



Agenda
Gallatin Municipal-Regional Planning Commission

Monday, September 26, 2016
DR. J. DEOTHA MALONE COUNCIL CHAMBERS

Planning Commission – 5:00 p.m.
CITY HALL

Items listed on the Consent Agenda are considered routine or non-controversial, do not require a public hearing and will be approved by one motion and will not be discussed. Any member of the Planning Commission or the applicant for that item, wishing to discuss an item listed on the Consent Agenda, may request an item be removed from the Consent Agenda during the Public Comments on Consent Agenda items and placed on the Regular Agenda for discussion. The item will then be considered as determined by the Commission.

- **Call to Order**
- **Invocation**
- **Pledge of Allegiance**
- **Roll Call**
- **Approval of Minutes: July 11, 2016 Planning Commission Work Session Meeting**
- **Public Comment on Agenda Related Items**

CONSENT AGENDA

- 1. GMRPC RESOLUTION NO. 2016-113** **7-171-16**
SURETY RENEWALS & EXTENSIONS
CITY OF GALLATIN

SURETY RENEWALS AND EXTENSIONS FOR SEPTEMBER 2016

- 2. GMRPC RESOLUTION NO. 2016-111** **1-2449-16C**
CAIRO ESTATES, PHASE 3 - FINAL PLAT

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR CAIRO ESTATES PHASE 3, TO CREATE 16 SINGLE FAMILY LOTS AND EXTEND ONE (1) PUBLIC RIGHT-OF-WAY, ON A 3.25 (+/-) ACRE PARCEL, LOCATED ON THE NORTHSIDE OF CAIRO ROAD WEST OF MONTICELLO PLACE (CAIRO LANDING SUBDIVISION).

- 3. GMRPC RESOLUTION NO. 2016-107** **8-2441-16**
MCDONALD'S REMODEL - SITE PLAN
CMA ARCHITECTS, PLLC

OWNER AND APPLICANT REQUEST APPROVAL OF AN AMENDMENT TO THE SITE PLAN FOR THE MCDONALD'S RESTAURANT, ON A 1.03 (+/-) ACRE LOT, LOCATED AT 402 WEST MAIN STREET.



- 4. GMRPC RESOLUTION NO. 2016-110** **8-2445-16**
**THE VILLAGE AT PEYTONA DOWNS – AMENDED PMDP AND REVISED FMDP
MINOR AMENDMENT
JPL DEVELOPMENT, LLC**

OWNER AND APPLICANT REQUEST APPROVAL OF AN AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR GREENLEA COMMONS AND A REVISED FINAL MASTER DEVELOPMENT PLAN FOR THE VILLAGE AT PEYTONA DOWNS CONTAINING 304 MULTI-FAMILY UNITS ON 21.01 (+/-) ACRES. THE PROPERTY IS LOCATED WEST OF GREENLEA BOULEYARD, EAST OF ST. BLAISE ROAD AND NORTH OF NASHVILLE PIKE.

- 5. GMRPC RESOLUTION NO. 2016-112** **8-2452-16**
**FIRST BAPTIST CHURCH, ENTRY/PARKING - SITE PLAN
HUDDLESTON-STEELE ENGINEERS**

OWNER AND APPLICANT REQUEST APPROVAL OF A SITE PLAN FOR FIRST BAPTIST CHURCH GALLATIN, TO CONSTRUCT A 1,257 SQUARE FOOT FOYER ENTRANCE AND 39 PARKING SPACES, ON TWO (2) PARCELS (TAX MAP A GROUP K PARCELS 15.01 AND 16), TOTALING 2.26(+/-) ACRES, ZONED CORE COMMERCIAL (CC), LOCATED AT 205 EAST MAIN STREET.

- 6. GMRPC RESOLUTION NO. 2016-95** **5-2191-16**
**STRATFORD PARK, PHASE 4, SECTION 1 - STREET ACCEPT/ROW ACQ.
BARGE, WAGGONER, SUMNER & CANNON**

OWNER AND APPLICANT REQUEST THE CITY OF GALLATIN TO ACCEPT THE PUBLIC IMPROVEMENTS FOR STRATFORD PARK PHASE 4, SECTION 1 SUBDIVISION.

REGULAR AGENDA

- 7. GMRPC RESOLUTION NO. 2016-108** **1-2439-16C**
**JENNINGS PARK SUBDIVISION - FINAL PLAT
LIVING WELL PROPERTIES**

OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR JENNINGS PARK SUBDIVISION, A MAJOR SUBDIVISION, TO CREATE TEN (10) ONE-FAMILY DETACHED DWELLING LOTS AND A PRIVATE STREET/RIGHT-OF-WAY ON TWO (2) PARCELS CONSISTING OF 5.40 (+/-) ACRES, LOCATED SOUTH OF HARTSVILLE PIKE, EAST OF NORTH DRIVE AND WEST OF PERRY STREET.

- 8. GMRPC RESOLUTION NO. 2016-109** **8-2285-16**



**BAKER'S CROSSING THE FORZA GROUP - FMDP
ARNOLD CONSULTING SERVICES, INC.**

OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR BAKERS CROSSING, PHASE 1, THE FORZA GROUP, TO CONSTRUCT A HOTEL/RESTAURANT/CONFERENCE CENTER BUILDING ON AN 8.15 (+/-) ACRE PARCEL, LOCATED ON TULIP POPLAR DRIVE BETWEEN NASHVILLE PIKE AND NORTH BELVEDERE DRIVE.

9. OTHER BUSINESS

10. ADJOURN

MINUTES OF THE GALLATIN
MUNICIPAL-REGIONAL PLANNING COMMISSION
WORK SESSION

July 11, 2016

MEMBERS PRESENT

Mr. Dick Dempsey, Chair
Mr. James Robert Ramsey, Vice Chair
Mr. Johnny Wilson, Secretary
Mayor Paige Brown
Councilperson Julie Brackenbury
Dr. Rick Orgain
Mr. John Puryear

STAFF PRESENT

William McCord, Director of Planning
Robert Kalisz, Assistant Director of Planning
Kevin Chastine, Planning II
Jillian Ogden, Planner II
Brian Reifschneider, Engineering Project Manager
Marianne Mudrak, Board Secretary

MEMBERS ABSENT

None

OTHERS

Josh Cross, News Examiner
Applicants

The Gallatin Municipal-Regional Planning Commission met in a regular work session on Monday, July 11, 2016, at 5:00 p.m., in the Dr. J. Deotha Malone Council Chambers of Gallatin City Hall. Mr. Dick Dempsey Chair, called the meeting to order. A copy of the meeting agenda is attached to these minutes as Exhibit A.

Agenda

Item 1: Kennesaw Farms, Phase 6– Preliminary Master Development Plan Minor Amendment (3-2173-12) - Final Master Development Plan (8-2176-16) - Morelock Engineering LLC – Phase 6, Section 1 – Preliminary Plat (1-2168-16B) – Cherry Land Surveying, Inc. – Applicant and owner request approval of a minor amendment to the Preliminary Master Development Plan, Final Master Development Plan and Preliminary Plat for Kennesaw Farms, Phase 6, a major subdivision.

Mr. Robert Kalisz, Assistant Director of Planning, said the applicant proposes to revise the last residential one family home portion of this development. This request will change the proposed number of lots, from 118 to 121 and will change the road configuration. The original Preliminary Master Development Plan included two road connections to the west. Staff considers the changes a minor amendment. The current plan has some topography issues, hindering sanitary sewer.

Chair Dempsey asked how many street connections were lost. Mr. Kalisz said two (2) street connections remain in place. One proposed connection is from Phase 2 to the north and one proposed connection is from the west. The creek bisecting the site is one reason for the road changes.

Mr. Brian Reifschneider, Engineering Project Manager, said there are no engineering concerns with the project.

Mr. Cal Gentry, with Kennesaw Land Partners, representing the applicant, said both street connections to the west were very close to each other; therefore, it was desirable to eliminate one connection.

Mayor Brown said if Staff is comfortable with the changes, she is too.

Item 2: Carellton, Phase 3B– Amended Preliminary Master Development Plan and Revised Final Master Development Plan (8-2007-16) – Green Trails LLC – Preliminary Plat (1-2183-16B) – Land Solutions Company, LLC - Applicant and owner request approval of an amended Preliminary Master Development Plan and revised Final Master Development Plan and approval of a Preliminary Plat for Carellton, Phase 3B, a major subdivision.

Mr. Kevin Chastine, Planner II, said the applicant submitted the Amended Preliminary Master Development Plan, Final Master Development Plan and Preliminary Plat for Phase 3B. The lot number remains the same but there is a reduction in open space; however, it still exceeds the required open space regulation. The lot types have been reduced from eight (8) to seven (7) lot types. The proposed layout shows Carellton Drive and Manacous Drive as two way streets.

Mr. Reifschneider said there were no engineering concerns with the project.

Item 3: Patterson Farm – CMH Parks Inc., DBA Goodall Inc. Builders – Applicant and owner request a rezoning approval of a Preliminary Master Development Plan (3-2170_16) – for Patterson Farm from Residential-10 (R10) and Residential-20 (R20) to Multiple Residential and Office (MRO).

Mr. Chastine said the original Clear Lake Meadows Subdivision will change to Patterson Farm. In addition, the Sumner Academy property to the northwest will become part of Patterson Farm. This proposal increases Clear Lake Meadows Subdivision area of the property by 55 lots and adds 60 units, rezoning the Sumner Academy property to Multiple Residential and Office (MRO). The request is to rezone the property to Multiple Residential and Office (MRO).

Mr. Reifschneider said there are no engineering concerns with the project.

Chair Dempsey asked about the total number of homes proposed. Mr. Chastine said the total number of homes proposed is 206, which includes 146 single family homes and 60 townhomes.

Mayor Brown asked about the accesses. Mr. Chastine said there are two (2) accesses to the east on Clear Lake Meadows Boulevard and one (1) access to the west that will tie into Section 6 of Clear Lake Meadows, which connects to Nichols Lane. Mr. Bill McCord, Director of Planning, added that a traffic study will be required.

Mr. Koby Dumont, with Goodall Inc. Builders, said the applicant is in the bidding procesfor Section 6. The roads will be completed on Section 6 before development begins. The traffic study will be instituted after school opens.

Item 4: Lackey PUD, Lot 3 – PUD Amendment (4-2178-16) – Rogers Engineering Group – Applicant and owner request approval of an amendment to add the Group Assembly Limited Use to lot 3, located at 250 Hancock Street.

Ms. Jillian Ogden, Planner II, said the request is for approval to remodel the interior of the existing building to allow for a 200 seat Group Assembly Use. Twenty-five parking spaces and handicapped parking spaces will be added to the existing 25 parking spaces. The additional parking is for event parking only and will be constructed with grass/geo pervious materials.

Mr. Brian Reifschneider said there are no engineering concerns with the request.

Item 5: Cumberland Place North, Phase 5, Section 2– Amended Preliminary Master Development Plan/Revised Final Master Development Plan - (8-1993-16) – Rogers Engineering Group – Applicant and owner request approval of an amended Preliminary Master Development Plan and Final Master Development Plan showing a greenway and modifications to the buffer adjacent to the US Corps of Engineer Property and City of Gallatin Wastewater Treatment Plant.

Mr. Chastine said Staff suggested the applicant consider creating an open space tract on the southeastern border of the phase. The applicant is requesting not to add the open space tract but to leave a 20 foot greenway easement across the rear of the property. No other greenways are located in the development. The Staff proposal would reduce the size of the lots requiring a lot size exception because they would then be below the minimum lot size. One lot in the cul de' sac would need an exception to the rear yard to approve it as a buildable lot.

Mr. Reifschneider said there are no engineering concerns with the project.

Mr. McCord said Staff is exploring the possibility of providing a greenway on city owned property located near the sewer treatment plant. This would be an easier solution, if there is ample room, as opposed to dealing with individual homeowners.

Mr. Richard Jones, with Rogers Engineering Group, representing the applicant, said this was originally not designed to have a greenway on the rear of the lots. Property will be reduced from the lots and the applicant prefers to include it in the lots.

Item 6: Twice Daily – Final Master Development Plan (8-2169-16) – Perry Engineering LLC – Applicant and owner request approval of a Final Master Development Plan to develop a convenience store with fuel canopy on property located at the southeast corner of SR386 and SR174.

Mr. Kalisz said there is a difference in the Final Master Development Plan and the Preliminary Master Development Plan. The Preliminary Master Development Plan shows the extension road as four (4) lanes and the Final Master Development Plan shows three (3) lanes. The applicant will construct the road when the Twice Daily is built and the extra lane (fourth lane) will be constructed when the rest of the area is developed. The future proposed access was requested to be shown on the Preliminary Master Development Plan.

Mr. Reifschneider said Engineering Division is requesting signal modification. The right-of-way is reserved for the extra lane.

Mr. Randy Perry, Perry Engineering, said the three (3) lanes and reserved right-of-way will make it easy to add another lane when needed. Twice Daily requested that the drive-through be on the back of the building instead of the side of the building. The access easement to the east could be shown if requested. A traffic engineer is working on the traffic signal study to submit to TDOT.

Item 7: Northfield Church Alternative Sign Plan– Site Plan -(8-2152-16) – Image 360/Hendersonville – Applicant and owner request approval of a site plan approval of an alternative sign plan.

Mr. Kalisz said this sign is proposed at the old College Heights Church location on Nashville Pike. The front façade has been changed. The church wants the size of the sign to be bigger than the existing sign. The church is located in a Residential-20 (R20) zone and a wall mounted sign is allowed to be no more than 32 square feet for Community Facilities in residential zone districts. An existing free standing sign exists in the front of the building. The applicant is requesting an alternative sign plan of 178 square feet on the large façade and 19 square feet on the school building façade. Some of the surrounding commercial properties are zoned Planning General Commercial (PGC) and the applicant is requesting that the building be allowed the same sign square footage as those commercial properties.

Chair Dempsey asked what Staff recommends. Mr. Kalisz said Planned General Commercial (PGC) fits the area.

Mr. Reifschneider said there are no engineering concerns.

Mr. Ramsey said he is concerned that the motion as worded may allow the larger sign because of the Kroger Marketplace across the street. Mr. McCord said the request is to avoid rezoning the property to Planned General Commercial (PGC).

Mr. Brian Thomas, with Image/260, representing the applicant said the sign will not be LED lit, but will use areverse lit/halo lit letters, which is subdued lighting. The school façade sign will be lit in the same way. Mr. Kalisz asked if the letters are channel letters. Mr. Thomas said the letters are channel letters.

Item 8: Review proposed changes to the Gallatin Zoning Ordinance – City of Gallatin

Mr. McCord began at Article 13, Landscape Provisions.

- Defining an opaque barrier
- Listing various trees as examples of preferred trees, which are native to the area.
- Determine buffer yards, striking some language in D.1 and striking all of D.2.
- Strike most of the table on page 6, existing buffer standards.

Mr. Kalisz asked if the Planning Commission would consider an ordinance to require a registered landscape architect to design the landscape buffers. Mr. Puryear said most large developers already employ a landscape architect to design the landscaping plans. On the other hand, it would be costly for a small business.

Mr. Ramsey said that would be an additional cost to developers.

Mr. McCord asked the Planning Commission members to review the changes and email him with any comments.

Mr. Puryear suggested that a minimum alternative buffer be established. Mr. McCord said the Planning Commission makes that decision. Mr. Ramsey said he is concerned that if a minimum is established, everyone will want to only install the minimum buffer.

Mr. McCord suggested a special-called meeting to review the changes. Chair Dempsey said a meeting will be scheduled in the beginning of August.

Mr. McCord said architectural modifications must be discussed. (Item 8) A draft ordinance that describes changes will be submitted at the next meeting for discussion. The changes primarily include the Industrial Zone Districts.

Mr. McCord said he is researching a way to define group homes. Mayor Brown said this may only be accomplished through Codes enforcement, not zoning regulations. She suggested group homes be discussed with the City Attorney.

Councilperson Brackenbury asked about towing lots and allowing cars to park around the lot. Mr. McCord said there have been situations where cars are stored indefinitely and this could be a zoning violation.

Item 9: Other Business

There was no other business to discuss.

Item 10: Adjourn

There being no further business to discuss, Chair Dempsey adjourned the meeting at 6:08 p.m.

Respectfully submitted:

Marianne Mudrak, Board Secretary

Approve:

Dick Dempsey, Chair

Johnny Wilson, Secretary



Agenda
Gallatin Municipal-Regional Planning Commission
Work Session Meeting

Monday, July 11, 2016
Dr. J. Deotha Malone Council Chambers

Planning Commission - 5:00 p.m.
City Hall

1. **KENNESAW FARMS, PHASE 6; PMDP MINOR AMENDMENT (3-2173-16) / FMDP (8-2176-16); MORELOCK ENGINEERING LLC / PHASE 6, SECTION 1; PRELIMINARY PLAT (1-2168-16B); CHERRY LAND SURVEYING, INC**

APPLICANT AND OWNER REQUEST APPROVAL OF A MINOR AMENDMENT TO THE PMDP, APPROVAL OF AN FMDP AND APPROVAL OF A PRELIMINARY PLAT, FOR KENNSAW FARMS, PHASE 6, A MAJOR SUBDIVISION.

2. **CARELLTON, PHASE 3B; AMENDED PMDP AND REVISED FMDP (8-2007-16); GREEN TRAILS LLC / PRELIMINARY PLAT (1-2183-16B); LAND SOLUTIONS CO. LLC**

APPLICANT AND OWNER REQUEST APPROVAL OF AN AMENDED PMDP AND REVISED FMDP AND APPROVAL OF A PRELIMINARY PLAT FOR CARELLTON, PHASE 3B, A MAJOR SUBDIVISION.

3. **PATTERSON FARMS; PMDP (3-2170-16); CMH PARKS INC. DBA GOODALL HOMES**

APPLICANT AND OWNER RQUEST APPROVAL OF A PMDP IN ORDER TO REZONE PROPERTY FROM RESIDENTIAL 10 (R10) AND RESIDENTIAL (R20) TO MULTIPLE RESIDENTIAL AND OFFICE (MRO).

4. **LACKEY PUD, LOT 3; PUD AMENDMENT (4-2178-16); ROGERS ENGINEERING GROUP**

APPLICANT AND OWNER REQUEST APPROVAL OF AN AMENDMENT ADDING GROUP ASSEMBLY LIMITED TO LOT 3, LOCATED AT 250 HANCOCK STREET.

5. **CUMBERLAND PLACE NORTH, PHASE 5, SECTION 2; PMDP/FMDP (8-1993-16); ROGERS ENGINEERING GROUP**

APPLICANT AND OWNER REQUEST APPROVAL OF AN AMENDED PMDP AND FMDP SHOWING A GREENWAY AND BUFFER MODIFICATIONS AGAINST US COPRS OF ENGINEERING AND CITY OF GALLATIN WASTEWATER TREATMENT PLANT.

6. **TWICE DAILY; FMDP (8-2169-16); PERRY ENGINEERING LLC**

APPLICANT AND OWNER REQUEST APPROVAL OF A FMDP IN ORDER TO DEVELOP A CONVENIENCE STORE AND FUEL CANOPY, LOCATED AT THE SOUTHEAST CORNER OF SR386 AND SR174.

EXHIBIT A

7. NORTHFIELD CHURCH ALTERNATIVE SIGNAGE; SITE PLAN (8-2152-16); IMAGE 360/HENDERSONVILLE

APPLICANT AND OWNER REQUEST APPROVAL OF A SITE PLAN FOR AN ALTERNATIVE SIGN PLAN APPROVAL.

8. REVIEW GALLATIN ZONING ORDINANCE CHANGES; CITY OF GALLATIN

DISCUSSION

9. OTHER BUSINESS

10. MOVE TO ADJOURN

EXHIBIT A

ITEM 1

GMRPC Resolution No. 2016-113

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING ITEM 1 – A ONE (1) YEAR RENEWAL AND EXTENSION OF THE PERFORMANCE SURETIES FOR: RAY ESTATES (SUBDIVISION); FILE #1-31-13C/PC0182-13 – RAY ESTATES REVISED FMDP (SITE); FILE #8-36-13/PC0180-13 – FOXLAND PHASE 5, SECTION 2 (SUBDIVISION); FILE #1-100-13C/PC0121-13 – FOXLAND PHASE 10, AMENDED PMDP/FMDP (LDP); FILE #8-539-15 – SUDDEN SERVICE GAS STATION (SITE) FILE #8-454-15 – FOUR WAY MUFFLER ADDITION (SITE); FILE #8-1070-15 – CARELLTON PHASE 2, SECTION A & B (LDP); FILE #8-828-14/PC0268-14 – CARELLTON PHASE 1-B, LOT 69 (LDP); FILE #1-542-15C – AND A SIX (6) MONTH RENEWAL AND EXTENSION OF THE PERFORMANCE SURETIES FOR: MIRACLE CHRYSLER DEALERSHIP – CAR STORAGE AT REAR (SITE) FILE #8-715-15 –OAKHILL SUBDIVISION PHASE 1 (SUBDIVISION); FILE #1-63-06C/1-53-06C – FAIRWAY FARMS PHASE 1, SECTION 1A & PHASE 3, SECTION 1B (SUBDIVISION); FILE #1-76-05C/1-19-05C – FAIRWAY FARMS, PHASE 1, SECTION 1B & PHASE 1, SECTION 2-4 (SUBDIVISION); FILE #1-77-06C/1-10-06C – KENNESAW FARMS, PHASE 1 COMMERCIAL (SUBDIVISION); FILE #1-99-10C/1-11-10C –TWIN EAGLES, PHASE 9A (SUBDIVISION); FILE #1-47-13C/PC0129-13 – TWIN EAGLES, PHASE 10 (SUBDIVISION); FILE #1-54-11C/PC9845-11.

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered a one (1) year renewal and extension of the performance sureties for: Ray Estates (Subdivision); File #1-31-13C/PC0182-13 – Ray Estates Revised FMDP (Site); File #8-36-13/PC0180-13 – Foxland Phase 5, Section 2 (Subdivision); File #1-100-13C/PC0121-13 – Foxland Phase 10, Amended PMDP/FMDP (LDP); File #8-539-15 – Sudden Service Gas Station (Site) File #8-454-15 – Four Way Muffler Addition (Site); File #8-1070-15 – Carellton Phase 2, Section A & B (LDP); File #8-828-14/PC0268-14 – Carellton Phase 1-B, Lot 69 (LDP); File #1-542-15C – and a six (6) month renewal and extension of the performance sureties for: Miracle Chrysler Dealership – Car Storage At Rear (Site) File #8-715-15 –Oakhill Subdivision Phase 1 (Subdivision); File #1-63-06C/1-53-06C – Fairway Farms Phase 1, Section 1A & Phase 3, Section 1B (Subdivision); File #1-76-05C/1-19-05C – Fairway Farms, Phase 1, Section 1B & Phase 1, Section 2-4 (Subdivision); File #1-77-06C/1-10-06C – Kennesaw Farms, Phase 1 Commercial (Subdivision); File #1-99-10C/1-11-10C –Twin Eagles, Phase 9A (Subdivision); File #1-47-13C/PC0129-13 – Twin Eagles, Phase 10 (Subdivision); File #1-54-11C/PC9845-11.

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION has reviewed the information presented by City Staff and evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows:

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Gallatin Zoning

Ordinance, §15.03.080 and Gallatin Subdivision Regulations, Chapter 3:

1. The renewal and extension of the performance sureties will cover the cost of public improvements and infrastructure not yet completed in the subdivision or completed for the development site of an approved site plan or master development plan as determined by the City Engineering Division and Planning Department.
2. The subdivision surety and/or site master development plan surety is necessary to protect the public interest as described in Chapter 3, Gallatin Subdivision Regulations and Article 15, Section 15.03.080 of the Gallatin Zoning Ordinance.

Section 2. Action - The Gallatin Municipal-Regional Planning Commission hereby approves a one (1) year renewal and extension for each of the performance sureties for the following projects with the following conditions:

1. A new Letter of Credit in the amount described above shall be provided to the City of Gallatin by no later than one (1) week prior to the expiration date of the current Letter of Credit.
2. An extension may be permitted for the performance surety. All improvements must be completed and accepted by September 26, 2017.
3. Upon completion of all required improvements, the developer shall obtain final subdivision inspection approval from the Planning Department and Engineering Division and submit a request for Acceptance of Dedication for any public infrastructure within a subdivision to the City Engineering Division and provide a maintenance surety in a form and substance acceptable to the City Attorney and City Engineer.
 - Ray Estates (Subdivision); File #1-31-13C/PC0182-13 in the amount of \$132,000.
 - Ray Estates (Site); File #8-36-13/PC0180-13 in the amount of \$18,000.
 - Foxland Phase 5, Section 2 (Subdivision); File #1-100-13C/PC0121-13 in the amount of \$123,000.
 - Foxland Phase 10 (LDP); File #8-539-15 in the amount of \$53,000.
 - Sudden Service Gas Station (Site); File #8-454-15 in the amount of \$287,555.

- Carellton Phase 2, Section 2 A & B (LDP); File #8-828-14/PC0268-14 in the amount of \$107,000.
- Carellton Phase 1B, Lot 69 (LDP); File #1-542-15C in the amount of 13,000.
- Four Way Muffler Addition (Site); File #8-1070-15 in the amount of \$16,245.88.

Section 3. Action - The Gallatin Municipal-Regional Planning Commission hereby approves a six (6) month renewal and extension for each of the performance sureties for the following projects with the following conditions:

4. A new Letter of Credit in the amount described above shall be provided to the City of Gallatin by no later than one (1) week prior to the expiration date of the current Letter of Credit.
 5. An extension may be permitted for the performance surety. All improvements must be completed and accepted by March 26, 2017.
 6. Upon completion of all required improvements, the developer shall obtain final subdivision inspection approval from the Planning Department and Engineering Division and submit a request for Acceptance of Dedication for any public infrastructure within a subdivision to the City Engineering Division and provide a maintenance surety in a form and substance acceptable to the City Attorney and City Engineer.
- Miracle Chrysler Dealership (Site); File #8-715-15 in the amount of \$25,000.
 - Oakhill Subdivision Phase 1 (Subdivision) File #1-63-06C/1-53-06C in the amount of \$115,000.
 - Fairway Farms Phase 1, Section 1A & Phase 3, Section 1B (Subdivision); File #1-76-05C/1-19-05C in the amount of \$245,000.
 - Fairway Farms Phase 1, Section 1B & Phase 1, Section 2-4 (Subdivision); File #1-77-06C/1-10-06C in the amount of \$404,000.
 - Kennesaw Farms, Phase 1 Commercial (Subdivision); File #1-99-10C/1-11-10C in the amount of \$33,000.
 - Twin Eagles, Phase 9A (Subdivision); File 1-47-13C/PC0129-13 in the amount of \$92,000.

- Twin Eagles, Phase 10 (Subdivision); File 1-54-11C/PC9845-11 in the amount of \$82,000.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 9/26/16

Dick Dempsey Chairman

Johnny Wilson Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney

ITEM 2

GMRPC Resolution No. 2016-111

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL PLAT FOR CAIRO ESTATES PHASE 3, CONTAINING 16 SINGLE FAMILY LOTS AND EXTENSION OF ONE (1) PUBLIC RIGHT-OF-WAY, ON 3.25 (+/-) ACRES, LOCATED ON THE NORTHSIDE OF CAIRO ROAD WEST OF MONTICELLO PLACE (CAIRO LANDING SUBDIVISION) – (1-2449-16C)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Final Plat submitted by Richard D. Graves Land Surveying at the regular meeting on September 26, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff, in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-403(b) and § 13-4-303(b) and the City of Gallatin Subdivision Regulations:

1. The Final Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The Final Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
3. The Final Plat is consistent with the purpose and intent of the Multiple Residential and Office (MRO) Zoning District and the Preliminary Master Development Plan, the Final Master Development Plan, and the Preliminary Plat for Cairo Estates.
4. The Final Plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.
5. The Final Plat complies with the requirements of the subdivision regulations as described in Section 2-105, Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Plat for Cairo Estates, Phase 3, consisting of a one (1) sheet plat, prepared by Richard D. Graves Land Surveying, of Westmoreland, Tennessee, with Job No. 13031TP3, dated stamped September 15, 2016, with the following conditions:

1. Correct Parcel Number, on Lot 13, from 006.03 to 006.11.
2. Correct Record Book and Page number for Tax Map 127 Parcel 006.11.
3. Change ‘Section’ to ‘Phase’ in Sewer System Certificate.
4. Provide an Offer of Irrevocable Dedication.
5. Provide a copy of the Restrictive Covenants for Phase 3.
6. A recorded Stormwater Maintenance Agreement, for Cairo Estates, Phase 3, is required prior to issuance of a building permit.
7. Submit three (3) corrected folded copies of the Final Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 9/26/15

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 2

PLANNING DEPARTMENT STAFF REPORT

Final Plat for Cairo Estates Phase 3

(PC File# 1-2449-16C)

Located On Cairo Road West of Monticello Place (Cairo Landing Subdivision)

Date: September 26, 2016

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL PLAT FOR CAIRO ESTATES PHASE 3, TO CREATE 16 SINGLE FAMILY LOTS AND EXTEND ONE (1) PUBLIC RIGHT-OF-WAY, ON 3.25 (+/-) ACRES, LOCATED ON THE NORTHSIDE OF CAIRO ROAD WEST OF MONTICELLO PLACE (CAIRO LANDING SUBDIVISION).

OWNER: HENRY HOLLEMAN

APPLICANT: RICHARD D. GRAVES LAND SURVEYING

STAFF RECOMMENDATION: APPROVAL OF GMRPC RESOLUTION No. 2016-111

STAFF CONTACT: KEVIN CHASTINE, AICP

PLANNING COMMISSION DATE: SEPTEMBER 26, 2016

PROPERTY OVERVIEW: The owner and applicant requests approval of a Final Plat for Cairo Estates Phase 3, to create 16 single family lots and extend one (1) public right-of-way, on 3.25 (+/-) acres, located on Cairo Road west of Monticello Place (Cairo Landing Subdivision). The property is currently zoned Multiple Residential and Office (MRO). One-Family Detached Dwellings is a permitted uses in the MRO zone district. (Attachment 2-1)

CASE BACKGROUND:

Previous Approvals

On October 26, 2006 an annexation (PC File #6-7-06) and rezoning (PC File #3-27-06) request from Residential-40 (R40) to Residential-20 Planned Residential Development (R20-PRD) with a Preliminary Master Development Plan for Cairo Landing Phase 3 was submitted for a 15.025 (+/-) acre portion of this property (Tax Map and Parcel 127//005.07) to create 27 One-Family Detached Dwelling lots. The Annexation and rezoning with Preliminary Master Development Plan request was withdrawn by the applicant on November 14, 2006. No additional action was taken on these submittals.

On March 24, 2014, the Gallatin Planning Commission recommended approval of an annexation/plan of service request (PC0259-14) and rezoning (PC260-14) from Residential 40 (R40) to Multiple Residential and Office (MRO) zoning. On April 28, 2014, the Planning Commission approved a request to change the Character Area designation from Airport Road Industrial Special District to the Suburban Neighborhood Established Character Area designation (PC0262-14) on the 20.84 (+/-) acre property.

On May 20, 2014, the City Council approved Ordinances for both the rezoning (O1403-12) and the annexation/plan of service (O1403-13).

On June 23, 2014, the Gallatin Planning Commission approved, with conditions, a Final Master Development Plan (PC0292-14) for Cairo Estates.

On August 25, 2014, the Planning Commission approved, with conditions, a Preliminary Plat for Cairo Estates Subdivision, Phases 1, 2 and 3 (PC0325-14). (Attachment 2-2)

On August 10, 2015, the Planning Commission approved, with conditions, a Final Plat for Cairo Estates Subdivision, Phases 1 and 2 (PC File# 1-887-15C).

DISCUSSION:

Proposed Development

The applicant is requesting approval of a Final Plat for Cairo Estates Phase 3 to create 16 single family lots and extend one (1) public right-of-way, on a 3.25 (+/-) acre parcel (Tax Map 127 Parcel 5.07), located on the northside of Cairo Road, west of Monticello Place (Cairo Land Subdivision) and east of the Sumner County Airport. The property is currently zoned Multiple Residential and Office (MRO).

Natural Features

The natural topography for the existing vacant land slopes from the highest point of elevation (580') located at the northeast corner of Lot 51, with a steady decline, towards the lowest point of elevation (568') located along the rear of Lot 61 and Lot 63. The decline in elevation relates to the presence of a stream that separates Phase 2 and Phase 3. There are existing mature trees and other vegetation located along the stream within Phase 2.

Adjacent or Area Uses

The adjacent surrounding area to the north is Lot 11(P.B. 26 Pg. 323) and 13 (P.B. 28 Pg 383) of the Odric Gregory Industrial Park. To the south is Cairo Estates, Phase 1 and Phase 2 (P.B. 29 Pg. 71-73) to the east is Cairo Landing Subdivision, which contains 49 single family lots, and to the west is vacant property owned by Gallatin Warehousing Partnership. The project site is surrounded by Multiple Residential and Office (MRO) zoning to the south, Industrial Restrictive (IR) zoning to the north and west and Residential-20 Planned Residential Development (R20-PRD) to the east.

Lot Layout

The MRO zoning requires a minimum lot size of 6,000 square feet. All lots meet or exceed the required minimum lot size, with the smallest lot being 6,000 square feet and the largest lot being 13,775 square feet. The lot size for each of the 16 proposed lots are listed in the table below.

<i>Cairo Estates – Phase 3 – Lot Sizes</i>		
<i>Lot Number</i>	<i>Size (Acres)</i>	<i>Size (Square Feet)</i>
48	.13	6,000
49	.16	7,045
50	.21	9,422
51	.31	13,775
52	.21	9,422

53	.16	7,045
54	.13	6,000
55	.13	6,000
56	.25	11,131
57	.20	8,742
58	.17	7,747
59	.19	8,447
60	.19	8,262
61	.25	11,116
62	.26	11,537
63	.23	10,217

Floodplain and Floodway

Based on FEMA FIRM Map 471650318G and 471650319G no portion of Cairo Estates, Phase 3 is located within a special flood hazard area.

Rights-of-Way/Streets/Roads

Approximately 460 linear feet of public right-of-way will be constructed within Phase 3. Harper Dean Way was included within Phase 1 and 2 of Cairo Estates and will be extended into Phase 3, where it will terminate in a cul-de-sac. The right-of-way is 50 feet in width with 24 feet of pavement. Harper Dean Way does not connect to adjacent properties to the west because they are developed as part of Cairo Landing residential subdivision.

The Gallatin on the Move 2020 Plan: The General Development and Transportation Plan 2008-2020 indicates a future greenway located through this property along Albright Creek. The applicant indicated, in Note 20 on the Cover Sheet of the Final Master Development Plan (FMDP) (Attachment 2-3), that the property owner or the homeowners association will provide a greenway easement to the City once a specific location has been determined. The Final Plat states, in Note 20, "Greenway Reservation per Gallatin on the Move 2020 Plan Is Made in Open Space Areas Shown. Provide Greenway Reservation per Gallatin on the Move 2020 Plan." Once developed, the greenway shall be constructed per Section 4-102.904 of the Gallatin Subdivision Regulations.

Parking

The parking ratio for residential uses is two (2) parking spaces per unit. The 16 lots require 32 parking spaces.

Open Space and Bufferyard

No open space tracts are provided within Phase 3. The Cairo Estates development has two (2) open space tracts, located within Phase 1 and 2.

A Type 35 and 40 Bufferyard is required per Table 13-05 Bufferyard Requirements of the Gallatin Zoning Ordinance. The Planning Commission approved an Alternative Type 40 Bufferyard plan, as part of the Preliminary Master Development Plan, along the rear of Lots 56, 57, and 58 and an Alternative Type 35 Bufferyard plan along the rear of Lots 48 through 56. The 30 foot wide bufferyard along the rear of lots 48 through 59 in Phase 3 matches the Alternative Bufferyard Plan approved as part of the PMDP.

Buildings and Architectural Elevations

No change is requested to the architectural elevations approved as part of the Cairo Estates Final Master Development Plan (PC0292-14).

Site Surety

The applicant is required to submit a subdivision surety, in the amount to be calculated by the Gallatin Engineering Division, prior to issuance of any building permits.

Planning Department Comments

The Planning Department reviewed and commented on the Final Plat. The applicant satisfied all Planning Department review comments except those included as conditions of approval.

Engineering Division Comments

The Engineering Division reviewed and commented on the Final Plat. The applicant satisfied all Engineering Division review comments except those included as conditions of approval.

Other Departmental Comments

Other City Departments reviewed and commented on the Final Plat. The applicant satisfied all Other Departmental review comments except those included as conditions of approval.

FINDINGS:

1. The Final Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development & Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Community Character Area.
2. The Final Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City of Gallatin as described in Chapter 1, Section 1-104, items 1-11.
3. The Final Plat is consistent with the purpose and intent of the Multiple Residential and Office (MRO) Zoning District and the Preliminary Master Development Plan, the Final Master Development Plan, and the Preliminary Plat for Cairo Estates.
4. The Final Plat is consistent with T.C.A. Section 13-3-403 and Section 13-4-303.
5. The Final Plat complies with the requirements of the subdivision regulations as described in Section 2-105, Gallatin Subdivision Regulations.
6. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
7. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
8. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

The Planning Department recommends approval of GMRPC Resolution 2016-111, Final Plat for Cairo Estates, Phase 3, consisting of a one (1) sheet plat, prepared by Richard D. Graves Land Surveying, of Westmoreland, Tennessee, with Job No. 13031TP3, date stamped September 15, 2016, with the following conditions:

1. Correct Parcel Number, on Lot 13, from 006.03 to 006.11.
2. Correct Record Book and Page number for Tax Map 127 Parcel 006.11.
3. Change 'Section' to 'Phase' in Sewer System Certificate.
4. Provide an Offer of Irrevocable Dedication.
5. Provide a copy of the Restrictive Covenants for Phase 3.
6. A recorded Stormwater Maintenance Agreement for Cairo Estates, Phase 3 is required prior to issuance of a building permit.
7. Submit three (3) corrected folded copies of the Final Plat, including one (1) full size and two (2) half size copies, to the Planning Department.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

- | | |
|-----------------------|-----------------------------------------------------------------|
| Attachment 2-1 | Location Map for Cairo Estates Phases 3 |
| Attachment 2-2 | Preliminary Plat for Cairo Estates (PC0325-14) |
| Attachment 2-3 | Final Master Development Plan – Cairo Estates (PC292-14) |
| Attachment 2-4 | Final Plat for Cairo Estates Phase 3 |

I:\ACTIVITIES & PROJECT TYPES\MAJOR SUBDIVISIONS (1)\Cairo Estates\Cairo Estates - Phase 3 - Final Plat (1-2449-16C)\Item Cairo Estates – Final Plat – Phase 3 (1-2449-16C) KC



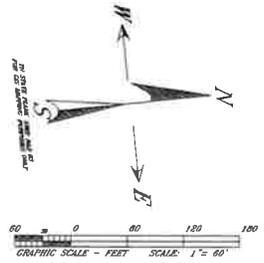
Prepared By: Kevin Chastine, AICP
Prepared On: September 14, 2016

Location Map
Cairo Estates Phase 3
Final Plat
PC File# 1-2449-16C





**Cairo Estates Subdivision
Preliminary Plat
2nd Civil District
Sumner County Tennessee**
(Adjoins Gallatin City Limits)



TAX MAP 127
(002.09)
JOSEPH C. MERLO
RAMSEY INDUSTRIAL CENTER,
SECTION TWO
R.B. 1175, PAGE 268 R.O.S.C.,
TN
707 AIRPORT ROAD
ZONED IR

TAX MAP 127
(002.00)
GARY H. BRANNHAM, ETUX
DORIC GREGORY INDUSTRIAL
PARK PHASE THREE
R.B. 3275, PAGE 532 R.O.S.C.,
TN
470 HOPE COURT
ZONED IR

TAX MAP 127
(003.00)
SUMNER COUNTY REGIONAL AIRPORT AUTHORITY
D.R. 502, PAGES 70 R.O.S.C., TN
CAIRO ROAD
ZONED R-40

TAX MAP 127
(002.00)
SUMNER COUNTY
R.B. 2045, PAGE 527 R.O.S.C., TN
1475 AIRPORT ROAD
ZONED IC

TAX MAP 127
(005.11)
GREGORY REAL ESTATE, LLC
R.B. 3278, PAGE 320 R.O.S.C.,
TN
CAIRO ROAD
ZONED IR

TAX MAP 127
(005.09)
EDWARD T. WHITE
R.B. 3206, PAGE 110 R.O.S.C., TN
1587 CAIRO ROAD
ZONED R-40

TAX MAP 127C, GROUP D
(000.00)
CAIRO LANDING SUBDIVISION
PHASE TWO B.O.A., INC
R.B. 2894, PAGE 180 R.O.S.C., TN
MONTICELLO PLACE
ZONED R-20 (PRD)

TAX MAP 127C, GROUP D
(001.01)
CAIRO LANDING SUBDIVISION
PHASE ONE B.O.A., INC
R.B. 2894, PAGE 180 R.O.S.C., TN
MONTICELLO PLACE
ZONED R-20 (PRD)

TAX MAP 127
(008.03)
GREGORY REAL ESTATE, LLC
DORIC GREGORY INDUSTRIAL PARK
R.B. 3203, PAGE 50 R.O.S.C., TN
471 HOPE COURT
ZONED IR

1. DEED REFERENCE: REMAINDER OF R.B. 2030 P. 297 & TRACT 1 OF R.B. 3206 P. 509 ALL OF R.B. 3752 P. 416. R.B. 2030 R. 283 & TRACT 2 OF R.B. 3206 P. 509

2. TAX MAP REFERENCE: MAP 127 PARCELS 500, 507, & 508

3. I HEREBY CERTIFY THAT THIS PROPERTY SURVEY IS A CATEGORY I SURVEY AND THE METHOD OF PRECISION OF THE UNADJUSTED SURVEY IS 1/10,000 OR BETTER AS SHOWN HEREON. ALL BUILDINGS AND IMPROVEMENTS SHOWN ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

5. BY MY REVIEW OF AVAILABLE INFORMATION, WHICH IS SUBJECT TO MAP INACCURACIES AND SCALING, A PORTION OF THIS PROPERTY IS IN ZONE "A" OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER ADJACENT TO THE PROPERTY. THE DATE OF APRIL 17, 2004 AND AN ELEVATION CERTIFICATE CAN DETERMINE THE EXACT DESIGNATION BASED ON THE INFORMATION ABOVE. A PORTION OF THIS PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA.

6. DATE: JAN 07, 2004

7. SURVEYOR: RICHARD D. GRAVES, Term: R.L.S. No. 3208

8. ZONING: R-40

9. TOTAL AREA BEING SURVEYED: 20.84 acres ± ±

10. OWNERS:
Henry Hollister
607 S.W. 54,
Gainesville, TN 37066



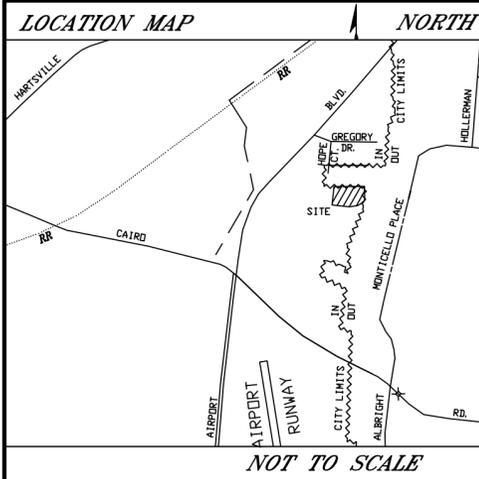
11. ALL UNDERGROUND UTILITIES ARE APPROXIMATE AND WITHOUT VERIFICATION FROM THE PROPER UTILITY COMPANIES OR ORIGINAL COPIES OF THIS SURVEY.
12. THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH AND THE BOUNDARIES NOTED HEREON WERE DETERMINED TO THIS SURVEYOR THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SURVEY. HOWEVER, THIS SURVEYOR RESERVES THE RIGHT TO REVEAL AND EASEMENTS NOT INDICATED FOR ANY REASON OF THE DATE OF THIS SURVEY.
13. ONLY HATCHED CORNERS OF THIS SURVEY WITH THE SURVEYOR'S ORIGINAL STAMP AND SIGNATURE WILL CONSTITUTE AN ORIGINAL COPY OF THIS SURVEY.
14. SUBJECT TO ANY EASEMENTS THAT MAY CROSS THE PROPERTY DUE TO NATURAL CAUSE.
15. SUBJECT TO ANY LEASES, RIGHT-OF-WAYS, EASEMENTS, ENCUMBRANCES, ETC. THAT MAY EXIST AND/OR APPLY TO THE SUBJECT PROPERTY.
16. THE PURPOSE OF THIS PLAT IS TO CREATE A NEW HATCHED SUBDIVISION OF 63 LOTS FOR RESIDENTIAL USE.
17. LOTS IN THIS SUBDIVISION ARE NOT TO HAVE IMPROVED TRENCH OR UTILITY LINES BY THIS PLAT.
18. EXISTING USE: VACANT, PROPOSED USE: DWELLING, SINGLE FAMILY DETACHED.

Prepared by:
Richard D. Graves
Land Surveying
1768 New Highway 52
Westmoreland, TN 37186
Phone: (615) 644-2077
Fax: (615) 644-3200

TAX MAP 127C, GROUP D
(001.01)
CAIRO LANDING SUBDIVISION
PHASE ONE B.O.A., INC
R.B. 2894, PAGE 180 R.O.S.C., TN
MONTICELLO PLACE
ZONED R-20 (PRD)

Job # 13031TM

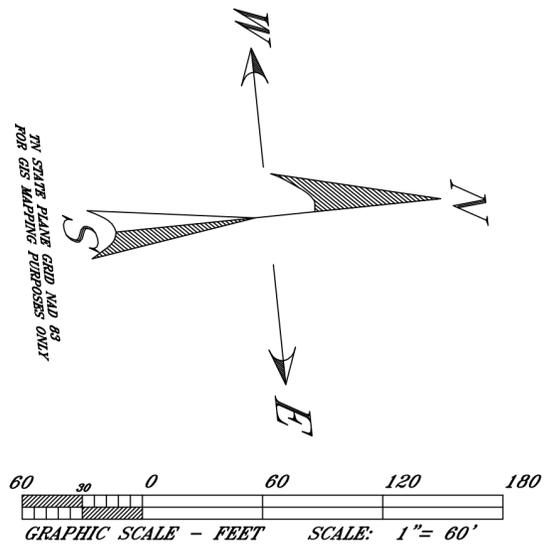
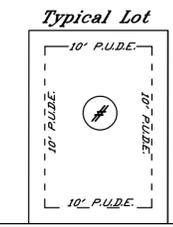
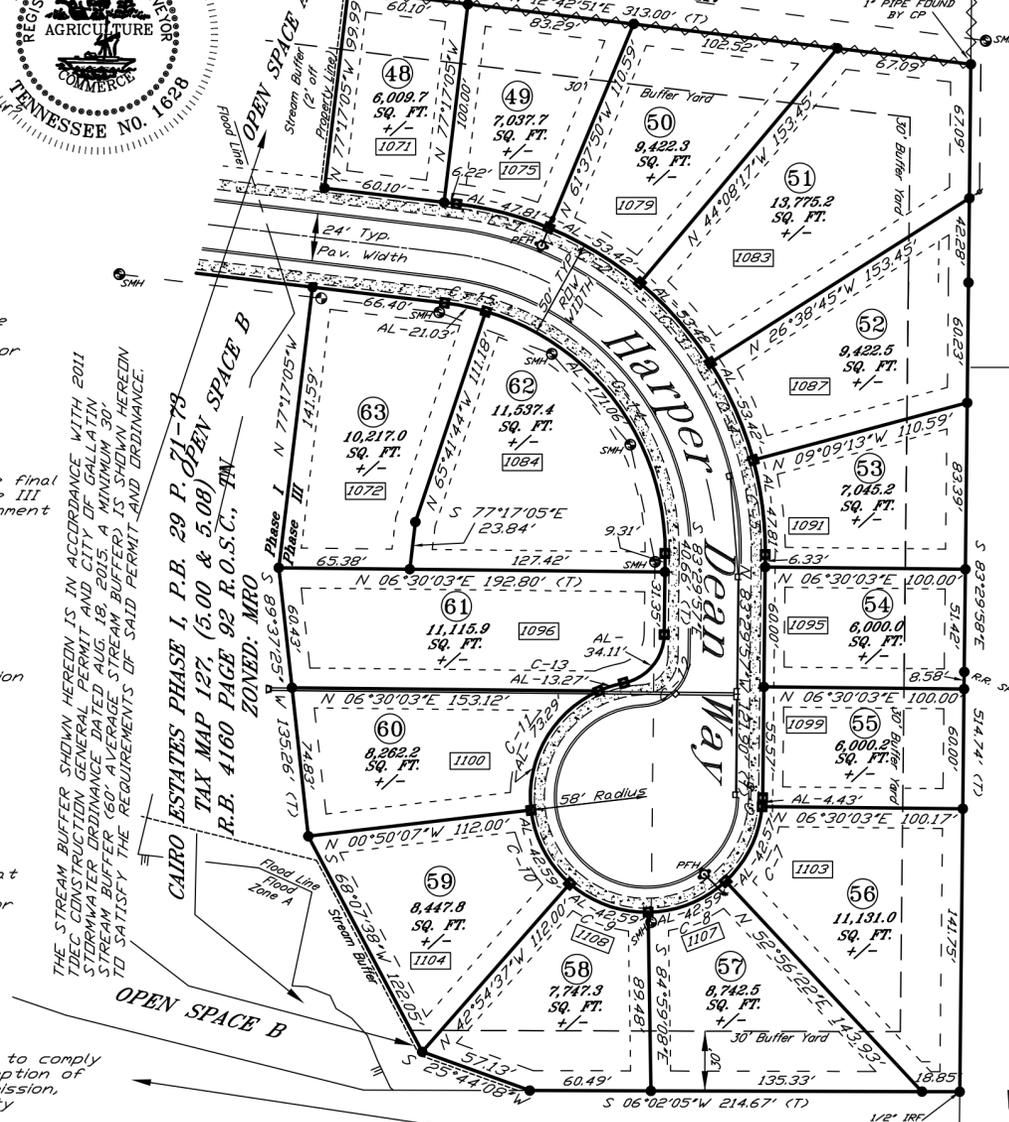
ATTACHMENT 2-2



- Legend**
- 1/2" IRON RE-BAR SET UNLESS OTHERWISE NOTED.
 - 1/2" IRON RE-BARS SET IN CONCRETE WITH METAL CAPS ON RIGHT-OF-WAY CORNERS UNLESS OTHERWISE NOTED.
 - G GASLINE
 - W 6" WATERLINE
 - S 8" SEWER LINE
 - PFH PROPOSED FIRE HYDRANT
 - SMH SEWER MANHOLE
 - IRF IRON RE-BAR
 - S.L.E. SEWER LINE EASEMENT
 - CITY LIMIT LINE
 - 000 911 ADDRESS
 - CP CORNER POST

Cairo Estates Subdivision Phase III Final Plat 2nd Civil District Sumner County Tennessee

TAX MAP 127 (005.11)
RE-SUBDIVISION OF LOT 11 OF
ODRC GREGORY INDUSTRIAL PARK, PHASE 3
LOT 12
P.B. 27 P. 307
GALLATIN WAREHOUSING PARTNERSHIP
R.B. 4056, PAGE 319 R.O.S.C., TN
473 HOPE COURT
ZONED IR



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owners of the property shown hereon as evidenced in Record Book R.B. 4160 P. 92 in the Register's Office, Sumner County, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal Regional Subdivision Regulations.

Date: _____ Owner: _____
Henry Holleman

Date: _____ Owner: _____
Morris Holleman

CERTIFICATE OF ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Gallatin Municipal Regional Planning Commission and that the monuments have been placed, or will be placed, as shown hereon, to the specifications of the regulations.

Date: _____ Registered Surveyor No. 1628

CERTIFICATE OF THE APPROVAL OF WATER SYSTEM

I hereby certify that the water system(s) outlined or indicated on the final subdivision plat entitled Final Plat of the Cairo Estates Subdivision Phase III have been installed in accordance with current local and state government requirements or a sufficient surety or cash has been filed which will guarantee said installation.

Date: _____ Authorized Signature _____

CERTIFICATE OF THE APPROVAL OF SEWER SYSTEM

I hereby certify that the sewer systems outlined or indicated on the final subdivision plat entitled Final Plat of Cairo Estates Subdivision Section III have been installed in accordance with current local and state government requirements or a sufficient surety or cash has been filed which will guarantee said installation.

Date: _____ Authorized Signature _____

CERTIFICATE OF THE APPROVAL OR SURETY FOR COMPLETION OF ROADS

I hereby certify (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance surety has been posted with the Planning Commission to assume completion of all required improvements in case of default.

Date: _____ Authorized Signature _____

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plan shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Registrar.

Date: _____ Secretary of the Planning Commission _____

Date: _____ Chairman's Initials _____

Prepared by:
Richard D. Graves
Land Surveying
1768 New Highway 52
Westmoreland, Tn. 37186
Phone: (615) 644-2077
Fax: (615) 644-3200

Curve Data Table

Curve	Radius	Tangent	Length	Delta	Chord	Chord Bear.
C-1	175.00'	24.06'	47.81'	15°39'15"	47.66'	S 20°32'33" W
C-2	175.00'	26.92'	53.43'	17°29'32"	53.22'	S 37°06'56" W
C-3	175.00'	26.92'	53.43'	17°29'32"	53.22'	S 54°36'29" W
C-4	175.00'	26.92'	53.43'	17°29'32"	53.22'	S 72°06'01" W
C-5	175.00'	24.06'	47.81'	15°39'15"	47.66'	S 88°40'25" W
C-6	58.00'	2.22'	4.43'	4°22'35"	4.43'	N 81°18'40" W
C-7	58.00'	22.30'	42.58'	42°03'44"	41.63'	N 58°05'30" W
C-8	58.00'	22.31'	42.59'	42°04'30"	41.64'	N 16°01'23" W
C-9	58.00'	22.31'	42.59'	42°04'30"	41.64'	N 26°03'08" E
C-10	58.00'	22.31'	42.59'	42°04'30"	41.64'	N 68°07'38" E
C-11	58.00'	42.45'	73.29'	72°24'07"	68.51'	S 54°38'04" E
C-12	25.00'	20.31'	34.11'	78°10'52"	31.53'	S 44°24'31" E
C-13	58.00'	6.67'	13.28'	13°06'55"	13.25'	S 11°52'33" E
C-14	125.00'	94.44'	161.76'	74°08'39"	150.70'	N 59°25'43" E
C-15	125.00'	10.54'	21.03'	9°38'29"	21.01'	N 17°32'10" E

TAX MAP 127C, GROUP. D (1.01)
CAIRO LANDING SUBDIVISION
PHASE ONE P.B. 22 P. 15
H.O.A., INC
R.B. 2984, PAGE 160 R.O.S.C., TN
MONTICELLO PLACE
ZONED R-20 (PRD)



UTILITIES SHOWN ARE APPROXIMATE.
ALL UTILITIES ARE NOT SHOWN.

ROAD
 LOT 11
 TAX MAP 127 (006.03)
 GREGORY REAL ESTATE, LLC
 R.B. 4231, PAGE 60 R.O.S.C., TN
 110 CAROLINE WAY
 ZONED IR
 ODRIC GREGORY INDUSTRIAL PARK
 PHASE THREE
 PLAT BOOK 28 PAGE 301
 LOT 13
 TAX MAP 127 (006.03)
 GREGORY REAL ESTATE, LLC
 R.B. 4231, PAGE 60 R.O.S.C., TN
 120 CAROLINE WAY
 ZONED IR

- 1: THE PURPOSE OF THIS PLAT IS TO CREATE 16 NEW RESIDENTIAL LOTS.
- 2: DEED REFERENCES: H & M LOT DEVELOPMENT-R.B. 4160 P. 92
- 3: TAX MAP REFERENCE: MAP 127 PARCEL 5.07
- 4: I HEREBY CERTIFY THAT THIS PROPERTY SURVEY IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR BETTER AS SHOWN HEREON. ALL BUILDINGS AND IMPROVEMENTS SHOWN ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- 5: SURVEYOR'S NOTE: ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NUMBERS 47165C0 318G & 319G, EFFECTIVE DATE APRIL 17 2012, THIS PORTION OF THE PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD ZONE.
- 6: DATE: August 22, 2016
- 7: _____ RICHARD D. GRAVES _____ Tenn. R.L.S. No. 1628
- 8: CURRENT ZONING: MRO
- 9: CURRENT USE: VACANT, PROPOSED USE: DWELLING: ONE FAMILY DETACHED
- 10: PROPERTY ADDRESS: 1071-1084 Harper Dean Way.
- 11: TOTAL AREA BEING SURVEYED: 3.25 Acres + -
- 12: OWNERS:
H & M Lot Development
P.O. Box 574
Gallatin, TN. 37066
- 13: SURVEYOR'S NOTES:
13: ALL UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATION SHOWN SHOULD NOT BE RELIED UPON WITHOUT VERIFICATION FROM THE PROPER UTILITY AUTHORITY HAVING JURISDICTION.
- 14: THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE POLICY, THEREFORE THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH. THE SURVEYOR RESERVES THE RIGHT TO REVISE ANY EASEMENT(S) NOT PROVIDED FOR OR KNOWN OF PER THE DATE OF THIS SURVEY.
- 15: ONLY PAPER COPIES OF THIS SURVEY WITH THE SURVEYOR'S ORIGINAL STAMP AND SIGNATURE WILL CONSTITUTE AN ORIGINAL COPY OF THIS SURVEY.
- 16: SUBJECT TO ANY DRAINAGE THAT MAY CROSS THE PROPERTY DUE TO NATURAL CAUSES.
- 17: SUBJECT TO ANY LEASES, RIGHT-OF-WAYS, ENCROACHMENTS, EASEMENTS, LIENS, ETC. THAT MAY EXIST AND/OR APPLY TO THE SUBJECT PROPERTY.
- 18: LOTS IN THIS SUBDIVISION ARE NOT TO HAVE PRIVACY FENCES OR CLOTHES LINES IN YARDS.
- 19: VERTICLE DATUM: NAVD 1988
- 20: GREENWAY RESERVATION PER GALLATIN ON THE MOVE 2020 PLAN IS MADE IN OPEN SPACE AREAS SHOWN. PROVIDE GREENWAY RESERVATION PER GALLATIN ON THE MOVE 2020 PLAN.
- 21: NO GRADING SHALL BE ALLOWED IN STREAM BUFFER WITHOUT VARIANCE.
- 22: NOTE TO OWNERS: THE CAIRO ESTATES SUBDIVISION IS LOCATED WITHIN CLOSE PROXIMITY TO THE AIRPORT. THE AIRPORT RUNWAY IS LOCATED APPROX. 610 FEET TO THE SOUTHWEST OF LOT 1 OF THIS SUBDIVISION. THE PROJECTED NOISE LEVEL ON LOT 1 IS 65 DECIBELS. THERE IS THE POTENTIAL FOR INCREASED ACTIVITY IN THE FUTURE DUE TO RECENT EXPANSION OF THE AIRPORT.

Job # 13031TP3

ITEM 3

GMRPC Resolution No. 2016-107

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION AMENDING THE SITE PLAN FOR THE MCDONALD'S RESTAURANT ON A 1.03 (+/-) ACRE LOT, LOCATED AT 402 WEST MAIN STREET (PC FILE #8-2441-16)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION approved a Site Plan for McDonald's Restaurant in 1977; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Revised Site Plan submitted by the applicant, CMArchitects PLLC, at its regular meeting on September 26, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to Tennessee Code Annotated § 13-3-413, 13-4-310, and G.Z.O., § 15.03.020:

1. The amended Site Plan is consistent with the purpose and intent of the Commercial Services (CS) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum dimensions, and yard line requirements established in said zoning district.
2. The amended Site Plan is consistent with the standards and specifications of Section 15.03.020, Site Plan Required, of the Gallatin Zoning Ordinance.
3. The amended Site Plan complies with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13, Section 13.08, Architectural Character and Compatibility Standards), and Supplementary District Regulations (G.Z.O., Article 12.00) and Tennessee Code Annotated Title 13, Chapter 7, Sec. 208 (h).

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the amended Site Plan for McDonald's Corporation consisting of three (3) sheets (C2.0, C2.1, LS 1), prepared by Martin Consulting and Engineering of Spring Hill, TN., with drawing number 60246, dated May 26, 2016, and the architectural plans for McDonald's U.S.A. #041-0082 consisting of three (3) sheets (A2.0, A2.1 and T 1.0) prepared by CMArchitects of Nashville, TN, with project number 041-0082, with the following conditions:

1. The applicant shall obtain an approved building permit from the Building Department prior to any construction.
2. The applicant shall obtain an approved sign permit from the Planning Department prior to the installation of any signs.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 9/26/16

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

Susan High-McAuley
City Attorney



ITEM 3
PLANNING DEPARTMENT STAFF REPORT
Amended Site Plan for McDonald's Restaurant (8-1577-16)
307 East Main Street
Date: September 26, 2016

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF AN AMENDMENT TO THE SITE PLAN FOR THE MC DONALD'S RESTAURANT, ON A 1.03 ± ACRE LOT, LOCATED AT 402 WEST MAIN STREET.

OWNER: Mc Donald's Corporation
APPLICANT: CMARCHITECTS PLLC
STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2016-107
STAFF CONTACT: DENISE BROWN
PLANNING COMMISSION DATE: SEPTEMBER 26, 2016

PROPERTY OVERVIEW: Owner and applicant request approval of an amendment to the site plan for the McDonald's Restaurant, on a 1.03 ± acre lot, located at 402 West Main Street. The property is currently zoned Commercial Services and Food Services is a permitted use in the CS zone district. (Attachment 3-1 and 3-2)

CASE BACKGROUND:

Previous Approvals

In 1976, the Planning Commission approved the site plan for the construction of McDonald's Restaurant. (PC #8-5-70)

On February 4, 1987, the Planning Commission approved a minor addition to the McDonald's site plan. (PC #8-40-87)

In 1993, renovations to the site and building were approved administratively. (8-12-93S)

DISCUSSION:

Site Plan Amendments/Architectural Elevations

The applicant proposes changes to the site plan for McDonald's at 402 West Main Street. These consist of parking lot and building modifications including additions to the building and architectural modifications. Interior modifications will also be made, but are beyond the preview of the Planning Commission. The architectural changes are minor in nature and primarily pertain to the mansard roofline (parapet wall). (Attachment 3-3) The main change to the roofline removes the mansard roofline (parapet wall) and replaces it with (E.I.F.S.) and metal corrugated panels around the perimeter of the building. The overall architectural will be modified for a more modern look. The facades will be changed to a straight parapet wall similar to the remodeling's at other fast food service restaurants.

The building materials will remain the same as approved by Planning Commission; which is primarily brick. The front façade will contain mostly windows. The color scheme will consist of neutral and earth tone colors (see Sheet T1.0). The existing and proposed architectural elevations and color illustrations are provided in Attachments 3-2. Additional proposed changes are as follows:

- Towers ("Brand Wall"), consisting of a tiled surface, will be constructed on two (2) facades. One (1) tower will frame the public entrance on the east side of the building and the other will be located on the front façade. Each will include wall mounted signs of the McDonald's logo.
- Aluminum canopies will be installed over the walkways, windows, and public entrances.
- New wall-mounted light fixtures will be installed on the exterior of the building.
- Miscellaneous fixtures will be repainted or replaced to match adjacent exterior wall surfaces.

The existing building is 4446 sq. ft. The owner and applicant propose to add 919 sq. ft. to the front of the building to enclose the "playplace" area, where a new playground will be installed, and in addition, the restaurant seating area will be expanded. An 1156 sq. ft. expansion will be added to the back of the building to create additional storage areas and office space.

Parking and Site Improvements

Gallatin Zoning Ordinance, Section 11.03, requires restaurant (drive-in) facilities to provide the greater of 1 space/40 sq. ft. of customer service or dining area, or 1 space per 150 sq. ft. of gross building area. The greater of these parking requirements requires 49 parking spaces including two (2) handicapped parking spaces. Parking lot improvements and renovations will provide the required parking including three (3) handicapped parking spaces. Other site improvements are as follows:

- The dumpster pad will be renovated and the screening will be restructured to face in a southerly direction. The dumpster opening currently faces west.
- Miscellaneous site fixtures will be repainted or replaced.
- A second drive-thru lane will be constructed at the rear of the building.
- The cut-through drive-lane, located in front of the building, will be modified to allow for better vehicle circulation.
- A new landscape island will be installed along the front property line, around the base of the existing sign, and additional landscaping will be installed throughout the site.

Signs

The wall-mounted signs shown on the plan are conceptual drawings. A detailed sign package will be submitted to the Planning Department for approval at a later date. The applicant intends to retain the existing non-conforming freestanding sign. Tennessee Code Annotated Title 13, Chapter 7, Section 208 (h) allows for pre-existing non-conforming uses to remain on commercial properties. This means existing non-conforming conditions may remain and are not required to be modified.

Planning Department Comments

The Planning Department reviewed and commented on the revised site plan. The applicant satisfactorily addressed the Planning Department comments.

Engineering Division Comments

The Engineering Division reviewed the plan, but did not have any comments.

Building Department Comments

The Building Department reviewed and commented on the Site Plan. The owner and applicant shall comply with the following:

- The building department will review the plans upon submittal of a building permit application.
- Engineer reports will be required.

Other Departmental Comments

Other departments reviewed the plans but did not have any comments.

Findings

The project was designed to reflect the recommendations of the *2020 Plan* and be consistent with the intent and purpose of the Gallatin Zoning Ordinance. Staff, therefore, makes the following findings:

1. The amended Site Plan is consistent with the purpose and intent of the Commercial Services (CS) zone district and complies with the use restrictions, minimum bulk and height regulations, minimum dimensions, and yard line requirements established in said zoning district.
2. The amended Site Plan is consistent with the standards and specifications of Section 15.03.020, Site Plan Required, of the Gallatin Zoning Ordinance.
3. The amended Site Plan complies with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13, Section 13.08, Architectural Character and Compatibility Standards), and Supplementary District Regulations (G.Z.O., Article 12.00) and Tennessee Code Annotated Title 13, Chapter 7, Sec. 208 (h).

RECOMMENDATION:

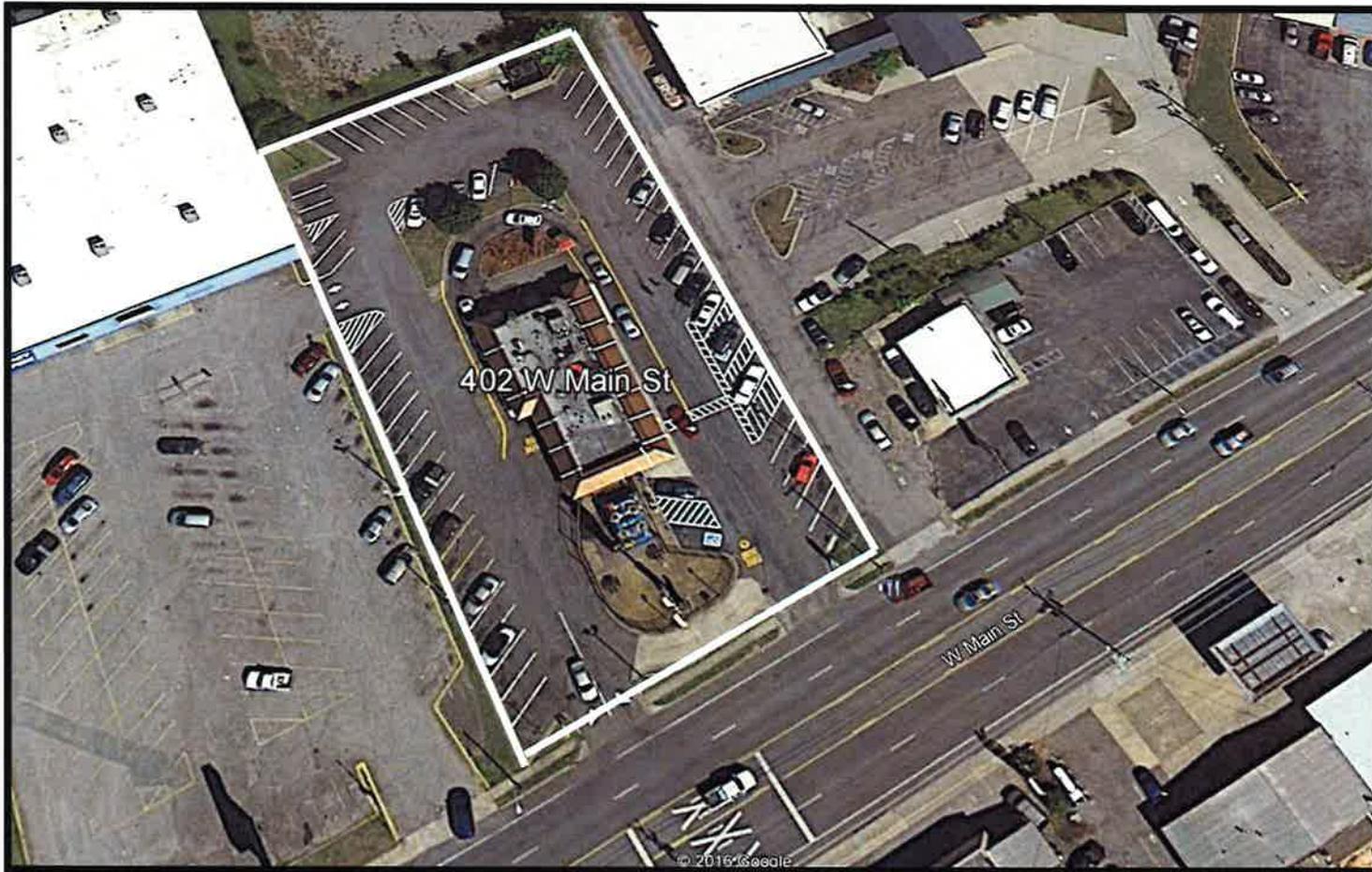
Staff recommends that the Planning Commission approve GMRPC Resolution 2016-107, the amended Site Plan for McDonald's Corporation consisting of three (3) sheets (C2.0, C2.1, LS 1), prepared by Martin Consulting and Engineering of Spring Hill, TN., with drawing number 60246, dated May 26, 2016, and the architectural plans for McDonald's U.S.A. #041-0082 consisting of three (3) sheets (A2.0, A2.1 and T 1.0) prepared by CMArchitects of Nashville, TN, with project number 041-0082, with the following conditions:

1. The applicant shall obtain an approved building permit from the Building Department prior to any construction.
2. The applicant shall obtain an approved sign permit from the Planning Department prior to the installation of any signs.

ATTACHMENTS

- Attachment 3-1 Location Map**
- Attachment 3-2 Site Plan and Architectural Elevations**
- Attachment 3-3 Photos of Existing McDonalds**

**McDonald's Amended Site Plan
402 West Main Street**



**126G/A/019.01
Zoned: Commercial Services**

ATTACHMENT 3-1

Existing



ATTACHMENT 3-3



CMArchitects

1500 4TH AVENUE NORTH #101
NASHVILLE, TENNESSEE 37208
615-244-9522

DATE-SHIP OF INSTRUMENTS OF SERVICE
All reports, drawings, specifications,
computer files, field data notes and
other documents and instruments
prepared by the architect or
instruments of service shall remain the
property of the Architect. Architect shall
retain all copyright, title, validity and
other reserved rights, including without
limitation, the copyrights therein.



McDonald's USA #041-0082

402 W MAIN ST
GALLATIN TN

Elevation Square Footages @ Drive Thru total sq ft
Brick = 1441 Sq Ft 57%
Tile = 28 Sq Ft 1%
EFIS = 494 Sq Ft 20%
Metal Band = 265 Sq Ft 11%
Glass = 266 Sq Ft 11%

Elevation Square Footages @ Non-Drive Thru total sq ft
Brick = 933 Sq Ft 40%
Tile = 148 Sq Ft 6%
EFIS = 667 Sq Ft 29%
Metal Band = 234 Sq Ft 11%
Glass = 325 Sq Ft 14%



- T/BRAND WALL 19'-3"
- T/PARAPET 17'-11"
- B/CORRUGATED BAND
- T/PP STOREFRONT 17'-1 3/4"
- B/DT CANOPY/TRELLIS/FASCIA 11'-4"
- B/CANOPY/TRELLIS/FASCIA 9'-0"
- T/WINDOW 8'-0"
- T/STOREFRONT 7'-11"
- B/WINDOW 3'-0"
- B/NEW STOREFRONT 2'-0"
- T/SLAB 0"

- T/ENTRY HEARTH 19'-3"
- T/PARAPET 17'-11"
- T/PP STOREFRONT 17'-1 3/4"
- B/CORRUGATED BAND
- B/CANOPY/TRELLIS/FASCIA 9'-0"
- T/STOREFRONT 7'-11"
- B/NEW STOREFRONT 2'-0"
- B/STOREFRONT 9 1/4"
- T/SLAB 0"

2 Non-Drive-Thru Elevation
3/16" = 1'-0"

Elevation Key Notes

- BR - FACE BRICK
- B1 - TYPE (COLOR - SEE COLOR LEGEND)
- B2 - EXISTING UNPAINTED MASONRY
- B3 - PAINTED MASONRY-COLOR BASE BUILDING
- B3 - PAINTED MASONRY-COLOR ACCENT
- C1 - ALUMINUM CANOPY (COLOR: BENJAMIN MOORE CHANTILLY LACE BM OC-65)
- C2 - ALUMINUM CANOPY TIE-BACK
- C - METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- MATCH
- CM - CORRUGATED METAL PANEL - (SEE COLOR LEGEND)
- C1 - COLOR: C1 - "CITYSCAPE" BY METAL ERA
- CS - OUTSIDE CORNER STRIPS COLOR: BRUSHED ANTIQUE BRONZE BY SCHLUTER SYSTEMS L.P. CONTACT EARL MANCUS (518) 324 - 3410 FIND OF TILE FIELD ABOVE ROOF AT ARCADE COLOR BRUSHED ANTIQUE BRONZE, RONDEC R01005P
- D - HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E - EXTERIOR INSULATION FINISH SYSTEM (EIFS) TYPE (COLOR-SEE COLOR LEGEND)
- E1 - BASE BUILDING
- E2 - ACCENT
- CR - GUARDRAIL
- L - LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- L1 - UP AND DOWN FIXTURE
- L2 - DOWN ONLY FIXTURE
- LE - ACCENT LIGHTING - SEE ELECTRICAL
- LT - LED LIGHT: L1 - UP AND DOWN FIXTURE L2 - DOWN ONLY FIXTURE L3 - INTEGRAL CANOPY FIXTURE L4 - UP ONLY FIXTURE
- MJ - MOVEMENT JOINT - COLOR TO MATCH GROUT
- ML - METAL LETTING - BY OTHERS (COLOR SILVER)
- MS - EXISTING MECHANICAL SCREEN
- PB - PIPE BOLLARD - PAINTED YELLOW
- PT - PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- RO - ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S - McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT
- SS - SUN SCREEN
- T1 - ALUMINUM TRELLIS
- T2 - ALUMINUM TRELLIS TIE-BACK
- T3 - ALUMINUM TRELLIS 2x8 WALL FASCIA
- TL - TILE - SEE COLOR LEGEND @ BRANDWALL CONTACT: JAN DETER, (714) 937 - 7500
- W1 - NEW STOREFRONT AND GLAZING 1 - NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES 2 - EXISTING WINDOW TO REMAIN

Color Legend		All colors are per Benjamin Moore paints, U.N.O	
Khaki/ Black Color Scheme	Brand Wall Base Building Accent Color DT Surround Parapet Band	Eurowest**E-Wood Black Bleeker Beige Alexandria Beige Alexandria Beige Corrugated Metal - City-Scape Metal Era	#Mortar- Mapei - 47 Charcoal #BM HC-170 #BM HC-77 #BM HC-77



No.	Description	Date
1		11/25/11
2		1/10/12
3		4/31/12
4		1/24/13



Elevations

A 2.0

8-2441-16

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CMArchitects

1500 4TH AVENUE NORTH #101
NASHVILLE, TENNESSEE 37208
615-244-9622

SCOPE OF INSTRUMENTS OF SERVICE
All reports, drawings, specifications, computer files, field data, notes and other documents and instruments prepared by the Architect or instruments of service shall remain the property of the Architect. Architect and other reserved rights, including, without limitation, the right to use them.



