

## Table of Contents

Agenda . . . . .	2
CARTER'S JUNCTION	
Carter's Junction Architecturals . . . . .	3
Carter's Junction Site Layout . . . . .	4



**Agenda**  
**Gallatin Municipal-Regional Planning Commission Work Session**

**Monday, June 10, 2013**

**Dr. J. Deotha Malone Council Chambers**

**5:00 PM**

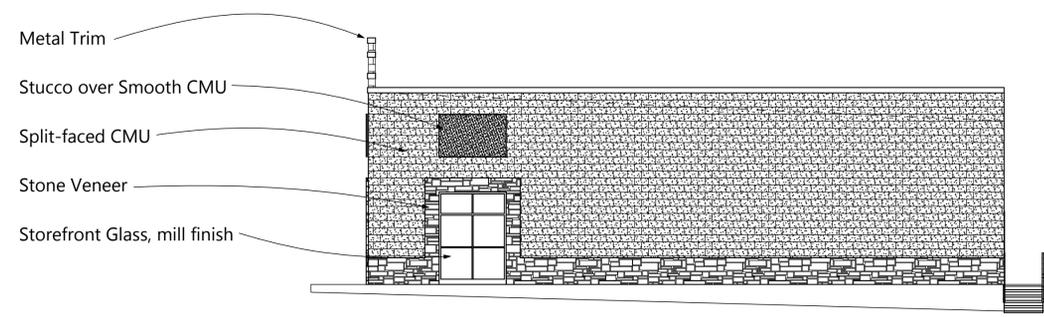
**City Hall**

**REGULAR AGENDA**

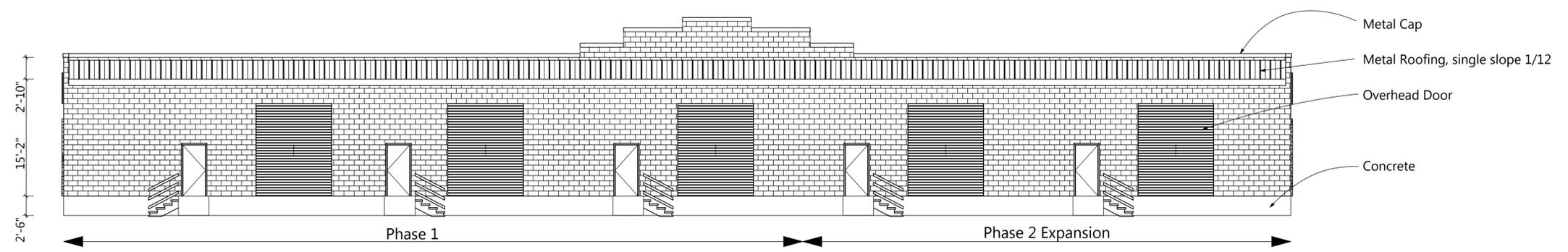
1. **CARTER'S JUNCTION** **PC0142-13**  
**BRUCE RAINEY & ASSOCIATES**  
  
Discuss proposed amendments to the Preliminary Master Development Plan for Carter's Junction located at 604 Long Hollow Pike.  
[Carter's Junction Architecturals](#)  
[Carter's Junction Site Layout](#)
  
2. **CSX CHARTER RIGHT-OF-WAY**  
  
Discussion regarding use of CSX charter right-of-way.
  
3. **ZONING TEXT AMENDMENT GZO ARTICLE 14.00** **PC0109-13**  
  
Discuss proposed amendments to Article 14 of the G.Z.O regarding non-conforming uses and structures.
  
4. **OTHER BUSINESS**
  - **MOVE TO ADJOURN**



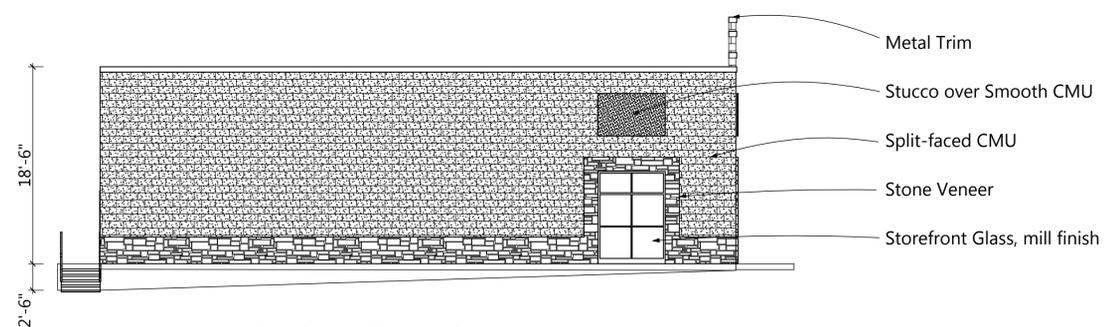
**Front Elevation** Scale: 1/8"=1'-0"



