUILDING ELEVATION (WEST SIDE)	
AREA OF BRICK VENEER	1598 SF
AREA OF THIN SET STONE VENEER	0 SF
AREA OF CEMENT BOARD STUCCO SIDING	365 SF
TOTAL MASONRY:	1963 SF
TOTAL NON-MASONRY:	365 SF
PERCENT MASONRY :	81.4 %



HUD # 086-35404
VINTAGE AT FOXLAND HARBOR, L.L.C.
 1610 S. CHURCH STREET
 MURFREESBORO, TN 37130

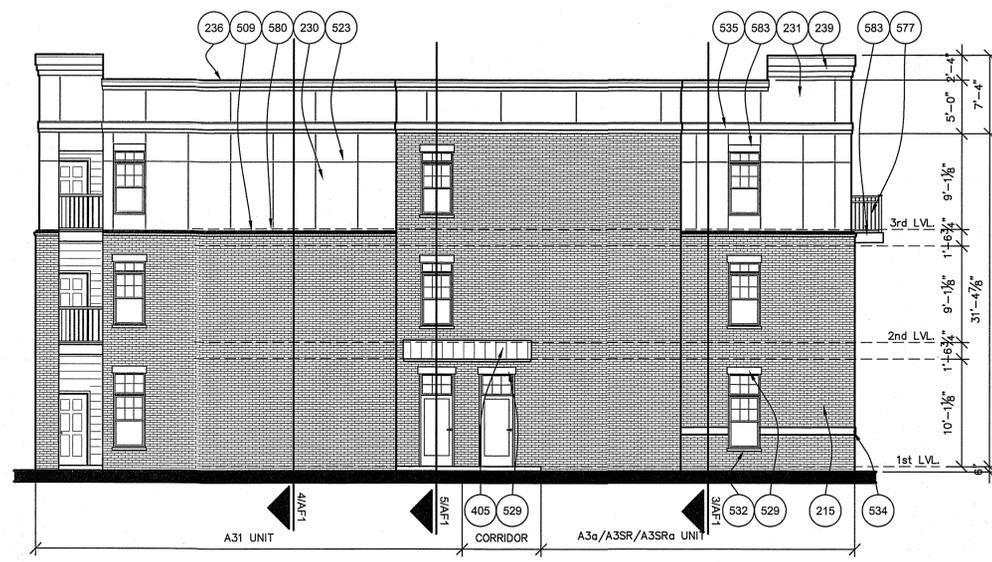
Parker Associates Tulsa, LLC
 2202 E. 49th Street, Suite 200
 Tulsa, Oklahoma 74105
 918-742-2485

Jim E. Parker - Architect of Record
 Tennessee License #17971

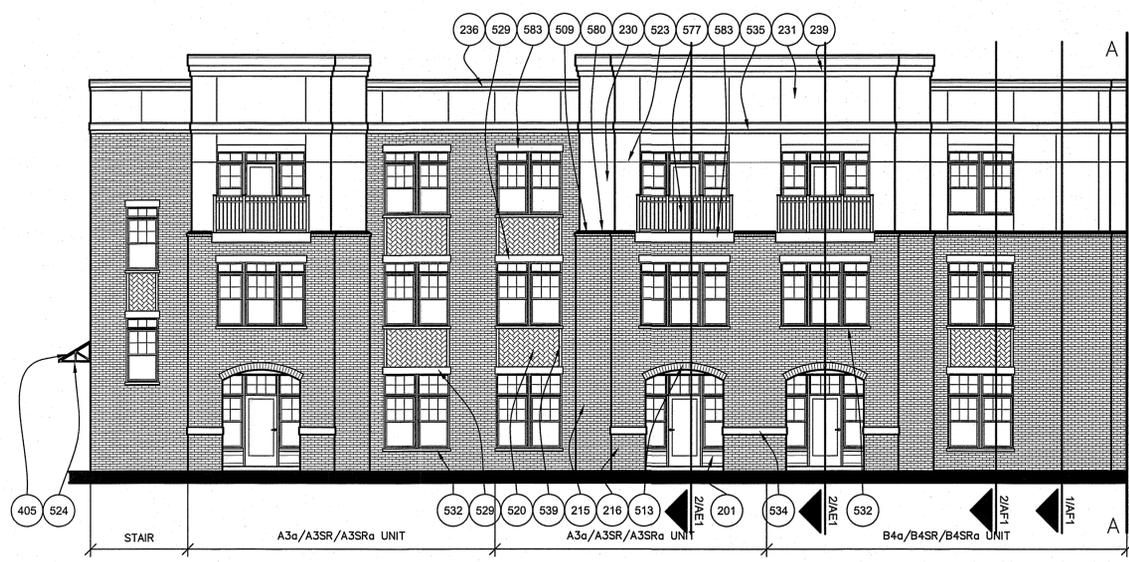
JOB NUMBER: 216014
 DRAWN BY: JEP,BH,HA,WG
 DATE: 8/1/2016

BUILDING 1 ELEVATIONS
 SHEET NUMBER **AB16** OF 65

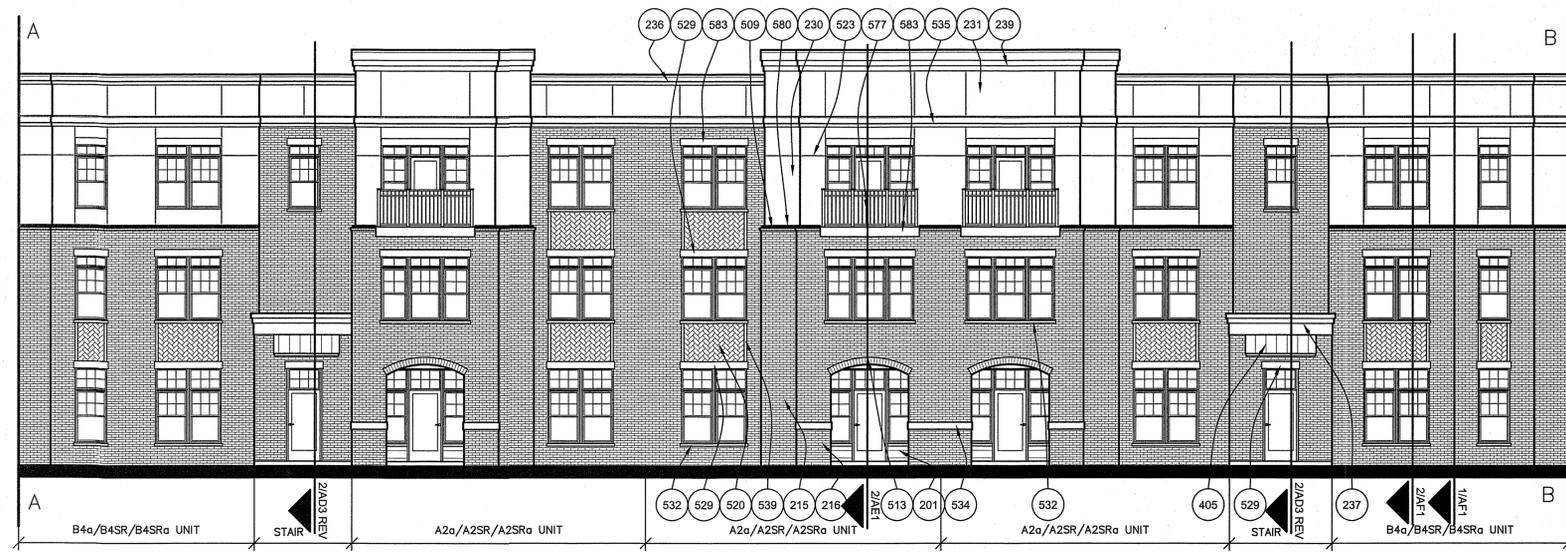




2 BUILDING 2 - END ELEVATION
1/8" = 1'-0"



1 BUILDING 2 - ELEVATION
1/8" = 1'-0"



3 BUILDING 2 - ELEVATION
1/8" = 1'-0"



4 BUILDING 2 - ELEVATION
1/8" = 1'-0"

- ### KEYNOTES
201. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE.
 215. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING. OMIT INSULATION AT EXTERIOR STORAGE CLOSETS.
 216. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING.
 230. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY SIDING MFR. ON SHEATHING ON STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACE.
 231. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY MFR. ON SHEATHING ON STUDS PER SCHEDULE.
 236. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM AS SHOWN ON DETAILS AND ELEVATIONS.
 239. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x12 ON 5/4x8 ON 5/4x8 CEMENT BOARD TRIM WITH BLOCKING TO PROFILE SHOWN ON ELEVATIONS AND DETAILS.
 405. STANDING SEAM METAL ROOF (GALVANUMINE FINISH) ON ALUMINUM FRAME ATTACHED TO WALL. PROVIDE SHOP DRAWINGS FOR APPROVAL.
 509. BRICK ROWLOCK - SLOPE AWAY FROM STRUCTURE.
 513. ARCH BRICK SOLDIER COURSE.
 520. BRICK HERRINGBONE PATTERN AT LOCATIONS SHOWN ON ELEVATIONS.
 523. ALUMINUM TRIM BETWEEN CEMENT FIBER PANELS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO DETAILS AND INSTALL PER MFR. INSTRUCTIONS.
 524. STEEL CANOPY SYSTEM AT LOCATIONS SHOWN ON THE ELEVATIONS. RE: DETAILS.
 525. TENSION ROD, RE: STRUCTURAL DRAWINGS FOR DETAIL.
 529. 8" PRECAST STONE WINDOW/DOOR HEAD TO PROJECT 1/4" PAST BRICK SURFACE WITH STEEL LINTEL, FLASHING AND WEEPS PER DETAILS.
 532. 3" PRECAST STONE WINDOW SILL TO MATCH PROFILE OF DETAIL SLOPE TOP AWAY FROM STRUCTURE AND INSTLL FLASHING WITH WEEPS PER DETAILS.
 534. 6" PRECAST STONE ACCENT TRIM TO PROJECT 1/2" BEYOND FACE OF MASONRY.
 535. GALVANIZED FLASHING OVER 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM. RE: DETAILS.
 539. TRIM STONE VENEER SILL OR CAP INSTALLED PER MANUFACTURER'S REQUIREMENTS.
 577. 1 1/2" SQUARE TOP, MIDDLE AND BOTTOM RAILS. TOP AT 3'-0" MIN. ABOVE FINISH SURFACE, MIDDLE AT 0' BELOW TOP AND BOTTOM 2" ABOVE FINISH SURFACE. INSTALL 1/2" BALLUSTERS WITH 3.9" MAX. SPACE BETWEEN WITH 3" SQUARE TUBE VERTICAL SUPPORTS WITH CAPS, SPACED AS SHOWN ON THE ELEVATIONS (4'-0" MAX. O.C.) RE: DETAILS.
 580. 5/4x4 CEMENT BOARD TRIM ON FURRING ON WATERPROOF MEMBRANE ON SHEATHING AND STUDS WITH FLASHING PER DETAILS.
 583. 7/16x12 CEMENT BOARD TRIM ON BEAM PER FRAMING PLANS.