PROJECT

McDonald's USA #041-0082

402 W MAIN ST
GALLATIN TN

No. Description Date

DATE
TAC
#041-0082
Project Date



Elevations

DRAWING NUMBER
A 2.1

9/13/2016 9:13:47 PM

Elevation Square Footages @ Rear total sq ft
Brick = 396 Sq Ft 50%
EIFS = 286 Sq Ft 36%
Metal Band = 117 Sq Ft 15%



- T/ENTRY HEARTH
19' - 3"
 - T/PARAPET
17' - 11"
 - B/CORRUGATED BAND
15' - 4"
 - B/ DT
CANOPY/TRELLIS/FASCIA
11' - 4"
 - B/CANOPY/TRELLIS/FASCIA
9' - 0"
 - T/SLAB
0"
- 1 Rear Elevation
3/16" = 1'-0"

Elevation Square Footages @ Front total sq ft
Brick = 127 Sq Ft 16%
Tile = 154 Sq Ft 19%
EIFS = 105 Sq Ft 13%
Metal Band = 40 Sq Ft 5%
Glass = 378 Sq Ft 47%



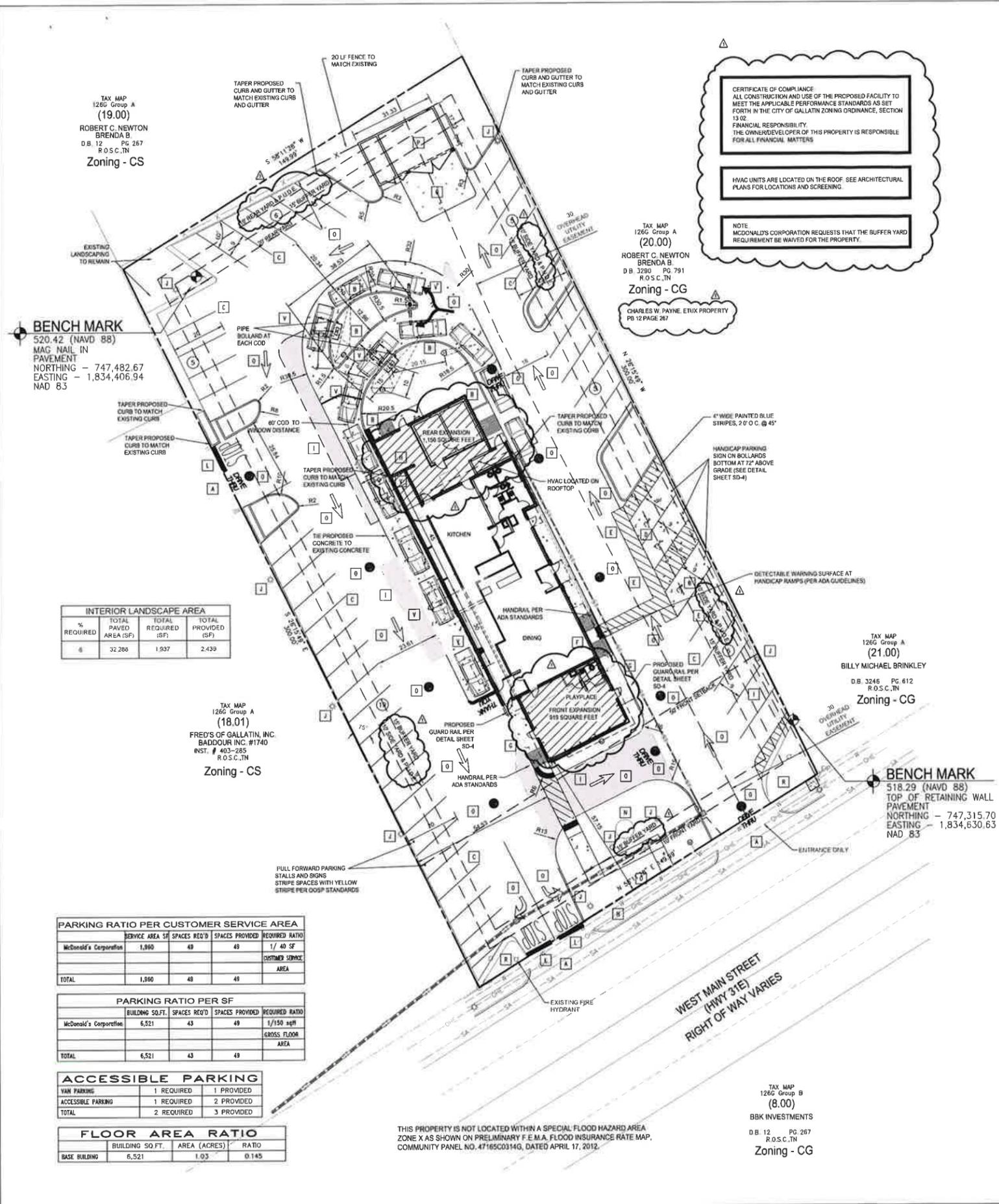
- T/BRAND WALL
19' - 3"
 - T/PARAPET
17' - 11"
 - T/PP STOREFRONT
17' - 1 3/4"
 - B/ DT
CANOPY/TRELLIS/FASCIA
11' - 4"
 - B/CANOPY/TRELLIS/FASCIA
9' - 0"
 - T/STOREFRONT
7' - 11"
 - B/NEW STOREFRONT
2' - 0"
 - B/STOREFRONT
9 1/4"
 - T/SLAB
0"
- 2 Front Elevation
3/16" = 1'-0"

Elevation Key Notes

- BR FACE BRICK
- B1 TYPE: (COLOR - SEE COLOR LEGEND)
- B1 - EXISTING UNPAINTED MASONRY
- B2 - PAINTED MASONRY-COLOR BASE BUILDING
- B3 - PAINTED MASONRY-COLOR ACCENT
- C1 ALUMINUM CANOPY (COLOR - BENJAMIN MOORE, CHANTILLY LACE BM OC-65)
- C2 ALUMINUM CANOPY TIE-BACK
- C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- MATCH
- CM CORRUGATED METAL PANEL - (SEE COLOR LEGEND)
- C1 COLOR
- C1 = "CITYSCAPE" BY METAL ERA
- CS OUTSIDE CORNER STRIPS
- COLOR BRUSHED ANTIQUE BRONZE
- BY SCHLUTER SYSTEMS L.P.
- CONTACT: EARL MANCUSI, (516) 324 - 3410
- FIND OF TILE FIELD ABOVE ROOF AT ARCADE
- COLOR BRUSHED ANTIQUE BRONZE, RONDEC RO100SP
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E EXTERIOR INSULATION FINISH SYSTEM (E I.F.S.)
- TYPE: (COLOR-SEE COLOR LEGEND)
- E1 - BASE BUILDING
- E2 - ACCENT
- GR GUARDRAIL
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- L1 - UP AND DOWN FIXTURE
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- L3 - INTEGRAL CANOPY FIXTURE
- L4 - UP ONLY FIXTURE
- MJ MOVEMENT JOINT - COLOR TO MATCH GROUT
- ML METAL LETTING - BY OTHERS (COLOR SILVER)
- MS EXISTING MECHANICAL SCREEN
- PB PIPE BOLLARD - PAINTED YELLOW
- PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- RO ROOF DRAIN OVERFLOW PIPE
- PAINT TO MATCH SURROUNDING MATERIAL
- S MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT
- SS SUN SCREEN

- T1 ALUMINUM TRELLIS
- T2 ALUMINUM TRELLIS TIE-BACK
- T3 ALUMINUM TRELLIS 2x8 WALL FASCIA
- TL TILE - SEE COLOR LEGEND @ BRANDWALL
- CONTACT: JAN DETER, (714) 937 - 7500
- W1 NEW STOREFRONT AND GLAZING
- 1 - NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES
- 2 - EXISTING WINDOW TO REMAIN

Color Legend		All colors are per Benjamin Moore paints, U.N.O	
Khaki/ Black Color Scheme	Brand Wall	Eurowest**E-Wood Black	#Mortar- Mapei - 47 Charcoal
	Base Building	Bleeker Beige	#BM HC-170
	Accent Color	Alexandria Beige	#BM HC-77
	DT Surround	Alexandria Beige	#BM HC-77
	Parapet Band	Corrugated Metal - City-Scape Metal Era	



CERTIFICATE OF COMPLIANCE
ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
FINANCIAL RESPONSIBILITY:
THE OWNER/DEVELOPER OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.

HVAC UNITS ARE LOCATED ON THE ROOF. SEE ARCHITECTURAL PLANS FOR LOCATIONS AND SCREENING.

NOTE:
MCDONALD'S CORPORATION REQUESTS THAT THE BUFFER YARD REQUIREMENT BE WAIVED FOR THE PROPERTY.

SITE PLAN LEGEND

A	EXISTING ACCESS DRIVE
B	6"x18" STANDARD CURB PER MCDONALD'S SPECIFICATIONS
C	9'x20' 80', 75' AND 80' STANDARD PARKING SPACE MARKED WITH 4" WIDE WHITE PAINT STRIPE. MEASURED FROM CENTER OF STRIPE TO CENTER OF STRIPE.
D	9'x20' 80' ACCESSIBLE PARKING SPACE WITH BLUE PAINTED GRAPHIC & SIGN AND 4" BLUE PAINT STRIPE. MEASURED FROM CENTER OF STRIPE TO CENTER OF STRIPE.
E	5'x20' AND 8'x20' 60' ACCESSIBLE AISLE MARKED WITH 4" BLUE PAINT STRIPE. MEASURED FROM CENTER OF STRIPE TO CENTER OF STRIPE.
F	SIDEWALK RAMP WITH NON-SLIP SURFACE (12:1 MAX SLOPE) PER ADA STANDARDS
G	4" THICK FIBER REINFORCED CONCRETE SIDEWALK WITH MONOLITHIC CURB
H	4" THICK FIBER REINFORCED CONCRETE SIDEWALK
I	BITUMINOUS PAVEMENT 165# / SYD (1 1/2") BITUMINOUS SURFACE (#12) OVER 275# / SYD (2 1/2") BITUMINOUS BASE (#8) OVER 6" COMPACTED AGGREGATE BASE (#53)
J	EXISTING SITE LIGHTING
X	NOT USED
L	12" WIDE x 10' LONG WHITE PAINTED STOP BAR
M	POLE MOUNTED TRANSFORMER
N	EXISTING MCDONALD'S ROAD SIGN
O	PAVEMENT MARKINGS PER MCDONALD'S STANDARDS
P	PROPOSED TRASH DUMPSTER - 6' HIGH ENCLOSURE (MIN.)
Q	PROPOSED FIBER REINFORCED CONCRETE DUMPSTER PAD
R	EXISTING DIRECTIONAL SIGN
S	PIPE BOLLARD
T	HOSE BIBB
U	NOT USED
V	CONCRETE 10'-0" WIDE x 5" THICK 3,000 PSI WITH INTEGRAL LOOP DETECTOR AT CUSTOMER ORDER DISPLAY. SEE ELECTRICAL PLANS FOR DETECTOR SPECIFICATIONS.

SEE SHEET DT-1.0 FOR DRIVE THRU CONFIGURATION AND LAYOUT

NOTE:
1) REQUIREMENTS THAT ACCESSIBLE ROUTES NOT HAVE CROSS SLOPES OVER 2.0% OR RUNNING SLOPES GREATER THAN 5.0% WITH NO OFFSETS GREATER THAN 1/2".
2) USE 7.5% AS MAXIMUM TARGET SLOPE FOR CURB RAMP.
3) USE MAXIMUM TARGET SLOPE OF 1.8% FOR HANDICAP PARKING PAD.
4) GRADES TO REMAIN CONSTANT BETWEEN SPOT ELEVATIONS GIVEN FOR ACCESSIBLE SURFACES.

SITE DATA
PROJECT NAME: MCDONALD'S PARKING LOT REVISIONS
CURRENT OWNER: MCDONALD'S CORPORATION
454 HARDING PIKE, SUITE 220
NASHVILLE, TN 37205

ZONING - CS (COMMERCIAL SERVICES)
TAX MAP 1266 GROUP A, PARCEL 019.01

402 WEST MAIN STREET
GALLATIN, TN

YARDS		
FRONT	SIDE	REAR
10'	10'	20'

SETBACK: 50'

EXISTING USE: MCDONALD'S RESTAURANT/FOOD SERVICE
PROPOSED USE: MCDONALD'S RESTAURANT/FOOD SERVICE

DENSITY
EXISTING BUILDING SQUARE FOOTAGE: 4,446 SF
PROPOSED BUILDING SQUARE FOOTAGE: 6,521 SF
TOTAL SQUARE FOOTAGE: 6,521 SF
SQUARE FOOTAGE OF EACH USE: 6,521 SF RESTAURANT
HEIGHT: ONE STORY, 16'4" TALL
LANDSCAPE SURFACE RATIO: 0.60
EXISTING ACERAGE/SQUARE FOOTAGE OF LOT: 1.03 ACRES/44,788 SF

PARKING
BASED ON SQUARE FOOTAGE
MINIMUM PARKING REQUIREMENT: 1 SP/150 SF
PARKING REQUIRED: 43 SPACES
PARKING PROVIDED: 49 SPACES

BASED ON SERVING AREA
MINIMUM PARKING REQUIREMENT: 1 SP/40 SF
TOTAL SERVING AREA: 1,850 SF
PARKING REQUIRED: 46 SPACES
PARKING PROVIDED: 49 SPACES

LANDSCAPING AND BUFFERING
IMPERVIOUS SURFACE AREA: 32,288
I.A. EXISTING: 1,730 SF
I.A. REQUIRED: 1,937 SF
I.A. PROPOSED: 2,439 SF
OPEN SPACE PROVIDED: 5,978 SF

GENERAL NOTES:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PATIOS, RAMPS, SLOPED PAVING, AND BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

GENERAL NOTES

- MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR. DIMENSION OF LIGHT POLE BASES BEHIND CURB AT 2'.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE POINT OF SERVICE CONNECTION OF EXISTING UTILITY REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. CONSTRUCTION SHALL NOT START UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE UTILITY COMPANY. A MINIMUM OF 48 HOURS IS REQUIRED FOR NOTIFICATION.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
- ALL PHASES OF SITE WORK SHALL MEET OR EXCEED MCDONALD'S SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

TYPE OF BUILDING :
EXISTING BUILDING

PAVING SPECIFICATION

LOT LIGHTING RECOMMENDATION

PARKING INFORMATION

TOTAL SPACES	TWENTY-TWO SPACES	FIVE SPACES	THREE (H) SPACES	NINETEEN SPACES
49	9'-0" X 20'-0" @ 60"	9'-0" X 20'-0" @ 90"	8'-0" X 20'-0" @ 60"	9'-0" X 20'-0" @ 75"

UTILITY INFORMATION

SIZE	TYPE	LOCATION
SANITARY SEWER	GRAVITY	AT FRONT OF SITE
WATER		
STORM SEWER	RCP	ON SITE
ELECTRIC	OVERHEAD	AT REAR OF BUILDING
GAS	UNDERGROUND	AT REAR OF BUILDING

SURVEY INFORMATION

PREPARED BY: MARTIN CONSULTING & ENGINEERING, LLC
5226 MAIN STREET, SUITE 3
SPRING HILL, TN 37147

TELEPHONE: (615) 812-2147
FAX: (615) 812-2147

DATE: -
REV: -

LEGEND

SANITARY SEWER	WATER	GAS	ELECTRIC
LOT LIGHT	EXISTING ELEVATION	PROPOSED ELEVATION	FIRE HYDRANT

PLAN SCALE: 1" = 20'

STREET ADDRESS
402 WEST MAIN STREET

CITY: GALLATIN
STATE: TN

COUNTY: SUMNER

REGIONAL DWG. NO: 60246
LOCATION CODE NUMBER: 041-0082

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	DATE

REGIONAL MGR. _____
CONS. MGR. _____
OPERATIONS DEPT. _____
REAL ESTATE DEPT. _____
CONTRACTOR _____
OWNER _____

STATUS
PRELIMINARY
DATE: 05-12-16
BY: KAC

PLAN CHECKED
AS-BUILT

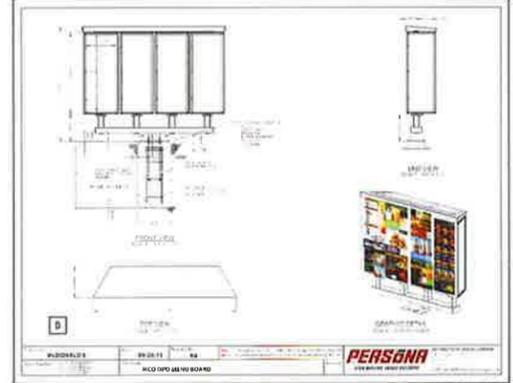
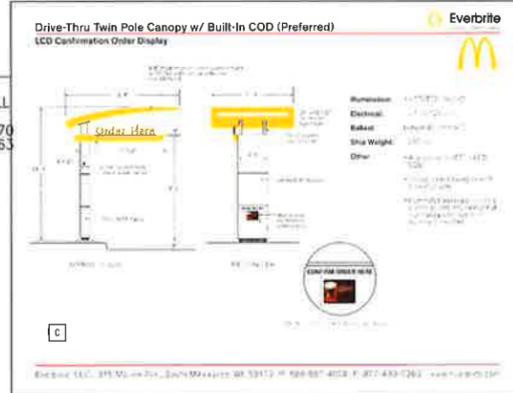
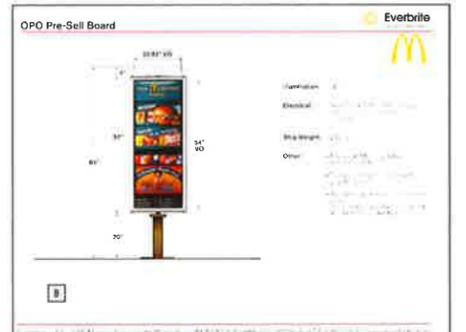
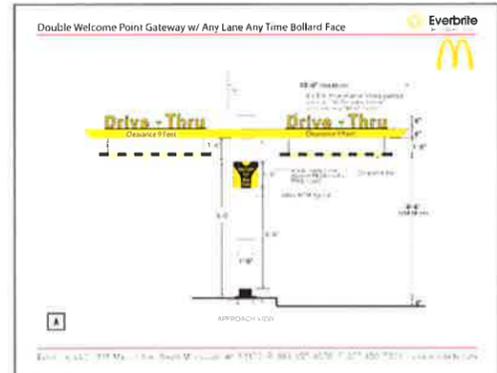
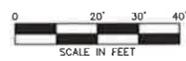
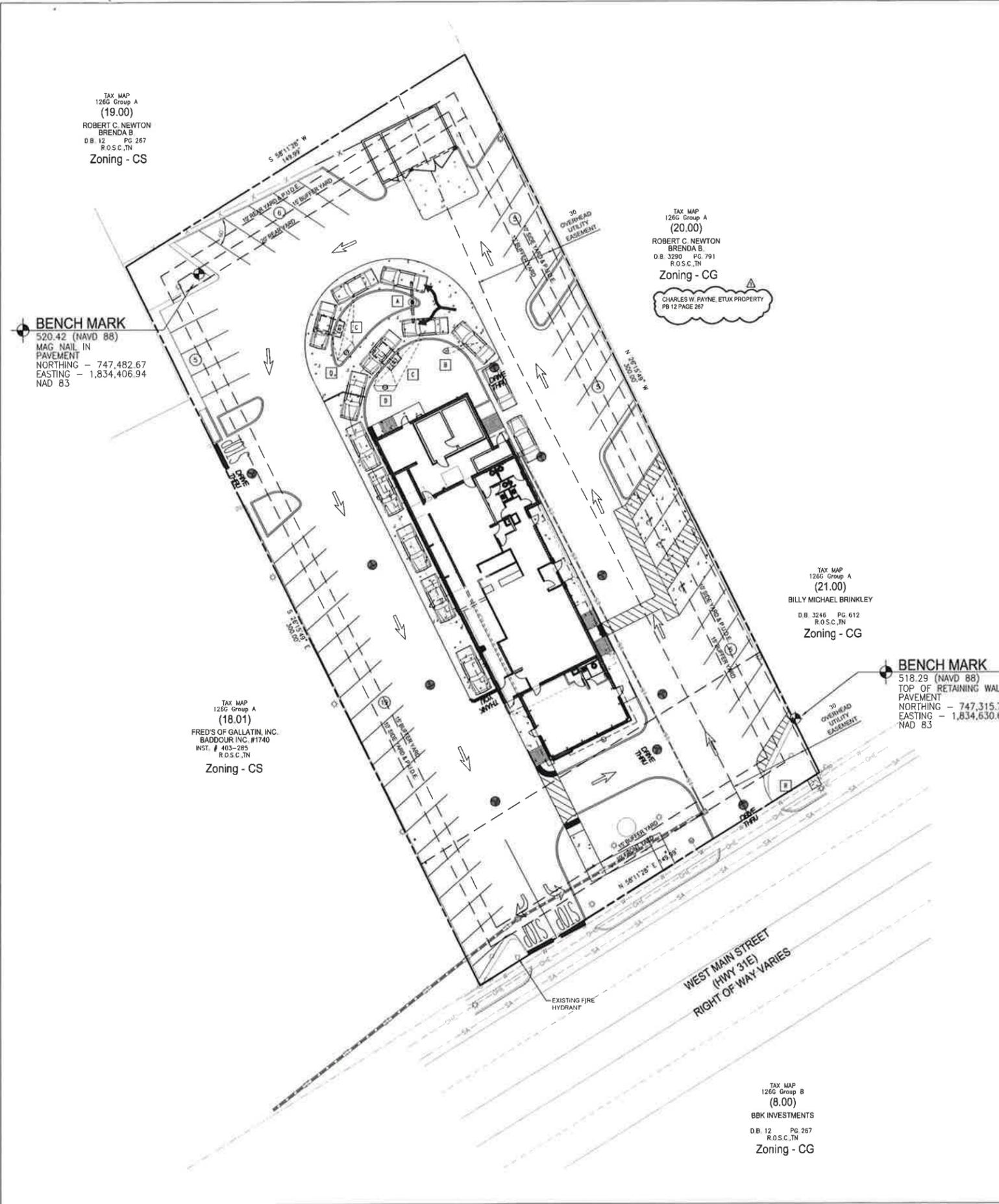
SITE PLAN C 2.0

McDonald's USA, LLC

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ADDRESS: 250 W. 96TH STREET, SUITE 500, INDIANAPOLIS, IN 46260

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	09-09-16	REVISED PER PLANNING COMMENTS	KAC	



THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ZONE X AS SHOWN ON PRELIMINARY F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 4716S0314G, DATED APRIL 17, 2012

GENERAL NOTES		ISSUE REF
1. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.		
2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.		
3. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR. DIMENSION OF LIGHT POLE BASES BEHIND CURB AT 2'.		
4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.		
5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.		
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE POINT OF SERVICE CONNECTION OF EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. CONSTRUCTION SHALL NOT START UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE UTILITY COMPANY. A MINIMUM OF 48 HOURS IS REQUIRED FOR NOTIFICATION.		
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.		
8. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.		
9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.		
10. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOALS. REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.		
11. ALL PHASES OF SITE WORK SHALL MEET OR EXCEED McDONALD'S SPECIFICATIONS.		
12. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.		
TYPE OF BUILDING : EXISTING BUILDING		
PAVING SPECIFICATION		
NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPARISON TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, FOR ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, S.C. WILL BE CHANGED.		
LOT LIGHTING RECOMMENDATION		
PARKING INFORMATION		
TOTAL SPACES	TWENTY-TWO SPACES 9'-0" X 20'-0" @ 60'	
49	FIVE SPACES 9'-0" X 20'-0" @ 90'	
	THREE (H) SPACES 8'-0" X 20'-0" @ 60'	
	NINETEEN SPACES 9'-0" X 20'-0" @ 75'	
UTILITY INFORMATION		
	SIZE TYPE LOCATION	
SANITARY SEWER	= GRAVITY AT FRONT OF SITE	
WATER	=	
STORM SEWER	= RCP ON SITE	
ELECTRIC	= OVERHEAD AT REAR OF BUILDING	
GAS	= UNDERGROUND AT REAR OF BUILDING	
SURVEY INFORMATION		
PREPARED BY:	MARTIN CONSULTING & ENGINEERING, LLC 5226 MAIN STREET, SUITE 3 SPRING HILL, TN 37147	
TELEPHONE:	(615) 812-2147	DATE: -
FAX:		REV: -
LEGEND		
-SAN- SANITARY SEWER	-C- GAS	
-W- WATER	-UGT- UTILITY	
-W- STORM SEWER	-LOT LIGHT- LOT LIGHT	
-UGE- ELECTRIC	-FIRE HYDRANT- FIRE HYDRANT	
	EXISTING ELEVATION 75.5	
	PROPOSED ELEVATION 77.0	
PLAN SCALE: 1" = 20'		
STREET ADDRESS		
402 WEST MAIN STREET		
CITY	STATE	STATUS
GALLATIN	TN	PRELIMINARY
COUNTY		DATE
SUMNER		05-12-16
REGIONAL DWG. NO	LOCATION CODE NUMBER	BY
60246	041-0082	KAC
SIGNAGE PLAN		
C 2.1		



McDonald's USA, LLC

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or for a later time. Use of these drawings and specifications by other contractors and engineers, reproduction of the contract documents for reuse on another project is not authorized.

ADDRESS: 250 W. 96TH STREET, SUITE 500, INDIANAPOLIS, IN 46260

PLAN APPROVALS		DATE
REGIONAL MGR	SIGNATURE (2 REQUIRED)	
CONTR. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR	CO-SIGN SIGNATURES	
OWNER		

TAX MAP
1266 Group A
(19.00)
ROBERT C. NEWTON
BRENDA B.
D.B. 12 PG 267
R.O.S.C., TN
Zoning - CS

NOTE:
MCDONALD'S CORPORATION REQUESTS THAT THE BUFFER YARD
REQUIREMENT BE WAIVED FOR THE PROPERTY.

TAX MAP
1266 Group A
(20.00)
ROBERT C. NEWTON
BRENDA B.
D.B. 3290 PG 791
R.O.S.C., TN
Zoning - CG

CHARLES W. PAYNE, ETUX PROPERTY
PB 12 PAGE 267

TAX MAP
1266 Group A
(18.01)
FRED'S OF GALLATIN, INC.
BADDOUR INC. #1740
INST. # 403-285
R.O.S.C., TN
Zoning - CS

TAX MAP
1266 Group A
(21.00)
BILLY MICHAEL BRINKLEY
D.B. 3246 PG 612
R.O.S.C., TN
Zoning - CG

TAX MAP
1266 Group B
(8.00)
BBK INVESTMENTS
D.B. 12 PG 267
R.O.S.C., TN
Zoning - CG

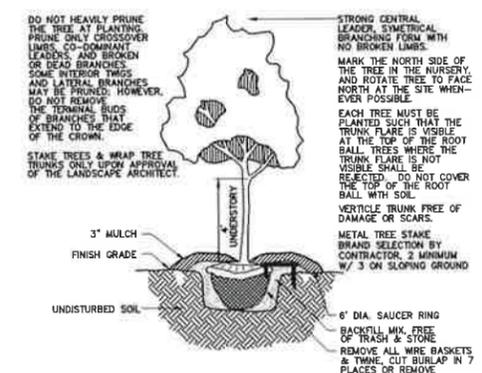


LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
2. ALL PLANTING AND MULCH BEDS SHALL BE HAND WEDED OR SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
3. PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
5. ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12871000 S.F. OF 10-10-10 FERTILIZER.
6. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
7. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
8. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
9. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
10. ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE PLAN.
11. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.
12. NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY TSQUARE ENGINEERING. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
13. ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF. BURLAP SHOULD BE REMOVED OR PUNCTURED IN AT LEAST 5 PLACES. REMOVE ALL TWINE FROM BURLAPED MATERIALS.

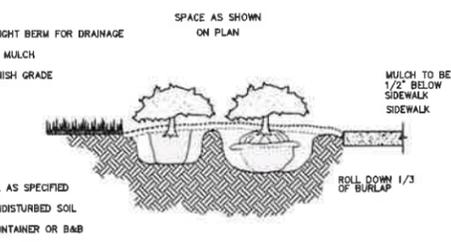
PLANT LIST						
QUANTITY	LABEL	COMMON NAME	GENUS AND SPECIES	SIZE	SPACING	REMARKS
3	UP	CHINESE ELM	<i>Ulmus Parvifolia</i>	3" CAL	PLANT AS SHOWN	4' CLEAR TRUNK MIN
3	ZB	ZELKOVA	<i>Zelkova serrata</i>	2.5" CAL	PLANT AS SHOWN	4' CLEAR TRUNK MIN
17	CA	KARL FORESTER REED GRASS	<i>Calamagrostis x acutiflora 'Karl Forester'</i>	3 GAL	PLANT AS SHOWN	FULL PLANT
21	PL	OTTO LUYKEN CHERRY LAUREL	<i>Prunus lauro-cerasus 'Otto Luyken'</i>	24" x 36"	5'0" O.C.	WELL FORMED
4	CC	RISING SUN REDBUD	<i>Cercis canadensis 'Rising Sun'</i>	2.5" CAL	PLANT AS SHOWN	4' CLEAR TRUNK MIN
8	SJ	GOLD MOUND SPIREA	<i>Spiraea japonica 'Gold Mound'</i>	3 GAL	4" O.C.	FULL PLANT
5	PV	HEAVY METAL SWITCHGRASS	<i>Panicum virgatum 'Heavy Metal'</i>	3 GAL	PLANT AS SHOWN	FULL PLANT
11	IV	HENRY'S GARNET ITEA	<i>Itea virginica 'Henry's Garnet'</i>	3 GAL	5'0" O.C.	18" HT
26	CM	VARIEGATED JAPANESE SEDGE GRASS	<i>Carex morrowii 'Variegata'</i>	1 GAL	1'6" O.C.	FULL
2	L	CRAFEMYRTLE	<i>Lagerstroemia indica</i>	2.5" CAL	PLANT AS SHOWN	4' CLEAR TRUNK MIN

INTERIOR PLANTING AREAS
8% OF GROSS PARKING AREA TO BE LANDSCAPED
TOTAL PARKING AREA - 31,005 SF
INTERIOR PLANTING AREA REQUIRED - 31,005 x 0.08 = 1,880 SF
INTERIOR PLANTING AREA PROVIDED - 4,071 SF



DECIDUOUS TREE PLANTING DETAIL

THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ZONE X AS SHOWN ON PRELIMINARY F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47165C0314G, DATED APRIL 17, 2012.



SHRUB / GROUNDCOVER PLANTING DETAIL

GENERAL NOTES

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4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE POINT OF SERVICE CONNECTION OF EXISTING UTILITY REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. CONSTRUCTION SHALL NOT START UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE UTILITY COMPANY. A MINIMUM OF 48 HOURS IS REQUIRED FOR NOTIFICATION.
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TYPE OF BUILDING :
EXISTING BUILDING

PAVING SPECIFICATION

NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPARISON TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, U.G. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

PARKING INFORMATION	
TOTAL SPACES	49
TWENTY-TWO SPACES	9'-0" X 20'-0" @ 60'
FIVE SPACES	9'-0" X 20'-0" @ 90'
THREE (H) SPACES	8'-0" X 20'-0" @ 60'
NINETEEN SPACES	9'-0" X 20'-0" @ 75'

UTILITY INFORMATION

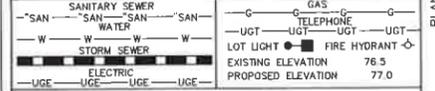
SIZE	TYPE	LOCATION
SANITARY SEWER	GRAVITY	AT FRONT OF SITE
WATER		
STORM SEWER	RCP	ON SITE
ELECTRIC	OVERHEAD	AT REAR OF BUILDING
GAS	UNDERGROUND	AT REAR OF BUILDING

SURVEY INFORMATION

PREPARED BY: MARTIN CONSULTING & ENGINEERING, LLC
5226 MAIN STREET, SUITE 3
SPRING HILL, TN 37147

TELEPHONE: (615) 812-2147 DATE: -
FAX: - REV: -

LEGEND



PLAN SCALE: 1" = 20'

STREET ADDRESS
402 WEST MAIN STREET

CITY	STATE	STATUS	DATE	BY
GALLATIN	TN	PRELIMINARY	05-12-16	KAC
COUNTY	SUMNER	PLAN CHECKED		
		AS-BUILT		

REGIONAL DWG. NO.	LOCATION CODE NUMBER
60246	041-0082



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ADDRESS: 250 W. 96TH STREET, SUITE 500, INDIANAPOLIS, IN 46260

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATING MGR.		
REAL ESTATE DEPT.		
CONTRACTOR		
CHECKER		

CO-SIGN SIGNATURES

LANDSCAPE PLAN
LS 1

ITEM 4

GMRPC Resolution No. 2016-110

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A MINOR AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR GREENLEA COMMONS AND APPROVING A REVISED FINAL MASTER DEVELOPMENT PLAN FOR THE VILLAGE AT PEYTONA DOWNS CONTAINING 304 MULTI-FAMILY UNITS ON 21.01 (+/-) ACRES, LOCATED WEST OF GREENLEA BOULEVARD, EAST OF ST. BLAISE ROAD AND NORTH OF NASHVILLE PIKE (8-2445-16)

WHEREAS, the applicant submitted an Amended Preliminary Master Development Plan/Revised Final Master Development Plan consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Amended Preliminary Master Development Plan/Revised Final Master Development Plan submitted by the applicant, JPL Development, LLC., at its regular meeting on September 26, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant T.C.A. § 13-3-413, § 13-4-310, §13-7-201, and §13-7-202 and §12.02 and §15.07 of the City of Gallatin Zoning Ordinance:

1. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the GreenLea Business Center Character Area Category.
2. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is consistent with the purpose and intent of the Multiple Residential and Office Planned Unit Development (MRO PUD) zone district, the amended Greensboro Village PUD (4-290-15) and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in said zone district with conditions and the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
3. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan complies with the approved Preliminary Master Development

ITEM 4

Plan for the GreenLea Commons (now known as The Village at Peytona Downs) (4-290-15).

4. The project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing uses or intended character of the general vicinity. As designed, the proposed modifications to the Final Master Development Plan for The Village at Peytona Downs will not change the essential character of the area.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Amended Preliminary Master Development Plan for GreenLea Commons and a Revised Final Master Development Plan for The Village at Peytona Downs consisting of a twenty-six (26) sheet plan, prepared by Lose & Associates, Inc. of Nashville, Tennessee, with project number 16115, dated August 20, 2016, Architectural Elevations and Photometric Plan consisting of a sixteen (16) sheet plan, prepared by JPL Development, LLC., of St. Lois, Missouri, with job number 216024, dated July 26, 2016, and Landscaping Plan, consisting of a seven (7) sheet plan, prepared by Alaback Design Associates of Tulsa, Oklahoma, with job number 16042, dated September 15, 2016 with the following conditions:

1. Amend street address in Site Data Table to indicate project street address of 1137 GreenLea Boulevard.
2. Correct the Maximum Density Per Acre in the Site Data table on Sheet C0.00 to 14.5 units/acre.
3. Correct the Maximum Gross Density and the Maximum Overall Density in the Site Data table on Sheet C1.00 to 14.5 units per acre.
4. Correct the 26.6' Buffer label to 30' Buffer on all site layout sheets.
5. Correct and verify the site address to 1137 GreenLea Boulevard (E-911).
6. Correct and verify the fence to be installed around the dog park (vinyl coated chain linked or ornamental fence).
7. On the civil engineering sheets identify the building numbers and building types (Building Type I-III and Garage Lofts).
8. On the architectural sheets identify the building types (Building Type I-III and Garage Lofts).
9. Amend the plan sheets (LS 1.0 thru LS1.6) to indicate the project name as The Village at Peytona Downs.
10. Add a note to the revised landscaping plan that the owner of the property and/or the owner of the apartment complex will assume full responsibility for any infrastructure damaged by the installation or growth of the trees and be responsible

ITEM 4

for the long term care and maintenance of the trees planted within the City owned right-of-way.

11. Verify and correct the elevations on pipe K3-K4 to K7.
12. Verify and correct the contours around Bioretention Pond #4.
13. Verify and correct the elevation of the detail #2 on Sheet C2.91. Dimension the outlet pipe size and verify the outlet invert elevation.
14. Correct the secondary entrance from GreenLea Boulevard hatched as asphalt to be hatched as concrete.
15. Extend the proposed sidewalk in front of the dog park along GreenLea Boulevard southeasterly to the property line.
16. Verify and correct the calculated treatment volume T_v for bioretention area #1 appears to be half of what it should be. Please also note that a 10% reduction credit in stormwater volume is allowed for high density development as per Article 6 – 4(b)(iii) of the Gallatin Stormwater Ordinance.
17. Convey by Deed or platted, acceptable to the City Attorney, that portion of right-of-way for the relocation of St. Blaise Road located south and west of the project boundary and adjacent to St. Blaise Road and the easement for the sidewalk and electrical service prior to Certificate of Occupancy for buildings.
18. Provide a copy of the recorded Stormwater Maintenance Agreement to the Engineering Division prior to issuance of any building permits.
19. Provide a Hold Harmless Agreement and Certificate of Liability Insurance, acceptable to the City Attorney, to the Planning Department prior to issuance of any building permits.
20. Provide a site surety, in the form of cash, certified check, or Irrevocable Letter of Credit to the Planning Department prior to issuance of a building permit.
21. Provide detailed plans and specifications for water and sanitary sewer installations to the Gallatin Public Utilities Department for review and obtain plan approval prior to the issuance of any building permits.
22. Submit a Master Signage Plan in accordance with G.Z.O. Section 13.07.065.E including details of all permanent signs to be installed on site and obtain sign permits from the Planning Department prior to the installation of any signage.
23. Submit three (3) corrected folded copies of the Amended Preliminary Master Development Plan/Revised Final Master Development Plan for The Village at Peytona Downs, including one (1) full size and two (2) half size copies, to the Planning Department prior to issuance of any building permits.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

ITEM 4

NAY:

DATED: 09/26/2016

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 4

PLANNING DEPARTMENT STAFF REPORT

Amended PMDP for GreenLea Commons and Revised FMDP for The Village at Peytona Downs (8-2445-16)

GreenLea Boulevard, Little Drive and St. Blaise Road

Date: September 22, 2016

REQUEST: THE OWNER AND APPLICANT REQUEST APPROVAL OF AN AMENDMENT TO THE PRELIMINARY MASTER DEVELOPMENT PLAN FOR GREENLEA COMMONS AND A REVISED FINAL MASTER DEVELOPMENT PLAN FOR THE VILLAGE AT PEYTONA DOWNS CONTAINING 304 MULTI-FAMILY UNITS ON 21.01 (+/-) ACRES. THE PROPERTY IS LOCATED WEST OF GREENLEA BOULEYARD, EAST OF ST. BLAISE ROAD AND NORTH OF NASHVILLE PIKE. (8-2445-16)

OWNER: GREEN & LITTLE, LP

APPLICANT: JPL DEVELOPMENT, LLC.

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION NO. 2016-110

STAFF CONTACT: ROBERT J. KALISZ

PC MEETING DATE: SEPTEMBER 26, 2016

PROPERTY OVERVIEW:

The owner and applicant request approval of an amendment to the Preliminary Master Development Plan for GreenLea Commons and a Revised Final Master Development Plan for the Village at Peytona Downs containing 304 multi-family units on 21.01 (+/-) acre portion of Parcel 'A' of the Greensboro Village Planned Unit Development (PUD). The property is located west of GreenLea Boulevard, east of St. Blaise Road and north of Nashville Pike (8-2445-16) (Attachment 4-1 and Attachment 4-2).

The property is part of Parcel 'A' of the Greensboro Village Planned Unit Development (PUD) currently zoned as follows:

- Parcel 'A' (95.33 (+/-) acres) is zoned Multiple Residential and Office Planned Unit Development (MRO PUD)
- Parcel 'B' (150.26 (+/-) acres) is zoned Multiple Residential and Office Planned Unit Development (MRO PUD), Residential-06 Planned Unit Development (R-06 PUD), and Residential-15 Planned Unit Development (R-15 PUD).

Multi-Family is a permitted use in the MRO PUD zone district.

CASE BACKGROUND:

Previous Approvals and Property History

The Greensboro Village Planned Unit Development (PUD) (formally Greenfield Station) originally contained approximately 700 acres on property north and south of Nashville Pike. The property was initially divided into three (3) development tracts; Tracts A, B, & C and general uses were designated for those tracts. The PUD has a long approval history dating back to the 1980's under the PUD provisions of the previous Zoning Ordinance. When the current Zoning Ordinance was approved in July of 1998, previously approved PUD's were extended for a period of (2) years from the date of the adoption of the Zoning Ordinance. Over the years the PUD has been extended and amended several times, but the PUD has always retained the mixture of commercial and residential uses as originally planned. The total acreage of the property in the PUD has decreased over the years and currently contains approximately 245.59 (+/-) acres.

On March 9, 2015, the Planning Commission considered an amendment to the Greensboro Village PUD and the Preliminary Master Development Plan (PMDP) for GreenLea Commons Apartments (4-290-15). At this meeting Planning Commission received public comment and after discussion deferred the item until the March 23, 2015 meeting to allow the owner and applicant and staff to work on concerns of the Planning Commission.

The owner and applicant deferred the item from the March 23, 2015 agenda until the April 27, 2015 meeting to continue working on the concerns of Planning Commission.

On April 13, 2015, additional discussion occurred at the Planning Commission Work Session.

On April 27, 2015, after clarification and modifications were made by the owner and applicant and after discussion, the Planning Commission voted 4 to 2 to recommend approval of GMRPC Resolution No. 2015-28 which included the amendments to the Greensboro Village PUD and the PMDP for GreenLea Commons Apartments (4-290-15) with conditions of approval as described in Ordinance No. 01505- 29.

(The owner and applicant revised the plan to satisfy some of the conditions of the GMRPC Resolution. The remaining conditions were included in the Ordinance. One of the conditions the owner and applicant satisfied was to verify and correct the boundaries and acreage of the Greensboro Village PUD Parcel 'B' from 150.26 (+/-) acres to 174.33 (+/-) acres. This includes the Grassland Downs Park subdivision which is part of the PUD but was excluded from the acreage calculations. Grassland Downs Park is a developed subdivision with 25 single family lots.)

On May 18, 2015, the Planning Commission received additional public comment at the Special-Called meeting. After receiving public comment, the Planning Commission made no motion to modify or rescind GMRPC Resolution 2015-28.

On July 7, 2015, City Council passed on 2nd Reading Ordinance No. 01505-29 approving an amendment to the Greensboro Village PUD and approving the GreenLea Commons PMDP.

On September 28, 2015, the Planning Commission approved the Final Master Development Plan for Peytona Downs containing 304 multi-family units on 21.01 (+/-) acres, located west of GreenLea Boulevard, east of St. Blaise Road and north of Nashville Pike (8-1072-15) (Attachment 4-3).

DISCUSSION:

Major or Minor Amendment

G.Z.O., Section 12.02.050, Procedures to Amend a Preliminary Master Development Plan or Final Master Development Plan, lists specific items that constitute a major amendment to an approved PMDP including an increase in density, substantial changes to access or site circulation, or substantial changes to approved architecture. Staff reviewed the approved PMDP (4-290-15) and the submitted plan in detail and found no changes that constitute a major amendment. Planning Commission shall determine if the proposed changes to the Preliminary Master Development Plan for The Village at Peytona Downs (fka GreenLea Commons) (8-2445-16) is a major or minor amendment to the approved Preliminary Master Development Plan for GreenLea Commons (4-290-15).

Proposed Development

The owner and applicant request an amendment to the Preliminary Master Development Plan for GreenLea Commons and the Revised Final Master Development Plan for The Village at Peytona Downs. The property is located west of GreenLea Boulevard, east of St. Blaise Road and north of Nashville Pike. The amended and revised plan will decrease the number of apartment buildings from 15 to 11 and reposition the buildings from an external location adjacent to the streets (urban) to an internal location to create a cottage type setting. In addition, the revised plan removes 186 garage stalls from underneath the apartment buildings and provides ten (10) separate garage/loft buildings with three (3) garage stalls per building. A major change to the current plan is the positioning of the apartment buildings. The revised plan repositions the elevations of the units so that fewer windows and balconies face the existing residential development to the west, across St. Blaise Road. Many of the buildings will be placed perpendicular to St. Blaise Road or at an angle and will be setback further from the right-of-way.

Gallatin on the Move 2020 General Development and Transportation Plan

The Village at Peytona Downs site is located within the portion of the Greensboro Village Planned Unit Development (PUD) that is designated as GreenLea Business Center Community Special Character Area as shown on the Community Character Area Map of the *Gallatin on the Move 2020 General Development and Transportation Plan* (Attachment 4-4). The main goals of the GreenLea Business Center Special Character Category are to encourage a mixture of high-density residential, commercial, office, and industry uses. This includes multi-family residential uses when part of an approved master plan. The proposed The Village at Peytona Downs apartment complex is designed in keeping with the high quality design standards recommended for property within the GreenLea Business Center Special Character Category Area.

Natural Features

The Village at Peytona Downs site is currently vacant, has no unusual topographical features and contains many existing mature trees around the peripheral of the site. Several existing utilities and utility easements (i.e. water and natural gas lines, T.V.A power lines) extend mainly along the periphery of the property.

No portion of the subject property is located within a special flood hazard area according to FEMA

FIRM map panel #47165C0407G; dated April 17, 2012, zone "X".

Surrounding Zoning

The surrounding property, located to the east and southeast, is within the Greensboro Village PUD and is zoned MRO PUD. The Greensboro North Transit Ready Development (TRD) property is located to the north and is zoned Specific Plan (SP). Portions of the surrounding property located to the west and southwest, within Kennesaw Farms Development, are zoned Residential-15 Planned Residential Development (R15 PRD), Mixed Use (MU) and Planned General Commercial (PGC). The property located to the northwest is developed as a large-lot single family use that is zoned R40 Low Density Residential (R40).

Architectural Elevations and Building Types

The apartment buildings for the revised plan have symmetrical elevations and are three (3) stories in height with an approximate ridgeline height of 47'-01/2" and the third (3) floor soffit height of 30'-10" (Attachment 4-2; sheets AB1-AB9). A complex system of gable roofs is used to emphasize projecting units and bays within the building elevation. The building materials are brick and stone veneer, cement-fiberboard horizontal siding, cement-fiberboard shingle siding, and architectural asphalt shingles with earth tone colors. The front and rear elevations for the buildings overall consist of approximately 82 percent brick and stone veneer masonry and the end elevations consist of approximately 83 percent brick and stone veneer masonry, with cement-fiberboard siding filling in the remaining areas.

The garage/loft and clubhouse buildings will have symmetrical elevations and building materials and colors similar to the apartment buildings (Attachment 4-2; sheet AB10-AB14). The garage/loft buildings will be two (2) stories, with the lofts located atop the three (3) garage stalls, and approximately 85 percent brick/stone veneer masonry with the remaining areas to be cement board siding. The clubhouse building will be one (1) story in height, with a distinctive and attractive tower located in the middle of the front elevation, and approximately 93 percent brick/stone veneer masonry with the remaining areas to be cement fiberboard siding. A pool will be located behind the clubhouse adjacent to St. Blaise Road with a concrete deck surrounding the pool area.

Listed below are the percentages of brick/stone veneer for the proposed building types:

Building Type I: Front & Rear Elevations: 70%, End Elevations: 82%

Building Type II: Front & Rear Elevations: 75% & 81%, End Elevations: 75%

Building Type ID: Front & Rear Elevations: 81% & 70%, End Elevations 74%

Garage/Lofts: Front & Rear Elevations: 93% & 80%, End Elevations: 100% & 68%

Clubhouse Building: Front & Rear Elevations: 93%, End Elevations: 93%

The apartment buildings, garage/lofts and clubhouse meet the minimum 70 percent of stone and/or brick requirement for exterior facade materials per Section 13.08.010.A, *Materials* of the Gallatin Zoning Ordinance.

Listed below are the proposed building types and unit counts and garages for The Village at Peytona Downs apartment complex

Building Type I: Total of 7 Buildings (Buildings 1, 2, 5, 6, 8, 9, 10)

- 1 bedroom units – 15: Total of 105
- 2 bedroom units – 12: Total of 84

- 3 bedroom units – 0

Building Type II - Total of 1 Buildings (Building 3)

- 1 bedroom units – 6: Total of 6
- 2 bedroom units – 18: Total of 18
- 3 bedroom units – 0

Building Type III - Total of 3 Buildings (Buildings 4, 7, 11)

- 1 bedroom units – 21: Total of 63
- 2 bedroom units – 0
- 3 bedroom units – 6: Total of 18

Garage/Lofts - Total of 10 Buildings

- Garage Stalls-3 per building: Total of 30
- 1 bedroom units – 10

Total of 11 Apartment Buildings and 10 Garage/Loft Building

- Total of 30 Garage Stalls
- Total of 184 one (1) bedroom units
- Total of 102 two (2) bedroom units
- Total of 18 three (3) bedroom units
- Total of 304 apartment units

Listed below are building height comparisons with comparable apartment complexes:

Building Height Comparisons

<u>Apartment Complex</u>	Zoning	Required per Regulations			Building	
		Maximum Building Height	Ridge	Soffit	Height	Difference
Peytona Downs (approved)	MRO-PUD	35'	47'	32'	39'-6"	4'-6"
Kennesaw Farms - Avondale	MU	35'	48'	30'	39'	4'
Foxland Crossing	MU	35'	45'-3"	30'-5"	37'-10"	2'-10"

Parking Calculations

Parking calculations are based on the use of the property. Section 11.03 of the Gallatin Zoning Ordinance for Multi-Family Residential uses requires two spaces per unit. The proposed apartment complex will have a total of 304 units, which requires 608 parking spaces, including 13 handicapped parking spaces. The apartment developer, JPL Development, LLC, has years of experience developing and managing apartment units and has used a parking ratio of 1.5 spaces for each unit. The original PMDP for GreenLea Commons was approved with an alternative parking ratio. Listed below is the approved parking requirement.

Parking Ratio Requirements (Approved):

- o 184 one (1) bedroom units @ 1.5 spaces per unit = 276 parking spaces
- o 102 two (2) bedroom units @ 1.75 spaces per unit = 179 parking spaces
- o 18 three (3) bedroom units @ 2.0 spaces per unit = 36 parking spaces
- o Total Proposed Parking Spaces = 491 spaces, including 9 handicapped accessible spaces

Parking provided:

- o 30 garage parking spaces
- o 517 surface parking spaces and 13 handicapped accessible spaces
- o Total Provided Parking Spaces = 560 spaces

The parking ratio requirements for the FMDP match the approved PMDP parking ratio.

The Village at Peytona Downs FMDP indicates that the main entrance and parking area for the clubhouse would be constructed of pervious concrete pavers. In addition, seven (7) 'Bioretention Areas' will be installed throughout the development strategically placed adjacent to the parking areas to aid in retaining a portion of the stormwater runoff on site. A copy of the recorded Stormwater Maintenance Agreement shall be submitted to the Engineering Division prior to issuance of any building permits.

Access

The Village at Peytona Downs site property has road frontage on three (3) different streets; GreenLea Boulevard to the east, Little Drive to the north, and St. Blaise Road to the west. The main driveway to the apartment complex is on GreenLea Boulevard with a secondary driveway located on GreenLea Boulevard close to Little Drive to the north. The main driveway extends to an internal roundabout, which serves as a main focal point, and provides access to the apartment complexes and to the clubhouse and pool facility. The secondary driveway is located on the northern portion of the property. There are two (2) auxiliary driveways located on St. Blaise Road, the northwest and southwest corners of the property, which both provide emergency access only to the apartment complex. The plan indicates the emergency access driveways to have security gates located across the width of the entrance. The installation of security gates or other such features across a fire apparatus access road shall be approved by the Fire Code Official per IFC 2009 503.6. These auxiliary driveways do not provide permanent motor vehicular access to the area street network.

Prior to amendment in 2015, *The Gallatin on the Move 2020 General Development and Transportation Plan*, Exhibit 4-8 Proposed Roadway Projects, shows a secondary collector roadway within the Greensboro Village area extending through the Village at Peytona Downs site (Attachment 4-5).

On September 28, 2015, the Planning Commission approved an amendment to the *Gallatin on the Move 2020 General Development and Transportation Plan* removing the east-west extension of Derby Drive and adding an extension of St. Blaise Road from Little Drive north to GreenLea Boulevard at the intersection of Enterprise Drive.

Landscaping and Bufferyards

Bufferyards are required to be shown as part of the Preliminary and Final Master Development Plans and are intended to minimize the potential impacts of the proposed development on the adjacent properties as outlined in the Gallatin Zoning Ordinance and the *2020 Plan*. An Alternative Bufferyard Plan for The

Village at Peytona Downs (fka GreenLea Commons) PMDP was approved per Section 13.04.100.C of the Gallatin Zoning Ordinance. This waived the bufferyard requirements for the north (along Little Drive), south (adjacent to T.V.A. power line), and east (along GreenLea Boulevard) per Section 13.04.060.D of the Gallatin Zoning Ordinance: Green & Little, L.P. is the owner of these adjacent parcels. The required bufferyards for these locations are respectively; Type 12 Bufferyard; Type 10 Bufferyard; and Type 15 Bufferyard. The alternative bufferyard landscaping meets the intent of the bufferyard requirements of Section of the Gallatin Zoning Ordinance.

The Village at Peytona Downs FMDP indicates the alternative bufferyards along the boundaries of the project site consistent with the approved PMDP. The landscaping plans shows extensive detailed landscaping throughout the site including an Alternative Bufferyard along St. Blaise Road, between the proposed sidewalk and the apartment buildings (Attachment 4-2; sheets C 1.00-C1.02). The owner and applicant are requesting the following alternative bufferyards in lieu of the required bufferyard along St. Blaise Road consistent with the approved PMDP; Type 35 Bufferyard and Type 25 Bufferyard:

Type 35 Bufferyard requirements:

- Width of Bufferyard -35'
- One (1) large deciduous tree for every 80' linear feet
- One (1) small deciduous or ornamental tree for every 80' linear feet
- One (1) evergreen tree for every 15 feet planted on a triangular staggered spacing
- Opaque barrier minimum six (6) feet in height (hedge-like screen or informal screen plantings of broadleaf evergreen shrubs, berm, or wall)

Type 25 Bufferyard requirements:

- Width of Bufferyard – 25'
- One (1) large deciduous tree for every 60 linear feet
- Two (2) small deciduous or ornamental tree (spaced 30' o.c.) for every 60 linear feet

Alternative Type 30 Bufferyard: (Along St. Blaise Road south of Little Drive approximately 520 lineal feet) (Type 35 Bufferyard required)

- Width of Bufferyard -30'
- One (1) large deciduous tree 35' o.c.
- One (1) small flowering tree 60'o.c.
- One (1) large evergreen tree at an average of every 24 feet

Alternative Type 30 Bufferyard: (Along St. Blaise Road from Derby Drive north approximately 600 lineal feet) (Type 25 Bufferyard required)

- Width of Bufferyard -30'
- One (1) large deciduous tree 35' o.c.
- One (1) small flowering tree 60' o.c.

Alternative Type 30 Bufferyard: (Along St. Blaise Road from Derby Drive south approximately 880 lineal feet) (Type 25 Bufferyard required)

- Width of Bufferyard -30'
- One (1) large deciduous tree 35' o.c.
- One (1) small flowering tree 60' o.c.

The Greensboro Village PUD Design Guidelines suggest deciduous trees be planted along the streets of

Greensboro Village and be placed between the sidewalks and the streets. The plans indicate deciduous trees to be planted 35 feet on center along GreenLea Boulevard and Little Drive and to be installed in the five (5) foot wide grass strip between the sidewalk and the back of curb. The tree species should be carefully selected to reduce future damage to street improvements when trees mature.

The plans indicate proposed tree plantings in areas where water, sanitary sewer and natural gas lines are possibly located. The exact location will be field adjusted to eliminate utility and intersection sight visibility conflicts. The previously approved FMDP noted that the owner of the property and/or the owner of the apartment complex will assume full responsibility for any infrastructure damaged by the installation or growth of the trees and be responsible for the long term care and maintenance of the trees planted within the City owned right-of-way. The replacement of plant material lost through normal attrition, or any other cause, will be made at the expense of the owner of the property and/or the owner of the apartment complex. The owner and applicant shall provide a note on the revised landscaping plan that the owner of the property and/or the owner of the apartment complex will assume full responsibility for any infrastructure damaged by the installation or growth of the trees and be responsible for the long term care and maintenance of the trees planted within the City owned right-of-way.

The owner of the property and/or the owner of the apartment complex shall enter into a Hold Harmless Agreement with the City acceptable to the City Attorney. A Hold Harmless Agreement and Certificate of Liability Insurance, for the protection of the general public, and to hold the City harmless from any damages resulting from the installation and placement of the trees in the right-of-way are required. A Hold Harmless Agreement and Certificate of Liability Insurance shall be submitted to the Planning Department prior to issuance of any building permits.

An Alternative Bufferyard Plan for The Village at Peytona Downs (fka GreenLea Commons) PMDP was approved per Section 13.04.100.C of the Gallatin Zoning Ordinance. This waived the bufferyard requirements for the north (along Little Drive), south (adjacent to T.V.A. power line), and east (along GreenLea Boulevard) per Section 13.04.060.D of the Gallatin Zoning Ordinance (Attachment 4-9): Green & Little, L.P. is the owner of these adjacent parcels. The required bufferyards for these locations are respectively; Type 12 Bufferyard; Type 10 Bufferyard; and Type 15 Bufferyard. The alternative bufferyard landscaping meets the intent of the bufferyard requirements of Section of the Gallatin Zoning Ordinance.

Photometric Plan and Lighting Fixtures

The owner and applicant submitted a detailed photometric plan indicating the location of the lighting fixtures on this site (Attachment 4-2; sheets SL1). The lighting fixtures proposed for the parking area consist of a pole mounted, black finish, shoebox type fixtures with LED lamps. The lighting fixtures proposed for the main entrance and clubhouse parking area are a decorative antique acorn style lamp with a decorative luminaire base. The photometric plan complies with the City of Gallatin Zoning Ordinance, Section 13.02.08.

Drainage and Detention

The owner and applicant submitted drainage calculations and grading and drainage plans for The Village at Peytona Downs (Attachment 4-2; sheets C2.00-C2.03 and C2.90-C2.94). The Engineering Division indicated that the drainage calculations shall be reviewed and approved by Engineering Division and any additional comments shall be addressed by the owner and applicant and approved by Engineering Division prior to issuance of any permits for The Village at Peytona Downs.

Master Signage Plan

The plan shows the location of two (2) development (monument) signs located on either side of the main entrance at GreenLea Boulevard (Attachment 4-2; sheet LS 1.3). The owner and applicant shall submit a Master Signage Plan in accordance with G.Z.O. Section 13.07.065.E including details of permanent signs to be installed on site. The proposed signs shall comply with the size and illumination requirements of the Gallatin Zoning Ordinance, Section 13.07. The owner and applicant shall obtain sign permits from the Planning Department prior to the installation of any signage on site.

Design Review Committee Approval

Since the project is located within the Greensboro Village PUD, all site design changes require approval from the private design review committee. Mr. Lee K. Zoller, President of Green & Little, LP, has approved the proposed The Village of Peytona Downs Apartments plan.

Site Surety

The owner and applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department. The owner and applicant submitted a site surety cost calculation sheet to the Planning Department for review and approval. Staff is in the process of reviewing the site surety cost calculation sheet. A site surety, in the form of cash, certified check, or Irrevocable Letter of Credit, shall be submitted to the Planning Department prior to issuance of a building permit.

Planning Department Comments

The Planning Department reviewed and commented on proposed FMDDP. Most of the Planning Department comments have been satisfied; however, the owner and applicant shall comply and provide documents as indicated below:

1. Amend street address in Site Data Table to indicate project street address of 1137 GreenLea Boulevard.
2. Correct the Maximum Density Per Acre in the Site Data table on Sheet C0.00 to 14.5 units/acre.
3. Correct the Maximum Gross Density and the Maximum Overall Density in the Site Data table on Sheet C1.00 to 14.5 units per acre.
4. Correct the 26.6' Buffer label to 30' Buffer on all site layout sheets.
5. Correct and verify the site address to 1137 GreenLea Boulevard (E-911).
6. Correct and verify the fence to be installed around the dog park (vinyl coated chain linked or ornamental fence).
7. On the civil engineering sheets identify the building numbers and building types (Building Type I-III and Garage Lofts).
8. On the architectural sheets identify the building types (Building Type I-III and Garage Lofts).
9. Amend the plan sheets (LS1.0 thru LS1.6) to indicate the project name as The Village at Peytona Downs.
10. Add a note to the revised landscaping plan that the owner of the property and/or the owner of the apartment complex will assume full responsibility for any infrastructure damaged by the installation or growth of the trees and be responsible for the long term care and maintenance of the trees planted within the City owned right-of-way.
11. Provide a Hold Harmless Agreement and Certificate of Liability Insurance to the Planning Department prior to issuance of any building permits.
12. Provide a site surety, in the form of cash, certified check, or Irrevocable Letter of Credit to the Planning Department prior to issuance of a building permit.

13. Submit a Master Signage Plan in accordance with G.Z.O. Section 13.07.065. E including details of all permanent signs to be installed on site and obtain sign permits from the Planning Department prior to the installation of any signage.

Engineering Division Comments

The Engineering Division reviewed and commented on the proposed FMDP. Most of the Engineering Division comments have been satisfied however, the owner and applicant shall correct the proposed FMDP and provide documents as indicated below:

1. Verify and correct the elevations on pipe K3-K4 to K7.
2. Verify and correct the contours around Bioretention Pond #4.
3. Verify and correct the elevation of the detail #2 on Sheet C2.91. Dimension the outlet pipe size and verify the outlet invert elevation.
4. Correct the secondary entrance from GreenLea Boulevard hatched as asphalt to be hatched as concrete.
5. Extend the proposed sidewalk in front of the dog park along GreenLea Boulevard southeasterly to the property line.
6. The calculated treatment volume T_v for bioretention area #1 appears to be half of what it should be. Please also note that a 10% reduction credit in stormwater volume is allowed for high density development as per Article 6 – 4(b)(iii) of the Gallatin Stormwater Ordinance.
7. Convey by Deed or platted, acceptable to the City Attorney, that portion of right-of-way for the relocation of St. Blaise Road located south and west of the project boundary and adjacent to St. Blaise Road and the easement for the sidewalk and electrical service prior to Certificate of Occupancy for buildings.
8. Provide a copy of the recorded Stormwater Maintenance Agreement to the Engineering Division prior to issuance of any building permits.

Gallatin Public Utilities Department

This development is located in the Gallatin Public Utility District area. The Gallatin Public Utilities Department reviewed and commented on the proposed FMDP. The owner and applicant shall comply and provide documents as indicated below:

1. Provide detailed plans and specifications for water and sanitary sewer installations to the Gallatin Public Utilities Department for review and approval prior to the issuance of any building permits.
2. The proposed facilities shall comply with all applicable cross-connection control regulations.

Other Departmental Comments

Other City Departments reviewed and commented on the proposed FMDP. The owner and applicant satisfactorily addressed the majority of the other City Department comments; however, the owner and applicant shall be aware of the following as indicated below:

1. Provide access roads to various locations of the site during construction for emergency vehicles.
2. The installation of security gates or other such features across a fire apparatus access road shall be approved by the Fire Code Official per IFC 2009 503.6.
3. The proposed development shall meet all IFC 2009 and NFPA 2009 Life Safety Codes.

Findings

1. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move*

2020 General Development and Transportation Plan for the area, and in particular, the GreenLea Business Center Character Area Category.

2. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan is consistent with the purpose and intent of the Multiple Residential and Office Planned Unit Development (MRO PUD) zone district, the amended Greensboro Village PUD (4-290-15) and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines and minimum building setback line requirements established in said zone district with conditions and the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
3. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan complies with the approved Preliminary Master Development Plan for the GreenLea Commons (now known as The Village at Peytona Downs) (4-290-15).
4. The project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing uses or intended character of the general vicinity. As designed, the proposed modifications to the Final Master Development Plan for The Village at Peytona Downs will not change the essential character of the area.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Amended Preliminary Master Development Plan/Revised Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approves GMRPC Resolution No. 2016-110, a minor amendment to the Preliminary Master Development Plan for GreenLea Commons and a Revised Final Master Development Plan for The Village at Peytona Downs consisting of a twenty-six (26) sheet plan, prepared by Lose & Associates, Inc. of Nashville, Tennessee, with project number 16115, dated August 20, 2016, Architectural Elevations and Photometric Plan consisting of a sixteen (16) sheet plan, prepared by JPL Development, LLC., of St. Louis, Missouri, with job number 216024, dated July 26, 2016, and Landscaping Plan, consisting of a seven (7) sheet plan, prepared by Alaback Design Associates of Tulsa, Oklahoma, with job number 16042, dated September 15, 2016 with the following conditions:

1. Amend street address in Site Data Table to indicate project street address of 1137 GreenLea Boulevard.
2. Correct the Maximum Density Per Acre in the Site Data table on Sheet C0.00 to 14.5 units/acre.
3. Correct the Maximum Gross Density and the Maximum Overall Density in the Site Data table on Sheet C1.00 to 14.5 units per acre.
4. Correct the 26.6' Buffer label to 30' Buffer on all site layout sheets.
5. Correct and verify the site address to 1137 GreenLea Boulevard (E-911).
6. Correct and verify the fence to be installed around the dog park (vinyl coated chain linked or ornamental fence).
7. On the civil engineering sheets identify the building numbers and building types (Building Type I-III and Garage Lofts).
8. On the architectural sheets identify the building types (Building Type I-III and Garage Lofts).
9. Amend the plan sheets (LS 1.0 thru LS1.6) to indicate the project name as The Village at Peytona Downs.
10. Add a note to the revised landscaping plan that the owner of the property and/or the owner of the

apartment complex will assume full responsibility for any infrastructure damaged by the installation or growth of the trees and be responsible for the long term care and maintenance of the trees planted within the City owned right-of-way.

11. Verify and correct the elevations on pipe K3-K4 to K7.
12. Verify and correct the contours around Bioretention Pond #4.
13. Verify and correct the elevation of the detail #2 on Sheet C2.91. Dimension the outlet pipe size and verify the outlet invert elevation.
14. Correct the secondary entrance from GreenLea Boulevard hatched as asphalt to be hatched as concrete.
15. Extend the proposed sidewalk in front of the dog park along GreenLea Boulevard southeasterly to the property line.
16. Verify and correct the calculated treatment volume T_v for bioretention area #1 appears to be half of what it should be. Please also note that a 10% reduction credit in stormwater volume is allowed for high density development as per Article 6 – 4(b)(iii) of the Gallatin Stormwater Ordinance.
17. Convey by Deed or platted, acceptable to the City Attorney, that portion of right-of-way for the relocation of St. Blaise Road located south and west of the project boundary and adjacent to St. Blaise Road and the easement for the sidewalk and electrical service prior to Certificate of Occupancy for buildings.
18. Provide a copy of the recorded Stormwater Maintenance Agreement to the Engineering Division prior to issuance of any building permits.
19. Provide a Hold Harmless Agreement and Certificate of Liability Insurance, acceptable to the City Attorney, to the Planning Department prior to issuance of any building permits.
20. Provide a site surety, in the form of cash, certified check, or Irrevocable Letter of Credit to the Planning Department prior to issuance of a building permit.
21. Provide detailed plans and specifications for water and sanitary sewer installations to the Gallatin Public Utilities Department for review and obtain plan approval prior to the issuance of any building permits.
22. Submit a Master Signage Plan in accordance with G.Z.O. Section 13.07.065.E including details of all permanent signs to be installed on site and obtain sign permits from the Planning Department prior to the installation of any signage.
23. Submit three (3) corrected folded copies of the Amended Preliminary Master Development Plan/Revised Final Master Development Plan for The Village at Peytona Downs, including one (1) full size and two (2) half size copies, to the Planning Department prior to issuance of any building permits.

ATTACHMENTS:

Attachment 4-1 The Village at Peytona Downs Parcel/Location Map

Attachment 4-2 The Village at Peytona Downs Amended PMDP/FMDP (8-2445-16)

Attachment 4-3 Peytona Downs FMDP (8-1072-15)

Attachment 4-4 Gallatin on the Move 2020 Plan Community Character Area Map

Attachment 4-5 Gallatin on the Move 2020 Plan, Exhibit 4-8, Proposed Roadway Projects

ATTACHMENT 4-3

SITE DATA

PROPERTY OWNERS NAME: GREEN & LITTLE, LP
 PROPERTY OWNERS ADDRESS: P.O. BOX 8037
 GALLATIN, TN 37066-8037
 DEVELOPERS NAME: MAKOWSKY, RINGEL, GREENBERG, LLC
 DEVELOPERS ADDRESS: 1010 JUNE RD
 MEMPHIS, TN 38119

TOTAL SITE ACREAGE: 38.89 ACRES (1,694,217 S.F.)
 PROPOSED SITE ACREAGE: 21.01 ACRES (915,277.58 S.F.)
 SITE ADDRESS: SOUTHEAST OF LITTLE RD AND
 GREENLEA BLVD, GALLATIN, TN

TAX MAP NUMBER: 136
 PARCEL NUMBER: 004.03 (PORTION OF)

TOTAL RESIDENTIAL UNITS: 304
 MAXIMUM GROSS DENSITY: 14.3 UNITS/ACRE
 PROVIDED GROSS DENSITY:
 OPEN SPACE REQUIRED: 4.2 AC (20% OF 21.01 AC)
 OPEN SPACE PROVIDED: 10.3 AC (49% OF 21.01 AC)
 AC OPEN SPACE IN FLOOD PLAIN N/A
 AC DETENTION PROVIDED THROUGH LID TECHNIQUES

BULK REQUIREMENTS:

EXISTING ZONING: MRO (PUD)
 PROPOSED ZONING: MRO (PUD)
 MINIMUM LOT AREA: N/A
 SETBACKS:
 MINIMUM FRONT: 25'
 MINIMUM REAR: 20'
 MINIMUM SIDE: 10'
 MAXIMUM FLOOR AREA RATIO: N/A
 MAXIMUM OVERALL DENSITY (SITE): 14.3 UNITS/ACRE
 MINIMUM LOT WIDTH: N/A

REQUIRED PARKING:

ALTERNATE PARKING CALCULATION:
 80 ONE BRM UNITS @ 1.5 SPACES/UNIT = 120 SPACES
 190 TWO BRM UNITS @ 1.75 SPACES/UNIT = 333 SPACES
 34 THREE BRM UNITS @ 2 SPACES/UNIT = 68 SPACES
 TOTAL REQUIRED SPACES = 521 SPACES

PARKING PROVIDED:

186 GARAGE SPACES
 335 SURFACE SPACES
 521 TOTAL SPACES

LAYOUT NOTES:

- INSTALL JOINTS WHERE SHOWN. ALIGN ON WALLS, BUILDINGS, RAIL, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
- LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
- ALL CURBS ARE DIMENSIONED TO THE FACE OF CURB.
- CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
- ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- A 2" CURB TAPER SHALL BE PLACED ON NON-FLUSH CURBS, WHERE SIDEWALKS MEET A CROSSWALK.