**Right Elevation** Scale: 1/8"=1'-0"



**Rear Elevation** Scale: 1/8"=1'-0"

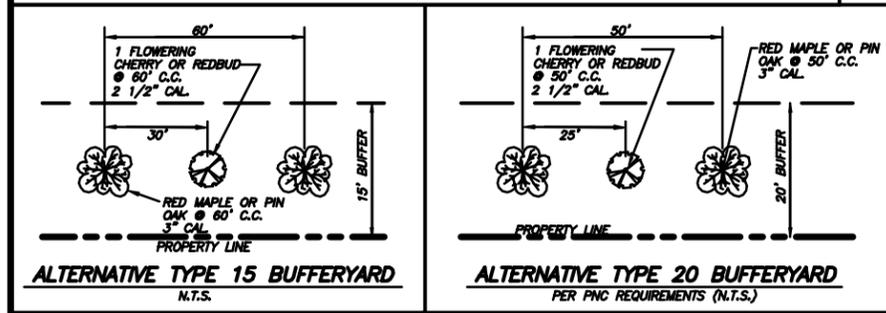
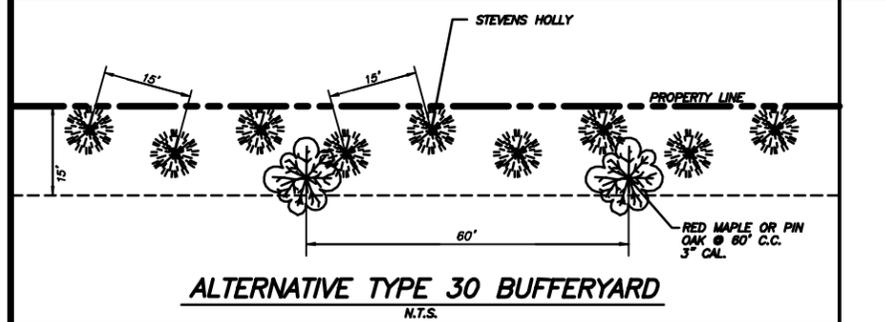
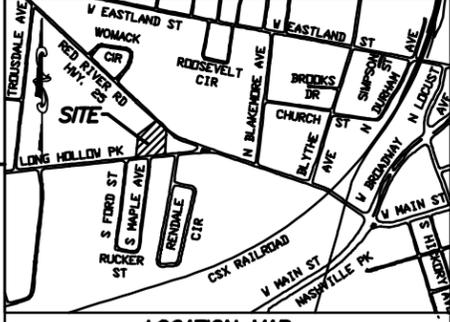


**Left Elevation (phase 2)** Scale: 1/8"=1'-0"  
 (Phase 1 elevation; metal panel in lieu of masonry, for future removal)

**Material Quantities:**

Type	Front	Right	Rear	Left	Total %
Split-Face CMU	59%	80%	0	80%	53.5%
Standard CMU	0	0	100%	0	27.5%
Stone	21%	17%	0	17%	10.25%
Stucco	20%	3%	0	3%	8.75%

OWNER NAME	TAX MAP GROUP	PARCELS	SITE ADDRESS	YARD	EXISTING ZONING & USE	PROPOSED ZONING	BLDG. S.F.	LOT COVERAGE	FLOOR AREA RATIO	BUILDING HEIGHT
ELBERT CARTER & LINDA B. CARTER	MAP 126B "A"	11.00	604 LONG HOLLOW PIKE	25' FRONT 10' SIDE 40' REAR	CSL VACANT	PNC	9,662	61,855 SF TOTAL 37,196 SF IMPERVIOUS 60.1% IMPERVIOUS	0.16	23.2'
							ENTIRE SITE - BOTH PHASES			
							LANDSCAPE/GREEN SPACE: 24,659 S.F. TOTAL			



**TOTAL AREA - 1.42 ACRES±**

NOTE: ARMORCAST CAST-IN-PLACE DETECTABLE WARNING DEVICES TO BE INSTALLED AT ALL HANDICAP RAMPS (HCR)

LINE TYPE	DESCRIPTION
---	BOUNDARY LINE
---	EDGE OF PAVEMENT
---	WATER LINE
---	OVERHEAD UTILITY LINE
---	EASEMENT LINE
---	MIN. BLDG. SETBACK LINE
---	YARD LINE
---	BUFFERYARD LINE
---	UTILITY POLE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION
---	EXIST. PIPE & HEADWALL

**SETBACKS & YARD REQUIREMENTS**

YARDS PER GALLATIN ZONING ORD. :

FRONT : 25'  
SIDE : 10'  
REAR : 40'

MIN. BLDG. SETBACK LINES:  
ADJACENT TO LONG HOLLOW PK.: 50'