TYPICAL BLDG MASONRY CALCULATIONS

FRONT BUILDING ELEVATION (STREET SIDE)	
AREA OF BRICK VENEER	6121 SF
AREA OF THIN SET STONE VENEER	0 SF
AREA OF CEMENT BOARD STUCCO SIDING	1351 SF
TOTAL MASONRY:	6121 SF
TOTAL NON-MASONRY:	1351 SF
PERCENT MASONRY :	81.9 %

END BUILDING ELEVATION (EAST SIDE)	
AREA OF BRICK VENEER	1692 SF
AREA OF THIN SET STONE VENEER	0 SF
AREA OF CEMENT BOARD STUCCO SIDING	385 SF
TOTAL MASONRY:	1692 SF
TOTAL NON-MASONRY:	385 SF
PERCENT MASONRY :	81.5 %



HUD # 086-35404

VINTAGE AT FOXLAND HARBOR, LLC

1610 S. CHURCH STREET
MURFREESBORO, TN 37130

Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485

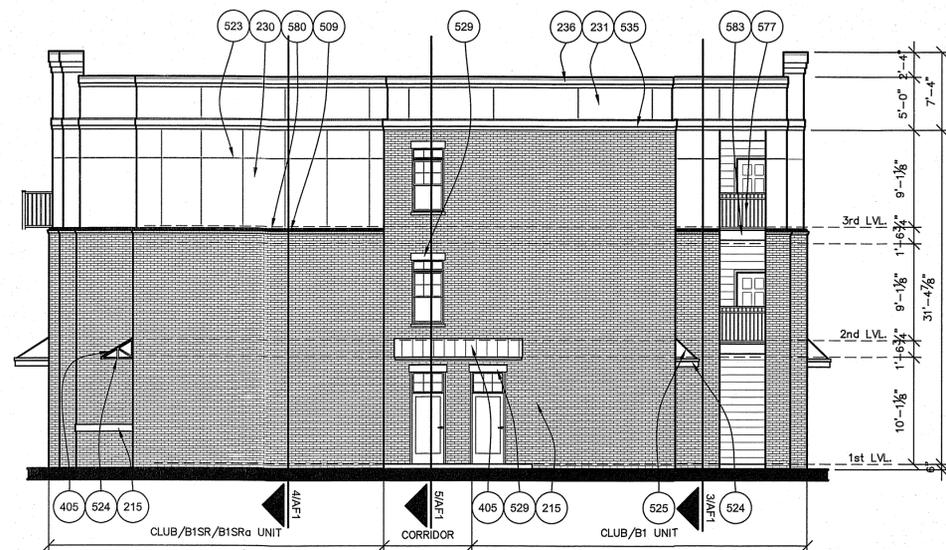
Jim E. Parker - Architect of Record
Tennessee License #17971

JOB NUMBER: 216014
DRAWN BY: JEP,BH,HA,WG
DATE: 8/1/2016

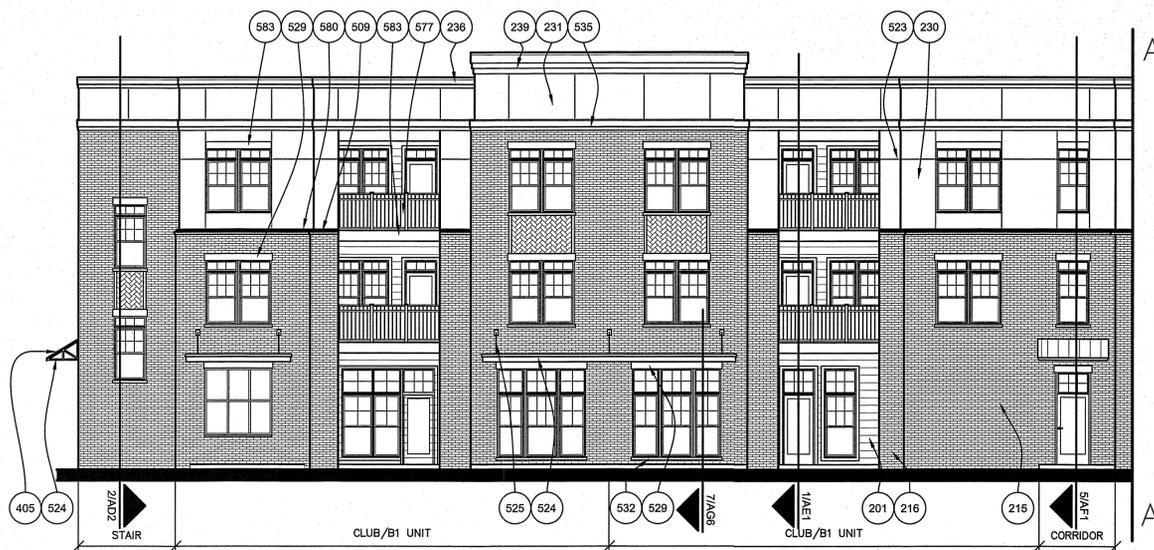
BUILDING 2 ELEVATIONS
SHEET NUMBER AB31 OF 65

KEYNOTES

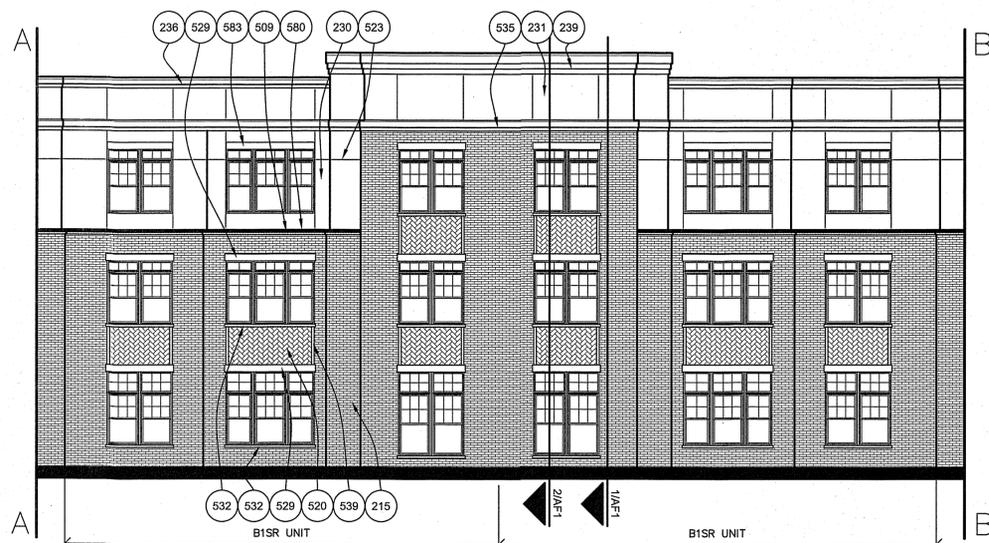
- 201. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE.
- 215. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING. OMIT INSULATION AT EXTERIOR STORAGE CLOSETS.
- 216. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING.
- 230. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY SIDING MFR. ON SHEATHING ON STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACE.
- 231. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY MFR. ON SHEATHING ON STUDS PER SCHEDULE.
- 236. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM AS SHOWN ON DETAILS AND ELEVATIONS.
- 239. PREFINISHED ALUMINUM COPING ON FRAMING WITH 5/4x12 ON 5/4x8 ON 5/4x8 CEMENT BOARD TRIM WITH BLOCKING TO PROFILE SHOWN ON ELEVATIONS AND DETAILS.
- 405. STANDING SEAM METAL ROOF (GALVANLUME FINISH) ON ALUMINUM FRAME ATTACHED TO WALL. PROVIDE SHOP DRAWINGS FOR APPROVAL.
- 509. BRICK ROWLOCK - SLOPE AWAY FROM STRUCTURE.
- 513. ARCH BRICK SOLDIER COURSE.
- 520. BRICK HERRINGBONE PATTERN AT LOCATIONS SHOWN ON ELEVATIONS.
- 523. ALUMINUM TRIM BETWEEN CEMENT FIBER PANELS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO DETAILS AND INSTALL PER MFR. INSTRUCTIONS.
- 524. STEEL CANOPY SYSTEM AT LOCATIONS SHOWN ON THE ELEVATIONS, RE: DETAILS.
- 525. TENSION ROD, RE: STRUCTURAL DRAWINGS FOR DETAIL.
- 529. 8" PRECAST STONE WINDOW/DOOR HEAD TO PROJECT 1/4" PAST BRICK SURFACE WITH STEEL LINTEL, FLASHING AND WEEPS PER DETAIL.
- 532. 3" PRECAST STONE WINDOW SILL TO MATCH PROFILE OF DETAIL SLOPE TOP AWAY FROM STRUCTURE AND INSTLL FLASHING WITH WEEPS PER DETAILS.
- 534. 6" PRECAST STONE ACCENT TRIM TO PROJECT 1/2" BEYOND FACE OF MASONRY.
- 535. GALVANIZED FLASHING OVER 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM. RE: DETAILS.
- 539. TRIM STONE VENEER SILL OR CAP INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- 577. 1 1/2" SQUARE TOP, MIDDLE AND BOTTOM RAILS. TOP AT 3'-3" MIN. ABOVE FINISH SURFACE, MIDDLE AT 6" BELOW TOP AND BOTTOM 2" ABOVE FINISH SURFACE. INSTALL 1/2" BALLUSTERS WITH 3/8" MAX. SPACE BETWEEN WITH 3" SQUARE TUBE VERTICAL SUPPORTS WITH CAPS, SPACED AS SHOWN ON THE ELEVATIONS (4'-6" MAX. O.C.) RE: DETAILS.
- 580. 5/4x4 CEMENT BOARD TRIM ON FURRING ON WATERPROOF MEMBRANE ON SHEATHING AND STUDS WITH FLASHING PER DETAILS.
- 583. 7/16x12 CEMENT BOARD TRIM ON BEAM PER FRAMING PLANS.



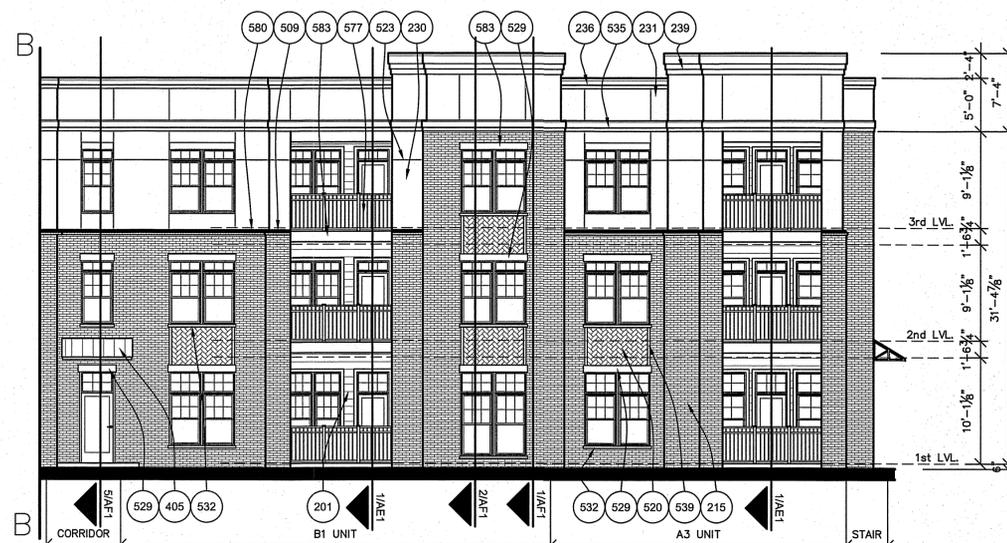
2 BUILDING 2 - END ELEVATION
1/8" = 1'-0" SOUTH END



1 BUILDING 2 - ELEVATION
1/8" = 1'-0" REAR ELEV



3 BUILDING 2 - ELEVATION
1/8" = 1'-0" REAR ELEV



4 BUILDING 2 - ELEVATION
1/8" = 1'-0" REAR ELEV

TYPICAL BLDG MASONRY CALCULATIONS

REAR BUILDING ELEVATION (PARKING SIDE)	
AREA OF BRICK VENEER	4120 SF
AREA OF THIN SET STONE VENEER	0 SF
AREA OF CEMENT BOARD STUCCO SIDING	978 SF
TOTAL MASONRY:	4120 SF
TOTAL NON-MASONRY:	978 SF
PERCENT MASONRY :	80.8 %
END BUILDING ELEVATION (SOUTH SIDE)	
AREA OF BRICK VENEER	1632 SF
AREA OF THIN SET STONE VENEER	0 SF
AREA OF CEMENT BOARD STUCCO SIDING	362 SF
TOTAL MASONRY:	1632 SF
TOTAL NON-MASONRY:	362 SF
PERCENT MASONRY :	81.8 %



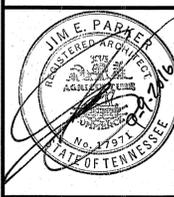
Parker Associates Tulsa, LLC
2202 E. 48th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485

Jim E. Parker - Architect of Record
Tennessee License #17971

HUD # 086-35404

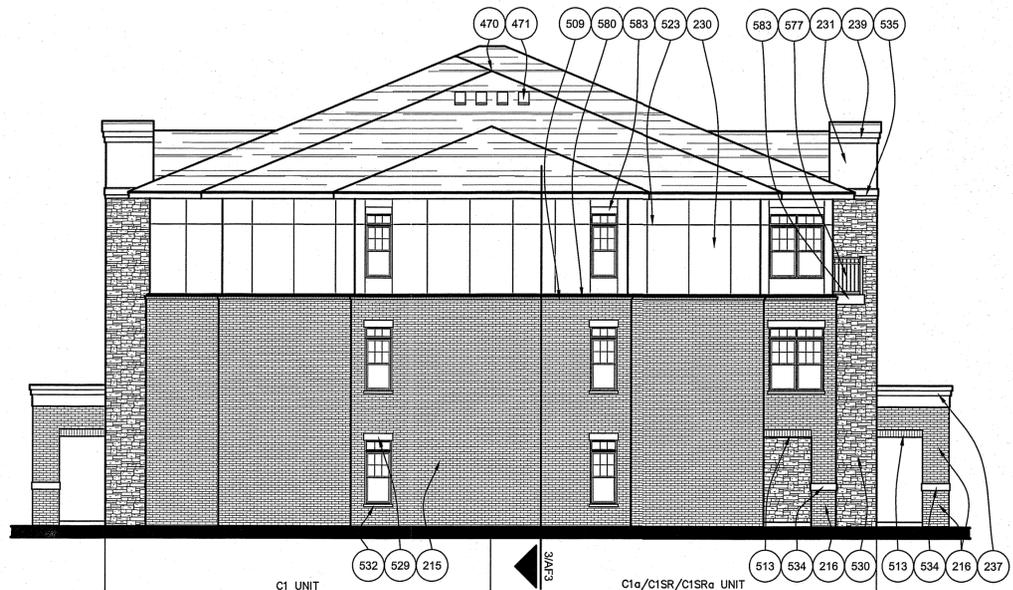
VINTAGE AT
FOXLAND HARBOR,
L.L.C.