LAYOUT INFO LEGEND

- DETAIL TAG: DESCRIPTION
- COORDINATE POINT TAG: SEE TABLES FOR COORDINATES
- CONTROL JOINT PER DETAIL 7, SHEET C4.01
- EXPANSION JOINT PER DETAIL 7, SHEET C4.01
- HEAVY DUTY CONCRETE PER DETAIL 4, SHEET C4.02
- LIGHT DUTY CONCRETE SIDEWALK PER DETAIL 3, SHEET C4.01
- ASPHALT PAVING PER DETAIL 1, SHEET C4.01
- PERVIOUS CONCRETE PAVING PER DETAIL 4, SHEET C4.01

Curve #	Radius	Length	Chord	Direction
1.01	20.00	49.80	49.80	S44° 24' 18.00"E
1.02	30.00	40.81	40.81	S42° 30' 34.84"E
1.03	40.00	30.90	30.90	S40° 35' 34.84"E
1.04	50.00	23.86	23.86	S38° 42' 50.55"W
1.05	60.00	18.85	18.85	S36° 50' 33.86"W
1.06	70.00	14.83	14.83	S35° 00' 46.52"E
1.07	80.00	11.82	11.82	S33° 12' 30.00"E
1.08	90.00	9.80	9.80	S31° 27' 30.00"E
1.09	100.00	8.79	8.79	S29° 45' 30.00"E
1.10	110.00	7.78	7.78	S28° 05' 30.00"E
1.11	120.00	6.77	6.77	S26° 27' 30.00"E
1.12	130.00	5.76	5.76	S24° 51' 30.00"E
1.13	140.00	4.75	4.75	S23° 17' 30.00"E
1.14	150.00	3.74	3.74	S21° 45' 30.00"E
1.15	160.00	2.73	2.73	S20° 15' 30.00"E
1.16	170.00	1.72	1.72	S18° 47' 30.00"E
1.17	180.00	0.71	0.71	S17° 21' 30.00"E
1.18	190.00	0.00	0.00	S16° 00' 00.00"E
1.19	200.00	0.00	0.00	S14° 45' 30.00"E
1.20	210.00	0.00	0.00	S13° 45' 30.00"E
1.21	220.00	0.00	0.00	S12° 55' 30.00"E
1.22	230.00	0.00	0.00	S12° 15' 30.00"E
1.23	240.00	0.00	0.00	S11° 45' 30.00"E
1.24	250.00	0.00	0.00	S11° 15' 30.00"E
1.25	260.00	0.00	0.00	S10° 55' 30.00"E
1.26	270.00	0.00	0.00	S10° 45' 30.00"E
1.27	280.00	0.00	0.00	S10° 45' 30.00"E
1.28	290.00	0.00	0.00	S10° 55' 30.00"E
1.29	300.00	0.00	0.00	S11° 15' 30.00"E
1.30	310.00	0.00	0.00	S11° 45' 30.00"E
1.31	320.00	0.00	0.00	S12° 15' 30.00"E
1.32	330.00	0.00	0.00	S12° 55' 30.00"E
1.33	340.00	0.00	0.00	S13° 45' 30.00"E
1.34	350.00	0.00	0.00	S14° 45' 30.00"E
1.35	360.00	0.00	0.00	S15° 45' 30.00"E
1.36	370.00	0.00	0.00	S16° 45' 30.00"E
1.37	380.00	0.00	0.00	S17° 45' 30.00"E
1.38	390.00	0.00	0.00	S18° 45' 30.00"E
1.39	400.00	0.00	0.00	S19° 45' 30.00"E
1.40	410.00	0.00	0.00	S20° 45' 30.00"E
1.41	420.00	0.00	0.00	S21° 45' 30.00"E
1.42	430.00	0.00	0.00	S22° 45' 30.00"E
1.43	440.00	0.00	0.00	S23° 45' 30.00"E
1.44	450.00	0.00	0.00	S24° 45' 30.00"E
1.45	460.00	0.00	0.00	S25° 45' 30.00"E
1.46	470.00	0.00	0.00	S26° 45' 30.00"E
1.47	480.00	0.00	0.00	S27° 45' 30.00"E
1.48	490.00	0.00	0.00	S28° 45' 30.00"E
1.49	500.00	0.00	0.00	S29° 45' 30.00"E
1.50	510.00	0.00	0.00	S30° 45' 30.00"E
1.51	520.00	0.00	0.00	S31° 45' 30.00"E
1.52	530.00	0.00	0.00	S32° 45' 30.00"E
1.53	540.00	0.00	0.00	S33° 45' 30.00"E
1.54	550.00	0.00	0.00	S34° 45' 30.00"E
1.55	560.00	0.00	0.00	S35° 45' 30.00"E
1.56	570.00	0.00	0.00	S36° 45' 30.00"E
1.57	580.00	0.00	0.00	S37° 45' 30.00"E
1.58	590.00	0.00	0.00	S38° 45' 30.00"E
1.59	600.00	0.00	0.00	S39° 45' 30.00"E
1.60	610.00	0.00	0.00	S40° 45' 30.00"E
1.61	620.00	0.00	0.00	S41° 45' 30.00"E
1.62	630.00	0.00	0.00	S42° 45' 30.00"E
1.63	640.00	0.00	0.00	S43° 45' 30.00"E
1.64	650.00	0.00	0.00	S44° 45' 30.00"E
1.65	660.00	0.00	0.00	S45° 45' 30.00"E
1.66	670.00	0.00	0.00	S46° 45' 30.00"E
1.67	680.00	0.00	0.00	S47° 45' 30.00"E
1.68	690.00	0.00	0.00	S48° 45' 30.00"E
1.69	700.00	0.00	0.00	S49° 45' 30.00"E
1.70	710.00	0.00	0.00	S50° 45' 30.00"E
1.71	720.00	0.00	0.00	S51° 45' 30.00"E
1.72	730.00	0.00	0.00	S52° 45' 30.00"E
1.73	740.00	0.00	0.00	S53° 45' 30.00"E
1.74	750.00	0.00	0.00	S54° 45' 30.00"E
1.75	760.00	0.00	0.00	S55° 45' 30.00"E
1.76	770.00	0.00	0.00	S56° 45' 30.00"E
1.77	780.00	0.00	0.00	S57° 45' 30.00"E
1.78	790.00	0.00	0.00	S58° 45' 30.00"E
1.79	800.00	0.00	0.00	S59° 45' 30.00"E
1.80	810.00	0.00	0.00	S60° 45' 30.00"E
1.81	820.00	0.00	0.00	S61° 45' 30.00"E
1.82	830.00	0.00	0.00	S62° 45' 30.00"E
1.83	840.00	0.00	0.00	S63° 45' 30.00"E
1.84	850.00	0.00	0.00	S64° 45' 30.00"E
1.85	860.00	0.00	0.00	S65° 45' 30.00"E
1.86	870.00	0.00	0.00	S66° 45' 30.00"E
1.87	880.00	0.00	0.00	S67° 45' 30.00"E
1.88	890.00	0.00	0.00	S68° 45' 30.00"E
1.89	900.00	0.00	0.00	S69° 45' 30.00"E
1.90	910.00	0.00	0.00	S70° 45' 30.00"E
1.91	920.00	0.00	0.00	S71° 45' 30.00"E
1.92	930.00	0.00	0.00	S72° 45' 30.00"E
1.93	940.00	0.00	0.00	S73° 45' 30.00"E
1.94	950.00	0.00	0.00	S74° 45' 30.00"E
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1.98	990.00	0.00	0.00	S78° 45' 30.00"E
1.99	1000.00	0.00	0.00	S79° 45' 30.00"E

Line #	Length	Direction
1.01	100.00	S44° 24' 18.00"E
1.02	100.00	S42° 30' 34.84"E
1.03	100.00	S40° 35' 34.84"E
1.04	100.00	S38° 42' 50.55"W
1.05	100.00	S36° 50' 33.86"W
1.06	100.00	S35° 00' 46.52"E
1.07	100.00	S33° 12' 30.00"E
1.08	100.00	S31° 27' 30.00"E
1.09	100.00	S29° 45' 30.00"E
1.10	100.00	S28° 05' 30.00"E
1.11	100.00	S26° 27' 30.00"E
1.12	100.00	S24° 51' 30.00"E
1.13	100.00	S23° 17' 30.00"E
1.14	100.00	S21° 45' 30.00"E
1.15	100.00	S20° 15' 30.00"E
1.16	100.00	S18° 47' 30.00"E
1.17	100.00	S17° 21' 30.00"E
1.18	100.00	S16° 00' 00.00"E
1.19	100.00	S14° 45' 30.00"E
1.20	100.00	S13° 45' 30.00"E
1.21	100.00	S12° 55' 30.00"E
1.22	100.00	S12° 15' 30.00"E
1.23	100.00	S11° 45' 30.00"E
1.24	100.00	S11° 15' 30.00"E
1.25	100.00	S10° 55' 30.00"E
1.26	100.00	S10° 45' 30.00"E
1.27	100.00	S10° 45' 30.00"E
1.28	100.00	S10° 55' 30.00"E
1.29	100.00	S11° 15' 30.00"E
1.30	100.00	S11° 45' 30.00"E
1.31	100.00	S12° 15' 30.00"E
1.32	100.00	S12° 55' 30.00"E
1.33	100.00	S13° 45' 30.00"E
1.34	100.00	S14° 45' 30.00"E
1.35	100.00	S15° 45' 30.00"E
1.36	100.00	S16° 45' 30.00"E
1.37	100.00	S17° 45' 30.00"E
1.38	100.00	S18° 45' 30.00"E
1.39	100.00	S19° 45' 30.00"E
1.40	100.00	S20° 45' 30.00"E
1.41	100.00	S21° 45' 30.00"E
1.42	100.00	S22° 45' 30.00"E
1.43	100.00	S23° 45' 30.00"E
1.44	100.00	S24° 45' 30.00"E
1.45	100.00	S25° 45' 30.00"E
1.46	100.00	S26° 45' 30.00"E
1.47	100.00	S27° 45' 30.00"E
1.48	100.00	S28° 45' 30.00"E
1.49	100.00	S29° 45' 30.00"E
1.50	100.00	S30° 45' 30.00"E
1.51	100.00	S31° 45' 30.00"E
1.52	100.00	S32° 45' 30.00"E
1.53	100.00	S33° 45' 30.00"E
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1.56	100.00	S36° 45' 30.00"E
1.57	100.00	S37° 45' 30.00"E
1.58	100.00	S38° 45' 30.00"E
1.59	100.00	S39° 45' 30.00"E
1.60	100.00	S40° 45' 30.00"E
1.61	100.00	S41° 45' 30.00"E
1.62	100.00	S42° 45' 30.00"E
1.63	100.00	S43° 45' 30.00"E
1.64	100.00	S44° 45' 30.00"E
1.65	100.00	S45° 45' 30.00"E
1.66	100.00	S46° 45' 30.00"E
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1.68	100.00	S48° 45' 30.00"E
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1.76	100.00	S56° 45' 30.00"E
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1.78	100.00	S58° 45' 30.00"E
1.79	100.00	S59° 45' 30.00"E
1.80	100.00	S60° 45' 30.00"E
1.81	100.00	S61° 45' 30.00"E
1.82	100.00	S62° 45' 30.00"E
1.83	100.00	S63° 45' 30.00"E
1.84	100.00	S64° 45' 30.00"E
1.85	100.00	S65° 45' 30.00"E
1.86	100.00	S66° 45' 30.00"E
1.87	100.00	S67° 45' 30.00"E
1.88	100.00	S68° 45' 30.00"E
1.89	100.00	S69° 45' 30.00"E
1.90	100.00	S70° 45' 30.00"E
1.91	100.00	S71° 45' 30.00"E
1.92	100.00	S72° 45' 30.00"E
1.93	100.00	S73° 45' 30.00"E
1.94	100.00	S74° 45' 30.00"E
1.95	100.00	S75° 45' 30.00"E
1.96	100.00	S76° 45' 30.00"E
1.97	100.00	S77° 45' 30.00"E
1.98	100.00	S78° 45' 30.00"E
1.99	100.00	S79° 45' 30.00"E
1.99	100.0	

ATTACHMENT 4-3



BUILDING TYPE I - EXTERIOR VIEW



BUILDING TYPE II - EXTERIOR VIEW



BUILDING TYPE III - EXTERIOR VIEW



BUILDING TYPE IV - EXTERIOR VIEW

FLEMING
architects

810 WHEEL DOVE
SUITE 218
MEMPHIS, TN 38117
P: 901.787.1824
www.flemingarch.com

PEYTONA DOWNS APARTMENTS
MAKOWSKY RINGEL GREENBERG
GREENLEA BLVD.
GALLATIN, TENNESSEE



REVISIONS

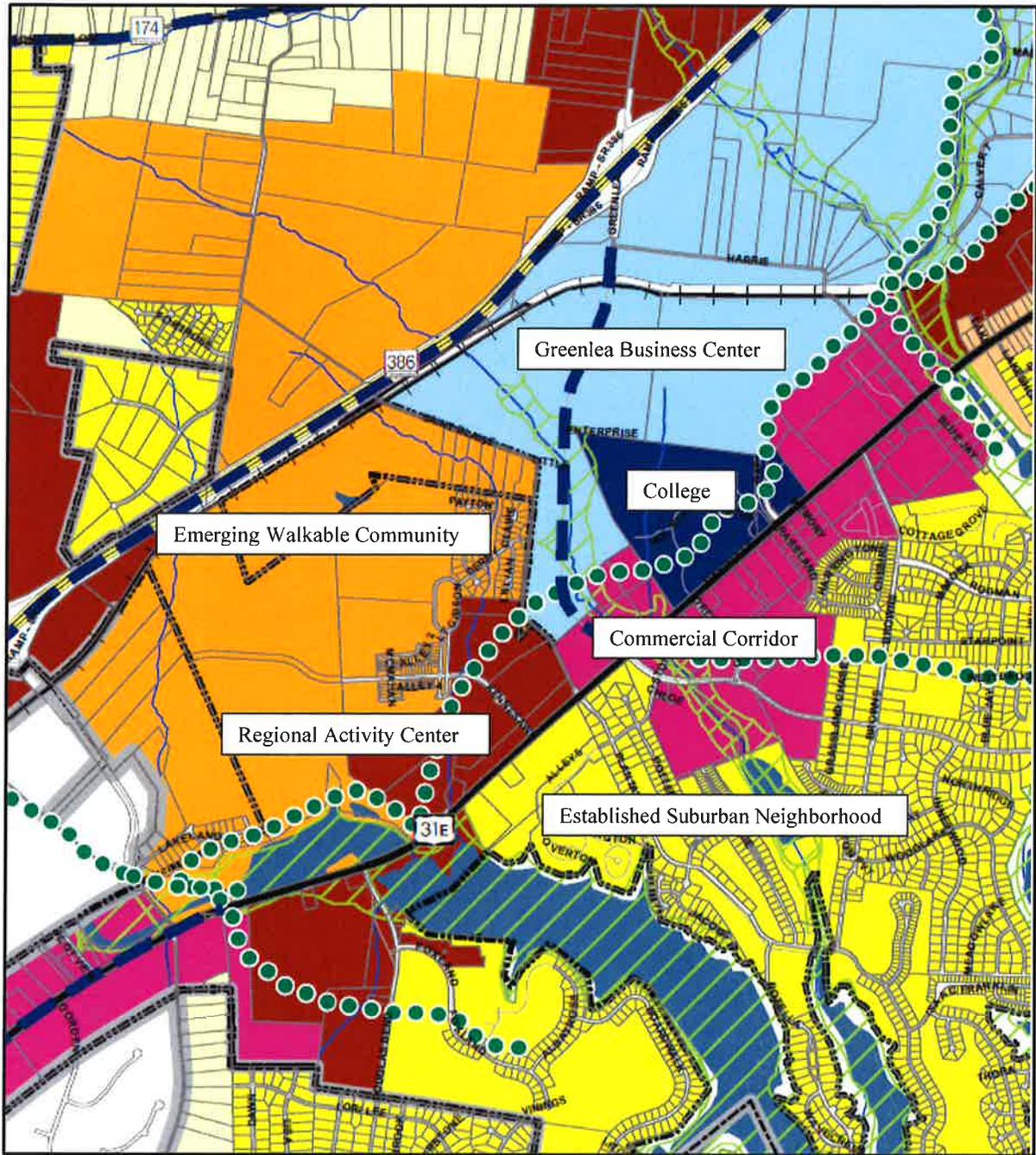
Revision	Date	Rev. No.	Revision Description

PROJECT NUMBER
83101-4
DATE OF ORIGINAL ISSUE
AUGUST 2015
SHEET NUMBER

COLOR EXTERIOR VIEWS

A8

8-2445-16

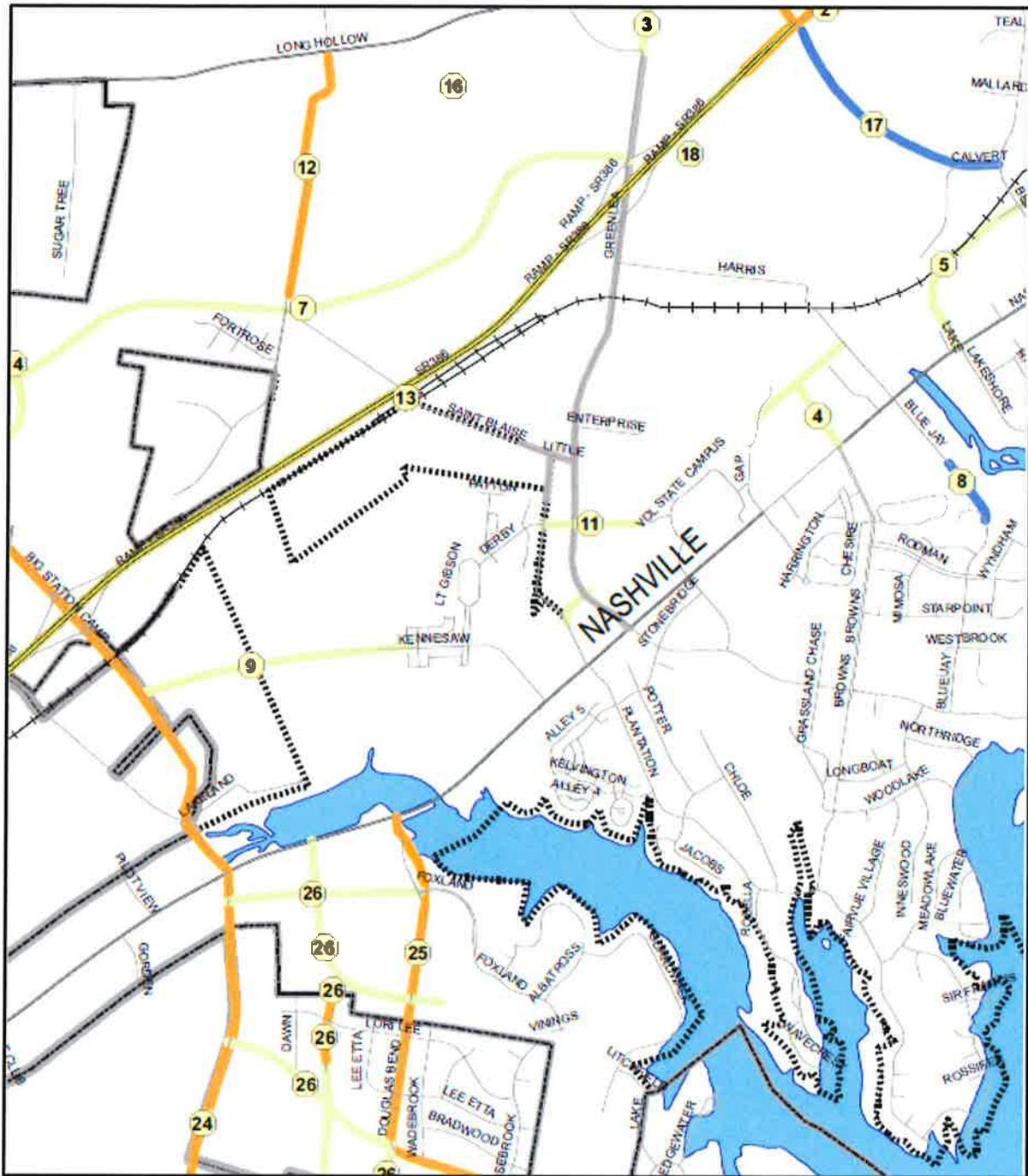


Gallatin on the Move 2020 General Development and Transportation Plan

Community Character Area Map

ATTACHMENT 4-4

8-2445-16



Gallatin on the Move 2020 General Development and Transportation Plan

Exhibit 4-8, Proposed Roadway Projects

ATTACHMENT 4-5

8-2445-16



1314 5th Avenue North, Suite 200
Nashville, Tennessee 37208
(615) 242-0040
220 West Crogan Street, Suite 100
Lawrenceville, Georgia 30046
(770) 338-0017

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TENNESSEE

THE VILLAGE AT PEYTONA DOWNS
AMENDED PMDP/REVISED FMDP
PREPARED FOR:
JPL DEVELOPMENT, LLC

GALLATIN

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION

SHEET TITLE

EXISTING CONDITIONS & DEMO PLAN

PROJECT NO. 16115	DATE 8/2/2016
DRAWN BY RW	SCALE 1" = 150'
CHECKED BY MB	
SHEET NO.	

C0.02

EXISTING PROPERTY DATA							
NUMBER	PROPERTY OWNERS	ADDRESS	TAX MAP NUMBER	PARCEL NUMBER	PROPERTY AREA		CURRENT ZONING
					ACRES	S.F.	
1	GREEN & LITTLE LP	P.O. BOX 8037 GALLATIN, TN 37066-8037	136	004.03	38.8	1,690,128	MRO (PUD)
2	KF LAND PARTNERS	100 KENNESAW BLVD, GALLATIN, TN 37066	136G	071.00	7.63	332,363	R15 (PRD)
3	GREENSBORO NORTH I LP	1175 NASHVILLE PIKE, GALLATIN, TN 37066	136	004.05	101.50	4,421,340	SP
4	GREEN & LITTLE LP	P.O. BOX 8037 GALLATIN, TN 37066-8037	136	004.04	56.35	2,454,606	MRO (PUD)
5	JODY CASE	275 SAINT BLAISE RD, GALLATIN, TN 37066	136	003.01	3.01	131,116	R40
6	KF LAND PARTNERS	100 KENNESAW BLVD, GALLATIN, TN 37066	136	024.05	5.78	251,777	R15 (PRD)
7	MAA BRIK, LLC AVONDALE @ KENNESAW FARMS	6584 POPLAR AVE., MEMPHIS, TN 38138	136	024.01	20.02	872,071	MU
8	ELLEN VANDERCOOK	215 CUMMINGS LANE, GALLATIN, TN 37066	136	023.00	0.75	32,670	AGRICULTURAL
9	GREEN & LITTLE LP	P.O. BOX 8037 GALLATIN, TN 37066-8037	136	004.03	2.80	121,968	AGRICULTURAL
10	KF LAND PARTNERS	100 KENNESAW BLVD, GALLATIN, TN 37066	136	045.00	35.40	1,542,024	PGC

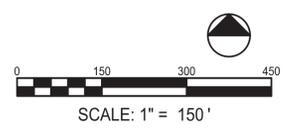
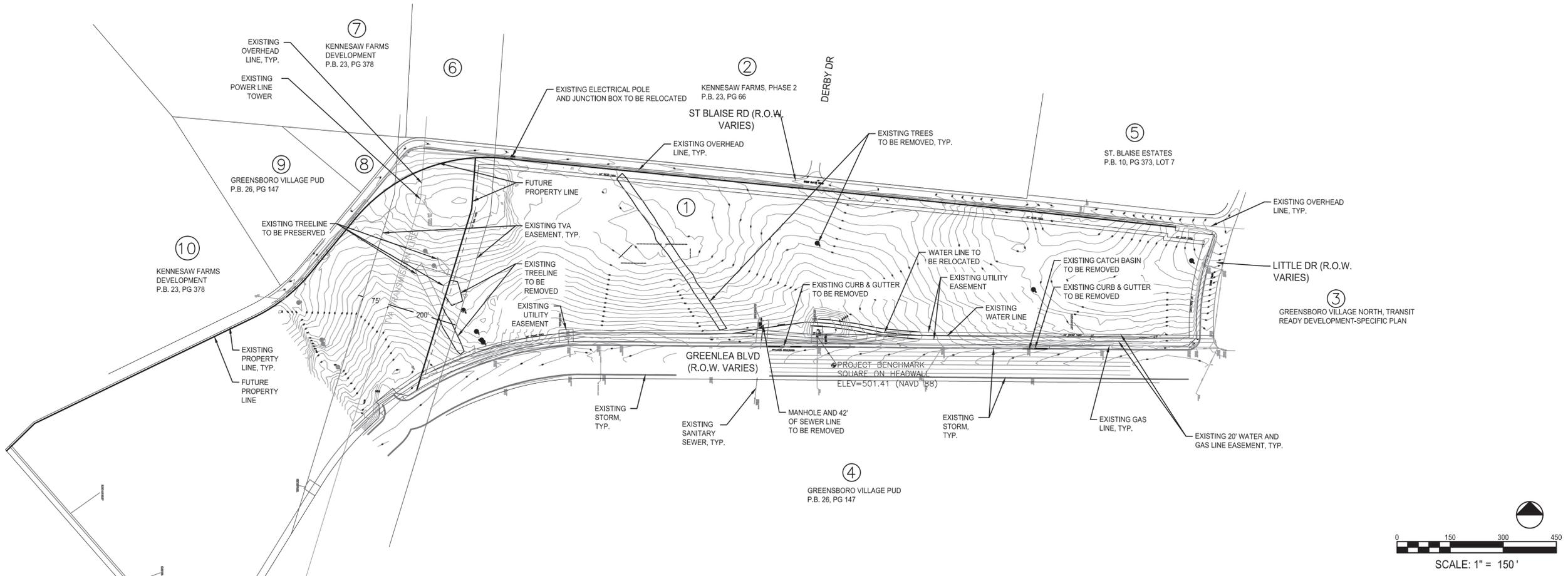
Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	200.08	463.04	24°45'26"	N38° 05' 37"W	198.52
C2	61.36	62.56	56°11'39"	N22° 22' 31"W	58.93
C3	234.85	667.00	20°10'26"	S79° 26' 44"E	233.64
C4	316.35	871.00	20°48'36"	S9° 56' 15"E	314.61
C5	161.55	767.00	12°04'06"	S25° 52' 02"E	161.26
C6	29.52	767.00	2°12'18"	S33° 00' 14"E	29.52
C7	250.21	825.74	17°21'40"	S49° 26' 21"E	249.25
C8	19.91	28.00	40°44'05"	S37° 45' 09"E	19.49

LEGEND

NOTE:
SURVEY DATA DISPLAYED AT 1" INTERVALS

EXISTING INTERVAL CONTOUR LINE

EXISTING INDEX CONTOUR LINE



**METES AND BOUNDS DESCRIPTION
GREENSBORO VILLAGE NORTH, TRACT 1**

LAND LYING ON THE NORTH SIDE OF U.S. HIGHWAY 31-E (NASHVILLE PIKE) AT ITS INTERSECTION WITH ST. BLAISE ROAD IN THE CITY OF GALLATIN, FOURTH CIVIL DISTRICT, SUMNER COUNTY, TENNESSEE, BEING PART OF THE LAND DEEDED TO GREEN & LITTLE, L.P. BY DEED RECORDED IN RECORD BOOK 765, PAGE 768 AND BY CERTIFICATES OF MERGER RECORDED IN RECORD BOOK 1065, PAGE 515 AND RECORD BOOK 2166, PAGE 670, REGISTER'S OFFICE OF SUMNER COUNTY (R.O.S.C.), TENNESSEE AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- BEGINNING AT CONCRETE RIGHT OF WAY MONUMENT (OLD) AT INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF SAID HIGHWAY 31-E AND THE EAST RIGHT OF WAY LINE OF SAID ST. BLAISE ROAD; THENCE, WITH SAID EAST RIGHT OF WAY LINE OF SAID ST. BLAISE ROAD THE FOLLOWING SEVEN CALLS (1 THROUGH 7):
1. N44°11'50"W, A DISTANCE OF 111.42 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
2. N25°42'54"W, A DISTANCE OF 689.93 FEET TO A 1/2" CAPPED IRON ROD (OLD) AT THE POINT OF CURVATURE OF THE FOLLOWING CURVE; THENCE,
3. WITH SAID CURVE TO THE LEFT, NORTHWESTERLY AN ARC LENGTH OF 200.08 FEET, SAID CURVE HAVING A RADIUS OF 463.04 FEET, A DELTA ANGLE OF 24°45'26", AND A CHORD OF N38°05'37"W, 198.52 FEET TO A 1/2" CAPPED IRON ROD (OLD); THENCE,
4. N50°28'20"W, A DISTANCE OF 421.60 FEET TO A 1/2" CAPPED IRON ROD (OLD) AT THE POINT OF CURVATURE OF THE FOLLOWING CURVE; THENCE,
5. WITH SAID CURVE TO THE RIGHT, SOUTHEASTERLY AN ARC LENGTH OF 61.35 FEET, SAID CURVE HAVING A RADIUS OF 62.56 FEET, A DELTA ANGLE OF 56°11'39", AND A CHORD OF N22°22'31"W, 58.92 FEET TO A 1/2" CAPPED IRON ROD (OLD); THENCE,
6. N05°43'19"E, A DISTANCE OF 1711.03 FEET TO A 1/2" CAPPED IRON ROD (OLD); THENCE,

7. N06°10'08"E, A DISTANCE OF 425.21 FEET TO A 1/2" CAPPED IRON ROD (OLD); THENCE, WITH THE RIGHT OF WAY LINES OF NEW ST. BLAISE ROAD AND GREENLEA BOULEVARD THE FOLLOWING 18 CALLS (8 THROUGH 25):
8. S83°38'27"E, A DISTANCE OF 15.12 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
9. N06°13'15"E, A DISTANCE OF 111.50 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
10. S89°21'31"E, A DISTANCE OF 23.58 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
11. WITH A CURVE TO THE LEFT, SOUTHEASTERLY AN ARC LENGTH OF 234.85 FEET, SAID CURVE HAVING A RADIUS OF 667.00 FEET, A DELTA ANGLE OF 20°10'26", AND A CHORD OF S79°26'44"E, 233.64 FEET; THENCE,
12. S89°31'57"E, A DISTANCE OF 38.13 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
13. S44°31'57"E, A DISTANCE OF 32.53 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
14. S00°28'03"W, A DISTANCE OF 1690.29 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
15. WITH A CURVE TO THE LEFT, SOUTHERLY AN ARC LENGTH OF 316.35 FEET, SAID CURVE HAVING A RADIUS OF 871.00 FEET, A DELTA ANGLE OF 20°48'36", AND A CHORD OF S09°56'15"E, 314.61 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
16. S20°20'33"E, A DISTANCE OF 35.08 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
17. WITH A CURVE TO THE LEFT, SOUTHEASTERLY AN ARC LENGTH OF 191.08 FEET, SAID CURVE HAVING A RADIUS OF 767.00 FEET, A DELTA ANGLE OF 14°16'25", AND A CHORD OF S26°58'11"E, 190.58 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,

18. S08°57'45"W, A DISTANCE OF 31.11 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
19. S51°31'15"W, A DISTANCE OF 20.01 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
20. S39°37'24"E, A DISTANCE OF 60.01 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
21. N51°31'12"E, A DISTANCE OF 16.41 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
22. S84°37'04"E, A DISTANCE OF 31.88 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
23. WITH A CURVE TO THE LEFT, SOUTHEASTERLY AN ARC LENGTH OF 250.21 FEET, SAID CURVE HAVING A RADIUS OF 825.74 FEET, A DELTA ANGLE OF 17°21'40", AND A CHORD OF S49°26'21"E, 249.25 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
24. S58°07'11"E, A DISTANCE OF 612.52 FEET TO A CONCRETE RIGHT OF WAY MONUMENT (OLD); THENCE,
25. WITH A CURVE TO THE RIGHT, SOUTHEASTERLY AN ARC LENGTH OF 19.90 FEET, SAID CURVE HAVING A RADIUS OF 28.00 FEET, A DELTA ANGLE OF 40°43'28", AND A CHORD OF S37°45'27"E, 19.49 FEET TO A POINT ON SAID NORTH RIGHT OF WAY LINE OF SAID HIGHWAY 31-E; THENCE,
26. WITH SAID NORTH RIGHT OF WAY LINE, S48°44'23"W, A DISTANCE OF 840.52 FEET TO THE POINT OF BEGINNING;

CONTAINING 1,694,217 SQUARE FEET OR 38.89 ACRES, MORE OR LESS.

FEMA FLOODPLAIN NOTE

NO PORTION OF THIS SITE LIES WITHIN A FLOOD HAZARD AREA AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 47165C040G, EFFECTIVE DATE: APRIL 17, 2012.

N:\2016\16115_Peytona Downs\16115_C002.dwg, DATE: 8/2/2016, TIME: 10:00:00 AM, USER: jpl, PLOT: 16115_C002.dwg, PLOT: 16115_C002.dwg



1314 5th Avenue North, Suite 200
Nashville, Tennessee 37208
(615) 242-0040
220 West Crogan Street, Suite 100
Lawrenceville, Georgia 30046
(770) 338-0017

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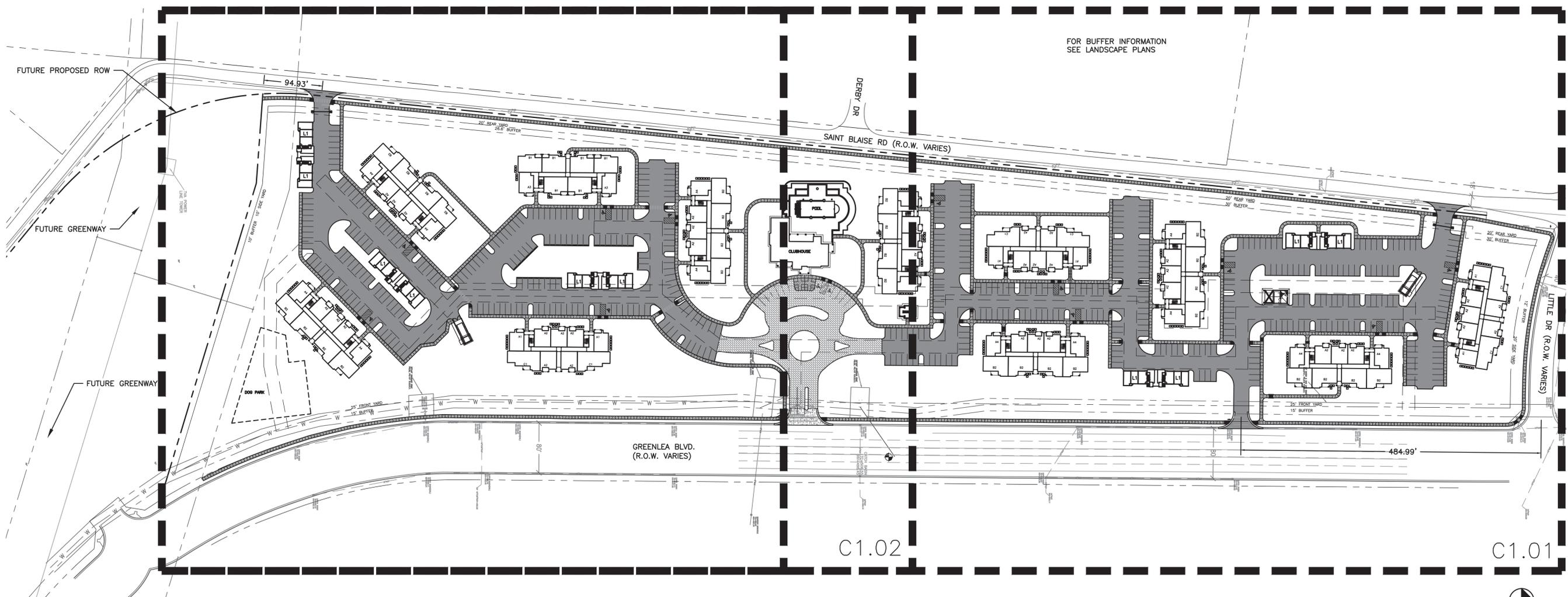


SITE DATA		BULK REQUIREMENTS:	
PROPERTY OWNERS NAME:	GREEN & LITTLE, LP	EXISTING ZONING:	MRO (PUD)
PROPERTY OWNERS ADDRESS:	P.O. BOX 8037 GALLATIN, TN 37066-8037	PROPOSED ZONING:	MRO (PUD)
DEVELOPERS NAME:	JPL DEVELOPMENT, LLC,	MINIMUM LOT AREA:	N/A
DEVELOPERS ADDRESS:	353 MARSHALL AVE., SUITE 1 ST. LOUIS, MISSOURI 63119	SETBACKS:	
TOTAL SITE ACREAGE:	38.89 ACRES (1,694,217 S.F.)	MINIMUM FRONT:	25'
PROPOSED SITE ACREAGE:	21.01 ACRES (915,277.58 S.F.)	MINIMUM REAR:	20'
SITE ADDRESS:	SOUTHEAST OF LITTLE RD AND GREENLEA BLVD, GALLATIN, TN	MINIMUM SIDE:	10'
TAX MAP NUMBER:	136	MAXIMUM FLOOR AREA RATIO:	N/A
PARCEL NUMBER:	004.03 (PORTION OF)	MAXIMUM OVERALL DENSITY (SITE):	14.3 UNITS/ACRE
TOTAL RESIDENTIAL UNITS:	304	MINIMUM LOT WIDTH:	N/A
MAXIMUM GROSS DENSITY:	14.3 UNITS/ACRE		
PROVIDED GROSS DENSITY:			
OPEN SPACE REQUIRED:	4.2 AC (20% OF 21.01 AC)		
OPEN SPACE PROVIDED:	10.6 AC (51% OF 21.01 AC)		
AC OPEN SPACE IN FLOOD PLAIN:	N/A		
AC DETENTION PROVIDED THROUGH LID TECHNIQUES:	0.26 AC		

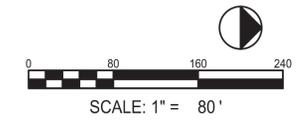
- LAYOUT NOTES:**
- INSTALL JOINTS WHERE SHOWN, ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
 - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
 - ALL CURBS ARE DIMENSIONED TO THE FACE OF CURB.
 - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
 - ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
 - A 2' CURB TAPER SHALL BE PLACED ON NON-FLUSH CURBS, WHERE SIDEWALKS MEET A CROSSWALK.

LAYOUT INFO LEGEND

DETAIL TAG:	DESCRIPTION	CONTROL JOINT PER DETAIL 7, SHEET C4.01	EXPANSION JOINT PER DETAIL 7, SHEET C4.01	HEAVY DUTY CONCRETE PER DETAIL 11, SHEET C4.00	LIGHT DUTY CONCRETE SIDEWALK PER DETAIL 3, SHEET C4.01	ASPHALT PAVING PER DETAIL 1, SHEET C4.01	PERVIOUS CONCRETE PAVING PER DETAIL 2, SHEET C4.01
①	COORDINATE POINT TAG: SEE TABLES FOR COORDINATES						



- NOTES:**
- SEE SHEET C0.01 FOR GENERAL NOTES.
 - SEE SHEET C0.02 EXISTING CONDITIONS.
 - ALL MATERIALS SHALL BE PER TDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.



TENNESSEE
 THE VILLAGE AT PEYTONA DOWNS
 AMENDED PMDP/REVISED FMDP
 PREPARED FOR:
 JPL DEVELOPMENT, LLC
 GALLATIN

SUBMITTALS / REVISIONS

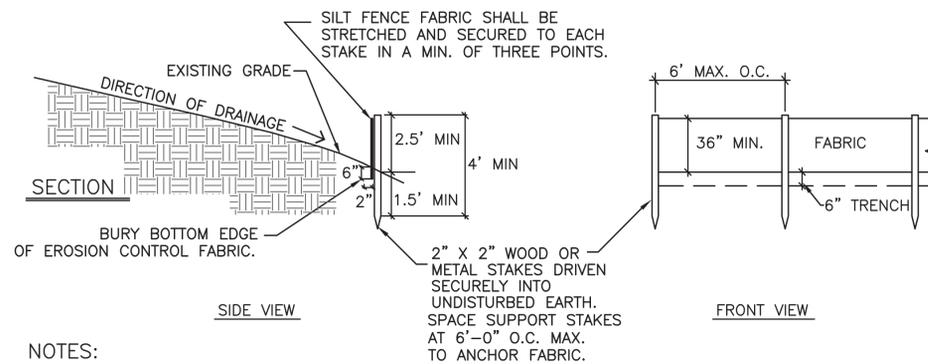
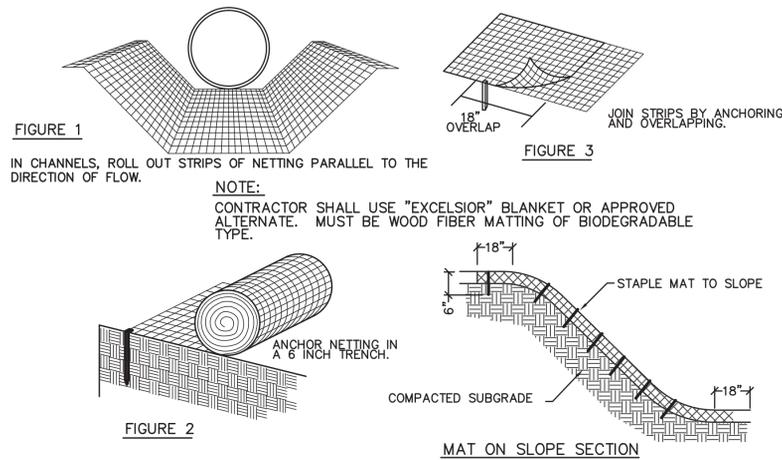
NO.	DATE	DESCRIPTION

SHEET TITLE
SITE LAYOUT PLAN KEY

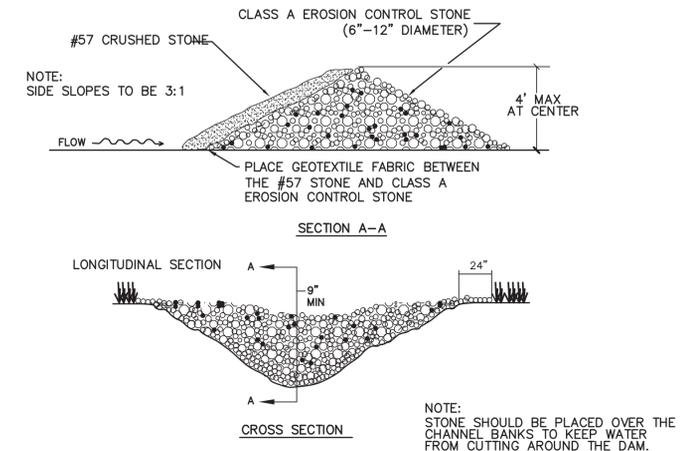
PROJECT NO. 16115	DATE 8/2/2016
DRAWN BY RW	SCALE 1"=80'
CHECKED BY MB	
SHEET NO.	

C1.00

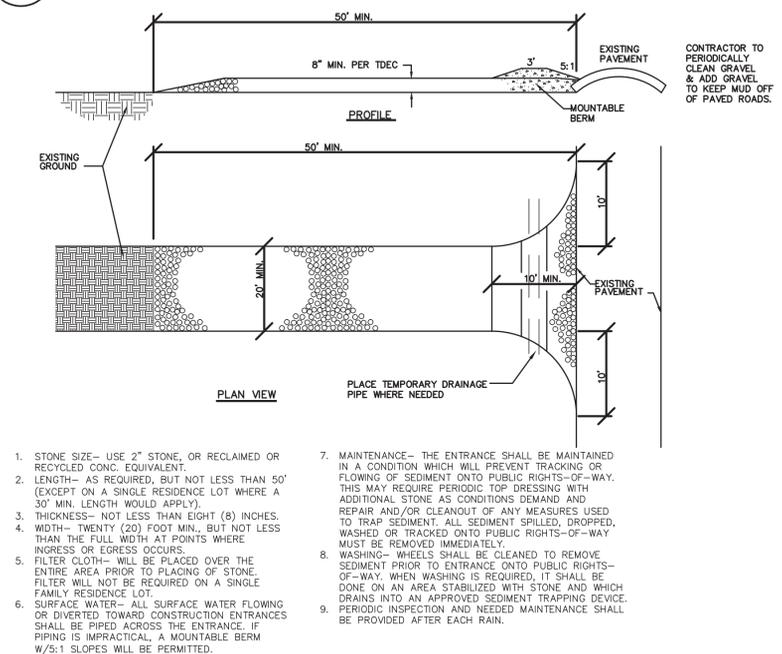
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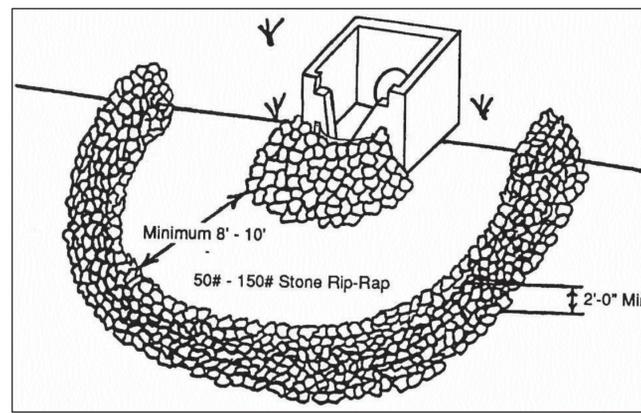
- NOTES:**
- FENCE TO BE INSTALLED PRIOR TO PLACING FILL. SEE GRADING PLAN SHEETS FOR LOCATIONS.
 - CONTRACTOR IS TO MAINTAIN FENCE UNTIL VEGETATION IS ESTABLISHED; THEN REMOVE FENCE AND ANY ACCUMULATED SEDIMENT.
 - CONTRACTOR MAY SUBSTITUTE OWNER APPROVED PRE-ASSEMBLED FENCE.



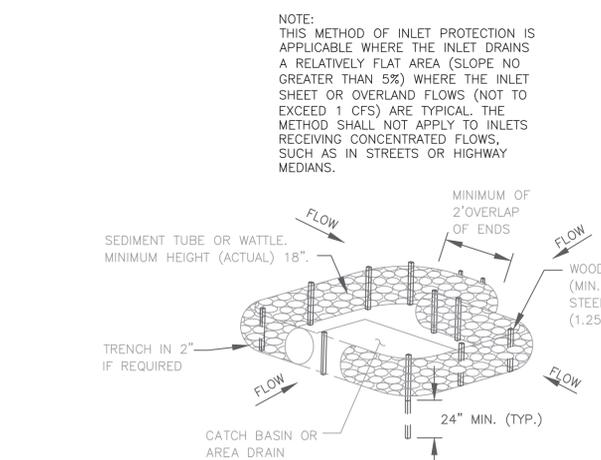
1 EROSION CONTROL MATTING
SCALE: NTS



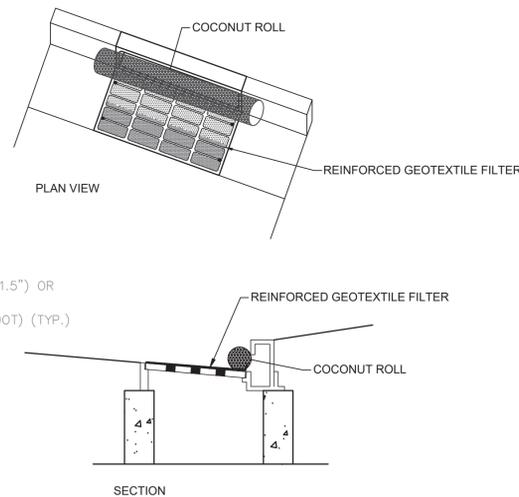
2 SILT FENCE
SCALE: NTS



4 CONSTRUCTION ENTRANCE
SCALE: NTS



5 FILTER RING
SCALE: NTS



6 INLET PROTECTION
SCALE: NTS

7 OUTLET PROTECTION
SCALE: NTS

ACTIVITY: Outlet Protection PESC - 07

PLAN VIEW

SECTION A-A

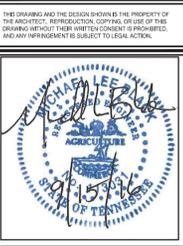
Pipe Diameter (in. (mm))	Discharge (cfs) (m ³ /s)	Approx. Length, L (ft) (m)	Rip-Rap D ₅₀ Diameter (in. (mm))
12 (300)	4.9 (0.14)	19 (6)	4 (100)
14 (350)	9.8 (0.28)	13 (4)	6 (150)
18 (450)	19.6 (0.56)	10 (3)	8 (200)
24 (600)	39.2 (1.12)	8 (2)	12 (300)
30 (750)	58.8 (1.68)	6 (2)	18 (450)
36 (900)	78.4 (2.24)	5 (1)	24 (600)
42 (1050)	98.0 (2.80)	4 (1)	30 (750)

For larger or higher flows, consult a registered civil engineer.

Source: Adapted from USDA-SCS

Figure PESC-07-1 Outlet Protection Sizing

Volume 4: BMP For Development Activity - Permanent EAS Control Management Practices PESC-07-3 February 2000



SUBMITTALS / REVISIONS

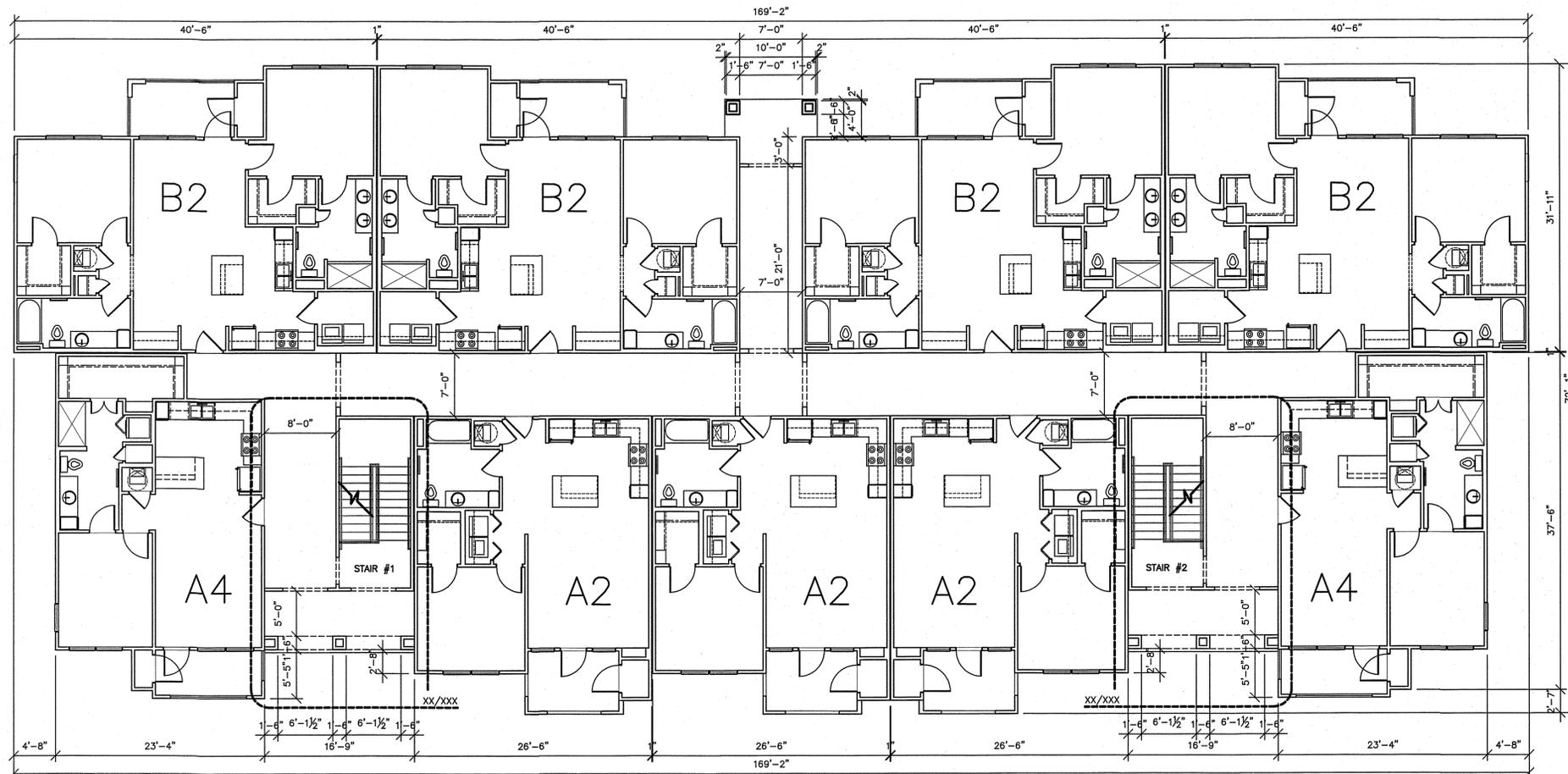
NO.	DATE	DESCRIPTION

SHEET TITLE

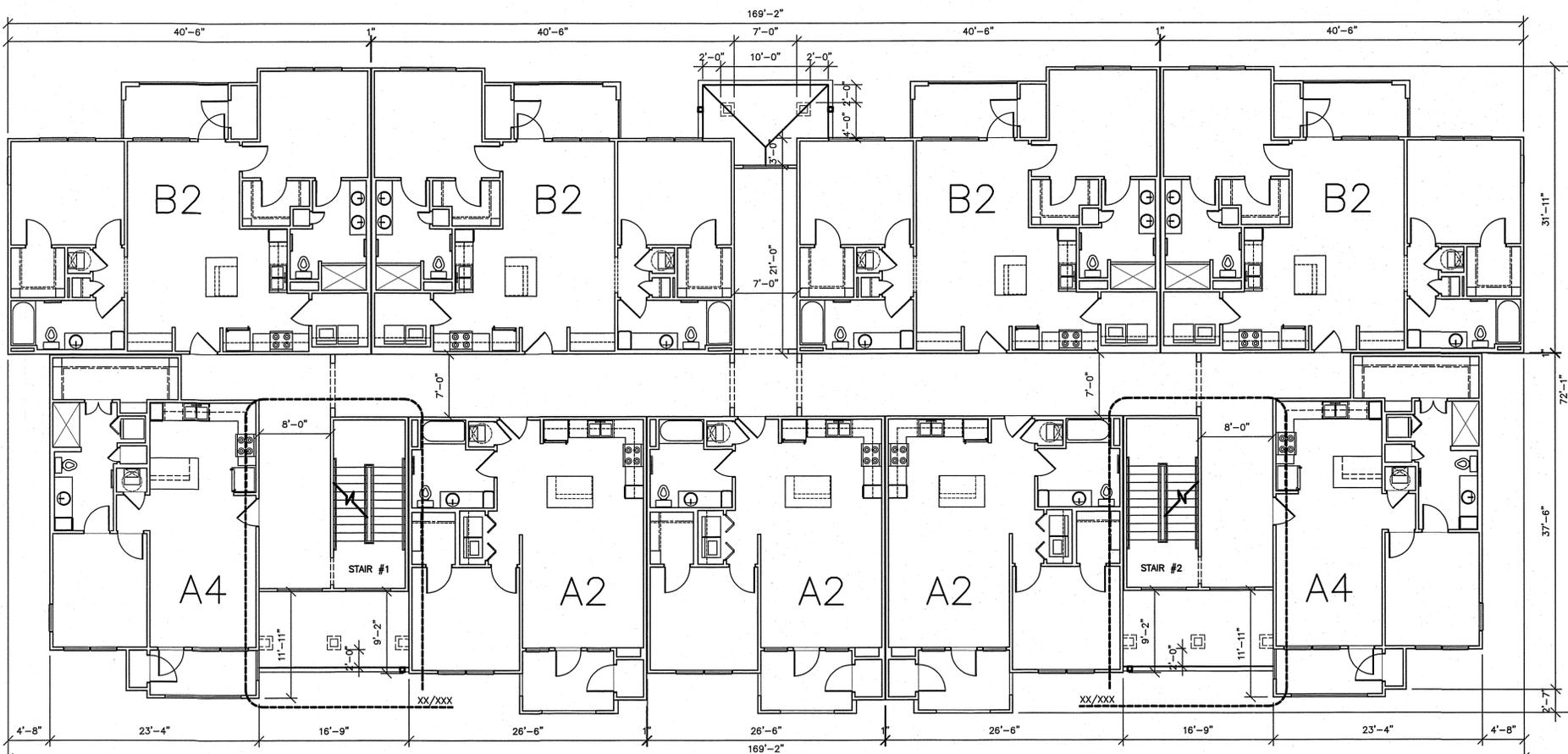
DRAINAGE & EPSC DETAILS

PROJECT NO. 16115	DATE 8/2/2016
DRAWN BY RV	SCALE NTS
CHECKED BY MB	
SHEET NO.	

C2.90



1 BUILDINGS 1,2,5,6,8,9,10 SECOND FLOOR
 1/8" = 1'-0"



1 BUILDINGS 1,2,5,6,8,9,10 FIRST FLOOR
 1/8" = 1'-0"

KEYNOTES

VILLAGES AT PEYTONA DOWNS
 GALLATIN, TN



Parker Associates Tulsa, LLC
 2202 E. 49th Street, Suite 200
 Tulsa, Oklahoma 74105
 918-742-2485

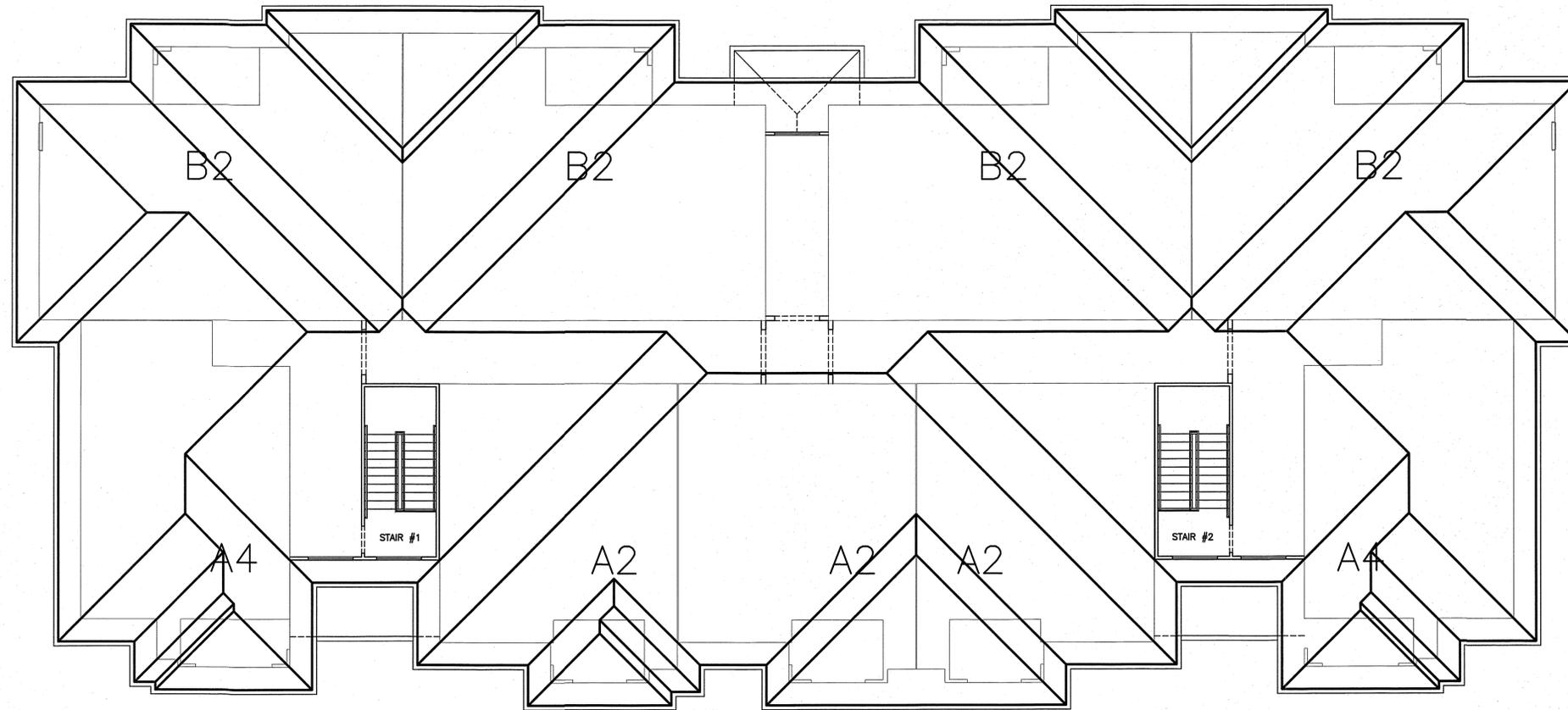
Jim E. Parker - Architect of Record
 Tennessee License #17971

JPL DEVELOPMENT
 LLC
 353 MARSHALL AVE, SUITE 1
 ST. LOUIS, MISSOURI 63119

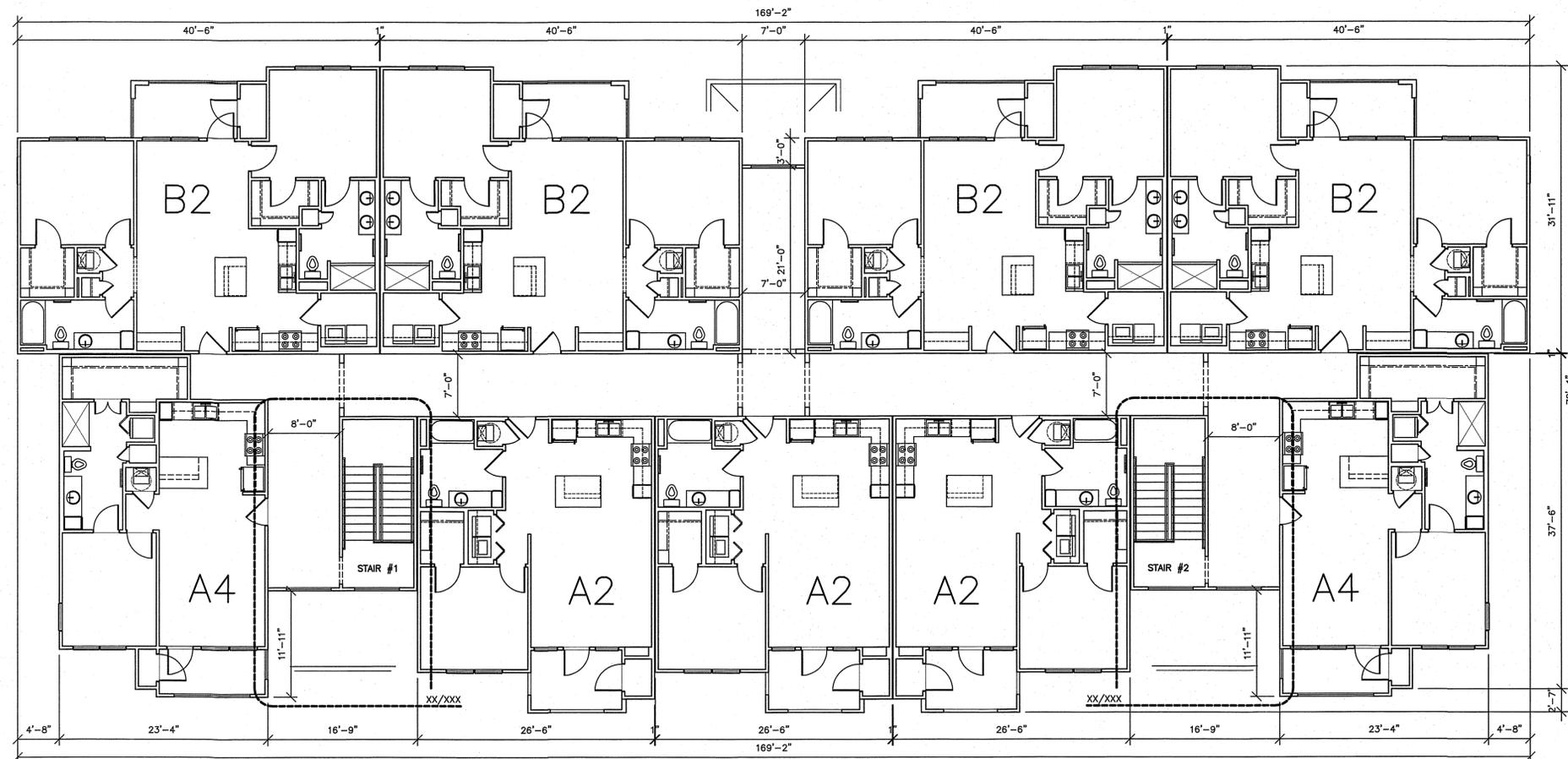
JOB NUMBER: 216024
 DRAWN BY: JEP/AT
 DATE: 07/26/2016



BUILDINGS 1,2,5,6,8,9,10
 PLANS
 SHEET NUMBER AB1 OF X



1 BUILDINGS 1,2,5,6,8,9,10 ROOF PLAN
 1/8" = 1'-0"



1 BUILDINGS 1,2,5,6,8,9,10 THIRD FLOOR
 1/8" = 1'-0"

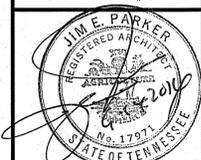
KEYNOTES

VILLAGES AT
 PEYTONA DOWNS
 GALLATIN, TN


 Parker Associates Tulsa, LLC
 2202 E. 49th Street, Suite 200
 Tulsa, Oklahoma 74110
 918-742-2485

Jim E. Parker - Architect of Record
 Tennessee License #17971

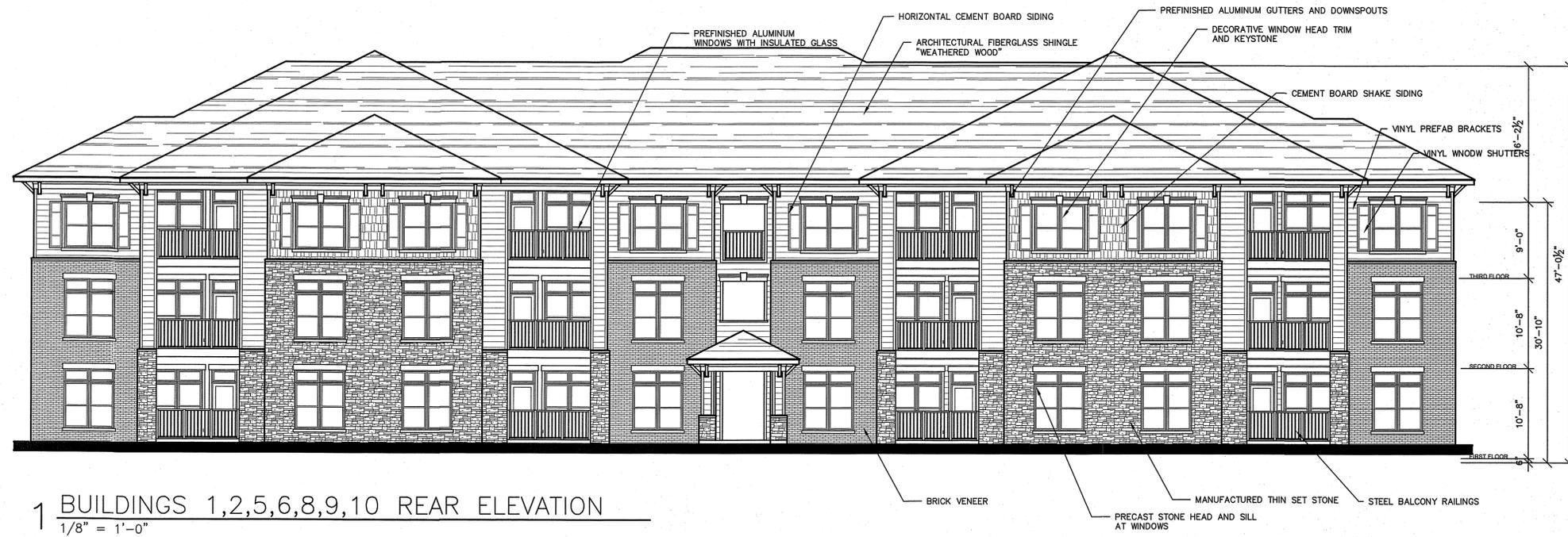
JPL
 DEVELOPMENT
 LLC
 353 MARSHALL AVE, SUITE 1
 ST. LOUIS, MISSOURI 63119



JOB NUMBER: 216024
 DRAWN BY: JEP,AT
 DATE: 07/26/2016

BUILDINGS 1,2,5,6,8,9,10
 PLANS

SHEET NUMBER AB2 OF X
 OF



1 BUILDINGS 1,2,5,6,8,9,10 REAR ELEVATION
1/8" = 1'-0"



2 BUILDINGS 1,2,5,6,8,9,10 FRONT ELEVATION
1/8" = 1'-0"



3 BUILDINGS 1,2,5,6,8,9,10 END ELEVATION
1/8" = 1'-0"



4 BUILDINGS 1,2,5,6,8,9,10 END ELEVATION
1/8" = 1'-0"

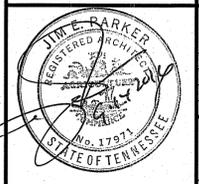
KEYNOTES	
TYPICAL BLDG MASONRY CALCULATIONS	
FRONT BUILDING ELEVATION (PARKING SIDE)	
AREA OF BRICK VENEER	846 SF
AREA OF THIN SET STONE VENEER	925 SF
AREA OF CEMENT BOARD SIDING	474 SF
AREA OF CEMENT BOARD SHAKES	274 SF
TOTAL MASONRY:	1,771 SF
TOTAL NON-MASONRY:	748 SF
PERCENT MASONRY :	70.3 %
REAR BUILDING ELEVATION (NON-PARKING SIDE)	
AREA OF BRICK VENEER	744 SF
AREA OF THIN SET STONE VENEER	1,004 SF
AREA OF CEMENT BOARD SIDING	730 SF
AREA OF CEMENT BOARD SHAKES	317 SF
TOTAL MASONRY:	1,673 SF
TOTAL NON-MASONRY:	842 SF
PERCENT MASONRY :	70.1 %
END BUILDING ELEVATION (BOTH ENDS IDENTICAL)	
AREA OF BRICK VENEER	680 SF
AREA OF THIN SET STONE VENEER	1,421 SF
AREA OF CEMENT BOARD SIDING	462 SF
AREA OF CEMENT BOARD SHAKES	10 SF
TOTAL MASONRY:	2,101 SF
TOTAL NON-MASONRY:	472 SF
PERCENT MASONRY :	81.7 %

VILLAGES AT PEYTONA DOWNS
GALLATIN, TN

Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485

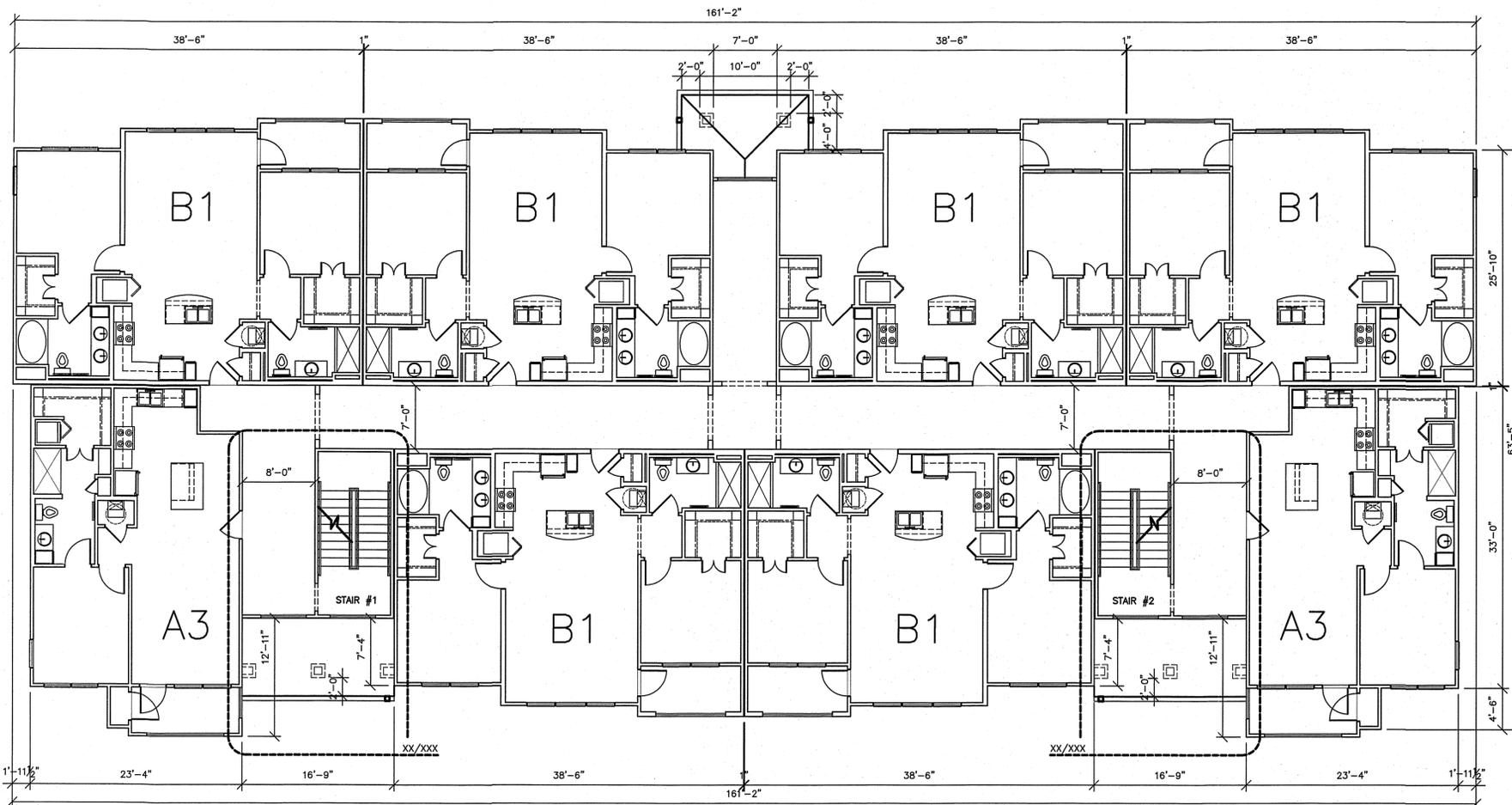
Jim E. Parker - Architect of Record
Tennessee License #17971

JPL DEVELOPMENT LLC
353 MARSHALL AVE, SUITE 1
ST. LOUIS, MISSOURI 63119

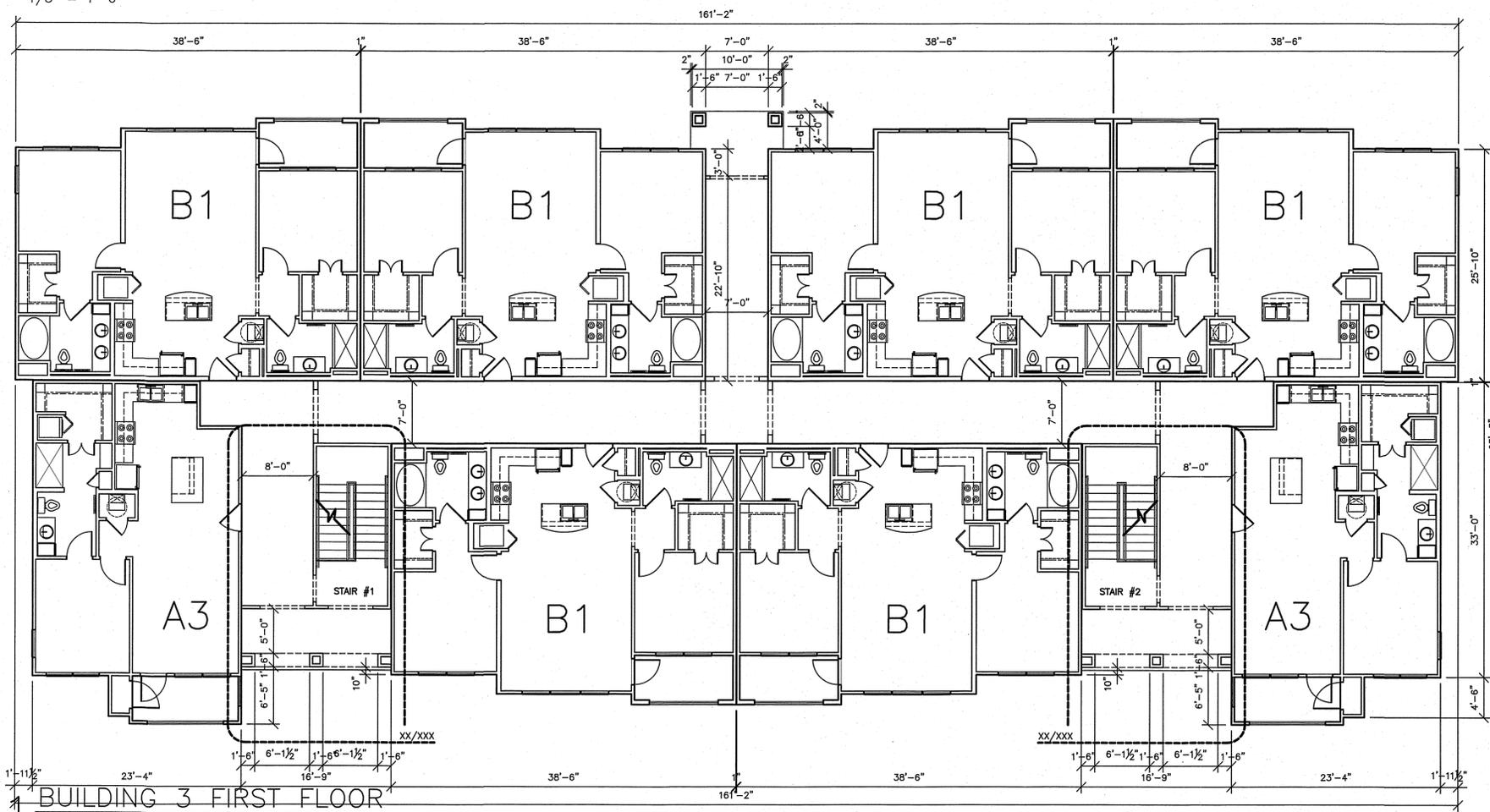


JOB NUMBER: 216024
DRAWN BY: JEP/AT
DATE: 07/26/2016

BUILDINGS 1,2,5,6,8,9,10 ELEVATIONS
SHEET NUMBER AB3 OF X



1 BUILDING 3 SECOND FLOOR
 1/8" = 1'-0"



1 BUILDING 3 FIRST FLOOR
 1/8" = 1'-0"

KEYNOTES

VILLAGES AT PEYTONA DOWNS
 GALLATIN, TN



Parker Associates Tulsa, LLC
 2202 E. 49th Street, Suite 200
 Tulsa, Oklahoma 74105
 918-742-2485

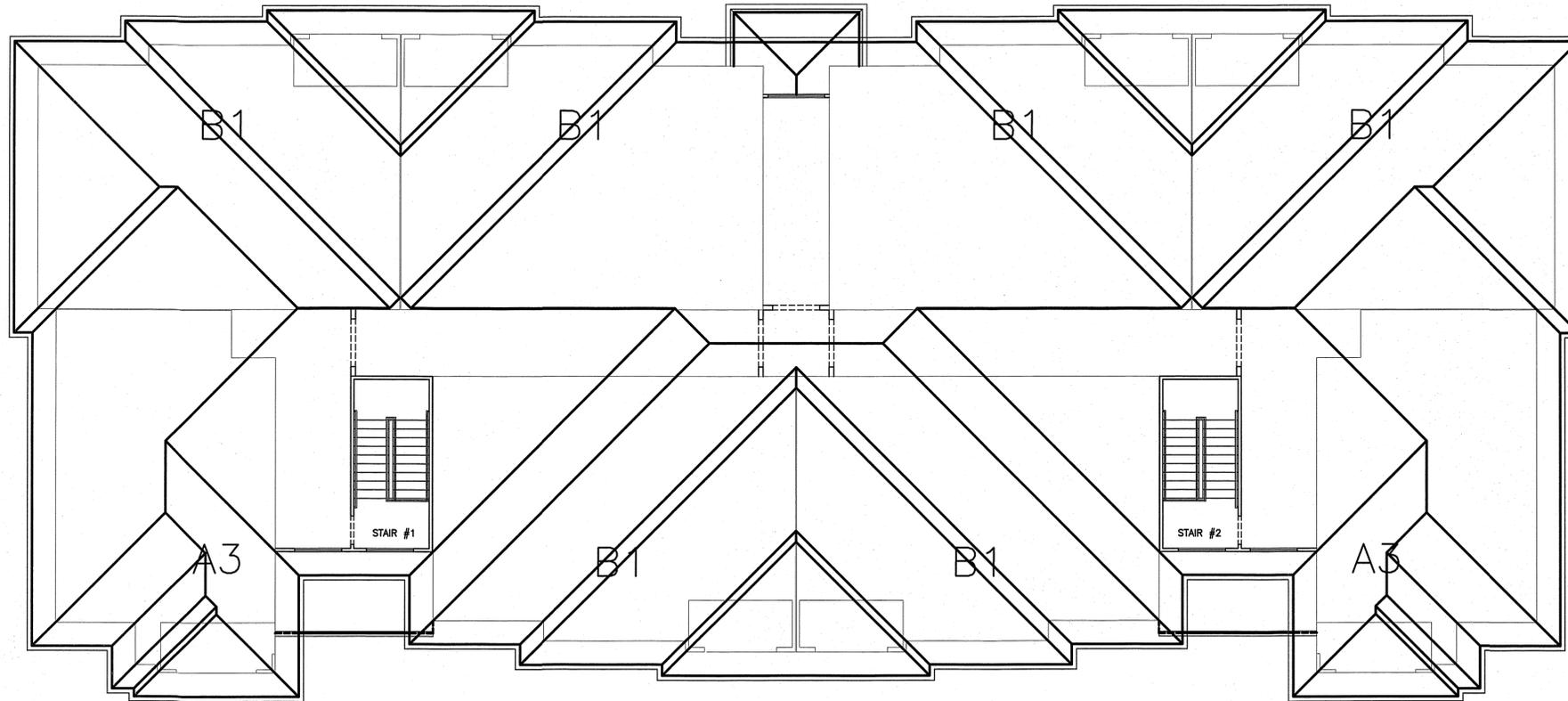
Jim E. Parker - Architect of Record
 Tennessee License #17971

JPL DEVELOPMENT LLC
 353 MARSHALL AVE, SUITE 1
 ST. LOUIS, MISSOURI 63119

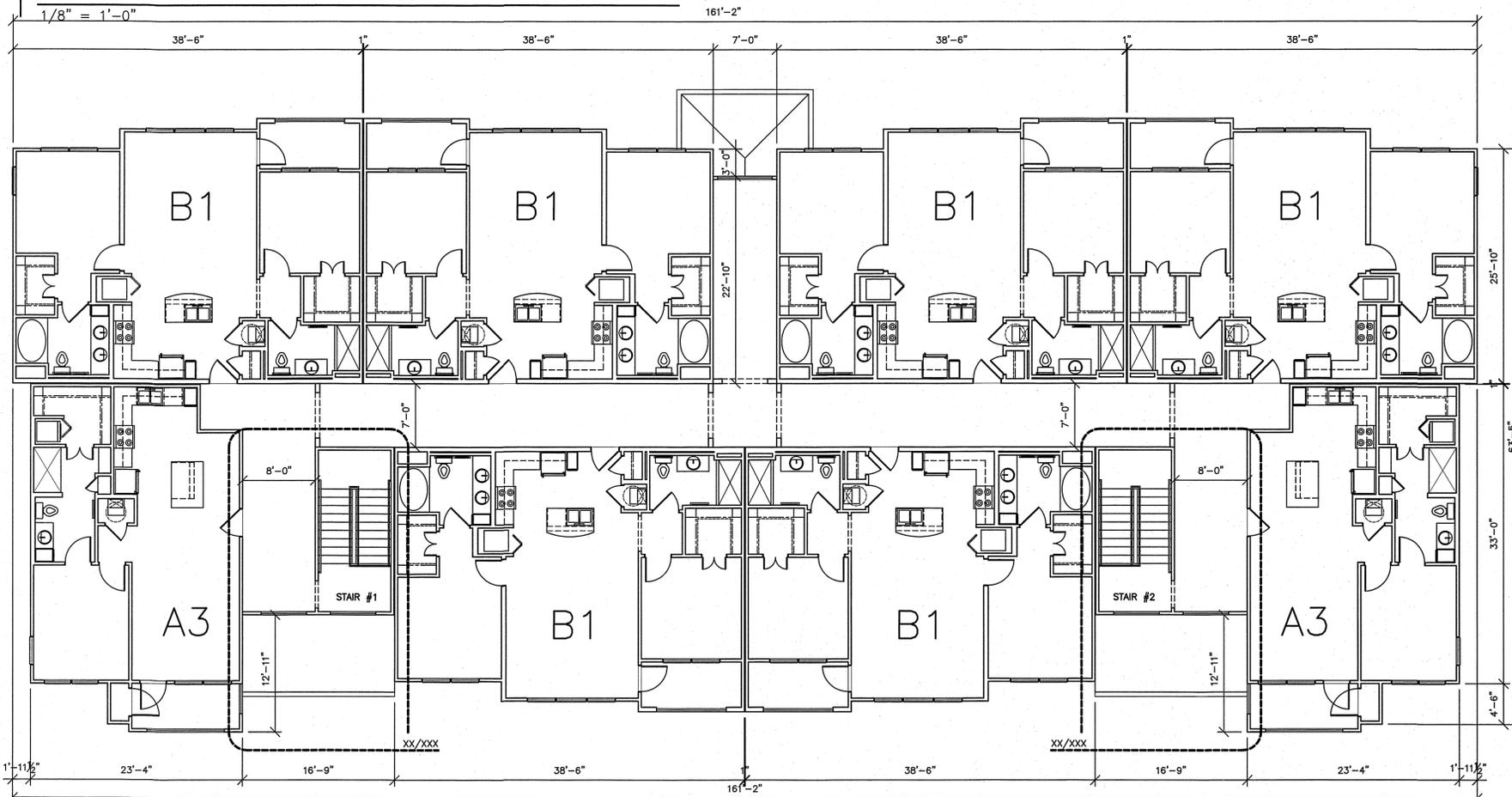
JOB NUMBER: 216024
 DRAWN BY: JEP,AT
 DATE: 07/26/2016



BUILDING 3 PLANS
 SHEET NUMBER AB4 OF X



1 BUILDING 3 SECOND FLOOR



1 BUILDING 3 FIRST FLOOR

1/8" = 1'-0"