**PARKING SPACES**

PARKING BASED ON GENERAL RETAIL SALES (7,234 S.F.) & FOOD SERVICE (2,428 S.F.):

PARKING SPACES REQUIRED: 7,243/250 = 29 SPACES (GENERAL RETAIL SALES)

PARKING SPACES REQUIRED (FOOD SERVICE): 32 PERSON CAPACITY/4 = 8 SPACES

TOTAL PARKING SPACES REQUIRED: 37 SPACES

TOTAL PARKING SPACES PROVIDED: 41 (39 REQ +2 HC)

PARKING REQUIREMENTS MAY CHANGE DEPENDING ON ACTUAL USES

[PARKING SPACES REQUIRED: 9,662/250 = 39 SPACES (IF ALL GENERAL RETAIL SALES)]

**PROPOSED USES**

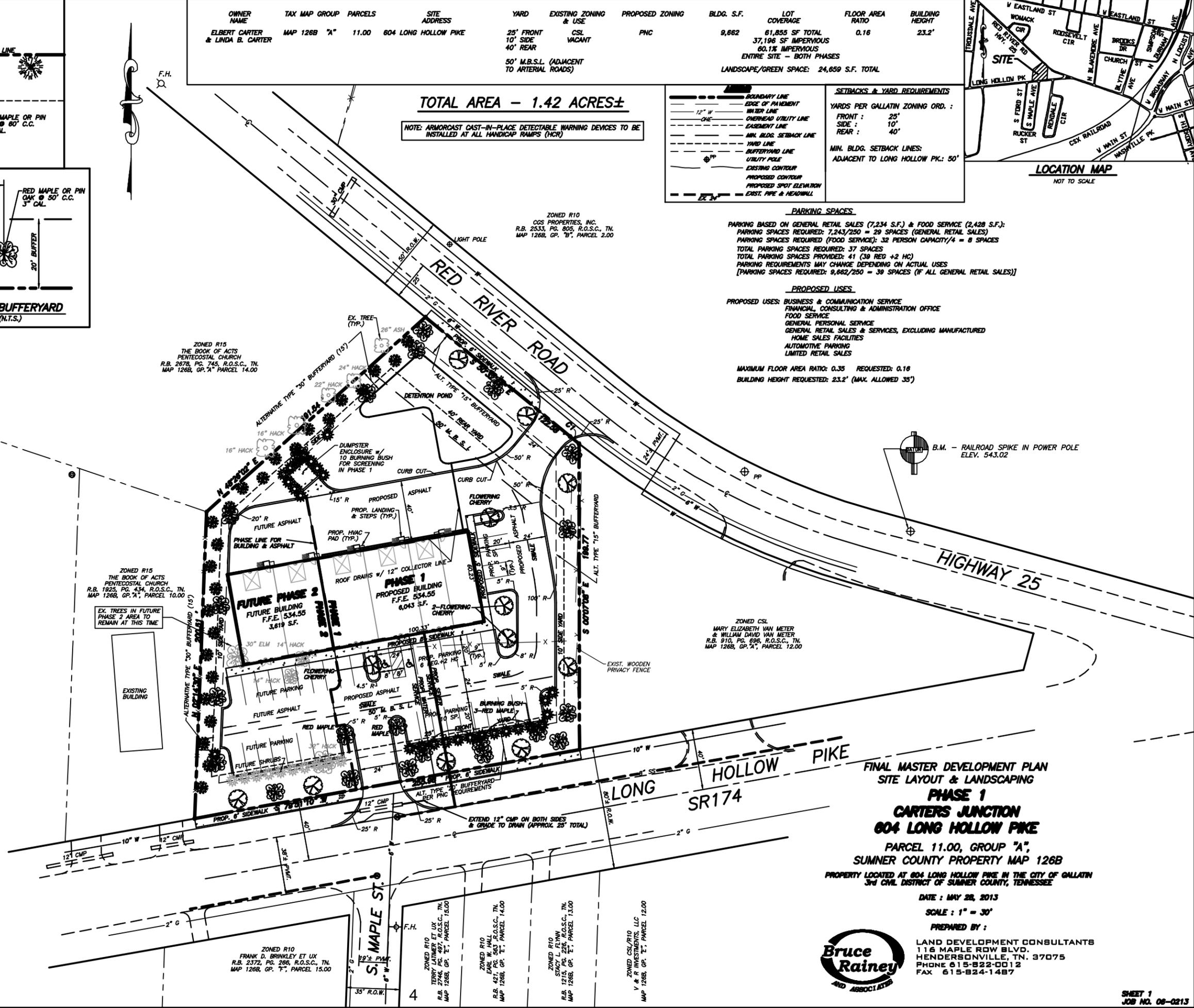
PROPOSED USES: BUSINESS & COMMUNICATION SERVICE  
FINANCIAL, CONSULTING & ADMINISTRATION OFFICE  
FOOD SERVICE  
GENERAL PERSONAL SERVICE  
GENERAL RETAIL SALES & SERVICES, EXCLUDING MANUFACTURED  
HOME SALES FACILITIES  
AUTOMOTIVE PARKING  
LIMITED RETAIL SALES