1610 S. CHURCH STREET
MURFREESBORO, TN 37130



JOB NUMBER: 216014
DRAWN BY: JEP,BH,HA,WC
DATE: 8/1/2016

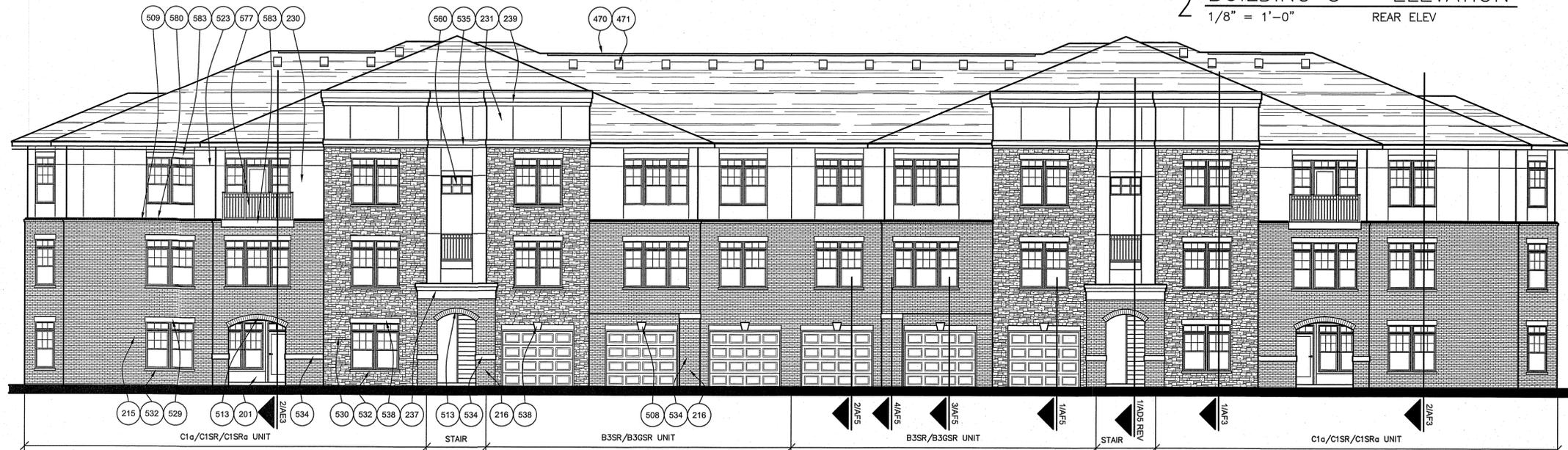
**BUILDING 2
ELEVATIONS**
SHEET
NUMBER **AB32** OF 65



1 BUILDING 3 - END ELEVATION
1/8" = 1'-0"



2 BUILDING 3 - ELEVATION
1/8" = 1'-0"



3 BUILDING 3 - ELEVATION
1/8" = 1'-0"

- ### KEYNOTES
201. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE.
 215. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING. OMIT INSULATION AT EXTERIOR STORAGE CLOSETS.
 216. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING.
 230. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY SIDING MFR. ON SHEATHING ON STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACE.
 231. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY MFR. ON SHEATHING ON STUDS PER SCHEDULE.
 237. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x4 ON 5/4x8 CEMENT FIBER TRIM AS SHOWN ON DETAILS AND ELEVATIONS.
 239. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x12 ON 5/4x8 ON 5/4x8 CEMENT BOARD TRIM WITH BLOCKING TO PROFILE SHOWN ON ELEVATIONS AND DETAILS.
 470. CONTINUOUS RIDGE VENT.
 471. 9" DIAMETER ROOF VENT LOCATED PER FRAMING PLANS.
 508. 8" PRECAST TRIM WITH 10" TALL PRECAST KEY (6" WIDE AT BOTTOM AND 12" WIDE AT TOP)
 509. BRICK ROWLOCK - SLOPE AWAY FROM STRUCTURE.
 513. ARCH BRICK SOLDIER COURSE.
 523. ALUMINUM TRIM BETWEEN CEMENT FIBER PANELS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO DETAILS AND INSTALL PER MFR. INSTRUCTIONS.
 529. 8" PRECAST STONE WINDOW/DOOR HEAD TO PROJECT 1/4" PAST BRICK SURFACE WITH STEEL LINTEL, FLASHING AND WEEPS PER DETAILS.
 530. STONE VENEER ON METAL LATH ON 2 LAYERS OF MOISTURE RESISTANT BARRIER ON SHEATHING ON STUDS WITH R-15 BATT INSULATION WITH 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
 532. 3" PRECAST STONE WINDOW SILL TO MATCH PROFILE OF DETAIL SLOPE TOP AWAY FROM STRUCTURE AND INSTLL FLASHING WITH WEEPS PER DETAILS.
 534. 6" PRECAST STONE ACCENT TRIM TO PROJECT 1/2" BEYOND FACE OF MASONRY.
 535. GALVANIZED FLASHING OVER 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM. RE: DETAILS.
 538. 8" PRECAST STONE VENEER TRIM AT TO PROJECT 1/4" PAST STONE SURFACE INSTALLED PER STONE VENEER MANUFACTURER'S REQUIREMENTS.
 560. 1 1/2" SQUARE TUBE STEEL FRAME EQUALLY SPACED PER ELEVATIONS (VERIFY FINAL HORIZONTAL DIMENSIONS IN FIELD) CONNECTED TO SOLID FRAMING.
 577. 1 1/2" SQUARE TOP, MIDDLE AND BOTTOM RAILS. TOP AT 3'-9" MIN. ABOVE FINISH SURFACE, MIDDLE AT 6" BELOW TOP AND BOTTOM 2" ABOVE FINISH SURFACE. INSTALL 1/2" BALLUSTERS WITH 3.9" MAX. SPACE BETWEEN WITH 3" SQUARE TUBE VERTICAL SUPPORTS WITH CAPS, SPACED AS SHOWN ON THE ELEVATIONS (4'-6" MAX. O.C.) RE: DETAILS.
 580. 5/4x4 CEMENT BOARD TRIM ON FURRING ON WATERPROOF MEMBRANE ON SHEATHING AND STUDS WITH FLASHING PER DETAILS.
 583. 7/16x12 CEMENT BOARD TRIM ON BEAM PER FRAMING PLANS.

TYPICAL BLDG MASONRY CALCULATIONS

FRONT BUILDING ELEVATION (GARAGE SIDE)	
AREA OF BRICK VENEER	1995 SF
AREA OF THIN SET STONE VENEER	1068 SF
AREA OF CEMENT BOARD STUCCO SIDING	950 SF
TOTAL MASONRY:	3062 SF
TOTAL NON-MASONRY:	950 SF
PERCENT MASONRY:	76.3 %
REAR BUILDING ELEVATION	
AREA OF BRICK VENEER	2165 SF
AREA OF THIN SET STONE VENEER	1131 SF
AREA OF CEMENT BOARD STUCCO SIDING	868 SF
TOTAL MASONRY:	3296 SF
TOTAL NON-MASONRY:	868 SF
PERCENT MASONRY:	79.2 %
END BUILDING ELEVATION (BOTH ENDS SAME)	
AREA OF BRICK VENEER	1281 SF
AREA OF THIN SET STONE VENEER	230 SF
AREA OF CEMENT BOARD STUCCO SIDING	504 SF
TOTAL MASONRY:	1511 SF
TOTAL NON-MASONRY:	504 SF
PERCENT MASONRY:	75.0 %

• DWELLWELL •

VINTAGE

FOXLAND HARBOR

Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2488

Jim E. Parker - Architect of Record
Tennessee License #17971

HUD # 086-35404

VINTAGE AT
FOXLAND HARBOR,
LLC

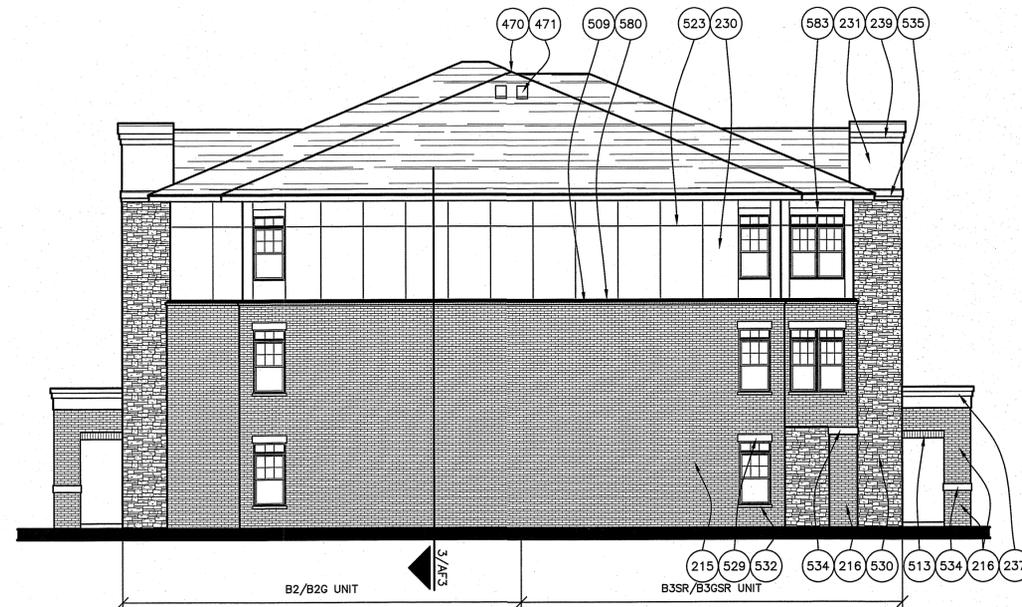
1610 S. CHURCH STREET
MURFREESBORO, TN 37130