KEYNOTES

VILLAGES AT PEYTONA DOWNS
GALLATIN, TN



Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485

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Tennessee License #17971

JPL
DEVELOPMENT
LLC

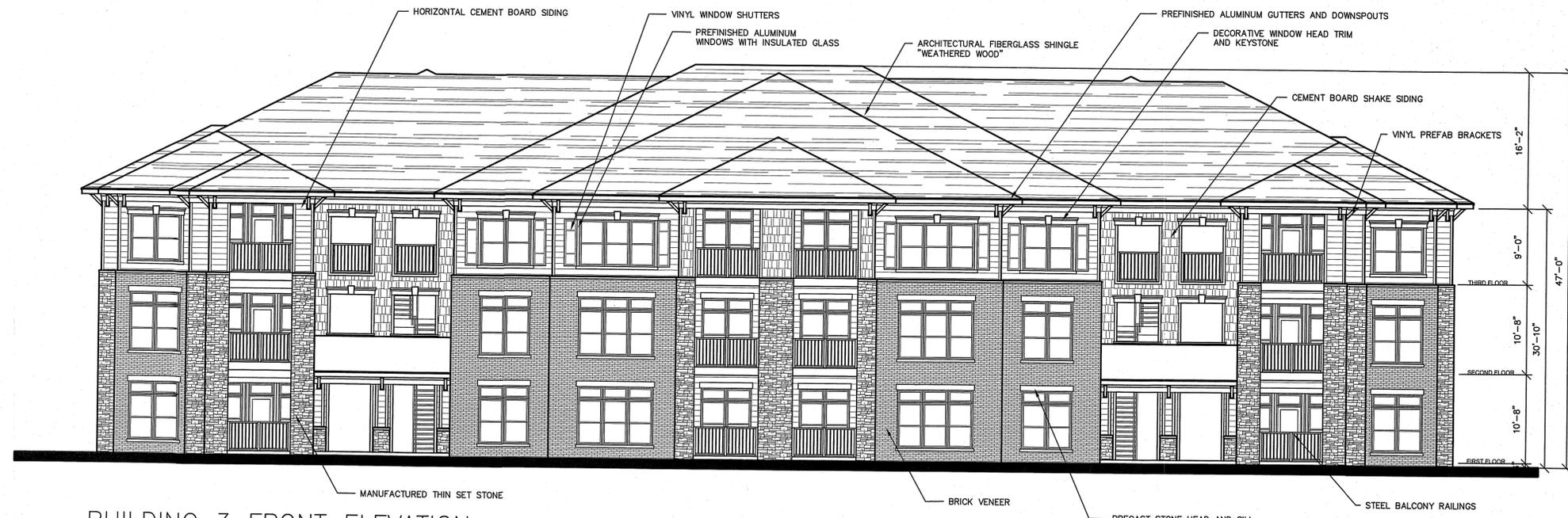
353 MARSHALL AVE, SUITE 1
ST. LOUIS, MISSOURI 63119



JOB NUMBER: 216024
DRAWN BY: JEP/AT
DATE: 07/26/2016

BUILDING 3 PLANS

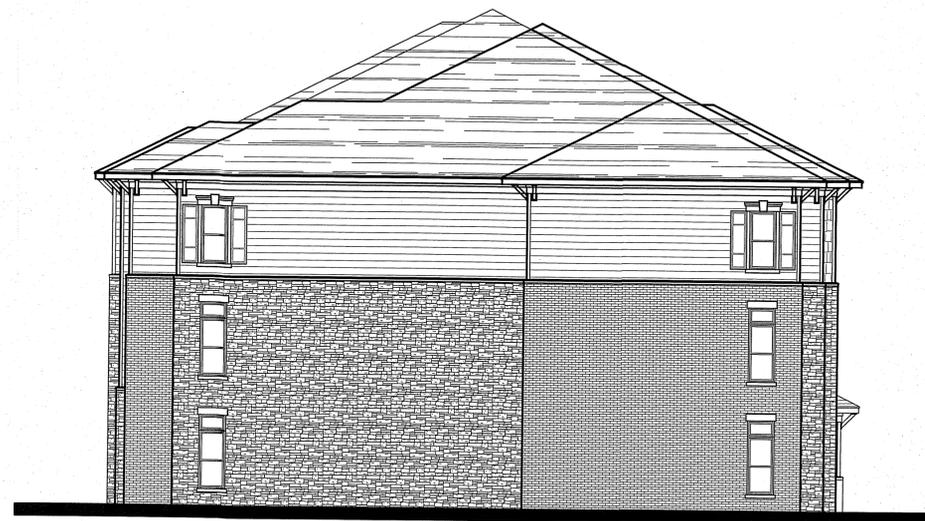
SHEET NUMBER AB5 OF X



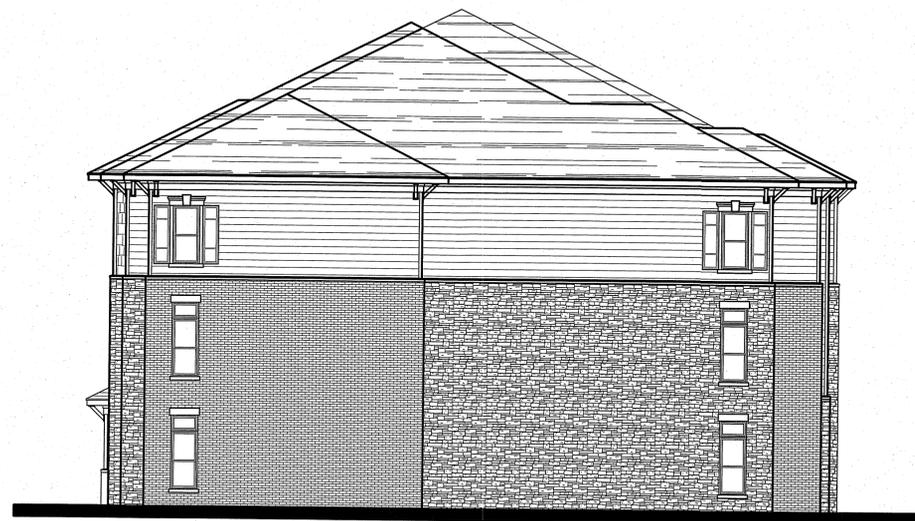
1 BUILDING 3 FRONT ELEVATION
1/8" = 1'-0"



2 BUILDING 3 REAR ELEVATION
1/8" = 1'-0"



3 BUILDING 3 END ELEVATION
1/8" = 1'-0"



4 BUILDING 3 END ELEVATION
1/8" = 1'-0"

KEYNOTES	
TYPICAL BLDG MASONRY CALCULATIONS	
FRONT BUILDING ELEVATION (PARKING SIDE)	
AREA OF BRICK VENEER	844 SF
AREA OF THIN SET STONE VENEER	634 SF
AREA OF CEMENT BOARD SIDING	280 SF
AREA OF CEMENT BOARD SHAKES	218 SF
TOTAL MASONRY:	1,478 SF
TOTAL NON-MASONRY:	498 SF
PERCENT MASONRY :	74.8 %
REAR BUILDING ELEVATION (NON-PARKING SIDE)	
AREA OF BRICK VENEER	576 SF
AREA OF THIN SET STONE VENEER	1,090 SF
AREA OF CEMENT BOARD SIDING	288 SF
AREA OF CEMENT BOARD SHAKES	102 SF
TOTAL MASONRY:	1,666 SF
TOTAL NON-MASONRY:	390 SF
PERCENT MASONRY :	81.0 %
END BUILDING ELEVATION (BOTH ENDS IDENTICAL)	
AREA OF BRICK VENEER	623 SF
AREA OF THIN SET STONE VENEER	771 SF
AREA OF CEMENT BOARD SIDING	458 SF
AREA OF CEMENT BOARD SHAKES	7 SF
TOTAL MASONRY:	1,394 SF
TOTAL NON-MASONRY:	465 SF
PERCENT MASONRY :	75.0 %

VILLAGES AT PEYTONA DOWNS
GALLATIN, TN

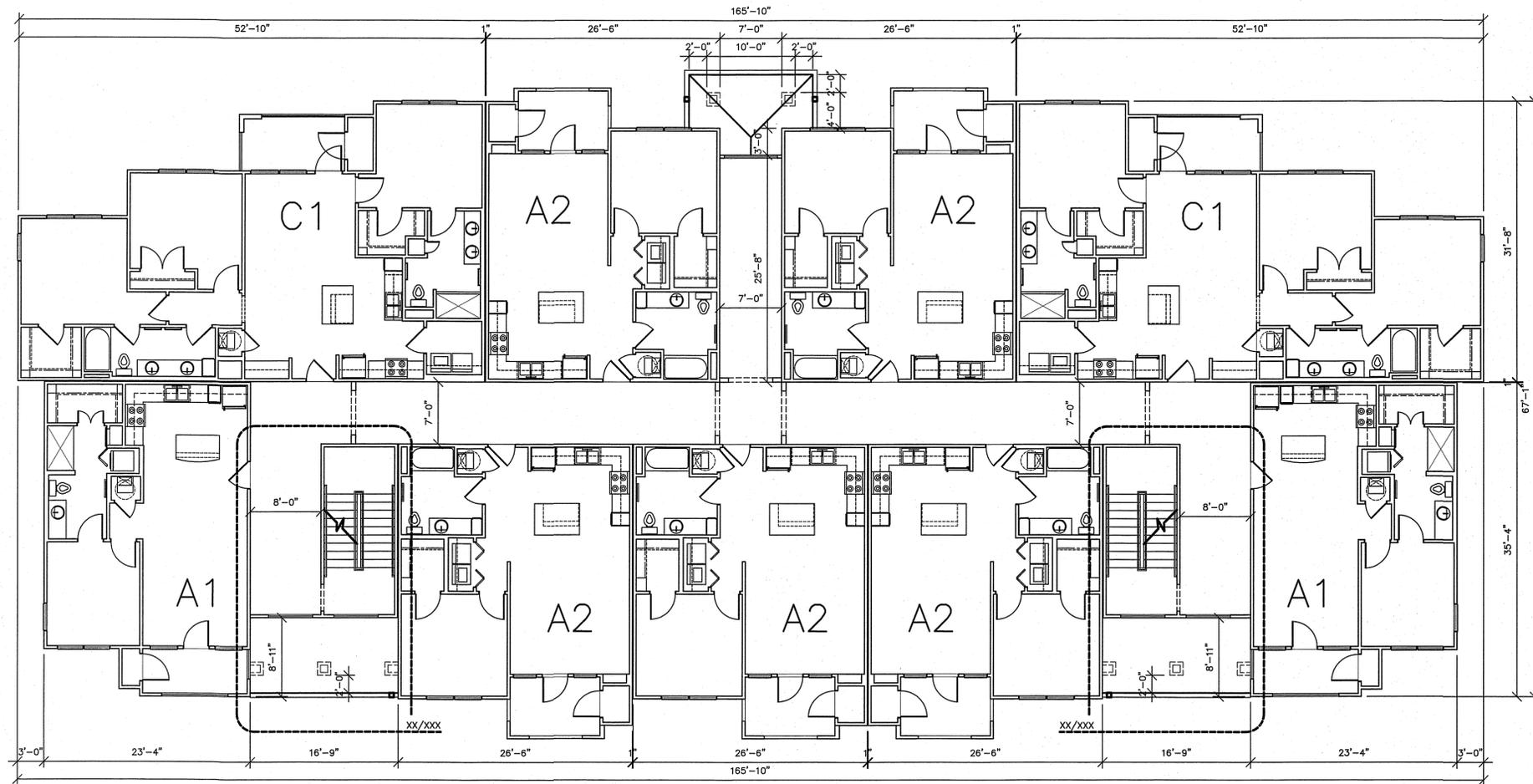

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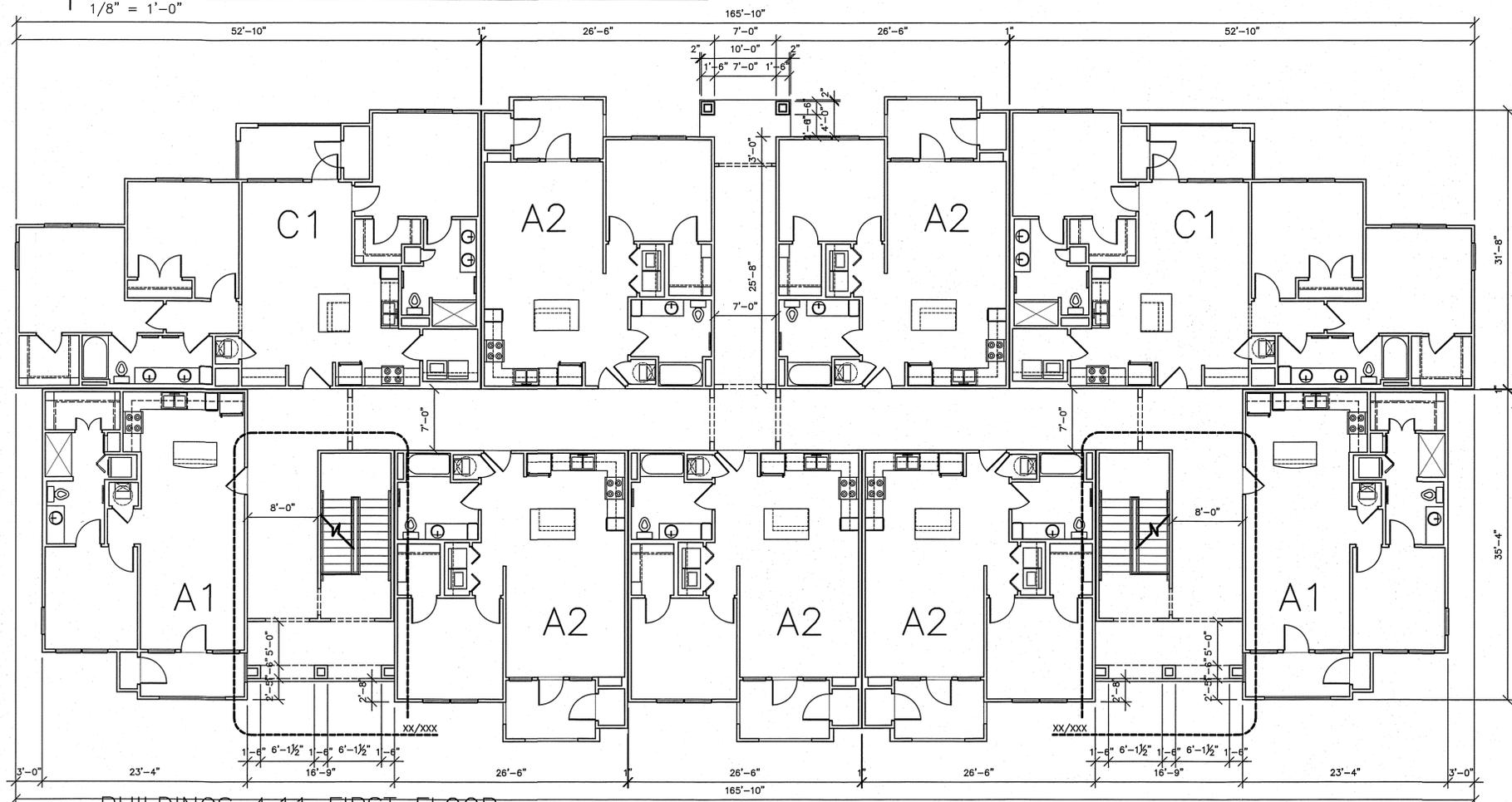


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DATE: 07/26/2016

BUILDING 3 ELEVATIONS
SHEET NUMBER AB6 OF X



1 BUILDINGS 4,11 SECOND FLOOR
1/8" = 1'-0"



1 BUILDINGS 4,11 FIRST FLOOR
1/8" = 1'-0"

KEYNOTES

VILLAGES AT PEYTONA DOWNS
GALLATIN, TN



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BUILDINGS 4&11 PLANS

SHEET NUMBER AB7 OF X



1 BUILDINGS 4,7,11 REAR ELEVATION
1/8" = 1'-0"



2 BUILDINGS 4,7,11 FRONT ELEVATION
1/8" = 1'-0"



3 BUILDINGS 4,7,11 END ELEVATION
1/8" = 1'-0"



4 BUILDINGS 4,7,11 END ELEVATION
1/8" = 1'-0"

KEYNOTES

TYPICAL BLDG MASONRY CALCULATIONS

FRONT BUILDING ELEVATION (PARKING SIDE)	
AREA OF BRICK VENEER	1,118 SF
AREA OF THIN SET STONE VENEER	847 SF
AREA OF CEMENT BOARD SIDING	272 SF
AREA OF CEMENT BOARD SHAKES	196 SF
TOTAL MASONRY:	1,965 SF
TOTAL NON-MASONRY:	468 SF
PERCENT MASONRY :	80.8 %
REAR BUILDING ELEVATION (NON-PARKING SIDE)	
AREA OF BRICK VENEER	915 SF
AREA OF THIN SET STONE VENEER	932 SF
AREA OF CEMENT BOARD SIDING	473 SF
AREA OF CEMENT BOARD SHAKES	317 SF
TOTAL MASONRY:	1,847 SF
TOTAL NON-MASONRY:	790 SF
PERCENT MASONRY :	70.0 %
END BUILDING ELEVATION (BOTH ENDS IDENTICAL)	
AREA OF BRICK VENEER	557 SF
AREA OF THIN SET STONE VENEER	904 SF
AREA OF CEMENT BOARD SIDING	507 SF
AREA OF CEMENT BOARD SHAKES	10 SF
TOTAL MASONRY:	1,461 SF
TOTAL NON-MASONRY:	517 SF
PERCENT MASONRY :	73.9 %

VILLAGES AT PEYTONA DOWNS
GALLATIN, TN

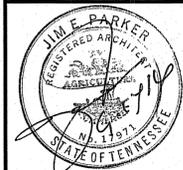


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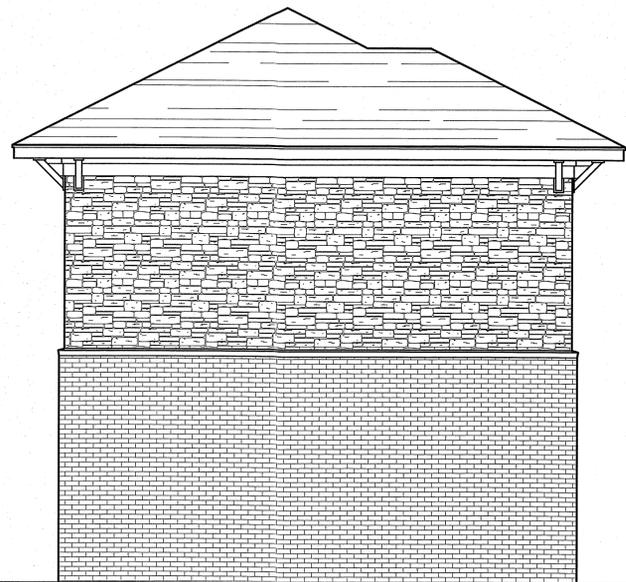
BUILDINGS 4,7,11 ELEVATIONS

SHEET NUMBER AB9 OF X
OF

KEYNOTES

TYPICAL BLDG MASONRY CALCULATIONS

FRONT BUILDING ELEVATION (PARKING SIDE)	
AREA OF BRICK VENEER	238 SF
AREA OF THIN SET STONE VENEER	233 SF
AREA OF CEMENT BOARD SIDING	37 SF
AREA OF CEMENT BOARD SHAKES	0 SF
TOTAL MASONRY:	471 SF
TOTAL NON-MASONRY:	37 SF
PERCENT MASONRY :	92.7 %
REAR BUILDING ELEVATION (NON-PARKING SIDE)	
AREA OF BRICK VENEER	455 SF
AREA OF THIN SET STONE VENEER	54 SF
AREA OF CEMENT BOARD SIDING	134 SF
AREA OF CEMENT BOARD SHAKES	0 SF
TOTAL MASONRY:	609 SF
TOTAL NON-MASONRY:	134 SF
PERCENT MASONRY :	79.2 %
END BUILDING ELEVATION ONE	
AREA OF BRICK VENEER	261 SF
AREA OF THIN SET STONE VENEER	195 SF
AREA OF CEMENT BOARD SIDING	0000 SF
AREA OF CEMENT BOARD SHAKES	0000 SF
TOTAL MASONRY:	456 SF
TOTAL NON-MASONRY:	0000 SF
PERCENT MASONRY :	100 %
END BUILDING ELEVATION TWO	
AREA OF BRICK VENEER	243 SF
AREA OF THIN SET STONE VENEER	29 SF
AREA OF CEMENT BOARD SIDING	130 SF
AREA OF CEMENT BOARD SHAKES	0000 SF
TOTAL MASONRY:	272 SF
TOTAL NON-MASONRY:	130 SF
PERCENT MASONRY :	67.7 %



1 GARAGE/LOFT BLDG END ELEVATION
1/8" = 1'-0"



2 GARAGE/LOFT BLDG FRONT ELEVATION
1/8" = 1'-0"



3 GARAGE/LOFT BLDG REAR ELEVATION
1/8" = 1'-0"



4 GARAGE/LOFT BLDG END ELEVATION
1/8" = 1'-0"

VILLAGES AT PEYTONA DOWNS
GALLATIN, TN

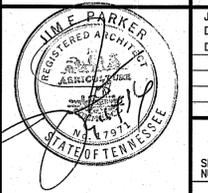


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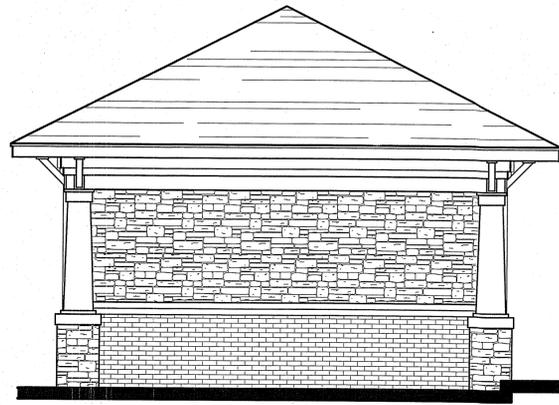
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JOB NUMBER: 216024
DRAWN BY: JEP,AT
DATE: 07/26/2016

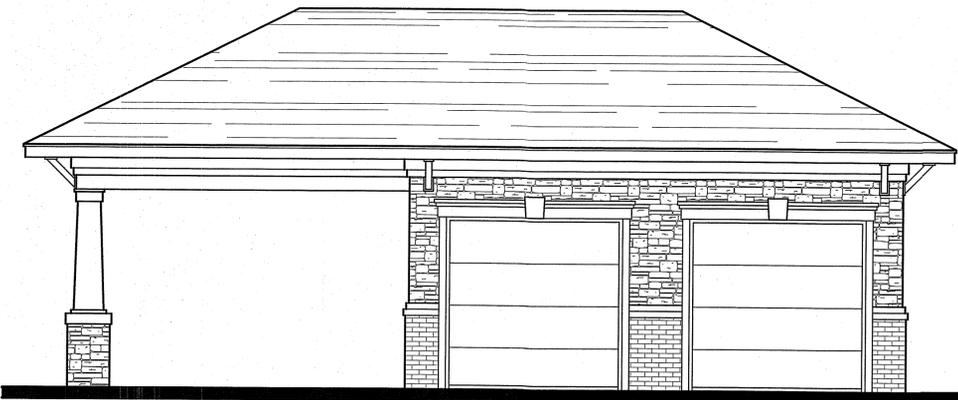
GARAGE/LOFT BUILDING ELEVATIONS
SHEET NUMBER AB10 OF X
OF



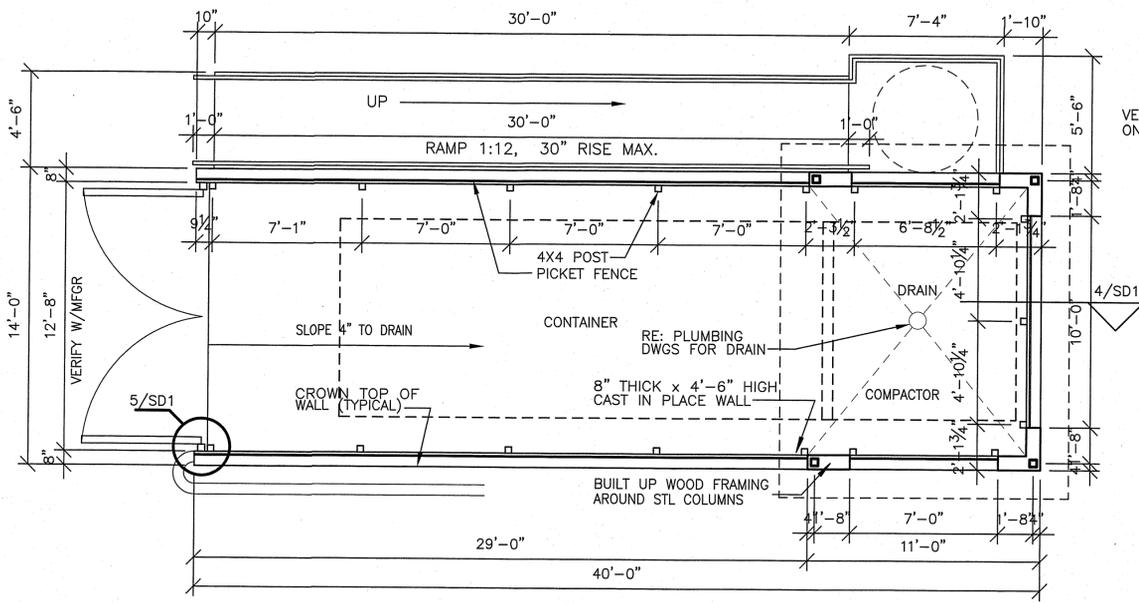
6 MAINT BLDG SIDE ELEVATION
1/8" = 1'-0"



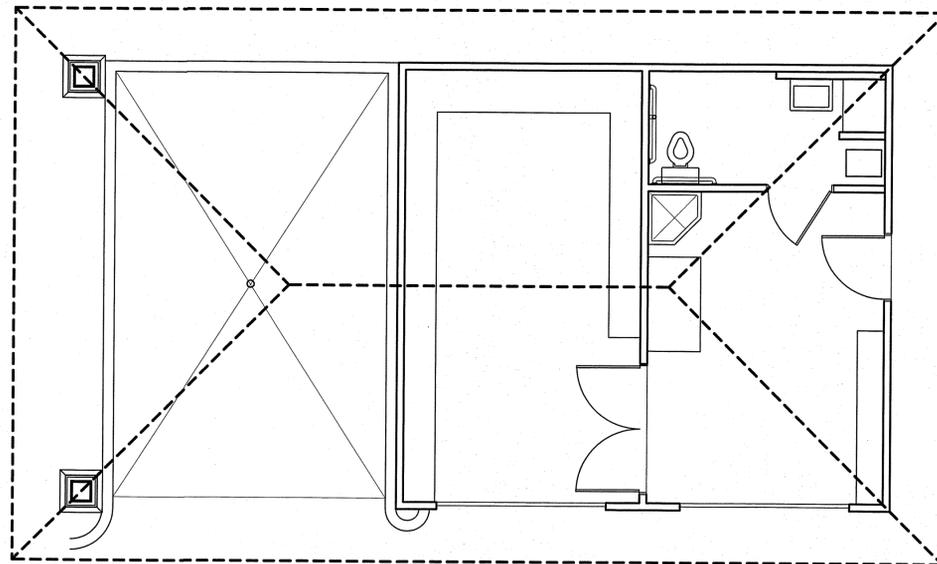
5 MAINT BLDG SIDE ELEVATION
1/8" = 1'-0"



7 MAINTENANCE BLDG FRONT ELEV



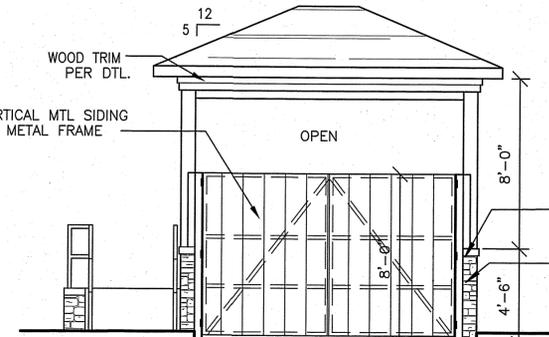
8 TRASH ENCLOSURE PLAN
1/8" = 1'-0"



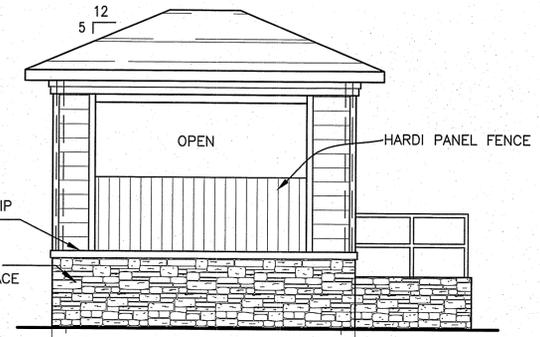
4 MAINT BLDG PLAN
1/8" = 1'-0"



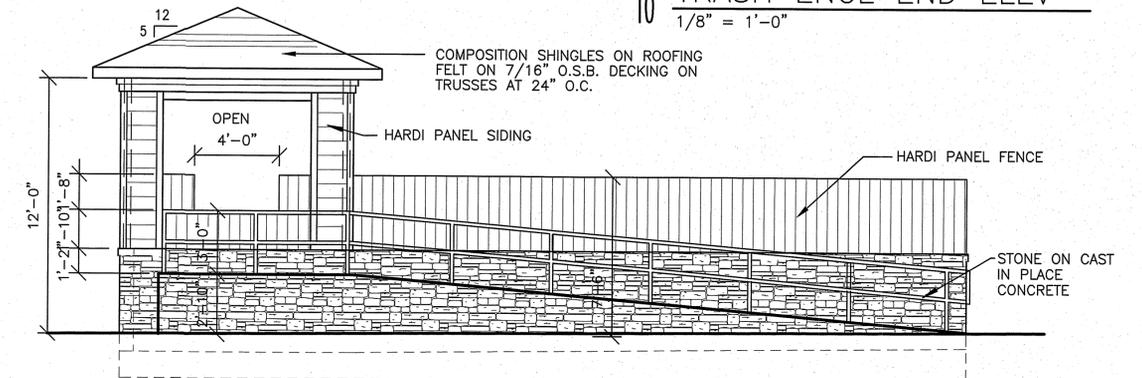
9 MAIL BLDG SIDE ELEVATION



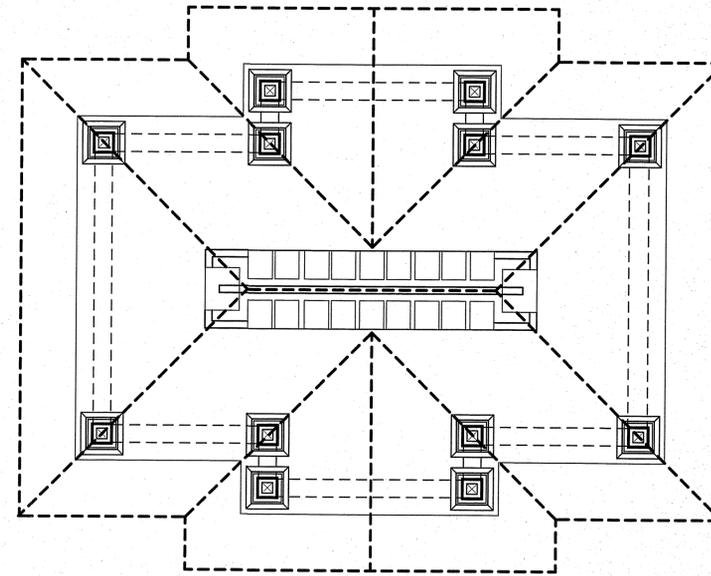
9 TRASH ENCL. END ELEV
1/8" = 1'-0"



10 TRASH ENCL END ELEV
1/8" = 1'-0"



11 TRASH ENCLOSURE ELEV
1/8" = 1'-0"

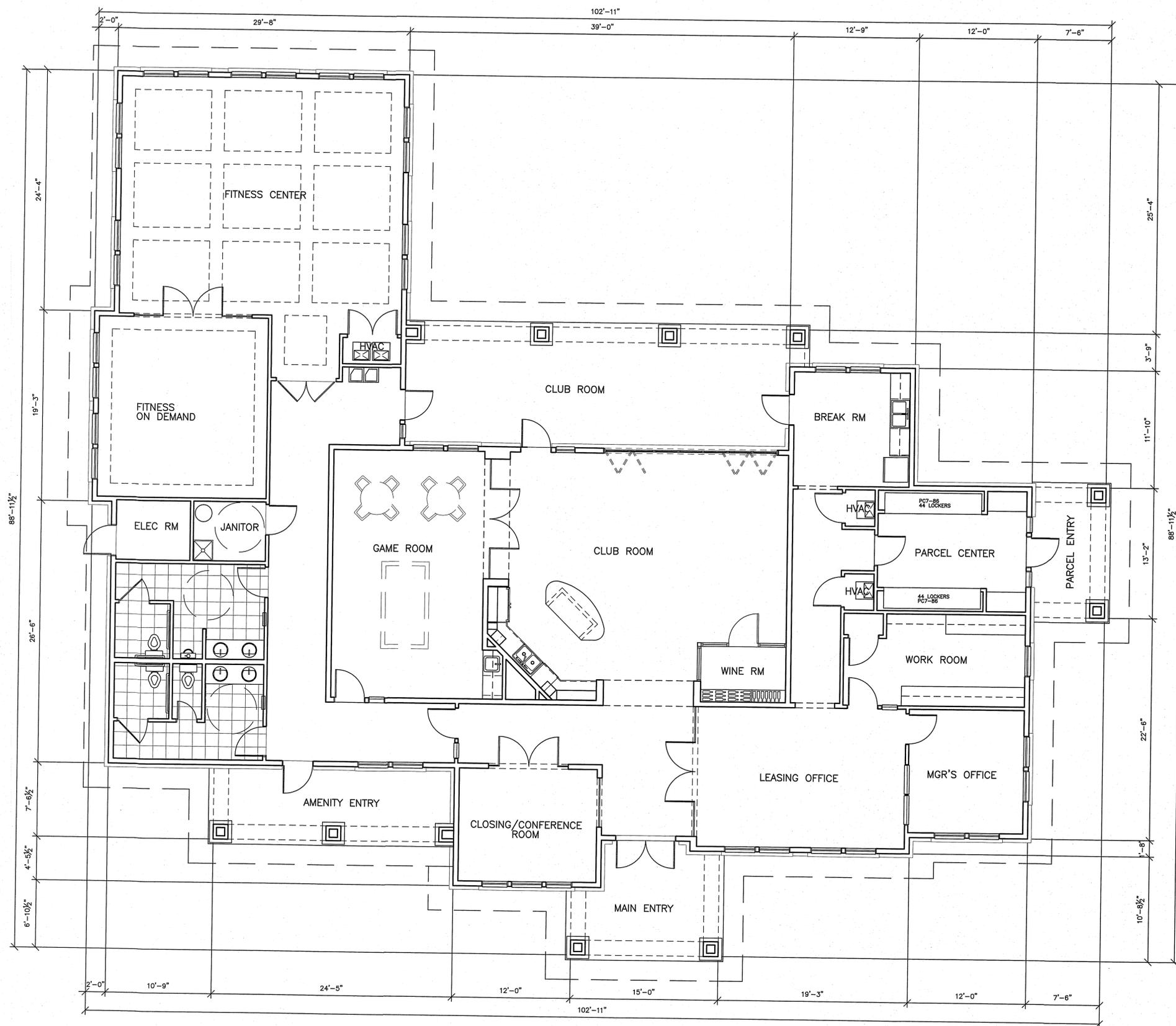


1 MAIL BLDG PLAN
1/8" = 1'-0"



2 MAIL BLDG FRONT ELEVATION

KEYNOTES	
VILLAGES AT PEYTONA DOWNS GALLATIN, TN	
 Parker Associates Tulsa, LLC 2202 E. 49th Street, Suite 200 Tulsa, Oklahoma 74105 918-742-2485 Jim E. Parker - Architect of Record Tennessee License #17971	JPL DEVELOPMENT LLC 353 MARSHALL AVE, SUITE 1 ST. LOUIS, MISSOURI 63119
	JOB NUMBER: 216024 DRAWN BY: JEP,AT DATE: 07/26/2016
GARAGE/LOFT BUILDING ELEVATIONS SHEET NUMBER AB11 OF X OF	



1 CLUBHOUSE FLOOR PLAN
 3/16" = 1'-0"

KEYNOTES

VILLAGES AT
 PEYTONA DOWNS
 GALLATIN, TN

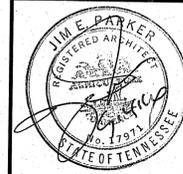


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JOB NUMBER: 216024
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 DATE: 07/26/2016

CLUBHOUSE BUILDING

SHEET NUMBER AB12 OF X
 OF



1 CLUBHOUSE FRONT ELEVATION
 $\frac{3}{16}'' = 1'-0''$



2 CLUBHOUSE SIDE ELEVATION
 $\frac{3}{16}'' = 1'-0''$

KEYNOTES

TYPICAL BLDG MASONRY CALCULATIONS

FRONT BUILDING ELEVATION (PARKING SIDE)	
AREA OF BRICK VENEER	278 SF
AREA OF THIN SET STONE VENEER	393 SF
AREA OF CEMENT BOARD SIDING	0 SF
AREA OF CEMENT BOARD SHAKES	52 SF
TOTAL MASONRY:	671 SF
TOTAL NON-MASONRY:	52 SF
PERCENT MASONRY :	92.8 %

SIDE BUILDING ELEVATION	
AREA OF BRICK VENEER	410 SF
AREA OF THIN SET STONE VENEER	220 SF
AREA OF CEMENT BOARD SIDING	0 SF
AREA OF CEMENT BOARD SHAKES	47 SF
TOTAL MASONRY:	630 SF
TOTAL NON-MASONRY:	47 SF
PERCENT MASONRY :	93.1 %

VILLAGES AT PEYTONA DOWNS
 GALLATIN, TN

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	CLUBHOUSE ELEVATIONS SHEET NUMBER AB13 OF X



1 CLUBHOUSE REAR ELEVATION
3/16" = 1'-0"



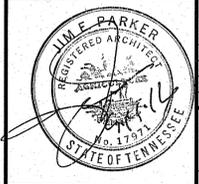
2 CLUBHOUSE SIDE ELEVATION
3/16" = 1'-0"

KEYNOTES	
TYPICAL BLDG MASONRY CALCULATIONS	
FRONT BUILDING ELEVATION (PARKING SIDE)	
AREA OF BRICK VENEER	149 SF
AREA OF THIN SET STONE VENEER	357 SF
AREA OF CEMENT BOARD SIDING	0 SF
AREA OF CEMENT BOARD SHAKES	34 SF
TOTAL MASONRY:	506 SF
TOTAL NON-MASONRY:	34 SF
PERCENT MASONRY :	93.7 %
SIDE BUILDING ELEVATION	
AREA OF BRICK VENEER	301 SF
AREA OF THIN SET STONE VENEER	408 SF
AREA OF CEMENT BOARD SIDING	0 SF
AREA OF CEMENT BOARD SHAKES	47 SF
TOTAL MASONRY:	709 SF
TOTAL NON-MASONRY:	47 SF
PERCENT MASONRY :	93.8 %

VILLAGES AT PEYTONA DOWNS
GALLATIN, TN

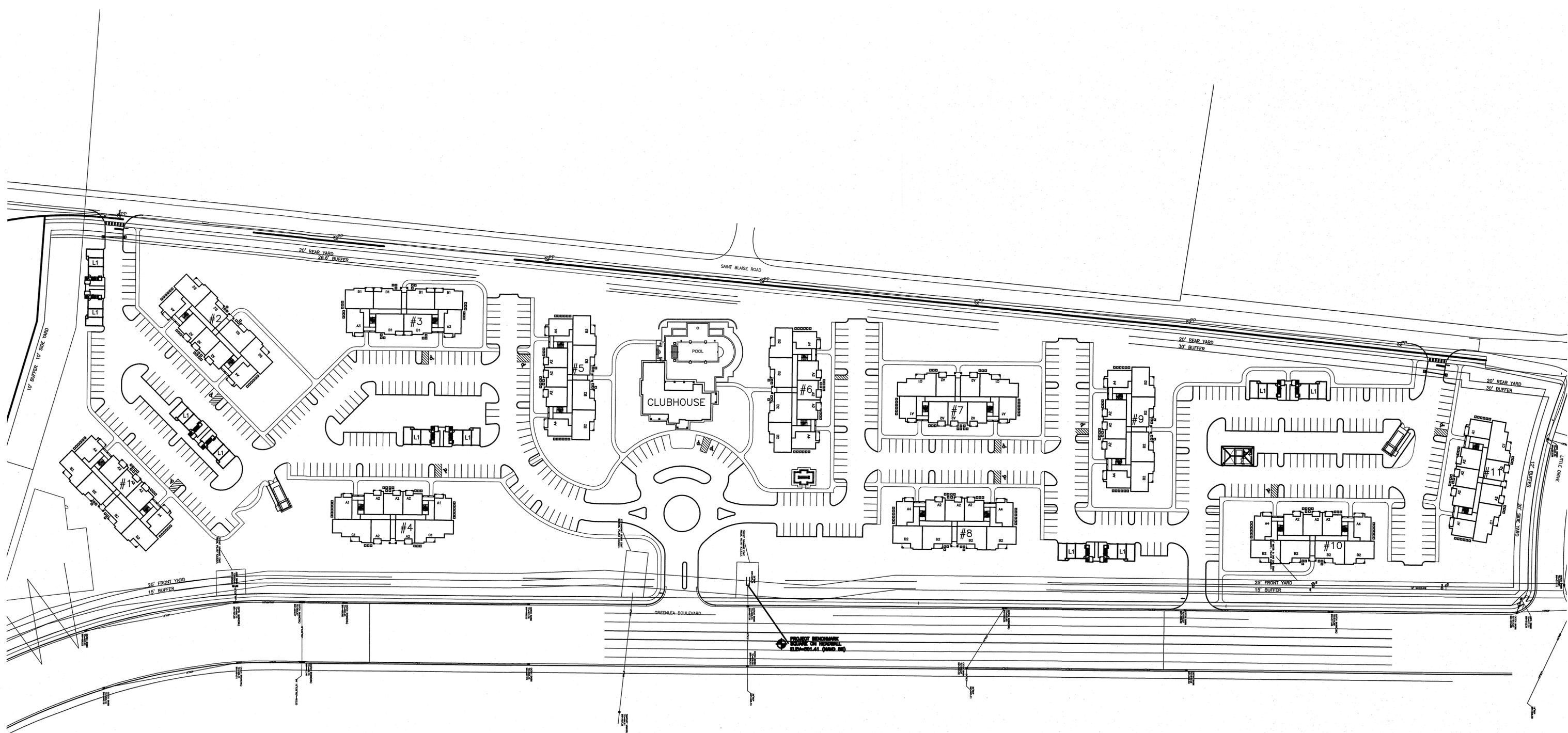

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JOB NUMBER: 216024
DRAWN BY: JEP,AT
DATE: 07/26/2016

CLUBHOUSE ELEVATIONS
SHEET NUMBER AB14 OF X
OF



1 SITE PLAN
1" = 60'-0"

TOTAL PROJECT UNIT MIX				TOTAL	BALC	TOTAL	STORAGE	TOTAL	GROSS SF	TOTAL	
MARK	DESCRIPTION	# UNITS	% MIX	SF/UNIT	NET SF	PER UNIT	BALC	PER UNIT	STORAGE	PER UNIT	GROSS SF
A1	ONE BDRM/ONE BATH	18	6%	700	12600	65	1170	12	216	777	13986
A2	ONE BDRM/ONE BATH	108	36%	729	78732	73	7884	17	1836	819	88452
A3	ONE BDRM/ONE BATH	6	60%	746	4476	65	390	12	72	823	4938
A4	ONE BDRM/ONE BATH	42	420%	727	30534	65	2730	12	504	804	33768
B1	TWO BDRM/TWO BATH	18	6%	1003	18054	63	1134	0	0	1066	19188
B2	TWO BDRM/TWO BATH	84	28%	1072	90048	75	6300	21	1764	1168	98112
C1	THREE BDRM/TWO BATH	18	6%	1295	23310	75	1350	21	378	1391	25038
L1	ONE BDRM/ONE BATH	10	3%	946	9460	16	160	0	0	962	9620
		304			267214		21118		4770		293102

	# Units	# Bdrms
Total One Bedroom Units:	184	184
Total Two Bedroom Units:	102	204
Total Three Bedroom Units:	18	54
	304	442

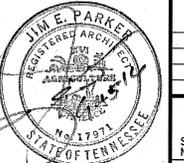
VILLAGES AT PEYTONA DOWNS
GALLATIN, TN



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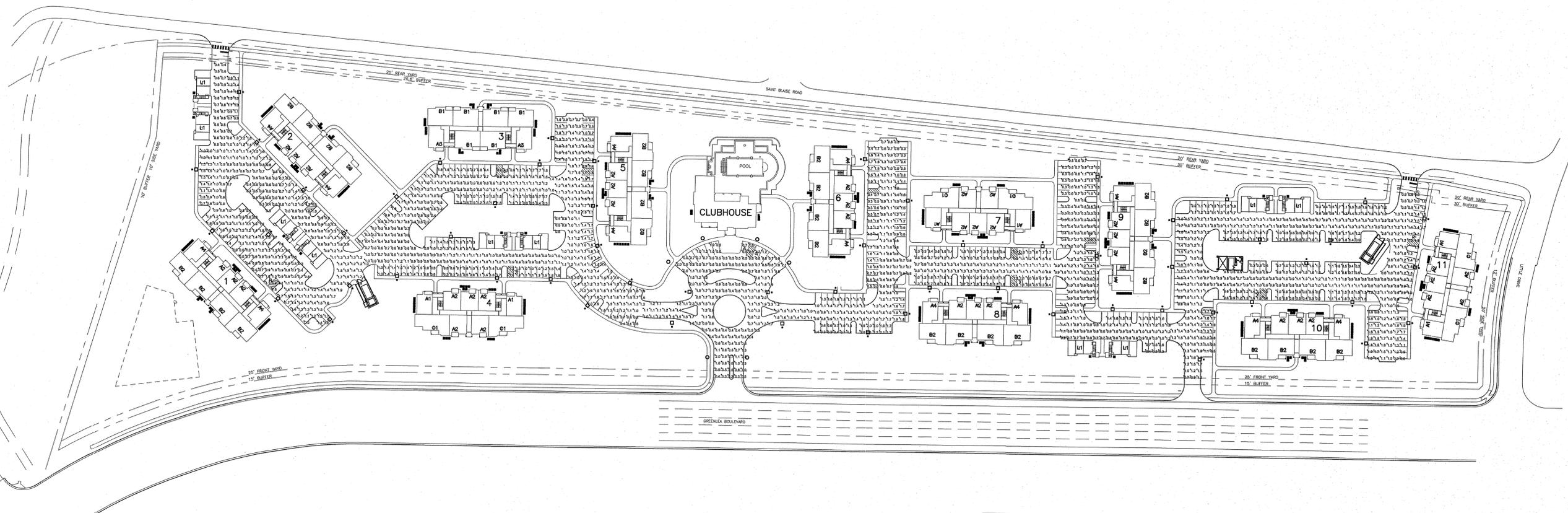
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DATE: 07/26/2016

SITE PLAN

SHEET NUMBER **S1** OF X
OF



1 SITE LIGHTING PLAN
SCALE: 1" = 80'-0"

Symbol	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
[Symbol]	58	WWW.TECHLIGHTUSA.COM	3N2T4B	DIE CAST LED LUMINAIRE	LED Lumileds Rebel ES Neutral White LED (850mA)	1	3N2T4B.ies	7047.9	0.9	98
[Symbol]	6	Antique Street Lamps	ATL23 32LED 700MA 4K ACT MVOLT N5	LED ACORN UPGRADE WITH FROSTED GLOBE	LED	1	ATL23_32LED_700MA_4K_ACT_MVOLT_N5.ies	7747	0.9	80

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Front Drive - Visitor	+	1.0 fc	2.5 fc	0.3 fc	8.3:1	3.3:1
Parking Lot #1	+	1.1 fc	1.9 fc	0.3 fc	6.3:1	3.7:1
Parking Lot #2	+	1.0 fc	1.8 fc	0.3 fc	6.0:1	3.3:1
Parking Lot #3	+	1.4 fc	2.0 fc	0.4 fc	5.0:1	3.5:1
Parking Lot #4	+	1.1 fc	2.2 fc	0.3 fc	7.3:1	3.7:1
Parking Lot #5	+	1.2 fc	1.9 fc	0.3 fc	6.3:1	4.0:1
Parking Lot #6	+	0.9 fc	1.7 fc	0.3 fc	5.7:1	3.0:1
Parking Lot #7	+	1.1 fc	1.9 fc	0.3 fc	6.3:1	3.7:1
Secondary Entry	+	1.4 fc	1.9 fc	0.5 fc	3.8:1	2.8:1

TECHLIGHT
FEATURES & SPECIFICATIONS

APPLICATION - The high performance luminaire is designed for applications where long life, low maintenance, and consistent color rendering is required. Areas with limited accessibility due to future location or where heavy vehicles or vehicle traffic make maintenance difficult are ideal applications such as parking lots or walkways. It is also compact and versatile enough for general purpose security lighting. The traditional design style of the luminaire allows it to be seamlessly integrated into existing systems if necessary.

CONSTRUCTION - The heavy duty housing is constructed of die cast aluminum. The optical assemblies are sealed in place using a silicone gasket for weather light protection. Modular LED bricks are wired in parallel for ease of maintenance. ETL listed for wet locations (IP64). Additional IP67 rating available upon request.

FINISH - A Super Durable Polyester powder coat finish is electrostatically applied in our state of the art paint facility. Standard colors available: Black, Bronze, US Green, White. Custom colors available upon request.

OPTICAL SYSTEM - Made with a state of the art UV stabilized acrylic high performance reflective optical assemblies that use high transparency materials to achieve precise photometric distributions. Available in Type II, III, IV, V, VI, VII, VIII, IX, X, XI, XII, XIII, XIV, XV, XVI, XVII, XVIII, XIX, XX, XXI, XXII, XXIII, XXIV, XXV, XXVI, XXVII, XXVIII, XXIX, XXX.

ELECTRICAL SYSTEM - Available in up to a 3 brick LED system in 5000K Cool White (C), 4000K Neutral White (N), or 3000K Warm White (W) color temperatures propagated with Philips Lumileds LUXEON Rebel LED's. Available with 50-300V 50/60 Hz Class II power supply. LED's rated up to 70,000 (850 L70) hours for 850 mA operation and 100,000 (850 L70) for 350 mA operation at 25°C ambient temperature. 480V input option available. Optional 0-10V dimming. Built-in surge protection up to 10 kV. Thermal protection is provided in the form of a dimming thermal feedback until future reverts back to the optimal operating temperature. Built-in Active PFC Function +95% Full load LED Power Supply conforms to UL1310 Class 2 and UL8750 standards and is IP67 rated for wet locations.

MOUNTING - Standard mounting options include 2", 8", and 10.75" straight arms, 2" adjustable arm for fence mounting, and an adjustable yoke mount. Additional mounting options may be available for custom applications.

LISTINGS - LED Power Supply listed for wet locations (IP67). LED bricks ETL listed for wet locations (IP64). Meets US and Canadian safety standards. -0°C to 55°C ambient operation.

ORDERING INFORMATION

Ordering information is provided for your application and other necessary items. See the notes section for additional information. Depending on the application, some items may not be required or may be optional.

Series	# of Bricks	Color Temp	# LED's per Brick	Optics	Drive Current	Wattage	Finish
LDCM 2	2 Brick	C Cool White (5000K)	2 12 LED	T2 Type II	A 850mA Driver	1 Multi Watt	BLK Black
LDCM 3	3 Brick	N Neutral White (4000K)	3 18 LED	T3 Type III	B 850mA Driver	2 480W	BRZ Bronze
				T4 Type IV		3 340W	USG US Green
				T4A Type IVA			WH White
				T5 Type V			SP Special

Accessories (Order as appropriate for items)

www.techlightusa.com

LDCM Medium Die Cast LED Luminaire

PHOTOMETRICS

IES INDOOR REPORT PHOTOMETRIC FILE NAME: LDCM3CSTWB1

IES INDOOR REPORT PHOTOMETRIC FILE NAME: LDCM3CSTWB1

167W LDCM Luminaire Color Temperature: 5000 K

167W LDCM Luminaire Color Temperature: 5000 K

MOUNTING ACCESSORIES

ADDITIONAL FIXTURE ACCESSORIES

www.techlightusa.com

LDCM Medium Die Cast LED Luminaire

LUMINAIRE CHARACTERISTICS

Cool White (5000K) 630 mA Drive Current

fLxID	fLxID	Color	Beam Spread				System	850/130	Average Data					
Beam	per Beam	Temp	T19.5	T19.5	T19.5	T19.5	Wattage	@ 22°C	120V	200V	240V	277V	347V	480V
2BRXK	12	50V	3971	4951	4951	4951	510W	3036	48.1	27.4	23.4	28.4	18.1	21.4
3BRXK	18	50V	5957	7427	7427	7427	770W	4554	48.1	40.1	35.4	38.4	23.4	28.4
3BRXK	18	50V	5974	7454	7454	7454	770W	3036	48.1	40.1	35.4	38.4	23.4	28.4
3BRXK	18	50V	8765	11023	11023	11023	1230W	4554	48.1	40.1	35.4	38.4	23.4	28.4

Cool White (5000K) 850 mA Drive Current

fLxID	fLxID	Color	Beam Spread				System	850/130	Average Data					
Beam	per Beam	Temp	T19.5	T19.5	T19.5	T19.5	Wattage	@ 22°C	120V	200V	240V	277V	347V	480V
2BRXK	12	50V	4550	6200	6200	6200	630W	3036	35.4	32.4	28.4	31.4	21.4	26.4
3BRXK	18	50V	7200	9100	9100	9100	920W	4554	35.4	32.4	28.4	31.4	21.4	26.4
3BRXK	18	50V	7200	9100	9100	9100	920W	3036	35.4	32.4	28.4	31.4	21.4	26.4
3BRXK	18	50V	10100	12700	12700	12700	1300W	4554	35.4	32.4	28.4	31.4	21.4	26.4

Neutral White (4000K) 630 mA Drive Current

fLxID	fLxID	Color	Beam Spread				System	850/130	Average Data					
Beam	per Beam	Temp	T19.5	T19.5	T19.5	T19.5	Wattage	@ 22°C	120V	200V	240V	277V	347V	480V
2BRXK	12	50V	3971	4951	4951	4951	510W	3036	48.1	27.4	23.4	28.4	18.1	21.4
3BRXK	18	50V	5957	7427	7427	7427	770W	4554	48.1	40.1	35.4	38.4	23.4	28.4
3BRXK	18	50V	5974	7454	7454	7454	770W	3036	48.1	40.1	35.4	38.4	23.4	28.4
3BRXK	18	50V	8765	11023	11023	11023	1230W	4554	48.1	40.1	35.4	38.4	23.4	28.4

Neutral White (4000K) 850 mA Drive Current

fLxID	fLxID	Color	Beam Spread				System	850/130	Average Data					
Beam	per Beam	Temp	T19.5	T19.5	T19.5	T19.5	Wattage	@ 22°C	120V	200V	240V	277V	347V	480V
2BRXK	12	50V	4544	6200	6200	6200	630W	3036	35.4	32.4	28.4	31.4	21.4	26.4
3BRXK	18	50V	7200	9100	9100	9100	920W	4554	35.4	32.4	28.4	31.4	21.4	26.4
3BRXK	18	50V	7200	9100	9100	9100	920W	3036	35.4	32.4	28.4	31.4	21.4	26.4
3BRXK	18	50V	10100	12700	12700	12700	1300W	4554	35.4	32.4	28.4	31.4	21.4	26.4

EPA RATINGS (ft²)

Beam Spread	10°	20°	40°
2 BRXK	35	127	178

WARNING: Maintenance performed including the replacement of LED bricks while power is still supplied to the luminaire may result in system failure and void the warranty.

TECHLIGHT
2107 Satus Drive
Dallas, TX 75229
Phone: 214-358-8291, 800-225-8727, Fax: 214-358-1317
www.techlight.com

ANTIQUE STREET LAMPS **ATL23 LED ACORN STYLE**

Max EPA: 130 sq feet
Max Height: 25'-0" (7.62m)
Max Width: 18'-0" (5.49m)
Max Weight: 77 lb (35 kg)

Ordering Guide:

Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Trim	Distribution	Electrical Options
ATL23	A	32LED 525MA 32LED 700MA 24LED 700MA	3K	ACT	MVOLT 480	FFF	FAB DCAM	NS N5 N7
	D							SP DR PER PE1 PE2 PE3 PE4 PE5 PE6
	K							
	M							
	V							
	X							

Ordering Example: ATL23 A 32LED 525MA 3K ACT MVOLT 480 FFF FAB DCAM NS N5 N7 SP DR PER PE1 PE2 PE3 PE4 PE5 PE6

*N5 distribution only available with 24 LED 700MA source and wattage selection.

ATL23 LED

VILLAGES AT PEYTONA DOWNS
GALLATIN, TN

JPL DEVELOPMENT LLC
353 MARSHALL AVE, SUITE 1
ST. LOUIS, MISSOURI 63119

Parker Associates Tulsa, LLC
2202 E. 49th Street, Suite 200
Tulsa, Oklahoma 74105
918-742-2485

Jim E. Parker - Architect of Record
Tennessee License #17971

JPL
2002 East 49th, Suite 100
Tulsa, Oklahoma
Phone (918) 70-413 Fax (918) 70-418

JPL/LLC
Consulting Engineering
Mechanical • Electrical • Energy

JOHN D. TRUSKETT
REGISTERED ENGINEER
AGRICULTURE
STATE OF TENNESSEE
No. 0195

JOB NUMBER: 216024
DRAWN BY: JT/PT/DM/SN
DATE: 08/18/2016

SITE LIGHTING PLAN

SHEET NUMBER SL1 OF 1





1 BUILDINGS 1,2,5,6,8,9,10 FRONT ELEVATION

VILLAGES AT PEYTONA DOWNS GALLATIN, TN	
 Parker Associates Tulsa, LLC 2202 E. 49th Street, Suite 200 Tulsa, Oklahoma 74105 918-742-2485	JPL DEVELOPMENT LLC 353 MARSHALL AVE, SUITE 1 ST. LOUIS, MISSOURI 63119
<small>Jim E. Parker - Architect of Record Tennessee License #17971</small>	

ITEM 5

GMRPC Resolution No. 2016-112

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A SITE PLAN FOR FIRST BAPTIST CHURCH GALLATIN ON TWO PARCELS (TAX MAP 126C GROUP K PARCELS 15.01 AND 16) TOTALING 2.26 (+/-) ACRES, ZONED CORE COMMERCIAL (CC), LOCATED AT 205 EAST MAIN STREET. (PC 8-2452-16)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered a Site Plan submitted by the applicant, Huddleston and Steele Engineering, Inc., at its regular meeting on September 26, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to T.C.A. § 13-3-413, 13-4-310, and G.Z.O., § 15.03.020:

1. The Site Plan is consistent with the purpose and intent of the Core Commercial (CC) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions, and yard line requirements established in said Zoning District.
2. The Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required* of the Gallatin Zoning Ordinance.
3. Once completed, the Site Plan addition will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Supplementary District Regulations (G.Z.O., Article 12.00), Flood Prevention and Protection Regulations (G.Z.O., Article 10), and Off-Street Parking and Loading Regulations (G.Z.O. Article 11.0) with recommended modifications.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the site plan for First Baptist Church (Entry/Parking), prepared by Huddleston and Steele Engineering, Inc. of Murfreesboro, TN, consisting of six (6) sheet plan, date of August 22, 2016, and a revision date of September 15, 2016, and two (2) architectural elevation sheets, prepared by Mantel Teter of Kansas City, MO, with Project No. 15-687, dated June 30, 2016, with the following conditions:

1. Modify the handicapped parking spaces to comply with Article 11, Sections 11.09.020 and 11.09.030 to prevent vehicle encroachment onto the sidewalk.
2. If not currently established, provide a utility and drainage easement for any existing and proposed public utility and drainage facilities that extend through the development site acceptable to the Gallatin Engineering Division and Public Utilities Department.
3. Submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department in the form of cash, certified check, or Irrevocable Letter of Credit prior to issuance of any building permits.
4. Provide an agreement or suitable construction easement from Sumner County to modify the driveway and parking lot access on the adjacent Sumner County parcel and a TDOT permit to close the western Sumner County driveway.
5. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department prior to issuance of any building permits.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 09/26/2016

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 5 PLANNING DEPARTMENT STAFF REPORT

Site Plan for First Baptist Church Gallatin
(PC 8-2452-16)

205 East Main Street

Date: Septmeber 26, 2016

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A SITE PLAN FOR FIRST BAPTIST CHURCH GALLATIN, TO CONSTRUCT A 1,257 SQUARE FOOT FOYER ENTRANCE AND 39 PARKING SPACES, ON TWO (2) PARCELS (TAX MAP A GROUP K PARCELS 15.01 AND 16), TOTALING 2.26(+/-) ACRES, ZONED CORE COMMERCIAL (CC), LOCATED AT 205 EAST MAIN STREET.

OWNER: FIRST BAPTIST CHURCH OF GALLATIN TN TRUSTEES

APPLICANT: HUDDLESTON AND STEELE ENGINEERING, INC.

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2016-112

STAFF CONTACT: KEVIN CHASTINE, AICP

PLANNING COMMISSION DATE: SEPTEMBER 26, 2016

PROPERTY OVERVIEW: The owner and applicant are requesting approval of a Site Plan for First Baptist Church Gallatin, to construct a 1,257 square foot foyer entrance and 39 parking spaces, on two (2) parcels (Tax Map 126C Group K Parcels 15.01 and 16), totaling 2.26 (+/-) acres, located at 205 East Main Street. The property is zoned Core Commercial (CC), and Place of Worship is a permitted use in the IR zone district. (Attachment 5-1 and 5-4)

CASE BACKGROUND:

Previous Approvals

On June 26, 1989, the Planning Commission approved a Site Plan for First Baptist Church (PC File #8-30-89) (Attachment 5-2).

On November, 27, 1989, the Planning Commission approved a Site Plan for First Baptist Church (PC File# 8-47-89) (Attachment 5-3).

DISCUSSION:

Proposed Development

The owner and applicant propose to construct a 1,275 square foot foyer entrance to the existing church sanctuary and education wing and 39 parking spaces. The proposed parking lot will be constructed within the lawn area between East Main Street and the front elevation of the education wing. The addition and parking lot is located on two (2) parcels (Tax Map 126C Group K Parcels 15.01 and 16) that total 2.26 (+/-) acres.

Natural Features

The property consists of an existing sanctuary and educational wing and includes a large lawn located between the front of the educational wing and East Main Street. The topography of the development site slopes from the highest point of elevation (540'), at the northwest corner of the property, adjacent to East Main Street to the lowest point elevation (535') located to the east side of the sanctuary and education wing. Based on FEMA FIRM Map 47165C0314G, dated of April 17, 2012, no portion of the site is located within a special flood hazard area.

Adjacent Areas & Uses

To the north is a funeral home, zoned Core Commercial (CC). To the south is a parking lot and three (3) vacant parcels, owned by First Baptist Church of Gallatin TN Trustees, zoned Core Commercial (CC). To the east is the Sumner County Juvenile Court, zoned Commercial Services (CS), and to the west is the First Baptist Church Student Center, zoned Core Commercial (CC).

Site Plan and Building Architectural Elevations

The church proposes to construct a 1,257 square foot foyer addition, which will provide a "front door" for the church and connect the historic sanctuary and the newer educational wing (See Attachment 5-4). The proposed foyer entrance is asymmetrical in design with a ridgeline height of 31 feet and a parapet wall height of 24 feet. The projecting portion of the foyer, containing the entrance includes a gable roof and is sheathed with 100 percent brick. The primary structure of the foyer entrance includes a flat roof with parapet walls, sheathed with 100 percent brick. The left elevation (southeast) has one (1) window while the right elevation (north) has three (3) windows. The windows are large scale fixed pane windows that extend from the base of the elevation to a level equal to the height of the second story windows in the existing educational wing.

Since the property is located in the CC zoned district, the building shall meet the 70 percent brick or stone requirement or be approved for an alternative plan under Section 13.08.010.D. The applicant submitted a description of the building materials used for each elevation of the foyer entrance (Attachment 5-5). The architectural plan includes the window area within the calculation, which is not standard, making the masonry percentages less than the required 70 percent masonry, but, once the window area calculations are removed, each elevation of the foyer entrance is nearly 100 percent masonry.

Bufferyard and Landscaping

The adjacent properties are zoned Core Commercial (CC), which requires a Type 10 Bufferyard. The property is bordered to the east by property zoned Commercial Services (CS), which also requires a Type 10 Bufferyard.

Since the project area does not extend to the property boundaries to the south and west, bufferyards are not required as part of this Site Plan. Also, no bufferyard is show along the eastern property boundary, adjacent to the Juvenile Court. The basis for not installing a bufferyard along the eastern property boundary is because an existing playground is immediately adjacent to the property boundary and a proposed joint access driveway with the Juvenile Court will occupy the remaining portion of the eastern property boundary.

The applicant proposes a bufferyard parallel to East Main Street. This reduces the width of the bufferyard to eight (8) feet. This complies with Section 13.05.020.1(a) and Section 11.09.040 of the Gallatin Zoning Ordinance. The landscape plan also includes the required row of evergreen shrubs adjacent to East Main Street.

The landscape plan includes ten (10) canopy trees (5 Red Maples, 3 Lacebark Elms, and 2 Bald Cypress) and 25 Dense Spreading Yew shrubs and River Oats in the bio-retention area. These will replace the three (3) Maples, Magnolia, Rier Birch, Spruce, and Hackberry trees that will be removed for construction.

Staff reviewed the landscaping and bufferyard plan and determined that the plan meets the requirements of the code.

Parking

Parking requirements are based on the use of the property. The Place of Worship use requires one (1) space per four (4) persons capacity of largest place of public assembly. The site plan is not increasing the capacity of the largest public assembly area, therefore no new parking is required. The site plan indicates a total of 39 parking spaces, including six (6) accessible handicapped spaces, which exceeds the minimum number of handicapped parking spaces required by G.Z.O. Section 11.07, *Handicapped Parking*.

The applicant shall modify the plan to provide sufficient area for parking and sidewalk use along the south side of the parking area adjacent to the handicapped parking spaces. This will require that vehicles in these spaces do not encroach over the sidewalk. The sidewalk may need to be widened in this area to account for the vehicular overhang.

Access

A new driveway onto East Main Street is proposed at the northeast corner of the site. The proposed driveway aligns with College Street, which is directly north of the site. The location of the proposed driveway did not meet the distance separation requirements with the Gallatin on the Move 2020 Plan because of the location of the existing driveway of the Sumner County Juvenile Court located to the east of the church.

An agreement has been reached that the Sumner County Juvenile Court will close the west driveway and a joint access driveway will be created that permits access to the church parking lot area and the Juvenile Court parking area. This is a condition of plan approval.

Stormwater and Bio-Retention

An existing storm water system directs the flow of water from the south side of East Main Street through the project site to the southeast corner of the parcel adjacent to East Smith Street. The proposed parking lot will be graded to direct the storm water to the southeast corner of the parking lot, to a proposed bio-retention. The bio-retention area will tie into the existing storm water pipe network at an existing inlet. (See Plan Sheet C3.0) The existing drainage pipe and other public infrastructure shall be placed within a Public Utility and Drainage Easement (P.U.D.E.) acceptable to the Gallatin Engineering Division and Gallatin Public Utilities.

Photometric Plan and Lighting Fixtures

The owner and applicant submitted a photometric plan and lighting fixture details (Attachment 5-6) that includes two (2) LED wall luminaries installed on the education wing and two (2) LED light poles within the green space of the parking lot. The photometric plan complies with the City of Gallatin Zoning Ordinance, Section 13.02.08.

HVAC Units

The foyer entrance addition will include one (1) HVAC unit on the roof of the addition. The applicant submitted a rooftop sightline study to show that the HVAC unit will not be visible. (Attachment 5-7) This complies with Section 13.08.010.F of the Gallatin Zoning Ordinance.

Signage

The applicant indicated no new signs for the building or site. If in the future the owner decides to add or revise any of the existing signs, a sign plan will be required. The owner shall obtain sign permits from the Planning Department prior to the installation of any signage on site.

Site Surety

The owner is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department. A site surety, in the form of cash, certified check, or Irrevocable Letter of Credit, shall be submitted to the Planning Department prior to issuance of any building permits.

Planning Department Comments

The Planning Department reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed all of the Planning Department comments; accept those included as conditions of approval.

Engineering Division Comments

The Engineering Division reviewed and commented on the Site Plan. The owner and applicant satisfactorily addressed all of the Engineering Division comments; accept those included as conditions of approval.

Findings:

1. The Site Plan is consistent with the purpose and intent of the Core Commercial (CC) Zoning District and complies with the use restrictions minimum bulk and height regulations, minimum dimensions, and yard line requirements established in said Zoning District.
2. The Site Plan is consistent with the standards and specifications of Section 15.03.020, *Site Plan Required* of the Gallatin Zoning Ordinance.
3. Once completed, the Site Plan addition will comply with the purpose and intent of established Performance and Design Standards (G.Z.O., Article 13), Supplementary District Regulations (G.Z.O., Article 12.00), Flood Prevention and Protection

Regulations (G.Z.O., Article 10), and Off-Street Parking and Loading Regulations (G.Z.O. Article 11.0) with recommended modifications.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution No. 2016-112, site plan for First Baptist Church (Entry/Parking), prepared by Huddleston and Steele Engineering, Inc. of Murfreesboro, TN, consisting of a six (6) sheet plan, date of August 22, 2016, and a revision date of September 15, 2016, and two (2) architectural elevation sheets, prepared by Mantel Teter of Kansas City, MO, with Project No. 15-687, dated June 30, 2016, with the following conditions:

1. If not currently established, provide a utility and drainage easement for any existing and proposed public utility and drainage facilities that extend through the development site acceptable to the Gallatin Engineering Division and Public Utilities Department.
2. Submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department in the form of cash, certified check, or Irrevocable Letter of Credit prior to issuance of any building permits.
3. Provide an agreement or suitable construction easement from Sumner County to modify the driveway and parking lot access on the adjacent Sumner County parcel and a TDOT permit to close the western Sumner County driveway.
4. Submit three (3) corrected folded copies of the Site Plan, including one (1) full size and two (2) half size copies, to the Planning Department prior to issuance of any building permits.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS

- | | |
|-----------------------|------------------------------------------------------------------------|
| Attachment 5-1 | Location Map |
| Attachment 5-2 | First Baptist Church – Site Plan – PC File# 8-30-89 |
| Attachment 5-3 | First Baptist Church – Site Plan – PC File# 8-47-89 |
| Attachment 5-4 | Site Plan for First Baptist Church Entry/Parking (PC 8-2452-16) |
| Attachment 5-5 | Architectural Elevation and Building Material Percentages |
| Attachment 5-6 | Photometric Plan |
| Attachment 5-7 | Rooftop Sightline Study |



ATTACHMENT 5-1

Prepared By: Kevin Chastine, AICP
Prepared On: September 20, 2016

Location Map

First Baptist Church
Site Plan
PC File# 8-2452-16



EAST MAIN STREET

BOYERS STREET

NEW ADDITION

ENTRY

ENTRY

NEW ADDITION

CHILDRENS PLAY AREA

ENTRY

NEW ADDITION
(FUTURE EXPANSION)

PARKING

PARKING

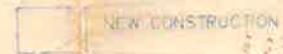
SMITH STREET

CONCEPTUAL SITE PLAN

SCALE: 1"=64'



EXISTING



NEW CONSTRUCTION

ATTACHMENT

5-2

RECEIVED

MAY 23 1989
GALLATIN PLANNING & DESIGN

NASHVILLE, TENNESSEE • JACKSON, TENNESSEE • BRENTWOOD, TENNESSEE

HFR Hart Freeland Roberts
architects engineers planners interiors

8-30-89

NO.	DATE	REVISION

ADDITIONS TO THE
FIRST BAPTIST CHURCH - GALLATIN

JOB NO.

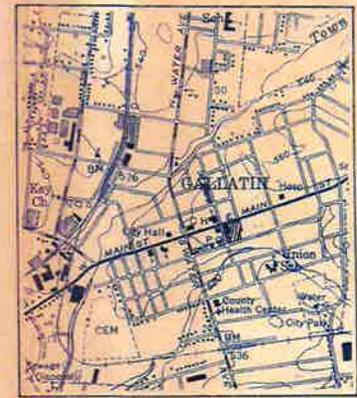
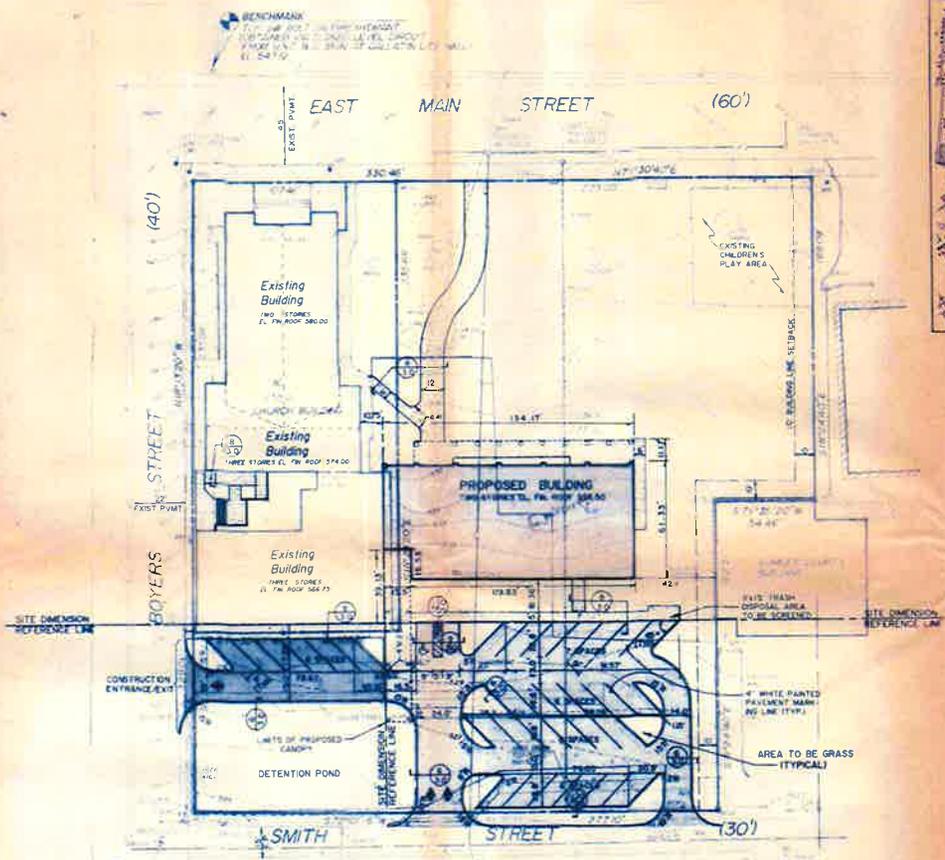
DATE 5/1/89

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NOTES

1. ALL AREAS DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT SHALL BE TOPSOILED, SEEDED AND MULCHED IMMEDIATELY AFTER COMPLETION.
2. DURING THE CONSTRUCTION OF THIS PROJECT, ALL UNPAVED AREAS ARE ESTABLISHED, MAY BE DAMAGED BY EXCESSIVE WATER. ALL WATER MUST BE KEPT FROM RUNNING INTO THE STORM DRAINAGE SYSTEM.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE CLEARING LIMITS AND FIELD CONDITIONS BEFORE BEGINNING THIS PROJECT. NO EXCESS SHALL BE ALLOWED DUE TO THE UNUSUAL SURFACE CONDITIONS THAT WILL BE ENCOUNTERED ON THIS SITE.
4. BEFORE CLEARING AND GRADING OPERATIONS, THE CONTRACTOR SHALL FLAG TREES TO REMAIN SUBJECT TO THE APPROVAL OF THE ARCHITECT/ENGINEER. THE CONTRACTOR SHALL AVOID DAMAGE TO THESE TREES AND THEIR ROOT SYSTEMS DURING GRADING OPERATIONS.
5. THE CONTRACTOR SHALL STRIP AND STORE AVAILABLE TOPSOIL ON THE SITE. ANY ADDITIONAL TOPSOIL REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND DEPTHS OF ALL UTILITIES BEFORE BEGINNING CONSTRUCTION ON THIS PROJECT. THE OWNER DOES NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT DURING CONSTRUCTION UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT THE ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS.
7. ALL FEES, LICENSES AND PERMITS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT ARE TO BE OBTAINED BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION AT THE COST OF SAME TO BE BORNE BY THE CONTRACTOR.
8. DAMAGE TO ANY EXISTING ASPHALT SURFACES, CONCRETE AREAS AND/OR RUMPS DURING THE CONSTRUCTION OF THIS PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO CHARGE TO THE OWNER.
9. CONTOURS AND TOPOGRAPHIC FEATURES TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY DATED BY CUMMINS ASSOCIATES SURVEYORS DATED 7-16-89.
10. UNLESS INDICATED OTHERWISE TO A REVISED PAVING PLAN, THE PAVEMENT SHALL BE MAINTAINED TO THE ORIGINAL FINISH GRADE AND THE EXISTING UTILITIES SHALL BE MAINTAINED TO THE ORIGINAL FINISH GRADE AND THE EXISTING UTILITIES SHALL BE MAINTAINED TO THE ORIGINAL FINISH GRADE AND THE EXISTING UTILITIES SHALL BE MAINTAINED TO THE ORIGINAL FINISH GRADE.
11. PROPERTY MAP REFERENCE: THIS SITE BEING SUBJECT TO THE PLAT TWO BEING RECORDED TO AND ALL OTHER PROPERTY MAPS GROUP "E" AS ELABORATED BY THE SUMNER COUNTY TAX ACCESSORS OFFICE. THE TRACT BEING RECORDED TO BE THE TRACT, PAGE 343, S.O.S.C. 79.
12. ENTRANCE AND EXIT FROM THE SITE SHALL BE MAINTAINED WITH CRUSHED STONE AT ALL TIMES. DIRT FALLING OFF THE CONSTRUCTION VEHICLES LEAVING SITE ONTO PUBLIC STREETS WILL NOT BE PERMITTED. CONTRACTOR IS RESPONSIBLE FOR CLEAN UP OF ANY DIRT OR DEBRIS THAT MAY FALL ON PUBLIC STREETS.
13. EXISTING SIGNAGE AND STREETS LIGHTS AREAS OF PROPOSED CONSTRUCTION SHALL BE PRESERVED AND REMOVED FROM SITE.
14. CONTRACTOR SHOULD USE EXTREME CAUTION WHEN WORKING AROUND EXISTING BUILDINGS TO AVOID DAMAGE TO SAID BUILDINGS.