MAXIMUM FLOOR AREA RATIO: 0.35 REQUESTED: 0.16  
BUILDING HEIGHT REQUESTED: 23.2' (MAX. ALLOWED 35')

NUMBER	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT	CHORD DIRECTION
C1	00°51'02"		500.00	7.42	7.42	3.71	S 50°57'53" E

**SURVEYOR'S NOTES:**

- THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE POLICY. THEREFORE THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH.
- DEED REFERENCE: ELBERT CARTER ET UX R.B. 2630, PG. 247, R.O.S.C., TN
- MAP AND PARCEL NUMBERS SHOWN REFER TO THE SUMNER COUNTY TAX ASSESSOR'S MAPS. THE SUBJECT PROPERTY SHOWN ON THIS PLAT IS PARCEL 11.00 ON SUMNER COUNTY PROPERTY MAP 126B, GROUP "A"
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM SURFACE IMPROVEMENTS, UTILITY COMPANY RECORDS, AND/OR PLANS BY OTHERS. ACTUAL FIELD LOCATIONS AND SIZES OF THESE LINES SHOULD BE OBTAINED PRIOR TO ANY CONSTRUCTION ON THIS SITE. ADDITIONAL BURIED UTILITIES AND/OR STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES AND/OR STRUCTURES. BEFORE ANY EXCAVATION HAS BEGUN ON THIS SITE CALL DARE DIG FOR UNDERGROUND UTILITY LOCATIONS.
- SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED FOR THIS SURVEY.
- THIS PROPERTY IS ZONED PNC AND IS VACANT AS OF THE DATE OF THIS SUBMITTAL.
- BEARINGS SHOWN ARE BASED ON THE RECORDED DEED OF RECORD IN R.B. 160, PG. 247, R.O.S.C., TN.
- TOPOGRAPHY SHOWN HEREON WAS DERIVED FROM FIELD RUN TOPO BY BRUCE RAINEY & ASSOCIATES. CONTOURS SHOWN AT 2' INTERVALS.
- PROPOSED LANDSCAPING AND BUFFERS AS SHOWN.
- NO SIGNAGE IS PROPOSED AT THIS TIME. IF SIGNAGE IS ADDED IN THE FUTURE, A SIGN PACKAGE MUST BE SUBMITTED FOR APPROVAL AND A SIGN PERMIT MUST BE OBTAINED.
- PROPOSED BUILDINGS TO CONTAIN 9,662 S.F.
- THE OWNER/DEVELOPER (ELBERT CARTER) WILL BE RESPONSIBLE FOR ALL FINANCIAL RESPONSIBILITIES ON THIS PROJECT.
- ARCHITECTURAL BUILDING ELEVATIONS TO BE APPROVED BY PLANNING COMMISSION.
- ACCORDING TO FIRM COMMUNITY PANEL 47165C0314G DATED 04/17/12, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AND LIES IN ZONE "X".
- WE ANTICIPATE BUILDOUT OF PHASE 1 WITHIN 12 MONTHS AFTER APPROVAL BY PLANNING COMMISSION.
- ALL CONSTRUCTION AND USE OF PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE SECTION 13.02.
- EROSION CONTROL MUST BE IN PLACE AND INSPECTED BY THE ENGINEERING DIVISION PRIOR TO GRADING. INSPECTION AND MAINTENANCE OF EROSION CONTROL DEVICES SHALL BE PERFORMED ON A REGULAR BASIS.
- ALL DISTURBED AREAS TO BE SEEDED AND STRAWED.
- PROPOSED FACILITY SHALL COMPLY WITH ALL APPLICABLE CROSS-CONNECTION CONTROL AND SEWER USE REGULATIONS.



**FINAL MASTER DEVELOPMENT PLAN  
SITE LAYOUT & LANDSCAPING  
PHASE 1  
CARTERS JUNCTION  
604 LONG HOLLOW PIKE  
PARCEL 11.00, GROUP "A",  
SUMNER COUNTY PROPERTY MAP 126B**

PROPERTY LOCATED AT 604 LONG HOLLOW PIKE IN THE CITY OF GALLATIN  
3rd CIVIL DISTRICT OF SUMNER COUNTY, TENNESSEE

DATE : MAY 28, 2013  
SCALE : 1" = 30'  
PREPARED BY :  
LAND DEVELOPMENT CONSULTANTS  
116 MAPLE ROW BLVD.  
HENDERSONVILLE, TN, 37075  
PHONE 615-822-0012  
FAX 615-824-1487