JOB NUMBER: 216014
DRAWN BY: JEP,BH,HA,WG
DATE: 8/1/2016

BUILDING 3
ELEVATIONS

SHEET NUMBER AB37 of 65

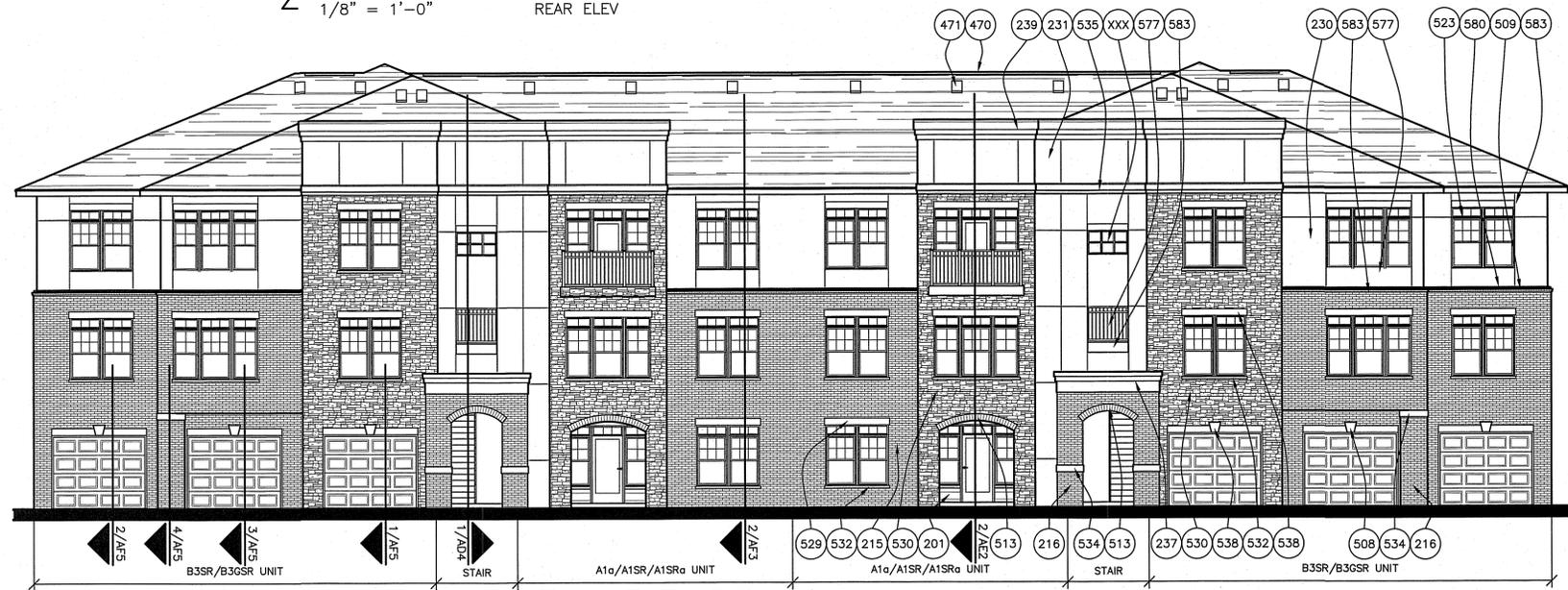
GF



1 BUILDINGS 4&7 - END ELEVATION
1/8" = 1'-0"



2 BUILDINGS 4&7 - ELEVATION
1/8" = 1'-0" REAR ELEV



3 BUILDINGS 4&7 - ELEVATION
1/8" = 1'-0" FRONT ELEV

KEYNOTES

- 201. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE.
- 215. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING. OMIT INSULATION AT EXTERIOR STORAGE CLOSETS.
- 216. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING.
- 230. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY SIDING MFR. ON SHEATHING ON STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACE.
- 231. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY MFR. ON SHEATHING ON STUDS PER SCHEDULE.
- 237. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x4 ON 5/4x8 CEMENT FIBER TRIM AS SHOWN ON DETAILS AND ELEVATIONS.
- 239. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x12 ON 5/4x8 ON 5/4x8 CEMENT BOARD TRIM WITH BLOCKING TO PROFILE SHOWN ON ELEVATIONS AND DETAILS.
- 470. CONTINUOUS RIDGE VENT.
- 471. 9" DIAMETER ROOF VENT LOCATED PER FRAMING PLANS.
- 508. 8" PRECAST TRIM WITH 10" TALL PRECAST KEY (8" WIDE AT BOTTOM AND 12" WIDE AT TOP).
- 509. BRICK ROWLOCK - SLOPE AWAY FROM STRUCTURE.
- 513. ARCH BRICK SOLDIER COURSE.
- 523. ALUMINUM TRIM BETWEEN CEMENT FIBER PANELS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO DETAILS AND INSTALL PER MFR. INSTRUCTIONS.
- 529. 8" PRECAST STONE WINDOW/DOOR HEAD TO PROJECT 1/4" PAST BRICK SURFACE WITH STEEL LINTEL, FLASHING AND WEEPS PER DETAILS.
- 530. STONE VENEER ON METAL LATH ON 2 LAYERS OF MOISTURE RESISTANT BARRIER ON SHEATHING ON STUDS WITH R-15 BATT INSULATION WITH 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
- 532. 3" PRECAST STONE WINDOW SILL TO MATCH PROFILE OF DETAIL. SLOPE TOP AWAY FROM STRUCTURE AND INSTLL FLASHING WITH WEEPS PER DETAILS.
- 534. 6" PRECAST STONE ACCENT TRIM TO PROJECT 1/2" BEYOND FACE OF MASONRY.
- 535. GALVANIZED FLASHING OVER 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM. RE: DETAILS.
- 538. 8" PRECAST STONE VENEER TRIM AT TO PROJECT 1/4" PAST STONE SURFACE INSTALLED PER STONE VENEER MANUFACTURER'S REQUIREMENTS.
- 560. 1 1/2" SQUARE TUBE STEEL FRAME EQUALLY SPACED PER ELEVATIONS (VERIFY FINAL HORIZONTAL DIMENSIONS IN FIELD) CONNECTED TO SOLID FRAMING.
- 577. 1 1/2" SQUARE TOP, MIDDLE AND BOTTOM RAILS. TOP AT 3'-9" MIN. ABOVE FINISH SURFACE, MIDDLE AT 6" BELOW TOP AND BOTTOM 2" ABOVE FINISH SURFACE. INSTALL 1/2" BALLUSTERS WITH 3.9" MAX. SPACE BETWEEN WITH 3" SQUARE TUBE VERTICAL SUPPORTS WITH CAPS, SPACED AS SHOWN ON THE ELEVATIONS (4'-6" MAX. O.C.) RE: DETAILS.
- 580. 5/4x4 CEMENT BOARD TRIM ON FURRING ON WATERPROOF MEMBRANE ON SHEATHING AND STUDS WITH FLASHING PER DETAILS.
- 583. 7/16x12 CEMENT BOARD TRIM ON BEAM PER FRAMING PLANS.

TYPICAL BLDG MASONRY CALCULATIONS

FRONT BUILDING ELEVATION (GARAGE SIDE)	
AREA OF BRICK VENEER	1199 SF
AREA OF THIN SET STONE VENEER	859 SF
AREA OF CEMENT BOARD STUCCO SIDING	820 SF
TOTAL MASONRY:	2058 SF
TOTAL NON-MASONRY:	820 SF
PERCENT MASONRY:	71.5 %
REAR BUILDING ELEVATION	
AREA OF BRICK VENEER	1062 SF
AREA OF THIN SET STONE VENEER	802 SF
AREA OF CEMENT BOARD STUCCO SIDING	762 SF
TOTAL MASONRY:	1864 SF
TOTAL NON-MASONRY:	762 SF
PERCENT MASONRY:	71.0 %
END BUILDING ELEVATION (BOTH ENDS SAME)	
AREA OF BRICK VENEER	1253 SF
AREA OF THIN SET STONE VENEER	266 SF
AREA OF CEMENT BOARD STUCCO SIDING	517 SF
TOTAL MASONRY:	1519 SF
TOTAL NON-MASONRY:	517 SF
PERCENT MASONRY:	74.6 %



HUD # 086-35404

VINTAGE AT FOXLAND HARBOR, LLC

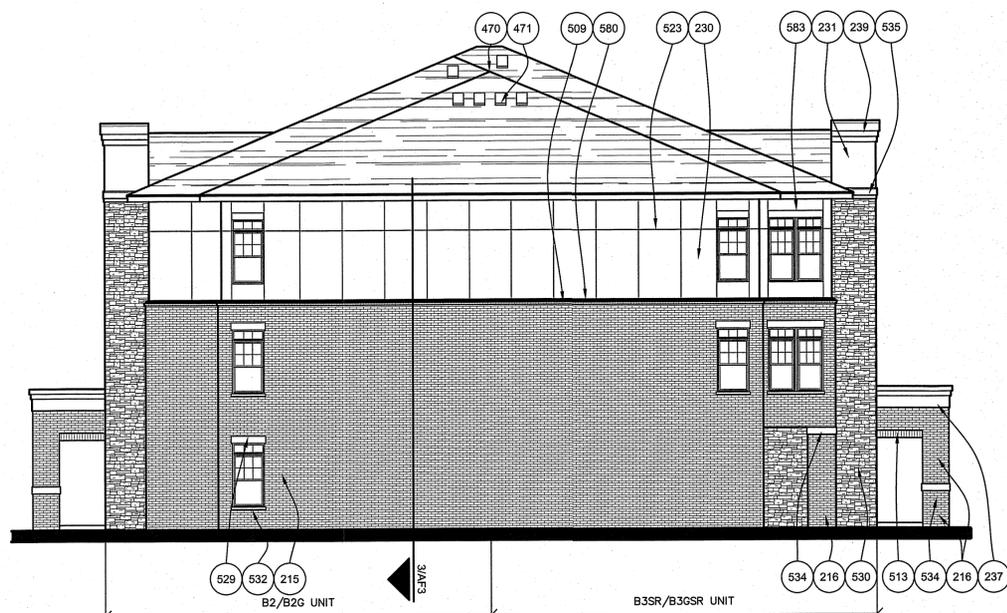
1610 S. CHURCH STREET
MURFREESBORO, TN 37130

Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74103
918-742-2485

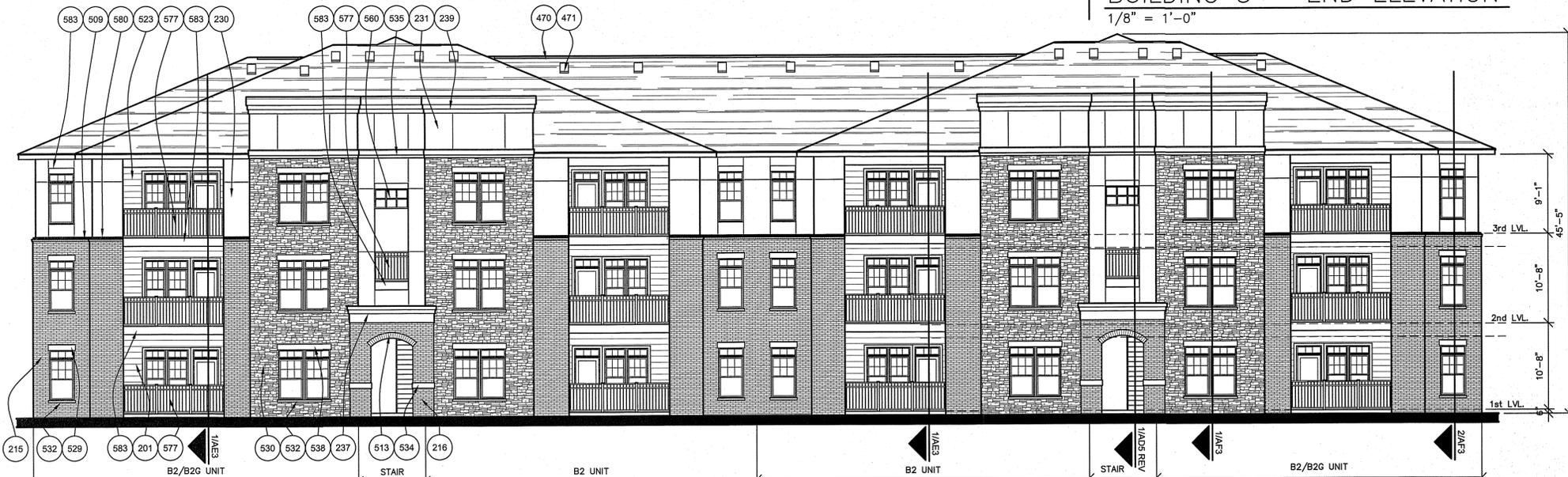
Jim E. Parker - Architect of Record
Tennessee License #17971

JOB NUMBER: 216014
DRAWN BY: JEP,BH,HWG
DATE: 8/1/2016

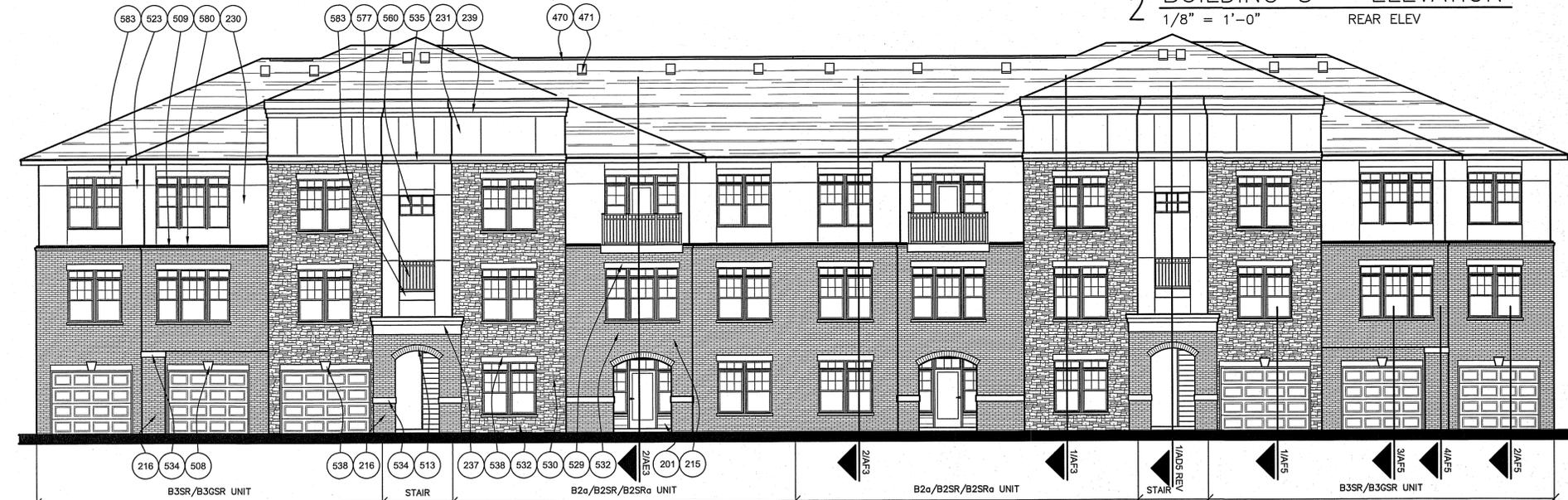
BUILDINGS 4&7
ELEVATIONS
SHEET NUMBER AB42 OF 65