NO.	DATE	REVISION DESCRIPTION
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GALLATIN PLANNING & ZONING

LEGEND

- PAINTED PAVEMENT ARROW
- PROPOSED BUILDING AREA
- PROPOSED ASPHALT AREA
- PROPOSED CONC. WALKS
- EXISTING

Hart Freeland Roberts

GALLATIN FIRST BAPTIST CHURCH
ALTERATIONS AND ADDITIONS / MUSIC ADDITION
EDUCATION / ADMINISTRATION / P.O. BOX 369
GALLATIN, TN. 37066 (615) 492-5715

SITE PLAN
JOB NO. 88024-100 DATE: 10-28-89

C 1.0

8-47-89

ATTACHMENT 5-3

8-47-89



3 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



1 NORTHEAST ELEVATION
1/8" = 1'-0"

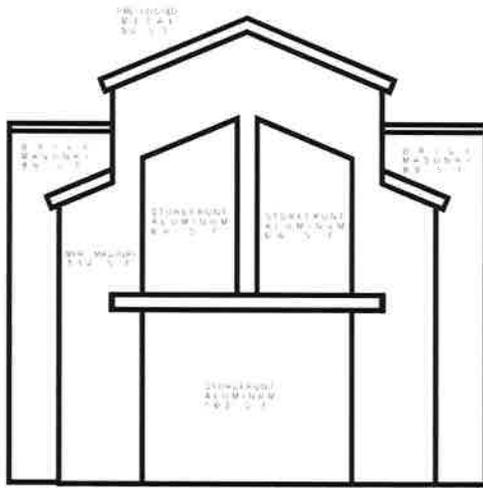
PROGRESS PRINTS NOT FOR CONSTRUCTION
 mantel teter
 ARCHITECTS
 205 East Main Street, Suite 200 | Gallatin, TN 37066
 Phone: 615.253.1111 | www.mantelteter.com

Entry Addition & Remodeling Project for:
First Baptist Church
 205 East Main Street
 Gallatin, Tennessee 37066

PROJECT # 15-287
 ISSUE DATE: 6/20/2015
 DRAWN BY: JSP
 CHECKED BY: SCB
 REVISIONS:
 1 _____
 2 _____
 3 _____
 4 _____
 5 _____

SHEET No.
A2.10
 ELEVATIONS

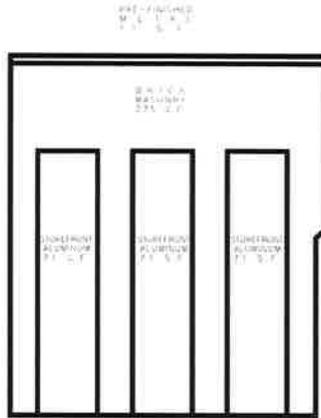
ATTACHMENT 5-5



NORTHEAST ELEVATION

ASBS

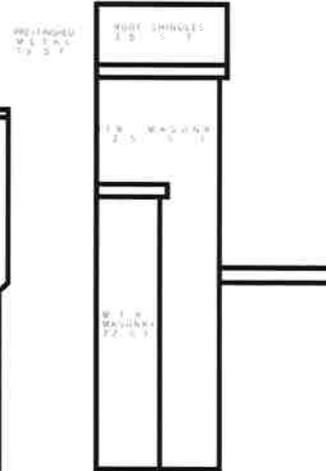
• BRICK MASONRY	138 SF	100%
• MANUFACTURED MASONRY STONE	138 SF	100%
• STOREFRONT ALUMINUM WINDOWS/DOORS	42 SF	31%
• PRE-FINISHED METAL	28 SF	20%
TOTAL	346 SF	100%



SOUTH ELEVATION

ASBS

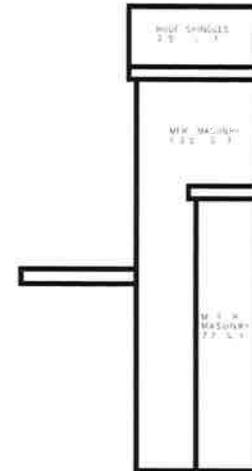
• BRICK MASONRY	270 SF	54%
• STOREFRONT ALUMINUM WINDOWS/DOORS	42 SF	8%
• PRE-FINISHED METAL	11 SF	2%
TOTAL	499 SF	100%



SOUTH WEST ELEVATION

ASBS

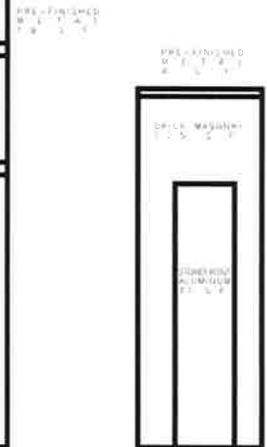
• MANUFACTURED MASONRY STONE	112 SF	80%
• PRE-FINISHED METAL	11 SF	8%
• ASPHALT ROOF SHINGLES	38 SF	28%
TOTAL	260 SF	100%



NORTH WEST ELEVATION

ASBS

• MANUFACTURED MASONRY STONE	112 SF	80%
• PRE-FINISHED METAL	11 SF	8%
• ASPHALT ROOF SHINGLES	38 SF	28%
TOTAL	260 SF	100%



EAST ELEVATION

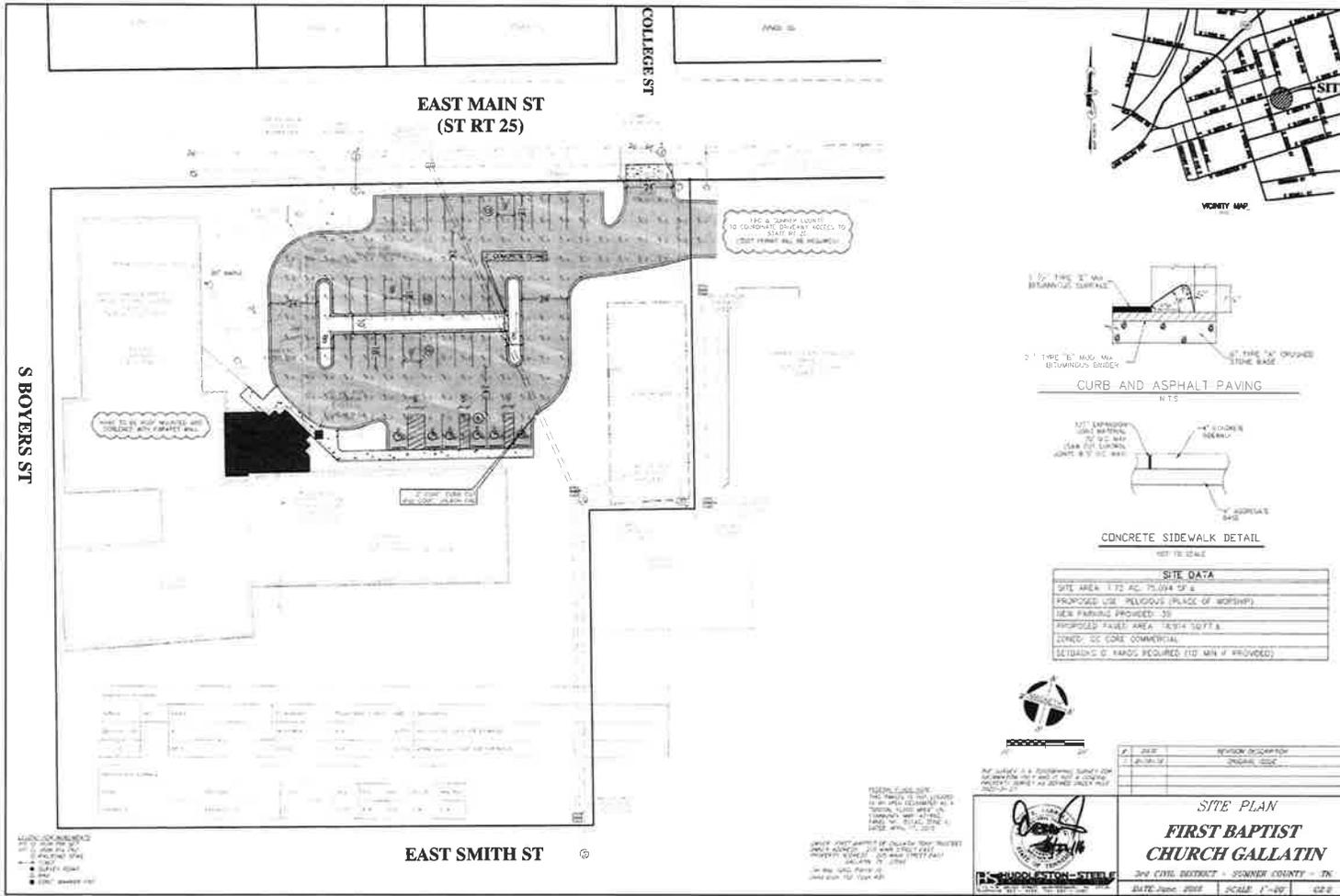
ASBS

• BRICK MASONRY	270 SF	54%
• STOREFRONT ALUMINUM WINDOWS/DOORS	42 SF	8%
• PRE-FINISHED METAL	11 SF	2%
TOTAL	323 SF	100%

ENTIRE EXTERIOR SURFACE

ASBS

• BRICK MASONRY	138 SF	20%
• MANUFACTURED MASONRY STONE	138 SF	20%
• STOREFRONT ALUMINUM WINDOWS/DOORS	42 SF	6%
• PRE-FINISHED METAL	70 SF	10%
• ASPHALT ROOF SHINGLES	108 SF	16%
TOTAL	596 SF	100%



KAD LED
LED Area Luminaires

EXAMPLE: 50' x 100' x 100' AREA IN 100' PARALLEL ROWS

Beam Angle	Beam Diameter (ft)	Beam Area (sq ft)	Beam Area (sq yd)	Beam Area (ac)	Beam Area (mi)	Beam Area (km)
10°	17.0	283.5	31.5	0.0072	0.0000029	0.0000075
20°	34.0	1134.0	124.0	0.0288	0.0000116	0.0000300
30°	51.0	2565.0	285.0	0.0654	0.0000259	0.0000675
40°	68.0	4608.0	504.0	0.1152	0.0000454	0.0001200
50°	85.0	7200.0	790.0	0.1800	0.0000707	0.0001875
60°	102.0	10440.0	1140.0	0.2592	0.0001029	0.0002625
70°	119.0	14310.0	1560.0	0.3504	0.0001394	0.0003675
80°	136.0	18840.0	2070.0	0.4608	0.0001848	0.0004875
90°	153.0	24015.0	2640.0	0.5904	0.0002403	0.0006375

Specifications

Item	Description	Quantity	Unit	Notes
1	LED Area Luminaire	1	EA	
2	LED Area Luminaire	1	EA	
3	LED Area Luminaire	1	EA	
4	LED Area Luminaire	1	EA	
5	LED Area Luminaire	1	EA	
6	LED Area Luminaire	1	EA	
7	LED Area Luminaire	1	EA	
8	LED Area Luminaire	1	EA	
9	LED Area Luminaire	1	EA	
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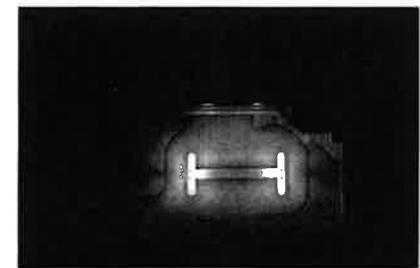
D-Series Size 2
LED Wall Luminaire

EXAMPLE: 10' x 10' x 10' AREA IN 10' PARALLEL ROWS

Beam Angle	Beam Diameter (ft)	Beam Area (sq ft)	Beam Area (sq yd)	Beam Area (ac)	Beam Area (mi)	Beam Area (km)
10°	17.0	283.5	31.5	0.0072	0.0000029	0.0000075
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30°	51.0	2565.0	285.0	0.0654	0.0000259	0.0000675
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70°	119.0	14310.0	1560.0	0.3504	0.0001394	0.0003675
80°	136.0	18840.0	2070.0	0.4608	0.0001848	0.0004875
90°	153.0	24015.0	2640.0	0.5904	0.0002403	0.0006375

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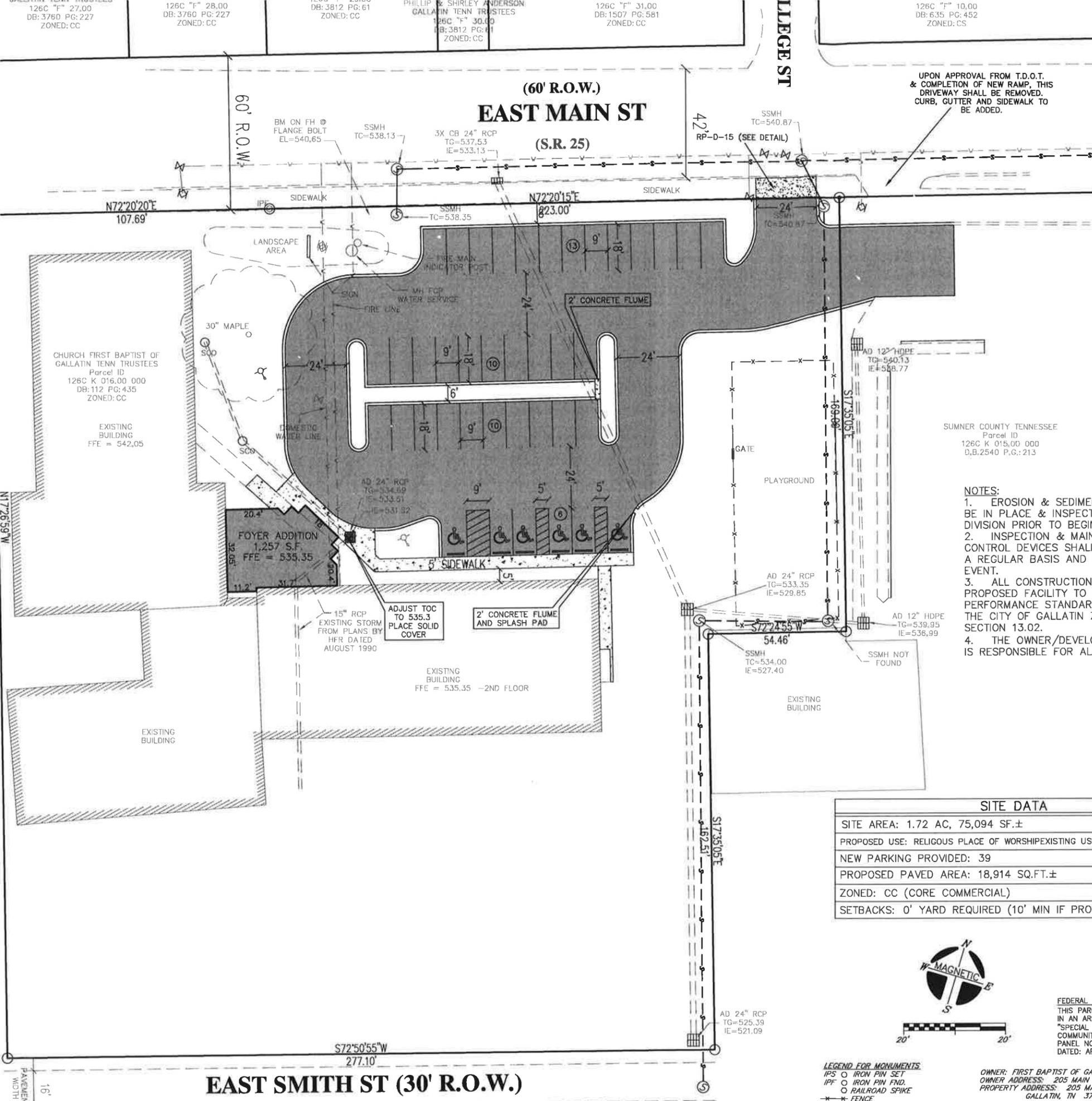
Gallatin PBC
Parking Photometric

ATTACHMENT 5=6

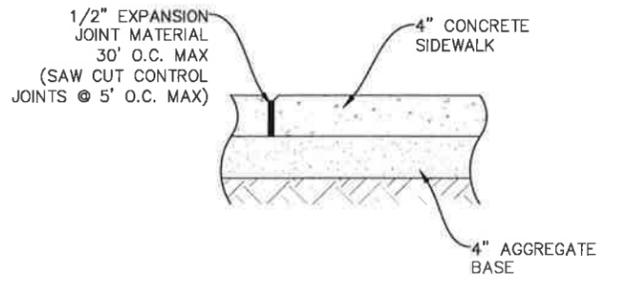
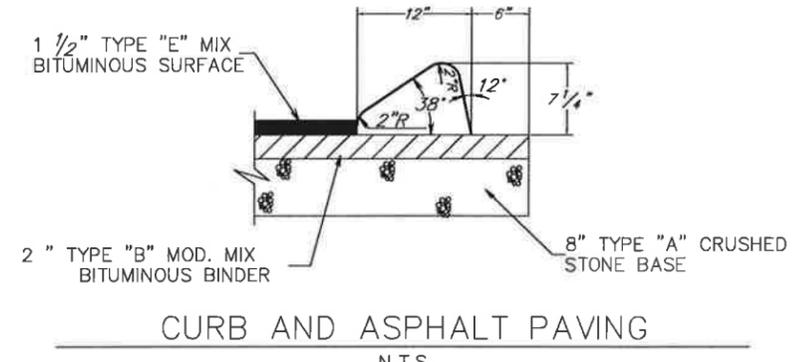
ATTACHMENT 5-7



First Baptist Church - Gallatin, Tennessee
IVAC Rooftop Sightline Study
Location: Located at the corner of the existing Sanctuary, at the sidewalk.
Height: View from 7'-0" above contour 539.0' per the site plan.

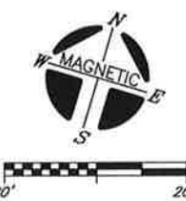
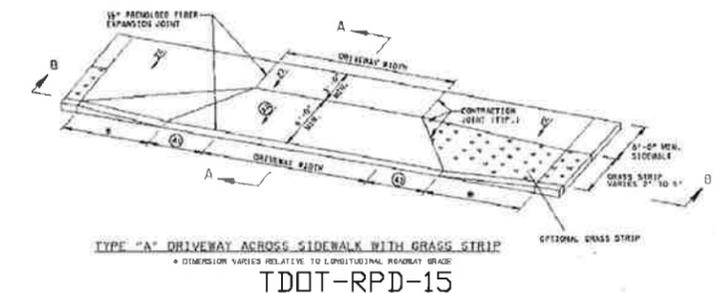


UPON APPROVAL FROM T.D.O.T. & COMPLETION OF NEW RAMP, THIS DRIVEWAY SHALL BE REMOVED. CURB, GUTTER AND SIDEWALK TO BE ADDED.



- NOTES:**
1. EROSION & SEDIMENT CONTROLS MUST BE IN PLACE & INSPECTED BY ENGINEERING DIVISION PRIOR TO BEGINNING ANY GRADING.
 2. INSPECTION & MAINTENANCE OF EROSION CONTROL DEVICES SHALL BE PERFORMED ON A REGULAR BASIS AND AFTER EACH STORM EVENT.
 3. ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF GALLATIN ZONING ORDINANCE, SECTION 13.02.
 4. THE OWNER/DEVELOPER OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.

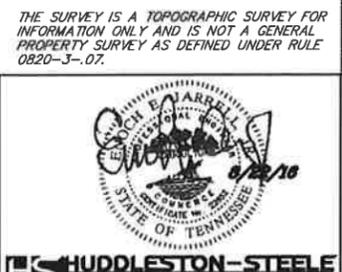
SITE DATA	
SITE AREA:	1.72 AC, 75,094 SF.±
PROPOSED USE:	RELIGIOUS PLACE OF WORSHIP
EXISTING USE:	PLACE OF WORSHIP
NEW PARKING PROVIDED:	39
PROPOSED PAVED AREA:	18,914 SQ.FT.±
ZONED:	CC (CORE COMMERCIAL)
SETBACKS:	0' YARD REQUIRED (10' MIN IF PROVIDED)



FEDERAL FLOOD NOTE
 THIS PARCEL IS NOT LOCATED IN AN AREA DESIGNATED AS A "SPECIAL FLOOD AREA" ON: COMMUNITY MAP: 47185C, PANEL NO.: 0314G, ZONE X, DATED: APRIL 17, 2012

- LEGEND FOR MONUMENTS:**
- IPS ○ IRON PIN SET
 - IPF ○ IRON PIN FND.
 - RAILROAD SPIKE
 - ✱ FENCE
 - SURVEY POINT
 - ▲ NAIL
 - ▲ CIRC. MARKER END

OWNER: FIRST BAPTIST OF GALLATIN TENN TRUSTEES
 OWNER ADDRESS: 205 MAIN STREET EAST
 PROPERTY ADDRESS: 205 MAIN STREET EAST
 GALLATIN, TN 37066
 Tax Map 126C, Parcel 16
 Deed Book 112, Page 435



#	DATE	REVISION DESCRIPTION
1	8-22-16	ORIGINAL ISSUE
2	9-15-16	REVISED PER STAFF COMMENTS

SITE PLAN
FIRST BAPTIST CHURCH GALLATIN
 3rd CIVIL DISTRICT - SUMNER COUNTY - TN.

PHILLIP & SHIRLEY ANDERSON
GALLATIN TENN TRUSTEES
126C "F" 27.00
DB: 3760 PG: 227
ZONED: CC

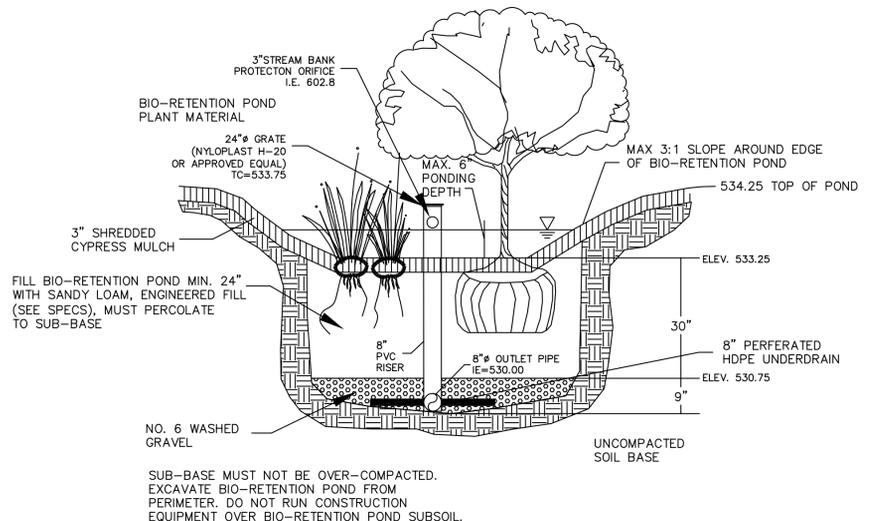
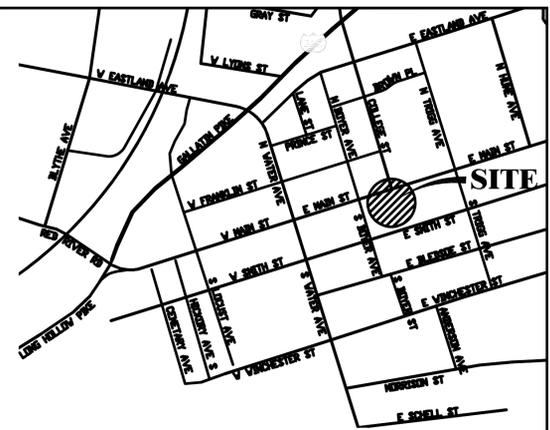
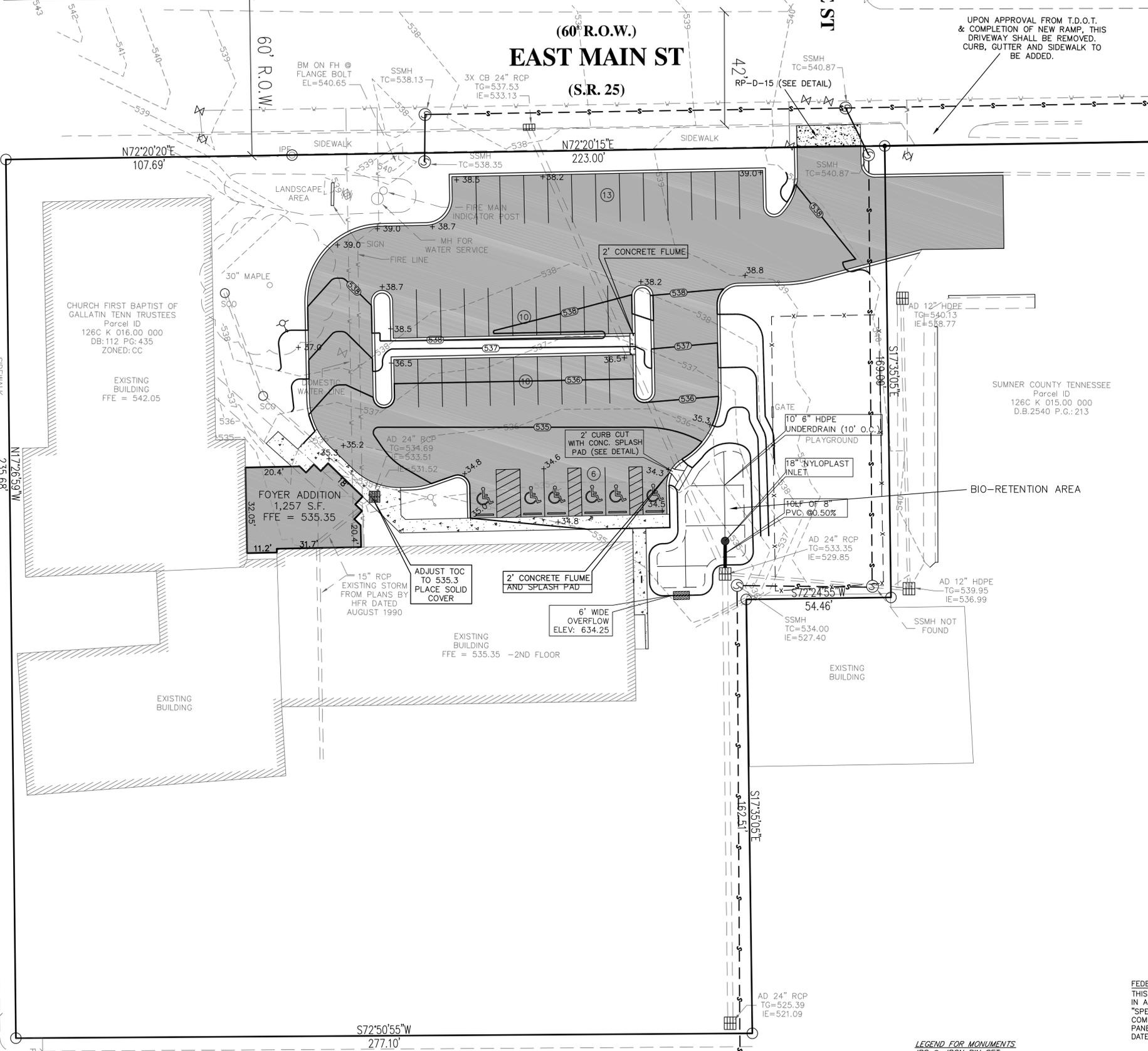
PHILLIP & SHIRLEY ANDERSON
GALLATIN TENN TRUSTEES
126C "F" 28.00
DB: 3760 PG: 227
ZONED: CC

PHILLIP & SHIRLEY ANDERSON
GALLATIN TENN TRUSTEES
126C "F" 29.00
DB: 3812 PG: 61
ZONED: CC

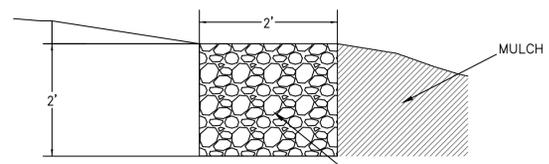
PHILLIP & SHIRLEY ANDERSON
GALLATIN TENN TRUSTEES
126C "F" 30.00
DB: 3812 PG: 61
ZONED: CC

DANIEL & SARAH HURST
GALLATIN TENN TRUSTEES
126C "F" 31.00
DB: 1507 PG: 581
ZONED: CC

DANIEL & SARAH HURST
GALLATIN TENN TRUSTEES
126C "F" 10.00
DB: 635 PG: 452
ZONED: CS



BIO-RETENTION AREA



GRAVEL FLOW SPREADER



THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

FEDERAL FLOOD NOTE
THIS PARCEL IS NOT LOCATED IN AN AREA DESIGNATED AS A "SPECIAL FLOOD AREA" ON: COMMUNITY MAP: 47165C, PANEL NO.: 0314G, ZONE X, DATED: APRIL 17, 2012

- LEGEND FOR MONUMENTS
- IRON PIN SET
 - IPF ○ IRON PIN FND.
 - RAILROAD SPIKE
 - ✱ FENCE
 - SURVEY POINT
 - ▲ NAIL
 - CONC. MARKER FND.

OWNER: FIRST BAPTIST OF GALLATIN TENN TRUSTEES
OWNER ADDRESS: 205 MAIN STREET EAST
PROPERTY ADDRESS: 205 MAIN STREET EAST
GALLATIN, TN 37066
Tax Map 126C, Parcel 16
Deed Book 112, Page 435

#	DATE	REVISION DESCRIPTION
1	8-22-16	ORIGINAL ISSUE
2	9-15-16	REVISED PER STAFF COMMENTS



GRADING & DRAINAGE PLAN

FIRST BAPTIST CHURCH GALLATIN

3rd CIVIL DISTRICT - SUMNER COUNTY - TN.

DATE: June, 2016 SCALE: 1"=20' C3.0

S BOYERS ST (40' R.O.W.)

22' PAVEMENT WIDTH

16' PAVEMENT WIDTH

\\vac021\land\projects\2016\GALLATIN\FBC.dwg GARDING, 9/14/2016 6:25:59 PM, ACAD005

PHILLIP & SHIRLEY ANDERSON
GALLATIN TENN TRUSTEES
126C "F" 27.00
DB: 3760 PG: 227
ZONED: CC

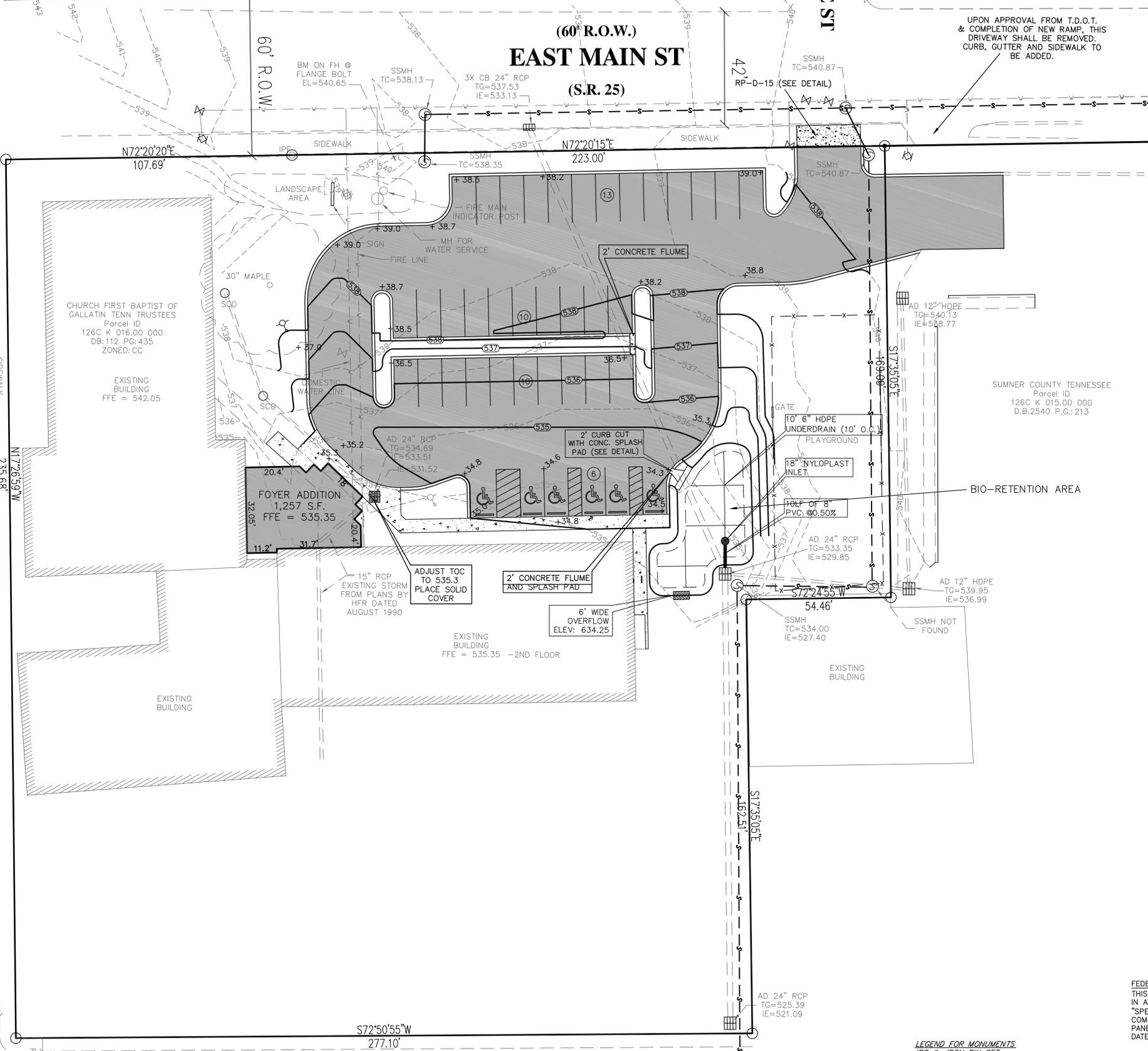
PHILLIP & SHIRLEY ANDERSON
GALLATIN TENN TRUSTEES
126C "F" 28.00
DB: 3760 PG: 227
ZONED: CC

PHILLIP & SHIRLEY ANDERSON
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DANIEL & SARAH HURST
GALLATIN TENN TRUSTEES
126C "F" 10.00
DB: 635 PG: 452
ZONED: CS



S BOYERS ST (40' R.O.W.)

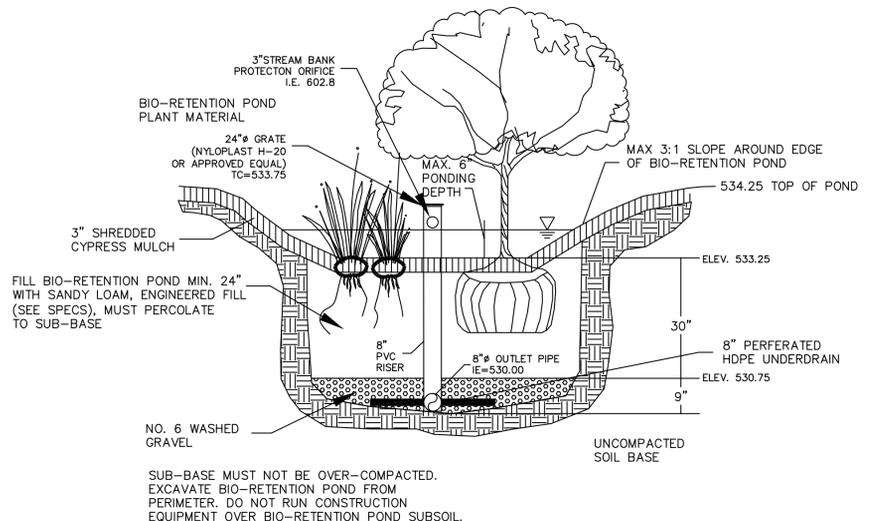
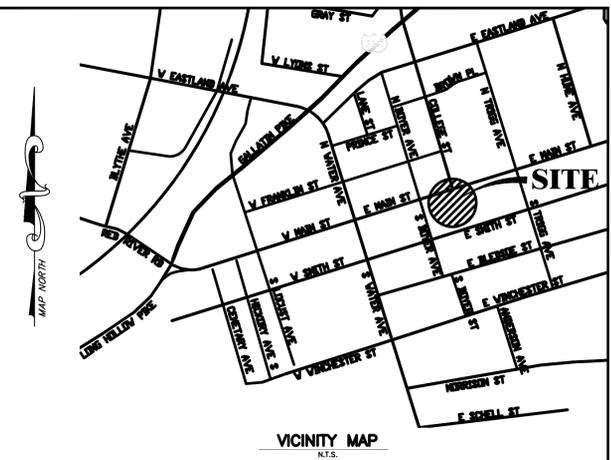
COLLEGE ST

22' PAVEMENT WIDTH

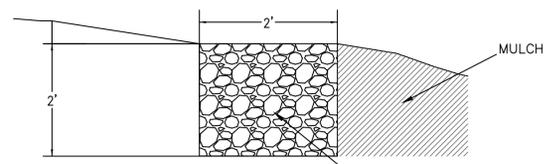
16' PAVEMENT WIDTH

16'

16'



BIO-RETENTION AREA



GRAVEL FLOW SPREADER



THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

FEDERAL FLOOD NOTE
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- LEGEND FOR MONUMENTS**
- IPS ○ IRON PIN SET
 - IPF ○ IRON PIN FND.
 - RAILROAD SPIKE
 - ✱ FENCE
 - SURVEY POINT
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 - CONC. MARKER FND.

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GALLATIN, TN 37066
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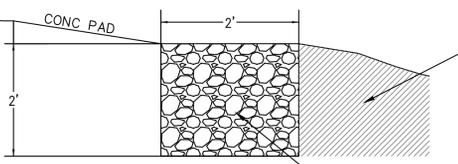
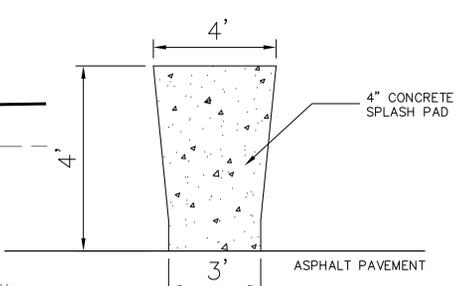
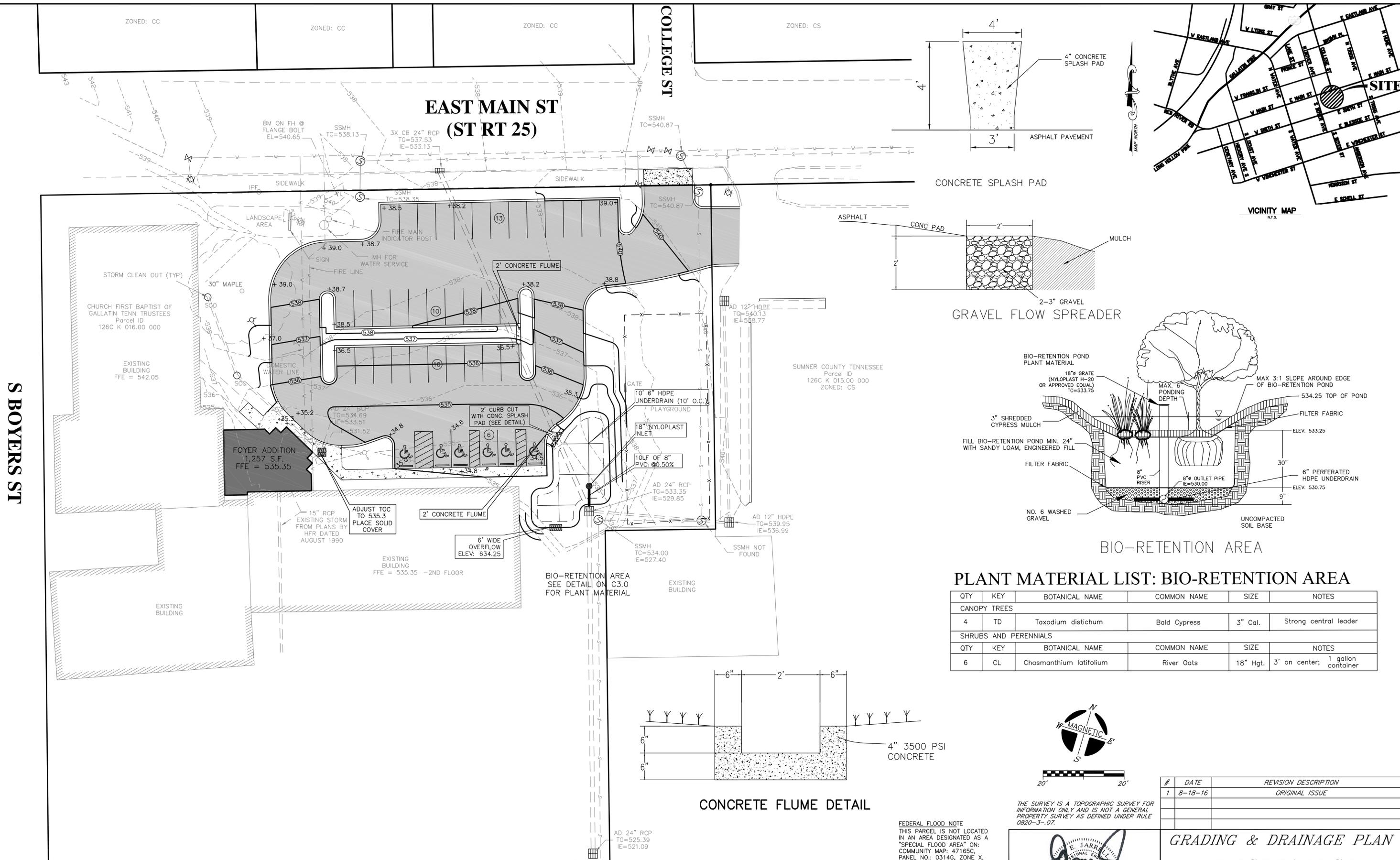


GRADING & DRAINAGE PLAN

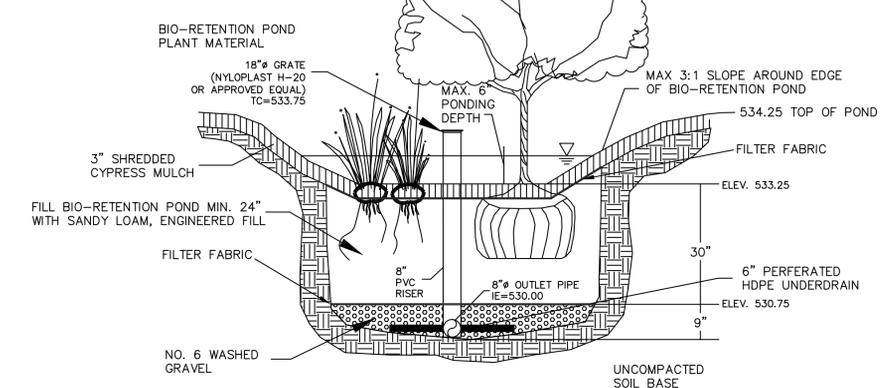
FIRST BAPTIST CHURCH GALLATIN

3rd CIVIL DISTRICT - SUMNER COUNTY - TN.

DATE: June, 2016 SCALE: 1"=20' C3.0



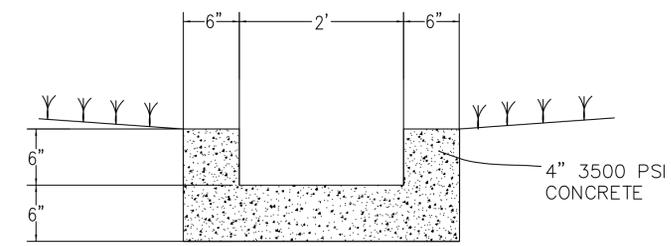
GRAVEL FLOW SPREADER



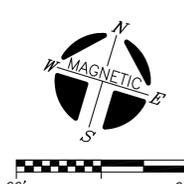
BIO-RETENTION AREA

PLANT MATERIAL LIST: BIO-RETENTION AREA

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CANOPY TREES					
4	TD	Taxodium distichum	Bald Cypress	3" Cal.	Strong central leader
SHRUBS AND PERENNIALS					
6	CL	Chasmanthium latifolium	River Oats	18" Hgt.	3' on center; 1 gallon container



CONCRETE FLUME DETAIL



FEDERAL FLOOD NOTE
 THIS PARCEL IS NOT LOCATED IN AN AREA DESIGNATED AS A "SPECIAL FLOOD AREA" ON: COMMUNITY MAP: 47165C, PANEL NO.: 0314G, ZONE X, DATED: APRIL 17, 2012

OWNER: FIRST BAPTIST OF GALLATIN TENN TRUSTEES
 OWNER ADDRESS: 205 MAIN STREET EAST
 PROPERTY ADDRESS: 205 MAIN STREET EAST
 GALLATIN, TN 37066
 Tax Map 126C, Parcel 16
 Deed Book 112, Page 435



#	DATE	REVISION DESCRIPTION
1	8-18-16	ORIGINAL ISSUE

GRADING & DRAINAGE PLAN
FIRST BAPTIST CHURCH GALLATIN
 3rd CIVIL DISTRICT - SUMNER COUNTY - TN.
 DATE: June, 2016 SCALE: 1"=20' C3.0

LEGEND FOR MONUMENTS
 ○ IRON PIN SET
 ○ IRON PIN FND
 ○ RAILROAD SPIKE
 ✕ FENCE
 ● SURVEY POINT
 ▲ NAIL
 ■ CONC. MARKER FND.

S BOYERS ST

EAST SMITH ST

EAST MAIN ST (ST RT 25)

COLLEGE ST

SITE

VICINITY MAP

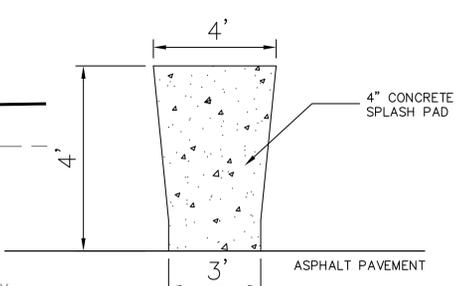
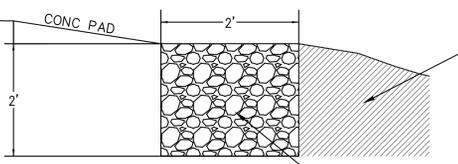
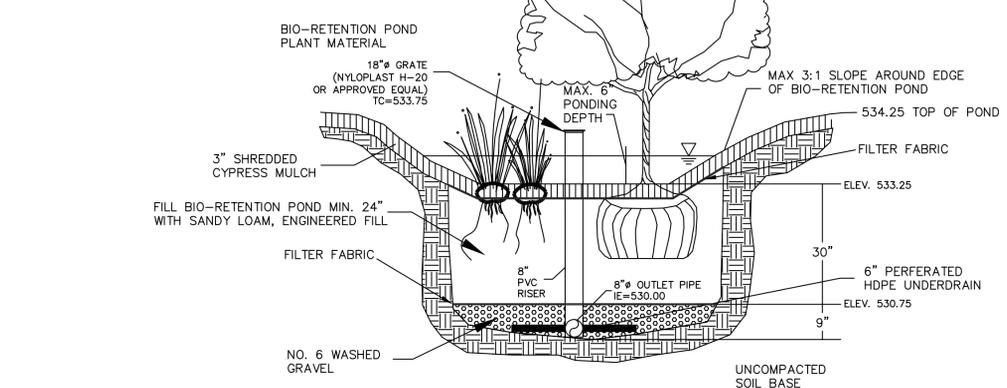
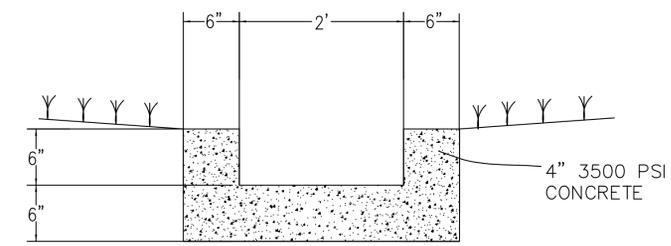
PLANT MATERIAL LIST: BIO-RETENTION AREA

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CANOPY TREES					
4	TD	Taxodium distichum	Bald Cypress	3" Cal.	Strong central leader
SHRUBS AND PERENNIALS					
6	CL	Chasmanthium latifolium	River Oats	18" Hgt.	3' on center; 1 gallon container

CONCRETE FLUME DETAIL

BIO-RETENTION AREA

GRAVEL FLOW SPREADER



LEGEND FOR MONUMENTS
 ○ IRON PIN SET
 ○ IRON PIN FND
 ○ RAILROAD SPIKE
 ✕ FENCE
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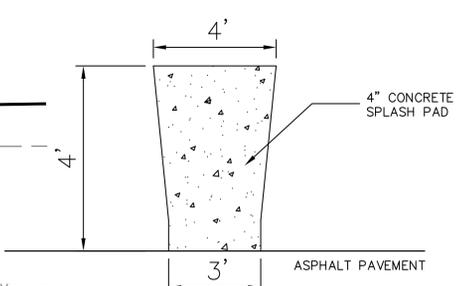
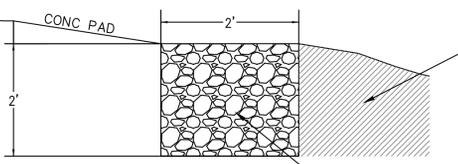
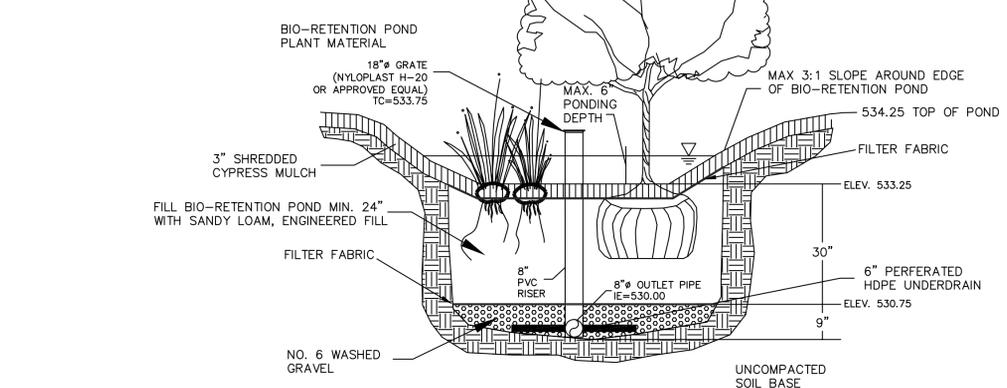
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CONCRETE FLUME DETAIL

BIO-RETENTION AREA

GRAVEL FLOW SPREADER



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SITE

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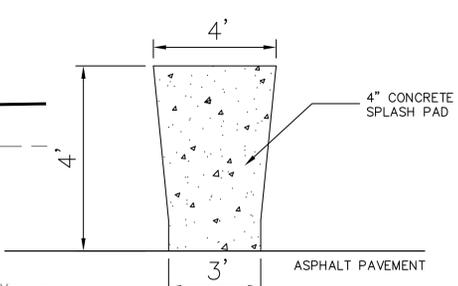
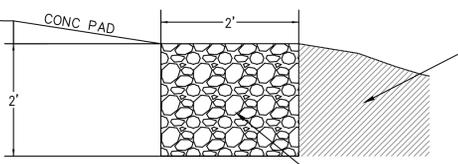
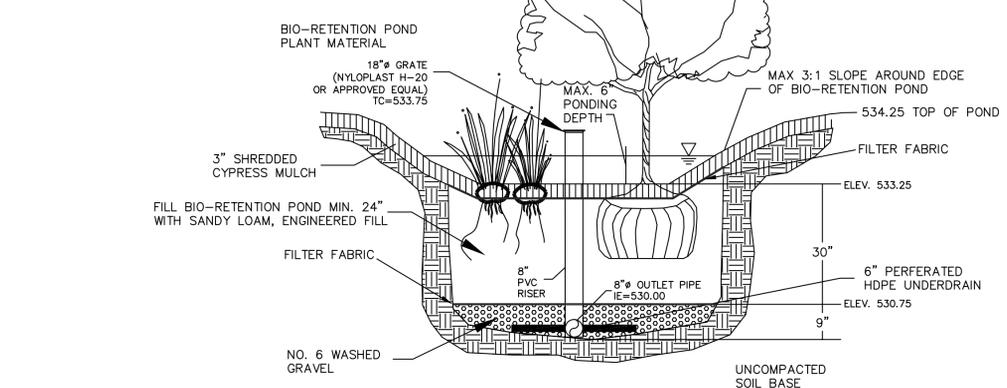
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BIO-RETENTION AREA

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EAST MAIN ST (ST RT 25)

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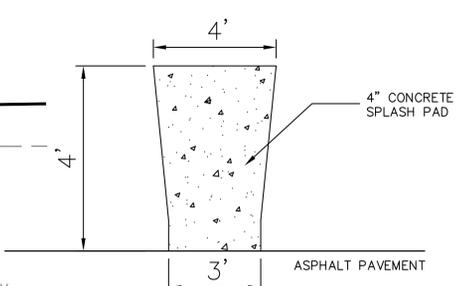
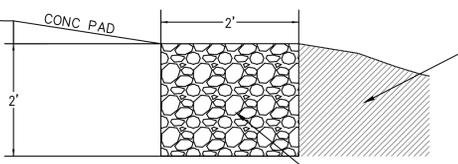
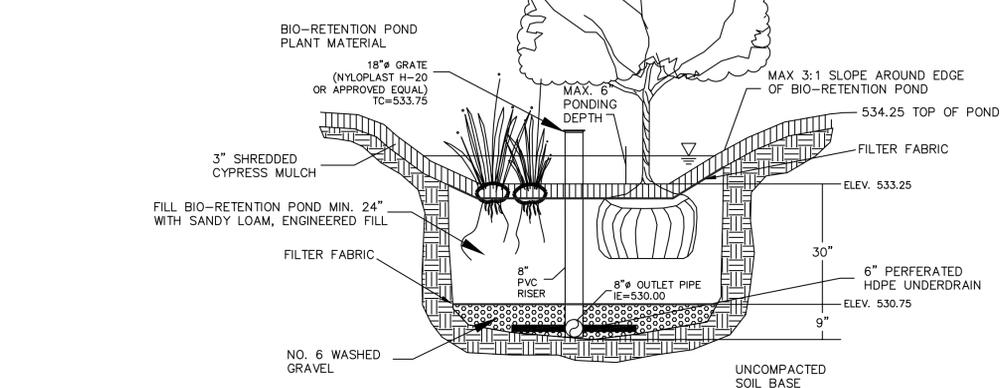
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GRAVEL FLOW SPREADER



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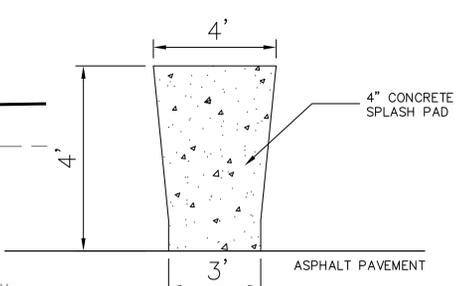
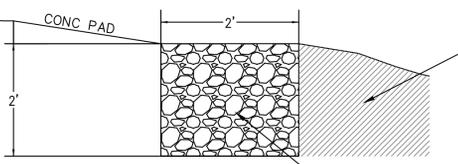
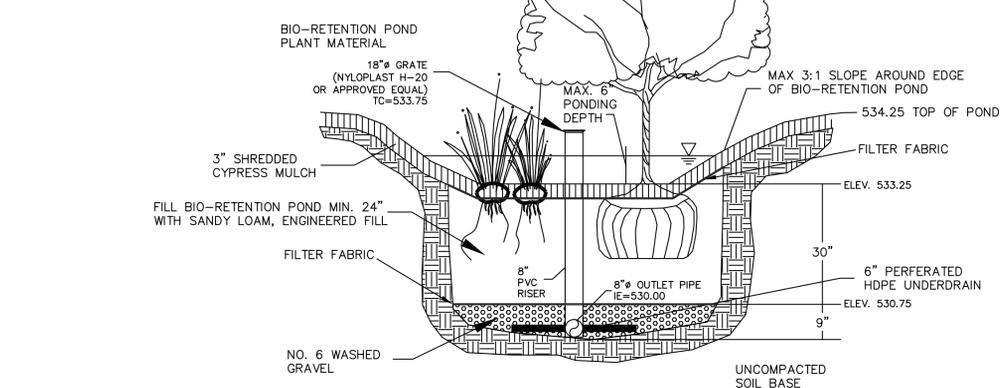
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BIO-RETENTION AREA

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EAST MAIN ST (ST RT 25)

COLLEGE ST

SITE

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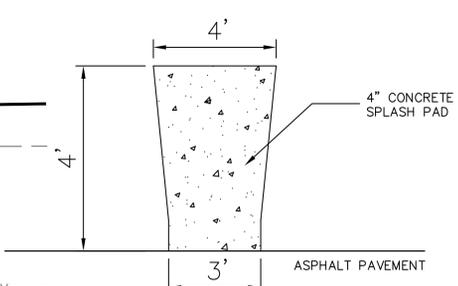
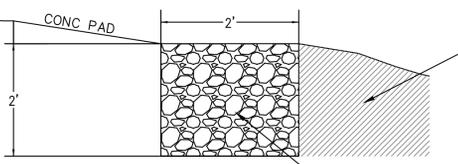
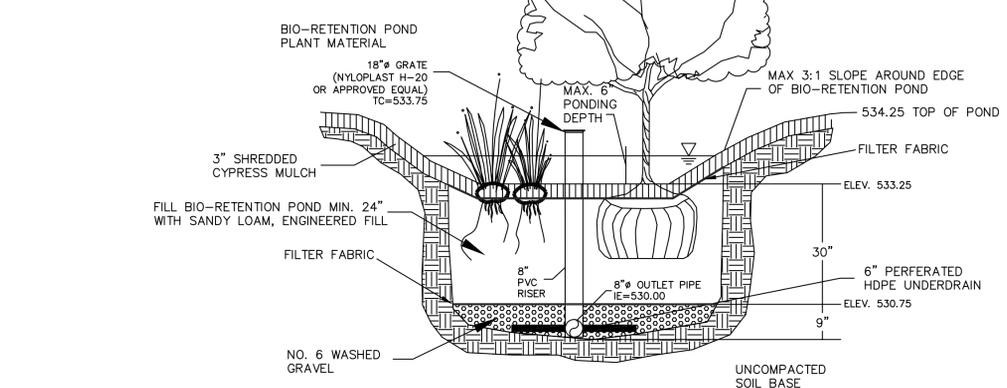
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CONCRETE FLUME DETAIL

BIO-RETENTION AREA

GRAVEL FLOW SPREADER



S BOYERS ST

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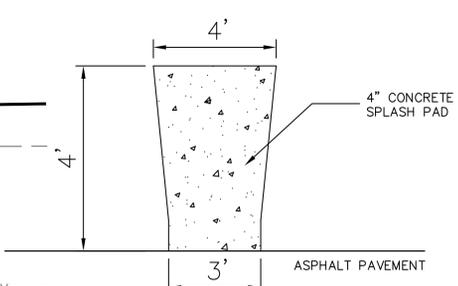
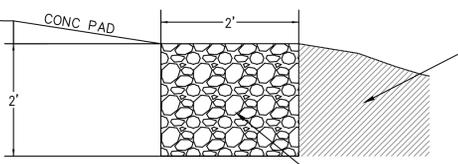
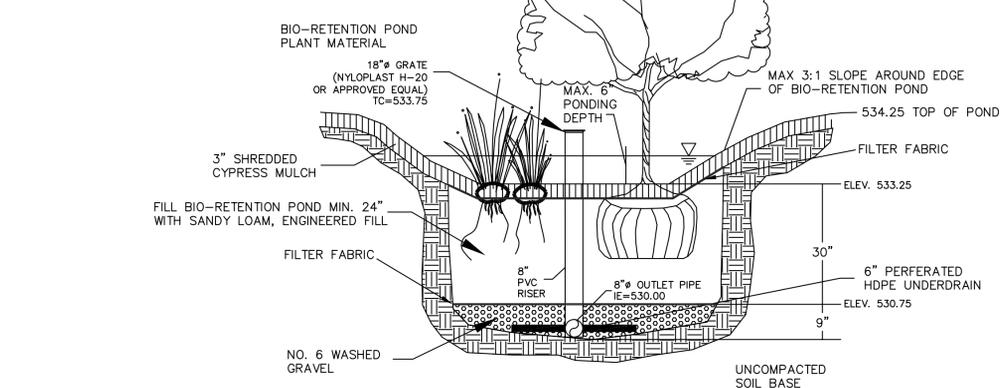
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BIO-RETENTION AREA

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EAST MAIN ST (ST RT 25)

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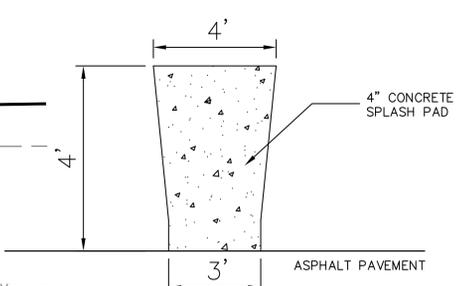
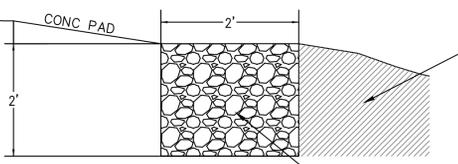
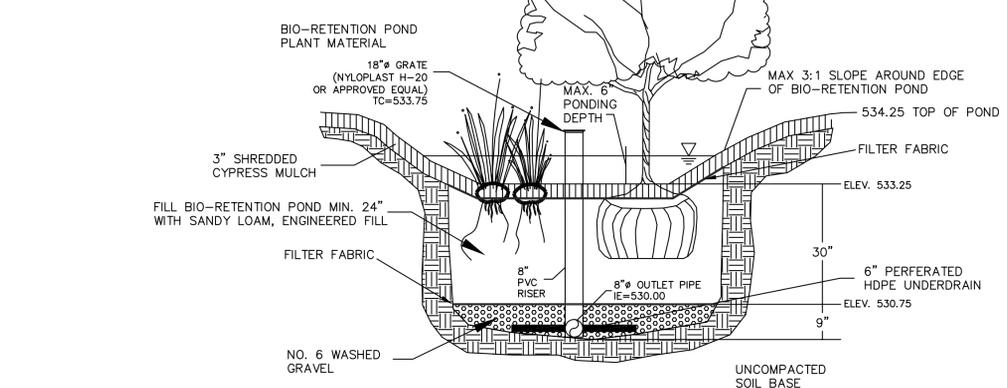
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BIO-RETENTION AREA

GRAVEL FLOW SPREADER



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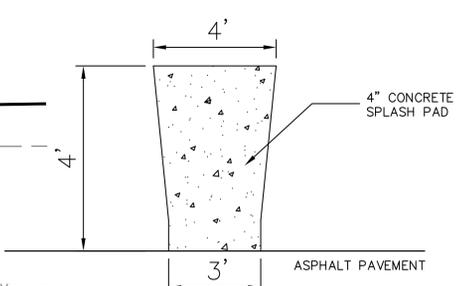
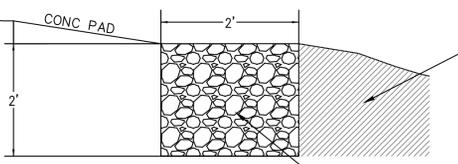
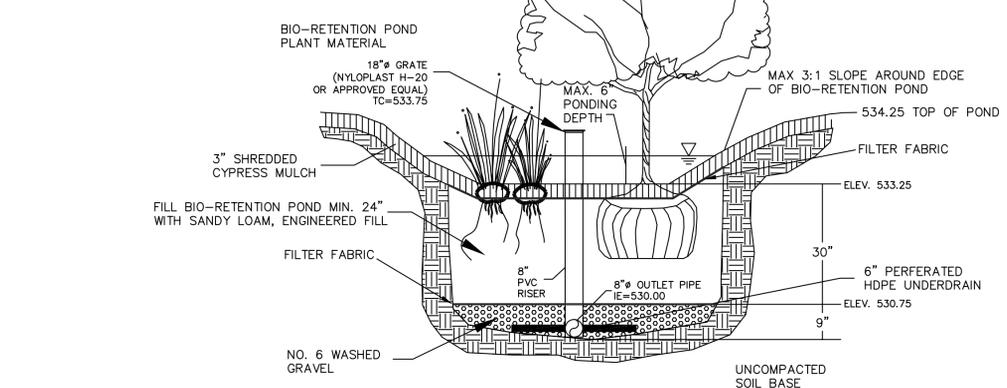
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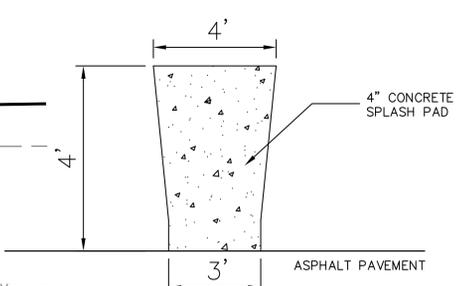
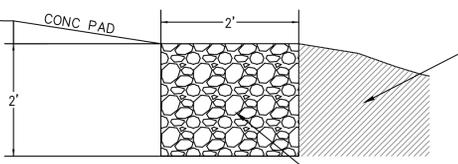
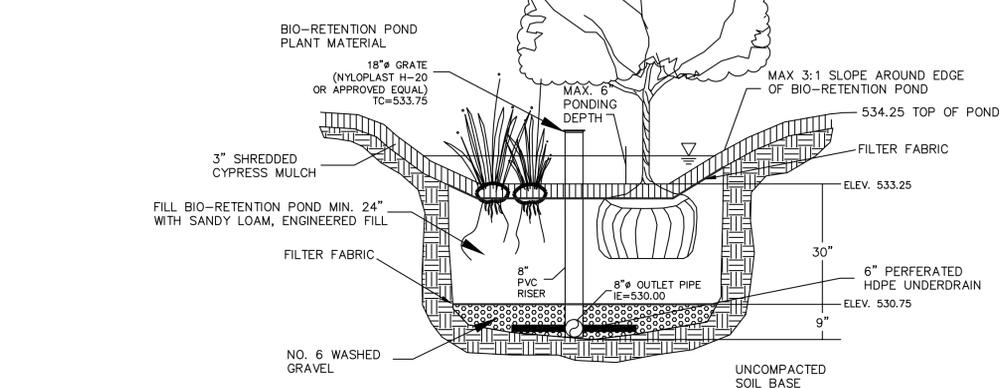
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CONCRETE FLUME DETAIL

BIO-RETENTION AREA

GRAVEL FLOW SPREADER



S BOYERS ST

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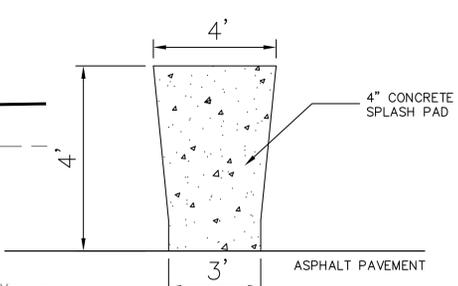
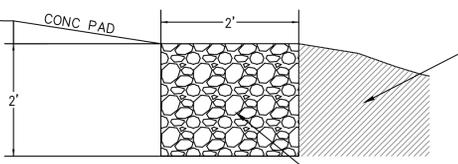
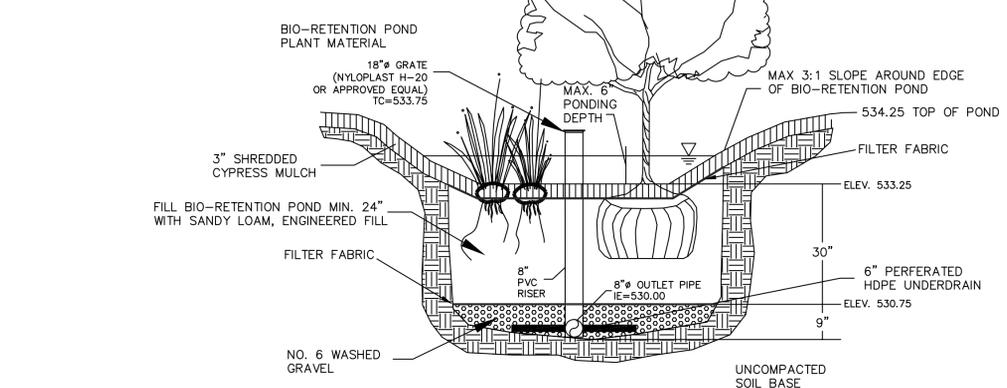
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BIO-RETENTION AREA

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EAST SMITH ST

EAST MAIN ST (ST RT 25)

COLLEGE ST

SITE

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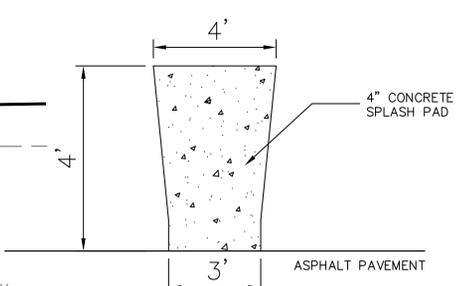
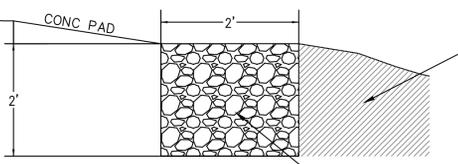
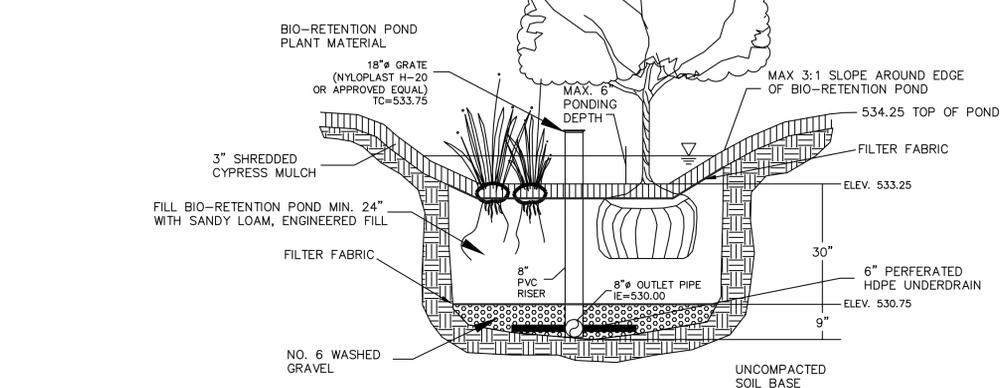
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BIO-RETENTION AREA

GRAVEL FLOW SPREADER



S BOYERS ST

SITE

VICINITY MAP

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PHILLIP & SHIRLEY ANDERSON
GALLATIN TENN TRUSTEES
126C "F" 27.00
DB: 3760 PG: 227
ZONED: CC

PHILLIP & SHIRLEY ANDERSON
GALLATIN TENN TRUSTEES
126C "F" 28.00
DB: 3760 PG: 227
ZONED: CC

PHILLIP & SHIRLEY ANDERSON
GALLATIN TENN TRUSTEES
126C "F" 29.00
DB: 3812 PG: 61
ZONED: CC

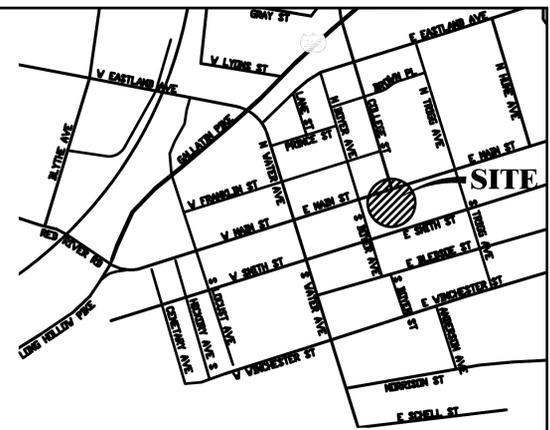
PHILLIP & SHIRLEY ANDERSON
GALLATIN TENN TRUSTEES
126C "F" 30.00
DB: 3812 PG: 61
ZONED: CC

DANIEL & SARAH HURST
GALLATIN TENN TRUSTEES
126C "F" 31.00
DB: 1507 PG: 581
ZONED: CC

DANIEL & SARAH HURST
GALLATIN TENN TRUSTEES
126C "F" 10.00
DB: 635 PG: 452
ZONED: CS

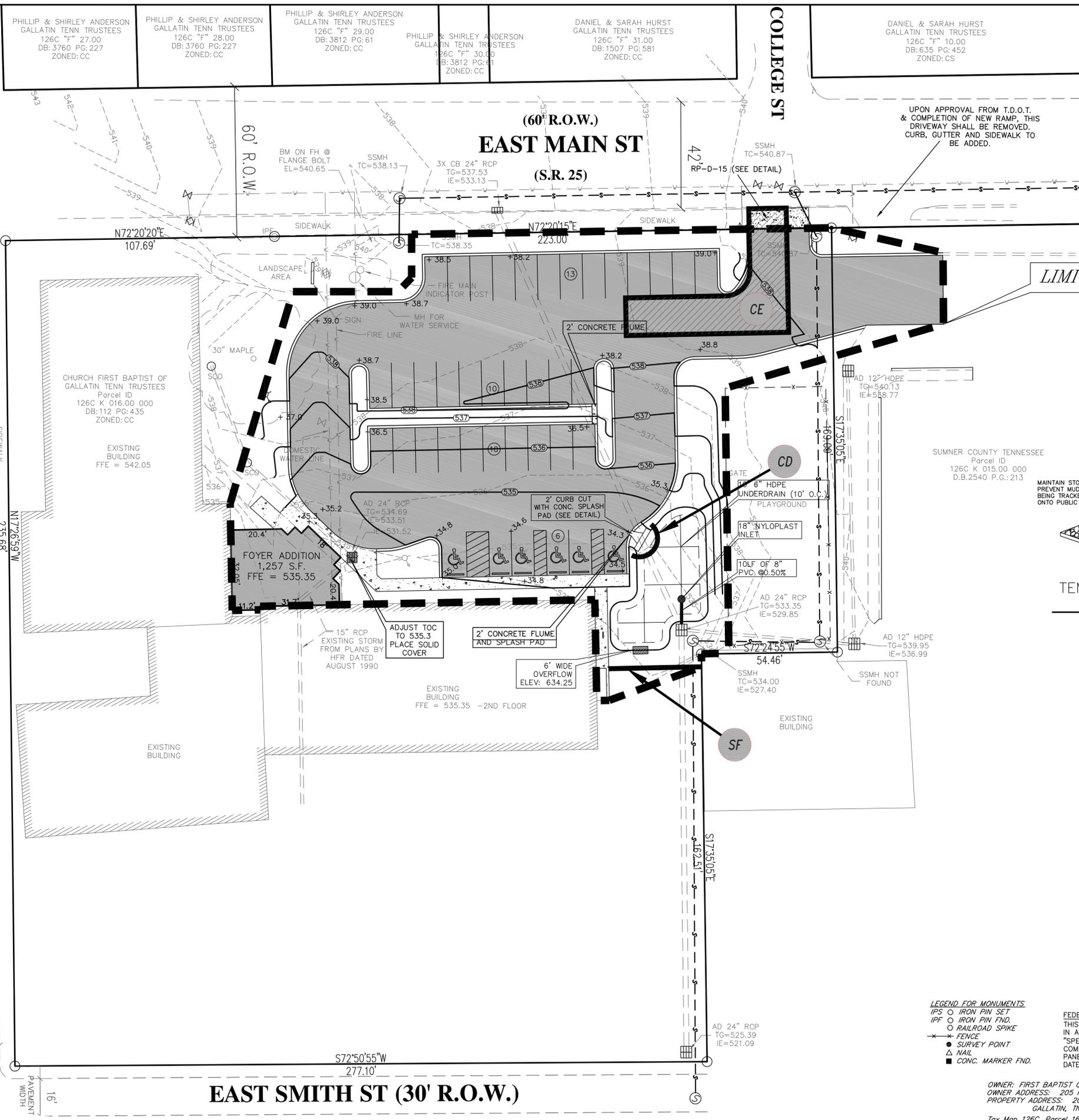
EROSION CONTROL LEGEND

-  CHECK DAM
-  SILT FENCE
-  CONSTRUCTION EXIT

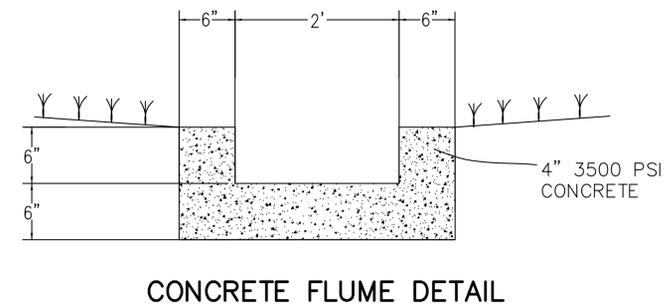
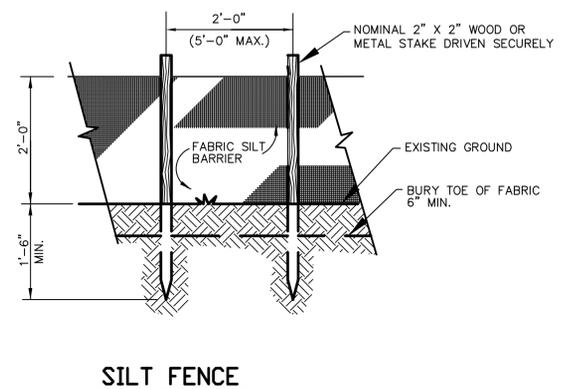
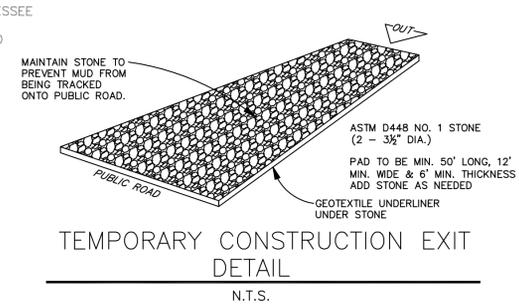


VICINITY MAP
N.T.S.

S BOYERS ST (40' R.O.W.)



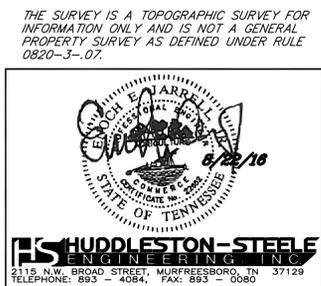
LIMITS OF DISTURBANCE: 0.8 AC. ±



- LEGEND FOR MONUMENTS**
- IRON PIN SET
 - IRON PIN END
 - RAILROAD SPIKE
 - ✕ FENCE
 - SURVEY POINT
 - △ NAIL
 - CONC. MARKER FND.

FEDERAL FLOOD NOTE
THIS PARCEL IS NOT LOCATED IN AN AREA DESIGNATED AS A "SPECIAL FLOOD AREA" ON: COMMUNITY MAP: 47165C, PANEL NO.: 0314G, ZONE X, DATED: APRIL 17, 2012

OWNER: FIRST BAPTIST OF GALLATIN TENN TRUSTEES
OWNER ADDRESS: 205 MAIN STREET EAST
PROPERTY ADDRESS: 205 MAIN STREET EAST
GALLATIN, TN 37066
Tax Map 126C, Parcel 16
Deed Book 112, Page 435



#	DATE	REVISION DESCRIPTION
1	8-22-16	ORIGINAL ISSUE
2	9-15-16	REVISED PER STAFF COMMENTS

EROSION CONTROL PLAN
INITIAL MEASURES
FIRST BAPTIST
CHURCH GALLATIN

3rd CIVIL DISTRICT - SUMNER COUNTY - TN.

DATE: June, 2016 SCALE: 1"=20' C3.1

H. S. HUDDLESTON-STEEL
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 863-74084, FAX: 863-74080

ITEM 6

GMRPC Resolution No. 2016-95

A RESOLUTION OF THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION RECOMMENDING ACCEPTANCE OF THE PUBLIC IMPROVEMENTS FOR STRATFORD PARK PHASE 4, SECTION 1, TO THE GALLATIN CITY COUNCIL – (PC 5-2191-16)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION approved the final plat for Stratford Park Phase 4, Section 1 and was recorded in Plat Book 28, page 196-197, R.O.S.C., Tennessee on August 8, 2014; and

WHEREAS, the subject public improvements have been completed and the City has determined that the public improvements were constructed to the design standards and specifications of the City; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the request to accept public improvements in Stratford Park Phase 4, Section 1 submitted by the applicant, Barge Waggoner Sumner & Cannon, at its regular meeting on September 26, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-406 and 13-4-307:

1. The request for acceptance of public improvements described above is in agreement with the requirements of the Gallatin Subdivision Regulations.
2. By accepting the public improvements the legal purposes for which zoning and subdivision regulations exists are not contravened.
3. By accepting the public improvements it will not create an adverse effect upon adjoining property owners or any such adverse effect can be justified by the public good or welfare.

ITEM 6

4. By accepting the public improvements no one property owner or small group of property owners will benefit materially from the acceptance to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby recommends approval of the request to accept public improvements in Stratford Park Phase 4, Section 1 to the Gallatin City Council with the following conditions:

1. Provide a maintenance surety in the amount of \$33,400 per Section 3-102, Gallatin Subdivision Regulations.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 09/26/2016

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



Item 6

PLANNING DEPARTMENT STAFF REPORT

Public Improvement Acceptance – Stratford Park Phase 4, Section 1
(5-2191-16)

Located North of Long Hollow Pike and East of Stratford Park Blvd

Date: September 26, 2016

REQUEST: OWNER AND APPLICANT REQUEST THE CITY OF GALLATIN TO ACCEPT THE PUBLIC IMPROVEMENTS FOR STRATFORD PARK PHASE 4, SECTION 1 SUBDIVISION.

OWNER: STRATFORD PARK A TENNESSEE GENERAL PARTNERSHIP

APPLICANT: BARGE WAGGONER SUMNER & CANNON

STAFF RECOMMENDATION: RECOMMEND APPROVAL OF RESOLUTION No. 2016-95

STAFF CONTACT: JILLIAN OGDEN

PLANNING COMMISSION DATE: SEPTEMBER 26, 2016

PROPERTY OVERVIEW: The owner and applicant are requesting the City of Gallatin to accept the public improvements for Stratford Park Phase 4, Section 1. The subdivision contains fourteen (14) lots and right-of-way on 5.60 (+/-) acres. All lots are developed. The property is part of the Stratford Park Development and is currently zoned Multiple Residential and Office (MRO). No portion of this property is located within a flood hazard area.

CASE BACKGROUND:

Previous Approvals

On June 23, 2014, Planning Commission approved the Final Plat for Stratford Park Phase 4, Section 1 (PC0294-14) containing fourteen (14) lots and right-of-way on 5.60 (+/-) acres. The plat was recorded on August 8, 2014 (Plat Book 28, Page 196-197) (Attachment 6-1).

DISCUSSION:

The owner and applicant are requesting approval of Resolution 2016-95 accepting public improvements constructed in Stratford Park Phase 4, Section 1.

By approval of the Resolution, the Planning Commission recommends that the City Council also adopt a Resolution (Attachment 6-2) and execute the Quitclaim Deed accepting the public improvements (Attachment 6-3) in accordance with Sections 1-113.107 and 3-105.5 of the Subdivision Regulations.

Engineering Division

The Engineering Staff completed a final inspection and reported that the applicant has satisfactorily addressed all engineering issues as required by Section 3-105.6 and 3-105.7 of the Subdivision Regulations.

The Engineering Division certified that the applicant submitted all the necessary documents concerning the acceptance of public improvements for the transportation, utilities, rights-of-way, and public easements located in Stratford Park Phase 4, Section 1 as identified in Attachment 6-4, and provided an as-built survey of the rights-of-way of East Sagewood Drive within the subdivision and Stratford Park Boulevard.

The subdivision is completed to the standards as required by Section 3-105.1 of the Subdivision Regulations, and all lots are fully developed.

Section 3-102 of the City of Gallatin Subdivision Regulations, Maintenance Surety, requires that the applicant post a maintenance surety in the amount of 10 percent of the completed roadway and drainage costs. The owner and applicant shall submit a maintenance surety in the amount of \$33,400 to the Planning Department.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2016-95, recommending that the City of Gallatin accept the public improvements in Stratford Park Phase 4, Section 1, as recorded in Plat Book 28, Pages 196-197, in the Register's Office of Sumner County, with the following conditions:

1. Provide a maintenance surety in the amount of \$33,400 per Section 3-102, Gallatin Subdivision Regulations.

ATTACHMENTS:

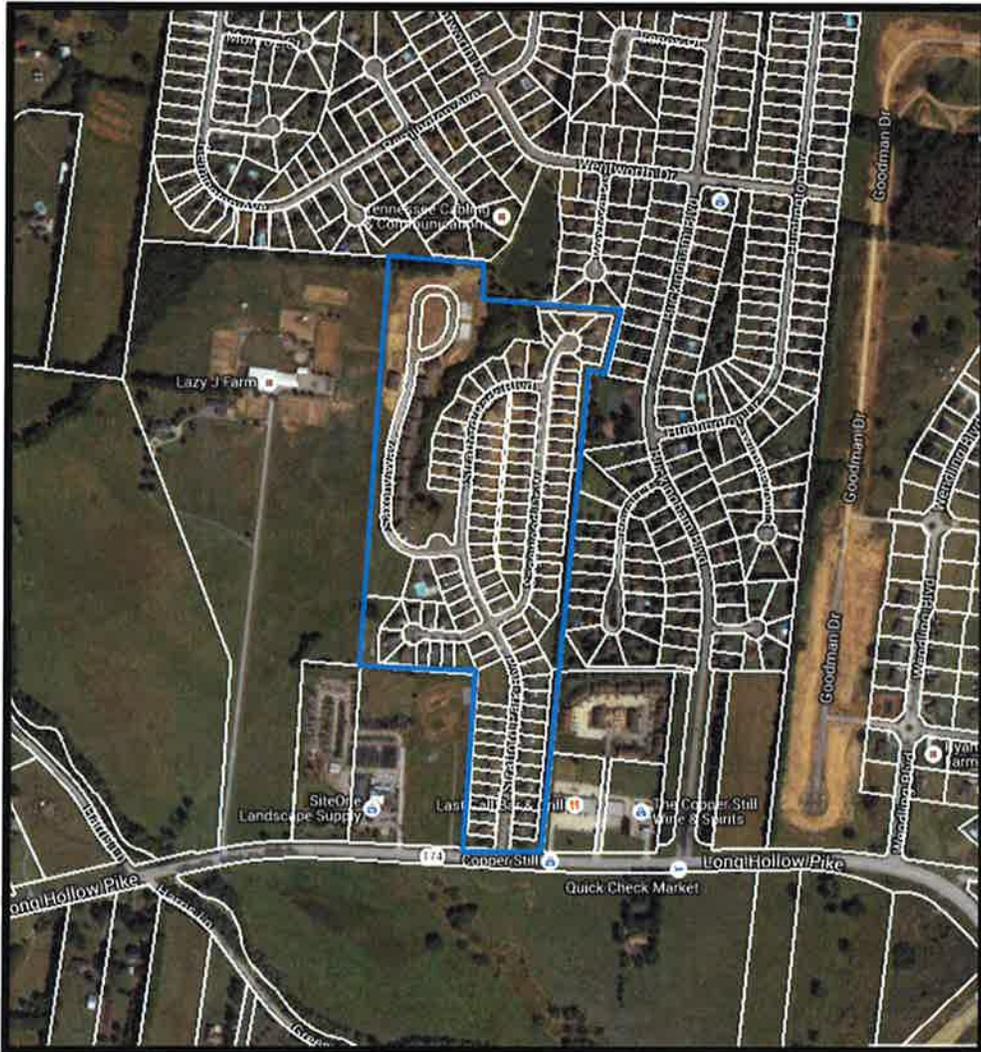
Attachment 6-1 Location Map

Attachment 6-2 City Council Resolution No. R16Ø9-51

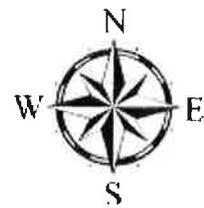
Attachment 6-3 Copy of Quitclaim Deed conveying Public Improvements to the City of Gallatin

Attachment 6-4 Stratford Park Phase 4, Section 1 Final Plat (Plat Book 28, Page 196-197)

STRATFORD PARK PHASE 4, SECTION 1 STREET ACCEPTANCE



**ZONED: MULTIPLE RESIDENTIAL AND OFFICE (MRO)
PC FILE #5-2191-16**



ATTACHMENT 6-1

RESOLUTION NO. R1609-51

**RESOLUTION ACCEPTING PUBLIC IMPROVEMENTS BY THE CITY OF
GALLATIN, TENNESSEE
STRATFORD PARK, PHASE 4, SECTION 1**

WHEREAS, THE CITY OF GALLATIN PLANNING COMMISSION has recommended acceptance by the City of Gallatin of the public improvements in the development hereinafter named Stratford Park, Phase 4, Section 1; and

WHEREAS, THE CITY OF GALLATIN ENGINEERING DIVISION hereby certifies that the public drainage infrastructure, rights-of-way, and public easements in the Stratford Park, Phase 4, Section 1 have been satisfactorily completed and have been installed in accordance with the approved plans and specifications and that there has been full compliance with the City of Gallatin Subdivision Regulations; and

WHEREAS, THE CITY OF GALLATIN PUBLIC UTILITIES DEPARTMENT hereby certifies that the public utility improvements in the development described hereafter have been satisfactorily completed and have been installed in accordance with the approved plans and specifications and that there has been full compliance with the City of Gallatin Subdivision Regulations and City of Gallatin Municipal Code.

NOW THEREFORE BE IT RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, pursuant to Chapter 3, Section 3-105, et seq. of the Subdivision Regulations of Gallatin, Tennessee, that the public drainage infrastructure, rights-of way, public easements, and public utility improvements, as described Stratford Park, Phase 4, Section 1, Plat Book 28, Page(s) 196-197, recorded on August 8, 2014 in the Register's Office for Sumner County, are hereby accepted by the City of Gallatin, Tennessee.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE, that this Resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING:

AYE:

NAY:

DATED:

ATTACHMENT 6-2

#5-2191-16

MAYOR PAIGE BROWN

ATTEST:

CONNIE KITTRELL
CITY RECORDER

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY

ATTACHMENT 6-2
#5-2191-16

THIS INSTRUMENT PREPARED BY:
BASS, BERRY & SIMS PLC (MAS)
150 3rd Avenue South, Suite 2800
Nashville, Tennessee 37201

QUITCLAIM DEED

Address New Owner(s):	Send Tax Bills To:	Map/Parcel Numbers:
City of Gallatin City Hall 132 West Main Street Gallatin, TN 37066	Same	Part of Map 114, parcel 60.00

FOR AND IN CONSIDERATION OF THE SUM OF TEN (\$10.00) DOLLARS, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, STRATFORD PARK, a Tennessee general partnership (the "Grantor"), has bargained and sold, and hereby transfers and conveys, to the CITY OF GALLATIN, and its successors and assigns, all of Grantor's right, title and interest in and to the property described on Exhibit A hereof.

[Signature page follows.]

ATTACHMENT 6-3

#5-2191-16

IN WITNESS WHEREOF, the undersigned Grantor has executed this instrument or has caused same to be executed as of the 19th day of July, 2016.

STRATFORD PARK,
a Tennessee general partnership

By: R. Horton
Name: Robert Horton
Title: President

STATE OF Tennessee)

COUNTY OF Sumner)

Personally appeared before me, the undersigned, a Notary Public having authority within the State and County aforesaid, Robert Horton, with whom I am personally acquainted, and who acknowledged that he executed the within instrument for the purposes therein contained, and who further acknowledged that he is the President of STRATFORD PARK, a Tennessee general partnership, and is authorized by the general partnership to execute this instrument on behalf of the general partnership.

WITNESS my hand, at office, this 19th day of July, 2016.

Gillie Ann Walker
Notary Public

My Commission Expires:

July 19, 2016

ATTACHMENT

6-3

***5-2191-16**

STATE OF Tennessee)

COUNTY OF Sumner)

The actual consideration for this transfer is \$0.

R. R. HAT
Affiant (Representative of Grantee)

Subscribed and sworn to before me this 19th day of July, 2016.

Holli Ann Walker
Notary Public

My Commission Expires:

July 19, 2016



ATTACHMENT 6-3

#5-2191-16

EXHIBIT A

[Legal Description]

1. All Right of Way shown as “East Sagewood Drive” and “Stratford Park Boulevard” and utility and drainage easements on Plat of Stratford Park, Phase 4, Section 1, of record in Plat Book 28, Page 196, Register’s Office for Sumner County, Tennessee.

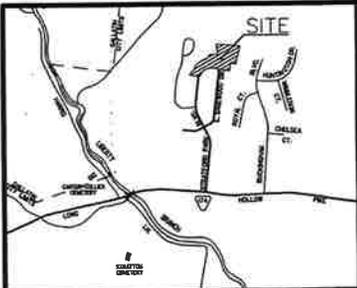
18591930.1

ATTACHMENT 6-3

#5-2191-16

#5-219-10

ATTACHMENT 6-4



VICINITY MAP (N.T.S.)

DEVELOPMENT SUMMARY

- STRATFORD PARK PHASE FOUR SECTION ONE
- OWNER: STRATFORD PARK, A TN GENERAL PARTNERSHIP
147 MAPLE ROW BLVD., SUITE 100
HENDERSONVILLE, TN 37075
CONTACT: ROB HORTON
PHONE: (615) 826-5785
- NINTH CIVIL DISTRICT GALLATIN, TENNESSEE
- MAP 114, P/O PARCEL 60.00
- ZONED: MRO
- SETBACKS APPROVED AS PART OF THE MASTER PLAN FOR STRATFORD PARK
- PLAT PREPARED ON MAY 27, 2014
- SCALE: 1" = 50'
- PROPOSED USE: RESIDENTIAL ONE-FAMILY DETACHED DWELLING
- SURVEYOR:
BRAD T. THOMAS, RLS
BARGE, WAGGONER, SUMNER & CANNON, INC.
211 COMMERCE STREET, SUITE 600
NASHVILLE, TENNESSEE 37201
PH. (615) 252-4397
FAX (615) 256-9681

NOTES:

1. THE PURPOSE OF THIS PLAT IS TO CREATE 14 ONE-FAMILY DETACHED DWELLING LOTS, COMMON OPEN SPACE, AND DEDICATION OF PUBLIC RIGHT-OF-WAY.
2. THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER THE STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
3. BEARINGS SHOWN ARE BASED ON THE TENNESSEE STATE PLANE GRID SYSTEM (NAD 83).
4. NO PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NO. 470185, PANELS 295G & 313G, REVISED APRIL 17, 2012. (ZONE X).
5. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
6. THIS PROPERTY'S EXISTING USE IS VACANT AND IS ZONED MRO.
7. UNLESS OTHERWISE SHOWN ON THE RECORD PLAT, A TEN (10) FOOT WIDE DRAINAGE EASEMENT SHALL EXIST ALONG ALL COMMON LOT LINES. THE COMMON LOT LINE BEING THE CENTERLINE OF THE EASEMENT. IN THOSE CASES WHERE THE REAR LOT LINE IS NOT A COMMON LOT LINE, THE PRIVATE DRAINAGE EASEMENT SHALL BE TEN FEET (10) IN WIDTH ALONG SUCH REAR LOT LINE. STRATFORD PARK, OR ITS ASSIGNS, RESERVES THE RIGHT TO ENTER UPON ALL LOTS TO ESTABLISH OR RE-ESTABLISH DRAINAGE SWALES WITHIN SAID EASEMENTS FOR THE PURPOSE OF CONTROLLING AND DIRECTING STORM WATER TO COLLECTION FACILITIES.
8. COMMON AREAS MUST BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I (AM (WE ARE)) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN RECORD BOOK 3842, PAGES 12-56, R.O.S.C. AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT. ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC ROADS, ALLEYS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS.

7-29-14 DATE
STRATFORD PARK, A TENNESSEE GENERAL PARTNERSHIP
Rob Horton
President
TITLE (IF ACTING FOR PARTNERSHIP OR CORPORATION)

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT THE WATER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED STRATFORD PARK PHASE 4, SECTION 1, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

7-14-2014 DATE
Clark B. Barga
SUPERINTENDENT OF PUBLIC UTILITIES
CITY OF GALLATIN

ENTERED
John C. Neble
Property Administrator
AUG 8 2014
Map_Cp_City_Par

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED STRATFORD PARK PHASE 4, SECTION 1, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT SURETY OR CASH HAS BEEN FILED WHICH WILL GUARANTEE SAID INSTALLATION.

7-14-2014 DATE
Clark B. Barga
SUPERINTENDENT OF PUBLIC UTILITIES
CITY OF GALLATIN

CERTIFICATE OF APPROVAL OR SURETY FOR COMPLETION OF ROADS

I HEREBY CERTIFY: (1) THAT ALL DESIGNATED ROADS ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, OR (2) THAT A PERFORMANCE SURETY HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

08/04/14 DATE
CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE GALLATIN MUNICIPAL-REGIONAL SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY RECORDER.

8-5-14 DATE
8-5-14 DATE
Secretary, Planning Commission
Chairman's Initials, Planning Commission

OWNER/DEVELOPER

STRATFORD PARK, A TN GENERAL PARTNERSHIP
147 MAPLE ROW BLVD., SUITE 100
HENDERSONVILLE, TN 37075
CONTACT: ROB HORTON
PHONE: (615) 826-5785

CERTIFICATE OF COMMON AREAS DEDICATION

STRATFORD PARK, A TENNESSEE GENERAL PARTNERSHIP IN RECORDING THIS PLAT HAS DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREON AS COMMON AREAS AND RELATED ACTIVITIES. THE ABOVE DESCRIBED AREAS ARE NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN STRATFORD PARK AS MORE FULLY PROVIDED IN DECLARATION OF COVENANTS AND RESTRICTIONS FOR STRATFORD PARK, DATED MARCH 30, 2007 OF RECORD IN RECORD BOOK 3724, PAGES 74-91, R.O.S.C.

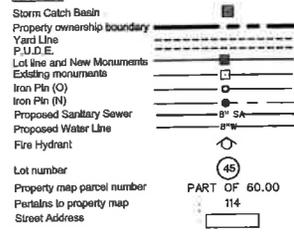
7-29-14 DATE
STRATFORD PARK, A TENNESSEE GENERAL PARTNERSHIP

CERTIFICATE OF ACCURACY

I (WE) HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS IN THESE REGULATIONS.

BARGE WAGGONER SUMNER & CANNON, INC.
July 7, 2014 DATE
Brad Thomas
REGISTERED LAND SURVEYOR NUMBER 2431

LEGEND:



Prima L. Multistate Register
Sumner County Tennessee
Rec #: 837965 Instrument #: 10822942
Ac: 30.00 Booked
State: 0.00 9/8/2014 at 3:16 PM
Client: 0.00 in 8120 Book
Owner: 2.00 23
Total: 32.00 Pgs 196-197

LOT AREA TABLE

LOT	SQ. FT.	ACRES
37	11,516	0.26
38	5,551	0.12
39	9,072	0.21
40	18,149	0.42
41	17,413	0.40
42	10,455	0.24
43	13,847	0.31
44	17,974	0.41
45	9,058	0.21
46	17,773	0.40
47	17,723	0.40
48	7,800	0.18
49	15,594	0.36

CURVE	DELTA	RADIUS	TANGENT	ARC	CHORD
1	101° 00' 00"	17.00	17.00	18.80	N 85° 27' 49" W 16.97
2	101° 00' 00"	20.00	20.00	22.20	N 85° 27' 49" E 21.07
3	101° 00' 00"	20.00	18.71	21.18	N 01° 14' 05" E 20.86
4	101° 00' 00"	17.00	17.00	18.80	N 80° 31' 11" E 16.97
5	88° 27' 49"	31.00	23.90	144.00	N 18° 49' 57" E 142.74
6	88° 27' 49"	17.00	17.00	17.20	S 71° 31' 25" W 16.97
7	88° 27' 49"	17.00	17.00	17.20	S 71° 31' 25" W 16.97
8	88° 27' 49"	20.00	18.71	21.18	S 18° 10' 04" W 21.07



STRATFORD PARK PHASE 4, SECTION 1 FINAL PLAT

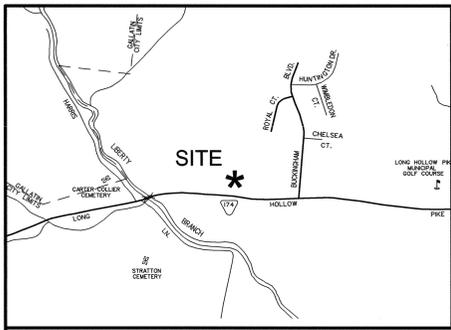
NINTH CIVIL DISTRICT
SUMNER COUNTY
GALLATIN, TENNESSEE
MAP 114, P/O PARCEL 60.00
EAST SAGEWOOD DRIVE &
STRATFORD PARK BLVD.

ZONED MRO

DATE: JULY 7, 2014 SHEET 2 OF 2

LOTS AREA = 163,926 SQ. FT. OR 3.76 ACRES +/-
LANDSCAPE BUFFER AREA = 14,553 SQ. FT. OR 0.33 ACRE +/-
LANDSCAPE BUFFER AND
OPEN SPACE/P.U.D.E. AREA = 21,894 SQ. FT. OR 0.50 ACRE +/-
OPEN SPACE AREA = 3,119 SQ. FT. OR 0.07 ACRE +/-
R.O.W. DEDICATION AREA = 40,512 SQ. FT. OR 0.93 ACRE +/-
TOTAL AREA = 244,004 SQ. FT. OR 5.60 ACRES +/-

BWSC BARGE WAGGONER SUMNER & CANNON, INC.
28 Commerce Street, Suite 600 Nashville, Tennessee 37201
PHONE (615) 254-4500 FAX (615) 255-6572
PROJECT NO. 3249710 FILE: 3249710_plmPHM_SEC1 DWG BY: RWF

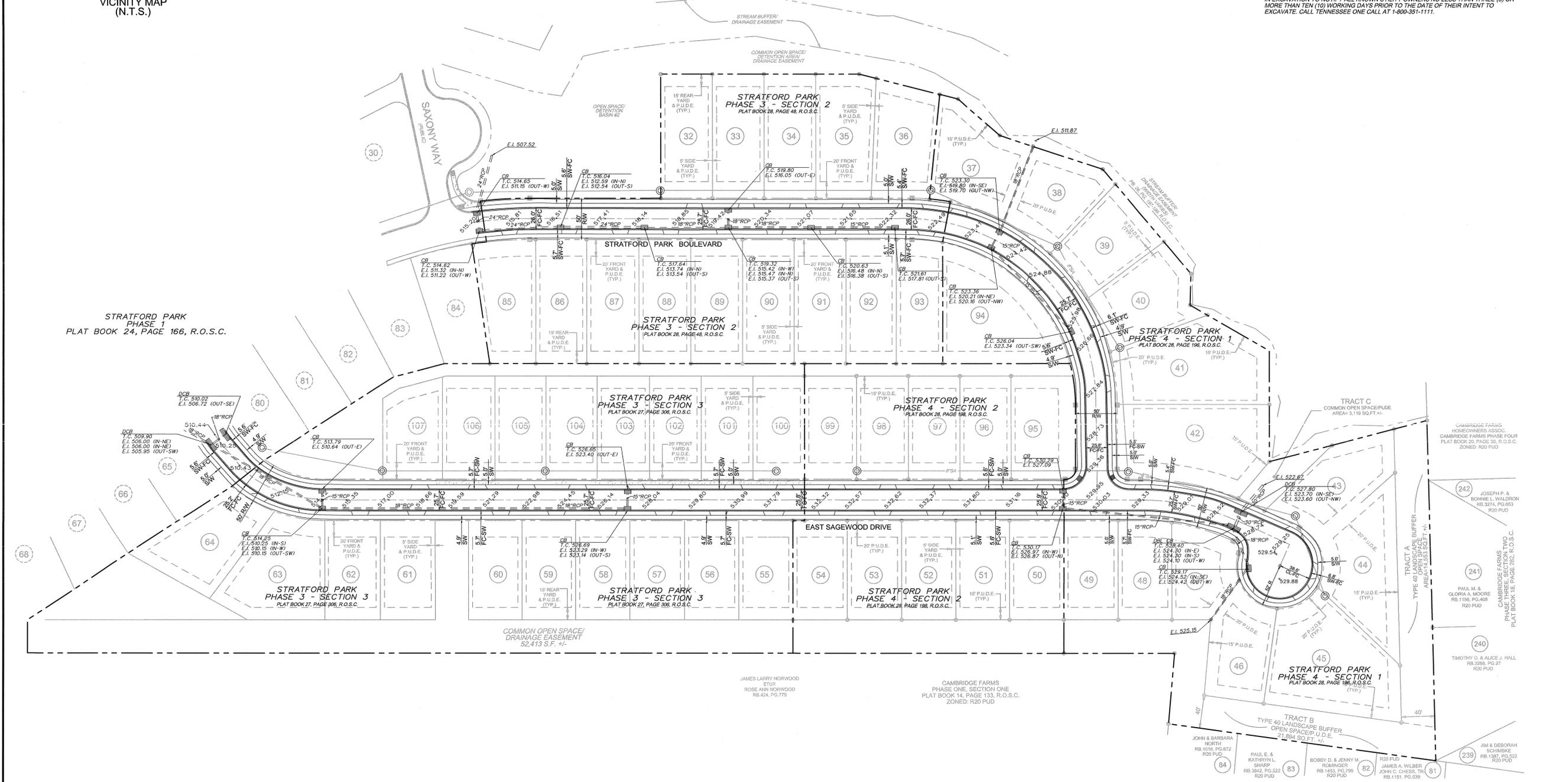


VICINITY MAP
(N.T.S.)

NOTES

1. THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
2. NORTH IS BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983 (NAD-1983). ELEVATIONS ARE BASE ON NAVD-1988, USING GEOID 2003 FOR ORTHOMETRIC HEIGHT DETERMINATION.
3. PROPERTY IS ZONED MRO.
4. THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NO. 47165C, PANEL NO. 0295 G.
5. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM FIELD LOCATED VISIBLE APPURTENANCES, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND OTHER DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION CONSULTED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, IT IS A REQUIREMENT OF THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, FOR ANYONE WHO ENGAGES IN EXCAVATION TO NOTIFY ALL KNOWN UTILITY OWNERS NO LESS THAN THREE (3) OR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE. CALL TENNESSEE ONE CALL AT 1-800-351-1111.

BWSC
BARGE WAGGONER SUMNER & CANNON, INC.
21 Commerce Street, Suite 600, Nashville, Tennessee 37203
Phone: (615) 254-6800 Fax: (615) 256-6172



STRATFORD PARK
AS-BUILT SURVEY
STRATFORD PARK BLVD. AND EAST SAGEWOOD DRIVE
NINTH CIVIL DISTRICT
GALLATIN, SUMNER COUNTY, TENNESSEE

SURVEYOR'S CERTIFICATE

I (WE) HEREBY CERTIFY THAT THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1) WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.

BARGE, WAGGONER, SUMNER AND CANNON, INC.
By Brad T. Thomas REGISTRATION NO. 2431
DATE September 15, 2016



DR.	CHK.	DATE	DESCRIPTION
JAN	JAN	02-25-16	ORIGINAL ISSUE
JAN	JAN	09-15-16	REVISED ONE STRUCTURES ELEVATIONS

FILE NO. 3249710

ITEM 7

GMRPC Resolution No. 2016-108

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL PLAT FOR JENNINGS PARK SUBDIVISION, A MAJOR SUBDIVISION, TO CREATE TEN (10) ONE-FAMILY DETACHED DWELLING LOTS AND A PRIVATE STREET/RIGHT-OF-WAY ON TWO (2) PARCELS CONSISTING OF 5.40 (+/-) ACRES, LOCATED SOUTH OF HARTSVILLE PIKE, EAST OF NORTH DRIVE AND WEST OF PERRY STREET. (PC 1-2439-16C)

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Final Plat submitted by the applicant, Living Well Properties, LLC., at its regular meeting on September 26, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report, and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant to TCA § 13-3-402, 13-3-404, 13-4-302, and 13-4-304 and the City of Gallatin Subdivision Regulations:

1. The Final Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The Final Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City as described in Chapter 1, Section 1-104, Items 1-11 and Chapter 2, Section 2-105.
3. The Final Plat is consistent with the purpose and intent of the Medium Density Residential R15 (R15) Zoning District.
4. The Final Plat is consistent with T.C.A. Sections 13-3-402, 13-3-404, 13-4-302 and 13-4-304.
5. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
6. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

ITEM 7

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Plat for Jennings Park Subdivision consisting of a one (1) sheet plan, prepared by Crawford & Cummings, PC of Nashville, Tennessee, with CCPC Job Number 15-084, dated September 14, 2016 with the following conditions:

1. In the Certificate of Sewer and Water Systems signature block, correct the utility name in the signature line from White House Utility District to Gallatin Public Utilities Department.
2. Add the following note to the plat “Lot 10 shall not have driveway access to Hartsville Pike.”
3. Add a note to the final plat describing the ownership and maintenance responsibility of the drainage system.
4. Submit a copy of the stormwater maintenance agreement to the Engineering Division for review and approval prior to recording the stormwater maintenance agreement.
5. Provide a copy of the recorded stormwater maintenance agreement prior to the recording of the final plat.
6. Reference the stormwater maintenance agreement and the official records book and page number and where recorded on the final plat prior to recording of final plat.
7. The roadway right-of-way shall be established as a common area tract to be owned and maintained by the Homeowners Association. Add a plat note indicating the tract size, ownership and maintenance responsibilities. (A separate private agreement between the H.O.A. and the owner of parcel 015.00 could assign maintenance requirements for the private drive.)
8. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to the recording of the final plat.
9. Submit a utility performance surety, in the amount determined by the Gallatin Public Utilities Department, to the Planning Department prior to the recording of final plat.
10. Submit three (3) corrected and folded copies of the final plat to the Planning Department for review and approval prior to the recording of the final plat.
11. Submit two (2) mylars and one (1) vellum copies of the final plat, including all original signatures, along with the recording fee to the Planning Department for recording.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

ITEM 7

AYE:

NAY:

DATED: 09/26/2016

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 7

PLANNING DEPARTMENT STAFF REPORT

Final Plat for Jennings Park Subdivision (PC 1-2439-16C)

Located south of Hartsville Pike, east of North Drive and west of Perry Street

Date: September 21, 2016

REQUEST: OWNER AND APPLICANT REQUEST APPROVAL OF A FINAL PLAT FOR JENNINGS PARK SUBDIVISION, A MAJOR SUBDIVISION, TO CREATE TEN (10) ONE-FAMILY DETACHED DWELLING LOTS AND A PRIVATE STREET/RIGHT-OF-WAY ON TWO (2) PARCELS CONSISTING OF 5.40 (+/-) ACRES, LOCATED SOUTH OF HARTSVILLE PIKE, EAST OF NORTH DRIVE AND WEST OF PERRY STREET.

OWNER: LIVING WELL PROPERTIES, LLC.

APPLICANT: LIVING WELL PROPERTIES, LLC.

STAFF RECOMMENDATION: APPROVAL OF RESOLUTION 2016-108

STAFF CONTACT: ROBERT J. KALISZ

PLANNING COMMISSION DATE: SEPTEMBER 26, 2016

PROPERTY OVERVIEW: The owner and applicant is requesting approval of a Final Plat for Jennings Park Subdivision, a major subdivision, to create ten (10) One-Family Detached Dwelling lots and a private street/right-of-way on two (2) parcels consisting of 5.40 (+/-) acres (Tax Map 126D, Group D, Parcel 016.00 and 017.00), located south of Hartsville Pike, east of North Drive and west of Perry Street. The property is currently zoned Medium Density Residential R15 (R15). One-Family Detached Dwellings is a permitted use in the R15 zoning district. (Attachment 7-1 and 7-2)

CASE BACKGROUND:

Previous History

On August 10, 2015, the Planning Commission discussed the Preliminary Plat for Jennings Park Subdivision (PC 1-958-15B) to create six (6) lots and dedicate a right-of-way.

On August 24, 2015, the Planning Commission approved the Preliminary Plat for Jennings Park Subdivision (PC 1-958-15B), with conditions, to create six (6) lots and dedicate a right-of-way. After approval of the preliminary plat, the applicant submitted construction plans and drainage calculations to the Engineering Division for review and approval.

On October 26, 2015 the Planning Commission approved the Final Plat for Jennings Park Subdivision (PC 1-1064-15C), to create six (6) lots and dedicate a right-of-way (Attachment 7-3).

On February 8, 2016 Work Session, the Planning Commission discussed the submittal of three (3) plats by the owner and applicant to subdivide the original property (parcel 016.00) and additional property (parcel 017.00) into seven (7) lots with four (4) separate shared

access easements onto Hartsville Pike. Since approval of the final plat in October of 2015, the owners purchased an additional parcel (parcel 017.00) to include in the subdivision and proposed a series of private joint access easements to Hartsville Pike. The Planning Commission directed the owner and applicant work with staff to incorporate both properties in a single plat and reduce the number of access points to Hartsville Pike.

On February 22, 2016, the Planning Commission approved the Preliminary Plat (PC 1-1562-16B) and the Final Plat (PC 1-1505-16C) (Attachment 7-4) for Jennings Park to create seven (7) One-Family Detached Dwellings and a U-shape private/right-of-way on 5.40 (+/-) acres.

On September 12, 2016 Work Session, the Planning Commission discussed another submittal for Jennings Park Subdivision to create ten (10) One-Family Detached Dwelling lots and private street/right-of-way with a cul-de-sac on 5.40 (+/-) acres. Staff stated the previously submitted final plats were approved by Planning Commission but never recorded at the Sumner County Register of Deeds office.

The owner requested that the three (3) current access points (curb cuts) to the property be retained. The first access is the existing private drive along the eastern boundary; the second access is located at the proposed private street/right-of-way, and the third access is located at the northwest corner of proposed Lot 10.

The Engineering Division made a recommendation that the existing private drive be removed and a portion of Lot 2 be conveyed to the owner of Tax Map 126D, Group D, Parcel 015.00 parcel allowing access to Independence Way, and that proposed Lot 1 would also access to Independence Way. Engineering Division also made the recommendation that the third access be removed since proposed Lot 10 would have access to Independence Way.

The owner stated that he would like to keep all three (3) access points even if all three (3) accesses would not be utilized. The owner also stated that he is currently communicating with the property owner of parcel 015.00 to provide an access to Independence Way.

DISCUSSION:

Proposed Development

The owner and applicant for Jennings Park Subdivision propose to subdivide two (2) parcels consisting of 5.40 (+/-) acres into ten (10) lots. Each lot would be a minimum of 15,000 square feet, and provide an 18-foot wide private street within a 40-foot wide 435 feet long private right-of-way. The proposed subdivision is consistent with the Neighborhood Established Character Area and the R15 zoning. The existing house will be included within Lot 1 of the subdivision and an existing barn located in the rear of the property, will be removed. The lots are designed to accommodate and align with the natural topography of the land to allow for the conveyance of stormwater through the property and off-site. This will reduce the impact of stormwater runoff from each lot and the private street within this subdivision. The lots range from 15,059 square feet to 24,565 square feet each and exceed the required minimum lot size of 15,000 square feet.

Natural Features

The majority of the property is currently unimproved and vacant. The natural topography of the site slopes from the highest elevation (596') located along Hartsville Pike and gradually slopes to the southeast corner of the property. No portion of Jennings Park Subdivision is located within a special flood hazard area according to FIRM Panel No. 47165C0318G.

Adjacent or Area Uses

One-Family Detached Dwellings surround the proposed development. Two (2) platted subdivisions, zoned Medium Density Residential R15 (R15), are located south of the property. Three (3) adjacent parcels to the east and three (3) adjacent parcels to the west are zoned R15 and contain single-family homes.

Architecture

The architecture required for Jennings Park Subdivision shall follow the Residential Infill Development Design Standards as set forth in Section 13.08.010.E of the Gallatin Zoning Ordinance. The owner and applicant submitted architectural renderings of typical homes proposed for Jennings Park Subdivision (Attachment 7-5). These are comparable to the surrounding homes in the established neighborhood. The Planning Commission may establish architectural character and compatibility standards to ensure the protection of established housing and residential neighborhoods in the City of Gallatin.

Rights-of-Way and Streets

All ten (10) lots will access a proposed private street consisting of 435 linear feet by a 40-foot wide private right-of-way with a pavement width of 18 feet. Drainage conveyance will be required with the private street. The existing structure located on Tax Map 126D, Group D, Parcel 015.00 will access the existing private drive and P.U.D.E. located within the rear/side yards of lots 1 and 2. The existing structure on proposed Lot 1 currently uses the existing private drive and P.U.D.E. to access Hartsville Pike and the owners intend to continue use of the driveway.

Section 4-103.10, Pavement Width Standards of the Gallatin Subdivision Regulations, allows an 18-foot pavement width for a short street, cul-de-sac, or court with a projected Average Daily Traffic (ADT) of 200 or less. The projected ADT for this street is 95 trips. The private street would function as a "lane" as described in Section 4-103.10.1.a. The Fire Department agrees with the 18-foot pavement width for the private street with one (1) access point to Hartsville Pike. The cul-de-sac radius is 48 feet which can accommodate Fire and other service vehicles. No on-street parking will be allowed on the proposed private street.

A five (5) foot wide sidewalk and five (5) foot wide grass strip will not be constructed on either side of the proposed private street. Section 4-102.903 requires sidewalks except for a minor subdivision and where final plats are not part of an additional section of the subdivision without sidewalks. To not provide sidewalks the owner and applicant must request a variance from Section 4-102.903.1 and Section 1-112.

The roadway right-of-way shall be established as a common area tract to be owned and maintained by the Homeowners Association. A note has been added to the plat describing the ownership and maintenance responsibilities of the private street.

Public Utility and Drainage Easements (P.U.D.E.'s)

All lots will include a minimum of 10-foot wide Public Utility Drainage Easements (P.U.D.E.) located on all four (4) sides with the exception of a 25-foot wide or more P.U.D.E. located along the rear of Lots 3 thru 7 and a 40-foot wide P.U.D.E. along the rear of lots 1 and 2. Lots 3 and 4 have an irregular rear P.U.D.E. width of 50 feet starting at the northeast corner of Lot 3 and 115 feet gradually angling to the southern boundary of Lot 4. This P.U.D.E. will accommodate the detention pond. The P.U.D.E. located between Lots 5 and 6 allows for the installation of a proposed eight (8) inch sanitary sewer line. No vertical construction is allowed in any easements. Depending on how the drainage system is designed, additional easement widths may be required.

Open Space and Bufferyard

The final plat shows no open space tracts. No bufferyards or interior landscaping is required for any portion of Jennings Park Subdivision since all adjacent property is zoned R15. There are existing mature trees scattered throughout the property located along the southern boundary.

Stormwater

The owner and applicant submitted revised construction plans and drainage calculations for the final plat (PC 1-2439-16C) to Engineering Division for review and approval. A note shall be added to the final plat describing the ownership and maintenance responsibility of the drainage system.

The final plat indicates a detention pond located with an easement at the rear of lots 3 and 4. The owner and applicant stated and noted that the stormwater quality requirements will be met on each individual site (lot). Each individual site (lot) must be approved by the City of Gallatin Engineering Division prior to obtaining a permit.

Planning Department Comments

The Planning Department reviewed and commented on the final plat. The owner and applicant satisfactorily addressed most of the Planning Department comments; however, the owner and applicant shall comply with the following:

1. In the Certificate of Sewer and Water Systems signature block, correct the utility name in the signature line from White House Utility District to Gallatin Public Utilities Department.

Engineering Division Comments

The Engineering Division reviewed and commented on the final plat. The owner and applicant satisfactorily addressed most of the Engineering Division comments; however, the owner and applicant shall comply with the following:

1. Add the following note to the plat "Lot 10 shall not have driveway access to Hartsville Pike."
2. A note shall be added to the final plat describing the ownership and maintenance responsibility of the drainage system.

3. Submit a copy of the stormwater maintenance agreement to the Engineering Division for review and approval prior to recording of stormwater maintenance agreement.
4. Provide a copy of the recorded stormwater maintenance agreement prior to the recording of the final plat.
5. Reference the stormwater maintenance agreement and the official records book and page and where recorded on the final plat prior to recording of final plat.

Gallatin Public Utilities Department Comments

This development is serviced by the Gallatin Public Utilities Department. The applicant shall coordinate all development with Gallatin Public Utilities Department to ensure all future utility infrastructures are installed to the satisfaction of the Gallatin Public Utilities Department. The Gallatin Public Utilities Department reviewed the Final Plat and shall comply with the following:

1. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to the recording of the final plat.

Other Departmental Comments

Other City Departments reviewed and commented on the final plat. The applicant satisfactorily addressed the Other Departmental Comments; however, the owner and applicant shall comply with the following:

1. All roadways shall be able to support fire equipment prior to issuance of any building permits.
2. All applicable fire codes shall be followed.

Findings

1. The Final Plat is in agreement and consistent with the intent and recommendations of the *Gallatin on the Move 2020 General Development and Transportation Plan* for the area, and in particular, the Suburban Neighborhood Established Character Area.
2. The proposed Final Plat is consistent with the Policy and Purpose of the Subdivision Regulations of the City as described in Chapter 1, Section 1-104, Items 1-11 and Chapter 2, Section 2-105.
3. The proposed Final Plat is consistent with the purpose and intent of the Medium Density Residential R15 (R15) Zoning District.
4. The Final Plat is consistent with T.C.A. Sections 13-3-402, 13-3-404, 13-4-302 and 13-4-304.
5. The legal purposes for which zoning and subdivision regulations exists have not been contravened.
6. The subdivision will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve GMRPC Resolution 2016-108, a Final Plat for Jennings Park Subdivision consisting of a one (1) sheet plan, prepared by Crawford & Cummings, PC of Nashville, Tennessee, with CCPC Job Number 15-084, dated September 14, 2016 with the following conditions:

1. In the Certificate of Sewer and Water Systems signature block, correct the utility name in the signature line from White House Utility District to Gallatin Public Utilities Department.
2. Add the following note to the plat "Lot 10 shall not have driveway access to Hartsville Pike."
3. Add a note to the final plat describing the ownership and maintenance responsibility of the drainage system.
4. Submit a copy of the stormwater maintenance agreement to the Engineering Division for review and approval prior to recording of stormwater maintenance agreement.
5. Provide a copy of the recorded stormwater maintenance agreement prior to the recording of the final plat.
6. Reference the stormwater maintenance agreement and the official records book and page and where recorded on the final plat prior to recording of final plat.
7. The roadway right-of-way shall be established as a common area tract to be owned and maintained by the Homeowners Association. Add a plat note indicating the tract size, ownership and maintenance responsibilities. (A separate private agreement between the H.O.A. and the owner of parcel 015.00 could assign maintenance requirements for the private drive.)
8. Provide detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to the recording of the final plat.
9. Submit a utility performance surety, in the amount determined by the Gallatin Public Utilities Department, to the Planning Department prior to the recording of final plat.
10. Submit three (3) corrected and folded copies of the final plat to the Planning Department for review and approval prior to the recording of the final plat.
11. Submit two (2) mylars and one (1) vellum copies of the final plat, including all original signatures, along with the recording fee to the Planning Department for recording.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City.)

ATTACHMENTS:

Attachment 7-1 Location Map

Attachment 7-2 Final Plat, Jennings Park Subdivision (PC 1-2439-16C)

Attachment 7-3 Final Plat, Jennings Park Subdivision (PC 1-1064-15C)

Attachment 7-4 Final Plat, Jennings Park Subdivision (PC 1-1505-16C)

Attachment 7-5 Architectural Renderings

JENNINGS PARK SUBDIVISION

LOCATION MAP



683 AND 704 HARTSVILLE PIKE
LOCATED BETWEEN NORTH DRIVE AND PERRY
STREET
TAX MAP AND PARCEL #126D/D/O16.00
AND O17.00
ZONED R15
PC #1-2439-16C

ATTACHMENT 7-1

NOTES:

1. The purpose of this plat is to create 6 residential lots.
2. This survey was done without the benefit of a title commitment.
3. Basis of bearings: Tennessee State Plane Coordinate System, Zone 4100, NAD 83 (1983), derived using the TROP CROSS Network on 7/24/15.
4. Subject property does not lie in a DHR/DEMA Special or 500-year Flood Hazard Area per Community Panel No. 478500100 dated April 17, 2012.
5. This is a Category I survey and the rate of precision of the unadjusted survey is at least 1:10,000 as shown herein.
6. Lot 1 will have access only to Independence way, not Hartsville Pike.

CURVE	BELLA ANGLE	ARC RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	89°25'00"	25.00	39.02	S37°06'32"E	30.18	24.79
C2	207°23'38"	60.00	211.19	S49°22'33"E	118.58	248.14
C3	89°25'00"	25.00	39.02	S37°06'32"E	30.18	24.79
C4	274°24'50"	60.00	36.00	S7°21'41"W	59.41	18.58
C5	211°14'30"	60.00	14.60	S19°42'13"W	60.89	42.89
C6	89°25'00"	25.00	48.50	S27°41'00"E	44.50	33.98
C7	89°25'00"	25.00	48.50	S27°41'00"E	44.50	33.98
C8	283°28'15"	60.00	35.21	S41°23'50"E	27.59	14.39
C9	241°24'30"	300.00	19.89	S69°01'32"E	178.89	8.90
C10	211°14'30"	300.00	18.14	N15°21'48"E	66.73	43.81

LINE	BEARING	DISTANCE
L1	S27°52'00"W	20.73
L2	N62°30'23"W	12.40
L3	N41°21'25"W	48.57

UTILITY NOTE:

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPEARANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE OR MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 1-815-355-1987 OR 1-800-351-1111.

WARNINGS

THIS SURVEY WAS PREPARED FOR THE BENEFIT OF THE PARTY OF PARTIES NAMED HEREON AND IS INTENDED FOR THEIR SOLE USE. OTHER PARTIES ARE ADVISED NOT TO RELY UPON THIS USE OF THIS DRAWING BY PARTIES OTHER THAN THOSE LISTED HEREON IS UNAUTHORIZED AND CONSTITUTES A VIOLATION OF FEDERAL COPYRIGHT LAWS.

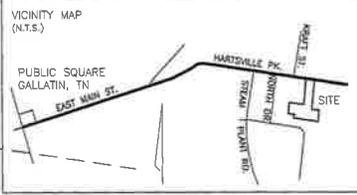
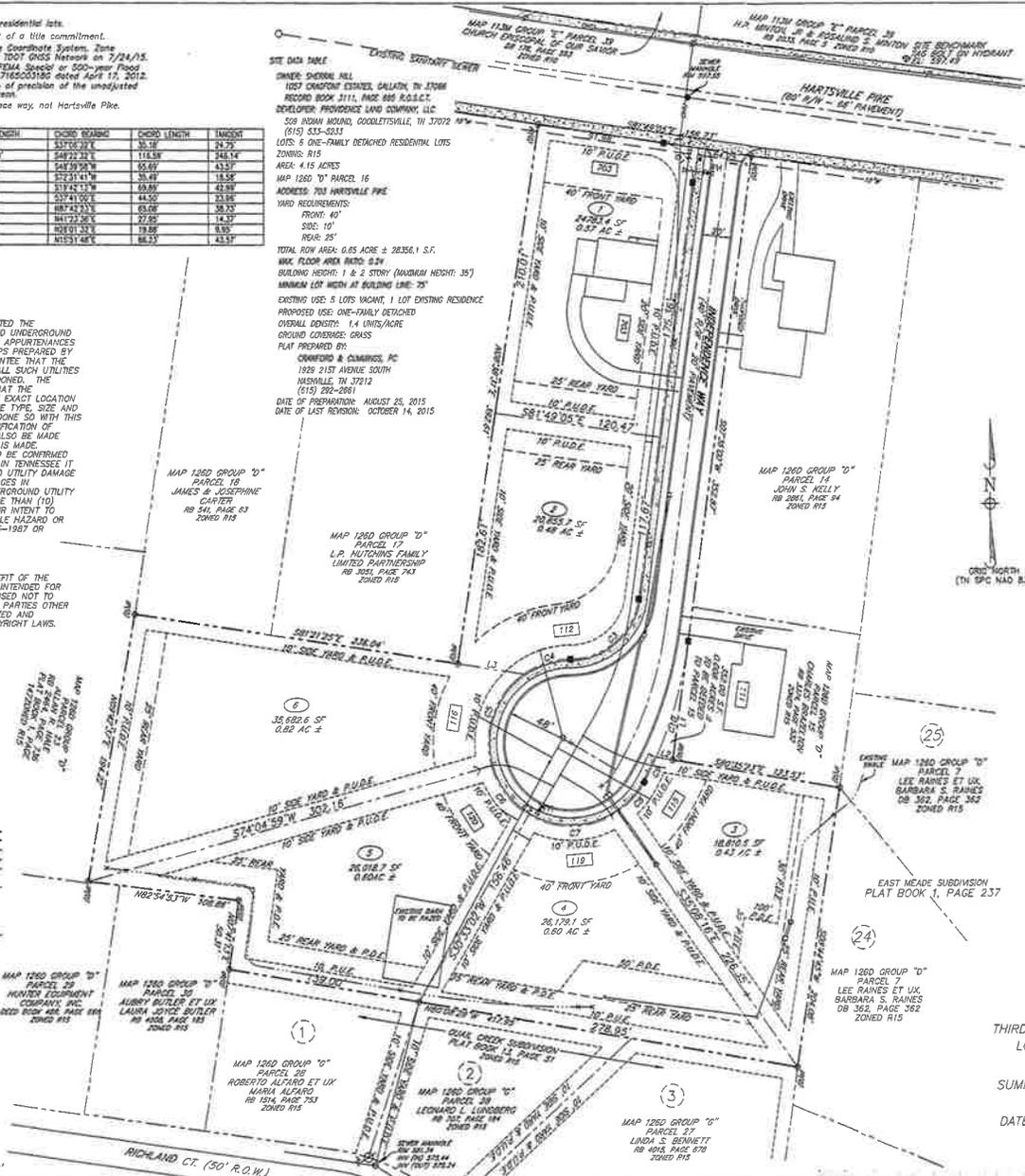


LEGEND

- RIGHT-OF-WAY PROPERTY LINE: ---
- WATER LINE: ---
- SEWER/STORMWATER: ---
- OVERHEAD UTILITIES: ---
- FIRE HYDRANT: FH
- WATER VALVE: V
- WATER METER: M
- IRON PIPE (OLD): OP
- IRON ROD (OLD): OR
- CONCRETE FOUNDATION: □
- DRAINAGE STRUCTURES: □

ROADWAY SECTION

- R.O.W. WIDTH: 40'
- PAVEMENT WIDTH: 20'
- 1' CURB
- 5' GRASS STRIP
- 5' SIDEWALK
- CUL-DE-SAC R.O.W. RADIUS: 57'
- CUL-DE-SAC PAVEMENT RADIUS: 48'



CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in book number 3111, page 685, County Register's Office, and that I (we) hereby accept this plan of subdivision with my (our) consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.
 Date: _____ Owner: _____

CERTIFICATE OF ACCURACY
 I hereby certify that this plan shows and described herein is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown herein, in the specifications in these regulations. That the survey shown herein meets the requirements of a "Category I" survey and the rate of precision of the unadjusted survey is at least 1:7500 as set forth in the Standards of Practice for Land Surveyors in Tennessee.
 Date: 10/14/15 By: J. Alan Cummings, TN License 23851

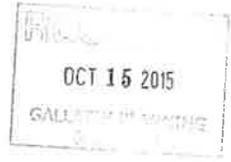
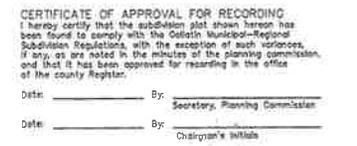
CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I hereby certify that the sewer systems outlined or indicated on the first subdivision plat entitled, JENNINGS PARK, have been installed in accordance with current local and state government requirements or a sufficient surety or cash has been filed which will guarantee said installation.
 Date: _____ By: _____

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I hereby certify that the water systems outlined or indicated on the first subdivision plat entitled, JENNINGS PARK, have been installed in accordance with current local and state government requirements or a sufficient surety or cash has been filed which will guarantee said installation.
 Date: _____ By: _____

CERTIFICATE OF APPROVAL OR BONDING OF ROADS
 I hereby certify that all designated roads on this first subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or that a performance surety has been posted with the Planning Commission to assure completion of all required improvements in case of default.
 Date: _____ By: _____ City Engineer

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown herein has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the planning commission, and that it has been approved for recording in the office of the County Register.
 Date: _____ By: _____ Secretary, Planning Commission
 Date: _____ By: _____ Chairman's Initials

FINAL PLAT
JENNINGS PARK
 CITY OF GALLATIN
 THIRD CIVIL DISTRICT - SUMNER COUNTY, TENNESSEE
 LOCATED ON HARTSVILLE PIKE (SR25) BETWEEN
 NORTH DRIVE AND PERRY STREET.
 SUMNER COUNTY MAP 126D GROUP "D" PARCEL 16
 CONTAINING 4.15 ACRES ±
 DATE: 10-14-2015 CCPC JOB NO. 15-084



RESUBMITTAL

ATTACHMENT 7-3

1-1064-15C

ATTACHMENT 7-4

RESOLUTION

DATE: 2-15-2016
 CIPC JOB NO. 15-084
 1-1505-16c

JENNINGS PARK
 FINAL PLAN
 CITY OF GALLATIEN
 THIRD CIVIL DISTRICT - SUMNER COUNTY, TENNESSEE
 LOCATED ON HARTSHALL PIKE (SR25) BETWEEN
 NORTH AND PERRY STREETS.
 SUMNER COUNTY MAP 1260 GROUP "D", PARCEL 16
 CONTAINING 5.40 ACRES ±

City Engineer
 City Engineer
 Secretary, Planning Commission
 Chairman's Initials

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision shown on this final plat has been approved by the City Engineer and the Planning Commission of the City of Gallatin, Tennessee, and that the plat has been recorded in the County Register.

CERTIFICATE OF APPROVAL OF BONDING OF ROADS
 I hereby certify that the water systems and sewer systems shown on this final plat have been bonded in accordance with the provisions of the Tennessee Code Annotated, Title 48, Chapter 1, Part 1, and that the City Engineer and the Planning Commission of the City of Gallatin, Tennessee, have approved the bonding of the roads shown on this final plat.

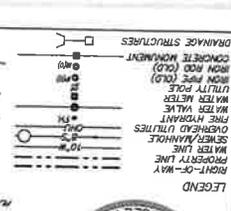
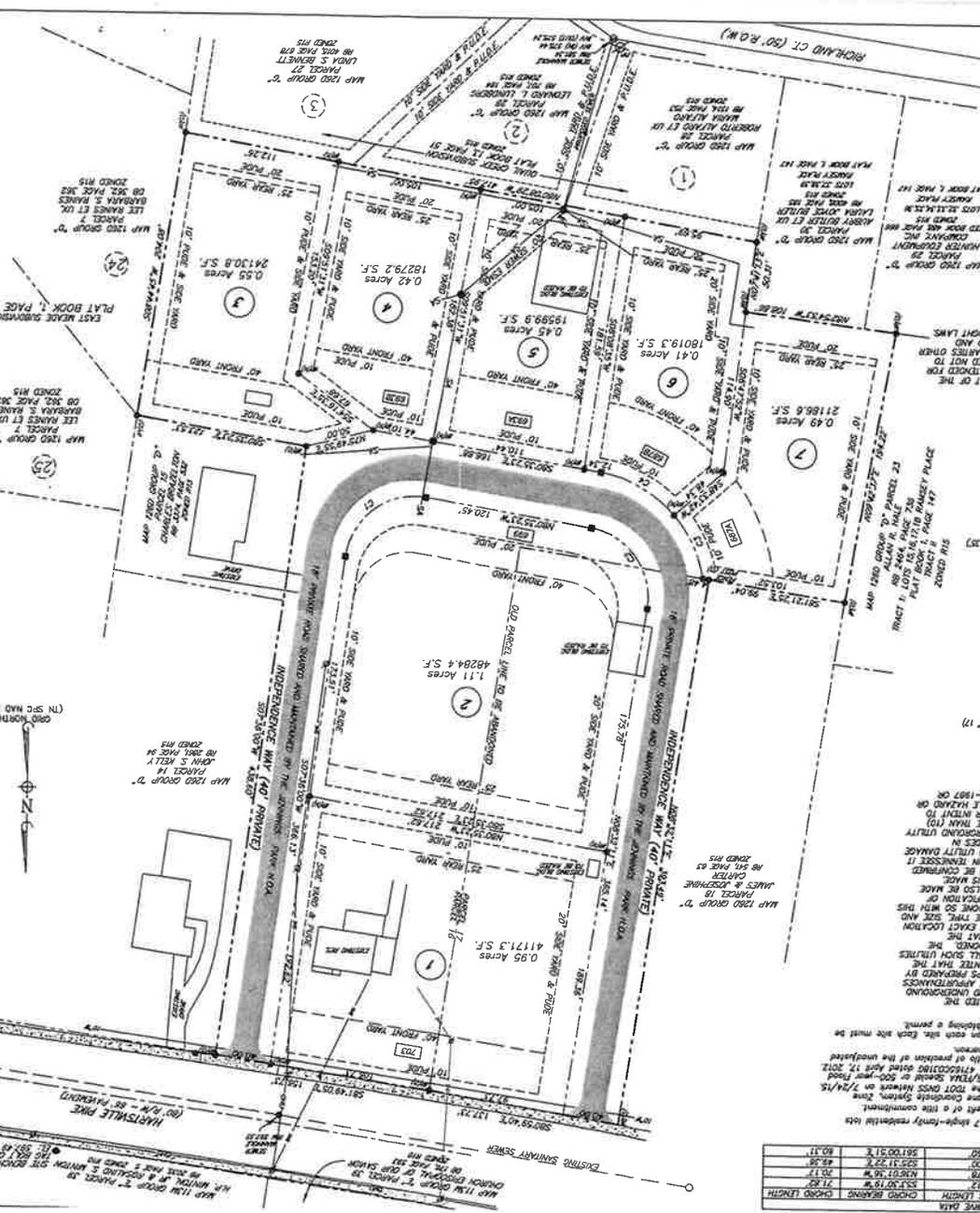
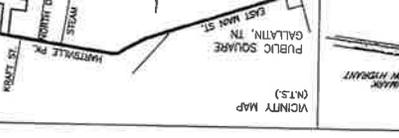
CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I hereby certify that the water systems shown on this final plat have been installed in accordance with the provisions of the Tennessee Code Annotated, Title 48, Chapter 1, Part 1, and that the City Engineer and the Planning Commission of the City of Gallatin, Tennessee, have approved the water systems shown on this final plat.

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I hereby certify that the sewer systems shown on this final plat have been installed in accordance with the provisions of the Tennessee Code Annotated, Title 48, Chapter 1, Part 1, and that the City Engineer and the Planning Commission of the City of Gallatin, Tennessee, have approved the sewer systems shown on this final plat.

CERTIFICATE OF ACCURACY
 I hereby certify that the plat shown and described herein is a true and correct copy of the plat as approved by the City Engineer and the Planning Commission of the City of Gallatin, Tennessee, and that the plat has been recorded in the County Register.

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I hereby certify that the plat shown and described herein is a true and correct copy of the plat as approved by the City Engineer and the Planning Commission of the City of Gallatin, Tennessee, and that the plat has been recorded in the County Register.

VICINITY MAP
 (N.T.S.)



NOTES:

- The purpose of this plat is to create 7 single-family residential lots.
- This survey was done without the benefit of a title commitment.
- Survey of boundary lines shown on this plat is based on a 1985 survey by [Name] and [Name] as recorded in the County Register.
- Subject property does not lie in a flood hazard area as shown on the Flood Hazard Map of the State of Tennessee.
- This is a Community I Survey and the plat is subject to the provisions of the Tennessee Code Annotated, Title 48, Chapter 1, Part 1.
- Water quality requirements will be met on each site. Each site must be approved by the City of Gallatin prior to obtaining a permit.
- Other utility requirements (gas, electric, etc.) must be met by the property owner.

CHORD DATA

CURVE	CHORD BEARING	CHORD LENGTH	ARC LENGTH	HAUS	HAUS	HAUS	HAUS
1	S82°00'00"W	60.11	60.11	90.00	61.00	61.00	60.11
2	S82°00'00"W	60.11	60.11	90.00	61.00	61.00	60.11
3	S82°00'00"W	60.11	60.11	90.00	61.00	61.00	60.11
4	S82°00'00"W	60.11	60.11	90.00	61.00	61.00	60.11
5	S82°00'00"W	60.11	60.11	90.00	61.00	61.00	60.11
6	S82°00'00"W	60.11	60.11	90.00	61.00	61.00	60.11
7	S82°00'00"W	60.11	60.11	90.00	61.00	61.00	60.11

1-2439-16
1-1064-15C



AUG 26 2015

ATTACHMENT 7-5

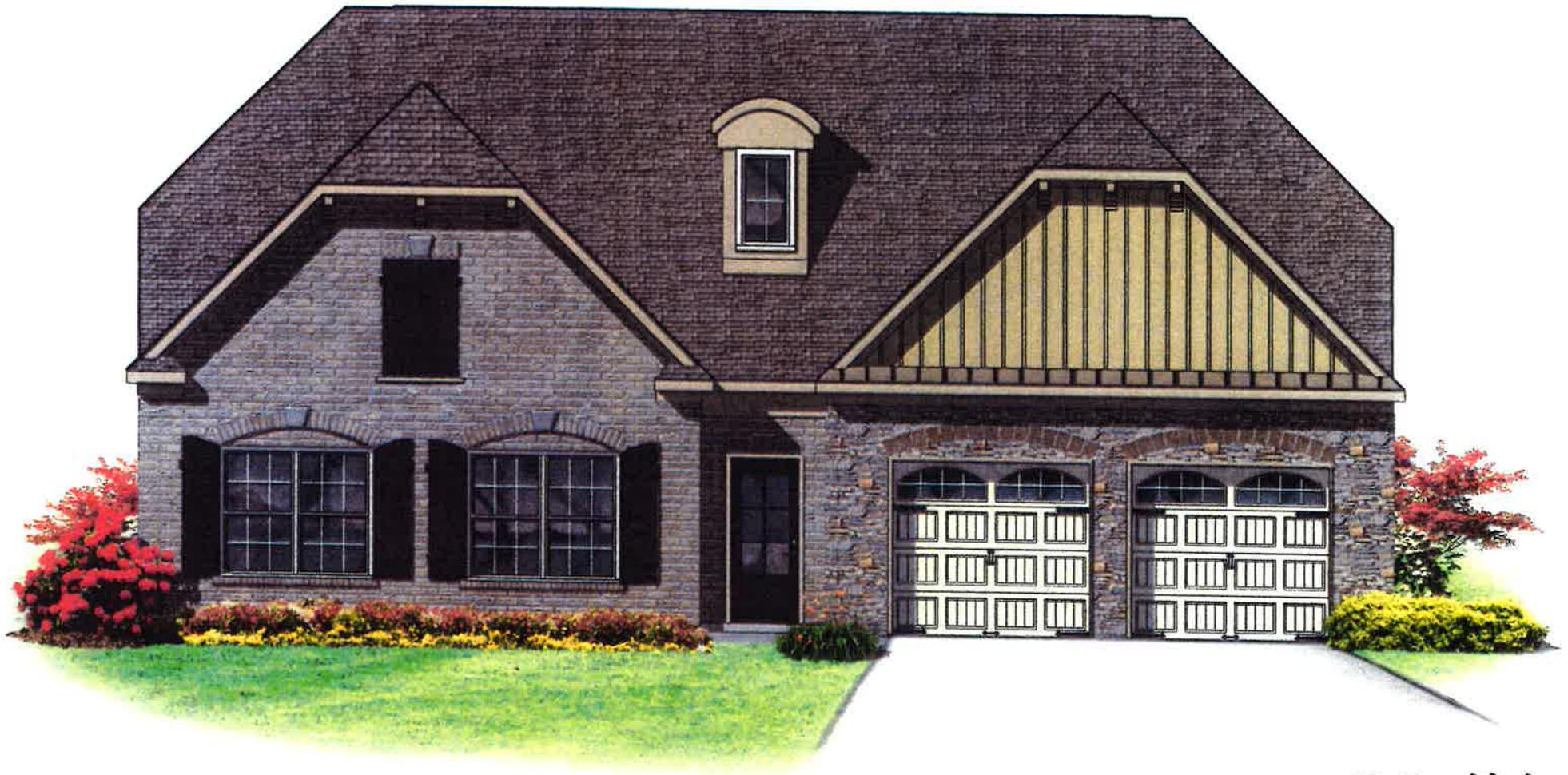
ATTACHMENT 7-5

AUG 26 2015



1-2439-16C
1-1064-15C

ATTACHMENT 7-5



1-2439-16C
1-1064-15C

ATTACHMENT 7-5

AUG 23 2016



FRONT ELEVATION - FRENCH COUNTRY ELEVATION

FLOOR PLAN: JENNINGS PARK - GALLATIN, TN
ELEVATION: FRENCH COUNTRY ELEVATION
ORIENTATION:

SHEET: SCALE:

1-2439-16C

ATTACHMENT 7-5



FRONT ELEVATION - TRADITIONAL ELEVATION

AUG 23 2016

FLOOR PLAN: JENNINGS PARK - GALLATIN, TN
ELEVATION: TRADITIONAL ELEVATION
ORIENTATION:

SHEET: SCALE:

1-2439-16C

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C11	69°52'45.81"	25.00'	30.49'	S34°56'23"E	28.64'
C12	55°42'40.94"	50.00'	48.62'	S42°01'25"E	46.72'
C13	47°11'09.01"	50.00'	41.18'	S09°25'30"W	40.02'
C14	37°38'57.91"	50.00'	32.86'	S51°50'33"W	32.27'
C15	54°01'25.78"	50.00'	47.14'	N82°19'15"W	45.42'
C16	45°50'11.84"	50.00'	40.00'	N32°23'26"W	38.94'
C17	15°11'02.51"	50.00'	13.25'	N01°52'49"W	13.21'

- NOTES:
- The purpose of this plat is to create 10 single-family residential lots
 - This survey was done without the benefit of a title commitment.
 - Basis of bearings: Tennessee State Plane Coordinate System, Zone 4100, NAD 83 (1995), derived using the TDOT GNSS Network on 7/24/15.
 - Subject property does not lie in a DHS/FEMA Special or 500-year Flood Hazard Area per Community Panel No. 47165C0318G dated April 17, 2012.
 - This is a Category I survey and the ratio of precision of the unadjusted survey is at least 1:10,000 as shown hereon.
 - Stormwater is by detentionbasin at rear of lots 3,4 and 5.
 - Stormwater quality requirements shall be met on each individual site. Each individual site must be approved the City of Gallatin Engineering Division prior to obtaining any building permits.
 - Access to Lot 1 shall be via private drive (shared access easement).
 - Access to Tax Map 126K Group "D" Parcel 15.00 shall be via private drive (shared access easement).
 - Access to Lot 10 shall be via Independence Way. No access to Hartsville Pike.

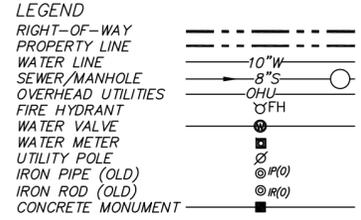
LINE	BEARING	DISTANCE
L1	S34°41'28"W	5.00'
L2	S80°31'40"W	5.00'
L3	S86°31'01"W	16.75'
L4	S08°32'11"W	4.57'

UTILITY NOTE:
 THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE OR MORE THAN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 1-615-355-1987 OR 1-800-351-1111.

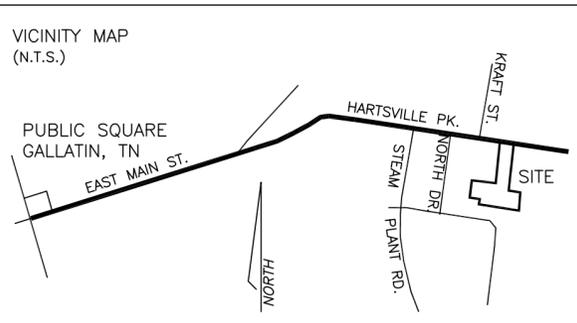
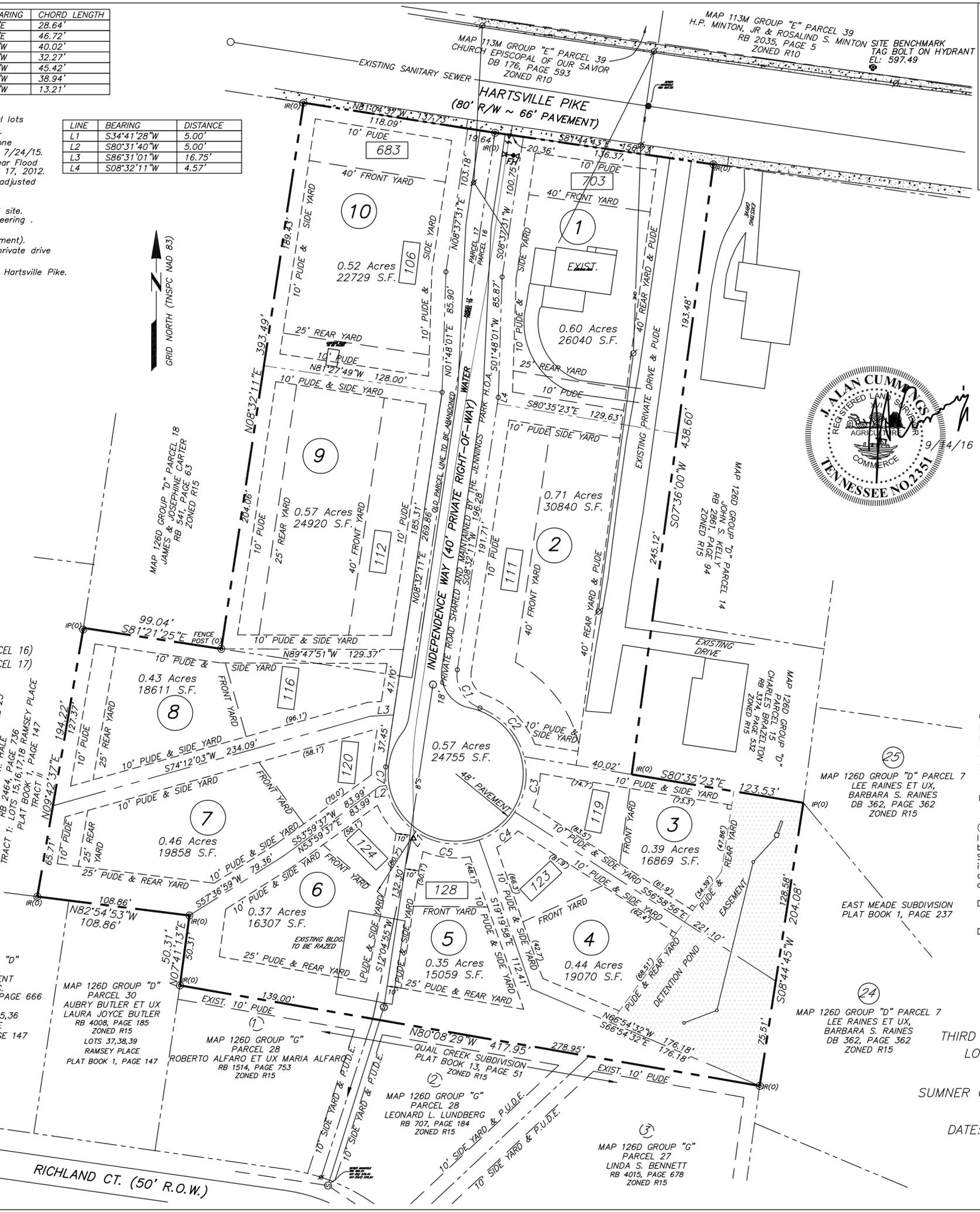
WARNING
 THIS SURVEY WAS PREPARED FOR THE BENEFIT OF THE PARTY OR PARTIES NAMED HEREON AND IS INTENDED FOR THEIR SOLE USE. OTHER PARTIES ARE ADVISED NOT TO RELY UPON THIS. USE OF THIS DRAWING BY PARTIES OTHER THAN THOSE LISTED HEREON IS UNAUTHORIZED AND CONSTITUTES A VIOLATION OF FEDERAL COPYRIGHT LAWS.

SITE DATA TABLE
 OWNER: LIVINGWELL PROPERTIES, LLC
 509 INDIAN MOUND, GOODLETTSVILLE, TN 37072
 RECORD BOOK 4238, PAGE 660 R.O.S.C.T. (MAP 126D "D" PARCEL 16)
 RECORD BOOK 4298, PAGE 177 R.O.S.C.T. (MAP 126D "D" PARCEL 17)
 DEVELOPER: PROVIDENCE LAND COMPANY, LLC
 509 INDIAN MOUND, GOODLETTSVILLE, TN 37072
 (615) 533-5233
 PRIVATE DRIVES AREA: 0.99 ACRES
 TOTAL AREA: 5.40 ACRES
 ZONING: R15
 ADDRESS: 683 & 703 HARTSVILLE PIKE
 MINIMUM YARD REQUIREMENTS:
 FRONT: 40'
 SIDE: 10'
 REAR: 25'
 MAX. FLOOR AREA RATIO: 0.25
 BUILDING HEIGHT: 1 & 2 STORY (MAXIMUM HEIGHT: 35')
 MINIMUM LOT WIDTH AT BUILDING LINE: 75'

EXISTING USE: VACANT/ONE-FAMILY DETACHED DWELLING
 PROPOSED USE: ONE FAMILY DETACHED DWELLING
 OVERALL DENSITY: 1.5 UNITS/ACRE
 GROUND COVERAGE: GRASS
 PLAT PREPARED BY:
 CRAWFORD & CUMMINGS, PC
 1929 21ST AVENUE SOUTH
 NASHVILLE, TN 37212
 (615) 292-2661
 DATE OF PREPARATION AUGUST 18, 2016
 DATE OF LAST REVISION:



Distances to front corners of the building envelopes are measured along the side yard lines from the right-of-way, or as otherwise shown.



CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in book numbers 4238, page 660, & 4298, page 170 County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public roads, utilities, and other facilities have been filed as required by the Gallatin Municipal-Regional Subdivision Regulations.

Date: _____ Owner: _____
 Title: _____

CERTIFICATE OF ACCURACY
 I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Gallatin Municipal-Regional Planning Commission and that the monuments have been or will be placed, as shown hereon, to the specifications in these regulations. That the survey shown hereon meets the requirements of a "Category II" survey and the ratio of precision of the unadjusted survey is at least 1:7500 as set forth in the Standards of Practice for Land Surveyors in Tennessee.

Date: 9/14/16 By: J. Alan Cummings, TN RLS NO. 2351

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I hereby certify that the sewer systems outlined or indicated on the final subdivision plat entitled: JENNINGS PARK have been installed in accordance with current local and state government requirements or a sufficient surety or cash has been filed which will guarantee said installation.

Date: _____ By: _____
 Name, Title, WHUD

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I hereby certify that the water systems outlined or indicated on the final subdivision plat entitled: JENNINGS PARK have been installed in accordance with current local and state government requirements or a sufficient surety or cash has been filed which will guarantee said installation.

Date: _____ By: _____
 Name, Title, WHUD

CERTIFICATE OF APPROVAL OR BONDING OF ROADS
 I hereby certify: (1) that all designated roads on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Gallatin Municipal-Regional Subdivision Regulations, or (2) that a performance surety has been posted with the Planning Commission to assure completion of all required improvements in case of default.

Date: _____ By: _____
 City Engineer

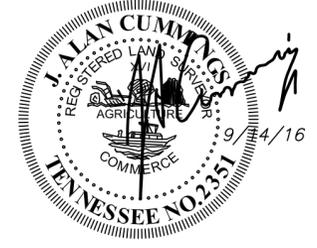
CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Gallatin Municipal-Regional Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the planning commission, and that it has been approved for recording in the office of the county Register.