1 BUILDING 5 - END ELEVATION
1/8" = 1'-0"



2 BUILDING 5 - ELEVATION
1/8" = 1'-0" REAR ELEV



3 BUILDING 5 - ELEVATION
1/8" = 1'-0" FRONT ELEV

- ### KEYNOTES
201. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE.
 215. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING. OMIT INSULATION AT EXTERIOR STORAGE CLOSETS.
 216. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING.
 230. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY SIDING MFR. ON SHEATHING ON STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACE.
 231. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY MFR. ON SHEATHING ON STUDS PER SCHEDULE.
 237. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x4 ON 5/4x8 CEMENT FIBER TRIM AS SHOWN ON DETAILS AND ELEVATIONS.
 239. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x12 ON 5/4x8 ON 5/4x8 CEMENT BOARD TRIM WITH BLOCKING TO PROFILE SHOWN ON ELEVATIONS AND DETAILS.
 470. CONTINUOUS RIDGE VENT.
 471. 9" DIAMETER ROOF VENT LOCATED PER FRAMING PLANS.
 508. 8" PRECAST TRIM WITH 10" TALL PRECAST KEY (6" WIDE AT BOTTOM AND 12" WIDE AT TOP)
 509. BRICK ROWLOCK - SLOPE AWAY FROM STRUCTURE.
 513. ARCH BRICK SOLDIER COURSE.
 523. ALUMINUM TRIM BETWEEN CEMENT FIBER PANELS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO DETAILS AND INSTALL PER MFR. INSTRUCTIONS.
 529. 8" PRECAST STONE WINDOW/DOOR HEAD TO PROJECT 1/4" PAST BRICK SURFACE WITH STEEL LINTEL, FLASHING AND WEEPS PER DETAILS.
 530. STONE VENEER ON METAL LATH ON 2 LAYERS OF MOISTURE RESISTANT BARRIER ON SHEATHING ON STUDS WITH R-15 BATT INSULATION WITH 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
 532. 9" PRECAST STONE WINDOW SILL TO MATCH PROFILE OF DETAIL SLOPE TOP AWAY FROM STRUCTURE AND INSTLL FLASHING WITH WEEPS PER DETAILS.
 534. 8" PRECAST STONE ACCENT TRIM TO PROJECT 1/2" BEYOND FACE OF MASONRY.
 535. GALVANIZED FLASHING OVER 5/4x8 ON 5/4x6 AND 5/4x4 CEMENT FIBER TRIM. RE: DETAILS.
 538. 8" PRECAST STONE VENEER TRIM AT TO PROJECT 1/4" PAST STONE SURFACE INSTALLED PER STONE VENEER MANUFACTURER'S REQUIREMENTS.
 560. 1 1/2" SQUARE TUBE STEEL FRAME EQUALLY SPACED PER ELEVATIONS (VERIFY FINAL HORIZONTAL DIMENSIONS IN FIELD) CONNECTED TO SOLID FRAMING.
 577. 1 1/2" SQUARE TOP, MIDDLE AND BOTTOM RAILS. TOP AT 3'-9" MIN. ABOVE FINISH SURFACE, MIDDLE AT 6" BELOW TOP AND BOTTOM 2" ABOVE FINISH SURFACE. INSTALL 1/2" BALLUSTERS WITH 3.9" MAX. SPACE BETWEEN WITH 3" SQUARE TUBE VERTICAL SUPPORTS WITH CAPS, SPACED AS SHOWN ON THE ELEVATIONS (4'-8" MAX. O.C.) RE: DETAILS.
 580. 5/4x4 CEMENT BOARD TRIM ON FURRING ON WATERPROOF MEMBRANE ON SHEATHING AND STUDS WITH FLASHING PER DETAILS.
 583. 7/16x12 CEMENT BOARD TRIM ON BEAM PER FRAMING PLANS.

TYPICAL BLDG MASONRY CALCULATIONS

FRONT BUILDING ELEVATION (GARAGE SIDE)	
AREA OF BRICK VENEER	1544 SF
AREA OF THIN SET STONE VENEER	1022 SF
AREA OF CEMENT BOARD STUCCO SIDING	747 SF
TOTAL MASONRY:	2566 SF
TOTAL NON-MASONRY:	747 SF
PERCENT MASONRY :	77.5 %
REAR BUILDING ELEVATION	
AREA OF BRICK VENEER	1095 SF
AREA OF THIN SET STONE VENEER	1099 SF
AREA OF CEMENT BOARD STUCCO SIDING	671 SF
TOTAL MASONRY:	2194 SF
TOTAL NON-MASONRY:	671 SF
PERCENT MASONRY :	76.6 %
END BUILDING ELEVATION (BOTH ENDS SAME)	
AREA OF BRICK VENEER	1253 SF
AREA OF THIN SET STONE VENEER	266 SF
AREA OF CEMENT BOARD STUCCO SIDING	517 SF
TOTAL MASONRY:	1519 SF
TOTAL NON-MASONRY:	517 SF
PERCENT MASONRY :	74.6 %

• DWELL WELL •

VINTAGE

FOXLAND HARBOR

Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485

Jim E. Parker - Architect of Record
Tennessee License #17971

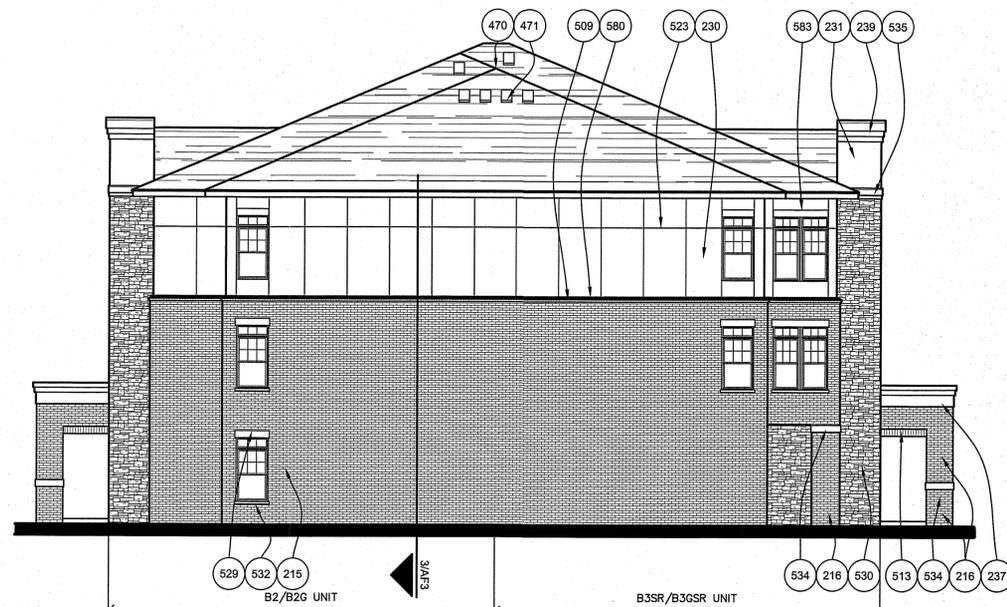
HUD # 086-35404

VINTAGE AT FOXLAND HARBOR, LLC

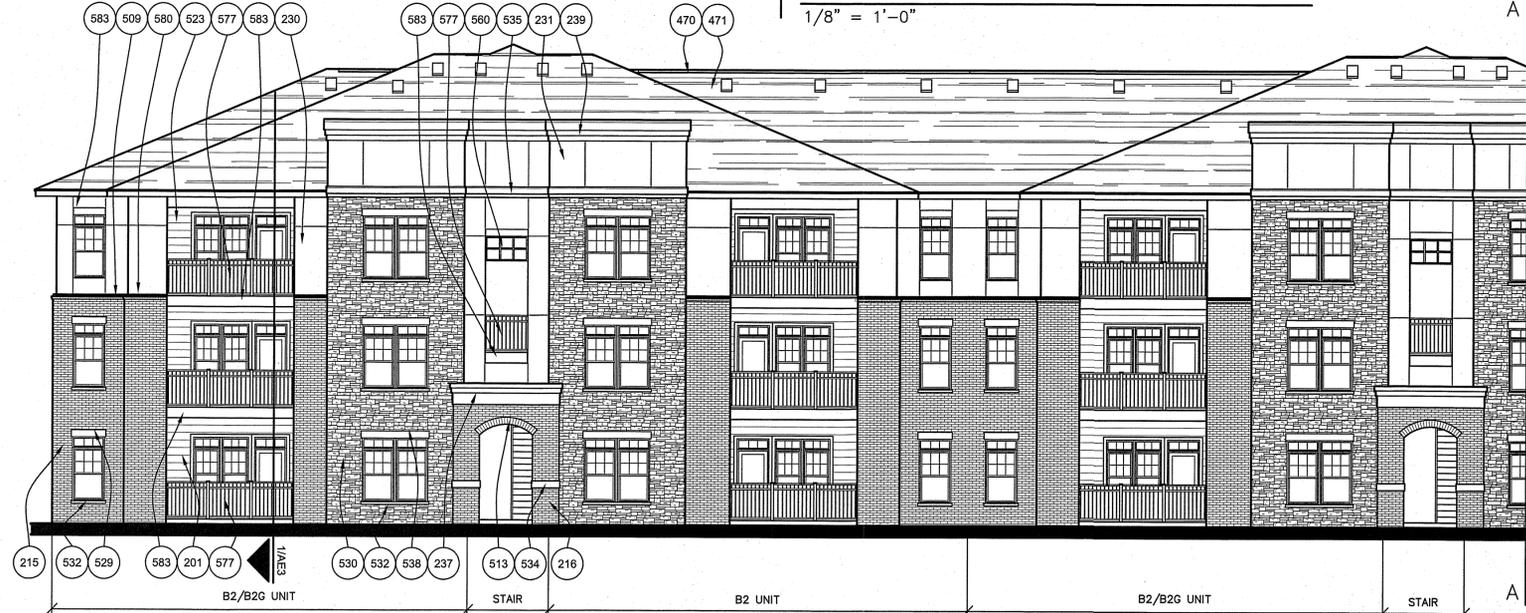
1610 S. CHURCH STREET
MURFREESBORO, TN 37130

JOB NUMBER: 216014
DRAWN BY: JEP,BH,HA,WG
DATE: 8/1/2016

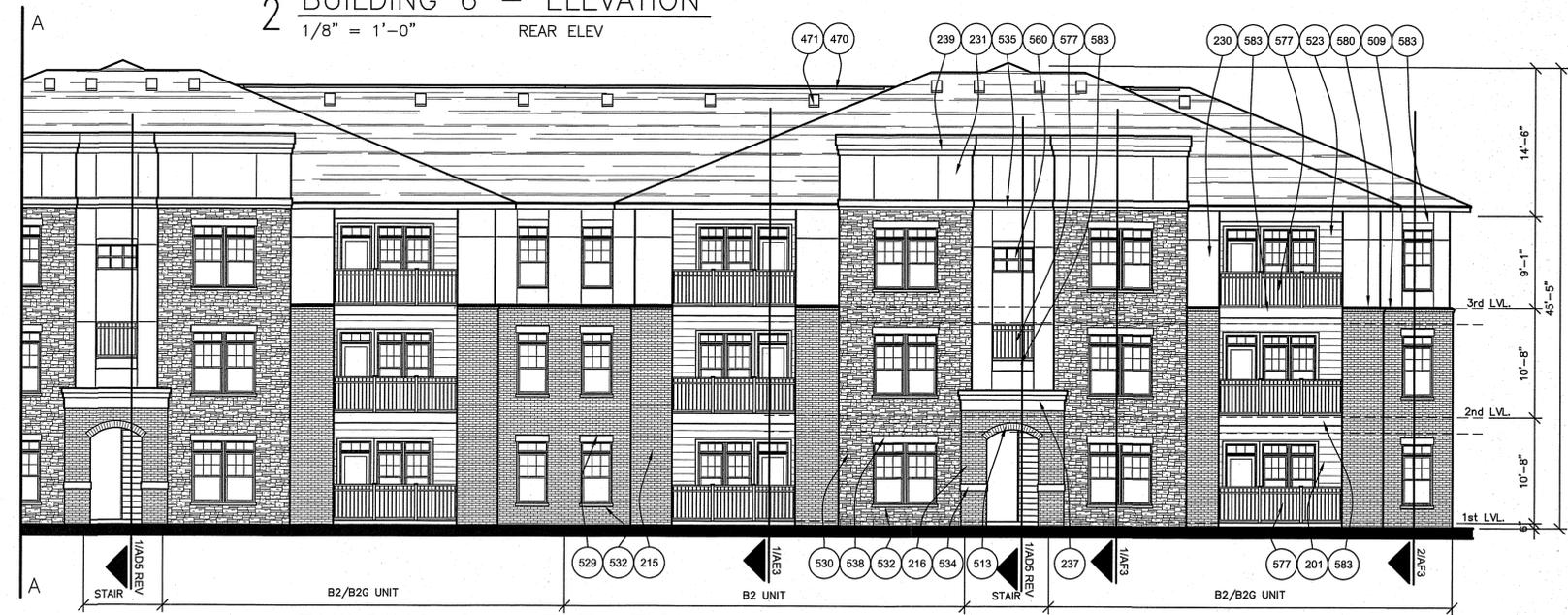
BUILDING 5 ELEVATIONS
SHEET NUMBER **AB47** OF 65



1 BUILDING 6 - END ELEVATION
1/8" = 1'-0"



2 BUILDING 6 - ELEVATION
1/8" = 1'-0" REAR ELEV



3 BUILDING 6 - ELEVATION
1/8" = 1'-0" REAR ELEV

- ### KEYNOTES
201. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE.
 215. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING. OMIT INSULATION AT EXTERIOR STORAGE CLOSETS.
 216. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING.
 230. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY SIDING MFR. ON SHEATHING ON STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACE.
 231. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY MFR. ON SHEATHING ON STUDS PER SCHEDULE.
 237. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x4 ON 5/4x8 CEMENT FIBER TRIM AS SHOWN ON DETAILS AND ELEVATIONS.
 239. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x12 ON 5/4x8 ON 5/4x8 CEMENT BOARD TRIM WITH BLOCKING TO PROFILE SHOWN ON ELEVATIONS AND DETAILS.
 470. CONTINUOUS RIDGE VENT.
 471. 9" DIAMETER ROOF VENT LOCATED PER FRAMING PLANS.
 509. 8" PRECAST TRIM WITH 10" TALL PRECAST KEY (6" WIDE AT BOTTOM AND 12" WIDE AT TOP)
 513. ARCH BRICK SOLDIER COURSE.
 523. ALUMINUM TRIM BETWEEN CEMENT FIBER PANELS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO DETAILS AND INSTALL PER MFR. INSTRUCTIONS.
 529. 8" PRECAST STONE WINDOW/DOOR HEAD TO PROJECT 1/4" PAST BRICK SURFACE WITH STEEL LINTEL, FLASHING AND WEEPS PER DETAILS.
 530. STONE VENEER ON METAL LATH ON 2 LAYERS OF MOISTURE RESISTANT BARRIER ON SHEATHING ON STUDS WITH R-15 BATT INSULATION WITH 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
 532. 3" PRECAST STONE WINDOW SILL TO MATCH PROFILE OF DETAIL SLOPE TOP AWAY FROM STRUCTURE AND INSTLL FLASHING WITH WEEPS PER DETAILS.
 534. 6" PRECAST STONE ACCENT TRIM TO PROJECT 1/2" BEYOND FACE OF MASONRY.
 535. GALVANIZED FLASHING OVER 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM. RE: DETAILS.
 538. 8" PRECAST STONE VENEER TRIM AT TO PROJECT 1/4" PAST STONE SURFACE INSTALLED PER STONE VENEER MANUFACTURER'S REQUIREMENTS.
 560. 1 1/2" SQUARE TUBE STEEL FRAME EQUALLY SPACED PER ELEVATIONS (VERIFY FINAL HORIZONTAL DIMENSIONS IN FIELD) CONNECTED TO SOLID FRAMING.
 577. 1 1/2" SQUARE TOP, MIDDLE AND BOTTOM RAILS. TOP AT 3'-9" MIN. ABOVE FINISH SURFACE, MIDDLE AT 6" BELOW TOP AND BOTTOM 2" ABOVE FINISH SURFACE. INSTALL 1/2" BALLUSTERS WITH 3.9" MAX. SPACE BETWEEN WITH 3" SQUARE TUBE VERTICAL SUPPORTS WITH CAPS, SPACED AS SHOWN ON THE ELEVATIONS (4'-6" MAX. O.C.) RE: DETAILS.
 580. 5/4x4 CEMENT BOARD TRIM ON FRAMING ON WATERPROOF MEMBRANE ON SHEATHING AND STUDS WITH FLASHING PER DETAILS.
 583. 7/16x12 CEMENT BOARD TRIM ON BEAM PER FRAMING PLANS.

TYPICAL BLDG MASONRY CALCULATIONS

FRONT BUILDING ELEVATION (GARAGE SIDE)	
AREA OF BRICK VENEER	2392 SF
AREA OF THIN SET STONE VENEER	1494 SF
AREA OF CEMENT BOARD STUCCO SIDING	1121 SF
TOTAL MASONRY:	3886 SF
TOTAL NON-MASONRY:	1121 SF
PERCENT MASONRY:	77.6 %
REAR BUILDING ELEVATION	
AREA OF BRICK VENEER	1706 SF
AREA OF THIN SET STONE VENEER	1542 SF
AREA OF CEMENT BOARD STUCCO SIDING	986 SF
TOTAL MASONRY:	3248 SF
TOTAL NON-MASONRY:	986 SF
PERCENT MASONRY:	76.7 %
END BUILDING ELEVATION (BOTH ENDS SAME)	
AREA OF BRICK VENEER	1253 SF
AREA OF THIN SET STONE VENEER	266 SF
AREA OF CEMENT BOARD STUCCO SIDING	517 SF
TOTAL MASONRY:	1519 SF
TOTAL NON-MASONRY:	517 SF
PERCENT MASONRY:	74.6 %

• DWELLWELL •

VINTAGE

FOXLAND HARBOR

Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485

Jim E. Parker - Architect of Record
Tennessee License #17971

HUD # 086-35404

VINTAGE AT
FOXLAND HARBOR,
LLC

1610 S. CHURCH STREET
MURFREESBORO, TN 37130

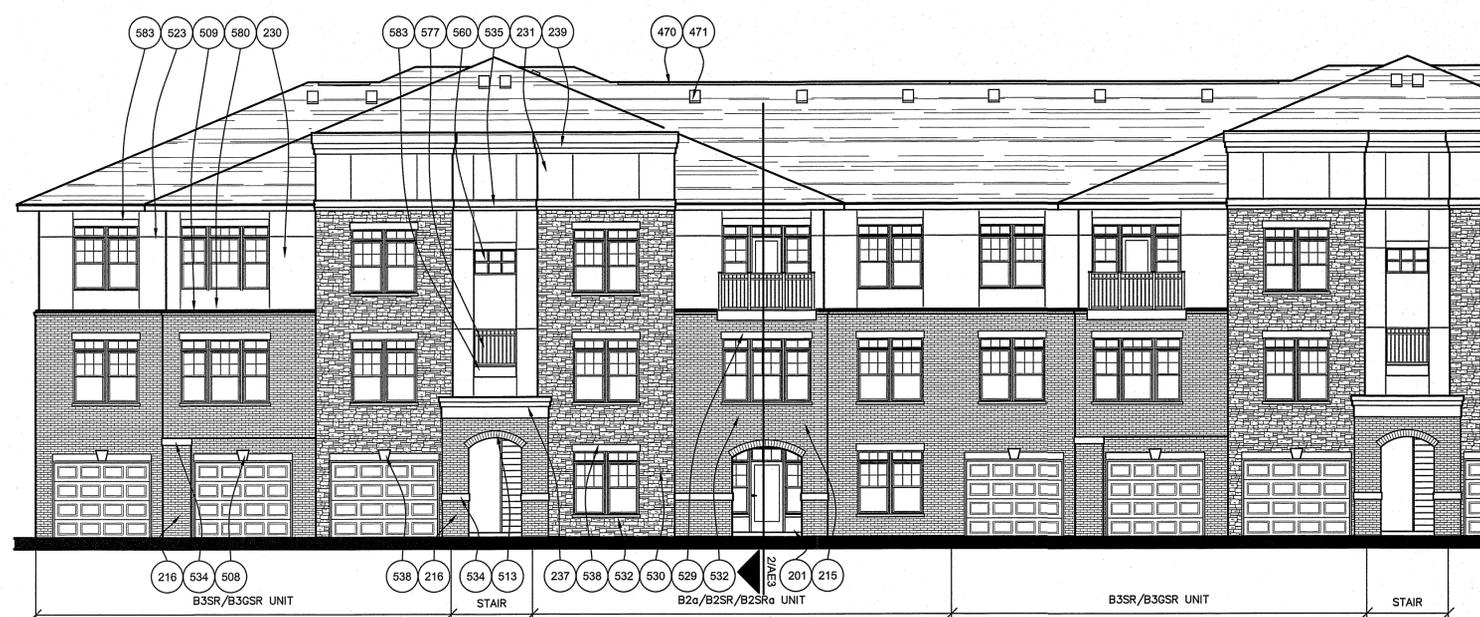
JOB NUMBER: 216014
DRAWN BY: JEP,BH,HA,WG
DATE: 8/1/2016

BUILDING 6
ELEVATIONS

SHEET
NUMBER AB54 OF 65

KEYNOTES

- 201. FIBER-CEMENT SIDING ATTACHED TO MOISTURE RESISTANT BARRIER AND SHEATHING AND STUDS PER SCHEDULE.
- 215. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING. OMIT INSULATION AT EXTERIOR STORAGE CLOSETS.
- 216. BRICK VENEER ATTACHED TO MOISTURE BARRIER ON SHEATHING AND STUDS. REFER TO SCHEDULES FOR SHEATHING TYPE AND STUD SPACING.
- 230. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY SIDING MFR. ON SHEATHING ON STUDS WITH R-15 BATT INSULATION AND 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACE.
- 231. CEMENT FIBER STUCCO BOARD, INSTALLED PER MFR REQUIREMENTS, ON 1X3 CEMENT FIBER FURRING ON CODE APPROVED DRAINAGE WRAP AS RECOMMENDED BY MFR. ON SHEATHING ON STUDS PER SCHEDULE.
- 237. PRE-FINISHED ALUMINUM COPING ON FRAMING WITH 5/4x4 ON 5/4x8 CEMENT FIBER TRIM AS SHOWN ON DETAILS AND ELEVATIONS.
- 239. PREFINISHED ALUMINUM COPING ON FRAMING WITH 5/4x12 ON 5/4x8 ON 5/4x8 CEMENT BOARD TRIM WITH BLOCKING TO PROFILE SHOWN ON ELEVATIONS AND DETAILS.
- 470. CONTINUOUS RIDGE VENT.
- 471. 9" DIAMETER ROOF VENT LOCATED PER FRAMING PLANS.
- 508. 8" PRECAST TRIM WITH 10" TALL PRECAST KEY (6" WIDE AT BOTTOM AND 12" WIDE AT TOP)
- 509. BRICK ROWLOCK - SLOPE AWAY FROM STRUCTURE.
- 513. ARCH BRICK SOLDIER COURSE.
- 523. ALUMINUM TRIM BETWEEN CEMENT FIBER PANELS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO DETAILS AND INSTALL PER MFR. INSTRUCTIONS.
- 529. 8" PRECAST STONE WINDOW/DOOR HEAD TO PROJECT 1/4" PAST BRICK SURFACE WITH STEEL LINTEL, FLASHING AND WEEPS PER DETAILS.
- 530. STONE VENEER ON METAL LATH ON 2 LAYERS OF MOISTURE RESISTANT BARRIER ON SHEATHING ON STUDS WITH R-15 BATT INSULATION WITH 5/8" FIRE RESISTANT GYPSUM BOARD AT INTERIOR. OMIT INSULATION AT NON-CONDITIONED SPACES.
- 532. 3" PRECAST STONE WINDOW SILL TO MATCH PROFILE OF DETAIL SLOPE TOP AWAY FROM STRUCTURE AND INSTLL FLASHING WITH WEEPS PER DETAILS.
- 534. 6" PRECAST STONE ACCENT TRIM TO PROJECT 1/2" BEYOND FACE OF MASONRY.
- 535. GALVANIZED FLASHING OVER 5/4x8 ON 5/4x8 AND 5/4x4 CEMENT FIBER TRIM. RE: DETAILS.
- 538. 8" PRECAST STONE VENEER TRIM AT TO PROJECT 1/4" PAST STONE SURFACE INSTALLED PER STONE VENEER MANUFACTURER'S REQUIREMENTS.
- 560. 1 1/2" SQUARE TUBE STEEL FRAME EQUALLY SPACED PER ELEVATIONS (VERIFY FINAL HORIZONTAL DIMENSIONS IN FIELD) CONNECTED TO SOLID FRAMING.
- 577. 1 1/2" SQUARE TOP, MIDDLE AND BOTTOM RAILS. TOP AT 3'-0" MIN. ABOVE FINISH SURFACE, MIDDLE AT 6" BELOW TOP AND BOTTOM 2" ABOVE FINISH SURFACE. INSTALL 1/2" BALLUSTERS WITH 3.9" MAX. SPACE BETWEEN WITH 3" SQUARE TUBE VERTICAL SUPPORTS WITH CAPS, SPACED AS SHOWN ON THE ELEVATIONS (4'-6" MAX. O.C.) RE: DETAILS.
- 580. 5/4x4 CEMENT BOARD TRIM ON FURRING ON WATERPROOF MEMBRANE ON SHEATHING AND STUDS WITH FLASHING PER DETAILS.
- 583. 7/16x12 CEMENT BOARD TRIM ON BEAM PER FRAMING PLANS.