Date: _____ By: _____
 Secretary, Planning Commission

Date: _____ By: _____
 Chairman's Initials

FINAL PLAT
JENNINGS PARK
 CITY OF GALLATIN
 THIRD CIVIL DISTRICT - SUMNER COUNTY, TENNESSEE
 LOCATED ON HARTSVILLE PIKE (SR25) BETWEEN
 NORTH DRIVE AND PERRY STREET
 SUMNER COUNTY MAP 126D GROUP "D" PARCELS 16 & 17
 CONTAINING 5.40 ACRES ±
 DATE: 9-14-2016 CCPC JOB NO. 15-084

0 50 100 150
 GRAPHIC SCALE: 1"=50'



ITEM 8

GMRPC Resolution No. 2016-109

A RESOLUTION OF THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION APPROVING A FINAL MASTER DEVELOPMENT PLAN FOR BAKERS CROSSING, PHASE 1, THE FORZA GROUP, TO CONSTRUCT A HOTEL/RESTAURANT/CONFERENCE CENTER BUILDING ON AN 8.15 (+/-) ACRE PARCEL, LOCATED ON TULIP POPLAR DRIVE BETWEEN NASHVILLE PIKE AND NORTH BELVEDERE DRIVE (PC 8-2285-16)

WHEREAS, the applicant submitted a Final Master Development Plan consistent with Section 12.02.050 of the City of Gallatin Zoning Ordinance; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION considered the Final Master Development Plan submitted by the applicant, Arnold Consulting Engineering Services, Inc., at its regular meeting on September 26, 2016; and

WHEREAS, THE CITY OF GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION reviewed the application materials and supporting documentation submitted by the applicant, the analysis, findings and recommendations presented by City Staff and in the Planning Commission Staff Report and the evidence and testimony presented during the meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE GALLATIN MUNICIPAL-REGIONAL PLANNING COMMISSION as follows.

Section 1. The Gallatin Municipal-Regional Planning Commission in its deliberations makes the following findings pursuant T.C.A. § 13-3-413, § 13-4-310, §13-7-201, and §13-7-202 and §12.02.030 of the City of Gallatin Zoning Ordinance:

1. The Final Master Development Plan is in agreement and consistent with the intent and land use recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan Update 2008-2020 for the area, and in particular, the Regional Activity Center Community Character Area.
2. The Final Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district, and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district with minor corrections and exceptions, and with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
3. The proposed Final Master Development Plan complies with approved Amended Preliminary Master Development Plan for Bakers Crossing, The Forza Group (PC 3-1697-16).
4. The project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing uses or intended character of the general vicinity. As designed, the proposed modifications to the Final Master Development Plan for Bakers Crossing, Phase 1, The Forza Group will not change the essential character of the area.

ITEM 8

5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

Section 2. Action – The Gallatin Municipal-Regional Planning Commission hereby approves the Final Master Development Plan for Bakers Crossing, Phase 1, The Forza Group, consisting of a sixteen (16) sheet plan, prepared by Arnold Consulting Engineering Services, Inc. of Bowling Green, Ky., with Job No. L6156 dated July 25, 2016, revision sheets dated August 15, 2016 and a revised date of September 15, 2016 and the sign elevations and details, consisting of a six (6) sheet plan, prepared by MC Sign Company of Mentor, Ohio, dated May 19, 2016 and with a revised date of August 26, 2016 with the following conditions:

1. Obtain an easement from adjacent property owners to the east to construct a sidewalk and use a driveway/private street located adjacent to the east property boundary or acquire the driveway/private street and construct and convey the driveway/private street and sidewalk as a public right-of-way or private roadway.
2. Submit final architectural elevations for the hotel/restaurant/conference center prototype building to the Planning Department for review and staff approval prior to the issuance of any building permits.
3. Provide and identify the height of the prototype structure.
4. Submit a tree survey identifying the existing mature trees, four (4) and a half inch caliper and larger, along the southern boundary.
5. Provide details of the proposed monument sign located along Tulip Poplar Drive.
6. Correct Sheet C2.0 to indicate the proposed 6' sidewalk is located on the north side of the 24' shared access drive.
7. On Sheet L1 identify additional landscaping along the east side of the dumpster enclosure and the three (3) in the middle of the parking islands.
8. Add a north arrow to the vicinity map on sheets C1, C2.0 and C2.1.
9. Add handicap accessible ramps to the sidewalk access points for North Martin Vineyard Way as this will be dedicated and accepted as a future city street.
10. Drainage calculations still need additional information including: 1.) Calculations for the two bioretention areas 2.) Analysis of the existing storm sewer system under Tulip Poplar Drive to check for spread and hydraulic surcharge based on the new construction 3.) Pond #1 handles area for pervious pavement areas #1, #2 and #3 (5,400 sq. ft.), but Pond #2 is not sized sufficiently to handle areas #4, #5 and #6 (1,600 sq. ft. vs. 4,140 sq. ft.) Pond #2 needs to be revised. 4.) The bioretention area should be sized based on the RRM rather than using a unit hydrograph. 5.) Add a statement to the executive summary THAT this project is asking for a variance to the detention requirement based on the proximity to East Camp Creek and the bottom of the watershed.
11. Switch the 6' sidewalk and 5' grass strip pattern to match the remaining development at the Tulip Poplar loading service area.

ITEM 8

12. Slopes steeper than 3:1 need to have erosion control matting. Add erosion control matting to sheet C4.1.
13. Add the following note: "All striping located in city right-of-way shall be thermoplastic."
14. Provide a letter or traffic study/report that estimates the traffic trip generation and traffic volume for this phase of the project. This will be used to determine the pro-rata share of the signalized intersections.
15. Submit detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to issuance of any building permits.
16. Submit a Master Signage Plan meeting the requirements of the Gallatin Zoning Ordinance, Section 13.07 and obtain sign permits from the Planning Department prior to the installation of any signage on site.
17. Submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department prior to the issuance of any building permits.
18. Submit three (3) corrected and folded copies, of the Final Master Development Plan for Bakers Crossing, Phase 1, The Forza Group, including one (1) full size and two (2) half size copies to the Planning Department.

BE IT FURTHER RESOLVED BY THE CITY OF GALLATIN, TENNESSEE MUNICIPAL-REGIONAL PLANNING COMMISSION that this resolution shall take effect from and after its final passage, the public welfare requiring such.

IT IS SO ORDERED.

PRESENT AND VOTING

AYE:

NAY:

DATED: 09/26/2016

Dick Dempsey, Chairman

Johnny Wilson, Secretary

APPROVED AS TO FORM:

SUSAN HIGH-MCAULEY
CITY ATTORNEY



ITEM 8

PLANNING DEPARTMENT STAFF REPORT

Final Master Development Plan for Bakers Crossing, Phase 1, The Forza Group (PC 8-2285-16)

Located on Tulip Poplar Drive between Nashville Pike and North Belvedere Drive

Date: September 22, 2016

REQUEST: OWNER AND APPLICANT REQUESTS APPROVAL OF A FINAL MASTER DEVELOPMENT PLAN FOR BAKERS CROSSING, PHASE 1, THE FORZA GROUP, TO CONSTRUCT A HOTEL/RESTAURANT/CONFERENCE CENTER BUILDING ON AN 8.15 (+/-) ACRE PARCEL, LOCATED ON TULIP POPLAR DRIVE BETWEEN NASHVILLE PIKE AND NORTH BELVEDERE DRIVE.

OWNER: GALLATIN ASSOCIATES A, LP

DEVELOPER: DAV CONSTRUCTION, THE FORZA GROUP

APPLICANT: ARNOLD CONSULTING ENGINEERING SERVICES, INC.

STAFF RECOMMENDATION: RECOMMEND APPROVAL OF RESOLUTION 2016-109

STAFF CONTACT: ROBERT J. KALISZ

PLANNING COMMISSION DATE: SEPTEMBER 26, 2016

PROPERTY OVERVIEW: The owner and applicant are requesting approval of a Final Master Development Plan for Bakers Crossing, Phase 1, The Forza Group, to construct a hotel/restaurant/conference center building on an 8.15 (+/-) acre parcel (Tax Map 125M, Group A, portion of Parcel 001.00). The property is zoned as Mixed Use (MU). Transient Habitation, Food Service and Community Assembly are permitted uses in the MU zoned district. (Attachment 8-1 and 8-2)

CASE BACKGROUND:

Property History and Previous Approvals

On September 25, 2006, the Planning Commission recommended approval of a rezoning with a Preliminary Master Development Plan for Baker's Crossing (PC File 3-23-06). This rezoned 37.72 (+/-) acres from Residential-20 (R20), Commercial Services (CS) and Commercial General (CG) to Mixed Use (MU), and also amended the Preliminary Master Development Plan for the five (5) lots fronting on Nashville Pike, including 1208, 1212, 1214, and 1216 Nashville Pike, to accommodate the proposed extension of Tulip Poplar Drive. The rezoning with the Preliminary Master Development Plan for Baker's Crossing passed 2nd Reading at the November 21, 2006 City Council meeting (Ordinance No. O0610-073).

On August 27, 2007, the Planning Commission recommended approval of a Final Master Development Plan for Commerce Union Bank for the corner of Nashville Pike (U.S. Hwy

31) and Tulip Poplar Drive (PC File 8-39-07). The final plat for Bakers Crossing Lots 1 and 2 including the west 450 feet of Tulip Poplar Drive was also approved (P.B. 25, Pg. 208).

The final plat for Bakers Crossing Phase 2 was approved in 2012 (P.B. 27, Pg. 181-183). This plat only included Tulip Poplar Drive right-of-way from just west of Belvedere Drive to just north of Nashville Pike.

On October 29, 2008, the Planning Commission recommended amending the Preliminary Master Development Plan for Baker's Crossing (PC File 3-23-06) to include a 290-unit multi-family development and change previously approved building locations. The Amended Preliminary Master Development Plan passed 2nd reading at the November 3, 2008 City Council meeting (Ordinance No. O0810-68).

On August 22, 2011, the Planning Commission approved the Preliminary Master Development Plan for Bakers Crossing-Tennessee Hills (PC9856-11) as a minor amendment to construct 252 multi-family units and change the building locations.

On April 25, 2016, the Planning Commission recommended an amended Preliminary Master Development Plan for Baker's Crossing, The Forza Group (PC 3-1697-16) to construct two (2) hotels and conference center, general retail, a restaurant and office buildings in three (3) phases on an 8.15 (+/-) acre parcel. The Amended Preliminary Master Development Plan passed 2nd reading at the June 21, 2016 City Council meeting (Ordinance No. O1605-34). (Attachment 8-3)

DISCUSSION:

Proposed Development

The owner and applicant are requesting approval of a Final Master Development Plan for Bakers Crossing, Phase 1, The Forza Group, to construct a hotel/restaurant/conference center building, including an outside pool, on an 8.15 (+/-) acre parcel.

Project Phasing

The Amended Preliminary Master Development Plan indicates Phase 1 as joint 99 room hotel, restaurant and conference center, and parking area. Phase 2 as three (3) general retail buildings, one (1) combination of general retail and restaurant building, and one (1) office building. Phase 3 is shown as future hotel with 99 rooms. The owner and applicant will be required to submit separate Final Master Development Plan to the Planning Commission for review and approval of each phase prior to the issuance of any building permits. The owner submitted a construction/development schedule for the Baker Crossing Development (Attachment 8-4).

Natural Features of the Site

The natural topography of the property slopes from the highest point of elevation (508') located in the southeast corner of the property (intersection of the shared-access drive and N. Martin Vineyard Way), and fans out with a steady and even decline, towards the lowest point of elevation (486') along the curvature of Tulip Poplar Drive right-of-way. The plan shows a few trees and vegetation scattered throughout the property.

Based on FEMA FIRM Map 471650426G shows no portion of the property is located within a flood hazard zone.

Adjacent Development and Zoning

The properties adjacent to the north, east, and west are vacant and further north is the CSX Railroad. The north and west properties are part of the Bakers Crossing development, zoned Mixed Use (MU) and the east is the Home Depot site, zoned Commercial Services (CS). The area to the south is zoned Multiple Residential and Office (MRO) and consisting of commercial uses (i.e. Loden Vision Center, professional offices, Stella's Boutique, etc.). The property to the east includes a portion of a lot (Lot 1 of the Home Depot plat) owned by Home Depot, USA, and a portion of a lot (Lot 3) owned by Horne Properties. A partially constructed driveway is located on the westerly portion of these adjacent lots. This driveway is intended to become a street extension of N. Martin Vineyard Way.

Gallatin on the Move 2020 General Development and Transportation Plan

The Gallatin on the Move 2020 General Development and Transportation Plan identifies this property on the Community Character Map as a Regional Activity Center, which typically features emerging mixed-use centers and open-air shopping centers that offer a wide variety of services, commercial/retail, office, restaurants, entertainment and residences. It is important to note that the adjacent properties to the north, east and west are also identified on the Community Character Map as a part of the Regional Activity Center with the adjacent properties to the south identified as part of the Nashville Pike Office Corridor. The Regional Activity Center Character Area encourages refocusing strip or corridor commercial development with pedestrian-friendly, public spaces with a mix of businesses (Attachment 8-5).

According to the Final Master Development Plan, this project features many of the characteristics of a Regional Activity Center, which calls for new developments with interconnected streets in nodes located at major roadway intersections.

The FMDP with conditions meets the overall intent of *Gallatin on the Move 2020 General Development and Transportation Plan* and is consistent with the Mixed Use (MU) zoned districts.

Architectural Designs

The owner and applicant submitted a prototype architectural rendering of the hotel illustrating the building to be a modern, contemporary urban center design with traditional storefront windows (see cover sheet). The building is designed in close proximity to the streets and provides sidewalk connectivity to the public street and other future stores in the development. The building also incorporates the front and rear facades to match in aesthetics and design.

The prototype hotel/restaurant/conference center building will be a five (5) story structure. The prototype architectural rendering did not indicate the height of the building. The approved conceptual elevations (see sign sheets) indicated the building as a four (4) story structure, 51 feet in height. The building will be constructed with a mixture of brick veneer, metal panels and E.I.F.S. materials with varying colors providing contrast and architectural

elements. The architectural rendering uses articulation in the facades to visually break up large expanses of blank walls.

The Planning Commission approved an Alternative Architectural Plan for Bakers Crossing, The Forza Group with the PMDP and City Council also approved the Alternative Architectural Plan. This waived the 70 percent minimum requirement of brick and/or stone materials for the exterior facade materials for the entire development site.

Staff reviewed the prototype architectural design and materials and determined that the design of the building and materials meets the architectural design and materials approved at the PMDP stage. The owner and applicant shall provide and identify the height of the prototype structure.

The owner and applicant shall submit final architectural elevations for the hotel/restaurant/conference center prototype building to the Planning Department for review and staff approval prior to the issuance of any building permits.

Access and Easements (P.U.D.E.'s)

The primary access into Baker's Crossing development is from Tulip Poplar Drive via Nashville Pike and Belvedere Drive. This development will have two (2) accesses from Tulip Poplar Drive. The southern access is a 40-foot wide cross access easement (24' shared access drive) along the southern portion of the site which also serves the new Loden Vision center. The northern driveway will provide access to the parking lot near the proposed retail/restaurant building.

In addition, the Phase 1 plan shows two (2) service access driveways from the private driveway on the adjacent properties to the east for loading and unloading for the hotels. The owner is working with the adjacent property owner and the city to obtain an easement or other form of access from the adjacent property owners located to the east. This private road/drive extends N. Martin Vineyard Way to Tulip Poplar Drive. Obtaining legal access to use this private street is a condition of plan approval.

Parking

Parking requirements are based on the use of the property. The transient habitation use requires one (1) space per one (1) unit and food service and community assembly uses requires one (1) per four (4) person seating capacity. Based on the Phase 1 plan, 235 parking spaces, including seven (7) handicapped accessible spaces, are required. The plan indicates 315 parking spaces, including twelve (12) accessible handicapped spaces, which complies with the minimum number of parking spaces required by G.Z.O., Section 11.03, *Schedule of Off-Street Parking Requirements* and Section 11.07, *Handicapped Parking* for Phase 1. The parking requirements for the overall development requires 490 parking spaces, including nine (9) handicapped spaces. The overall development parking does not comply with the minimum number of parking spaces required by G.Z.O., Section 11.03, *Schedule of Off-Street Parking Requirements* and Section 11.07, *Handicapped Parking*.

However, the owner and applicant received approval for an adjustment to the parking for the mixed use development when the PMDP was approved per Gallatin Zoning Ordinance Section 11.05 *Adjustment for Mixed Use Development*.

The Planning Commission recommended approval of the parking for the mixed use development for the PMDP and City Council also approved it.

Minimum Building Setback Line (M.B.S.L.)

The approved PMDP allows for less than the 30' required Minimum Building Setback Line (M.B.S.L.) along Tulip Poplar Drive and the eastern boundary. The approved plan permits setbacks of 20 feet for buildings along Tulip Poplar Drive and 27.58 feet for the conference center building along the eastern boundary (Attachment 8-2; sheet C2.0).

Stormwater Detention

The stormwater infrastructure system consists of two (2) bio-retention areas located in the southwest portion of the parking area and the northeast corner of the property and six (6) pervious paving areas located throughout the parking area. The plan notes the site stormwater will sheet flow to the proposed bio-retention and pervious paving areas. The bio-retention and pervious paving areas will be sized to accommodate required water quality and volume. The existing drop inlet storm structures adjacent to Tulip Poplar Drive will be utilized to convey larger storm events. This system is interconnected with the water drainage system which eventually discharges into the East Forked of Station Camp Creek.

All stormwater transport, detention, and treatment shall meet the current stormwater ordinance requirements. Construction plans and drainage calculations were submitted to the Engineering Division for review and approval.

Bufferyard and Landscaping Plan

Bufferyards are required to be shown as part of the Final Master Development Plan. These are intended to minimize the potential impacts of the proposed development on the adjacent properties as described in Article 13 of the Gallatin Zoning Ordinance.

The landscape plan (see Sheets C4.2 and L1) includes specific plant schedules, the bufferyards, parking area screening and landscaping, and a typical bio-swale planting detail.

A Type 15 Bufferyard is shown along Tulip Poplar and the east boundary of the property. The plan shows the Type 15 Bufferyard materials which includes one (1) large deciduous tree every 60 feet and two (2) small deciduous or ornamental trees every 60 feet planted between the large deciduous trees.

An Alternative Type 15 Bufferyard (12' width) is shown along the south side of the property adjacent to the shared access drive. The Alternative Type 15 Bufferyard (12' width) includes one (1) large deciduous tree every 60 feet and two (2) small deciduous or ornamental trees every 60 feet planted between the large deciduous trees.

The Alternative Bufferyard Plan was approved with the PMDP. This permitted an Alternative Type 15 Bufferyard width requirement for the south boundary (along the 24' shared access drive) and allows the development to use the existing mature trees towards the bufferyard requirement. The alternative bufferyard landscaping along the 24' shared access drive using the existing mature trees, on and adjacent to the property, meets the

intent of the bufferyard requirements of Section 13.03 of the Gallatin Zoning Ordinance. The owner and applicant shall submit a tree survey identifying the existing mature trees, four (4) and a half inch caliper and larger, along the southern boundary. This will provide the Planning Department with information in determining what trees could be saved and where the bufferyard trees would be planted without damaging or prevent growth of the existing bufferyard trees.

Photometric Plan and Lighting Fixtures

The photometric plan (Sheets SL1 and SL2) indicates the location of the proposed lighting fixtures. The lighting fixtures proposed for the parking area are a contemporary style (shoebox) design with LED lighting. The proposed street lighting along Tulip Poplar Drive and access drives is a contemporary style (streetlight) design with LED lighting. The owner and applicant shall verify with the Gallatin Department of Electricity that the contemporary style of the streetlights is acceptable for installation. The photometric plan complies with the City of Gallatin Zoning Ordinance, Section 13.02.08.

Dumpster Enclosure and Fence

The Phase 1 plan indicates a dumpster enclosure located between the eastside of the kitchen and loading/service drive. A decorative fence will be located along the eastern boundary to provide additional screening and security for the proposed buildings and outside pool area. The plan detail sheet (Sheet C7) shows the dumpster enclosure. The enclosure will match the exterior facade of the buildings. The decorative fencing will match and be coordinated with the final building materials.

Signage

The plan includes designs of a multi-tenant sign and a monument sign located along Tulip Poplar Drive. The plan also included wall mounted signs on the front of the proposed hotel and restaurant but did not indicate a wall mounted sign on the conference center. The plan provides details of the multi-tenant sign and wall mounted signs for the hotel and restaurant, but did not provide details for the proposed monument sign. The owner and applicant shall provide details of the proposed monument sign located along Tulip Poplar Drive.

The owner and applicant shall submit a Master Signage Plan in accordance with G.Z.O. Section 13.07.065.E including details of permanent signs to be installed on site. The proposed signs shall meet the size and illumination requirements of the Gallatin Zoning Ordinance, Section 13.07. The owner and applicant shall obtain sign permits from the Planning Department prior to the installation of any signage on site.

Site Surety

The owner and applicant is required to submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department. The owner and applicant submitted a site surety cost calculation sheet to the Planning Department for review and approval. A site surety, in the form of cash, certified check, or Irrevocable Letter of Credit, shall be submitted to the Planning Department prior to issuance of any building permits.

Gallatin Public Utilities Department Comments

This development is serviced by the Gallatin Public Utilities Department. The applicant shall coordinate all development with Gallatin Public Utilities Department to ensure all future utility infrastructures is installed to the satisfaction of the Gallatin Public Utilities Department standards. The Gallatin Public Utilities Department reviewed the Final Master Development Plan and made the following comments:

1. Submit detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to issuance of any building permits.
2. Proposed facilities shall comply with all applicable cross-connection control and sewer use regulations.

Planning Department Comments

The Planning Department reviewed and commented on the Final Master Development Plan. The applicant satisfactorily addressed the Planning Department comments; with the exception of the following comments:

1. Obtain an easement from adjacent property owners to the east to construct a sidewalk and use a driveway/private street located adjacent to the east property boundary or acquire the driveway/private street and construct and convey the driveway/private street and sidewalk as a public right-of-way or private roadway.
2. Submit final architectural elevations for the hotel/restaurant/conference center prototype building to the Planning Department for review and staff approval prior to the issuance of any building permits.
3. Provide and identify the height of the prototype structure.
4. Submit a tree survey identifying the existing mature trees, four (4) and a half inch caliper and larger, along the southern boundary.
5. Provide details of the proposed monument sign located along Tulip Poplar Drive.
6. Correct Sheet C2.0 to indicate the proposed 6' sidewalk is located on the north side of the 24' shared access drive.
6. On Sheet L1 identify additional landscaping along the east side of the dumpster enclosure and the three (3) in the middle of the parking islands.

Engineering Division Comments

The Engineering Division reviewed and commented on the Final Master Development Plan. The applicant satisfactorily addressed Engineering Division comments; with the exception of the following comments:

1. Add a north arrow to the vicinity map on sheets C1, C2.0 and C2.1.
2. Add handicap accessible ramps to the sidewalk access points for North Martin Vineyard Way as this will be dedicated and accepted as a future city street.
3. Drainage calculations still need additional information including: 1.) Calculations for the two bioretention areas 2.) Analysis of the existing storm sewer system under Tulip Poplar Drive to check for spread and hydraulic surcharge based on the new construction 3.) Pond #1 handles area for pervious pavement areas #1, #2 and #3 (5,400 sq. ft.), but Pond #2 is not sized sufficiently to handle areas #4, #5 and #6 (1,600 sq. ft. vs. 4,140 sq. ft.) Pond #2 needs to be revised. 4.) The bioretention

area should be sized based on the RRM rather than using a unit hydrograph. 5.) Add a statement to the executive summary THAT this project is asking for a variance to the detention requirement based on the proximity to East Camp Creek and the bottom of the watershed.

4. Switch the 6' sidewalk and 5' grass strip pattern to match the remaining development at the Tulip Poplar loading service area. It shows backwards.
5. Slopes steeper than 3:1 need to have erosion control matting. Add erosion control matting to sheet C4.1.
6. Add the following note: "All striping located in city right-of-way shall be thermoplastic."
7. Provide a letter or traffic study/report that estimates the traffic trip generation and traffic volume for this phase of the project. This will be used to determine the pro-rata share of the signalized intersections.

Other Departmental Comments

Other City Departments reviewed the Final Master Development Plan and had no comments.

FINDINGS:

1. The Final Master Development Plan is in agreement and consistent with the intent and land use recommendations of the Gallatin on the Move 2020 General Development and Transportation Plan Update 2008-2020 for the area, and in particular, the Regional Activity Center Community Character Area.
2. The Final Master Development Plan is consistent with the purpose and intent of the Mixed Use (MU) zone district, and complies with the use restrictions, minimum bulk and height regulations, minimum lot dimensions, yard lines, and minimum building setback line requirements established in said zone district with minor corrections and exceptions, and with the Design and Performance Standards of the Gallatin Zoning Ordinance as described in Section 13.02.
3. The proposed Final Master Development Plan complies with approved Amended Preliminary Master Development Plan for Bakers Crossing, The Forza Group (PC 3-1697-16).
4. The project will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing uses or intended character of the general vicinity. As designed, the proposed modifications to the Final Master Development Plan for Bakers Crossing, Phase 1, The Forza Group will not change the essential character of the area.
5. The legal purposes for which zoning regulations exist have not been contravened.
6. The Final Master Development Plan will not create adverse effects upon adjoining property owners or any such adverse effect can be mitigated by applying design and performance standards or is justified by the public good or welfare.
7. No one property owner or small group of property owners will benefit materially from the approval to the detriment of the general public.

RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 2016-109 the Final Master Development Plan for Bakers Crossing, Phase 1, The Forza Group, consisting of a sixteen (16) sheet plan, prepared by Arnold Consulting Engineering Services, Inc. of

Bowling Green, Ky., with Job No. L6156 dated July 25, 2016, revision sheets dated August 15, 2016 and a revised date of September 15, 2016 and the sign elevations and details, consisting of a six (6) sheet plan, prepared by MC Sign Company of Mentor, Ohio, dated May 19, 2016 and a revised date of August 26, 2016 with the following conditions:

1. Obtain an easement from adjacent property owners to the east to construct a sidewalk and use a driveway/private street located adjacent to the east property boundary or acquire the driveway/private street and construct and convey the driveway/private street and sidewalk as a public right-of-way or private roadway.
2. Submit final architectural elevations for the hotel/restaurant/conference center prototype building to the Planning Department for review and staff approval prior to the issuance of any building permits.
3. Provide and identify the height of the prototype structure.
4. Submit a tree survey identifying the existing mature trees, four (4) and a half inch caliper and larger, along the southern boundary.
5. Provide details of the proposed monument sign located along Tulip Poplar Drive.
6. Correct Sheet C2.0 to indicate the proposed 6' sidewalk is located on the north side of the 24' shared access drive.
7. On Sheet L1 identify additional landscaping along the east side of the dumpster enclosure and the three (3) in the middle of the parking islands.
8. Add a north arrow to the vicinity map on sheets C1, C2.0 and C2.1.
9. Add handicap accessible ramps to the sidewalk access points for North Martin Vineyard Way as this will be dedicated and accepted as a future city street.
10. Drainage calculations still need additional information including: 1.) Calculations for the two bioretention areas 2.) Analysis of the existing storm sewer system under Tulip Poplar Drive to check for spread and hydraulic surcharge based on the new construction 3.) Pond #1 handles area for pervious pavement areas #1, #2 and #3 (5,400 sq. ft.), but Pond #2 is not sized sufficiently to handle areas #4, #5 and #6 (1,600 sq. ft. vs. 4,140 sq. ft.) Pond #2 needs to be revised. 4.) The bioretention area should be sized based on the RRM rather than using a unit hydrograph. 5.) Add a statement to the executive summary THAT this project is asking for a variance to the detention requirement based on the proximity to East Camp Creek and the bottom of the watershed.
11. Switch the 6' sidewalk and 5' grass strip pattern to match the remaining development at the Tulip Poplar loading service area.
12. Slopes steeper than 3:1 need to have erosion control matting. Add erosion control matting to sheet C4.1.
13. Add the following note: "All striping located in city right-of-way shall be thermoplastic."
14. Provide a letter or traffic study/report that estimates the traffic trip generation and traffic volume for this phase of the project. This will be used to determine the pro-rata share of the signalized intersections.
15. Submit detailed plans and specifications for water and sanitary sewer to the Gallatin Public Utilities Department for review and approval prior to issuance of any building permits.
16. Submit a Master Signage Plan meeting the requirements of the Gallatin Zoning Ordinance, Section 13.07 and obtain sign permits from the Planning Department prior to the installation of any signage on site.

17. Submit a site surety for site improvements per Article 15.00 Administration and Enforcement; Section 15.03.080, Surety Required, of the Gallatin Zoning Ordinance, in an amount to be determined by the applicant and approved by the Planning Department prior to the issuance of any building permits.
18. Submit three (3) corrected and folded copies, of the Final Master Development Plan for Bakers Crossing, Phase 1, The Forza Group including one (1) full size and two (2) half size copies to the Planning Department.

(The plans shall be amended to comply with the conditions of approval prior to the final staff approval by the City)

ATTACHMENTS

Attachment 8-1 Location Map

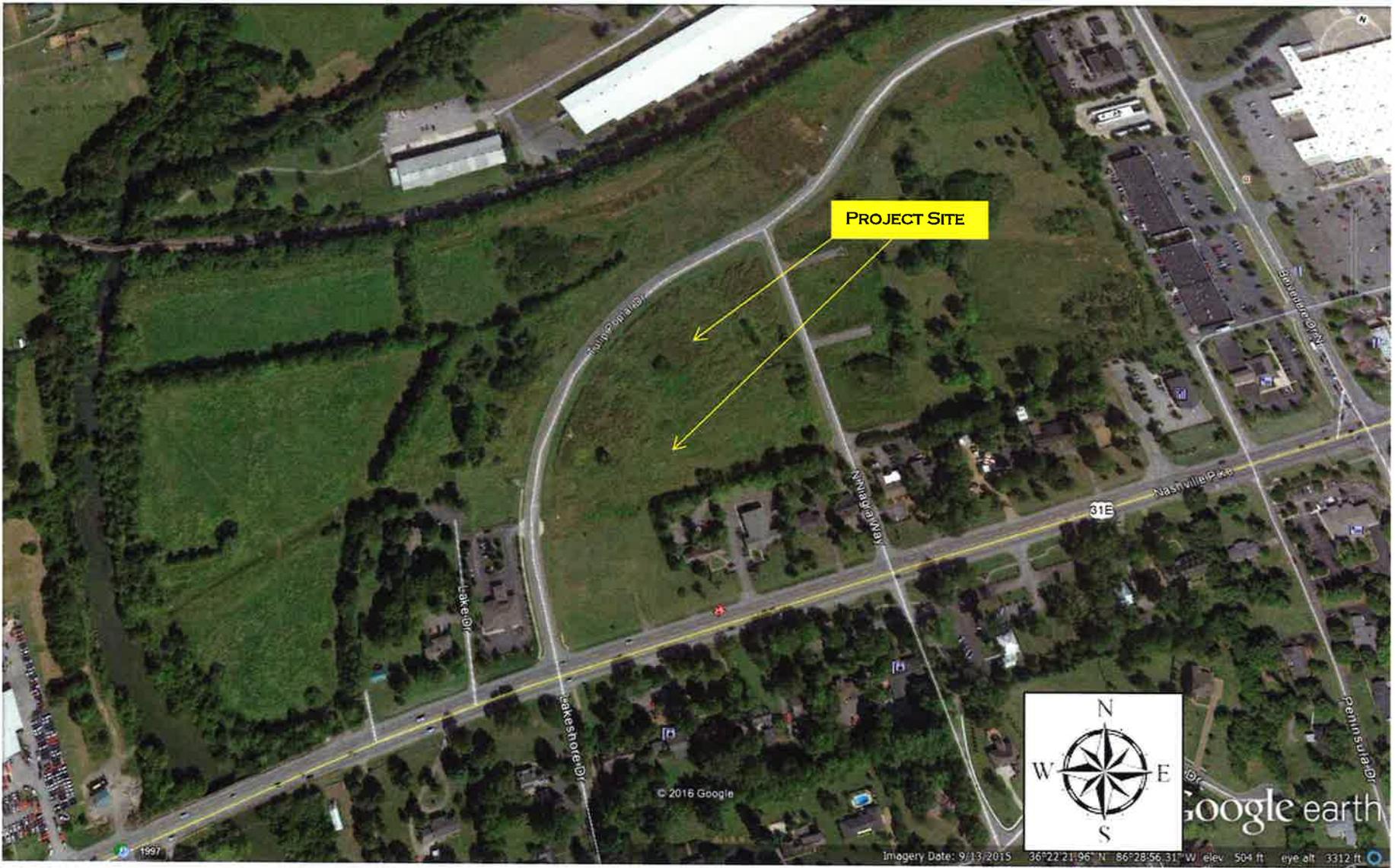
Attachment 8-2 FMDP and Architectural Elevations for Baker Crossing, Phase 1, The Forza Group (PC 8-2285-16)

Attachment 8-3 PMDP for Bakers Crossing, The Forza Group (PC 3-1697-16)

Attachment 8-4 Construction/Development Schedule dated April 11, 2016

Attachment 8-5 Gallatin on the Move 2020 Plan/Regional Activity Center Character Area description

BAKERS CROSSING, PHASE 1, THE FORZA GROUP FMDP
(PC 8-2285-16)
LOCATION MAP



ATTACHMENT 8-1

TULIP POPLAR DRIVE
TAX MAP 125M/A/001.00
ZONED MU

ATTACHMENT 8-3



PROPOSED INTERIOR PLAZA ELEVATION



PROPOSED STREETSIDE ELEVATION - N. MARTIN VINEYARD WAY

PROPOSED HOTEL DEVELOPMENT
GALLATIN, TN

id INTEGRITY DESIGN
ARCHITECTURE & INTERIORS
156 Washington Avenue Suite 100
Bridgeville, PA 15017
412 420 7822 P 412 240 7821 F

8-2285-16
3-1697-16
THE FORZA GROUP



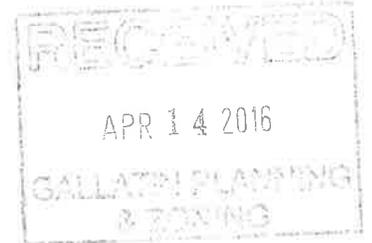
ATTACHMENT 8-4

P.O. Box 677
Bridgeville, PA 15017
P: 412.489.6397
F: 412.489.6472

04.11.2016

Tulip Poplar Drive/Bakers Crossing Development

Re: Construction/Development Schedule



July/August 2016 – 3 to 6 Months

Phase 1: Site Work: Scope of work: Grade site, install utilities to each pad along with concrete curbs and 1st layer of asphalt.

October 2016 – 6 Months

Phase 2: Retail 1: 9500 Square Feet

March 2017 – 14 Months

Phase 3: Hotel/Event Center

July 2017 – 6 Months

Phase 4: Retail 2 – 9500 Square Feet

October 2017 – 10 Months

Phase 5: Retail/Class A Office: 7500 & 13,600 Square Feet

2019 – 2nd Hotel Development

RESUBMITTAL

8-2285-16
3-1697-16

REGIONAL ACTIVITY CENTER

General Description

These suburban centers are emerging mixed-use centers developed or planned with large-scale master plans. While unique mixtures of uses and styles are developed for each suburban center based on the market trends, these centers require sustainable designs that provide for flexibility as the market evolves. These centers include a variety of housing types and densities, employment centers, retail/office and other services that serve a regional scale.

Location

Areas within this character area include the following:

- Commercial and residential portions of the Village Green Planned Unit Development (south of the railroad)
- Big Station Camp emerging center
- Kennesaw Farms/Thoroughbred Park
- Foxland
- Area near the intersection of SR-174/Long Hollow Pike and SR-386/Vietnam Veterans Boulevard

Intent

- Provide for open-air shopping centers and mixed-use centers that offer a wide variety of services, shopping, office, restaurants, entertainment and residences
- Refocus strip or corridor commercial development into master planned villages and nodal development with a "main street feel"
- Provide for pedestrian-friendly areas with public spaces, relatively high intensity mix of businesses, retail and offices, employment, education, hospitality and entertainment facilities
- Provide opportunities for new centers that complement existing centers within the City



Landscaped parking lot located in front of a strip mall located within the Village Green planned unit development

REGIONAL ACTIVITY CENTER

Anticipated level of change:

- High

Transportation

- Medium level of service
- High level of connectivity
- Properties accessed by public roads
- Regular-shaped, medium-length blocks
- Roads characterized by curb, gutter with sidewalks containing a medium level of pedestrian orientation

Infrastructure

- Full urban facilities and services
- Civic spaces such as greenways, parks, common areas

Greenspace

- Adjacent Preserve areas
- Neighborhood and pocket parks
- Reliant on common-owned squares within new or existing development

Primary Land Uses

- Large-scale apartments and townhomes
- Horizontal and Vertical Mixed-Use
- Commercial/Office/Retail/Big Box Retail
- Hospitality
- Public/Institutional
- Entertainment and Cultural Facilities

Appropriate Intensity

- 0.75

Applicable Zoning Districts

Existing Zoning Districts

- PGC, MU, MRO

Proposed Zoning Districts

- No proposed new districts

Development Strategies

- Connect residential and non-residential areas to other areas with wide, pedestrian-friendly sidewalks and paths
- Address design factors, including the size of commercial buildings (facades of large buildings can be broken down into more pedestrian-scaled units), incorporation of outdoor seating and gathering areas, design parameters for parking and internal circulation, architectural treatments, building setbacks, siting and orientation, and adequate buffers to ensure compatibility with adjacent uses
- Include civic and cultural uses
- Locate buildings in close proximity to each other and on both sides of the street to make walking convenient
- Provide interconnectivity between parcels
- Construct wide sidewalks with street trees, landscaping and traditional lighting
- Accommodate bikes with lanes and bike racks located throughout the center
- Locate taller buildings to the interior of a development, allowing for height step down toward the edge near adjacent development
- Serve a regional population of 60,000 to 80,000 people within a 20-mile radius (and typically a minimum of five miles spacing between Regional Activity Centers)
- With ordinances, address building /site design and establish requirements for future reuse of "Big Box" stores



Example of Regional Activity Center development in the Green Hills area of Nashville



Example of Regional Activity Center development in Murfreesboro

Implementation Measures

- ☞ Prepare and adopt a Big Box Ordinance

FINAL MASTER DEVELOPMENT PLAN BAKERS CROSSING PHASE I

THE FORZA GROUP
TULIP POPLAR DRIVE
GALLATIN, TN 37066
JULY 25TH 2016
Revised Sept. 15, 2016



SHEET

COVER SHEET
C1 EXISTING TOPOGRAPHY
C2.0 OVERALL SITE LAYOUT
C2.1 SITE LAYOUT PHASE 1
C3 SITE GRADING AND DRAINAGE
C4.0 PRE DEVELOPMENT EROSION CONTROL
C4.1 INTERM DEVELOPMENT EROSION CONTROL
C4.2 POST DEVELOPMENT EROSION CONTROL
C5 WATER □ SEWER
C6 ELECTRIC, GAS, TELEPHONE
C7 SITE DETAILS
C8 SITE DETAILS
L1 SITE LANDSCAPE
SL1 SITE LIGHTING PLAN
SL2 SITE LIGHTING DETAILS
SCREENING FENCE DETAILS
SIGN PACKAGE



ARNOLD CONSULTING
ENGINEERING SERVICES
P.O. BOX 1338 BOWLING GREEN KY, 42101
PHONE (270) 780-9445

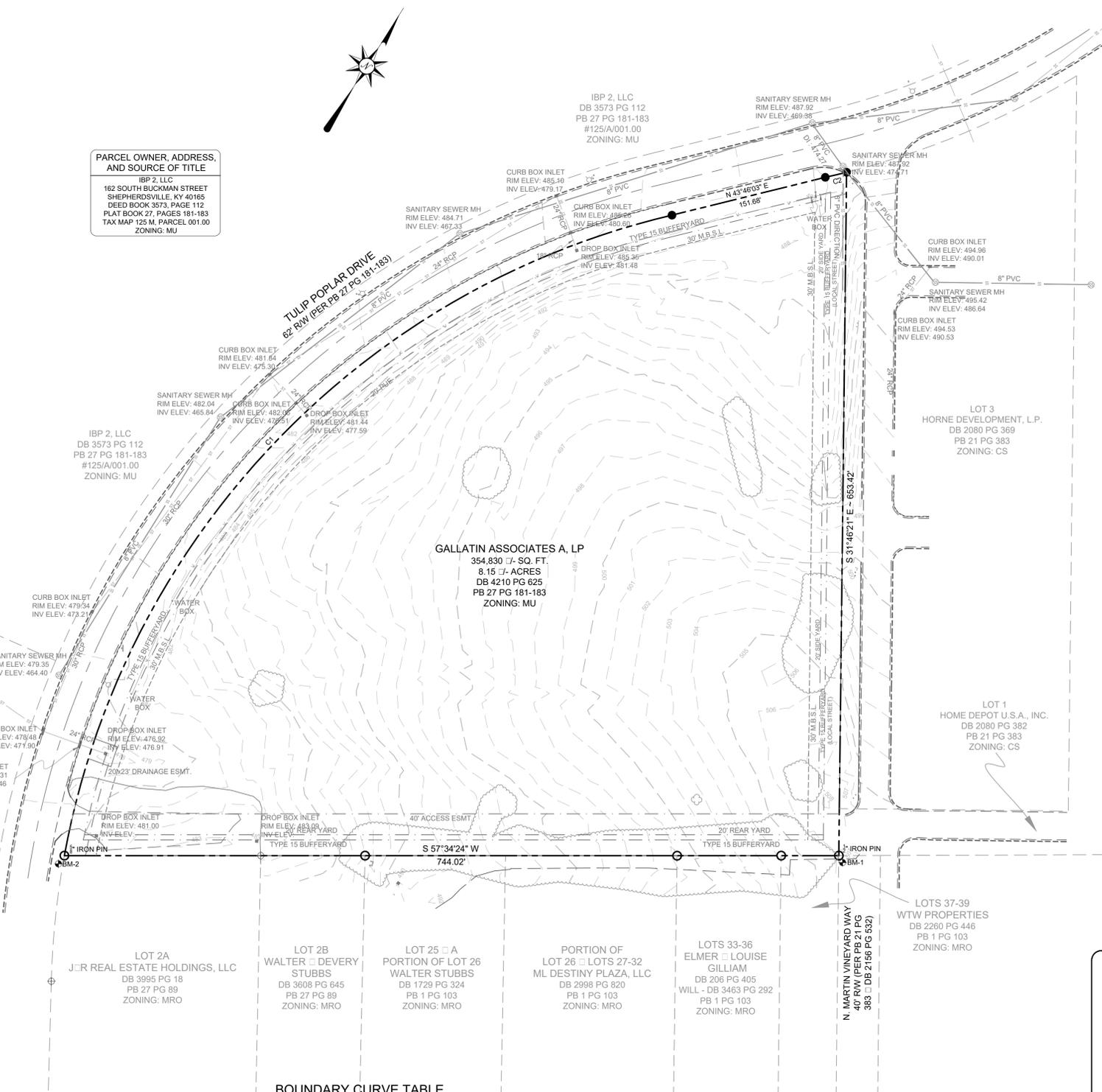


PARCEL OWNER, ADDRESS, AND SOURCE OF TITLE
 IBP 2, LLC
 162 SOUTH BUCKMAN STREET
 SHEPHERDSVILLE, KY 40165
 DEED BOOK 3573, PAGE 112
 PLAT BOOK 27, PAGES 181-183
 TAX MAP 125 M. PARCEL 001.00
 ZONING: MU

GPS NOTE
 THE SURVEY SHOWN HEREON IS BASED ON GPS DATA COLLECTED BY ACES USING BOTH STATIC AND RTK METHODS WITH DUAL FREQUENCY TOPCON HIPER GA (GGD) RECEIVERS. THE ENTIRETY OF THE DATA COLLECTED FOR THIS SURVEY WAS DONE SO THROUGH GPS MEANS WHEN ACCEPTABLE, AND BY CONVENTIONAL MEANS, FROM GPS CONTROL POINTS, WHEN NECESSARY. RTK DATA WAS COLLECTED FOR ANY SITE FEATURES AND ALL CONTROL POINTS AND BOUNDARY INFORMATION WAS COLLECTED IN STATIC MODE WITH A HRMS OF 0.02" OR LESS. VECTORS AND/OR BASELINES HAVE BEEN CHECKED THROUGH STATIC OBSERVATIONS.

FLOODPLAIN INFORMATION
 THE PROPERTY SHOWN HEREON DOES NOT LIE IN A FLOOD PRONE AREA ACCORDING TO (FIRM) FLOOD INSURANCE RATE MAP FOR SUMNER COUNTY, TENNESSEE. SAID AREA IS SHOWN ON MAP #47165C0426G, WITH AN EFFECTIVE DATE OF APRIL 17, 2012.

BENCHMARK DATA:
 BENCHMARK 1
 1" IRON PIN LOCATED IN THE SOUTHWESTERN PORTION OF THE PROPERTY.
 ELEV: 505.55
 BENCHMARK 2
 1" IRON PIN LOCATED IN THE SOUTHEASTERN PORTION OF THE PROPERTY.
 ELEV: 479.52



BOUNDARY CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	772.33'	895.26'	845.98'	N 11°12'15" E	66°24'56"
C2	808.31'	21.01'	21.01'	N 44°11'45" E	1°29'22"

- LEGEND**
- 1/2" IRON PIN FOUND W/ 1" PLASTIC CAP STAMPED "DARNALL RLS 1571" UNLESS NOTED
 - ⊕ 5/8" IRON PIN W/ 1 1/4" PLASTIC CAP STAMPED "CUMMINGS RLS 2351" FOUND UNLESS NOTED
 - IRON PIN SET
 - CONCRETE R/W MONUMENT
 - ⊗ SANITARY SEWER MANHOLE
 - ⊕ SANITARY SEWER CLEAN OUT
 - ⊙ ANCHOR
 - ⊕ UTILITY POLE
 - ⊕ SIGNAL POLE
 - ⊕ ELECTRIC BOX
 - ⊕ ELECTRIC METER
 - ⊕ GAS VALVE
 - ⊕ WATER VALVE
 - ⊕ WATER METER
 - ⊕ FIRE HYDRANT
 - ⊕ GAS METER
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ STORM SEWER MANHOLE
 - ⊕ DROP BOX INLET
 - ⊕ CURB BOX INLET
 - ⊕ LAMP POLE
 - BBSL BUILDING SET BACK LINE
 - ESOL EACH SIDE OF LINE
 - PUE PUBLIC UTILITY EASEMENT
 - FFE FINISHED FLOOR ELEVATION
 - PROPERTY LINE
 - SETBACK LINE
 - EASEMENTS
 - LOT LINE ABANDONED
 - CENTERLINE
 - BURIED ELECTRIC
 - GAS LINE
 - OH OVERHEAD UTILITIES
 - BURIED TELEPHONE
 - SANITARY SEWER LINE
 - WATER LINE
 - STORM SEWER LINE
 - FENCE LINE
 - ⊕ DRAINAGE ESMT.



GENERAL NOTES

- THIS EXHIBIT IS A TOPOGRAPHIC SURVEY ONLY, AND IS NOT TO BE USED AS A BOUNDARY SURVEY, OR AS AN INSTRUMENT TO TRANSFER TITLE. THE BOUNDARY OF THE PROPERTY DEPICTED ON THIS SURVEY IS BASED ON DEED BOOK 3573 PAGE 112 AS FOUND IN THE OFFICE OF THE SUMNER COUNTY REGISTER OF DEEDS.
- THE LOCATION OF ALL UTILITIES SHOWN HEREON ARE BASED ON THE FIELD LOCATION OF FOUND VISIBLE STRUCTURES OR AS FLAGGED OR MARKED BY THEIR RESPECTIVE UTILITY COMPANIES. THERE MAY BE OTHER UNDERGROUND UTILITIES LOCATED ON THE PROPERTY SHOWN HEREON. NO GUARANTEE IS EXPRESSED OR IMPLIED TO THE ACTUAL LOCATION OF SAID UTILITIES.
- THIS TOPOGRAPHIC SURVEY IS SUBJECT TO ANY AND ALL FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS RECORDED AND UNRECORDED, INCLUDING BUT NOT LIMITED TO THOSE SHOWN HEREON.
- THE DATUM FOR THIS SURVEY IS GRID NORTH AS ESTABLISHED BY TENNESSEE STATE PLANE COORDINATES, ONE ZONE 4100.

REVISIONS

**FINAL MASTER DEVELOPMENT PLAN
 BAKERS CROSSING PHASE I**
 THE FORZA GROUP
 TULIP POPLAR DRIVE
 GALLATIN, TN 37066



ACES
 ARNOLD CONSULTING
 ENGINEERING SERVICES, INC.
 P.O. BOX 1336
 BOWLING GREEN, KY 42101
 PHONE (270) 780-9445

JOB NUMBER: L6156
 DATE: 08/15/2016
 SCALE: 1" = 50'
 DRAWN: D. WHITLEY
 CHECKED: J. ARNOLD
 FILE PATH:
 Z:\SITE\DEV\EXISTING\TOPOGRAPHY

C1
 EXISTING
 TOPOGRAPHY



NOTE: ALL HVAC AND MECHANICAL UNITS WILL BE SCREENED

NOTE: ESTIMATES OF TRAFFIC VOLUMES AND MOVEMENTS TO AND FROM THE COMPLETED PROJECT AND ALONG THE BOUNDARY STREETS SHALL PROVIDED AT FINAL MASTER DEVELOPMENT PLAN.

NOTE: A PRO-RATA SHARE OF SIGNALIZED IMPROVEMENTS WILL BE REQUIRED AT BOTH INTERSECTIONS (TULIP POPLAR AT NASHVILLE PIKE AND TULIP POPLAR AT NORTH BELVEDERE DRIVE) FOR THIS DEVELOPMENT. THE AMOUNT OF THE PRO-RATA SHARE WILL BE BASED ON LOT ACREAGE COMPARED TO THE WHOLE DEVELOPMENT ACREAGE.

VARIANCE APPROVED TO ALLOW BUILDINGS IN 30' M.B.S.L. (DEVELOPMENT PROPOSES TO UTILIZE A 20' M.B.S.L. TO ALLOW BUILDINGS TO ENCROACH CLOSER TO STREET CREATING AND URBAN FEEL.) (PC 3-1697-16)

IBP 2, LLC
DB 3573 PG 112
PB 27 PG 181-183
#125/A/001.00
ZONING: MU

IBP 2, LLC
DB 3573 PG 112
PB 27 PG 181-183
#125/A/001.00
ZONING: MU

PROPOSED MONUMENT SIGN LOCATION

PROPOSED 6' SIDEWALK

TULIP POPLAR DRIVE
62' R/W (PER PB 27 PG 181-183)

PROPOSED 6' SIDEWALK

PROPOSED LOADING/ SERVICE AREA TO BE SCREENED WITH FENCING AND ROW OF SCREENING TREES DUMPSTER AREA (FINAL DUMPSTER LOCATION TO BE DETERMINED AT FMDP)

PROPOSED 6' SIDEWALK

PROPOSED LOADING/ SERVICE AREA TO BE SCREENED WITH FENCING AND ROW OF SCREENING TREES DUMPSTER AREA (FINAL DUMPSTER LOCATION TO BE DETERMINED AT FMDP)

PROPOSED 6' SIDEWALK

COMMERCE UNION BANK
#125/A/005.00
R.B. 2868-623
DB 25 PG 208
ZONING: MU / MRO

PROPOSED MULTI TENANT SIGN LOCATION

PROPOSED 6' SIDEWALK

PROPOSED 6' SIDEWALK

IN PLACE OF THE REQUIRED TYPE 15 BUFFER YARD WE PROPOSE A 12' ALTERNATIVE BUFFER YARD FOR THE SOUTH BOUNDARY LINE.

N. MARTIN VINEYARD WAY
40' R/W (PER PB 21 PG 383 & DB 2156 PG 532)

LOTS 37-39
WTW PROPERTIES
DB 2260 PG 446
PB 1 PG 103
ZONING: MRO



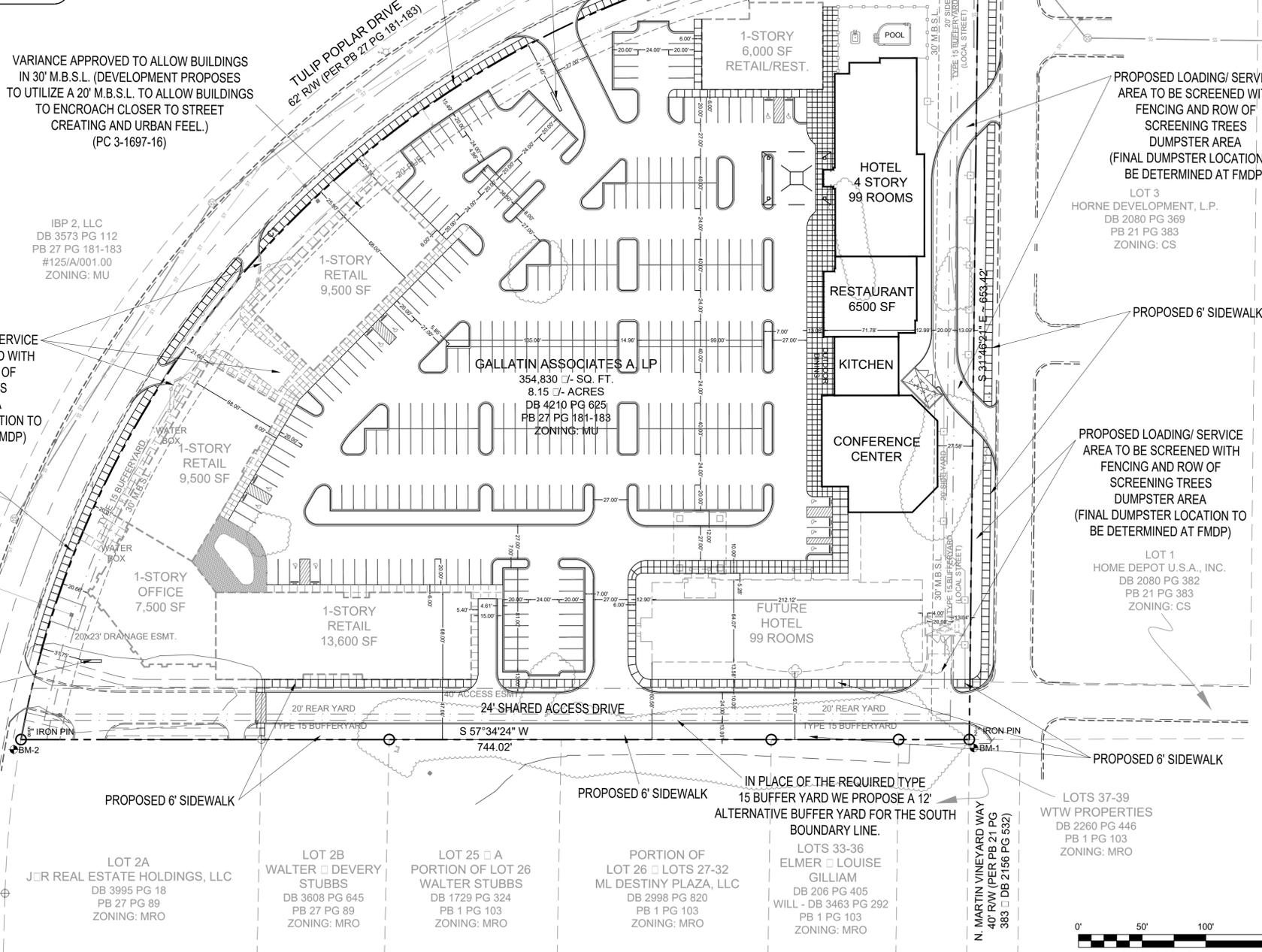
LOT 2A
JCR REAL ESTATE HOLDINGS, LLC
DB 3995 PG 18
PB 27 PG 89
ZONING: MRO

LOT 2B
WALTER & DEVERY STUBBS
DB 3608 PG 645
PB 27 PG 89
ZONING: MRO

LOT 25 & A
PORTION OF LOT 26
WALTER STUBBS
DB 1729 PG 324
PB 1 PG 103
ZONING: MRO

PORTION OF LOT 26 & LOTS 27-32
ML DESTINY PLAZA, LLC
DB 2998 PG 820
PB 1 PG 103
ZONING: MRO

LOTS 33-36
ELMER & LOUISE GILLIAM
DB 206 PG 405
WILL - DB 3463 PG 292
PB 1 PG 103
ZONING: MRO



SITE DATA

PROPERTY INFORMATION:
SUBDIVISION: BAKERS CROSSING SUBDIVISION
LOT: LOT 3
STREET ADDRESS: TULIP POPLAR DRIVE
CIVIL DISTRICT: 3RD
TAX MAP: 125M, GROUP A
PARCEL: 001.00.000
LOT SIZE: 8.15 AC. +/- (54,830 S.F. +/-)

DEVELOPER:
VJK SURRATI
DAY CONSTRUCTION
THE FORZA GROUP
P.O. BOX 677
BRIDGEVILLE, PA 15017
(412) 489-6397
vjk@theforzagroup.com

PROJECT ENGINEER:
JEFFERY A. ARNOLD, P.E., P.L.S.
ARNOLD CONSULTING
ENGINEERING SERVICES, INC.
1136 SOUTH PARK DRIVE
BOWLING GREEN, KY 42103
(270) 780-9445
arnold@ac-es.com

OWNER:
GALLATIN ASSOCIATES A LP
611 CONCORD DR
GALLATIN TN, 37066

ZONING INFORMATION:
ZONING CLASSIFICATION: (MU) - MIXED USE DISTRICT
BUILDING SETBACKS: 50' ARTERIAL
40' COLLECTOR
30' LOCAL

YARDS:
SIDE: 10'
REAR: 20'
FRONT: 1/2 OF M.B.S.L.

PROJECT INFORMATION:
EXISTING USE: VACANT LAND
PROPOSED USE: TRANSIENT HABITATION,
GENERAL RETAIL SALES AND SERVICE, FOOD SERVICES, OFFICE USE.

MAXIMUM HEIGHT:
BUILDING HEIGHT PROV.: 35'
50' (REFERENCES THE TALLEST STRUCTURE IN THE DEVELOPMENT WHICH WILL BE THE HOTEL IN PHASE ONE. TO ALLOW FOR THE MAXIMUM HEIGHT TO INCREASE WE REQUEST A 25' VARIANCE IN HEIGHT TO ALLOW FOR THE 56' HILTON GARDEN INN.)

BUILDING AREA PHASE I:
EXISTING USE: TRANSIENT HOUSING: 60,748 S.F. +/- (99 ROOMS)
RESTAURANT: 12,500 S.F. +/- (390 SEATS)
MEETING SPACE: 9,850 S.F. +/-

BUILDING AREA OVERALL SITE:
EXISTING USE: TRANSIENT HOUSING: 115,171 S.F. +/- (198 ROOMS)
GENERAL RETAIL: 32,600 S.F. +/-
RESTAURANT: 12,500 S.F. +/- (390 SEATS)
GENERAL OFFICE: 7,500 S.F. +/-
MEETING SPACE: 9,850 S.F. +/-
TOTAL: 174,741 S.F. +/-

PARKING SUMMARY PHASE I:
HOTEL/MOTEL: 15P PER UNIT = 99 SPACES
CONFERENCE: 15P PER 4 PERSON = 38 SP +/-
RESTAURANT: 1 SP PER 4 SEATS = 98 SPACES
TOTAL REQUIRED: 235 SPACES

PARKING SUMMARY OVERALL SITE:
HOTEL/MOTEL: 15P PER UNIT = 198 SPACES
CONFERENCE: 15P PER 4 PERSON = 38 SP +/-
GENERAL RETAIL: 1SP PER 250 SF = 131 SPACES
RESTAURANT: 1SP PER 4 SEATS = 98 SPACES
GENERAL OFFICE: 1SP PER 300 SF = 25 SPACES
TOTAL REQUIRED: 490 SPACES

PARKING PROVIDED: 315 SPACES (INC. 12 ADA)
HANDICAP REQUIRED: 8 SPACES
HANDICAP PROVIDED: 12 SPACES

NOTE: WITH MULTIPLE USES PROPOSED THE DEVELOPMENT WILL BE SEEKING A PARKING ADJUSTMENT FROM THE PLANNING COMMISSION UNDER THE REGULATIONS PROVIDED UNDER ARTICLE 11.06 "ADJUSTMENT FOR MIXED USE DEVELOPMENTS" OF THE ZONING ORDINANCE.

FLOOR AREA RATIOS (F.A.R.):
F.A.R. ALLOWED: 1.0
F.A.R. PROVIDED: 0.49

PROPOSED BUILDING COVERAGE: 25.5%

DISTURBED AREA (S.F.): 378,295 S.F. +/-

SURVEY INFORMATION:
BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED FROM A SURVEY BY ARNOLD CONSULTING ENGINEERING SERVICES, INC. DATED 3-9-2016.

FLOOD INFORMATION:
FLOODPLAIN INFORMATION
THE PROPERTY SHOWN HEREON DOES NOT LIE IN A FLOOD PRONE AREA ACCORDING TO (FRM) FLOOD INSURANCE RATE MAP FOR SUMNER COUNTY, TENNESSEE. SAID AREA IS SHOWN ON MAP #47165C0426G, WITH AN EFFECTIVE DATE OF APRIL 17, 2012.

PERFORMANCE STANDARD NOTE:
THIS DEVELOPMENT AND FUTURE DEVELOPMENTS SHALL BE SUBJECT TO THE REQUIREMENTS SET FORTH IN THE GZO ARTICLE 13.02 - PERFORMANCE STANDARD REGULATIONS.

FINANCIAL RESPONSIBILITY NOTE:
DAY CONSTRUCTION IS THE DEVELOPER AND ULTIMATE OWNER OF THE PROPOSED DEVELOPMENT AND IS COMMITTED FINANCIALLY TO COMPLETE THE PROJECT. DAY CONSTRUCTION IS ALSO RESPONSIBLE FOR OPERATING AND MAINTAINING THE SITE THROUGHOUT CONSTRUCTION.

SURETY STATEMENT:
SURETY WILL BE POSTED BY THE DEVELOPER AS REQUIRED BY SECTION 15.03.080 PRIOR TO ISSUANCE OF A BUILDING PERMIT.

TRAFFIC SIGNAL NOTE:
IF THE BAKERS CROSSING DEVELOPMENT CONTRIBUTES TRAFFIC TO WARRANT THE INSTALLATION OF TRAFFIC SIGNALS AT TULIP POPLAR DRIVE AND NASHVILLE PIKE AND TULIP POPLAR DRIVE AND N. BELVEDERE DRIVE, THEN THE BAKERS CROSSING DEVELOPMENT SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE SIGNALS. IF ANOTHER DEVELOPMENT OCCURS THAT CONTRIBUTES TO EITHER OF THESE INTERSECTIONS, THEN FINANCIAL RESPONSIBILITY SHALL BE ASSIGNED TO THEM AS WELL.

REVISIONS

FINAL MASTER DEVELOPMENT PLAN
BAKERS CROSSING PHASE I
THE FORZA GROUP
TULIP POPLAR DRIVE
GALLATIN, TN 37066



ACES
ARNOLD CONSULTING
ENGINEERING SERVICES, INC.
P.O. BOX 1336
BOWLING GREEN, KY 42101
PHONE (270) 780-9445

JOB NUMBER: L6156
DATE: 08/15/2016
SCALE: 1" = 50'
DRAWN: D. WHITLEY
CHECKED: J. ARNOLD
FILE PATH: Z:\SITE\2.0\OVERALL\SITE\LAYOUT

C2.0
PROPOSED SITE LAYOUT PLAN OVERALL



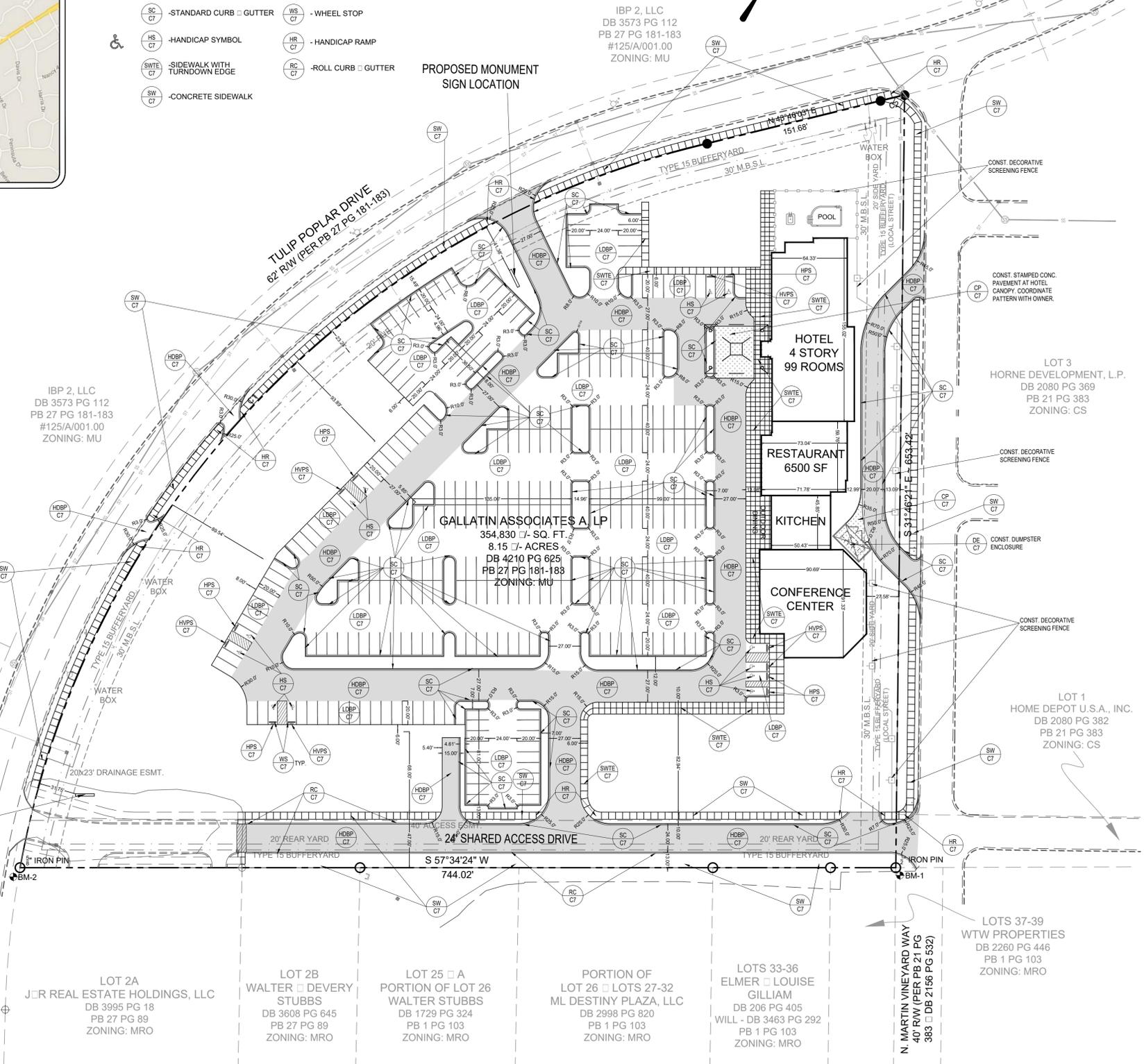
NOTE: ALL HVAC AND MECHANICAL UNITS WILL BE SCREENED

NOTE: ESTIMATES OF TRAFFIC VOLUMES AND MOVEMENTS TO AND FROM THE COMPLETED PROJECT AND ALONG THE BOUNDARY STREETS SHALL PROVIDED AT FINAL MASTER DEVELOPMENT PLAN.

NOTE: A PRO-RATA SHARE OF SIGNALIZED IMPROVEMENTS WILL BE REQUIRED AT BOTH INTERSECTIONS (TULIP POPLAR AT NASHVILLE PIKE AND TULIP POPLAR AT NORTH BELVEDERE DRIVE) FOR THIS DEVELOPMENT. THE AMOUNT OF THE PRO-RATA SHARE WILL BE BASED ON LOT ACREAGE COMPARED TO THE WHOLE DEVELOPMENT ACREAGE.

CONSTRUCTION LEGEND

HDBP CT	-HEAVY DUTY BITUMINOUS PAVEMENT	HPS CT	-HANDICAP PARKING SIGN
LDBP CT	-LIGHT DUTY BITUMINOUS PAVEMENT	HPS CT	-HANDICAP PARKING SIGN (VAN ACCESSIBLE)
CP CT	-CONCRETE PAVEMENT	DE CT	-DUMPSTER ENCLOSURE
SC CT	-STANDARD CURB	WS CT	-WHEEL STOP
HS CT	-HANDICAP SYMBOL	HR CT	-HANDICAP RAMP
SW CT	-SIDEWALK WITH TURNDOWN EDGE	RC CT	-ROLL CURB
SW CT	-CONCRETE SIDEWALK		



GENERAL NOTES

- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
- NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNTIL PROPOSED SOIL EROSION CONTROL PLAN HAS BEEN APPROVED AND IN PLACE.
- ALL DIMENSIONS INVOLVING CURB RADII ARE SHOWN TO FACE OF CURB, UNLESS NOTED OTHERWISE. ALL CURB RADII ARE 5'0" UNLESS NOTED OTHERWISE.
- IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
- THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES AND THE REQUIREMENTS OF LOCAL UTILITY COMPANIES.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND THE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL VEHICLE TRAFFIC IN AND AROUND THE CONSTRUCTION AREA.
- ALL UNPAVED AREAS TO RECEIVE A MINIMUM OF 4" TOPSOIL, SEED (AS OUTLINED IN THE LANDSCAPE PLANS), MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
- ALL PAVEMENT MARKINGS INCLUDING STRIPES, DIRECTIONAL ARROWS, ETC., SHALL BE WHITE PAINT (TWO COATS). HANDICAP SYMBOL COLORS SHALL BE PER LOCAL CODE. APPROVED EXTERIOR PAINTS ARE AS FOLLOWS:
 PRATT AND LAMBERT TRAFFIC PAINT
 SHERWIN-WILLIAMS PRO-MAR TRAFFIC MARKING
 -PAINT B29 SERIES
 GULDEN ROMARK TRAFFIC PAINT
 PPG ZONE AND TRAFFIC MARKING PAINT

*NOTES: THE SITE SHALL COMPLY WITH ALL ACCESSIBILITY STANDARDS.

DEVELOPMENT SUMMARY

PROPERTY INFORMATION:	
SUBDIVISION:	BAKERS CROSSING SUBDIVISION
LOT:	LOT 3
STREET ADDRESS:	TULIP POPLAR DRIVE
CIVIL DISTRICT:	3RD
TAX MAP:	125M, GROUP A
PARCEL:	001.00 000
LOT SIZE:	8.15 AC. +/- (354,830 S.F. +/-)
ZONING INFORMATION:	
ZONING CLASSIFICATION:	(MU) - MIXED USE DISTRICT
BUILDING SETBACKS:	50' ARTERIAL 40' COLLECTOR 30' LOCAL
YARDS:	
SIDE:	10'
REAR:	20'
FRONT:	1/2 OF M.B.S.L.
PROJECT INFORMATION:	
EXISTING USE:	VACANT LAND
PROPOSED USE:	TRANSIENT HABITATION, GENERAL RETAIL SALES AND SERVICE, FOOD SERVICES, OFFICE USE
MAXIMUM HEIGHT:	35'
BUILDING HEIGHT PROV.:	56' (REFERENCES THE TALLEST STRUCTURE IN THE DEVELOPMENT WHICH WILL BE THE HOTEL IN PHASE ONE. TO ALLOW FOR THE MAXIMUM HEIGHT TO INCREASE WE REQUEST A 25' VARIANCE IN HEIGHT TO ALLOW FOR THE 56' HILTON GARDEN INN.)
BUILDING AREA PHASE I:	
TRANSIENT HOUSING:	60,748 S.F. +/- (99 ROOMS)
RESTAURANT:	12,500 S.F. +/- (300 SEATS)
MEETING SPACE:	9,850 S.F. +/-
BUILDING AREA OVERALL SITE:	
TRANSIENT HOUSING:	115,171 S.F. +/- (198 ROOMS)
GENERAL RETAIL:	32,600 S.F. +/-
RESTAURANT:	12,500 S.F. +/- (300 SEATS)
GENERAL OFFICE:	7,500 S.F. +/-
MEETING SPACE:	9,850 S.F. +/-
TOTAL:	174,741 S.F. +/-
PARKING SUMMARY PHASE I:	
HOTEL/MOTEL:	1SP PER UNIT = 99 SPACES
CONFERENCE:	1SP PER 4 PERSON = 38 SP +/-
RESTAURANT:	1 SP PER 4 SEATS = 98 SPACES
TOTAL REQUIRED:	235 SPACES
PARKING SUMMARY OVERALL SITE:	
HOTEL/MOTEL:	1SP PER UNIT = 198 SPACES
CONFERENCE:	1SP PER 4 PERSON = 38 SP +/-
GENERAL RETAIL:	1SP PER 250 SF = 131 SPACES
RESTAURANT:	1SP PER 4 SEATS = 98 SPACES
GENERAL OFFICE:	1SP PER 300 SF = 25 SPACES
TOTAL REQUIRED:	490 SPACES
PARKING PROVIDED:	315 SPACES (INC. 12 ADA)
HANDICAP REQUIRED:	8 SPACES
HANDICAP PROVIDED:	12 SPACES
NOTE:	WITH MULTIPLE USES PROPOSED THE DEVELOPMENT WILL BE SEEKING A PARKING ADJUSTMENT FROM THE PLANNING COMMISSION UNDER THE REGULATIONS PROVIDED UNDER ARTICLE 11.05 "ADJUSTMENT FOR MIXED USE DEVELOPMENTS" OF THE ZONING ORDINANCE.
FLOOR AREA RATIO'S F.F.:	
F.A.R. ALLOWED'S F.F.:	1.0
F.A.R. PROVIDED'S F.F.:	0.49
PROPOSED BUILDING COVERAGE:	25.5%
DISTURBED AREA (S.F.):	= 378,295 S.F. +/-



REVISIONS

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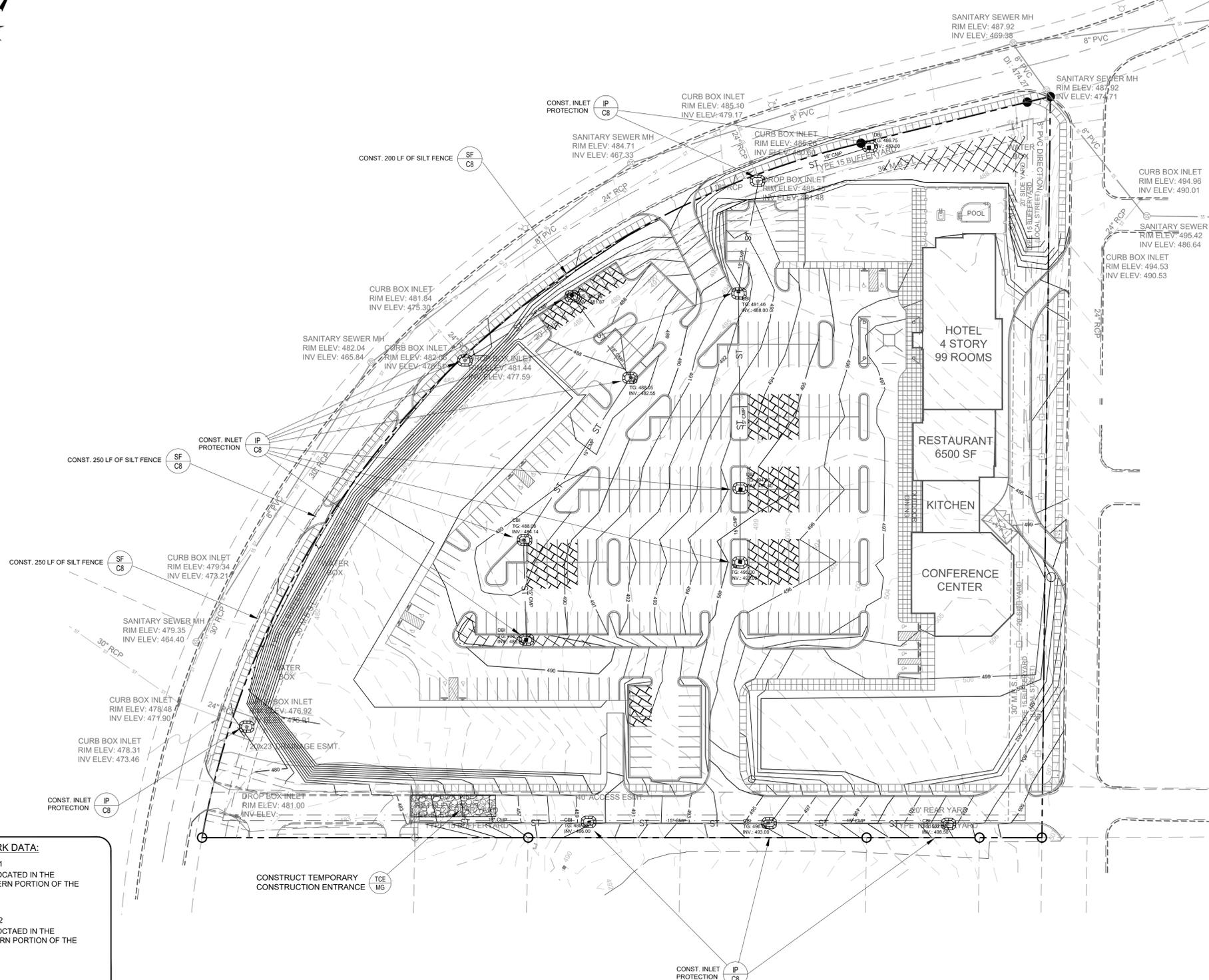


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PROPOSED SITE
LAYOUT PLAN
PHASE I





GENERAL NOTES

1. ALL MEASURES INSTALLED FOR SEDIMENT CONTROL SHALL BE CHECKED AT THE BEGINNING AND END OF EACH DAY WHEN CONSTRUCTION IS OCCURRING TO ASCERTAIN THAT THE MEASURES ARE IN PLACE AND FUNCTIONING PROPERLY. ANY DAMAGE OBSERVED WILL BE REPAIRED BY THE END OF THAT WORKING DAY. MEASURES SHALL BE MAINTAINED UNTIL THE ARCHITECT/ENGINEER DETERMINES THAT THEY ARE NO LONGER NEEDED.
2. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE STANDARDS OF THE CITY/COUNTY AND AS REQUIRED BY STATE AND FEDERAL LAWS.
3. A COPY OF THE APPROVED EPSC (EROSION PREVENTION SEDIMENT CONTROL) PLANS SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES. THIS COPY SHALL BE PRESENTED TO THE CITY/COUNTY REPRESENTATIVES UPON REQUEST.
4. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN ANY AREA NOT ON THE APPROVED EPSC PLAN, THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EPSC PLAN TO THE CITY/COUNTY FOR APPROVAL.
5. ALL EPSC MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING AND GRADING. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY/COUNTY. DURING DEWATERING OPERATIONS WATER MUST BE PUMPED THROUGH AN APPROVED FILTERING DEVICE. THE CITY/COUNTY MAY SUSPEND DEWATERING OPERATIONS IF POLLUTION IS OBSERVED.
6. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES AT LEAST ONCE A WEEK AND AT LEAST ONCE A DAY DURING RAINFALL EVENTS. THE CONTRACTOR SHALL PERFORM ANY REPAIRS OR MAINTENANCE IMMEDIATELY IN ORDER TO ENSURE EFFECTIVE EROSION AND SEDIMENT CONTROL. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AT THE PROJECT SITE. THIS RECORD SHALL BE MADE AVAILABLE UPON REQUEST TO THE CITY/COUNTY.
7. ALL AREAS DISTURBED SHALL BE STABILIZED ACCORDINGLY. WHEN THE SITE IS BROUGHT TO FINAL GRADE IT MUST BE STABILIZED WITHIN 14 DAYS. DISTURBED AREAS NOT AT FINAL GRADE MUST BE STABILIZED WITHIN 21 DAYS.