1 BUILDING 6 - ELEVATION
1/8" = 1'-0" FRONT ELEV



2 BUILDING 6 - ELEVATION
1/8" = 1'-0" FRONT ELEV

TYPICAL BLDG MASONRY CALCULATIONS

FRONT BUILDING ELEVATION (GARAGE SIDE)	
AREA OF BRICK VENEER	2392 SF
AREA OF THIN SET STONE VENEER	1494 SF
AREA OF CEMENT BOARD STUCCO SIDING	1121 SF
TOTAL MASONRY:	3886 SF
TOTAL NON-MASONRY:	1121 SF
PERCENT MASONRY :	77.6 %
REAR BUILDING ELEVATION	
AREA OF BRICK VENEER	1706 SF
AREA OF THIN SET STONE VENEER	1542 SF
AREA OF CEMENT BOARD STUCCO SIDING	986 SF
TOTAL MASONRY:	3248 SF
TOTAL NON-MASONRY:	986 SF
PERCENT MASONRY :	76.7 %
END BUILDING ELEVATION (BOTH ENDS SAME)	
AREA OF BRICK VENEER	1253 SF
AREA OF THIN SET STONE VENEER	266 SF
AREA OF CEMENT BOARD STUCCO SIDING	517 SF
TOTAL MASONRY:	1519 SF
TOTAL NON-MASONRY:	517 SF
PERCENT MASONRY :	74.6 %

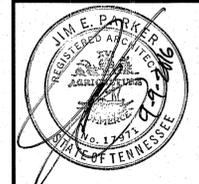


Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74103
918-742-2455

Jim E. Parker - Architect of Record
Tennessee License #17971

HUD # 086-35404

VINTAGE AT FOXLAND HARBOR, LLC
1610 S. CHURCH STREET
MURFREESBORO, TN 37130



JOB NUMBER: 216014
DRAWN BY: JEP,BH,HWG
DATE: 8/1/2016

BUILDING 6 ELEVATIONS
SHEET NUMBER **AB55** OF 65



2 BUILDING 2 - END ELEVATION
1/8" = 1'-0"



1 BUILDING 2 - ELEVATION
1/8" = 1'-0"



3 BUILDING 2 - ELEVATION
1/8" = 1'-0"



4 BUILDING 2 - ELEVATION
1/8" = 1'-0"

	
 <p>Parker Associates Tulsa, LLC 2202 E. 49th Street, Suite 200 Tulsa, Oklahoma 74105 918-742-2485</p> <p>Jim E. Parker - Architect of Record Tennessee License #17971</p>	<p>HUD # 086-35404</p> <p>VINTAGE AT FOXLAND HARBOR, LLC</p> <p>1610 S. CHURCH STREET MURFREESBORO, TN 37130</p>
	<p>JOB NUMBER: 216014 DRAWN BY: JEP,BH,HAWG DATE: 8/1/2016</p>
<p>COLORED ELEVS BLDG 2</p> <p>SHEET NUMBER ELEV 1 OF</p>	



2 BUILDING 5 - END ELEVATION
1/8" = 1'-0"



1 BUILDING 5 - ELEVATION
1/8" = 1'-0" FRONT ELEV

<p>Parker Associates Tulsa, LLC 2202 E. 49th Street, Suite 200 Tulsa, Oklahoma 74105 918-742-2485</p> <p>Jim E. Parker - Architect of Record Tennessee License #17971</p>	<p>HUD # 086-35404</p> <p>VINTAGE AT FOXLAND HARBOR, LLC</p> <p>1610 S. CHURCH STREET MURFREESBORO, TN 37130</p>
	<p>JOB NUMBER: 216014 DRAWN BY: JEP,BH,HWG DATE: 8/1/2016</p>
<p>COLORED ELEVS BLDG 5</p> <p>SHEET NUMBER ELEV 2 OF</p>	

Vintage Foxland Harbor



Roofing shingles

Weathered Wood



Stone

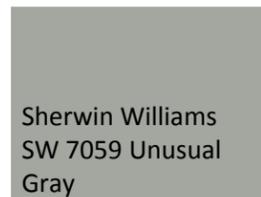
Native Custom Stone
Style: #18 Coastal Blend



Brick

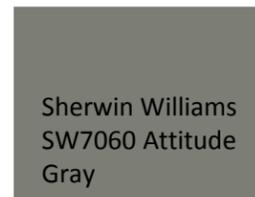
Henry Brick
Style: Bayou Blend

HardiPlank



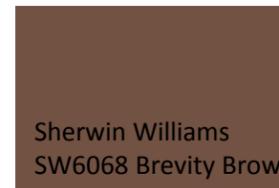
Sherwin Williams
SW 7059 Unusual
Gray

Doors

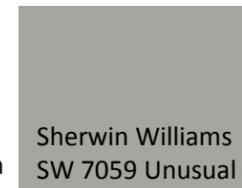


Sherwin Williams
SW7060 Attitude
Gray

Stucco Cement Fiber Panel

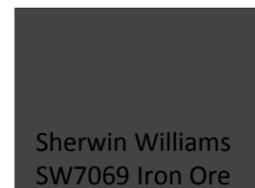


Sherwin Williams
SW6068 Brevity Brown



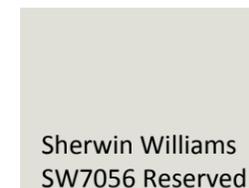
Sherwin Williams
SW 7059 Unusual Gray

Railing/Balcony



Sherwin Williams
SW7069 Iron Ore

Trim/Windows



Sherwin Williams
SW7056 Reserved White

ITEM 11

HOLIDAY INN EXPRESS

PC FILE # 3-2603-16

DEFERRED TO THE

NOVEMBER 21, 2016

PLANNING COMMISSION MEETING

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION DECLARING DEFAULT OF DEVELOPER OF FAR AWAY HILLS SUBDIVISION AND DEMANDING PAYMENT FROM SURETY – PC FILE #1-66-04C1-9-04C.

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Far Away Hills Subdivision performance letter of credit issue submitted by the applicant, City of Gallatin Engineering Division, at its regular meeting on October 24, 2016, and;

WHEREAS, the subject public improvements have not been completed in a timely manner and the City has determined that the public improvements were not constructed to the design standards and specifications of the City; and

WHEREAS, the developer, Steve Sudbury and Jane Sudbury tendered to the City of Gallatin, Tennessee a certain subdivision performance surety in the form of a Letter of Credit # 7049 issued by Citizens Bank and;

WHEREAS, the purpose of such letter of credit was to serve as a surety for the obligations of the developer, relative to Far Away Hills Subdivision as recorded in Plat Book 25, Page 386, Register of Deeds Office, Sumner County, Tennessee and;

WHEREAS, pursuant to the Performance Surety Letter of Credit, the City of Gallatin, Tennessee, may make demand or claim and receive a recovery of the proceeds of the Performance Surety Letter of Credit upon the failure of the developer, to complete the improvements in Far Away Hills Subdivision; and;

WHEREAS, the City of Gallatin, Tennessee, desires to declare the developer in default under the aforementioned duties and obligations and to make a demand under the Performance Letter of Credit; and;

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has received the information presented by City Staff and evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows:

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Gallatin Subdivision Regulations, Chapter 3, Section 3-101 and Section 3-104:

1. It has been determined that the owner/developer has not satisfied the requirements of the Gallatin Subdivision Regulations, Chapter 3, Section 3-101, Performance Surety.
2. It has been determined that the required improvements have not been installed within the terms of the performance surety in accordance with the Gallatin Subdivision Regulations, Section 3-105 Failure to Complete Improvements, which allows the City to call the surety to cover the costs of all necessary improvements.
3. It has been determined that the renewal and extension of the subdivision performance surety would create adverse effects upon adjoining property owners since it will continue to postpone the completion of the subdivision well beyond a period of time of required completion.
4. It has been determined that the renewal and extension of the subdivision performance surety would be detrimental to the general public since the prolonged period of having the public infrastructure in an uncompleted state will compromise the integrity of the building improvements and cause additional burdens on the public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approved GMRPC Resolution 2016-126 declaring Steve Sudbury and Jane Sudbury developer of Far Away Hills, Plat Book 25, Page 386, Register of Deeds Office, Sumner County, Tennessee and; in default and authorizes Staff to execute and deliver a claim for recovery to Citizens Bank for payment under Subdivision Performance Letter of Credit #7049, in the amount of \$64,000:

1. Provide a maintenance surety in the amount of \$33,400 per Section 3-102, Gallatin Subdivision Regulations.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 10/24/16

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY

GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION

OFFER OF IRREVOCABLE DEDICATION

AGREEMENT made this 18th day of JANUARY, 2008, by and between Charles S. Sudbury and Jane G. Sudbury, having their office and place of business at Gallatin, Tennessee, hereinafter designated as "developer" and Gallatin, Tennessee, having its principal office at Gallatin, Tennessee, hereinafter designated as the "local government."

WHEREAS, the Gallatin Municipal-Regional Planning Commission has approved a subdivision plat entitled Far Away Hills, dated January 16, 2008, and made by Darnall & Associates, LLC; and

WHEREAS, said map designates certain public improvements consisting of Far Away Hills Drive to be dedicated to the CITY OF GALLATIN free and clear of all encumbrances and liens, pursuant to the requirements of the planning commission and the local government; and

WHEREAS, the developer, simultaneously herewith, shall post a performance bond with the city for the construction, maintenance, and dedication of said improvements, if required;

WHEREAS, the developer is desirous of offering for dedication the said improvements and land to the local government more particularly shown and described on said plat;

WHEREAS, the developer has delivered deeds of conveyance to the local government for the said land and improvements as described herein;

NOW, THEREFORE, in consideration of the sum of \$1.00 lawful money of the United States paid by the local government to the developer and other good and valuable consideration it is mutually AGREED as follows:

1. The developer herewith delivers to the local government deeds of conveyance for the subject premises, said delivery being a formal offer of dedication to the local government until the acceptance or rejection of such offer of dedication by the governing body of the local government.
2. The developer agrees that the said formal offer of dedication is irrevocable and can be accepted by the local government at any time.

RECEIVED
FEB 04 2008

GALLATIN PLANNING
& ZONING

1-9-04C



October 20, 2016

Via Certified Mail #7005 1160 0002 4245 6582

Ms. Steve Sudbury and Ms. Jane Sudbury
1325 East Main Street
Gallatin, TN 37066

RE: Intent to make Formal Demand to Call Subdivision Performance Letter of Credit #7049 for Far Away Hills Subdivision as recorded in Plat Book 25, Page 386, R.O.S.C, TN (File #1-9-04C & 1-66-04C)

Dear Mr. Sudbury and Ms. Sudbury:

The Planning Commission intends to hold a discussion on this subdivision surety at the October 24, 2016 meeting. The City of Gallatin intends to make formal demand to call the Irrevocable Letter of Credit for Far Away Hills Subdivision as recorded in Plat Book 25, Page 386, R.O.S.C, TN (File #1-9-04C & 1-66-04C) and intends to demand payment in the amount of \$64,000 to be drawn under the Citizen Bank Irrevocable Letter of Credit #7049 (Mr. Steve Sudbury and Ms. Jane Sudbury; applicants) for failure to complete required subdivision improvements in the Far Away Hills Subdivision as approved by the City of Gallatin. Please refer to the subdivision performance surety calculation sheet and latest site inspection report, dated 8/25/15, detailing the outstanding improvements included with this letter.

The City hereby certifies that the amount of \$64,000 to be drawn on Irrevocable Letter of Credit #7049 is legally due and owing to the City pursuant to the City of Gallatin Subdivision Regulations, Chapter 3, Section 3-105.4, a copy of which is enclosed with this notice. This amount represents the unpaid sums due to the City for Account Party's failure to complete improvements as required by said section.

The Planning Commission approved Resolution 2015-152 on November 23, 2015 indicating its' intent to extend the subdivision surety only through May 26, 2016. This action was taken after adoption of Resolution 2015-53 which established a deadline for completion of the subdivision. A letter and an Action Notice of the Commission was sent to your attention last December. The subdivision have been substantially developed for more than four years and over eighty (80) percent of the homes have been completed.