SEED AND SOD NOTES

1. ALL DISTURBED AREAS INCLUDING WASTE AREAS TO BE SEEDED OR SODDED (IF NOT NOTED TO BE RIP-RAPPED, OR HARD SURFACED). THE AREA NOTED ON THE PLAN TO BE SEEDED SHALL BE SPREAD WITH 4" MINIMUM OF TOPSOIL. ALL AREAS TO BE DISKED, LEVELED, AND HAND RAKED. THE TOPSOIL LAYER SHALL BRING ALL TURF AREAS TO FINISH GRADE. SURFACE AREA SHALL BE ROLLED TO REMOVE LUMPS. FOREIGN MATERIALS SUCH AS ROCKS, LIMBS, STICKS, ETC. TO BE COLLECTED AND REMOVED DURING CULTIVATION AND RAKING OPERATIONS.
2. INSTALLATION OF SEED SHALL BE BETWEEN MARCH 1 TO JUNE 15 OR SEPTEMBER 1 TO OCTOBER 15. IF SEEDING IS DONE IN BETWEEN OCTOBER 15 AND MARCH 1, A SEED BLEND WILL BE USED CONSISTING OF 20% ANNUAL RYE.
3. GRASS SEED SHALL BE A TYPE WHICH WILL THRIVE IN THIS PROJECT AREA. SUBMIT PROPOSED SEED MIXTURE TO 10-10-10 TYPE 1 GRADE. USE APPROXIMATELY 5 LBS. OF GRASS SEED, 10 LBS. OF FERTILIZER FOR EACH 1000 SQ. FT. OF GROUND AREA TO BE SEEDED. COVER ALL SEEDED AREAS WITH 3 BALES OF WHEAT STRAW FOR EACH 1000 SQ. FT. WATER DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS. AFTER SEED HAS GERMINATED, ALL THIN SPOTS SHALL BE RE-SEEDED.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. A MINIMUM OF 90% COVERAGE OF SOUND, HEALTHY GRASS SHALL BE REQUIRED FOR ACCEPTANCE.
5. EMBANKMENTS/SLOPES GREATER THAN 3:1 SHALL BE EITHER SEEDED AND COVERED WITH AN EROSION CONTROL MAT (JUTE MESH ENKAMAT) OR INSTALLED WITH SOD FOR PROPER STABILIZATION. SOD TO BE STAKED WITH EITHER WOOD STAKES OR U-SHAPED METAL PINS FLUSH WITH GRADE.
6. SOD SHALL BE REGIONALLY GROWN AND OF A SPECIES THAT WILL THRIVE IN THE PROJECT AREA.
7. HYDROSEED ALL NEW LAWN AREAS AS SPECIFIED UNLESS PLANS CALL FOR SOD.
8. MIX SEED, FERTILIZER AND PULVERIZED MULCH WITH WATER USING EQUIPMENT SPECIFICALLY DESIGNED FOR HYDROSEED APPLICATION.
9. APPLY SLURRY UNIFORMLY TO ALL AREAS BEING SEEDED. RATE OF APPLICATION AS REQUIRED TO OBTAIN SPECIFIED SEED SOWING RATE.
10. THE SOD SHALL BE RELATIVELY FREE OF DISEASES AND WEEDS. STONES LARGER THAN 1 1/2" IN ANY DIMENSION, PLANT ROOTS AND OTHER MATERIAL DETRIMENTAL TO A HEALTHY STAND OF TURF SHOULD BE REMOVED. DELIVERED SOD THAT HAS BECOME DRY, MOLDY OR YELLOW FROM HEATING, OR HAS IRREGULARLY SHAPED PIECES THAT ARE TORN OR HAVE UNEVEN ENDS SHALL BE REJECTED.
11. THE SOD BED WILL BE LOOSENEED TO A DEPTH OF 3" TO A SMOOTH, EVEN SURFACE AND SHALL BE GRADED TO SUCH AN ELEVATION SO THE SOD, WHEN IN PLACE, SHALL BE FLUSH WITH ANY ADJACENT SEEDED TURFED AREA, PAVEMENT, CURB OR OTHER STRUCTURES EXCEPT WHEN OTHERWISE NOTED.
12. LAY SOD WITHIN 24 HOURS OF STRIPPING. DO NOT LAY DORMANT SOD OR IF GROUND IS FROZEN, LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. DO NOT OVERLAP.
13. WATER SOD WITH FINE SPRAY IMMEDIATELY AFTER PLANTING. DURING FIRST WEEK, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO DEPTH OF 4 INCHES.
14. PRIOR TO PLACING THE SOD, FERTILIZER 10-10-10 TYPE 1 GRADE SHALL BE APPLIED UNIFORMLY. SOD SECTIONS SHALL BE HARROWED, RAKED OR OTHERWISE INCORPORATED INTO THE SOIL. THE SOIL BED, WHEN DRY, SHALL BE MOISTENED TO THE LOOSENEED DEPTH.
15. SOD SHALL BE WETTED THOROUGHLY, ROLLED AND TAMPED SUFFICIENTLY TO INCORPORATE THE ROOTS INTO THE SOD BED AND TO ENSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS.
16. ALL SODDED AREAS SHALL BE MAINTAINED, WATERED AND REPAIRED AS NECESSARY BY THE LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE PROJECT.
17. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL SEEDED OR SODDED AREAS FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR ACTS OF NATURE THAT MAY CAUSE EROSION, NEGLIGENCE BY THE OWNER OR DAMAGED BY ANIMALS OR MACHINES.

CONSTRUCTION LEGEND

- TEMPORARY CONSTRUCTION ENTRANCE
- INLET PROTECTION

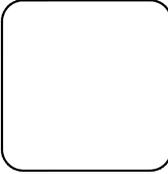
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C4.1
INTERM EROSION
CONTROL PLAN

BENCHMARK DATA:
 BENCHMARK 1
 3/8" IRON PIN LOCATED IN THE SOUTHWESTERN PORTION OF THE PROPERTY. ELEV: 505.55
 BENCHMARK 2
 3/8" IRON PIN LOCATED IN THE SOUTHEASTERN PORTION OF THE PROPERTY. ELEV: 479.52



SEWER NOTES

- PVC PIPE MATERIAL AND JOINTS SHALL CONFORM TO ASTM D-3034, LATEST REVISION.
- FLEXIBLE THERMOPLASTIC SEWER PIPE INSTALLATION SHALL CONFORM TO ASTM D-2241, LATEST REVISION.
- ALL SEWER LINES SHALL BE LAID 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN EXCEPT WHERE THE WATER MAIN CROSSES OVER THE SANITARY SEWER LINE.
- ALL PIPELINE TRENCHING AND STRUCTURE EXCAVATION SHALL BE UNCLASSIFIED.
- SANITARY SEWER PIPE SHALL HAVE A MINIMUM COVER OF THIRTY-SIX INCHES.
- ALL SEWERS SHALL BE SMOKE TESTED AND/OR LOW PRESSURE AIR TESTED. A DEFLECTION TEST SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACK FILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 96% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- SUBGRADE AND BACK FILL FOR SEWERS LOCATED IN FILL AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% OF DENSITY DETERMINED FROM THE STANDARD PROCTOR TEST.
- SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.

CONST. 328 L.F. OF 6" CL200 PVC WATER MAIN. CONST. BENDS W/ THRUST BLOCKS NECESSARY TO INSTALL WATER MAIN AS SHOWN.
***COORDINATE CONNECTION TO EXIST. MAIN W/CITY OF GALLATIN UTILITY DEPT.**

GENERAL NOTES

- THE CONTRACTOR IS ADVISED THAT ALL EXISTING UTILITIES SHOWN WERE FIELD SURVEYED BASED ON LOCATIONS PROVIDED BY EACH UTILITY COMPANY. OTHER UTILITIES MAY EXIST THAT ARE UNMAPPED. THE CONTRACTOR IS ADVISED TO FIELD VERIFY ALL UNDERGROUND UTILITIES BY CONTACTING THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO EXCAVATION.
- ALL UTILITIES TO BE CONSTRUCTED TO WITHIN 5' OF BUILDING.
- BACK FILL OF ALL TRENCHES BENEATH STRUCTURES AND/OR PAVEMENT SHALL BE CRUSHED STONE OR SIMILAR MATERIAL AS APPROVED BY ENGINEER.
- CONTRACTORS ARE ADVISED TO COORDINATE INSTALLATION OF ALL BURIED CONDUITS AND LINES SUCH THAT LINES WHICH CROSS ARE LAID BEGINNING WITH DEEPEST LINE FIRST.
- DEPTH OF WATERLINE SHALL BE ADJUSTED AS REQUIRED TO ALLOW FOR SPECIFIED PLACEMENT OF SANITARY AND STORM SEWERS, BUT IN NO CASE LESS THAN 48 INCHES.
- TAPPING AND INSPECTION FEES TO BE PAID BY CONTRACTOR, METER FEES TO BE PAID BY OWNER.
- CONTRACTOR SHALL COORDINATE WATER AND SEWER SERVICES CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY.
- ALL TRENCHING, PIPE LAYING AND BACK FILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- CONTRACTOR SHALL OBTAIN APPROVAL FROM ALL GOVERNING AGENCIES HAVING JURISDICTION OF UTILITY SYSTEMS PRIOR TO INSTALLATION.
- ALL GATE VALVES SHALL BE PROVIDED WITH VALVE BOX IN ACCORDANCE WITH WATER UTILITY STANDARDS. MAIN WATER VALVES ONLY TO BE OPERATED BY LOCAL UTILITY COMPANY PERSONNEL.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES AND FIRE HYDRANTS AND SHALL BE CONSTRUCTED ACCORDING TO WATER DEPARTMENT STANDARDS.
- ALL WATER AND SANITARY SEWER SERVICE LINES TO THE BUILDING(S) SHALL BE PROVIDED WITH A TEMPORARY PLUG (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY), COORDINATE ALL TESTING AND INSPECTION WITH THE LOCAL UTILITY COMPANY.
- THE CONTRACTOR SHALL FLUSH AND TEST ALL NEW UTILITY LINES ACCORDING TO THE LOCAL UTILITY COMPANY STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND ELEVATIONS OF EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS DISCOVERED AFTER CONSTRUCTION HAS BEGUN SHALL BE CORRECTED AT CONTRACTOR'S EXPENSE.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES IS TEN FEET OUTSIDE DIAMETER TO OUTSIDE DIAMETER. THE MINIMUM VERTICAL SEPARATION IS EIGHTEEN INCHES.
- BEFORE YOU DIG:
CONTRACTOR SHALL NOTIFY 811 48 HOURS PRIOR TO EXCAVATION TO LOCATE AND FLAG ALL UNDERGROUND UTILITIES WITHIN THE PROPOSED SITE.
- CONTRACTOR SHALL VERIFY LOCATIONS THAT UTILITIES ENTER THE BUILDING FROM THE ARCHITECTURAL PLANS PRIOR TO INSTALLING UTILITY SERVICE LINE.

CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEPTIC, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURES REQUIRED BY UTILITY COMPANY

CONSTRUCTION LEGEND

- CO C8 - 2-WAY CLEAN OUT
- FH C8 - FIRE HYDRANT ASSEMBLY
- MH C8 - SANITARY SEWER MANHOLE
- GT C8 - GREASE TRAP

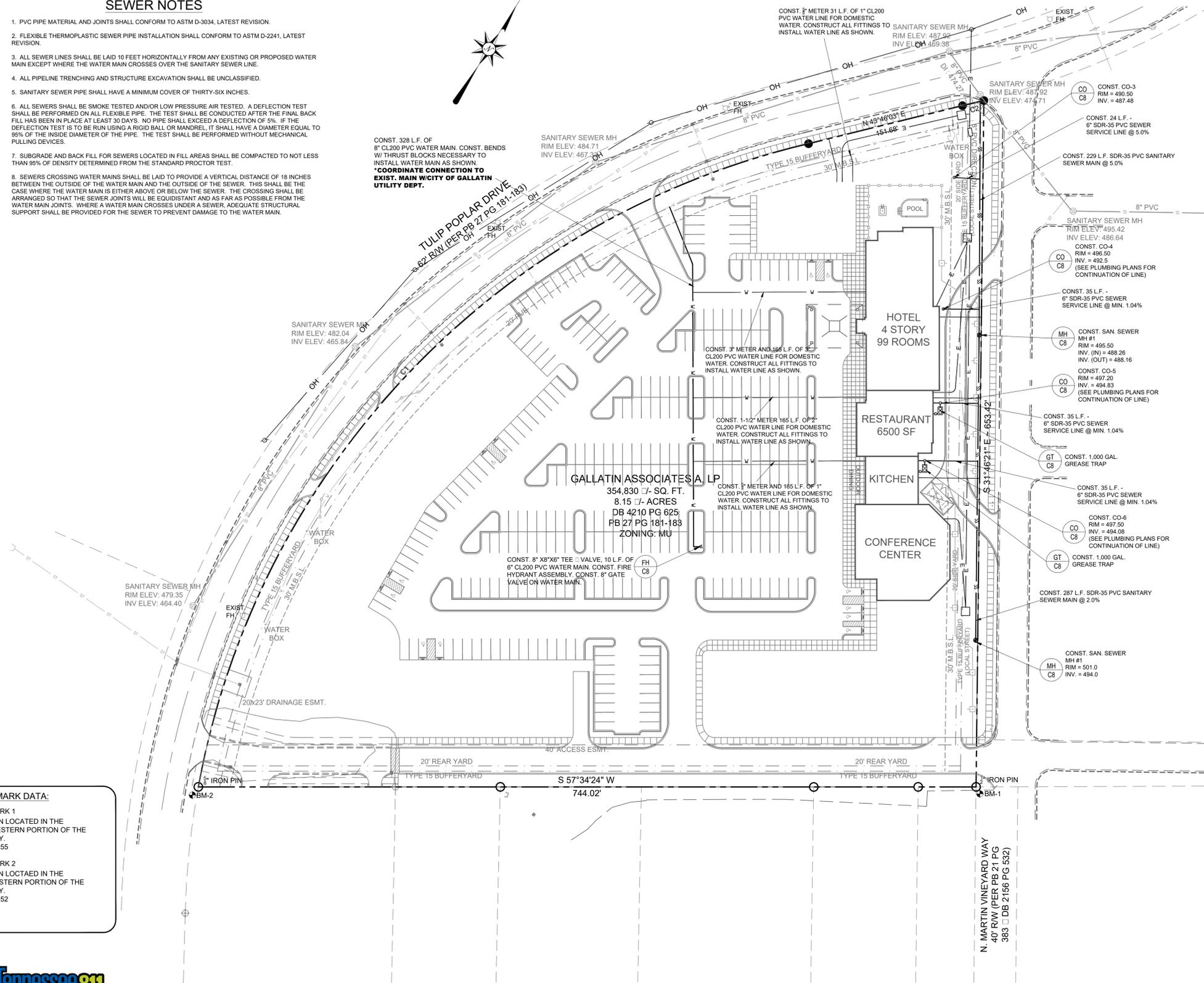
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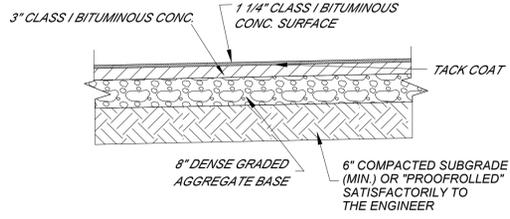
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 WATER □
 SEWER

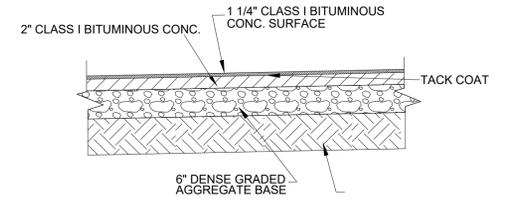


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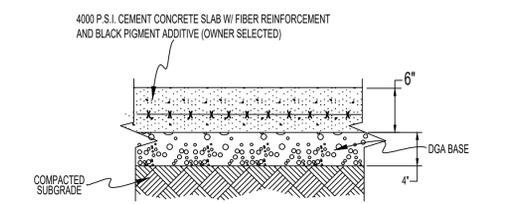
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HEAVY DUTY BITUMINOUS PAVEMENT
N.T.S. (HDBP C7)

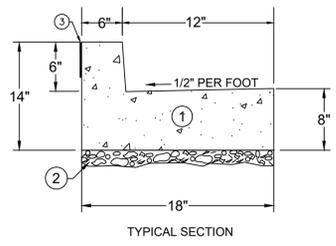


LIGHT DUTY BITUMINOUS PAVEMENT
N.T.S. (LDBP C7)

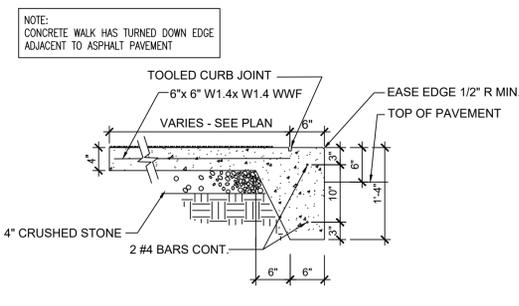


CONCRETE PAVEMENT
N.T.S. (CP C7)

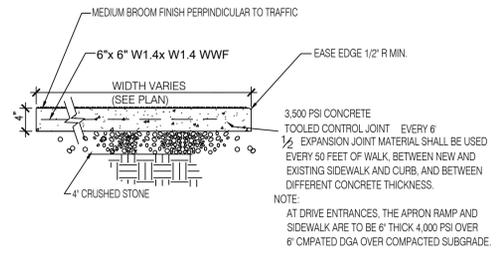
- NOTES**
- ALL CONCRETE SHALL BE 3500 PSI CONCRETE. EXPANSION JOINT ARE REQUIRED AT A MINIMUM OF 50' INTERVALS. CONTRACTION JOINTS ARE REQUIRED OF A MINIMUM OF 10' INTERVALS.
 - 3-1/2" MINIMUM LIFT OF COMPACTED CRUSHED STONE BASE
 - EXPANSION JOINT SHALL BE USED WHEN SIDEWALK/DRIVE ENTRANCE IS FLUSH TO BACK OF CURB.



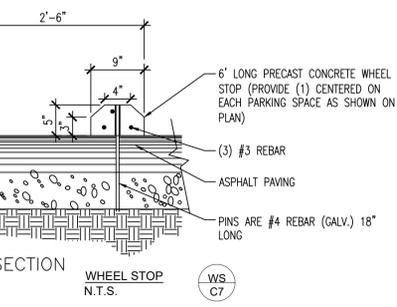
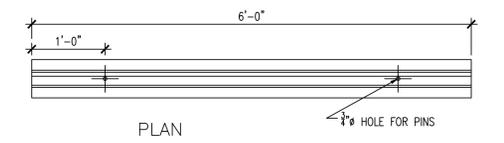
STANDARD CURB & GUTTER
N.T.S. (SC C7)



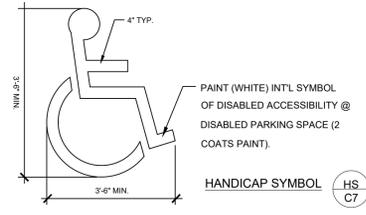
SIDEWALK WITH TURN DOWN EDGE
N.T.S. (SWTE C7)



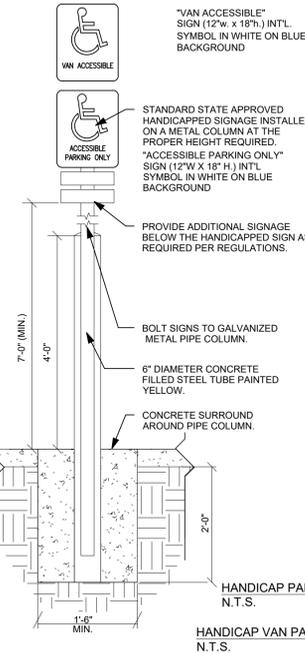
STANDARD SIDEWALK
N.T.S. (SW C7)



WHEEL STOP
N.T.S. (WS C7)

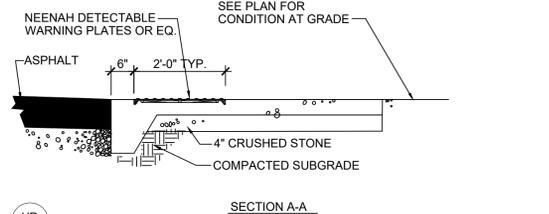
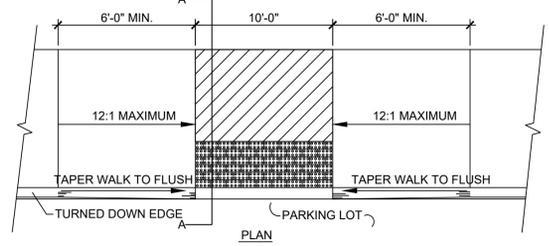


HANDICAP SYMBOL
N.T.S. (HS C7)

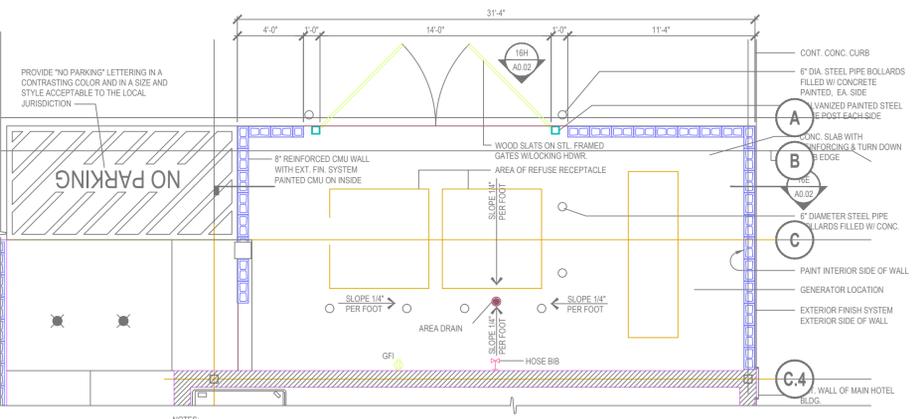
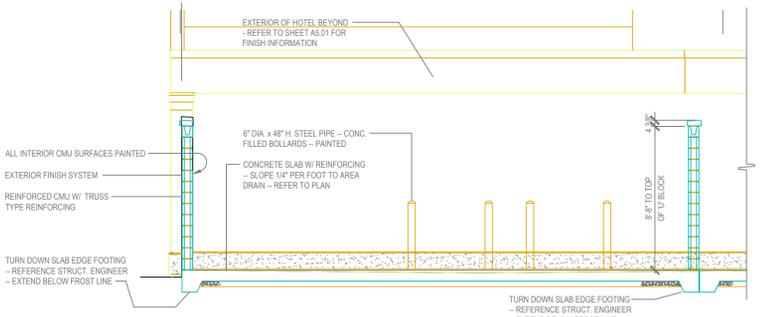
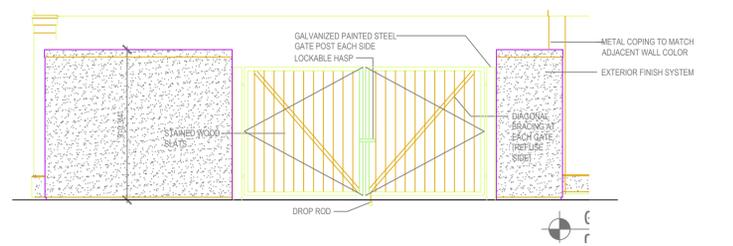


HANDICAP PARKING SIGN
N.T.S. (HPS C7)
HANDICAP VAN PARKING SIGN
N.T.S. (HVPS C7)

- DETECTABLE WARNING PLATE NOTES:**
- REFER TO PLAN FOR LOCATIONS AND CONDITION OF TACTILE SURFACE.
 - REFER TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
 - KEEP WET CONCRETE OFF THE TOP SURFACE OF THE PLATES AT ALL TIMES.
 - USE RADIUS PLATE SECTIONS FOR CURVES.
 - COLOR TO BE BRICK RED



HANDICAP RAMP
N.T.S. (HR C7)

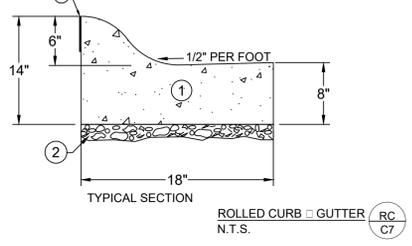


- NOTES**
- VERIFY DRAINAGE REQUIREMENTS WITH ALL LOCAL APPLICABLE CODES.
 - REFUSE ENCLOSURE EXTERIOR FINISH TO MATCH FINISH OF MAIN HOTEL / TOWER
 - ADDITIONAL SPACE MAY BE NEEDED FOR RECYCLING. DESIGNER TO COORDINATE REQUIREMENTS WITH LOCAL SERVICE

DUMPSTER ENCLOSURE
N.T.S. (DE C7)

NOTES

- ALL CONCRETE SHALL BE 3500 PSI CONCRETE. EXPANSION JOINT ARE REQUIRED AT A MINIMUM OF 50' INTERVALS. CONTRACTION JOINTS ARE REQUIRED OF A MINIMUM OF 10' INTERVALS.
- 3-1/2" MINIMUM LIFT OF COMPACTED CRUSHED STONE BASE
- EXPANSION JOINT SHALL BE USED WHEN SIDEWALK/DRIVE ENTRANCE IS FLUSH TO BACK OF CURB.



ROLLED CURB & GUTTER
N.T.S. (RC C7)

REVISIONS

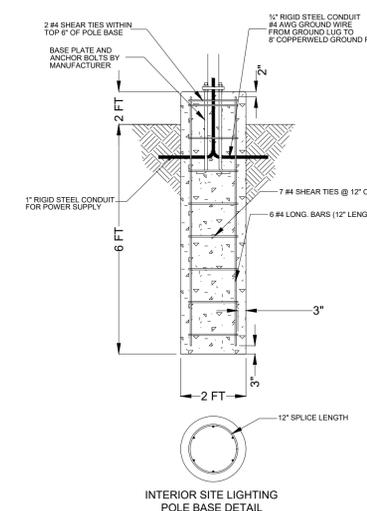
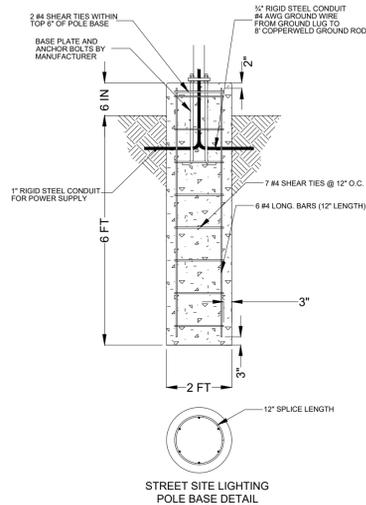
FINAL MASTER DEVELOPMENT PLAN
BAKERS CROSSING PHASE I
THE FORZA GROUP
TULIP POPLAR DRIVE
GALLATIN, TN 37066



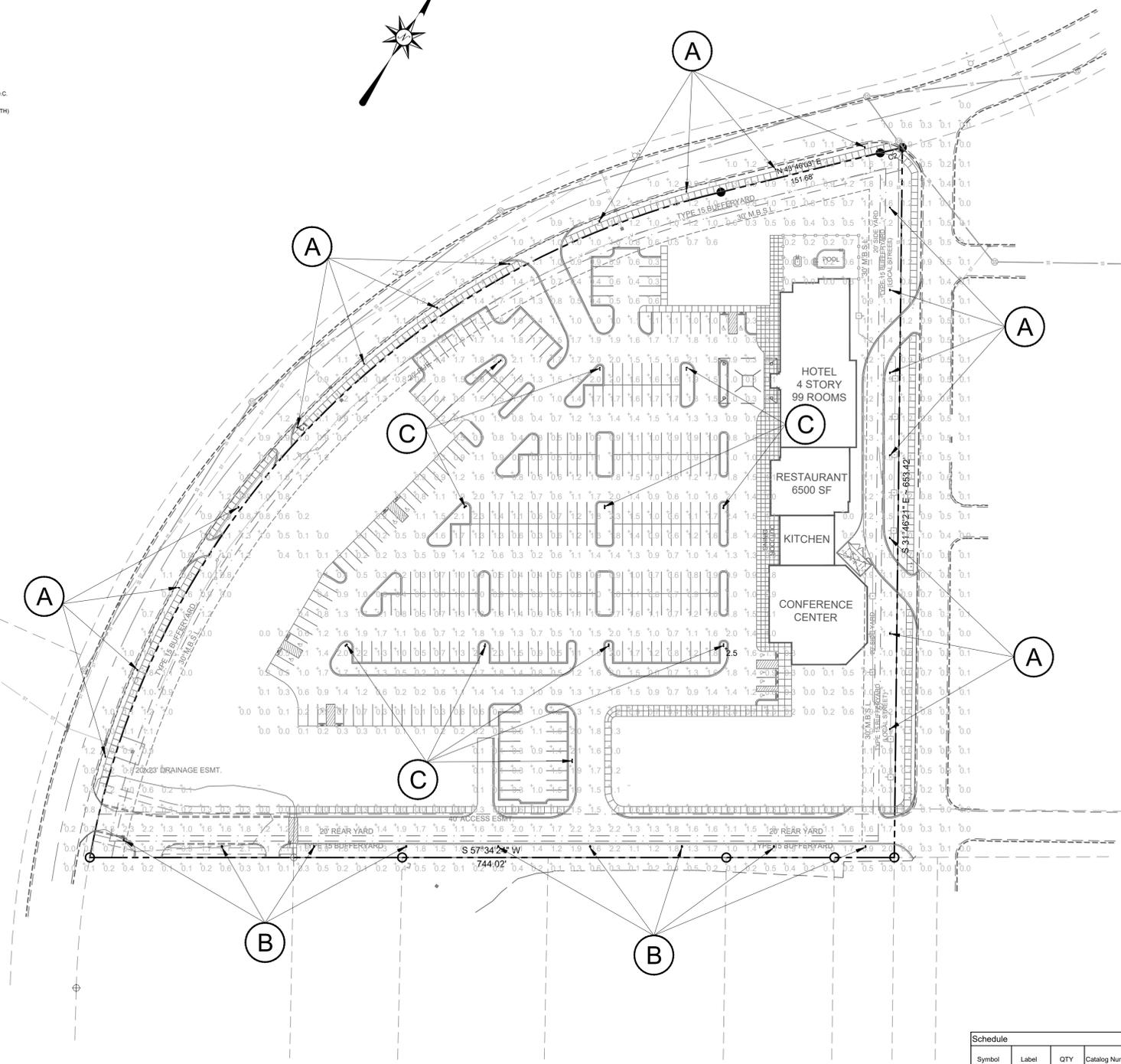
ACES
ARNOLD CONSULTING
ENGINEERING SERVICES, INC.
P.O. BOX 1336
BOWLING GREEN, KY 42101
PHONE (270) 780-9445

JOB NUMBER: L6156
DATE: 08/15/2016
SCALE: N.T.S.
DRAWN: D. WHITLEY
CHECKED: J. ARNOLD
FILE PATH:
Z:\SITE\DEV\CT-DETAILS

C7
DETAILS



- NOTES:
1. READINGS SHOWN ARE IN UNITS OF MAINTAIN FOOTCANDLES.
 2. VARIOUS LIGHTING FIXTURES USED IN MODEL (SEE SCHEDULE THIS SHEET □ MECHANICAL PLANS FOR FURTHER DETAILS).
 3. FIXTURES SHALL MATCH AS NOTED OR EQUIVALENT PER OWNER.
 4. A MOUNTING HEIGHT: 20'
 5. B MOUNTING HEIGHT: 20'
 6. C MOUNTING HEIGHT: 25'
 5. READINGS TAKEN AT GRADE
 6. SEE MECHANICAL/ELECTRICAL PLANS FOR EXACT LOCATION OF BUILDING MOUNTED FIXTURES AND WALL PACKS
 7. FIXTURE SPACING AS SHOWN
 8. L.L.F. CALCULATED AT 0.72
 9. THE CONTRACTOR SHALL VERIFY TOTAL LINEAR FEET OF CONDUIT AND WIRE GAUGE SIZE IS ADEQUATE
 10. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE WITH MECHANICAL ENGINEER TO ENSURE ELECTRICAL PANEL LOADING REQUIREMENTS ARE MET AND NOT EXCEEDED.
 11. CONTRACTOR SHALL COORDINATE WITH MECHANICAL PLANS FOR CONNECTION TO ELECTRICAL SERVICE PANEL.
 12. CONTRACTOR SHALL VERIFY THAT ALL ELECTRICAL CONNECTIONS MEET LOCAL BUILDING CODES AND LOADING REQUIREMENTS.
 13. ANY DISCREPANCIES BETWEEN ARCHITECTURAL, MECHANICAL, AND SITE LIGHTING PLANS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION FOR REVIEW.



BOUNDARY CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	772.33'	895.26'	845.98'	N 11°12'15" E	66°24'56"
C2	808.31'	21.01'	21.01'	N 44°11'45" E	1°29'22"

Power Statistics

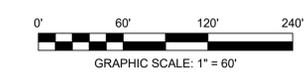
Description	# Luminaires	Total Watts	Area	Density
Power Density Zone # 1	39	7041.0 W	354604.8 ft²	0.0 W/ft²

Power Statistics

Description	# Luminaires	Total Watts	Area	Density
Power Density Zone # 1	39	7041.0 W	354604.8 ft²	0.0 W/ft²

Schedule

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
⊙	A	19	MRP LED 42C 1000 50K SR5 MVOLT	MRP-POST TOP LIGHT 42 LEDs 1000 mA DRIVE CURRENT 50K COLOR TEMP TYPE 5 DISTRIBUTION	HLM LIGHT ENGINE	1	10518	0.72	153
⊙	B	9	MRP LED 42C 700 40K SR2 MVOLT	MRP-POST TOP LIGHT 42 LEDs 700 mA DRIVE CURRENT 40K COLOR TEMP TYPE 2 DISTRIBUTION	HLM LIGHT ENGINE	1	8026	0.72	100
□	C	11	MRT2 LED 2 308700/40K MVOLT FT	MRT2 WITH 2 LIGHT ENGINES, 700mA DRIVER, 4000K LEDs, FT OPTIC	LED	1	11230	0.72	294



BENCHMARK DATA:

- BENCHMARK 1
1/2" IRON PIN LOCATED IN THE SOUTHWESTERN PORTION OF THE PROPERTY.
ELEV: 505.55
- BENCHMARK 2
3/8" IRON PIN LOCATED IN THE SOUTHEASTERN PORTION OF THE PROPERTY.
ELEV: 479.52



REVISIONS

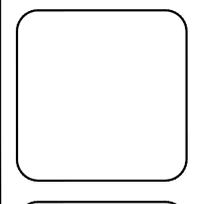
**FINAL MASTER DEVELOPMENT PLAN
BAKERS CROSSING PHASE I**

THE FORZA GROUP
TULIP POPLAR DRIVE
GALLATIN, TN 37066



ACES
ARNOLD CONSULTING
ENGINEERING SERVICES, INC.
P.O. BOX 1338
BOWLING GREEN, KY 42101
PHONE (270) 780-9445

JOB NUMBER: L6156
DATE: 08/15/2016
SCALE: 1" = 60'
DRAWN: J. HOGUE
CHECKED: J. ARNOLD
FILE PATH:
Z:\SITE\DEV\SITE LIGHTING



SL1
SITE LIGHTING

MRT2 LED LED Area Luminaire



Specifications

EPA: 0.9 ft² (0.08 m²)
 Length: 32.78" (831 mm)
 Width: 25" (635 mm)
 Height: 8.14" (207 mm)
 Weight (max): 42 lbs (19.1 kg)

Introduction

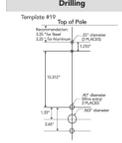
The Omara™ family of luminaires blends a traditional round dayform with contemporary, low-profile styling to accent architectural elements in a variety of applications.

The MRT2 LED combines the latest in LED technology with the designer aesthetic of the Omara™ family for stylish, high-performance illumination that lasts. The MRT2 LED is ideal for replacing 250-400W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: MRT2 LED 60C 700 40K T3M MVOLT RPA DDBXD

Series	LED	Wattage	Color	Temp	Beam	Mount	Finish	Options	Notes
MRT2 LED	60C	60 LED	700 mA	40K	400K	T3M	Spa	SP1	Shipped installed

Drilling



Accessories

81337 L18	Mount - 18 inch x 18 inch
81337 L18-18	Mount - 18 inch x 18 inch
81337 L18-18-18	Mount - 18 inch x 18 inch
81337 L18-18-18-18	Mount - 18 inch x 18 inch

Notes

- MRT2 does not operate at any voltage from 120-277V/50/60 Hz. Supply 120, 208, 240 or 277V only when ordering with SP1.
- Shipped with 18" x 18" x 18" mounting hardware. For other mounting hardware, specify the part number in the options field.
- Shipped with 18" x 18" x 18" mounting hardware. For other mounting hardware, specify the part number in the options field.
- Shipped with 18" x 18" x 18" mounting hardware. For other mounting hardware, specify the part number in the options field.

Shipping Information

Shipped installed: DDBXD Dark bronze, DDBLD Black, DDBWD Natural, DDBWH White, DDBWU Unfinished, DDBWV Venetian, DDBWY Yellow, DDBWZ Zinc, DDBW1 White, DDBW2 White, DDBW3 White, DDBW4 White, DDBW5 White, DDBW6 White, DDBW7 White, DDBW8 White, DDBW9 White, DDBW10 White, DDBW11 White, DDBW12 White, DDBW13 White, DDBW14 White, DDBW15 White, DDBW16 White, DDBW17 White, DDBW18 White, DDBW19 White, DDBW20 White.

MRP LED LED Area Luminaire



Specifications

EPA: 1.125 ft² (0.10 m²)
 Luminaire Height: 6.38" (163 mm)
 Overall Height: 32" (813 mm)
 Diameter: 18" (457 mm)
 Weight (max): 37.5 lbs (17.0 kg)

Introduction

The Omara™ family of luminaires blends a traditional round dayform with contemporary, low-profile styling to accent architectural elements in a variety of applications.

The MRP LED combines the latest in LED technology with the designer aesthetic of the Omara™ family for stylish, high-performance illumination that lasts. The MRP LED is ideal for replacing 100-250W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: MRP LED 42C 700 40K SRS MVOLT DDBXD

Series	LED	Wattage	Color	Temp	Beam	Mount	Finish	Options	Notes
MRP LED	42C	42 LED	700 mA	40K	400K	SRS	Spa	SP1	Shipped installed

Shipping Information

Shipped installed: DDBXD Dark bronze, DDBLD Black, DDBWD Natural, DDBWH White, DDBWU Unfinished, DDBWV Venetian, DDBWY Yellow, DDBWZ Zinc, DDBW1 White, DDBW2 White, DDBW3 White, DDBW4 White, DDBW5 White, DDBW6 White, DDBW7 White, DDBW8 White, DDBW9 White, DDBW10 White, DDBW11 White, DDBW12 White, DDBW13 White, DDBW14 White, DDBW15 White, DDBW16 White, DDBW17 White, DDBW18 White, DDBW19 White, DDBW20 White.

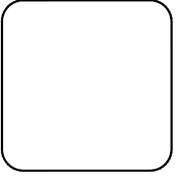
REVISIONS

FINAL MASTER DEVELOPMENT PLAN
BAKERS CROSSING PHASE I
 THE FORZA GROUP
 TULIP POPLAR DRIVE
 GALLATIN, TN 37066



ACES
 ARNOLD CONSULTING
 ENGINEERING SERVICES, INC.
 P.O. BOX 1336
 BOWLING GREEN, KY 42101
 PHONE (270) 780-9445

JOB NUMBER: L6156
 DATE: 08/15/2016
 SCALE: 1" = 60'
 DRAWN: J. HOGUE
 CHECKED: J. ARNOLD
 FILE PATH:
 Z:\SITE\VISITE LIGHTING



SL2
 SITE LIGHTING DETAILS

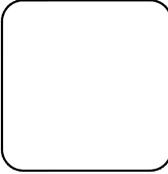
REVISIONS

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 THE FORZA GROUP
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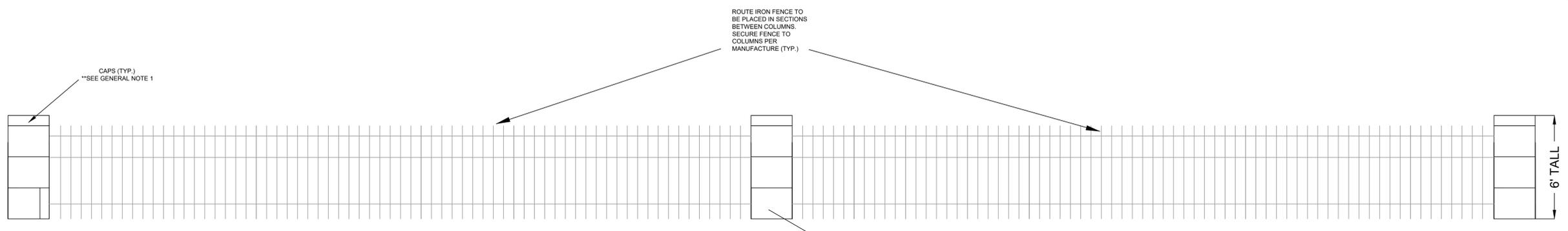


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 ENGINEERING SERVICES, INC.
 P.O. BOX 1336
 BOWLING GREEN, KY 42101
 PHONE (270) 780-9445

JOB NUMBER: L6156
 DATE: 08/15/2016
 SCALE: 1" = 50'
 DRAWN: D. WHITLEY
 CHECKED: J. ARNOLD
 FILE PATH:
 Z:\SITE\DEV\SCREENING FENCE



SCREENING
 FENCE DETAILS



- GENERAL NOTES:**
1. SECURE ALL CAPS TO COLUMN BLOCKS WITH ONE-COMPONENT, HIGHLY FLEXIBLE, NON-PRIMING, GUN GRADE, HIGH PERFORMANCE ELASTOMERIC POLYURETHANE SEALANT SHALL HAVE MOVEMENT OF PLUS OR MINUS 25% PER ASTM C719, TENSILE STRENGTH GREATER THAN 200 PSI (1.4 MPA) PER ASTM D412, AND ADHESION TO PEEL ON CONCRETE GREATER THAN 20 PLI PER ASTM C794. APPLY SEALANT IN ONE AND ONE HALF-INCH (1.5") (38 MM) DIAMETER ROUND "HERSEY KISS" SHAPED DOLLOPS LOCATED IN TWO ROWS AT THE TOP OF THE BLOCKS AT 8" (203 MM) ON CENTER.
 2. ALL COLUMNS TO HAVE #8 REBAR PLACED THROUGH CENTER AND FILLED WITH NON-SHRINK GROUT.
 3. INSTALL REDI ROCK COLUMNS PER MANUFACTURES INSTRUCTIONS
 4. CONTRACTOR MAY SUBSTITUTE REDI ROCK WITH EQUIVALENT SUBSTITUTE PER ENGINEERS APPROVAL.

COLUMN - 8" (203mm) CORE	COLUMN - 4" (102mm) CORE
Block Weight: 730 lb (330 kg) Block Volume: 5.1 ft ³ (0.14 m ³)	Block Weight: 810 lb (370 kg) Block Volume: 5.6 ft ³ (0.16 m ³)
COLUMN - SOLID CORE	COLUMN CAP
Block Weight: 825 lb (375 kg) Block Volume: 5.8 ft ³ (0.16 m ³)	Block Weight: 390 lb (180 kg) Block Volume: 2.7 ft ³ (0.08 m ³)

1. Units for dimensions are inches (mm), typical unless noted otherwise.
 2. Confirm block production with licensed Redi-Rock manufacturer.
 3. Actual block volumes and weights may vary.
 4. Weights are based upon a concrete density of 143 lb/ft³ (2291 kg/m³).
 5. Weight and volume ranges represents the blocks with the maximum hole size shown and with no hole.
 6. Optional fence rail pockets available upon request. Typical pocket size is: 2 (50) wide x 5 (130) deep x 9 (230) tall.

Drawn by: BWL
 Approved by: JRJ
 Date: 3/JUN/2015
 Sheet: 2 of 2

Block Library
 ACCESSORIES (CAP AND STEP BLOCKS)

REDI-ROCK
 05481 US 31 SOUTH, CHARLEVIOUX, MI 48720
 (800) 222-0400 ext 3010 • engineering@redi-rock.com
 www.redi-rock.com



IMAGE IS FOR VISUALIZATION PURPOSES ONLY
 FINAL DESIGN SHALL MATCH AND BE
 COORDINATED WITH FINAL BUILDING MATERIALS
 AND OWNER IN FIELD



PROPOSED INTERIOR PLAZA ELEVATION

SCALE: 1/32" = 1'-0"



PROPOSED INTERIOR PLAZA ELEVATION

A 36 INCH STACKED

B 24 INCH LINEAR

Partner with the best.



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CLIENT: **Hilton Garden Inn**
 ADDRESS: GALLATIN, TN 37066
 PAGE NO.: 1

TICKET NO.: N/A
 DATE: 05/19/16
 PROJECT MANAGER: SEAN WESTPHAL
 DESIGNER: KW
 ELECTRONIC FILE NAME: HILTON\HILTON GARDEN INN\2016\TN\HGI - GALLATIN

REVISION HISTORY:

08/26/16 AF	revised to 36" set

CLIENT SIGNATURE: _____
 APPROVAL DATE: _____



Corporate Office:
 8959 Tyler Boulevard
 Mentor, Ohio 44060
 440-209-6200
 800-627-4460

334 Industrial Park Road
 Bluefield, Virginia 24605
 877-779-9977

NOTE: PRINTS ARE THE EXCLUSIVE PROPERTY OF "MC SIGN COMPANY". ANY UNAUTHORIZED USE OR DUPLICATION WILL RESULT IN A 20% CHARGE PER OCCURRENCE PER THE VALUE OF THE DISPLAY © MC SIGN CO 1998

LED ILLUM. CHANNEL LETTERS

SCALE: 1/4" = 1'-0"

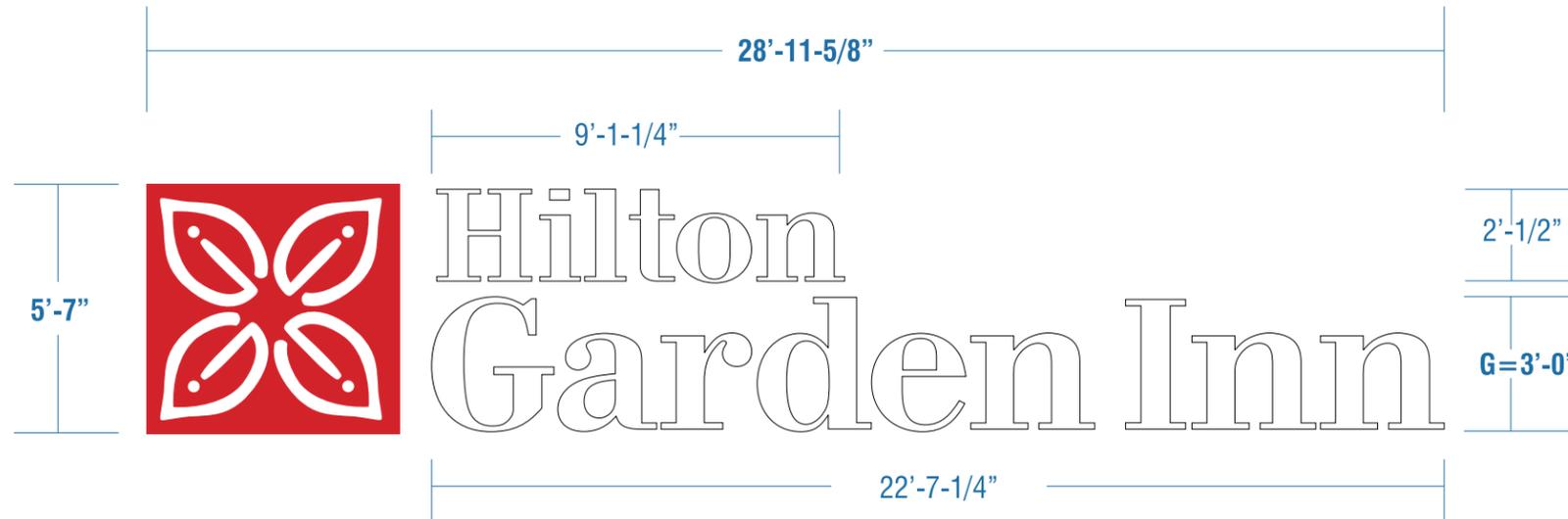
161.7 Square Feet



A 36 INCH STACKED

(1) One set required for Interior Plaza Elevation

(1) one 20 amp (120volt) circuit required per sign



DARK COLOR BUILDING LETTERS

DARK COLORED BUILDING-WHITE DAY/WHITE NIGHT

5" (127mm) DEEP LETTERS (REMOTE TRANSF.)

.040" (1mm) THK. ALUM. RETURNS with .063" (1.6mm) THK. ALUM. CAD CUT BACKS. RETURNS PAINTED AKZO 354C2 SILVER METALLIC (SAMPLE AVAILABLE UPON REQUEST) / GLOSS FINISH. LETTER INTERIORS PAINTED with STARBRIGHT LIGHT ENHANCING PAINT.

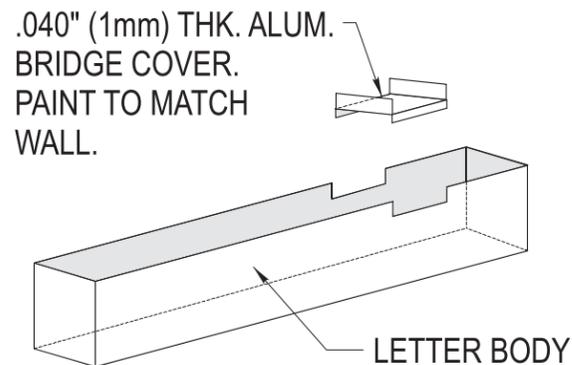
.177" (4.5mm) THK WRT30 WHITE CYRO SG FACES.
1" (25.4mm) STANDARD WHITE JEWELITE RETAINERS (OR APPROVED EQUIV.) TO BE USED PER MANUFACTURER'S RECOMMENDATIONS.

LETTERS ILLUMINATED with WHITE L.E.D. (G.E. OR APPROVED EQUIV.). INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

LOGO:

.177" (4.5mm) THK WRT30 WHITE CYRO SG FACES with 1st SURFACE 3M (OR APPROVED EQUIV.) 3630-73 RED VINYL BACKGROUND / "FLORET" DESIGN CUT OUT OF RED VINYL OVERLAY - WHITE SHOWS THRU.
1" (25.4mm) STANDARD RED JEWELITE RETAINERS (OR APPROVED EQUIV.) TO BE USED PER MANUFACTURER'S RECOMMENDATIONS.

LOGO ILLUMINATED with WHITE L.E.D. (G.E. OR APPROVED EQUIV.). INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

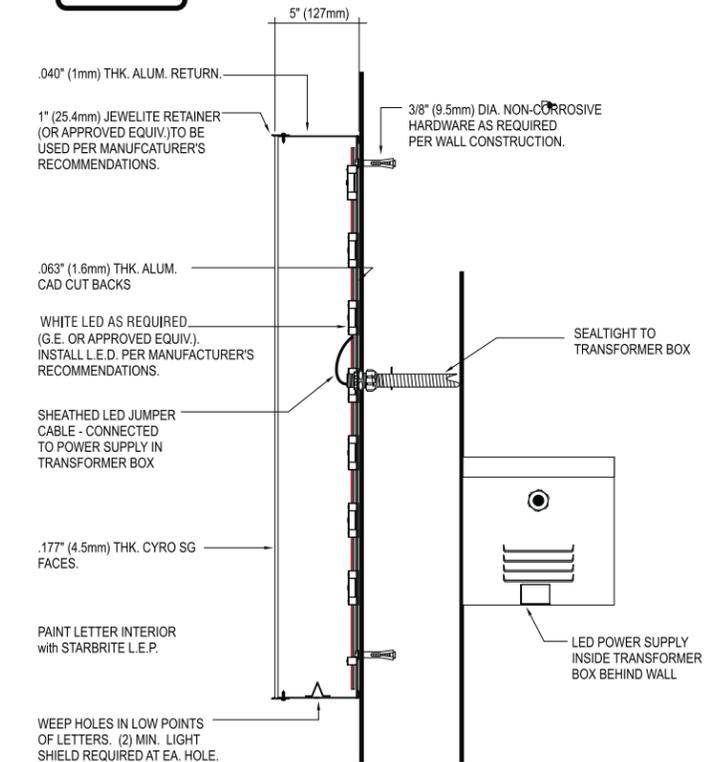


TYPICAL BRIDGE DETAIL

ALL ILLUMINATED SIGNAGE REQUIRE THE CLIENT'S ELECTRICIAN TO FURNISH & INSTALL A COMPLETE PHOTOCELL AND/OR TIME CLOCK TO ALLOW SIGNS TO OPERATE AT DESIGNATED INTERVALS. HOWEVER, SIGN SHALL NEVER OPERATE ON A 24/7 BASIS.

ELECTRICAL ACCESS TO BE CONFIRMED TO ENSURE REMOTE POWER SUPPLIES ARE POSSIBLE!

All letter sections to have a weatherproof toggle disconnect switch on one side.



REMOTE POWER SUPPLY LETTER SECTION

VERIFY ACCESS BEHIND WALL BEFORE MOVING FORWARD with THIS OPTION.



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CLIENT: **Hilton Garden Inn**
 ADDRESS: GALLATIN, TN 37066
 PAGE NO.: 5

TICKET NO.: N/A
 DATE: 05/19/16
 PROJECT MANAGER: SEAN WESTPHAL
 DESIGNER: KW
 ELECTRONIC FILE NAME: HILTON\HILTON GARDEN INN\2016\TN\HGI - GALLATIN

REVISION HISTORY:

08/26/16 AF	revised to 36" set

CLIENT SIGNATURE: _____
 APPROVAL DATE: _____

Corporate Office:
 8959 Tyler Boulevard
 Mentor, Ohio 44060
 440-209-6200
 800-627-4460

334 Industrial Park Road
 Bluefield, Virginia 24605
 877-779-9977



B 24 INCH LINEAR

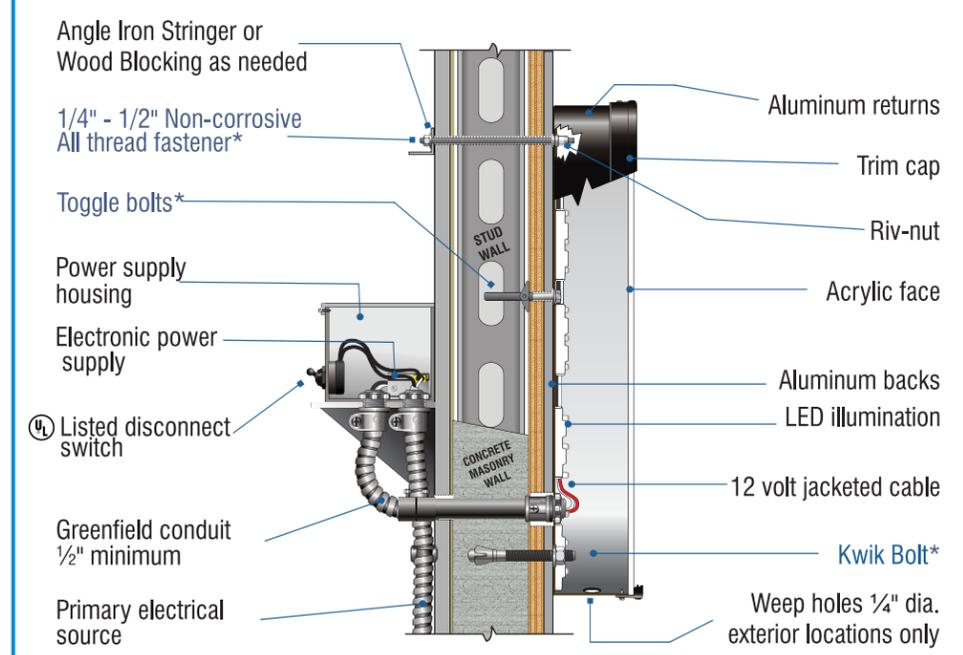
(1) One set required for lower Interior Plaza Elevation



PRESENTATION PURPOSES ONLY
DRAWING NOT INTENDED FOR MANUFACTURING AT THIS TIME!

ELECTRICAL ACCESS TO BE CONFIRMED TO ENSURE REMOTE POWER SUPPLIES ARE POSSIBLE!

LED CHANNEL - REMOTE, FLUSH - GENERIC INSTALL



***MOUNTING METHOD:**
(Use appropriate method following wall inspection)
Thru bolt - all thread fasteners w/ wood blocking or angle iron stringer
Toggle bolts w/ hollow core- plywood backing
Kwik Bolts or Expansion lag bolts & shields w/ solid concrete

SIGN TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS
Underwriters Laboratories Inc. ELECTRIC SIGN
ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 600-4. ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250. ALL POWER SUPPLIES TO BE FUSED PER U.L. 48. 28.2.1 GROUNDING AND BONDING PER N.E.C. 250-90, -92, -94, -96. SIGN TO MEET N.E.C. AND U.L. 48 STANDARDS FOR ELECTRICAL SIGNS. GROUNDING & BONDING AS PER N.E.C. 250-90 & NEC 600-7

Partner with the best.

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CLIENT: **Hilton Garden Inn**
TICKET NO.: N/A
DATE: 05/19/16
PROJECT MANAGER: SEAN WESTPHAL
DESIGNER: KW
ADDRESS: GALLATIN, TN 37066
PAGE NO.: 6
ELECTRONIC FILE NAME: HILTON\HILTON GARDEN INN\2016\TN\HGI - GALLATIN

REVISION HISTORY:

CLIENT SIGNATURE: _____
APPROVAL DATE: _____

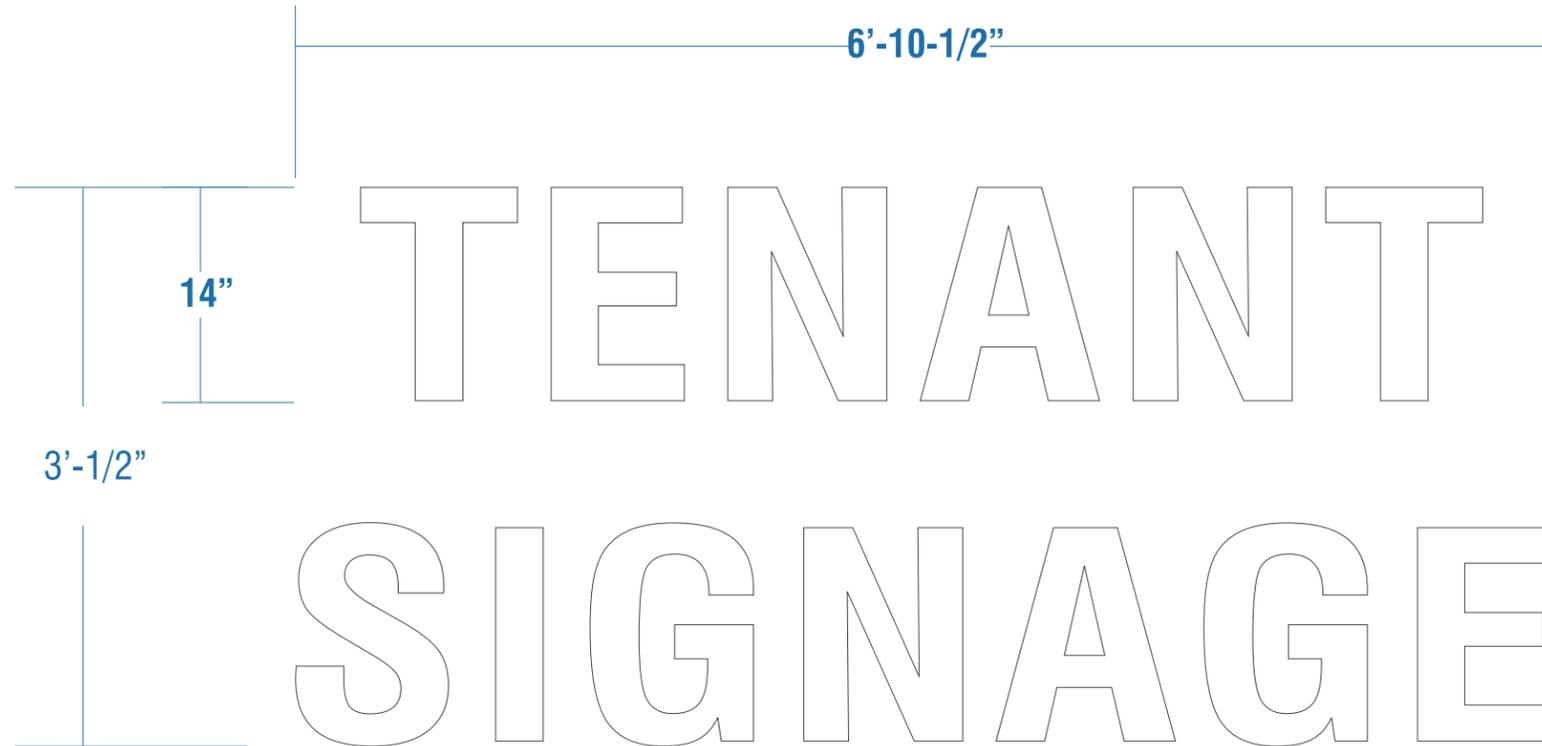
Corporate Office:
8959 Tyler Boulevard
Mentor, Ohio 44060
440-209-6200
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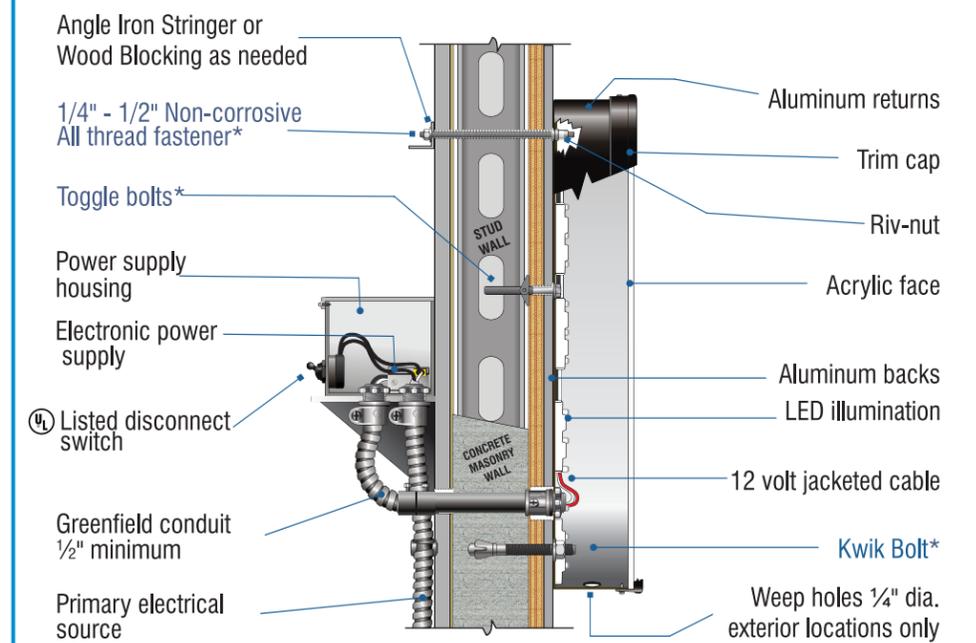
(1) One set required for Interior Plaza Elevation



PRESENTATION PURPOSES ONLY
DRAWING NOT INTENDED FOR MANUFACTURING AT THIS TIME!

ELECTRICAL ACCESS TO BE CONFIRMED TO ENSURE REMOTE POWER SUPPLIES ARE POSSIBLE!

LED CHANNEL - REMOTE, FLUSH - GENERIC INSTALL



***MOUNTING METHOD:**
(Use appropriate method following wall inspection)
Thru bolt - all thread fasteners w/ wood blocking or angle iron stringer
Toggle bolts w/ hollow core- plywood backing
Kwik Bolts or Expansion lag bolts & shields w/ solid concrete

SIGN TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS
Underwriters Laboratories Inc. ELECTRIC SIGN
ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 600-4. ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250. ALL POWER SUPPLIES TO BE FUSED PER U.L. 48. 28.2.1 GROUNDING AND BONDING PER N.E.C. 250-90, 392-94, 96. SIGN TO MEET N.E.C. AND U.L. 48 STANDARDS FOR ELECTRICAL SIGNS. GROUNDING & BONDING AS PER N.E.C. 250-90 & NEC 600-7. PREPARED AND FINAL CONNECTION TO SIGN BY: CERTIFIED ELECTRICIAN

Partner with the best.

www.mcsign.com

CLIENT: **Hilton Garden Inn**
TICKET NO.: N/A
DATE: 05/19/16
PROJECT MANAGER: SEAN WESTPHAL
DESIGNER: KW
ADDRESS: GALLATIN, TN 37066
PAGE NO.: 8
ELECTRONIC FILE NAME: HILTON\HILTON GARDEN INN\2016\TN\HGI - GALLATIN

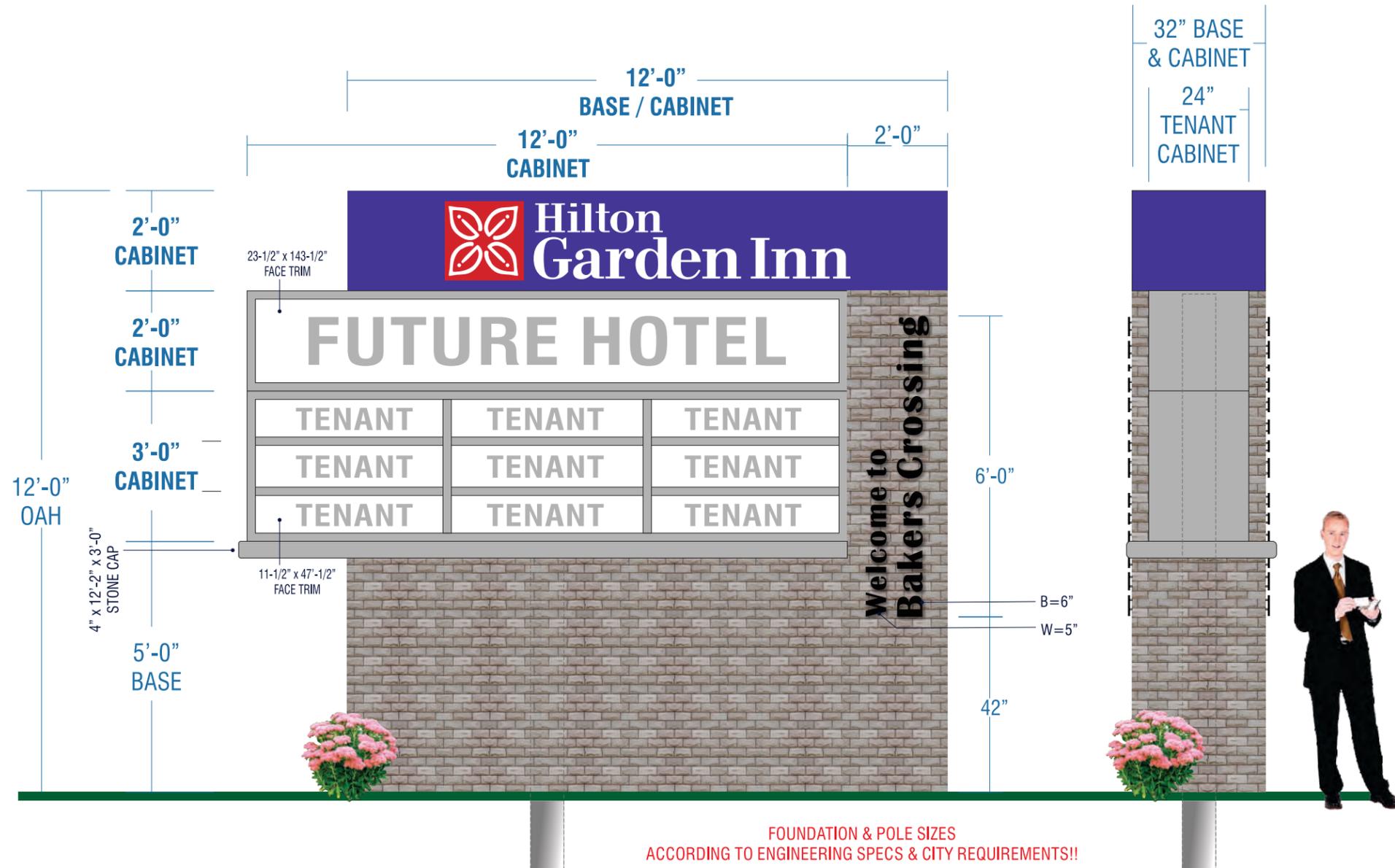
REVISION HISTORY:

CLIENT SIGNATURE: _____
APPROVAL DATE: _____

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877-779-9977

(1) One required



- HGI CABINET:** 32" deep fabricated aluminum all painted to match PMS 2756C Blue - Satin Finish
- FACE:** .090 alum. face painted to match PMS 2756C Blue - Satin Finish w/ routed out graphics
- GRAPHICS:** HGI: Backed up w/ 1/8" white acrylic; Logo: 1/8" white acrylic w/ surface applied reverse weeded 3M 3630-73 Red
- ILLUM. :** Internal HO Fluorescents as required by manufacturer

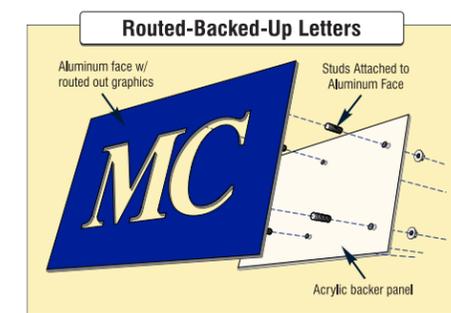
- TENANT CABINET:** 24" deep fabricated aluminum w/ 2" retainers / divider bars; all painted Akzo 354C2 Silver Metallic - Gloss Finish
- FACES:** .150 flat white polycarbonate
- GRAPHICS:** Surface applied vinyl graphics as required
- ILLUM. :** Internal HO Fluorescents as required by manufacturer

- BAKERS FCO's** 1/2" acrylic Flat Cut-Out Letters; faces & returns painted Black
- MOUNTING:** Graphics to have studs drilled & tapped at backside; 1/2" stand off from sign bkgd. - spacers painted to match brick

- BASE:** **Gray Brick base - ALL STONEMWORK DONE BY OTHERS**
- MOUNTING:** Cabinets to sleeve ovetop internal support pole; Saddle welded top and bottom; Direct Burial Installation
POLE SIZE AND FOUNDATION TO BE VERIFIED

EACH SIDE OF CABINET SHOWN ON FOLLOWING PAGE

**FOUNDATION & POLE SIZES
ACCORDING TO ENGINEERING SPECS & CITY REQUIREMENTS!!**



COLOR PALETTE	
	#7328 White acrylic
	Royal Blue - PMS 2756C - Satin Finish 3M 3630-87 Royal Blue
	RED 3M 3630-73 RED
	CABINET COLOR AKZO 354C2 - Silver Metallic / Gloss Finish
	FCO's - Brushed Aluminum MATTHEWS MP 30136

ALL PAINT FINISHES TO BE HIGH GLOSS UNLESS OTHERWISE SPECIFIED!

Partner with the best.

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CLIENT: 	TICKET NO.: N/A	DATE: 08/18/16
ADDRESS: GALLATIN, TN 37066	PROJECT MANAGER: SEAN WESTPHAL	DESIGNER: DN
PAGE NO.: 11	ELECTRONIC FILE NAME: HILTON\HILTON GARDEN INN\2016\TN\HGI - GALLATIN	

REVISION HISTORY:	
08/26/16 AF	Revised OAH to 12' / fcos painted black

CLIENT SIGNATURE:

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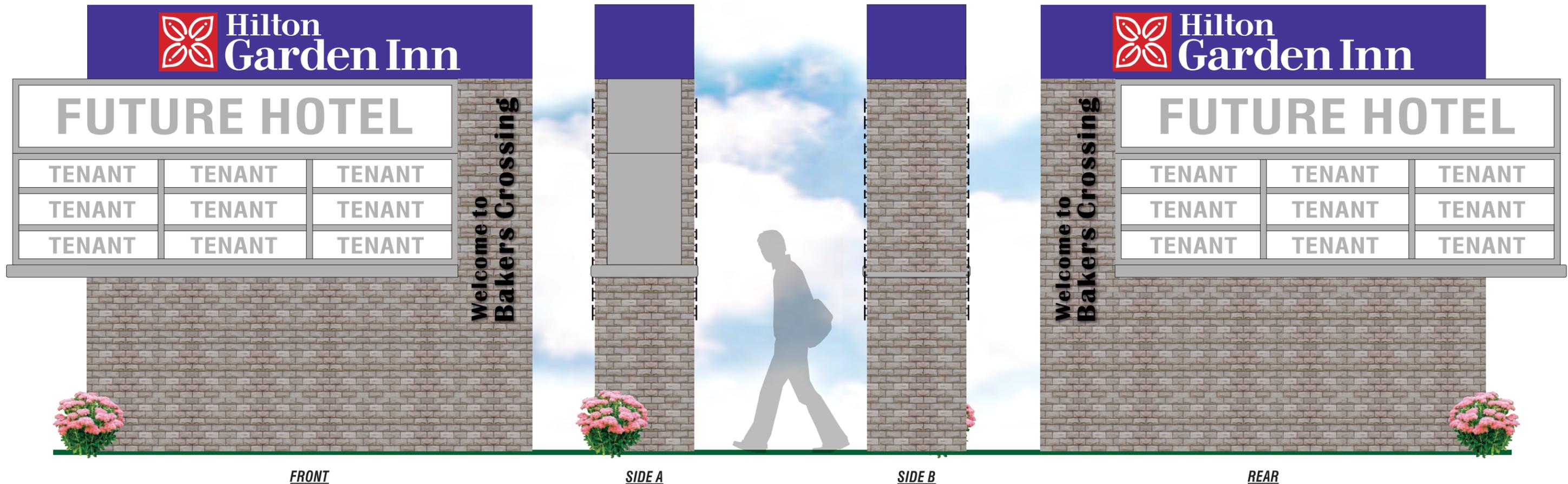
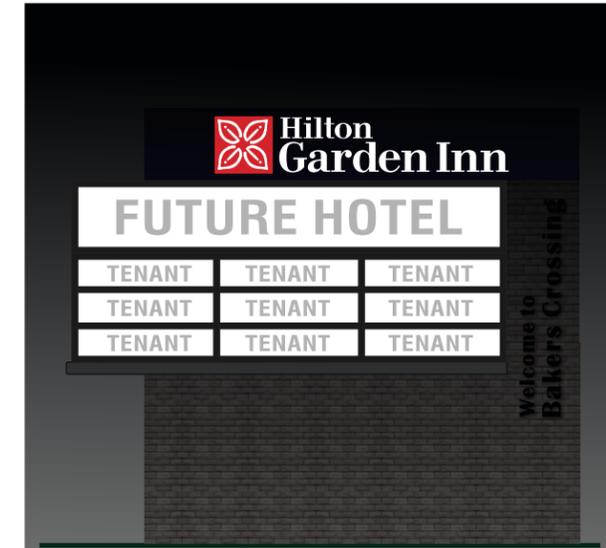
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ADDITIONAL VIEWS OF MONUMENT

SCALE: 3/8" = 1'-0"

OPTION B

SIMULATED NIGHT TIME VIEW



FRONT

SIDE A

SIDE B

REAR

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CLIENT: **Hilton Garden Inn**

ADDRESS: GALLATIN, TN 37066

PAGE NO.: 12

TICKET NO.: N/A

DATE: 08/18/16

PROJECT MANAGER: SEAN WESTPHAL

DESIGNER: DN

ELECTRONIC FILE NAME: HILTON\HILTON GARDEN INN\2016\TN\HGI - GALLATIN

REVISION HISTORY:

08/26/16 AF	Revised OAH to 12' / fcos painted black

CLIENT SIGNATURE: _____

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