Sincerely,

Nick Tuttle, P.E.
City Engineer



Attachments

- 8/24/15 Inspection Report
- Gallatin Subdivision Regulations, Chapter 3, Section 3-105.4

cc: Mr. William D. McCord, AICP, City Planner
City Recorder's Office ID # 08-008 and 08-009
Ms. Susan High-McAuley, City Attorney
PC File #1-9-04C/1-66-04C



City of Gallatin
Engineering Division
Transportation and Drainage Infrastructure
Inspection Report

Name of Site/Subdivision		Far Away Hills		Phase/Section	N/A
PC #	1-9-04C	Site Contact	Steve Sudbury	Site Contact #	452-6849

DATE		REASON FOR INSPECTION			
2-21-2011		<input type="checkbox"/> Surety Inspection	<input type="checkbox"/> ROW Acceptance	<input type="checkbox"/> Violation	<input checked="" type="checkbox"/> Other
STORM WATER INFRASTRUCTURE					
All drainage structures are in.					
ROADWAY INFRASTRUCTURE					
Binder and curb is in.					
NOTES					INSPECTOR
This inspection is to update previous inspection reports. Topping and sidewalk are still needed.					JZW/RES

DATE		REASON FOR INSPECTION			
2-21-2011	<input checked="" type="checkbox"/>	<input type="checkbox"/> Surety Inspection	<input type="checkbox"/> ROW Acceptance	<input type="checkbox"/> Violation	<input type="checkbox"/> Other
STORM WATER INFRASTRUCTURE					
All drainage structures are in.					
ROADWAY INFRASTRUCTURE					
Still needs topping and sidewalk. Rutting occurring at end of cul-de-sac.					
NOTES					INSPECTOR
Subdivision is substantially incomplete.					JZW

DATE		REASON FOR INSPECTION			
2-14-2012	<input checked="" type="checkbox"/>	<input type="checkbox"/> Surety Inspection	<input type="checkbox"/> ROW Acceptance	<input type="checkbox"/> Violation	<input type="checkbox"/> Other
STORM WATER INFRASTRUCTURE					
All drainage structures are in.					
ROADWAY INFRASTRUCTURE					
Rutting occurring at end of cul-de-sac. No sidewalk in.					
NOTES					INSPECTOR
					JZW

DATE		REASON FOR INSPECTION			
7/16/13	<input checked="" type="checkbox"/>	Surety Inspection	ROW Acceptance	Violation	Other
STORM WATER INFRASTRUCTURE					
All drainage structures are in.					
ROADWAY INFRASTRUCTURE					
Rutting occurring at end of cul-de-sac. No sidewalk in.					
NOTES					INSPECTOR
Developer to renew surety for amount determined by Engineering Division					Buck

DATE		REASON FOR INSPECTION			
8/24/15	<input checked="" type="checkbox"/>	Surety Inspection	ROW Acceptance	Violation	Other
STORM WATER INFRASTRUCTURE					
Storm structures are installed.					
ROADWAY INFRASTRUCTURE					
Curb and gutter is installed, asphalt binder is in place and in good condition except for the areas noted below. Final asphalt surface course is not installed. Street signage is in, but stopbar and crosswalk are not striped. Sidewalk installed for 17 lots (2,700 lf)					
NOTES					INSPECTOR
Install asphalt surface course \approx 400 Tons Need to install remaining 477 lf of sidewalk. Repair 20 lf of broken curb. Install thermoplastic stopbar, crosswalk and 25 MPH speed limit sign. Main signage into subdivision has Far Away Hills Drive street name missing. Road repair areas: $(10' \times 30') + (10' \times 40') + (5' \times 50') + 2*(10' \times 10') + (10' \times 25') + 2*(5' \times 25') \approx$ 26 Tons Updated Surety Amount set to \$64,000.00					BMR

- 3-104 Contract in Lieu of Surety – In subdivisions for which no Performance Surety has been posted, if the improvements are not completed within the period specified by the Planning Commission in the resolution approving the plat, the Final Plat approval shall be deemed to have expired.

In those cases in which a Performance Surety has been posted and required improvements have not been installed within the terms of such Performance Surety, the City thereupon may declare the Surety to be in default and require that all the improvements be installed regardless of the extent of the building development at the time the Surety is declared to be in default. If a developer requests an extension of a Performance Surety, at which time the Performance Surety cannot be extended any further as in accordance with Section 3-101.1 of these Regulations, the City can hold all building permits and call the Surety to cover the costs of all necessary improvements.

- 3-105 Acceptance of Required Public Rights-of-way, Easements and Infrastructure Improvements

3-105.1 Timeline for Acceptance – The acceptance of public parks, transportation, utility, and drainage infrastructure, rights-of-way and easements will not be considered until four (4) years after the Final Plat has been recorded, or until 80 percent (80%) of the lots are fully developed, whichever is the shorter period of time.

3-105.2 Temporary Improvements – The applicant shall build and pay for all costs of temporary improvements required by the Planning Commission and shall maintain them to the reasonable satisfaction of the Chief Enforcing Officer for the period specified by the Planning Commission. Prior to construction of any temporary facility or improvement, the applicant shall file with the appropriate government entity a separate suitable Surety for temporary facilities, which shall insure that the temporary facilities will be properly constructed, maintained, and removed. The improvements may otherwise be included in an approved Performance Surety.

3-105.3 Cost of Improvements – All required improvements shall be made by the applicant at his expense. Any provisions for reimbursement by the City, County, or any utility district, as agreed in writing by that entity, shall be stipulated clearly in the provisions of the Surety.

3-105.4 Failure to Complete Improvements – For subdivisions for which no performance surety has been posted, if the improvements are not completed within the period specified by the Planning Commission in the resolution approving the plat, the approval shall be deemed to have expired.

In those cases in which a performance surety has been posted and required improvements have not been installed within the terms of such performance surety, the City thereupon may declare the Surety to be in default and require that all the improvements be installed regardless of the extent of the building development at the time the Surety is declared to be in default. If a developer requests an extension of a performance surety, at which time the performance surety cannot be extended any further as in accordance with Section 3-101.1 of these Regulations, the City can hold all building permits and call the Surety to cover the costs of all necessary improvements.

- 3-105.5 Acceptance of Dedication Offers – Acceptance of formal Offers of Dedication of public parks, transportation, utility, and drainage infrastructure, rights-of-way and easements shall be by formal action of the City Council or Sumner County Highway Commission, as appropriate. Such action shall be in the form of a resolution recommended by the Planning Commission to the Sumner County Highway Commission or to the City Council. Final action shall be by the Sumner County Highway Commission or City Council, as appropriate. The approval by the Planning Commission of a subdivision plat shall not be deemed to constitute or imply the acceptance by the City or County of any public parks, transportation, utility, and drainage infrastructure, rights-of-way and easements shown on the plat. The Planning Commission may require the plat to be endorsed with appropriate notes to this effect. Additionally, the developer of such subdivision is bound to the City for all improvements, regardless of Surety status, until formal acceptance has been granted by either the City Council or Sumner County Commission. See Section 2-105 of these Regulations for Final Plat acceptance conditions.
- 3-105.6 Inspection of Improvements – The Planning Commission may provide for inspection of required improvements during construction and insure their satisfactory completion. If the Chief Enforcing Officer finds, upon inspection, that any of the required improvements have not been constructed in accordance with the applicable City of Gallatin construction standards and specifications, the applicant shall be responsible for completing the improvements to the required standards. Whenever a Performance Surety covers the cost of improvements, the applicant and the surety company shall be liable, separately and jointly, for completing said improvements according to specifications.

Marianne Mudrak (Planning)

From: Glenda Troutt (Engineering)
Sent: Thursday, October 20, 2016 3:20 PM
To: Marianne Mudrak (Planning)
Subject: FW: Far Away Hills
Attachments: 2016-10-20 Intent to Call Surety for Far Away Hills Subdivision.pdf

Contacts: Steve Sudbury

From: Nick Tuttle (Engineering)
Sent: Thursday, October 20, 2016 3:02 PM
To: Steve Sudbury (ssudbury@bellsouth.net) <ssudbury@bellsouth.net>
Cc: William McCord (Planning) <william.mccord@gallatin-tn.gov>; Glenda Troutt (Engineering) <glenda.graves@gallatin-tn.gov>
Subject: Far Away Hills

Steve, please see the attached letter being sent out today. We plan to call the LOC for the Far Away Hills subdivision.

Nick Tuttle, PE
City of Gallatin, City Engineer
132 West Main Street
Gallatin, TN 37066
Phone: 615.451.5965

This email and any files transmitted with it may be confidential and are intended solely for the use of the individual or entity to which they are addressed. If you are not the intended recipient or the person responsible for delivering the email to the intended recipient, be advised that you have received this communication in error. If you have received this communication in error, please notify the sender immediately and in the interim, please do not use, disseminate, forward, print, or copy this communication.



December 11, 2015

Mr. Steve Sudbury
1325 East Main Street
Gallatin, TN 37066

**RE: Far Away Hills Subdivision Surety Renewal and Extension: PC File #1-66-04C –
IMPORTANT NOTICE**

Dear Mr. Sudbury:

On November 23, 2015 the Gallatin Municipal-Regional Planning Commission authorized the extension of a surety for the referenced project (Resolution 2015-152)(Attachment #1). This authorization was limited to six months to complete the subdivision.

Tenn. Code Annotated, Title 13, Chapter 4, Section 13-4-303, allows local governments to require a surety to ensure the performance of construction of the subdivision, including utilities, for a period authorized by the Planning Commission.

The City Subdivision Regulations, Chapter 3, Section 3-101.1 in part states:

“The expiration date of the performance surety initially, and for any extension, shall be set as one (1) year from the date of Final Plat approval.”

It is the intention of the Planning Commission to require the developer to begin and complete all subdivision improvements within one year of Final Plat approval.

“The Planning Commission may, upon proof of difficulty, grant additional one (1) year extensions.”

A surety in the form of a renewed Letter of Credit to cover the cost to complete the subdivision will need to be provided to the City in a form acceptable to the City Attorney. The surety in the amount of \$64,000 shall cover the period from November 26, 2015 through May 26, 2016. ✓ You should begin to make arrangements to complete the outstanding/uncompleted items within the subdivision by this date and have the infrastructure accepted. If the subdivision is not completed by May 26, 2016, the City will call the letter of credit/surety and make arrangements to have the remaining portions of the development completed. Application for public infrastructure acceptance should begin at least 6 weeks prior to the expiration of the surety extension date.

In the future, the City will no longer provide notice of when a letter of credit should be renewed. However, if the developer or bank intends to not renew a letter of credit then proper notice shall be given to the City per Section 3-101.1.



DATE: 12/20/15
 PROJECT: 154-0000
 DRAWING: 154-0000

Maintenance Bond Amount = \$42,000
 15% of Principal Amount = \$64,000
 Total Project Cost (10%) = \$22,700
 Cost To Complete (10%) = \$52,000

Summary

Item	Quantity	Unit Price	Amount
1.0000	1	\$100.00	\$100.00
2.0000	2	\$50.00	\$100.00
3.0000	3	\$33.33	\$100.00
4.0000	4	\$25.00	\$100.00
5.0000	5	\$20.00	\$100.00
6.0000	6	\$16.67	\$100.00
7.0000	7	\$14.29	\$100.00
8.0000	8	\$12.50	\$100.00
9.0000	9	\$11.11	\$100.00
10.0000	10	\$10.00	\$100.00
Total	52,000		\$52,000

Item Class

Item	Quantity	Unit Price	Amount
1.0000	1	\$100.00	\$100.00
2.0000	2	\$50.00	\$100.00
3.0000	3	\$33.33	\$100.00
4.0000	4	\$25.00	\$100.00
5.0000	5	\$20.00	\$100.00
6.0000	6	\$16.67	\$100.00
7.0000	7	\$14.29	\$100.00
8.0000	8	\$12.50	\$100.00
9.0000	9	\$11.11	\$100.00
10.0000	10	\$10.00	\$100.00
Total	52,442.00		\$52,442.00

Itemization and Quantity Control

Item	Quantity	Unit Price	Amount
1.0000	1	\$100.00	\$100.00
2.0000	2	\$50.00	\$100.00
3.0000	3	\$33.33	\$100.00
4.0000	4	\$25.00	\$100.00
5.0000	5	\$20.00	\$100.00
6.0000	6	\$16.67	\$100.00
7.0000	7	\$14.29	\$100.00
8.0000	8	\$12.50	\$100.00
9.0000	9	\$11.11	\$100.00
10.0000	10	\$10.00	\$100.00
Total	52,212.00		\$52,212.00

Sheet Signs and Markings

Item	Quantity	Unit Price	Amount
1.0000	1	\$100.00	\$100.00
2.0000	2	\$50.00	\$100.00
3.0000	3	\$33.33	\$100.00
4.0000	4	\$25.00	\$100.00
5.0000	5	\$20.00	\$100.00
6.0000	6	\$16.67	\$100.00
7.0000	7	\$14.29	\$100.00
8.0000	8	\$12.50	\$100.00
9.0000	9	\$11.11	\$100.00
10.0000	10	\$10.00	\$100.00
Total	51,937.00		\$51,937.00

ROADWAY

Item	Quantity	Unit Price	Amount
1.0000	1	\$100.00	\$100.00
2.0000	2	\$50.00	\$100.00
3.0000	3	\$33.33	\$100.00
4.0000	4	\$25.00	\$100.00
5.0000	5	\$20.00	\$100.00
6.0000	6	\$16.67	\$100.00
7.0000	7	\$14.29	\$100.00
8.0000	8	\$12.50	\$100.00
9.0000	9	\$11.11	\$100.00
10.0000	10	\$10.00	\$100.00
Total	1508	24	40

Subdivision Name:
 PCIBZA #: 154-000
 Draw: 02515
 By: BMR

For Review Hills (Subd.)